

PROJECT FOR NEW TOWNHOMES IN DELRAY BEACH



INDEX OF DRAWINGS	
SHEET NUMBER	SHEET NAME
D01	SITE DEMO PLAN
A-00	COVER SHEET
A-01a	EXTERIOR RENDERINGS
A-01b	EXTERIOR RENDERINGS
A-01c	MATERIALS & COLORS
A-02a	SITE PLAN
A-03	1ST FLOOR NOTATION PLAN
A-05	2ND FLOOR NOTATION PLAN
A-07	3RD FLOOR NOTATION PLAN
A-09	ARCHITECTURAL ROOF PLAN
A-10	BUILDING ELEVATIONS
A-11	BUILDING ELEVATIONS
A-12	BUILDING SECTIONS
A-13	BUILDING SECTIONS

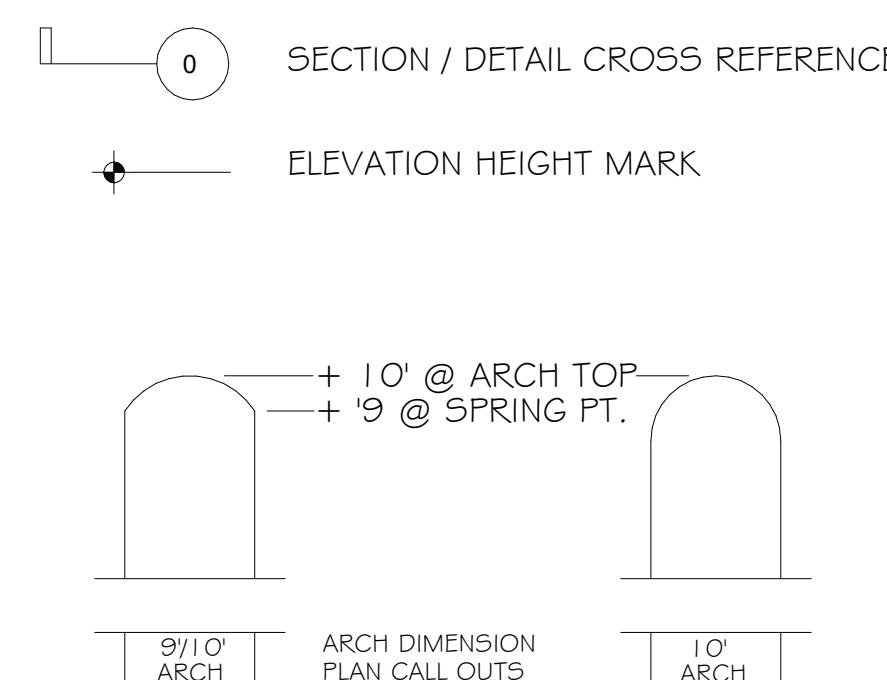
ABBREVIATIONS

ABV	ABOVE	FH	FIRE HOSE	POL	POLISHED
AFF	ABOVE FINISH FLOOR	FP	FIREPROOF	PSF	POUNDS PER SQUARE FOOT
AP	ACCESS PANEL	FLG	FLASHING	PSI	POUNDS PER SQUARE INCH
ADJ	ADJUSTABLE	FLR	FLOOR	PC	PRECAST
AC	AIR CONDITIONING	FD	FLOOR DRAIN	PROJ	PROJECTION
AHU	AIR HANDLING UNIT	FLUR	FLUORESCENT	QT	QUARRY TILE
ALT	ALTERNATE	FL	FLUSH		
ALUM	ALUMINUM	FR.DR.	FRENCH DOOR		
ANOD	ANODIZED				
ANN	ANNUNCIATOR	GALV	GALVANIZED	RADN	RADIATOR, RADIATION
APPL.	APPLIQUE	GA	GAUGE	REQD	REQUIRED
APPROX	APPROXIMATE	GC	GENERAL CONTRACTOR	RVS	REVERSE
ARCH	ARCHITECT(URAL)	GL	GLASS, GLAZING	RH	RIGHT HAND
@	AT	GYP BD	GYPSUM BOARD	R	RISER
AWI	AMER. WOODWORK INSTITUTE	GB	GRAB BAR	RM	ROOM
AWPI	AMER. WD. PRESERVERS INSTITUTE			RO	ROUGH OPENING
BM	BEAM	HB	HOSE BIB		
BLK	BLOCK	HDW	HARDWARE	SCHD	SCHEDULE
BLKG	BLOCKING	HWD	HARDWOOD	SEAL	SEALANT
BD	BOARD	HTG	HEATING	SEC	SECTION
BF	BOTH FACES	HVAC	HEATING/VENTILATING/AIR	SERV	SERVICE
BOT	BOTTOM	HT, HGT	CONDITIONING	SHT	SHEET
BLDG	BUILDING	HM	HEIGHT	SHTH	SHEATHING
B.O.	BOTTOM OF	HOR	HOLLOW METAL	SO	SHUT-OFF
B/O	BY OTHERS	HS	HORIZONTAL	SIM	SIMILAR
BS	BODY SPRAY		HAND SHOWER	SL	SLIDING
CAB	CABINET	IN	INCH	SC	SOLID CORE
CPT	CARPET	INCL	INCLUDE	S	SOUTH
CI	CAST IRON	ID	INSIDE DIAMETER	SPEC	SPECIFICATION
CK	CAULK	INSUL	INSULATION	SQ	SQUARE
CLG	CEILING	INT	INTERIOR	SF	SQUARE FOOT
CH	CEILING HEIGHT	JT	JOINT	SSTL	STAINLESS STEEL
CEM	CEMENT	JB	JUNCTION BOX	STD	STANDARD
C-C	CENTER TO CENTER	KO	KNOCK OUT	STL	STEEL
¶	CENTERLINE	LB	LABEL	STR	STRUCTURAL
CER	CERAMIC	LAV	LAVATORY	SUS	SUSPENDED
CT	CERAMIC TILE	#	POUND	SW	SWITCH
C	CHANNEL	LH	LEFT HAND	SYM	SYMMETRICAL
CLR	CLEAR	LTG	LIGHTING		
CL	CLOSET	LW	LIGHT WEIGHT		
CJT	CONTROL JOINT			TEL	TELEPHONE
COL	COLUMN			TEMP	TEMPERED
COMB	COMBINATION			TFG	TEMPERED FIXED GLASS
CONC	CONCRETE	MFGR	MANUFACTURER	THK	THICK
CMU	CONCRETE MASONRY UNIT	MAS	MASONRY	T&G	TONGUE & GROOVE
CONST	CONSTRUCTION	MO	MASONRY OPENING	T&B	TOP & BOTTOM
CON JT	CONSTRUCTION JOINT	MAT	MATERIAL	T/O	TOP OF
CONT	CONTINUOUS	MAX	MAXIMUM	TC	TOP OF CURB
CONTR	CONTRACTOR	MECH	MECHANICAL	TW	TOP OF WALL
CLL	CONTRACT LIMIT LINE	MEMB	MEMBRANE	TR	TREAD
CFL	COUNTERFLASHING	MTL	METAL	TYP	TYPICAL
CTSK	COUNTERSINK	MEZZ	MEZZANINE	TP	TOILET PAPER HOLDER
CRS	COURSE	MWK	MILLWORK		
DS	DOWN SPOUT	MIN	MINIMUM	UC	UNDERCUT
DP	DAMPROOFING	MISC	MISCELLANEOUS	UL	UNDERWRITERS LABORATORIES
DBL	DOUBLE	MUL	MULLION	UNF	UNFINISHED
DTL	DETAIL	NOM	NOMINAL	UTIL	UTILITY
DIAG	DIAGONAL	N	NORTH	U.S.P.	UNDER SEPERATE PERMIT
DIA	DIAMETER	NIC	NOT IN CONTRACT		
DIFF	DIFFUSER	NTS	NOT TO SCALE	VB	VAPOR BARRIER
DIM	DIMENSION	NO. - #	NUMBER	VNR	VENeer
do	DITTO	OC	ON CENTER	VENT	VENTILATION
DR	DOOR	OPG	OPENING	VERT	VERTICAL
DN	DOWN	OPP	OPPOSITE		
D	DRAIN	OD	OUTSIDE DIAMETER	WF	WALL FABRIC
DWG	DRAWING	OA	OVERALL	WP	WATERPROOFING
EA	EACH	OH	OVERHEAD	WT	WEIGHT
E	EAST			W	WEST
EJ	EXPANSION JOINT	PNT	PAINT	WI	WIDTH, WIDE
ELEC	ELECTRICAL / ELECTRIC	PR	PAIR	WIN	WINDOW
EL	ELEVATION	PNL	PANEL	W/	WITH
EMER	EMERGENCY	PTN	PARTITION	W/O	WITHOUT
ENG	ENGINEER	PLAS	PLASTER	WD	WOOD
EQ - =	EQUAL	PLAM	PLASTIC LAMINATE	WB	WOOD BASE
EQUIP	EQUIPMENT	PL	PLATE		
EST	ESTIMATE(D)	PLYWD	PLYWOOD		
EXH	EXHAUST	PT	PRESSURE TREATED		
EXIST	EXISTING				
EXP	EXPANSION				

GENERAL NOT

1. CONSTRUCTION SHALL FOLLOW "F.B.C. 7TH EDITION 2020" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
2. BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
3. BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
4. TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRELY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
5. SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPAKTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPAKTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMENDATIONS.
6. WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
7. DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.
8. THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
9. ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
10. BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
11. ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
12. APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
13. NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
14. ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH "F.B.C. 7th EDITION 2020".
15. ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
16. ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
17. GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH "F.B.C 7th EDITION 2020".
18. ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
19. ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

SYMBOLS LEGEND



CONSULTANTS

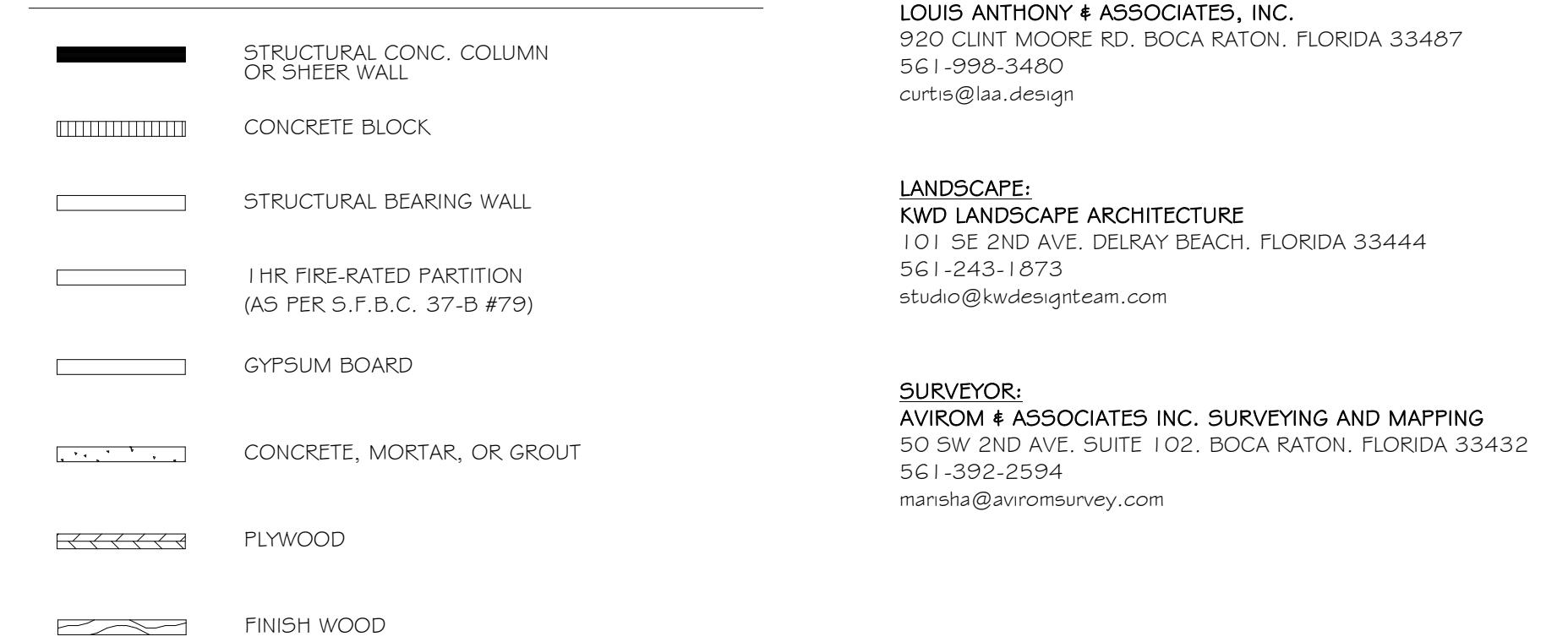
BUILDER:
TESTER CONSTRUCTION GROUP
86 NE 5TH AVENUE DELRAY BEACH, FLORIDA 33483
203-539-2331
allen@testerconstruction.com

STRUCTURAL ENGINEER:
TUMAY CONSULTING ENGINEERS INC.
3500 NW 2ND AVE. SUITE 708. BOCA RATON. FLORIDA 33431

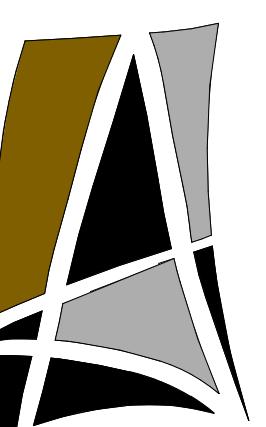
CIVIL ENGINEER:
HALEY ENGINEERING INC.
1680 SE 4TH ST. DEERFIELD BEACH. FLORIDA 33441
954-260-6194
johnjhaley@comcast.net

MEP ENGINEER:
FORMICA & ASSOCIATES CONSULTING ENGINEERS INC.

