



BECKWORTH HOUSE

 231 VENETIAN DRIVE
 DELRAY BEACH, FLORIDA


BUILDING DESIGN DATA

 Occupancy: R-3
 Type of Construction: V-B (Unprotected), Unsprinklered

FLOOD ZONE: "AE" (Base Floor Elevation 6.0')

PROPERTY DATA:

Parcel Control Number

12-43-46-16-14-005-0041

Official Records Book: 31345 / 1389

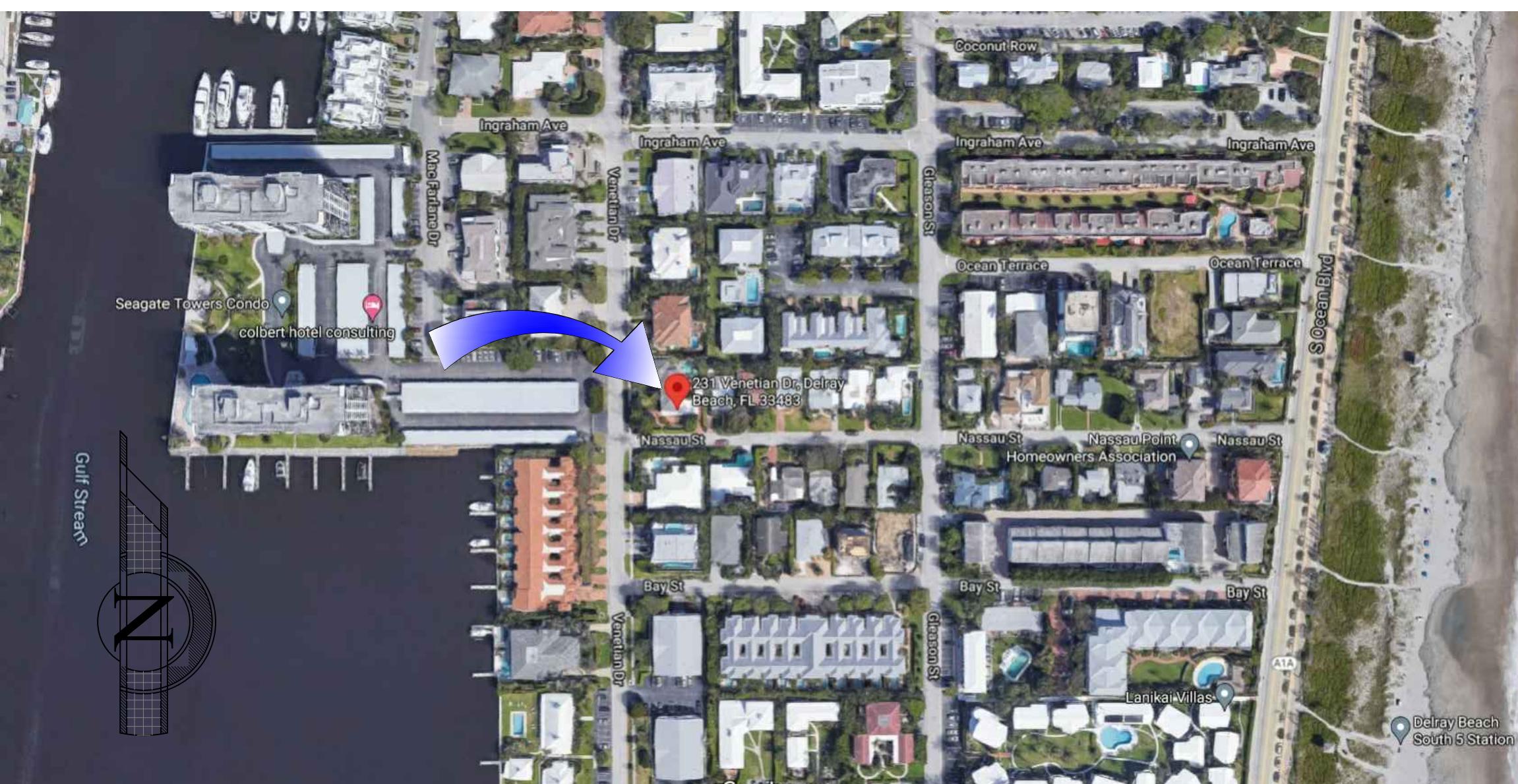
Legal Description

 JOHN B REIDS VILLAGE S 20.5 FT OF N 59.62 FT OF E 38.64 & S
 40.05 FT OF LT 4 BLK E (NASSAU ST HISTORIC DIST)

Zoning

RM - Multiple Family (HISTORIC DISTRICT)

VICINITY MAP



EXTERIOR DOOR SCHEDULE

MARK	SIZE	TYPE	MATERIAL	ROOM NAME	GLASS COLOR	FRAME COLOR	REMARKS
D1	20'-0"	7'-0"	Overhead	Metal	New Garage	White	
D2	3'-0"	6'-8"	Swing	Metal	New Garage	White	

NOTES:

1. SIZES LISTED AS FOOT/INCHES/FOOT/INCHES.
2. ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION. ANY QUESTIONS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO FABRICATION.
3. HARDWARE IS TO BE SELECTED BY OWNER OR INTERIOR DESIGNER.
4. DOORS QUANTITIES VERIFIED BY OTHERS. TEMPER GLASS AS REQUIRED.
5. ALL EXTERIOR DOORS/WINDOWS TO BE IMPACT RESISTANT WITH PRODUCT CODE APPROVALS.
6. ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURERS CUT SHEET/PRODUCT APPROVALS)
7. ALL EGRESS WINDOWS IN SLEEPING ROOM SHALL COMPLY WITH FBC-R 310.2. SHOULD HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ FT., 5.0 SQ FT ON GRADE LEVEL. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F., WIDTH SHALL BE 20" MIN. CLEAR OPEN AND NET CLEAR HEIGHT OF 24 IN. AND 20 IN. NET CLEAR WIDTH. (G.C. TO VERIFY WITH MANUFACTURER)
8. ALL GLASS SHOULD BE CLEAR (NO TINT) AND NON REFLECTIVE.
9. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH FBC-R4501.17.1.9
10. ALL WINDOWS/DOORS SHALL COMPLY WITH FBC 5TH EDITION (2020)

PROVIDE WINDOW FLASHING CONSISTING OF WINDOWSEAL™40 OR EQUAL. WINDOWSEAL™40 IS A 40 MIL SELF-ADHERING, SELF-SEALING CONSTRUCTION TAPE CONSISTING OF RUBBERIZED ASPHALT WATERPROOFING COATING, LAMINATED TO AN EXTRA HIGH STRENGTH POLYETHYLENE FILM BACKING

 NOTE:
 SEE STRUCTURAL ENGINEER DRAWINGS FOR REQUIRED DOOR & WINDOW PRESSURES.

 ROUGH OPENING WINDOW/DOOR GENERAL NOTE:

- ROUGH OPENINGS FOR EXTERIOR WINDOWS ARE A TOTAL OF 3-1/4" WIDER AND 3-1/4" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.
- ROUGH OPENINGS FOR EXTERIOR DOORS ARE A TOTAL OF 3-1/4" WIDER AND 2" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.

APPLICABLE CODES

1. FLORIDA BUILDING CODE 2020.
2. FLORIDA BUILDING CODE 2020 EXISTING EDITION.
3. A.C.I. 318-11 FOR REINFORCED CONCRETE.
4. A.S.T.M. STANDARDS AND SPECIFICATIONS. AMERICAN SOCIETY FOR TESTING AND MATERIALS.
5. NATIONAL PEST CONTROL ASSOCIATION STANDARDS.
6. FLORIDA ACCESSIBILITY CODE 2020.

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DESIGN CRITERIA AND LOADS

BUILDING DESIGNED AS:	ENCLOSED
WIND EXPOSURE CLASSIFICATION:	C
WIND SPEED DESIGN:	170 MPH (3 sec. gust)
INTERNAL PRESSURE COEFFICIENT	±0.18
Kd	0.85
MAXIMUM ROOF HEIGHT	12.0'
MEAN ROOF HEIGHT	10.0'
ROOF LIVE LOAD:	30 PSF
TOP CHORD DEAD LOAD:	15 PSF
BOT CHORD DEAD LOAD:	10 PSF
IMPORTANCE/USE FACTOR:	1.0
BUILDING CATEGORY	II
MIN. SOIL BEARING PRESSURE:	
SHUTTERS:	NO
IMPACT RESISTANT ASSEMBLY:	YES
IS A CONT. LOAD PATH PROVIDED	YES
ARE COMPONENT & CLADDING DETAILS PROVIDED	YES

 ZONE 4 = +49.16 PSF, -53.51 PSF
 ZONE 5 = +49.16 PSF, -64.38 PSF
 SEE ROOF, WIND ZONE PRESSURE DIAGRAM FOR
 ZONE LAYOUT, SIZE AND PRESSURE.

PROJECT TEAM

 ARCHITECTURE
 JSR DESIGN GROUP
 ONE WEST CAMINO REAL,
 BOCA RATON FL 33432
 (561) 362-7203

 SURVEYOR
 BASELINE LAND SURVEY
 1400 NW 1ST COURT,
 BOCA RATON FL 33432
 (561) 417-0700

 LANDSCAPE
 AGTLAND
 132 NORTH SWINTON AVE,
 DELRAY BEACH FL 33444
 (561) 276-5050

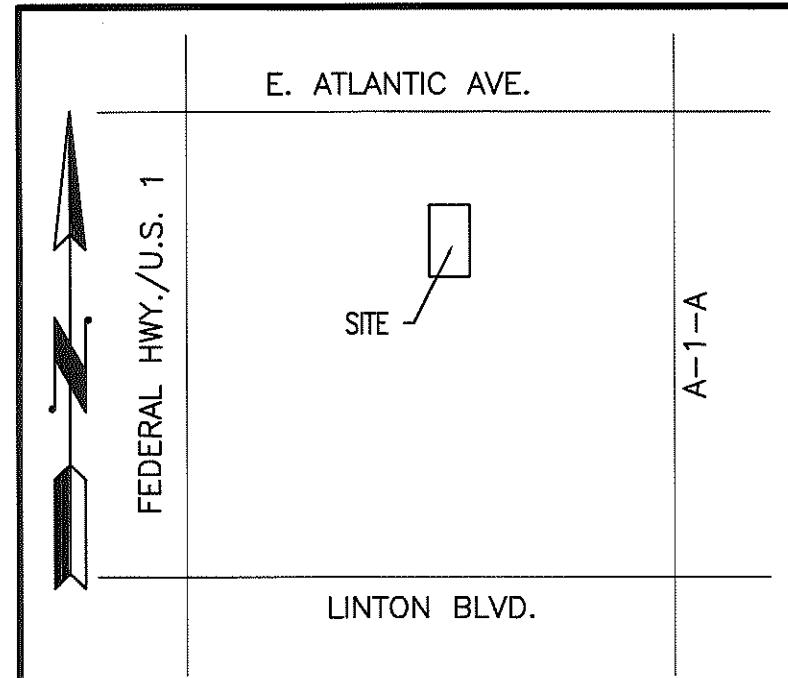
 GENERAL CONTRACTOR
 NATE CUSTODIO (MARACORE BUILDERS)
 132 N SWINTON AVENUE
 DELRAY BEACH, FL 33444
 (561) 715-5050

 CIVIL
 ENVIRO DESIGN ASSOCIATES (JOE PIKE)
 298 PINEAPPLE GROVE WAY
 DELRAY BEACH, FL 33444
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LOCATION MAP