MATERIALS LIST



SPRAB SET (REVISION # 4)



Ames

DRAWN	
A.T.	
CHECKED	
S.A.	
DATE	
11/15/2021	
SCALE	
As indicated	
JOB NO.	
21_5024	
SHEET	
A-00	
OF	#
SHEETS	

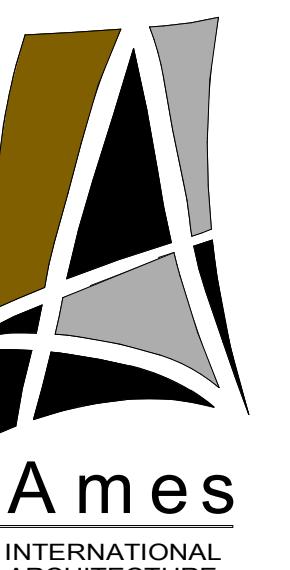
A-00



DELRAY BEACH TOWNHOMES

408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

Shane Ames - Architect



Ames

INTERNATIONAL
AEROSPACE

DRAWN
A.T.
CHECKED
S.A.
DATE
11/15/2021
SCALE

A-01a

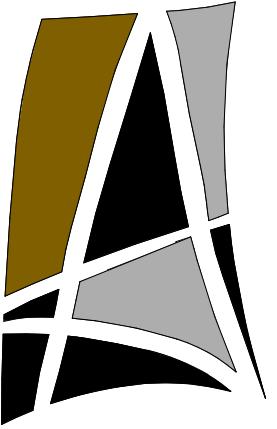
SHEETS



CENTENNIAL INVEST (DEI PAY SOI LTD)

408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

Shane Ames - Archiv




Ames INTERNATIONAL

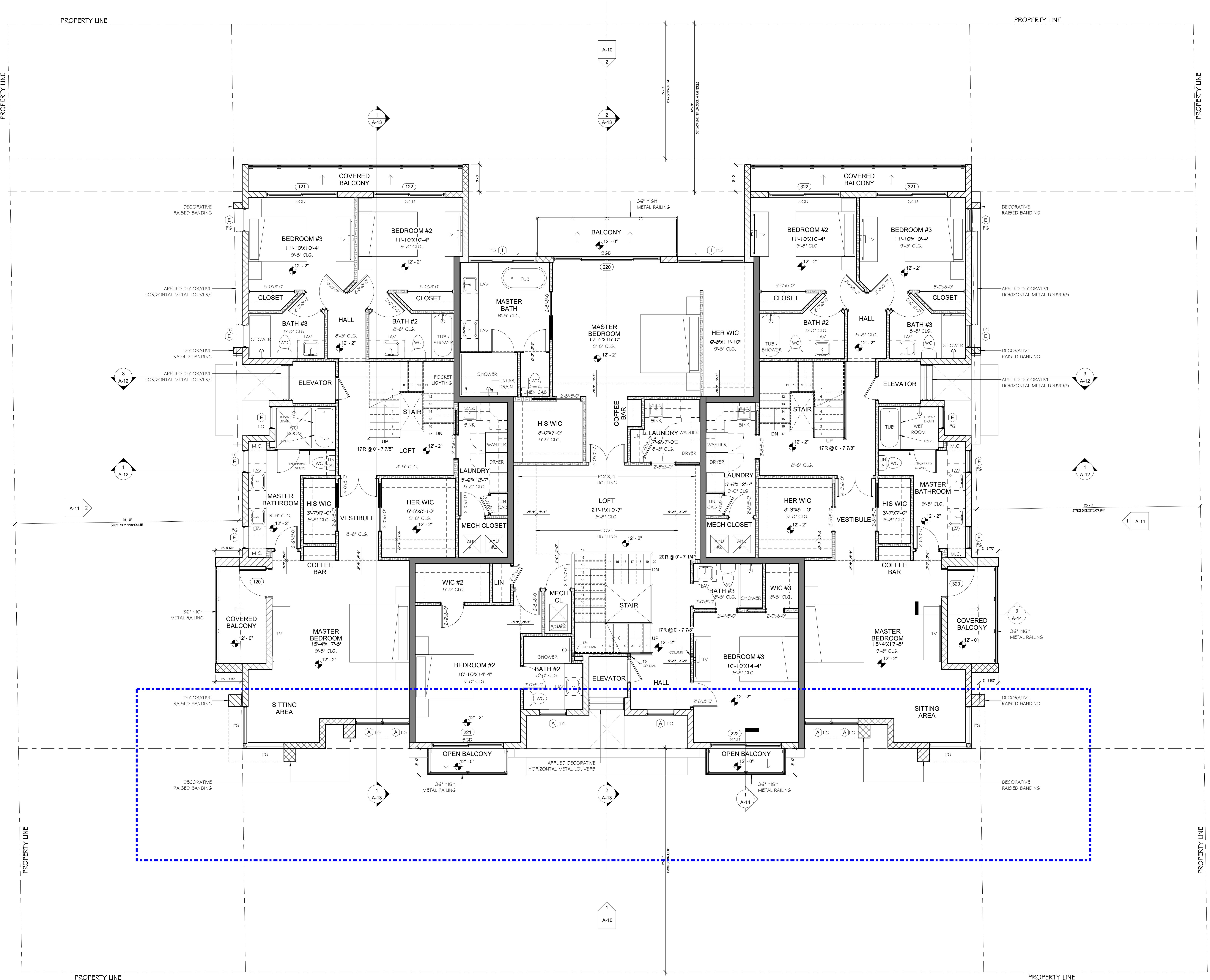
DRAWN
A.T.
CHECKED
S.A.
DATE
08/31/2021
SCALE

JOB NO.
21 5024
SHEET

A-01b

Lic# : AA0002307 ARCH.R.# : AR0012001 ADDRESS : HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 6444, FAX : (561)2746449.





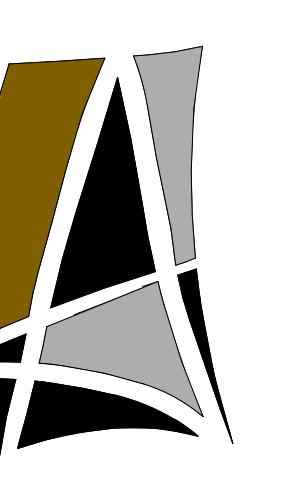
SPRAB SE I (REVISION # 4)

DELRAY BEACH TOWNHOMES

1002 SE 2ND ST

408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

Shane Ames - Architect



Ames INTERNATIONAL

1920S ITALIAN STYLING IN MEXICO

FLOOR PLAN GENERAL NOTES:

1. SEE FOUND. PLAN FOR SLAB STEPS & SLOPES & FOR COLUMNS, FILLED BLOCK CELLS, ETC.
2. VERIFY ALL MASONRY & WD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS.
3. USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS.
4. PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
5. ALL ATTIC SPACES AND SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOPS. PROVIDE A 22"x36" (MIN) ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)
6. ALL COMMON WALLS BETWEEN UNITS AND THROUGHOUT ALL LEVELS TO HAVE FOAM FILL CELLS TO MAXIMIZE SOUNDPROOFING.

WALL TYPE LEGEND

WALL TYPE LEGEND

	EXISTING CMU WALL
	NEW CMU WALL
	EXISTING FRAME WALL
	NEW FRAME WALL

END FLOOR NOTATION PLAN

DRAWN
A.T.
CHECKED
S.A.
DATE
11/15/2021
SCALE
1/4" = 1'-0"
JOB NO.
G-1500-1

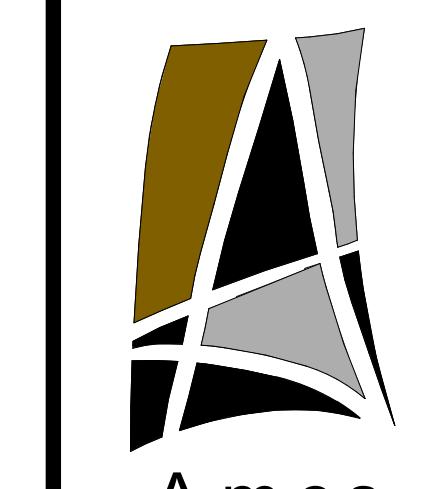
A-05

DELRAY BEACH TOWNHOMES
408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

REVISIONS

DESCRIPT DATE BY
 1 TAC 10/20/2020 A.T.
 5 SPRAB COMMENTS 8/16/2022 A.G.

Shane Ames - Architect



DRAWN
 A.T.
 CHECKED
 S.A.
 DATE
 11/15/2021
 SCALE
 1/4" = 1'-0"
 JOB NO.
 21 5024
 SHEET

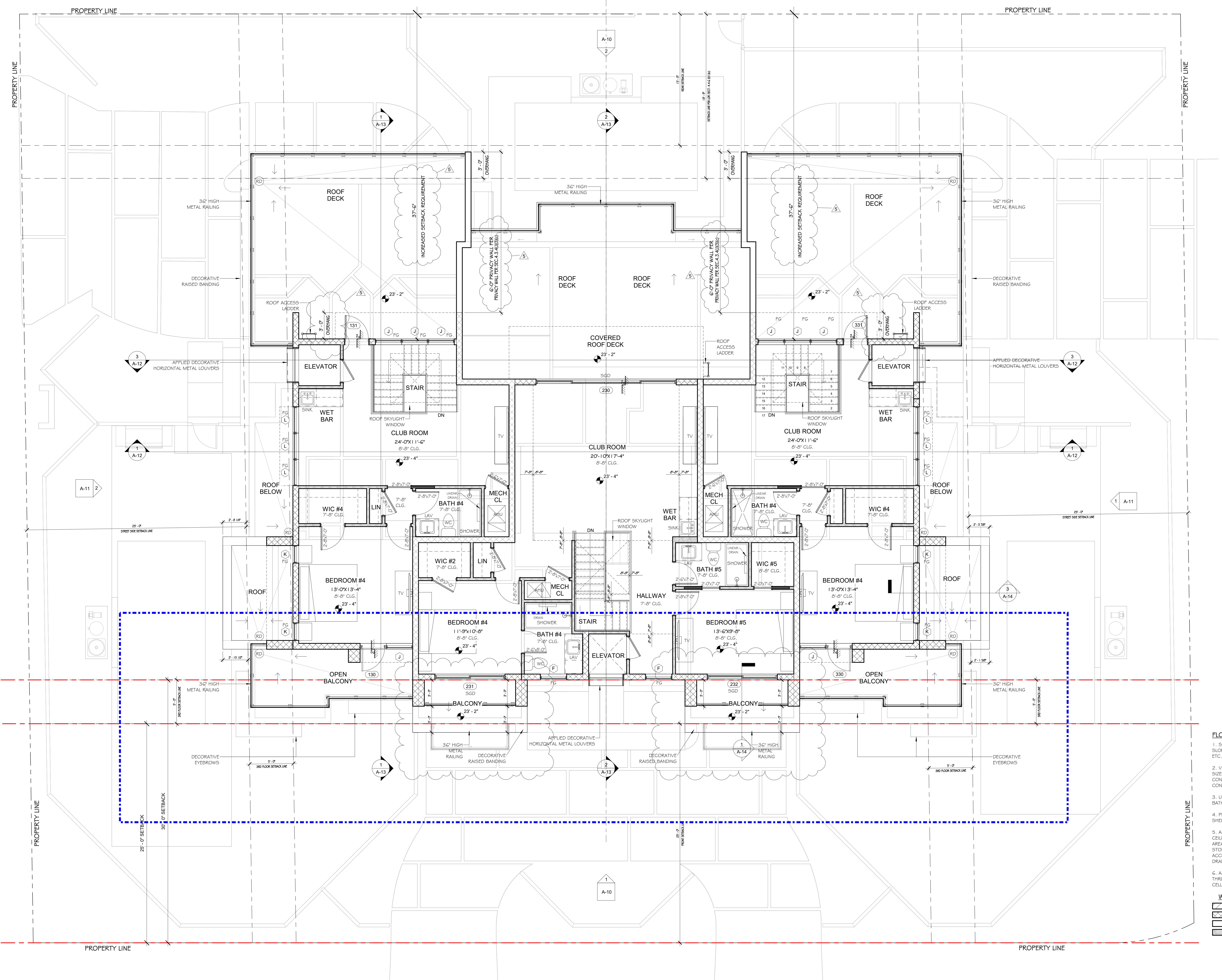
A-07
 OF # SHEETS

FLOOR PLAN GENERAL NOTES:

1. SEE FOUND. PLAN FOR SLAB STEPS & SLOPES & FOR COLUMN-FILLED BLOCK CELLS, ETC.
2. VERIFY ALL MASONRY & WD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS.
3. USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS.
4. PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
5. ALL ATTIC SPACES AND SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOP. PROVIDE ACCESS TO ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)
6. ALL COMMON WALLS BETWEEN UNITS AND THROUGHOUT ALL LEVELS TO HAVE FOAM FILL CELLS TO MAXIMIZE SOUNDPROOFING.

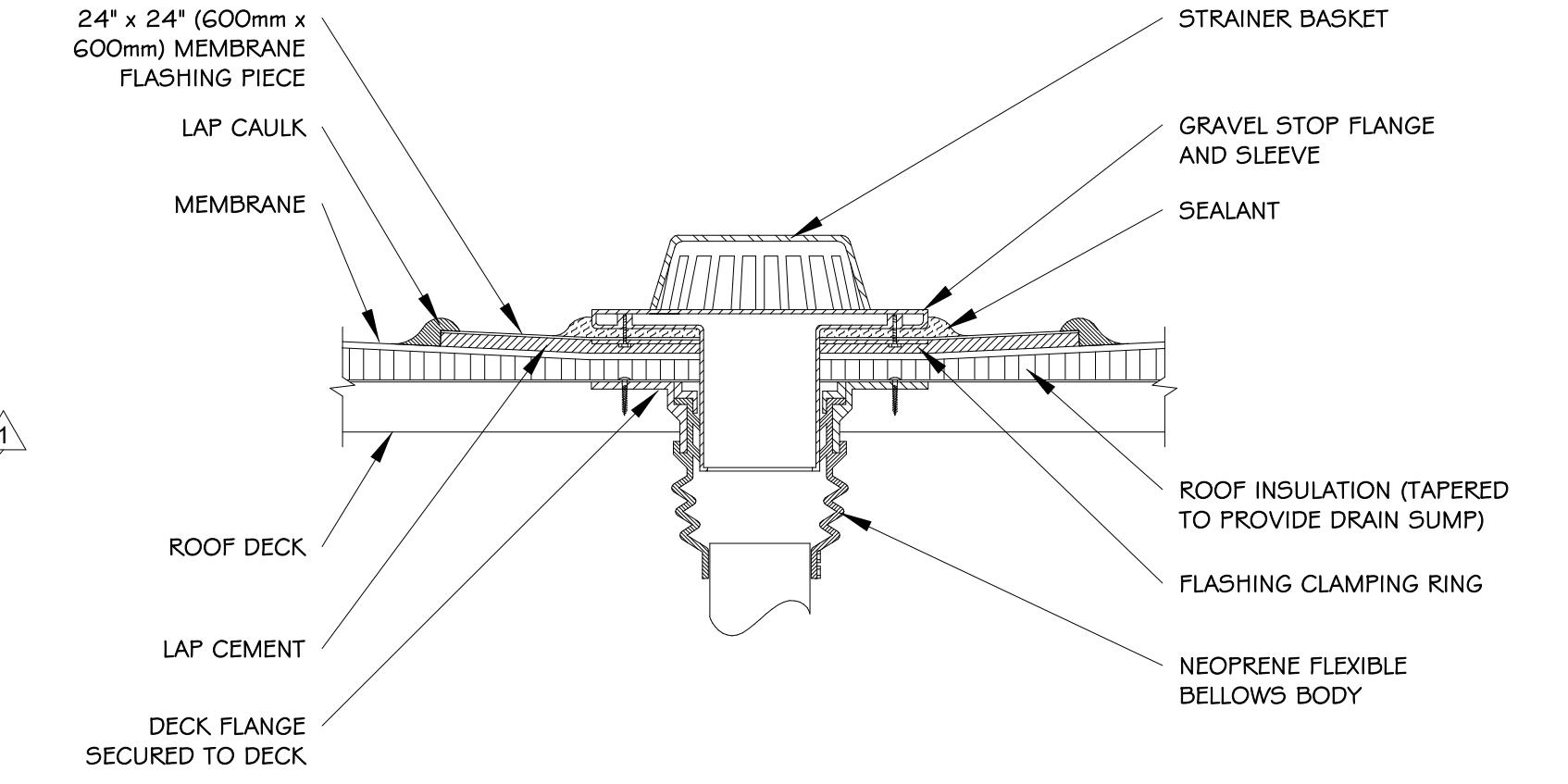
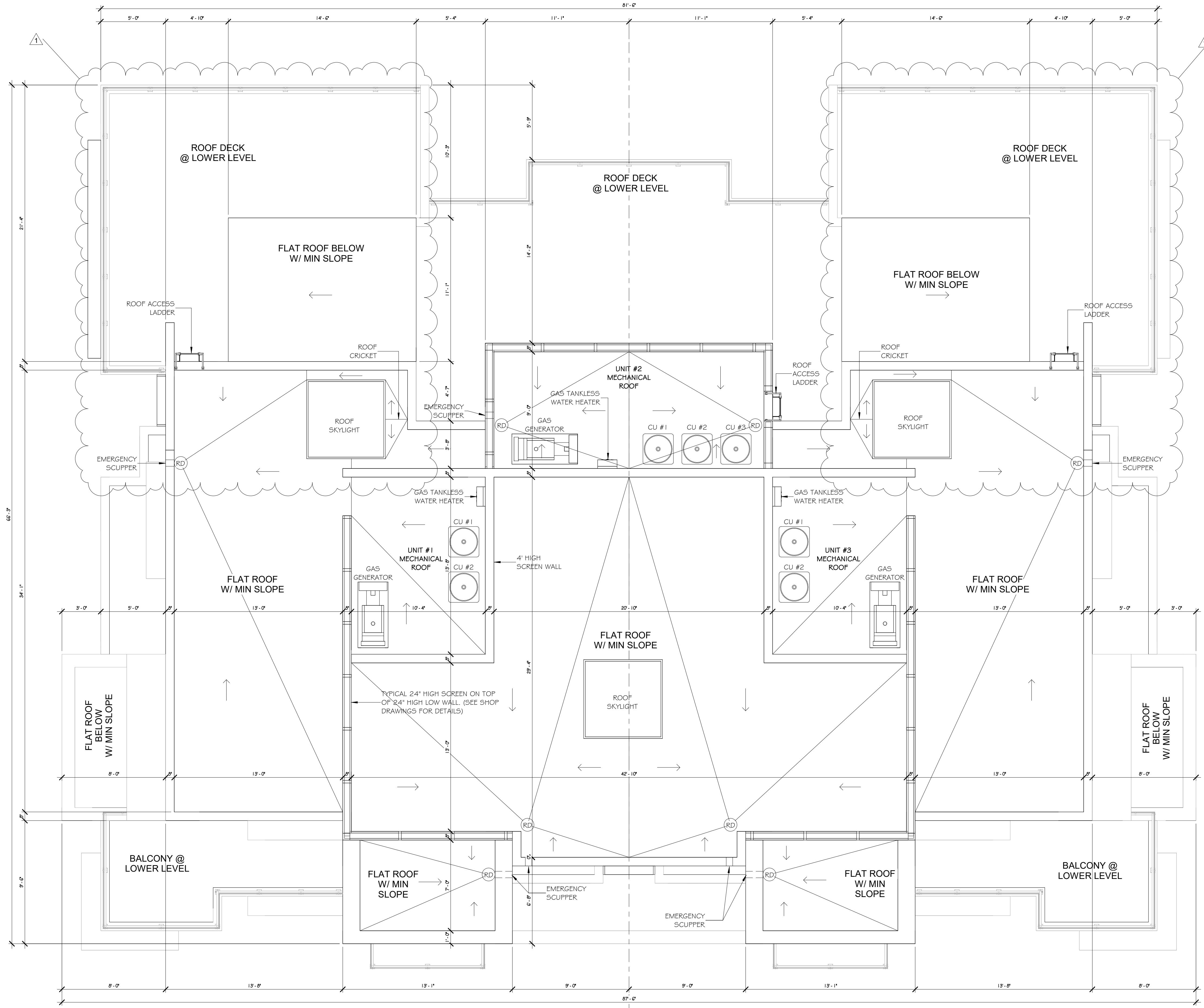
WALL TYPE LEGEND