NOT TO SCALE

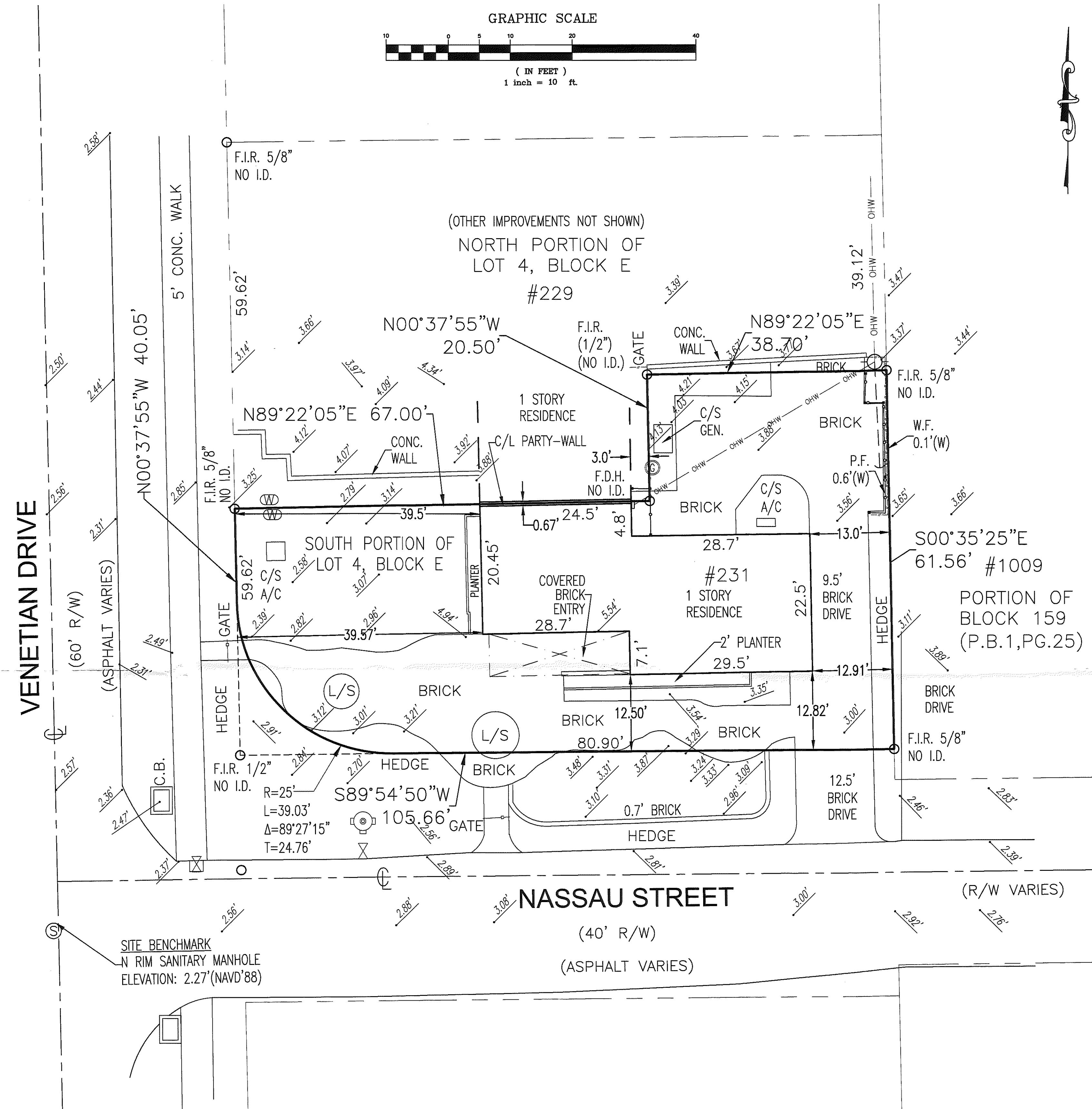
LEGEND

A/C	= AIR CONDITIONER
B.R.L.	= BUILDING RESTRICTION LINE
C.B.	= CATCH BASIN
C.B.S.	= CONCRETE BLOCK STRUCTURE
C	= CALCULATED
CL	= CENTER LINE
CH	= CHORD
C/S	= CONCRETE SLAB
CONC.	= CONCRETE
Δ	= DELTA (CENTRAL ANGLE)
D.E.	= DRAINAGE EASEMENT
EL, ELEV.	= ELEVATION
F.	= FOUND
F.D.H.	= FOUND DRILL HOLE
F.F.	= FINISHED FLOOR
F.I.P.	= FOUND IRON PIPE
F.I.R.	= FOUND IRON ROD
F.I.R.C.	= FOUND IRON ROD AND CAP
L	= ARC LENGTH
L.B.	= LICENSED SURVEY BUSINESS
LS	= LICENSED SURVEYOR
L/S	= LIFT STATION
M	= MEASURED
NO I.D.	= NO IDENTIFICATION
N/A	= NOT APPLICABLE
P.S.M.	= PROFESSIONAL SURVEYOR AND MAPPER
NAVD'88	= NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD'29	= NATIONAL GEODETIC VERTICAL DATUM OF 1929

P.S.M.	= PROFESSIONAL SURVEYOR AND MAPPER
NAVD'88	= NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD'29	= NATIONAL GEODETIC VERTICAL DATUM OF 1929
ISAOA	= ITS SUCCESSORS AND/OR ASSIGNS
ATIMA	= AS THEIR INTEREST MAY APPEAR
P	= PLAT
P.B.C.	= PALM BEACH COUNTY
P.B.	= PLAT BOOK
P.C.	= POINT OF CURVATURE
P.K.	= PARKER KALON COMPANY
D	= DEED
0.00'x	= SPOT ELEVATION
P.R.C.	= POINT OF REVERSE CURVATURE
PG.	= PAGE
R	= RADIUS
R/W	= RIGHT OF WAY
U.E.	= UTILITY EASEMENT
C.L.F.	= CHAINLINK FENCE
EM	= ELECTRIC METER

SYMBOLS

	CATCH BASIN
	WATER METER
	ANCHOR
	WOOD UTILITY POLE
	WOOD LIGHT POLE
	CONCRETE UTILITY POLE
	CONCRETE LIGHT POLE
	FIRE HYDRANT
	CABLE BOX
	ELECTRIC BOX
	TELEPHONE BOX
	WATER VALVE
	IRRIGATION VALVE
— OHW — OHW —	OVERHEAD WIRE LINE (OHW)
— x —	CHAIN LINK FENCE (C.L.F.)
— // —	WOOD FENCE (W.F.)
— □ —	METAL FENCE (M.F.)
— o —	PLASTIC FENCE (P.F.)
— >< —	WIRE FENCE (W.F.)



LEGAL DESCRIPTION:

LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, AN ADDITION TO THE CITY OF DELRAY BEACH, FLORIDA,
ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN
AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 21, PAGE 95.
LESS THE FOLLOWING DESCRIBED PORTION:

THE NORTH 39.12 FEET OF THE NORTH 59.62 FEET AND THE WEST 67 FEET OF THE SOUTH 20.5 FEET OF THE NORTH 59.62 FEET OF THE LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC LAND RECORDS OF PALM BEACH COUNTY, FLORIDA.

BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "17.163"
ELEVATION: 15.617'(NAVD'88)

SURVEYOR'S NOTES:

SURVEYOR'S NOTES:
LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO (NAVD'88) UNLESS OTHERWISE NOTED.

TITLE: MAP OF BOUNDARY SURVEY			SCALE: 1" = 10'	NOTES/REVISIONS	THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. <i>J.E.K.</i>
COMMUNITY PANEL# 125102-0983-F	FLOOD ZONE: AE	BASE FLOOD EL.: 6.0' (NAVD'88)	DRAWN BY: NLR.		
			CHECKED BY: J.E.K.		
DATE OF FIRM: 10/05/2017	<u>BASIS OF BEARING:</u> N R/W LINE OF NASSAU STREET, SAID LINE HAVING AN ASSUMED PLAT BEARING OF S89°54'50"W.			UPDATED: 10/18/20	11/05/2020 Date JOHN E. KUHAR PSM., STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 6711 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
PROPERTY ADDRESS: 231 VENETIAN DRIVE, DELRAY BEACH, FLORIDA 33483				PARTY CHIEF: NICK	
				SURVEY DATE: 02/04/20	

Baseline Land Survey LLC
1400 N.W. 1st COURT
BOCA RATON, FL. 33432
Ph.(561) 417-0700



LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR9571

JSR DESIGN GROUP INC.
1 W. CAMINO REAL SUITE 107E
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AIA#2002033

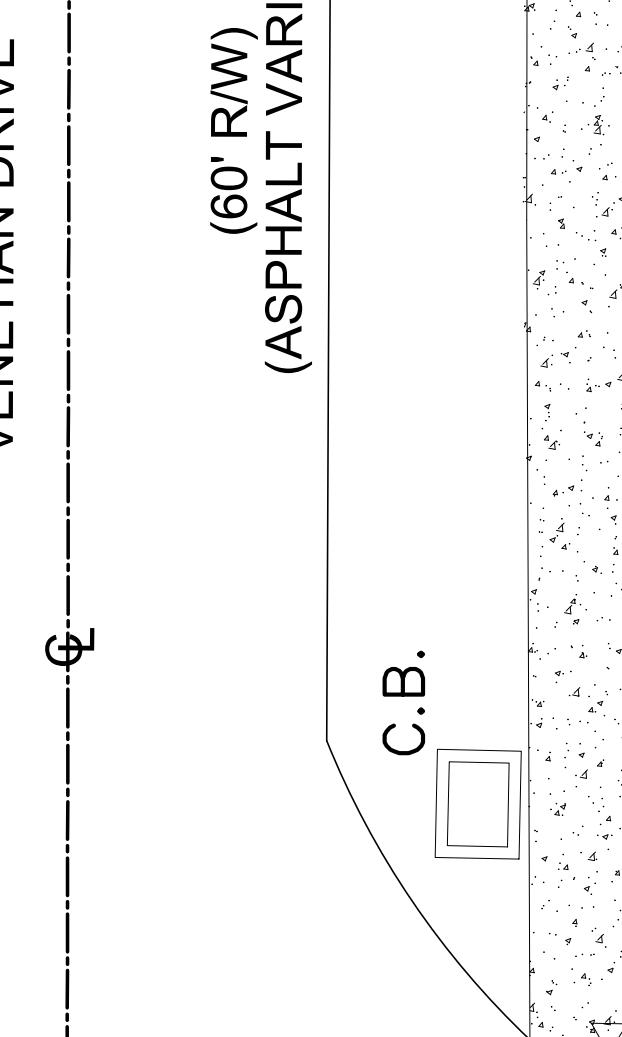
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13022
SP

ZONING: RM	REQUIRED/PERMITTED	EXISTING STRUCTURE	PROPOSED ADDITION
FRONT SETBACK (WEST)	25'-0"	39'-8"	NO CHANGE
SIDE INTERIOR SETBACK (NORTH)	0'-0"	0'-0" - 5'-10" - 26'-4"	0'-0" - 0'-6" - 2'-2" - 0'-10"
SIDE STREET SETBACK (SOUTH)	25'-0"	12'-3" - 12'-10"	NO CHANGE
REAR SETBACK (EAST)	15'-0"	13'-0"	13'-0" - 15'-2"
HEIGHT/FLOORS	35'-0"	12'-8"	NO CHANGE
WIDTH OF SITE	60'-0"	40'-0"	NO CHANGE
DEPTH OF SITE	100'-0"	80'-0"	NO CHANGE
FRONTAGE	60'-0"	27'-9"	NO CHANGE
TOTAL SITE AREA	8,000 s.f.	4,947 s.f.	NO CHANGE
PERVIOUS/IMPERVIOUS AREA	N/A	1,629 s.f./3,318 s.f.	1,978 s.f./2,969 s.f.
OPEN SPACE (LANDSCAPE)	25% min (1,237 s.f.)	33% min (1,629 s.f.)	29.6% min (1,467 s.f.)
Hardscape	N/A	2,002 s.f.	1,618 s.f.
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA	1,000 s.f.	1,152 (AC) + 166 (Non AC)	1,318 + 544 (Non AC) 1,862 s.f.
TOTAL FLOOR AREA	900 s.f. (MIN)	1,318 s.f.	1,862 s.f.
LOT COVERAGE	40%	27 %	37.6 %
FLOOR AREA RATIO	N/A	0.27	0.38
NUMBER OF DWELLING UNITS	1	1	1
DENSITY (UNITS PER ACRE)	6-12 (UNITS PER ACRE)	6-12 (UNITS PER ACRE)	6-12 (UNITS PER ACRE)
POOL FRONT (WEST) SETBACK	25' MIN	N/A	13'-8" - 10'-9"
POOL SIDE INTERIOR SETBACK (NORTH)	0' MIN	N/A	4'-0"
POOL REAR (EAST) SETBACK	15' MIN	N/A	79'-11"
POOL SIDE STREET (SOUTH)	25' MIN	N/A	16'-4" - 10'-9"