■ EXISTING CMU WALL
■ NEW CMU WALL
■ EXISTING FRAME WALL
■ NEW FRAME WALL

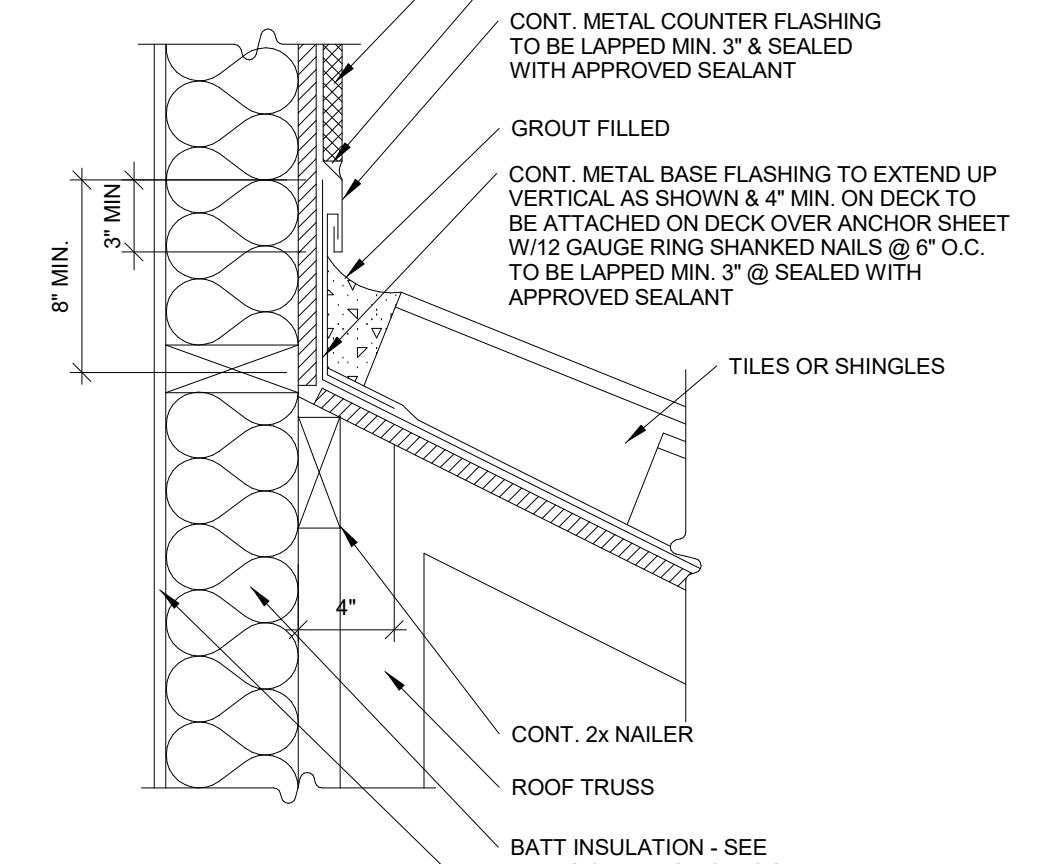
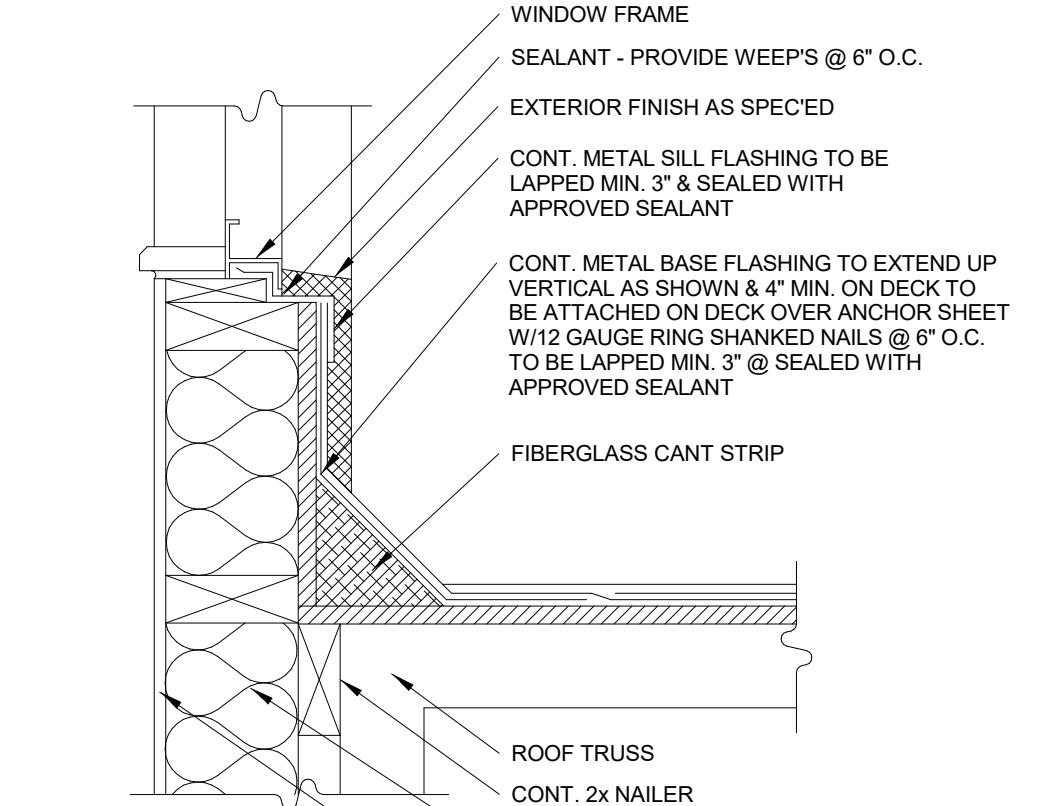


ADDRESS: HISTORIC DELRAY BEACH, PROFESSIONAL DIST., 200 BROWNS BLDWY RD, DELRAY BEACH, FL 33444, USA
 DRAWN BY: AMES INTERNATIONAL ARCHITECTURE
 CHECKED BY: AMES INTERNATIONAL ARCHITECTURE
 DATE: 11/15/2021
 SCALE: 1/4" = 1'-0"
 JOB NO: 21 5024
 SHEET

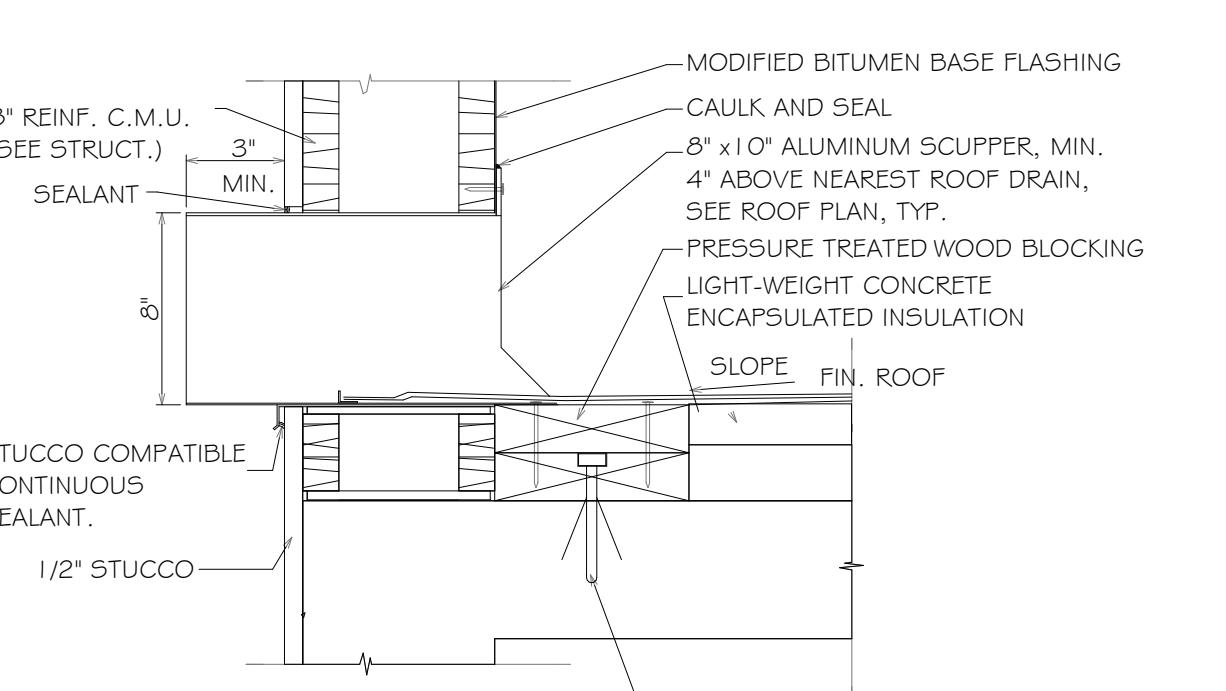
3RD FLOOR NOTATION PLAN



② TYPICAL ROOF/FLOOR DRAIN DETAIL
3/4" = 1'-0"



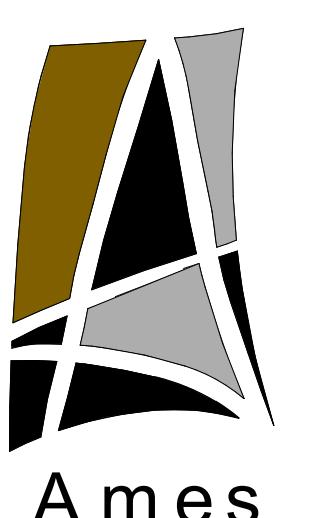
SCALE 1%208" = 1'-0"



④ TYPICAL SCUPPER DETAIL ON CMU

DELRAY BEACH TOWNHOMES

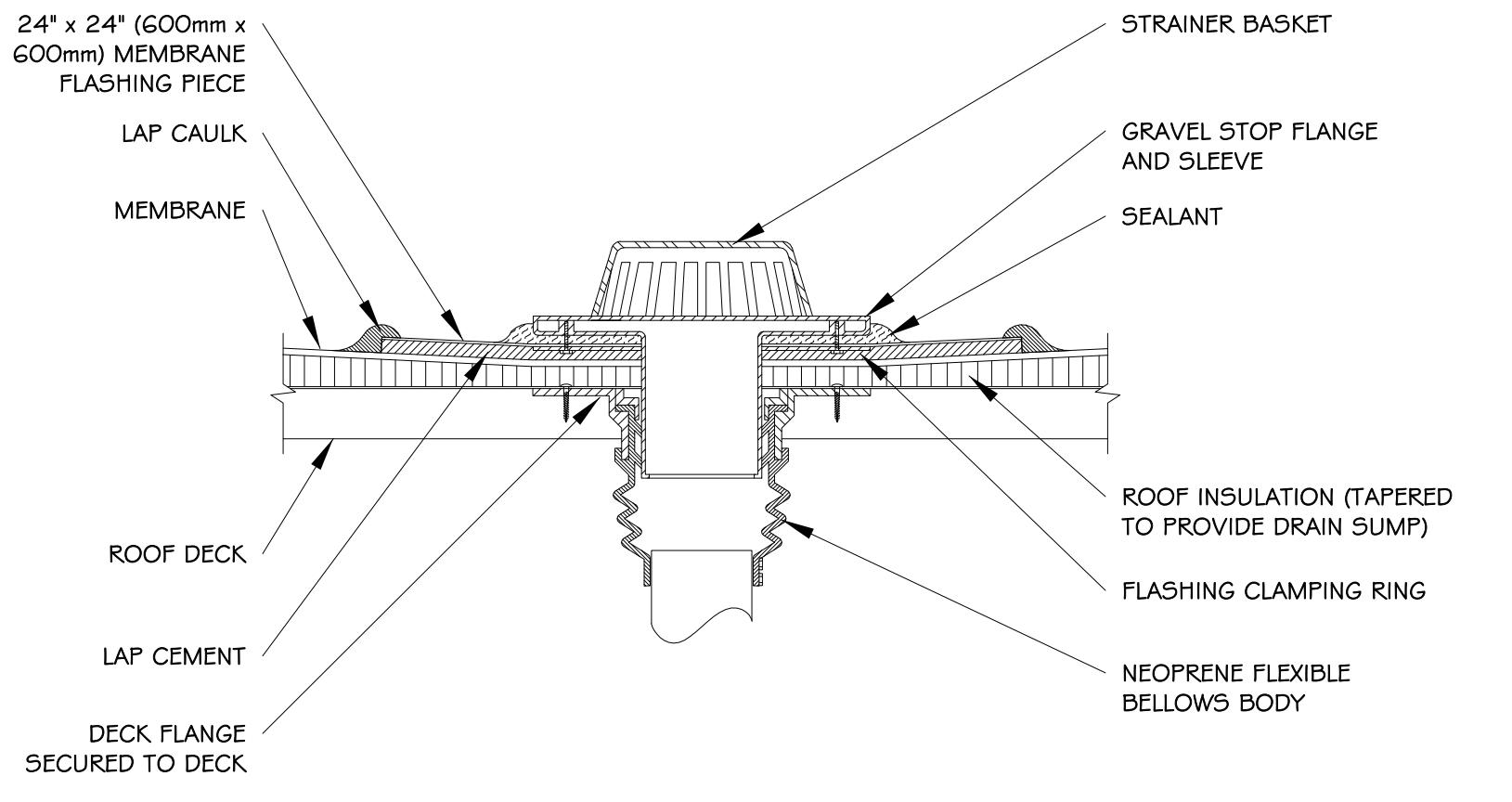
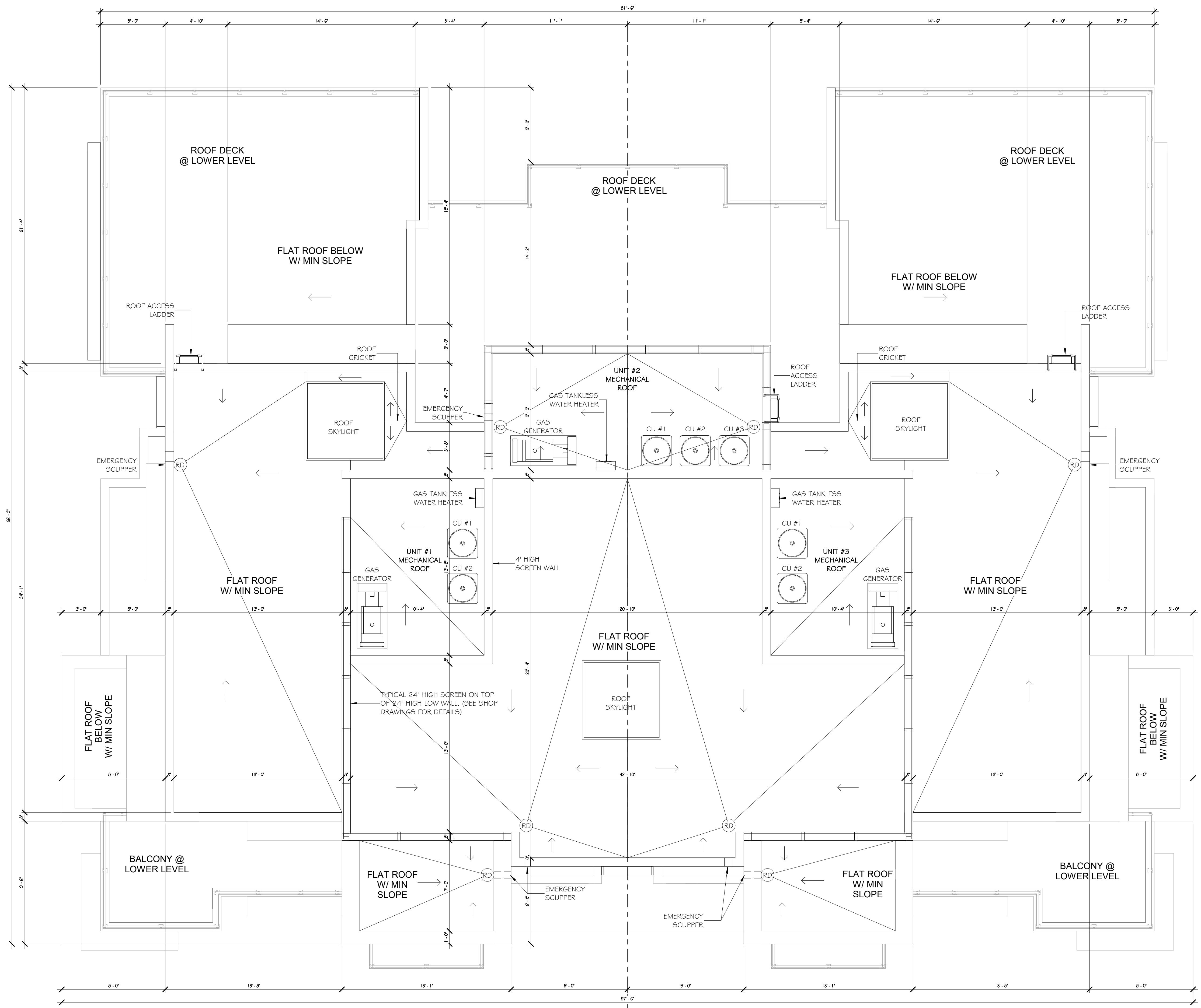
408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483



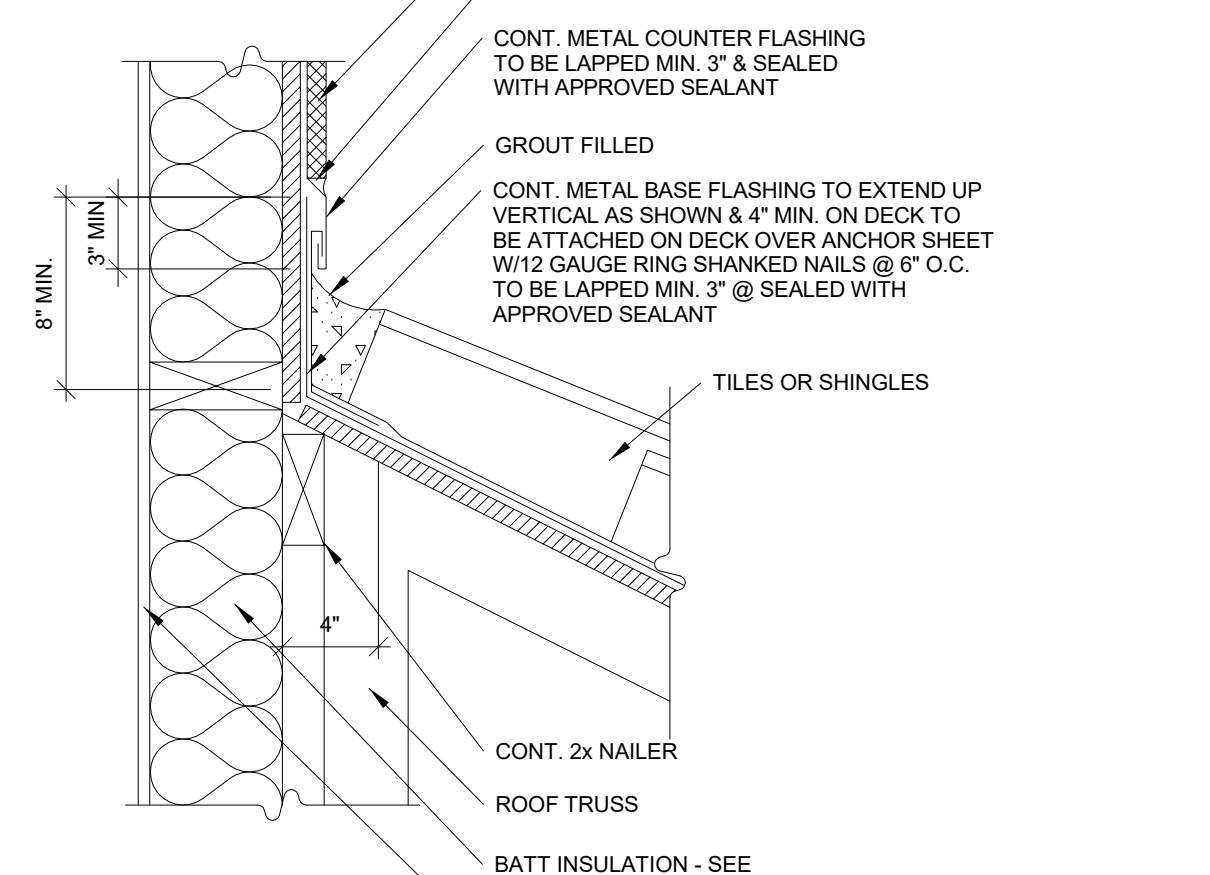
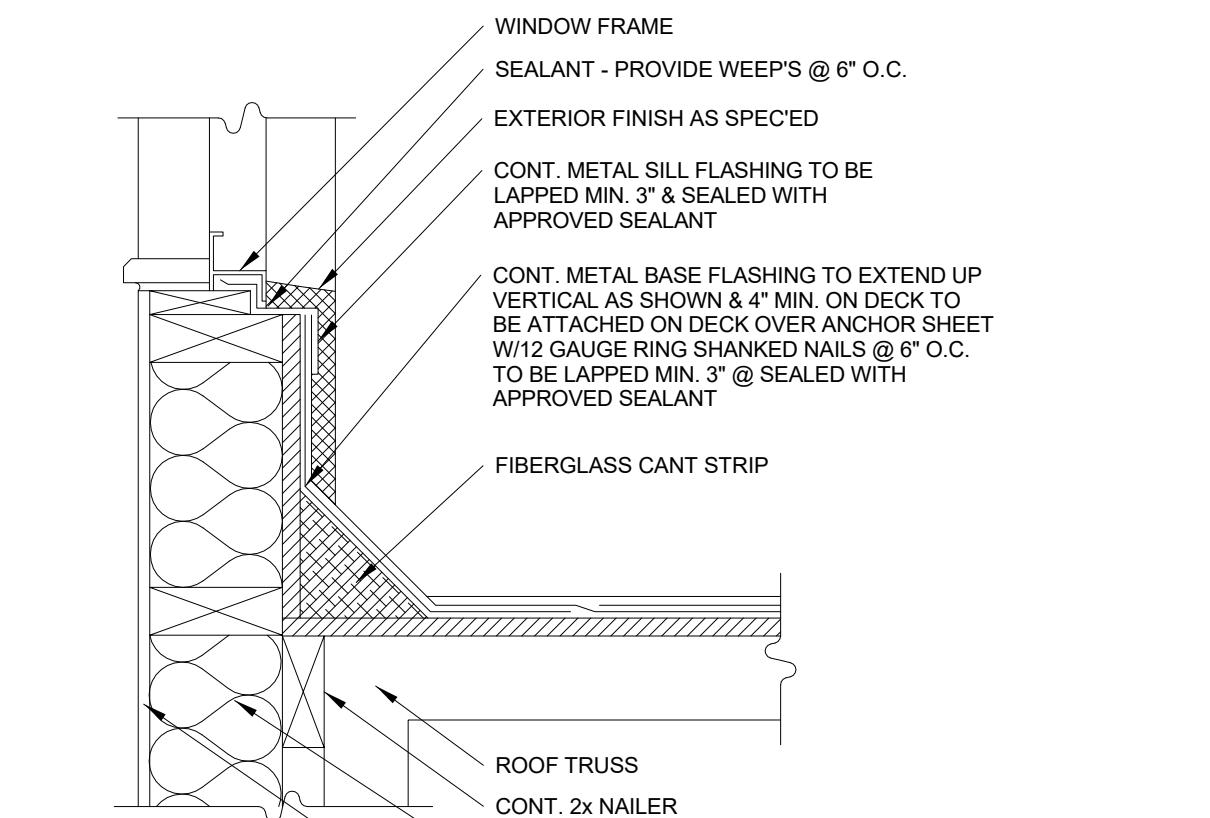
The logo for Ames International features a stylized graphic of overlapping geometric shapes in black and grey, resembling a flag or a map. Below the graphic, the word "Ames" is written in a bold, lowercase, sans-serif font, with a horizontal line underneath the letters "m" and "e". Underneath "Ames", the words "INTERNATIONAL" are written in a smaller, all-caps, sans-serif font.

DRAWN
A.T.
CHECKED
S.A.
DATE
11/15/2021
SCALE
As indicated
JOB NO.
21_5024
SHEET

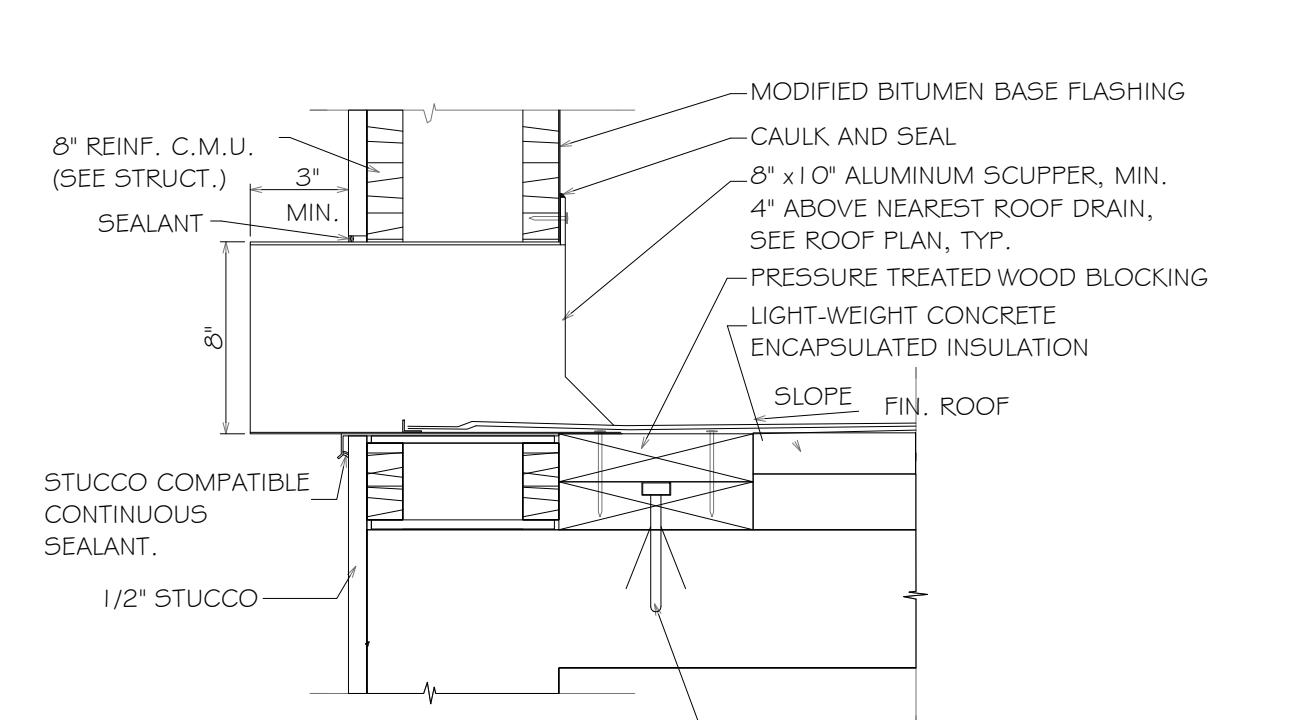
A-09



② TYPICAL ROOF/FLOOR DRAIN DETAIL
3/4" = 1'-0"