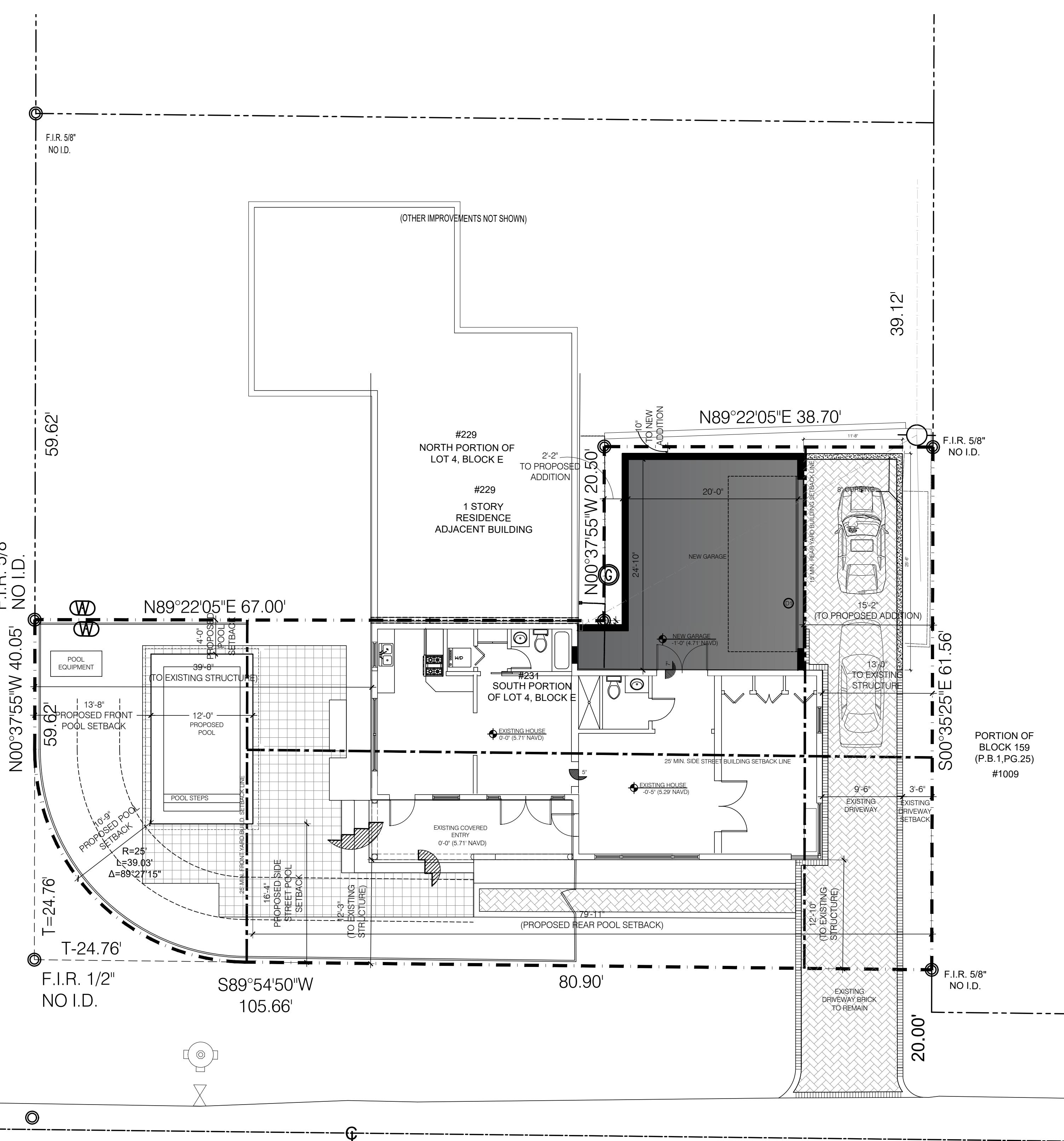
SEE SHEET S-2 FOR POOL DIMENSIONS

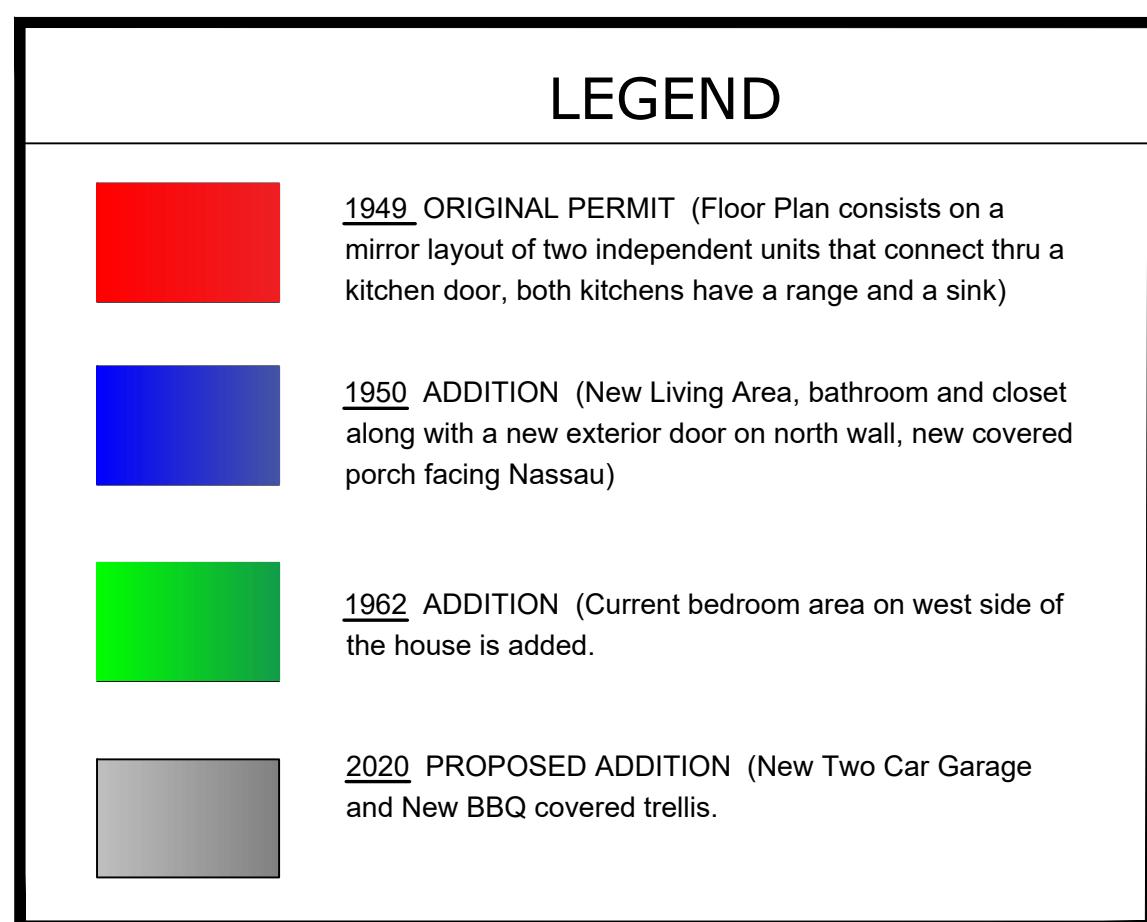


SITE BENCHMARK
N RIM SANITARY MANHOLE
ELEVATION: 2.27' (NAVD'88)

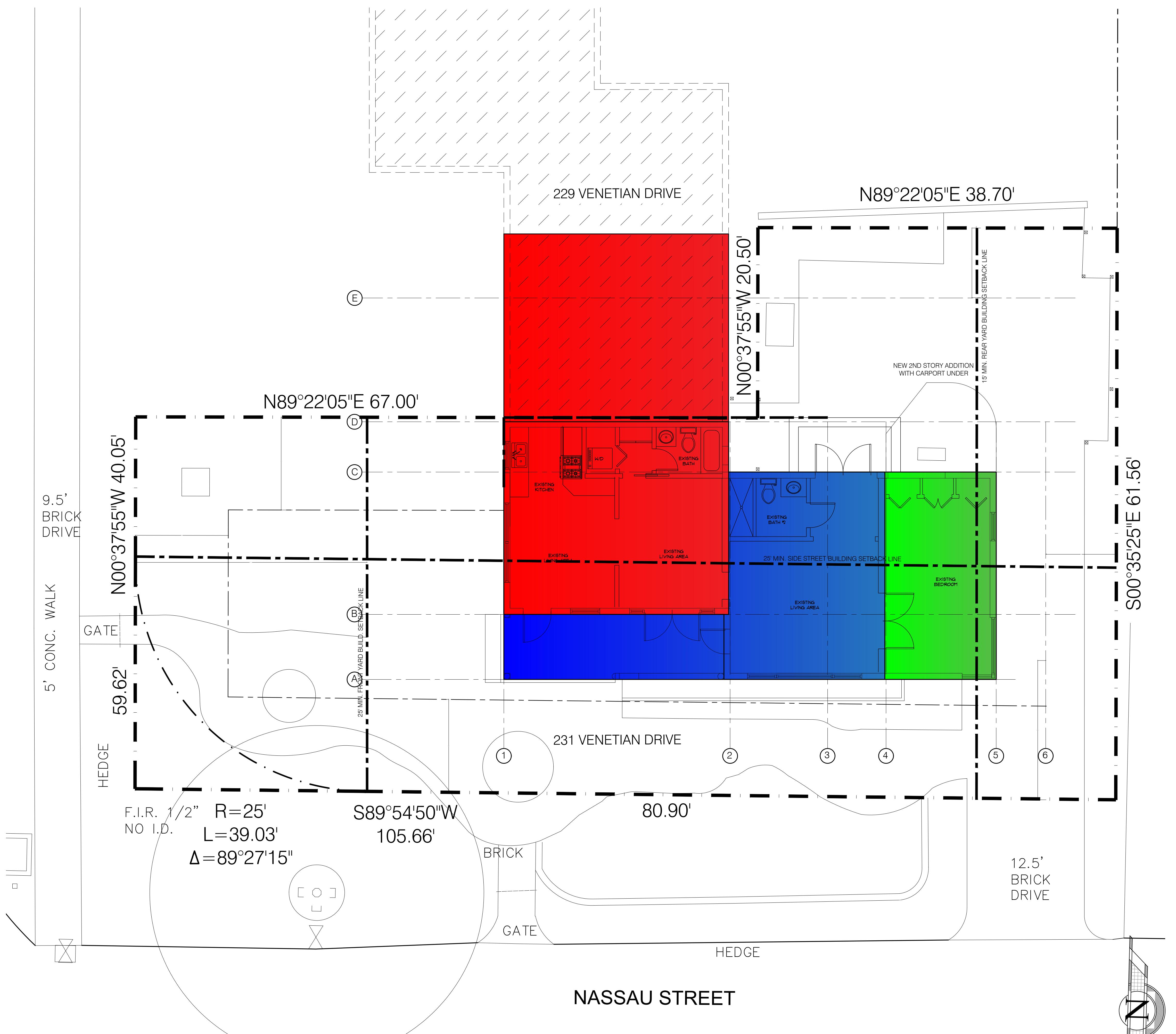
NOTE
FOR POOL INFORMATION, POOL SETBACKS,
Hardscape and Materials PLEASE
REFER TO SHEET S-2 (SITE DETAILS)

PROPOSED SITE PLAN
SCALE: 1/8" = 1'- 0"





Represents 229 Venetian Drive property



CHRONOLOGY OF ADDITIONS

SCALE: 3/16" = 1'- 0"

LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR 9371

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SP1



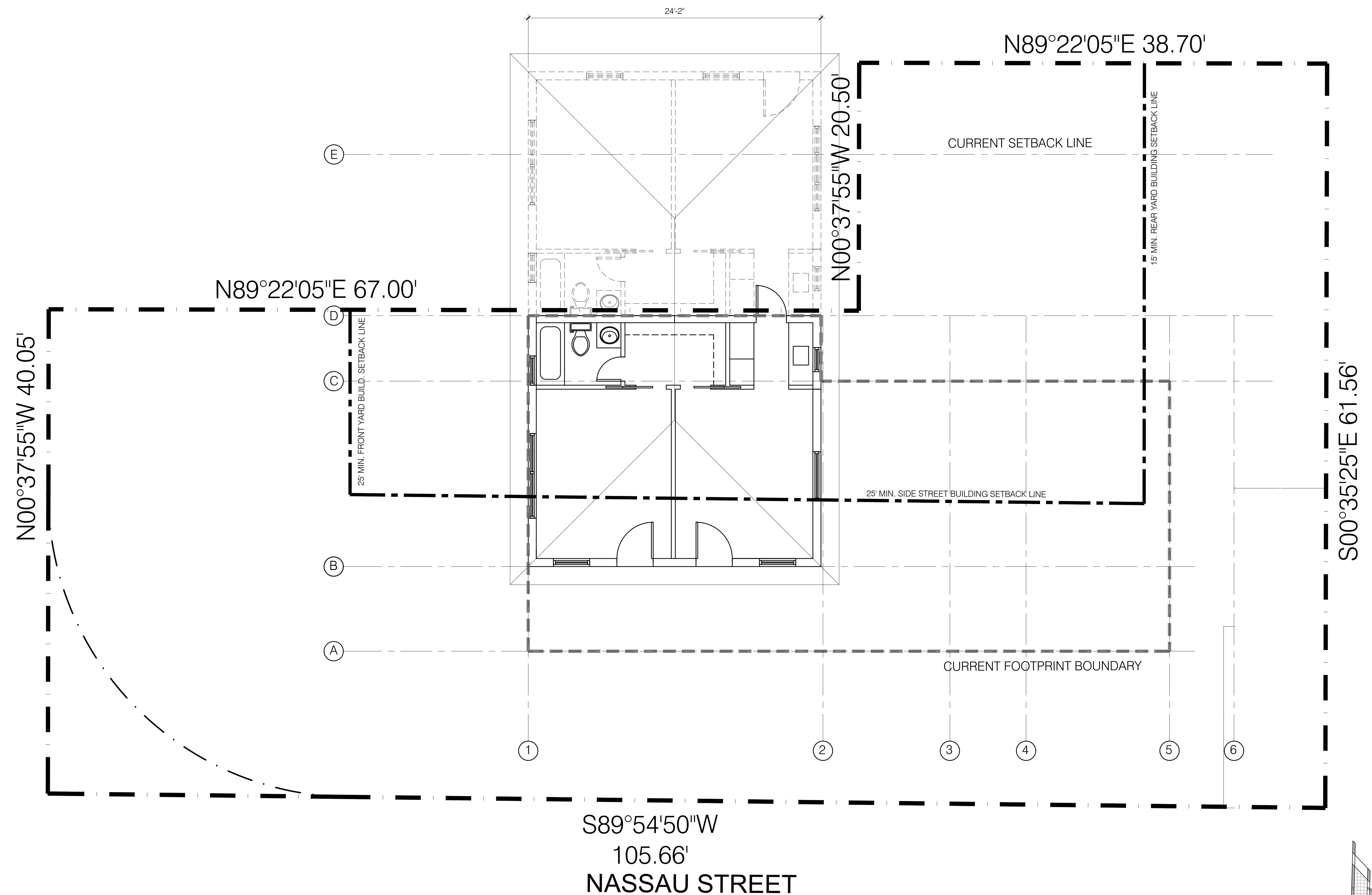
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SP2



1949 ORIGINAL LAYOUT

SCALE: 1/4" = 1'-0"



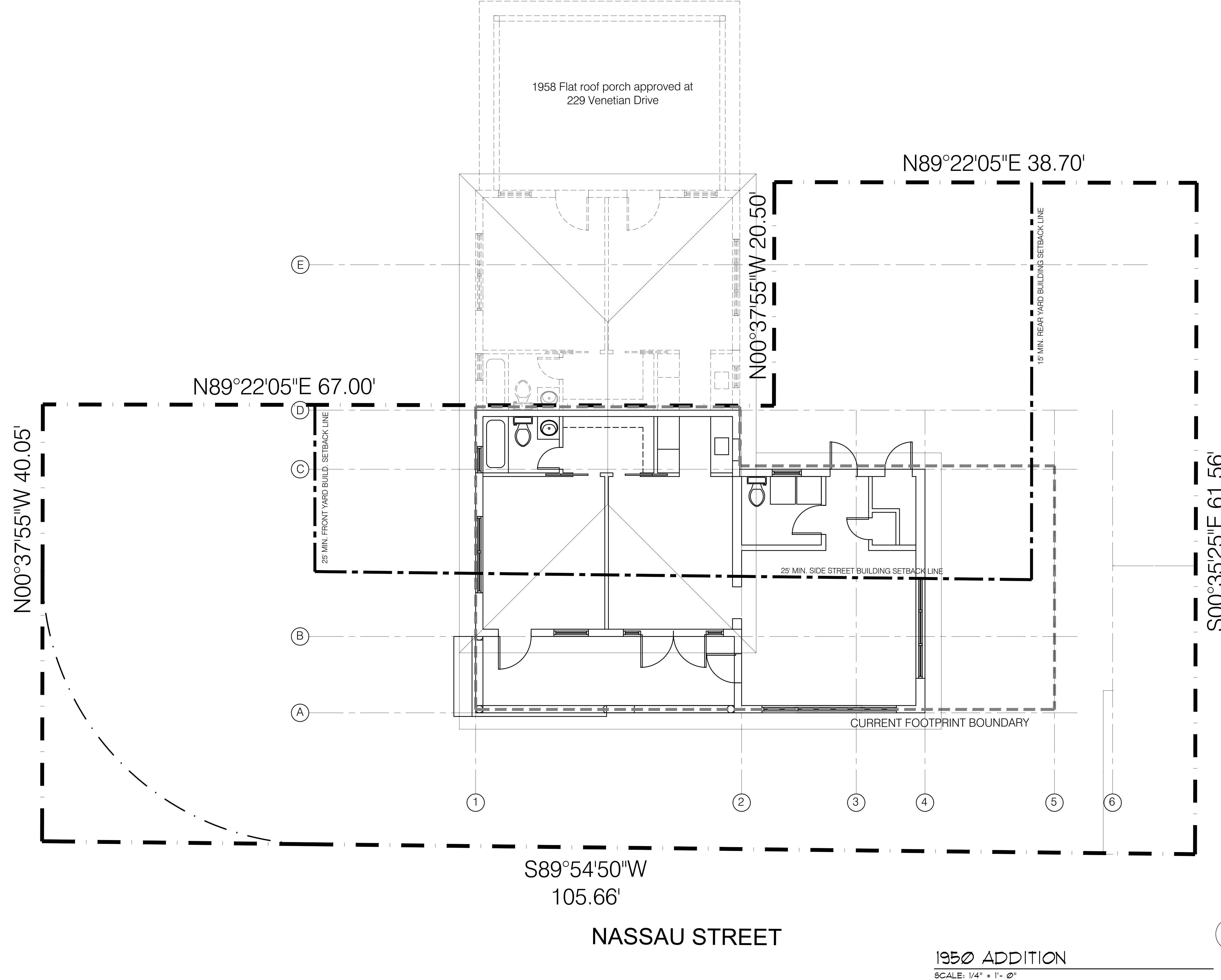
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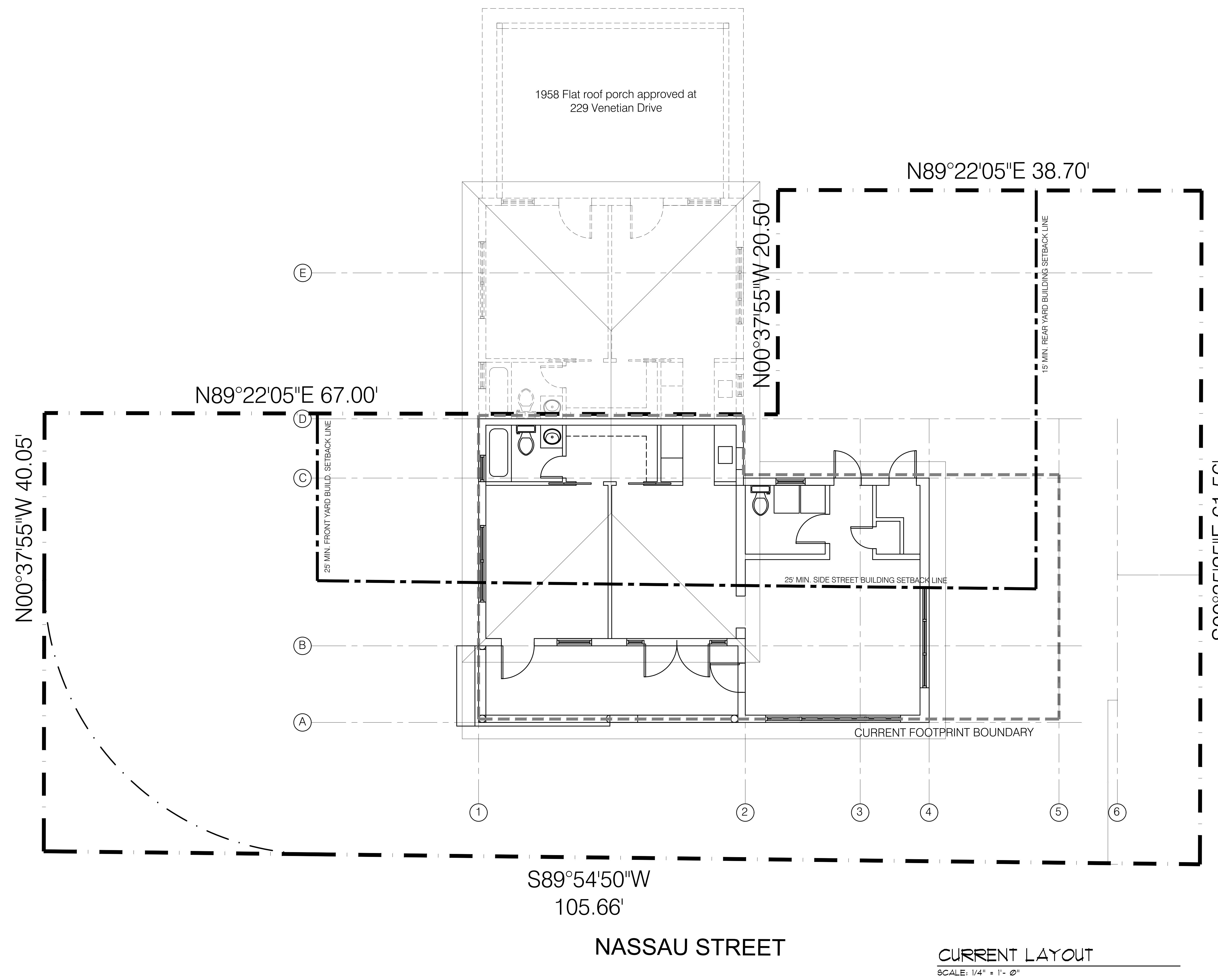
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SP3





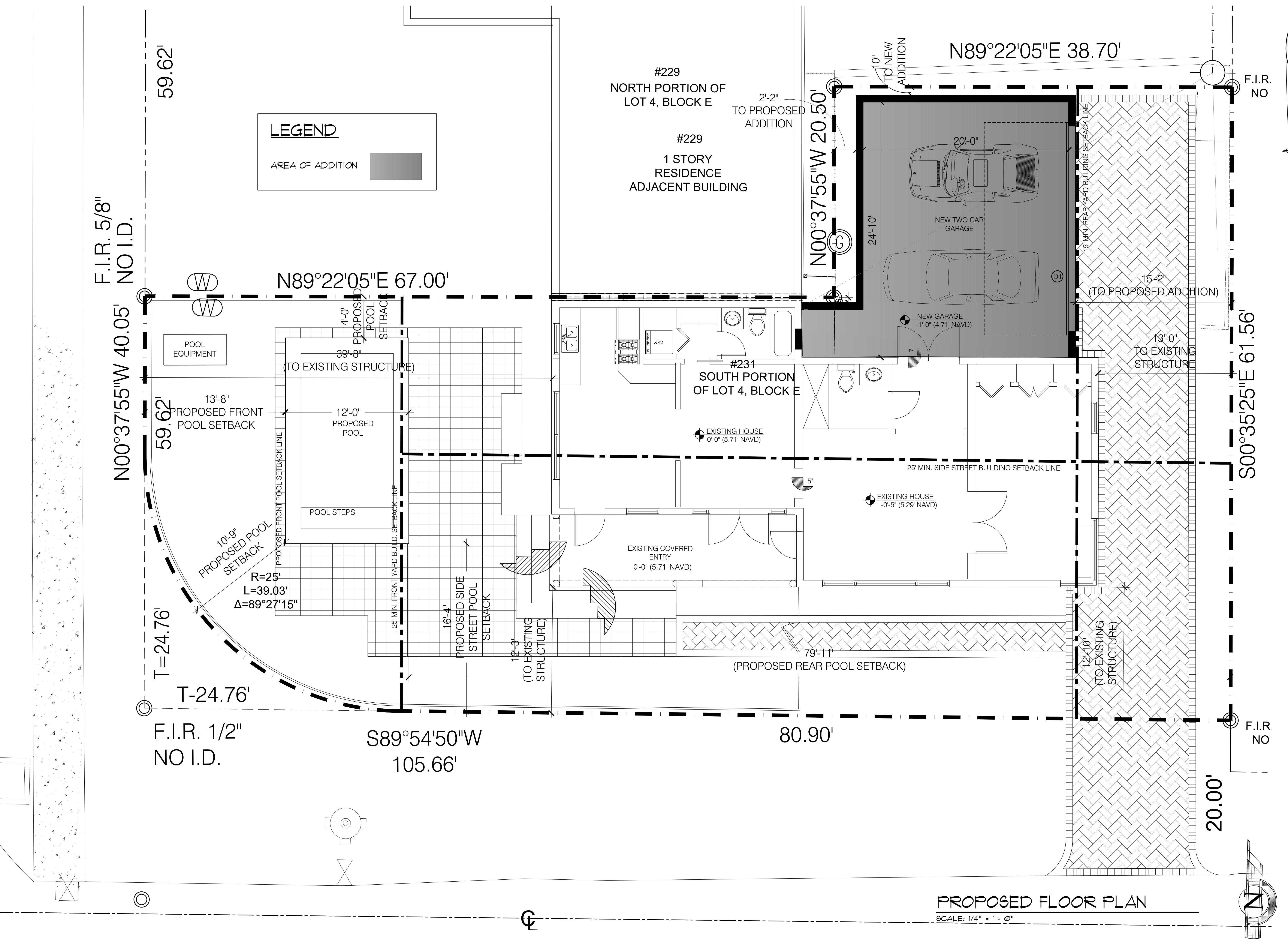


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SP5





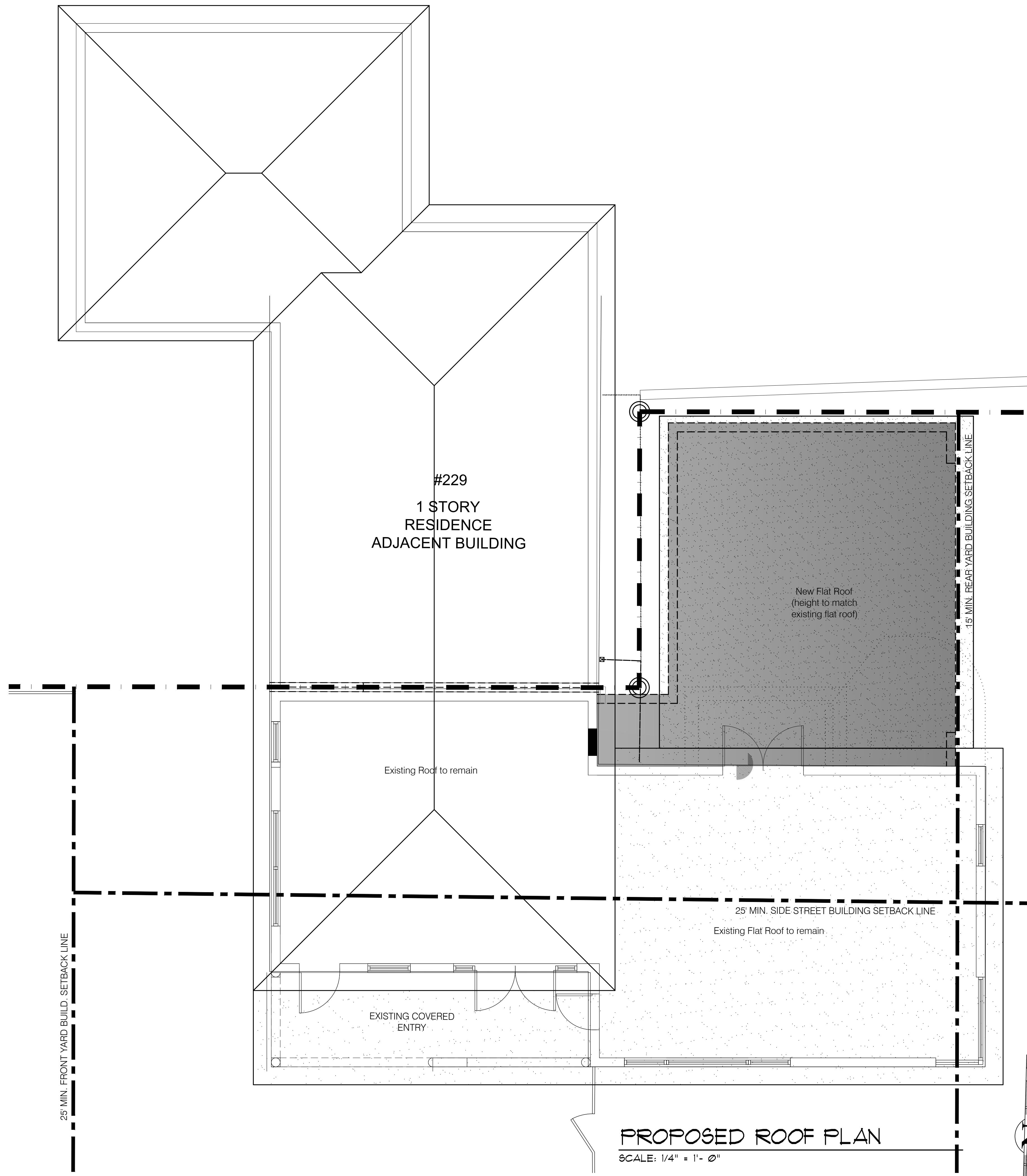
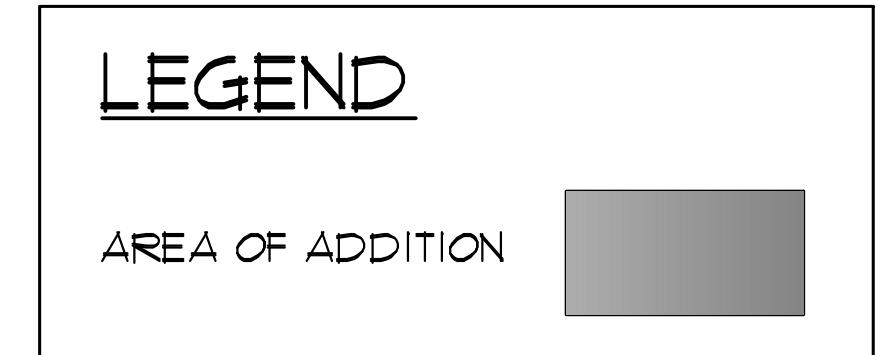
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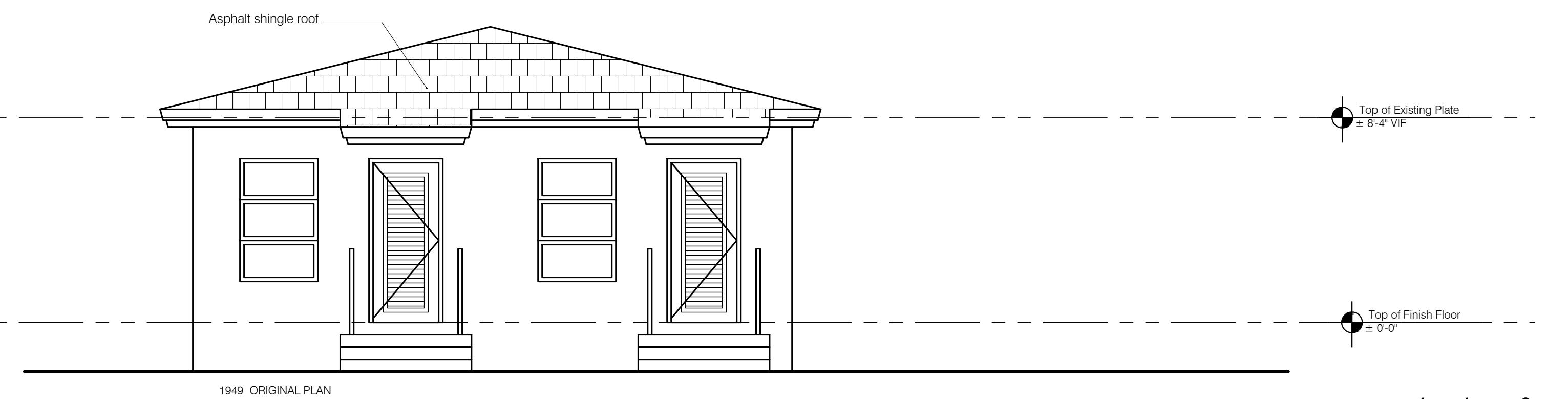
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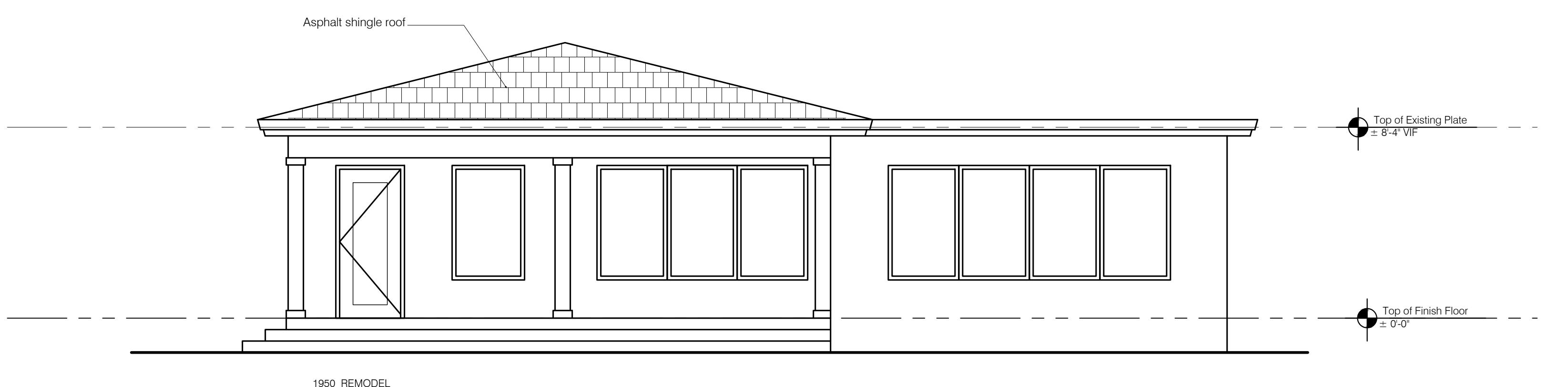
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SP6





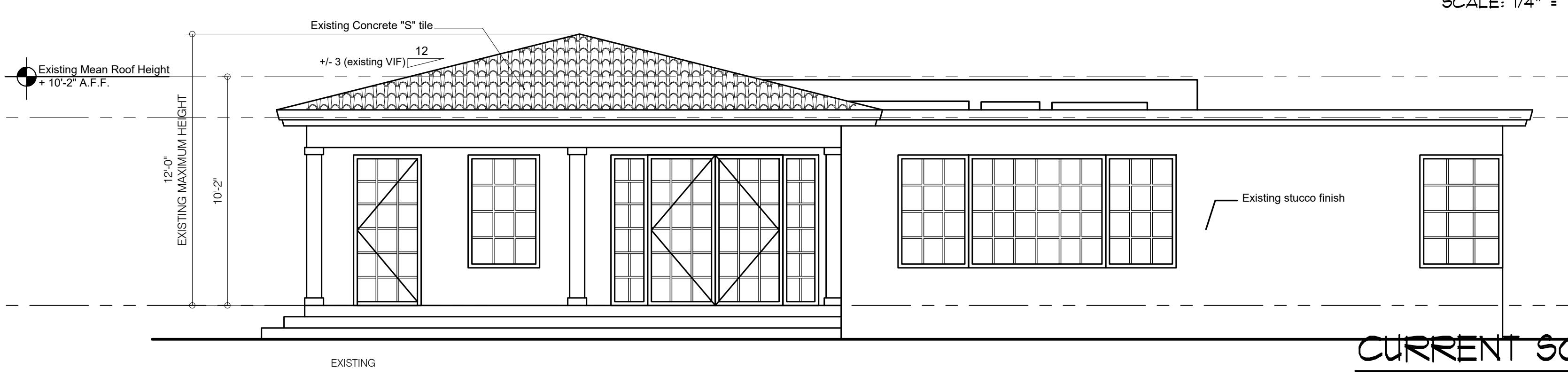
1949 SOUTH ELEVATION

SCALE: 1/4" = 1'- 0"