③ ROOF/WALL FLASHING DETAIL
3/4" = 1'-0"



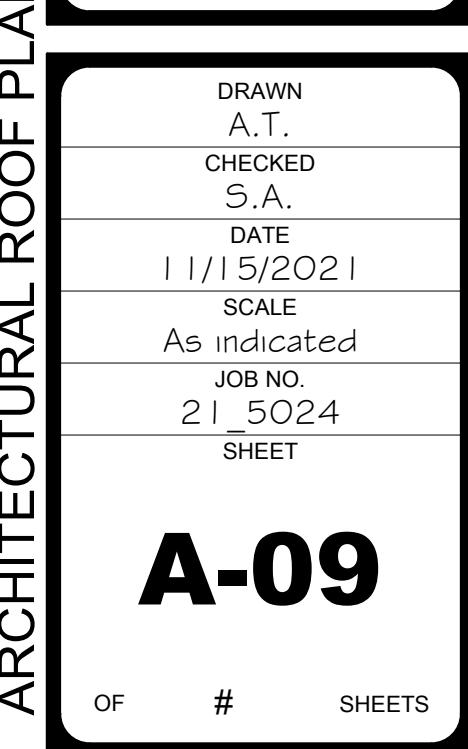
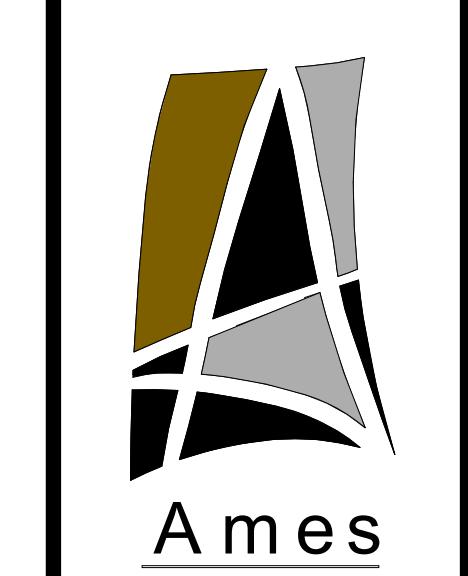
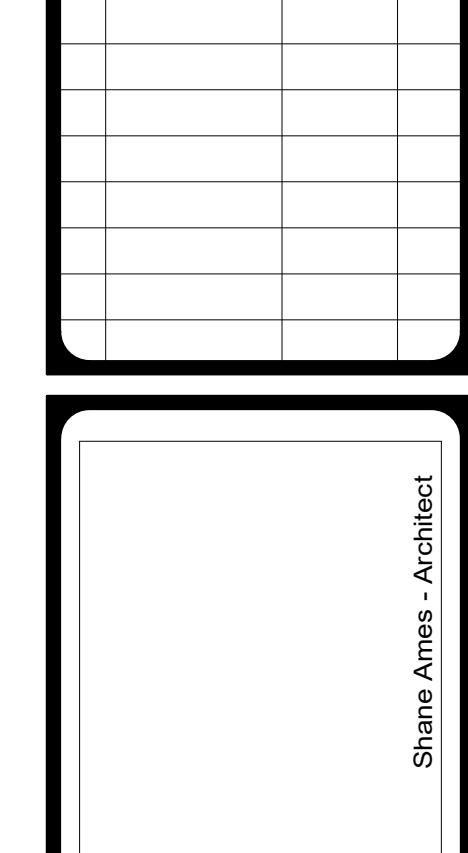
④ TYPICAL SCUPPER DETAIL ON CMU
3/4" = 1'-0"

DELRAY BEACH TOWNHOMES

408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

REVISIONS

#	DESCRIP.	DATE	BY
1	TAC COMMENTS	10/20/2022	A.T.

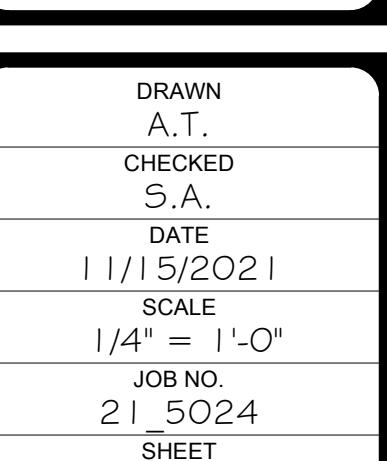
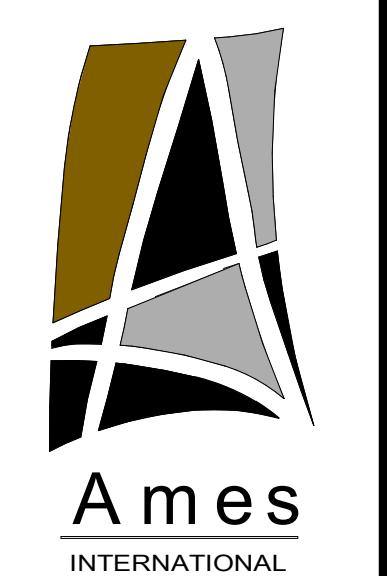
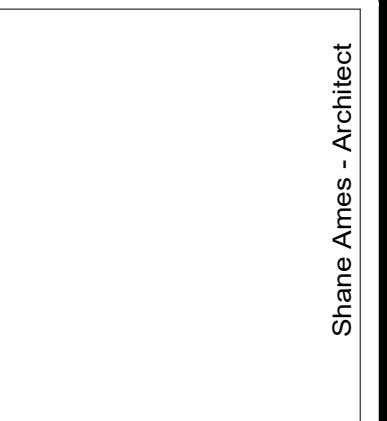


DELRAY BEACH TOWNHOMES
408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

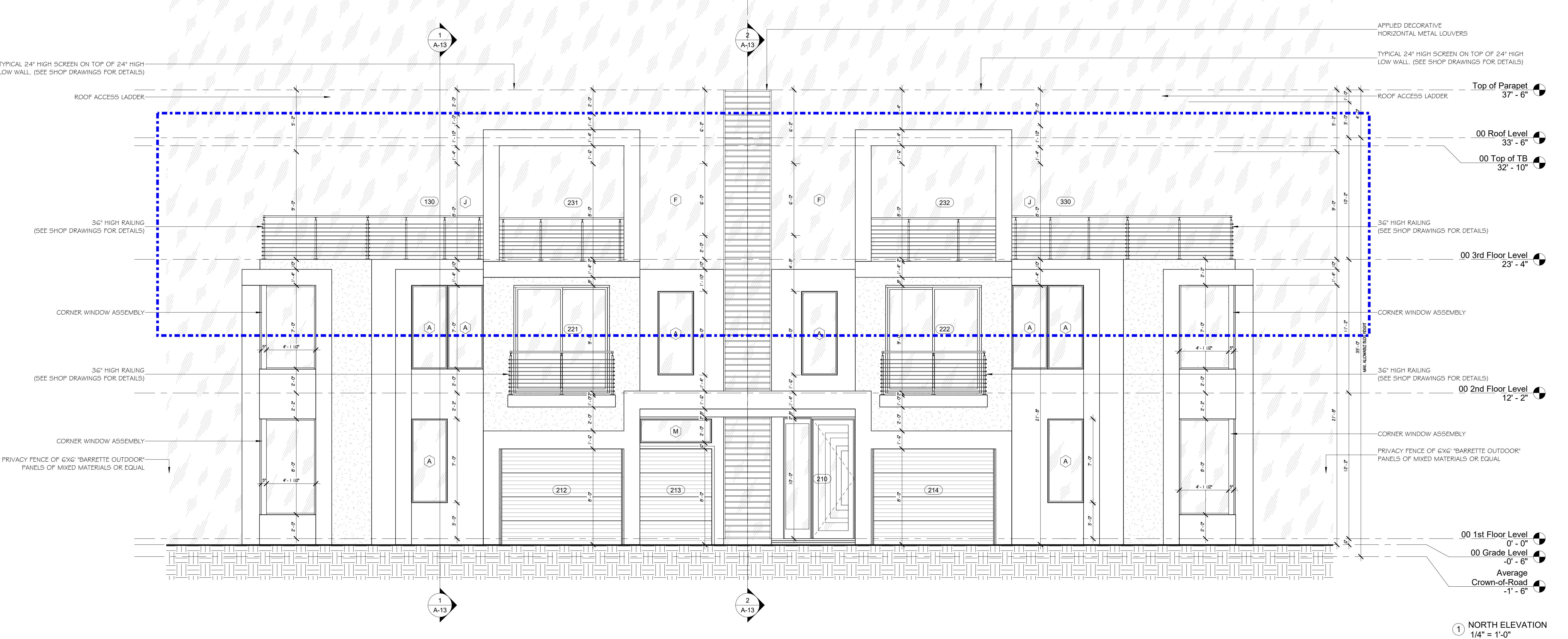
REVISIONS

#	DESCRIP.	DATE	BY
1	TAC COMMENTS	10/20/202	A.T.

Shane Arnes - Architect

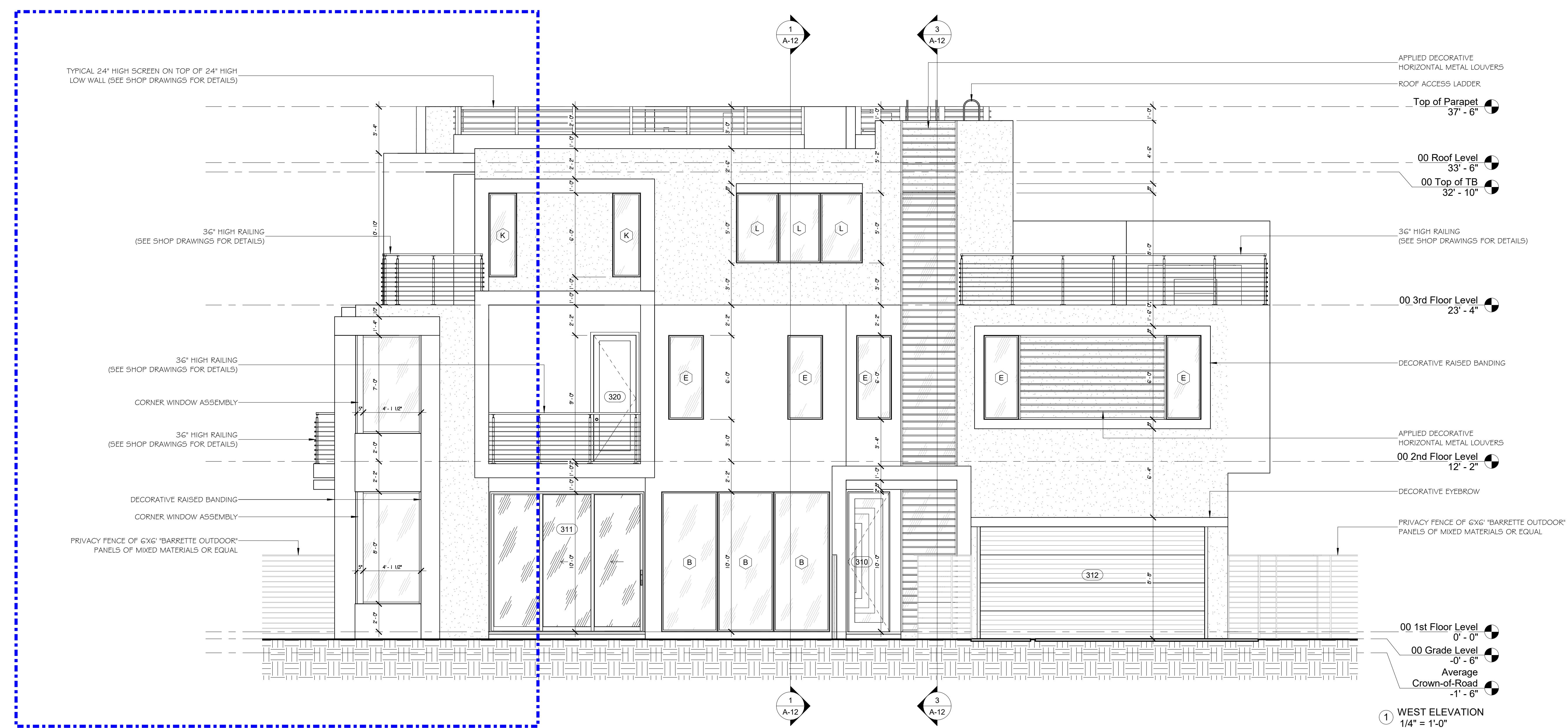


A-10



DELRAY BEACH TOWNHOMES
408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

SPRAB SET (REVISION # 4)



DRAWN
A.T.
CHECKED
S.A.
DATE
11/15/2021
SCALE
1/4" = 1'-0"
JOB NO.
21 5024
SHEET

BUILDING ELEVATIONS

A-11

OF

#

SHEETS

1

REVISIONS

1

TAC

COMMENTS

1

DATE

10/20/202

BY

A.T.