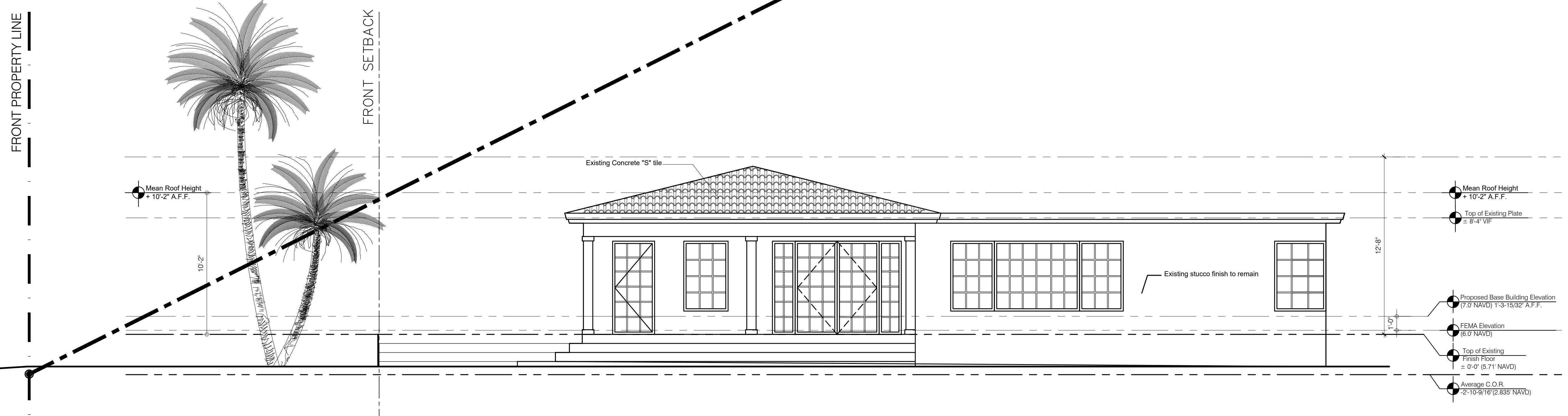
1950 SOUTH ELEVATION

SCALE: 1/4" = 1'- 0"



CURRENT SOUTH ELEVATION

SCALE: 1/4" = 1'- 0"



SHADED AREA REPRESENTS PROPOSED ADDITION

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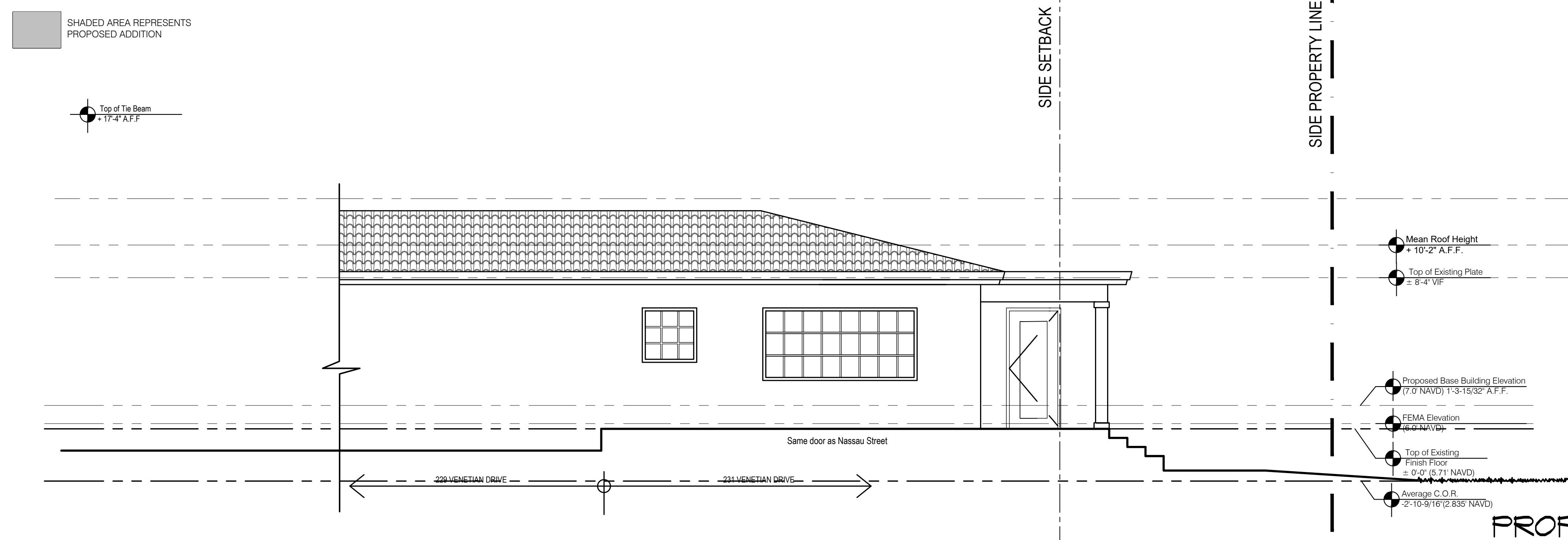
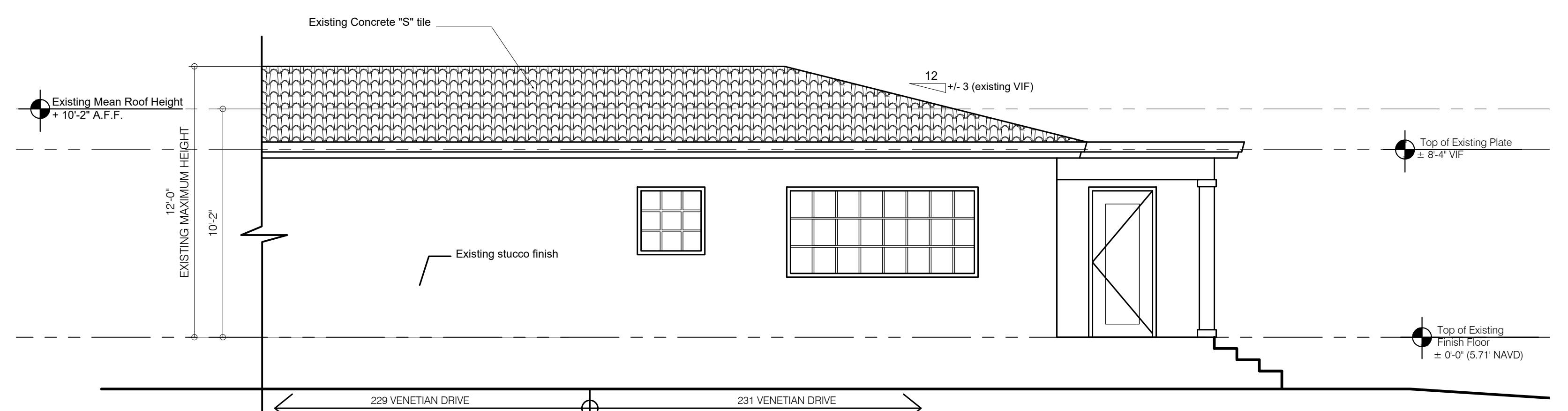
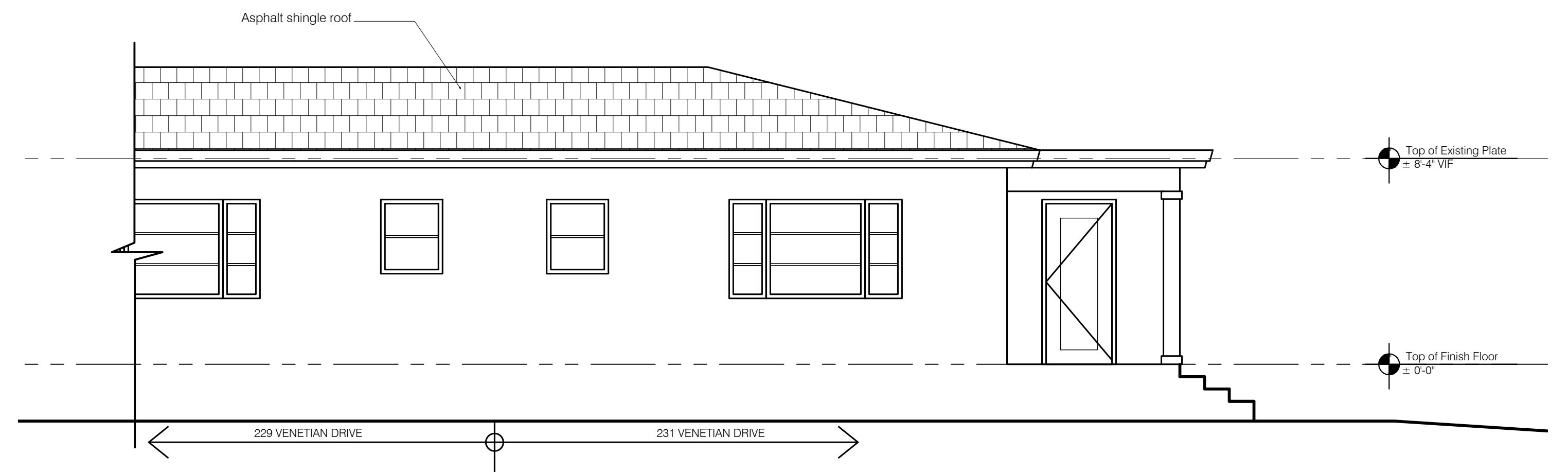
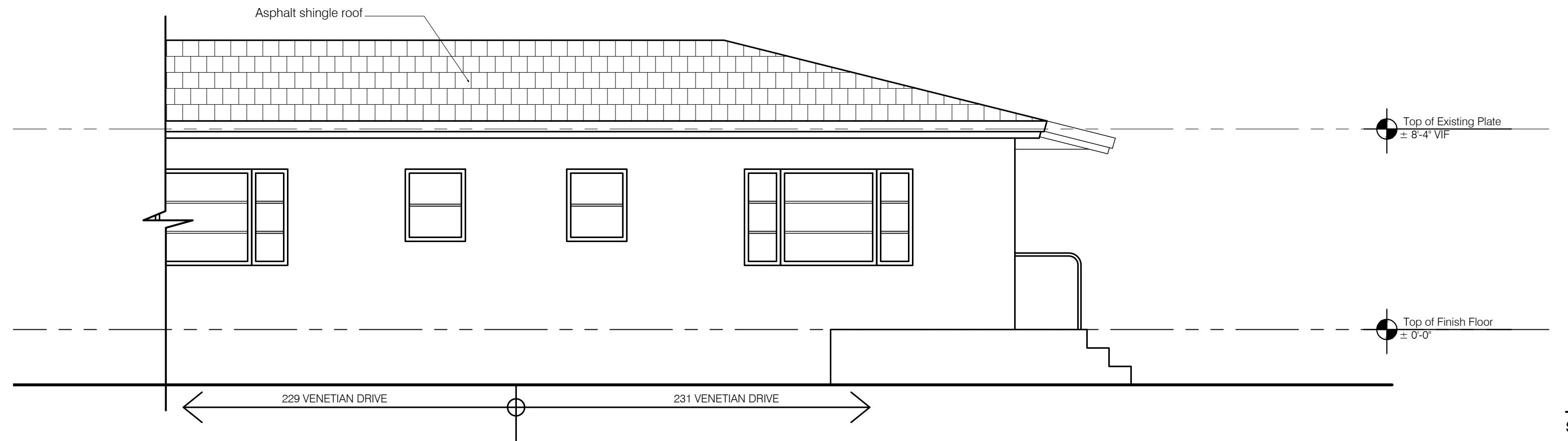
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'- 0"

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13022
SP8

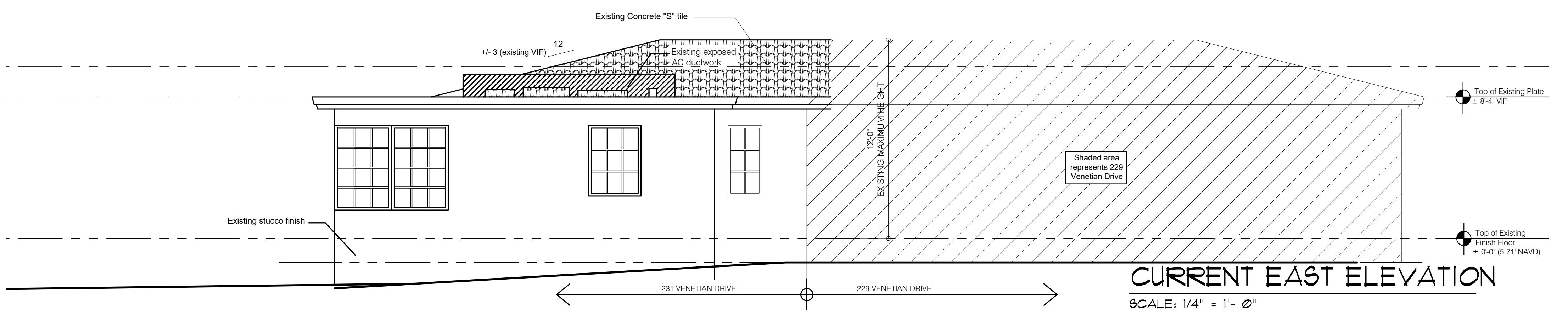
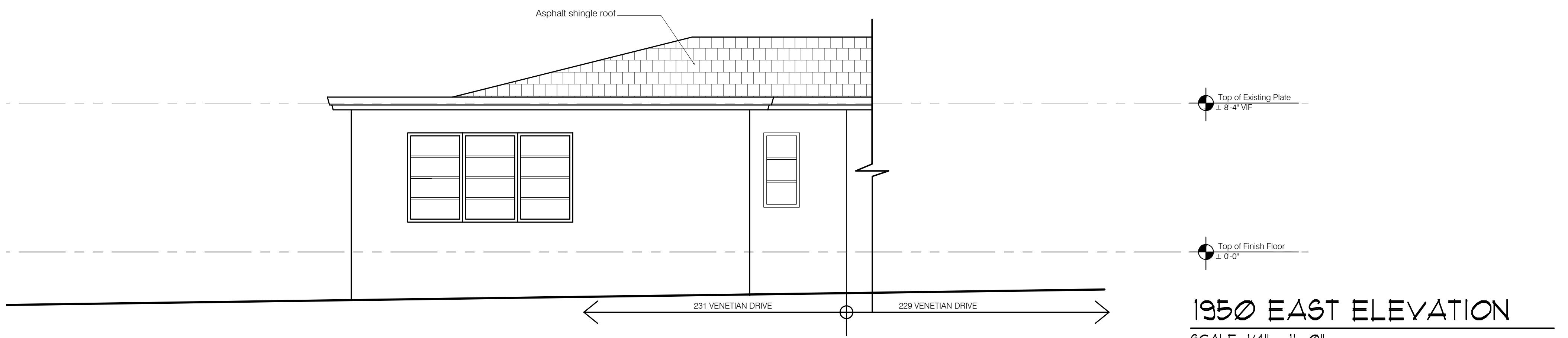
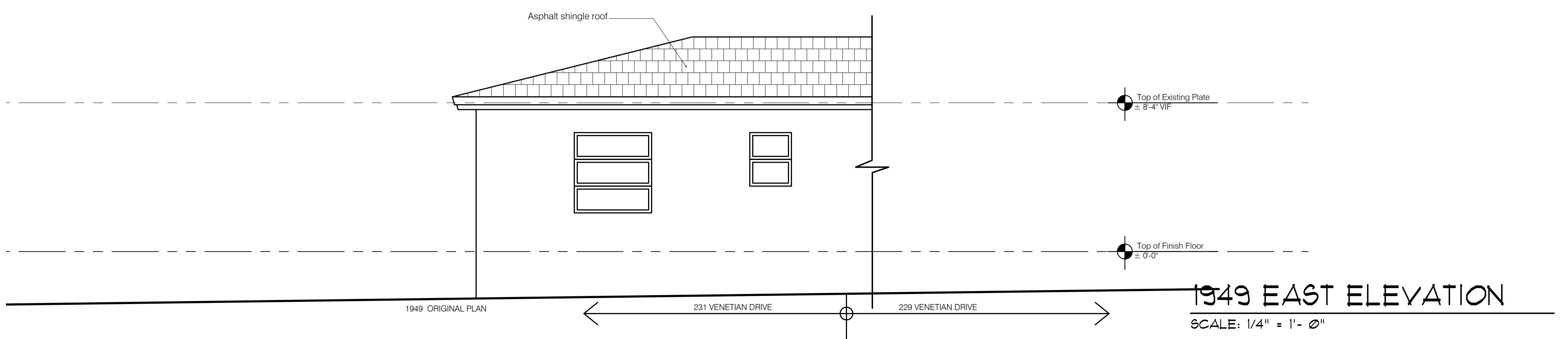
LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR9371

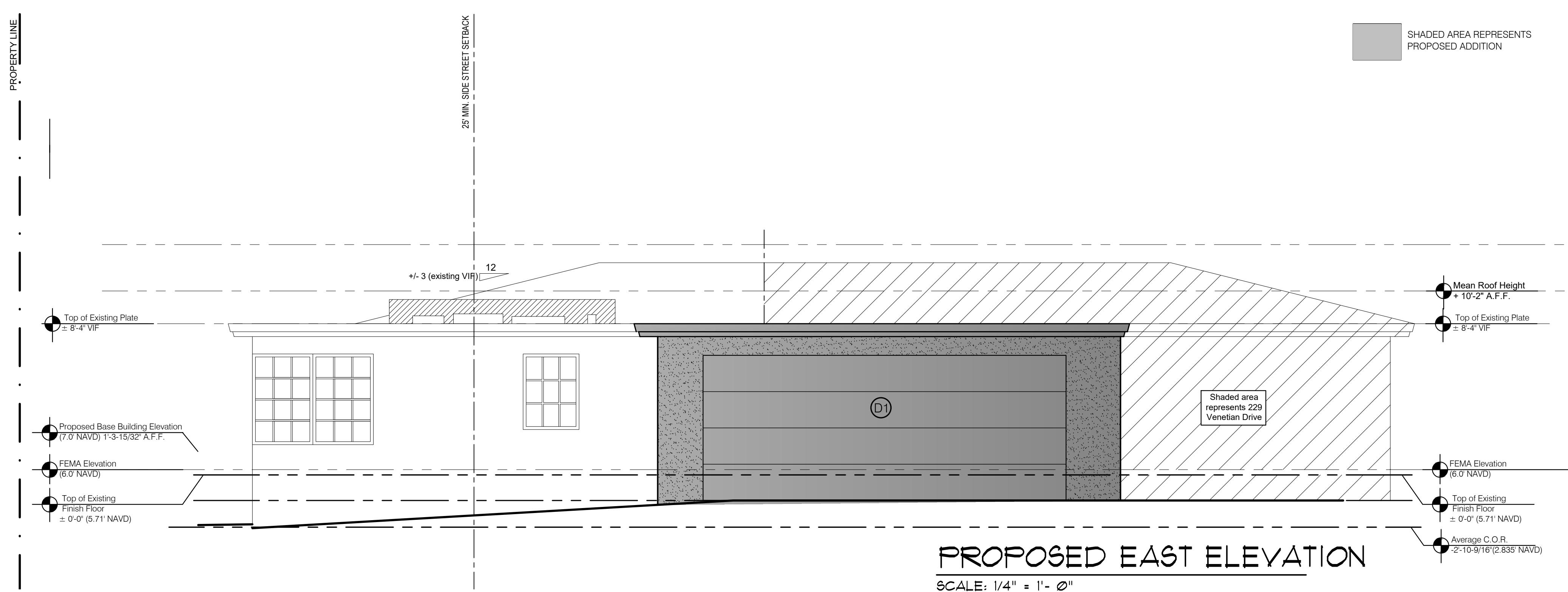
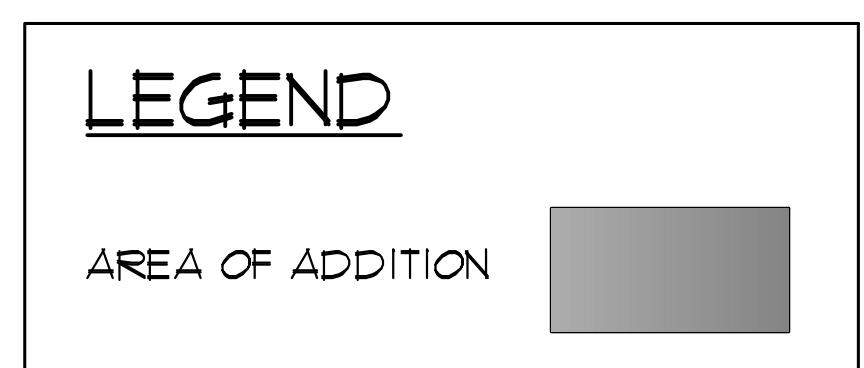
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13022
SP9



SHADE AREA REPRESENTS PROPOSED ADDITION





LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

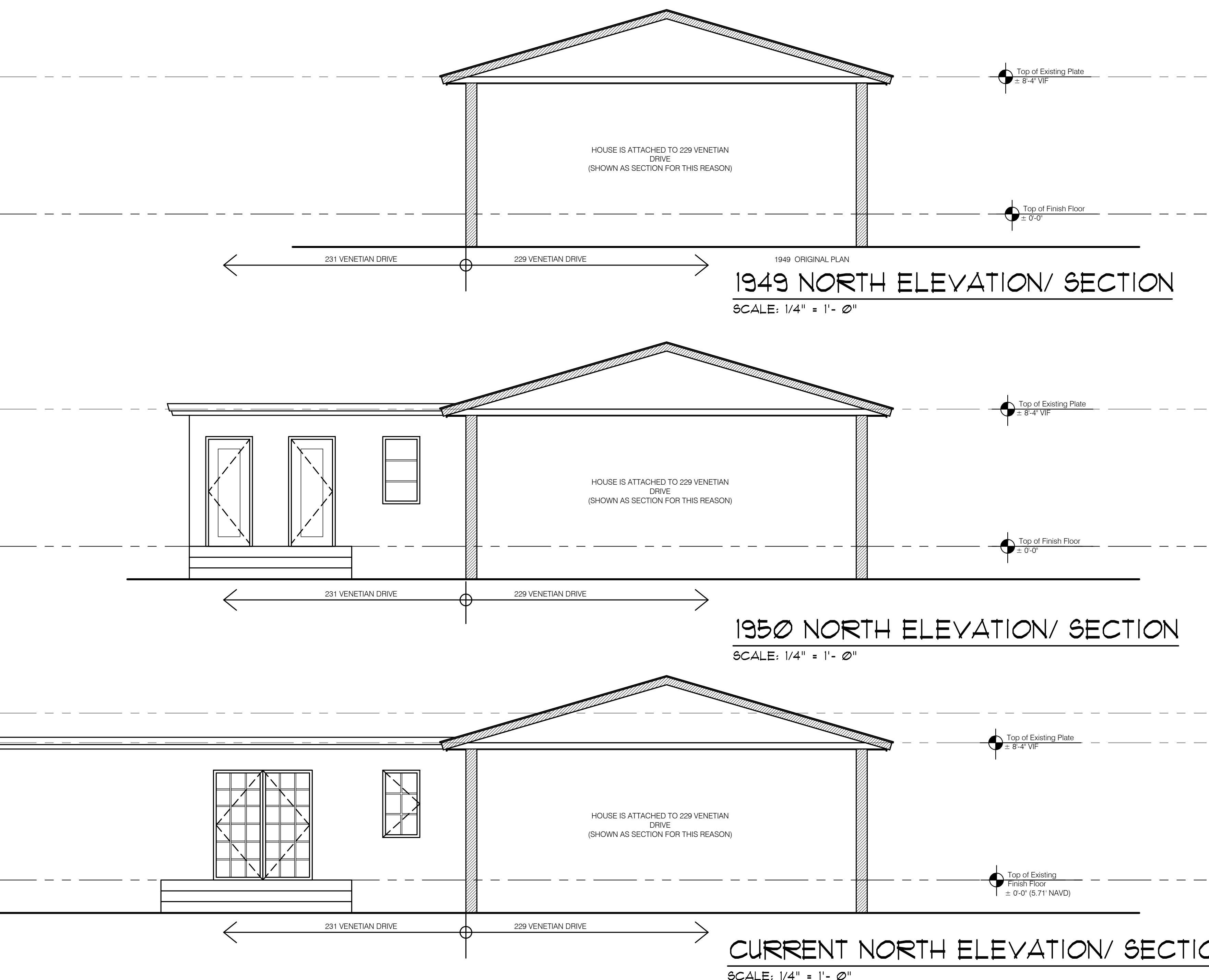
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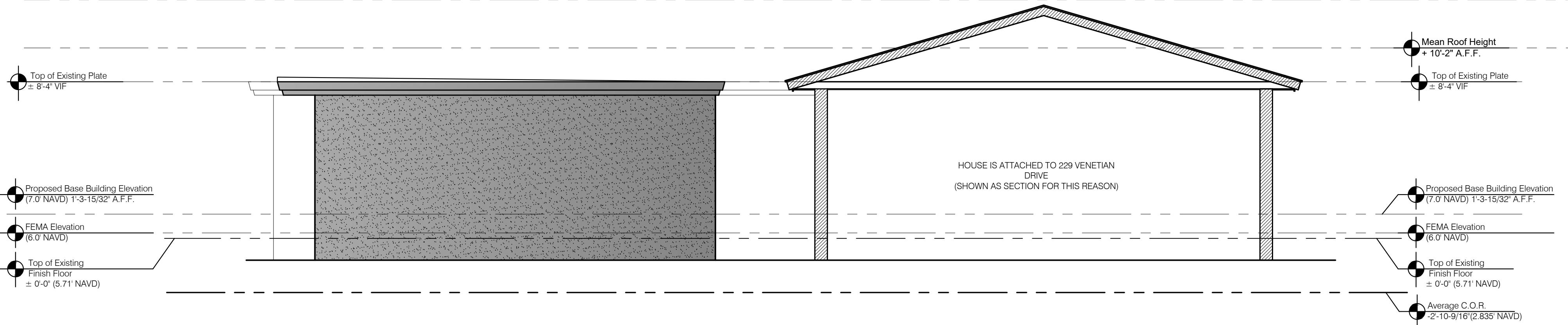
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SP10