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

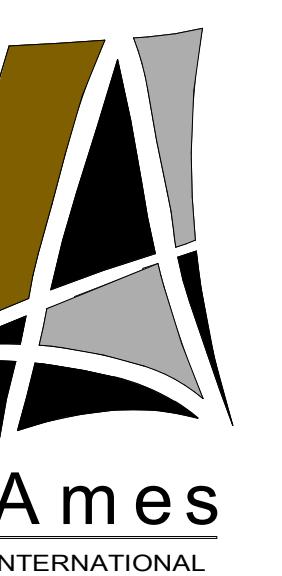
1

DELRAY BEACH TOWNHOMES
408 SE 2ND ST
DELRAY BEACH
FLORIDA 33483

REVISIONS

DESCRIPT DATE BY

Shane Ames - Architect

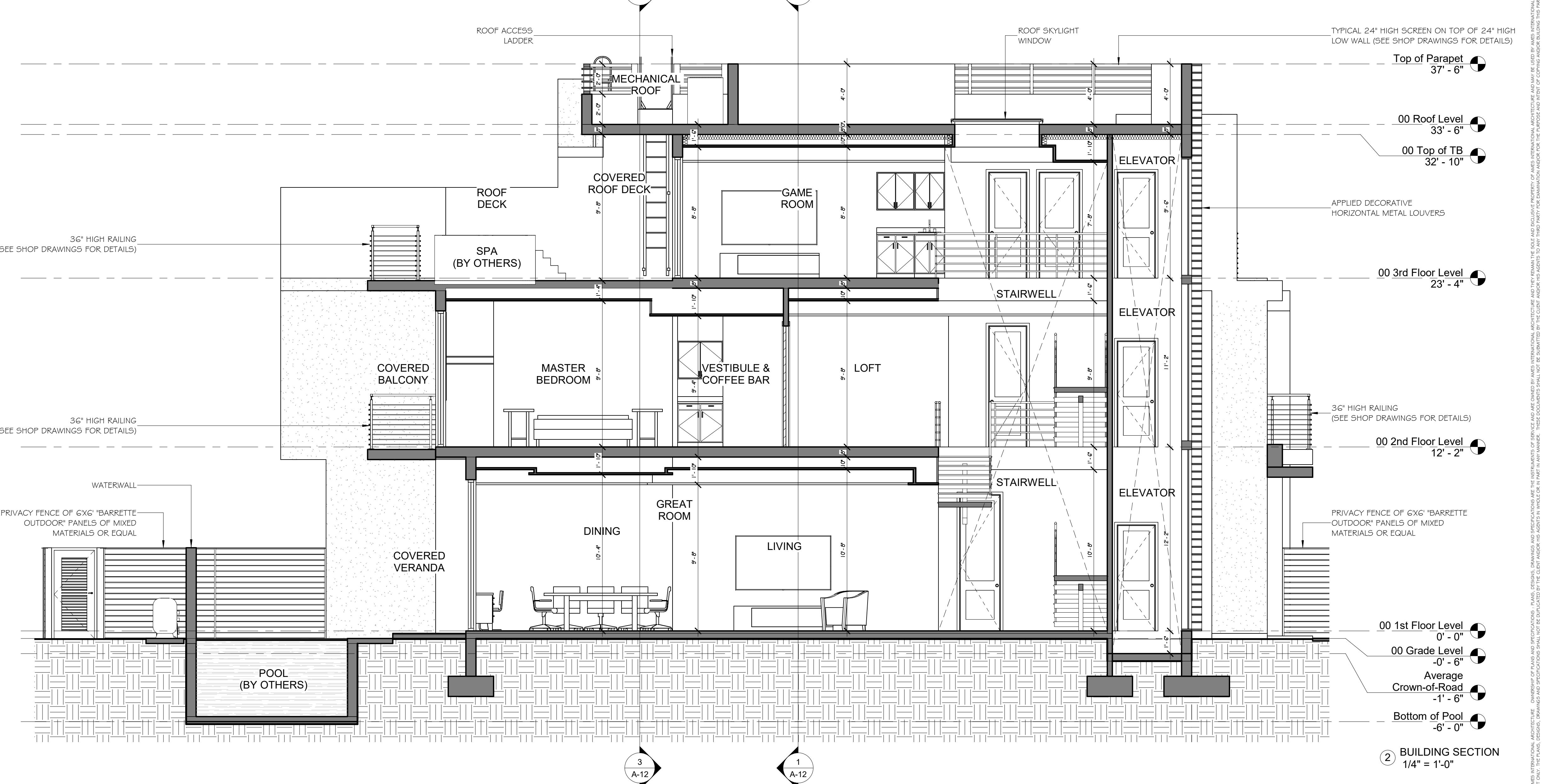
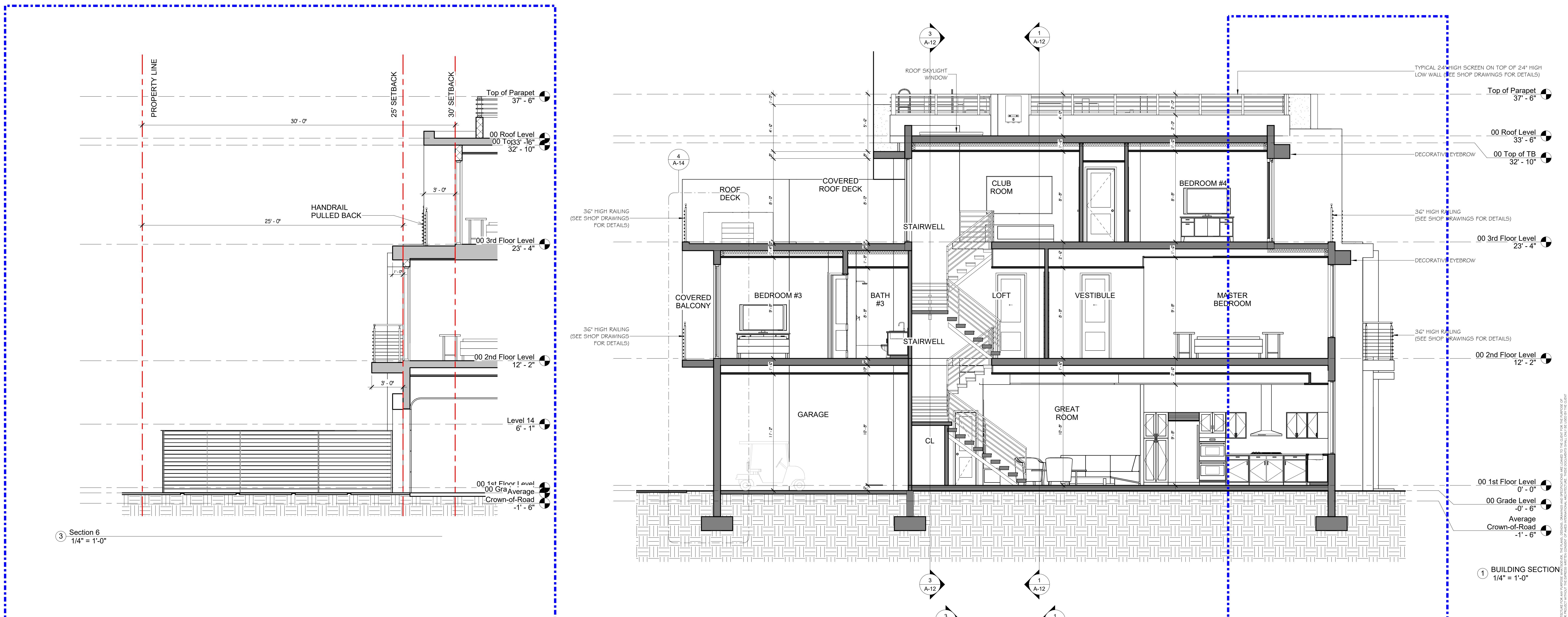


Ames
INTERNATIONAL
ARCHITECTURE

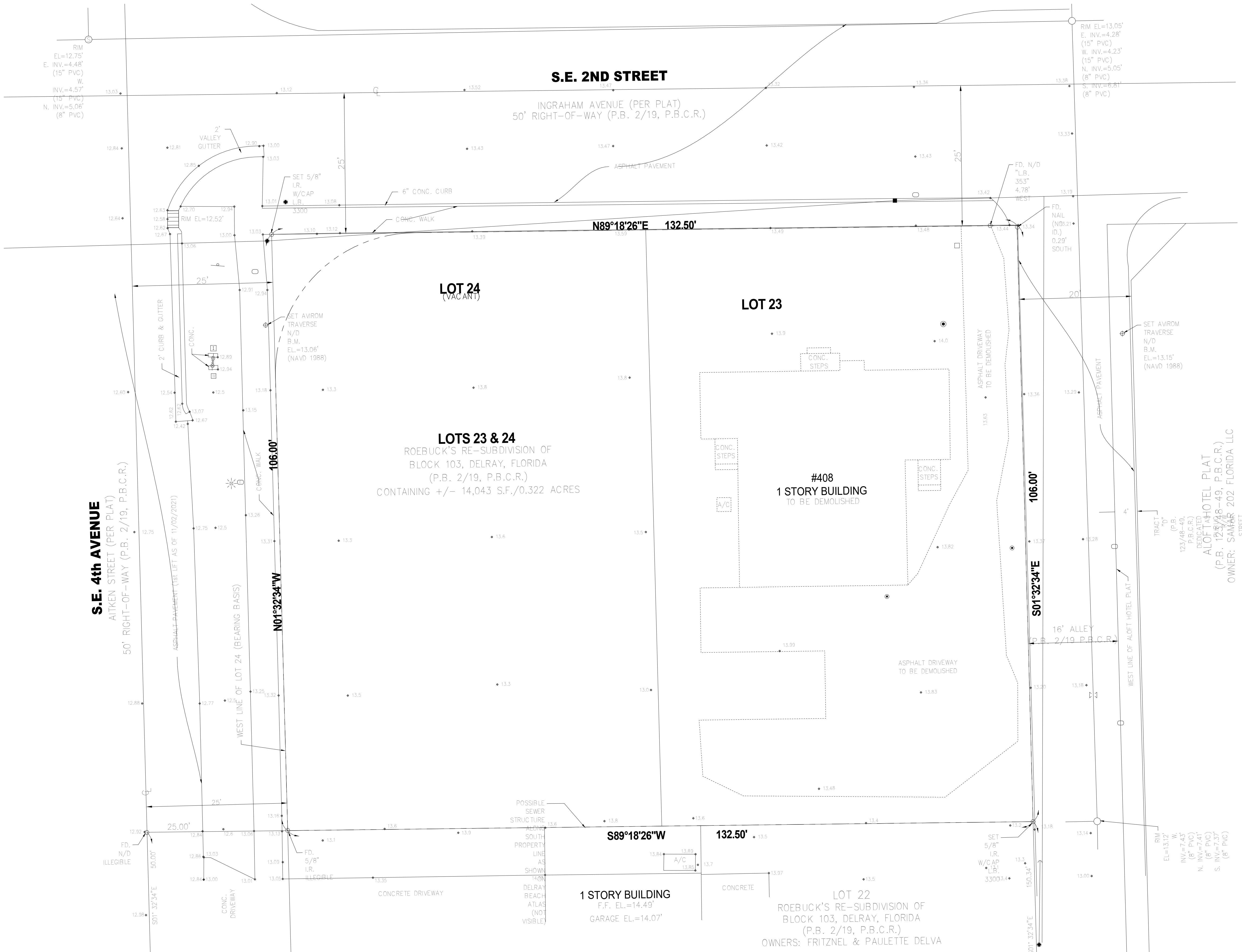
DRAWN
A.T.
CHECKED
S.A.
DATE
11/15/2021
SCALE
1/4" = 1'-0"
JOB NO.
21 5024
SHEET

A-13

OF # SHEETS



OF # SHEETS



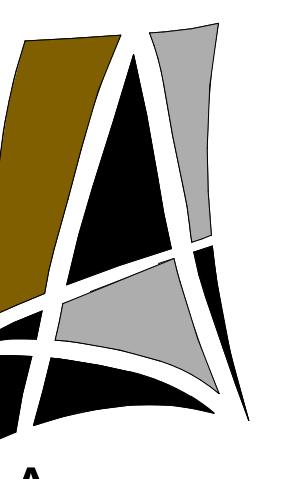
SPRAB SEI (REVISION #1)

DELRAY BEACH TOWNHOMES

REVISIONS

DEMOLITION NOTES:

1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
7. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
8. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
9. FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC.
12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
15. GC. AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.



DRAWN
A.T.
CHECKED
S.A.
DATE
12/15/2021
SCALE
As indicated
JOB NO.
21_5024
SHEET 1
D-01
SHEETS

DELRAY BEACH TOWNHOMES

BEING A REPLAT OF LOTS 23 AND 24, ROEBUCK'S RE-SUBDIVISION OF BLOCK 103, DELRAY BEACH, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA
SAID LANDS SITUATE AND BEING IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST
CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.

DEDICATION:

STATE OF FLORIDA)
COUNTY OF PALM BEACH) SS

KNOW ALL MEN BY THESE PRESENTS: THAT CENTENNIAL INVESTMENTS DB, LLP, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LAND AS SHOWN ON THIS PLAT, DELRAY BEACH TOWNHOMES, BEING A REPLAT OF LOTS 23 AND 24, ROEBUCK'S RE-SUBDIVISION OF BLOCK 103, DELRAY BEACH, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

LOT 23, OF ROEBUCK'S RE-SUBDIVISION OF BLOCK 103, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LOT 24, OF ROEBUCK'S RE-SUBDIVISION OF BLOCK 103, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 14,043 SQUARE FEET (0.322 ACRES) MORE OR LESS.

HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS DELRAY BEACH TOWNHOMES AND FURTHER DEDICATES AS FOLLOWS:

TRACT "A" IS HEREBY DEDICATED TO THE CITY OF DELRAY BEACH AS PUBLIC RIGHT-OF-WAY FOR STREET AND UTILITY PURPOSES.

UNITS 1, 2 AND 3 AS SHOWN HEREON, ARE HEREBY RESERVED TO THE FEE SIMPLE OWNER, ITS SUCCESSORS AND ASSIGNS, FOR USE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF DELRAY BEACH, FLORIDA.

ALONG WITH THE FOLLOWING EASEMENTS:

THE GENERAL UTILITY EASEMENT (G.U.E.), AS SHOWN HEREON IS MADE TO ANY PUBLIC OR PRIVATE UTILITY, SUCH AS BUT NOT LIMITED TO, STORM DRAINAGE, ELECTRIC POWER, GAS SERVICE, TELEPHONE LINES, AND CABLE TELEVISION; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITY AND SERVICES OF ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC FACILITY.

THE ACCESS EASEMENT, AS SHOWN HEREON IS A PRIVATE EASEMENT MADE FOR THE BENEFIT OF UNIT 2 FOR INGRESS AND EGRESS.

IN WITNESS WHEREOF, CENTENNIAL INVESTMENTS DB, LLP, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGING PARTNER AND ITS CORPORATE SEAL TO BE AFFIXED HERETO AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, THIS _____ DAY OF _____, 20____.

CENTENNIAL INVESTMENTS DB, LLP,
A FLORIDA LIMITED LIABILITY COMPANY

WITNESS: _____
(PRINT NAME)

BY: _____
NAME: ANTHONY MICHAEL STERN
TITLE: MANAGING PARTNER

WITNESS: _____
(PRINT NAME)

ACKNOWLEDGEMENT:

STATE OF FLORIDA)
COUNTY OF PALM BEACH) SS

BEFORE ME PERSONALLY APPEARED _____ WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED _____ AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS _____, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE/SHE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS THIS _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES: _____
COMMISSION NUMBER: _____

NOTARY SEAL
(PRINT NAME) _____
(NOTARY PUBLIC) _____

ACCEPTANCE OF RESERVATIONS:

STATE OF FLORIDA)
COUNTY OF PALM BEACH) SS

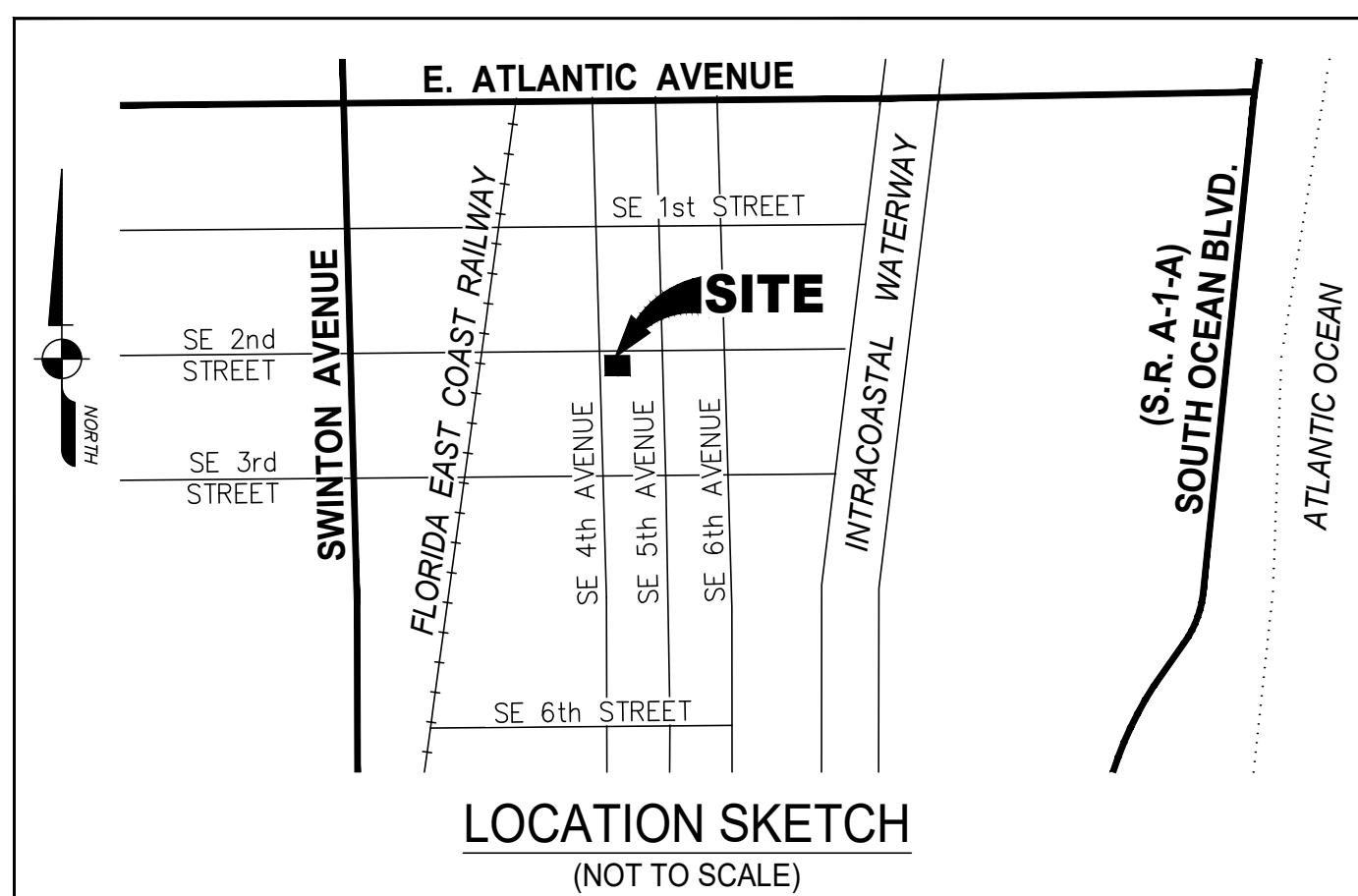
DELRAY BEACH TOWNHOMES HOA, A FLORIDA NOT-FOR-PROFIT CORPORATION, HEREBY ACCEPTS THE DEDICATIONS OR RESERVATIONS TO SAID ASSOCIATION AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS TO SAME STATED HEREON DATED THIS _____ DAY OF _____, 20____.

DELRAY BEACH TOWNHOMES HOA
A FLORIDA NOT-FOR-PROFIT CORPORATION

WITNESS: _____
(PRINT NAME)

BY: _____
PRINT NAME: _____
TITLE: _____

WITNESS: _____
(PRINT NAME)



THIS INSTRUMENT WAS PREPARED BY:
MARISHA M. KREITMAN, P.S.M.
AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2594
L.B. #3300

STATE OF FLORIDA
COUNTY OF PALM BEACH)

THIS PLAT WAS FILED FOR
RECORD AT _____ M.

THIS ____ DAY OF _____

A.D. 20____ AND DULY RECORDED
IN PLAT BOOK _____ ON

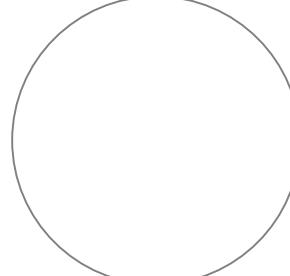
PAGES _____ THROUGH _____

JOSEPH ABRUZZO
CLERK OF THE CIRCUIT COURT
AND COMPTROLLER

BY: _____ DEPUTY CLERK

SHEET 1 OF 2

CLERK OF
CIRCUIT COURT
& COMPTROLLER



TITLE CERTIFICATION:

I, _____, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HERON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE HERON DESCRIBED PROPERTY IS VESTED IN CENTENNIAL INVESTMENTS DB, LLP, A FLORIDA LIMITED LIABILITY COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: _____ BY: _____

PRINT NAME: _____
ATTORNEY-AT-LAW IN FLORIDA

CITY OF DELRAY BEACH:

THIS PLAT OF "DELRAY BEACH TOWNHOMES", WAS APPROVED ON THE _____ DAY OF _____, A.D. 20____, BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA.

MAYOR: _____ ATTEST: _____
CITY CLERK

AND REVIEWED, ACCEPTED, AND CERTIFIED BY:

BY: _____ DIRECTOR OF PLANNING, ZONING & BUILDING

BY: _____ CHAIRPERSON, PLANNING AND ZONING BOARD

BY: _____ CITY ENGINEER

BY: _____ CITY OF DELRAY BEACH FIRE MARSHAL

BY: _____ DIRECTOR, ENVIRONMENTAL SERVICES

REVIEWING SURVEYOR:

THIS IS TO CERTIFY THAT THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER, UNDER CONTRACT WITH THE CITY OF DELRAY BEACH, FLORIDA, HAS REVIEWED THIS PLAT OF "DELRAY BEACH TOWNHOMES", AS REQUIRED BY CHAPTER 177.081(1), FLORIDA STATUTES, AND FINDS THAT IT COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES.

DATED: _____

DAVID P. LINDLEY, P.L.S.
FLORIDA REGISTRATION NO. 5005
CAULFIELD & WHEELER, INC.
L.B. NO. 3591
7900 GLADES ROAD, SUITE 100
BOCA RATON, FLORIDA 33434

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.'S") AND MONUMENTS ACCORDING TO SEC. 177.091(9) F.S., HAVE BEEN PLACED AS REQUIRED BY LAW, AND, FURTHER THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF CITY OF DELRAY BEACH, FLORIDA.

DATED: _____

MARISHA M. KREITMAN, P.S.M.
FLORIDA REGISTRATION NO. 6555
AVIROM & ASSOCIATES, INC.,
L.B. NO. 3300
50 S.W. 2nd AVENUE, SUITE 102,
BOCA RATON, FLORIDA, 33432

NOTICE:

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