LEGEND

AREA OF ADDITION



PROPOSED NORTH ELEVATION/ SECTION
SCALE: 1/4" = 1'- 0"



LEVEL 2 ALTERATION
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13022
SP11

INGRAHAM AVENUE



201



209

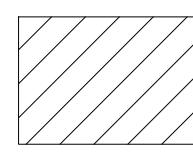


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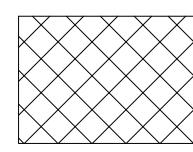


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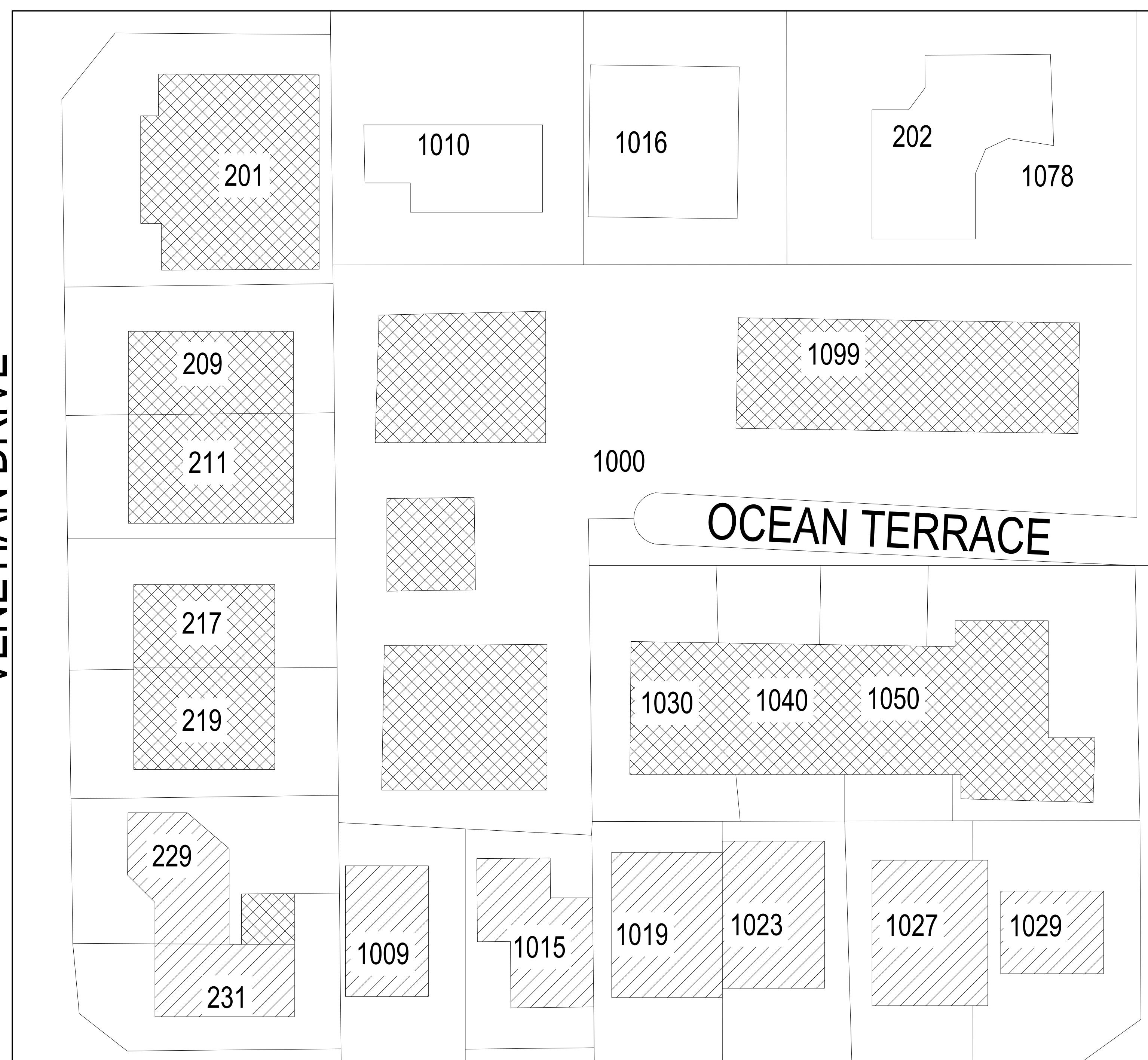


1 STORY BUILDING



2 STORY BUILDING

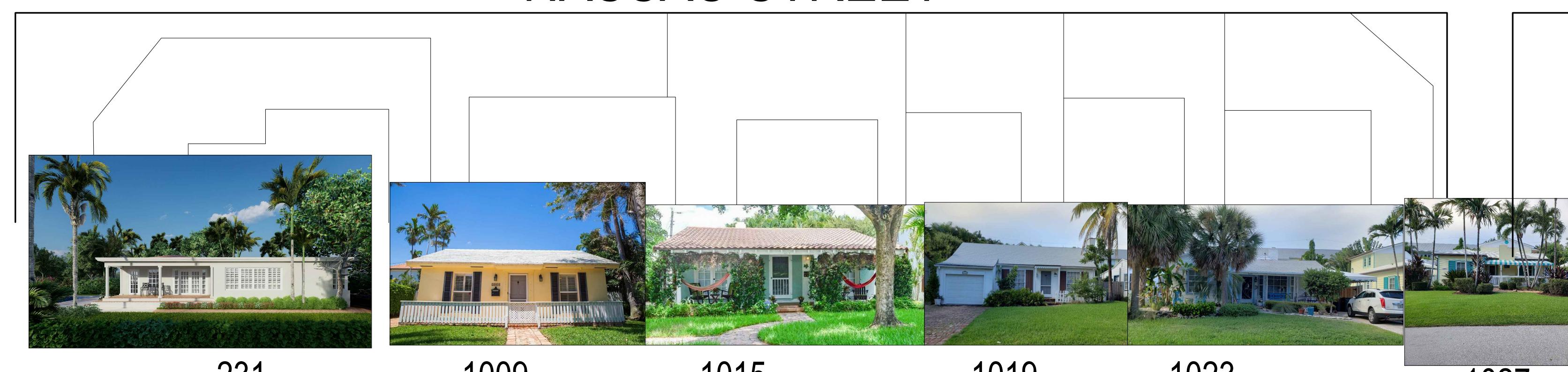
VENETIAN DRIVE



GLEASON STREET



NASSAU STREET



231

1009

1015

1019

1023

1027



LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

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NASSAU STREET



VENETIAN DRIVE

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13022
SP12

PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
<u>TREES AND PALMS</u>		
N ** CG	3	Clusia guttifera (Small Leaf Clusea) 12' ht., 6' spr., 6' c.t., matched
N ** CES	2	Conocarpus erectus 'sericus' (Silver Buttonwood) 12' ht., 6' spr., multi trunked 4' c.t., matched
** TAB	1	Tabebuia spp. (Yellow Tabebuia) 12' ht., 6' spr., 6' c.t., first 4' with straight trunk, character branching
N ** TR	1	Thrinax radiata (Thatch Palm) 10' o.a. ht., 3' c.t., double
VM3	2	Veitchia montgomeryana (Montgomery Palm) 10' c.t., 16' o.a. ht., triple, full, matched
WB	3	Wodyedia bifurcata (Foxtail Palm) 10' c.t., 16' o.a. ht., full, matched
<u>KEY</u>		
<u>QTY</u>		
<u>PLANT AND SPECIFICATION</u>		
<u>SHRUBS, GROUNDCOVERS AND ACCENTS</u>		
BEG	7	Begonia odorata 'alba' (White Angel Wing Begonia) 20" ht., 18" spr., full, not shade-grown
N ** CLU	32	Clusia guttifera (Clusia Hedge) 30" ht., 30" spr., 30" o.c.
HIB	15	Hibiscus spp. (Hibiscus Hedge) 20" ht., 20" spr., 24" o.c.
** LIR	180	Liriope muscari (Liriope) 8" ht., 12" spr., 12" o.c., full
POD	24	Podocarpus macrophyllus (Podocarpus Hedge) 5' ht., 24" spr.
PRI	42	Podocarpus spp. 'Pringles' (Pringles Podocarpus) 18" ht., 18" spr., 18" o.c.
PEN	37	Pentas spp. (Flowering Pentas-Red flower) 16" ht., 16" spr., 18" o.c.
PHI	12	Philodendron 'Burle Marx' (Burle Marx Philodendron) 20" ht., 20" spr., 24" o.c. full
N ** ERN	48	Erondeoa littoralis (Golden Creeper) 16' ht., 16" spr., 18" o.c.
SOD		St. Augustine 'palmetto' - Contractor to determine final qty.
MULCH		non cypress mulch 3" depth - Contractor to determine final qty.

** DENOTES DROUGHT TOLERANT
N DENOTES NATIVE SPECIES

LANDSCAPE CALCULATIONS - DELRAY BEACH DUPLEX TABLE

A. TOTAL LOT AREA	4,947 SF
B. STRUCTURE, PARKING, WALKWAYS, DRIVES, ETC	3,480 SF
C. TOTAL PERVIOUS LOT AREA C = (A - B)	1,467 SF
D. MAX. REQUIRED AREA COVERED WITH SOD D = (C x 80%)	1,173 SF
E. AREA OF SHRUBS AND GROUNDCOVER PROVIDED	1,300 SF
F. NATIVE VEGETATION REQUIRED (F = D x .25)	293 SF
G. NATIVE VEGETATION PROVIDED	350 SF
H. TOTAL NUMBER OF TREES EXISTING ON SITE	0 TREES
I. TOTAL NUMBER OF TREES REQUIRED - I = (A ->2000 SF)	3 TREES
J. TOTAL NUMBER OF TREES PROVIDED	4 TREES *
K. TOTAL NUMBER OF NATIVE TREES REQUIRED - K = (H + I) x .50	2 TREES
L. TOTAL NUMBER OF NATIVE TREES PROVIDED	2 TREES
M. STREET TREES (LDR SEC. 4.6.16.(H)(6)) ONE TREE PER EVERY 40 LF OF STREET FRONTOAGE WITH A MINIMUM OF ONE TREE PER LOT	3 REQUIRED 3 PROVIDED

* THREE (3) PALMS EQUAL ONE (1) TREE. PROHIBITED SPECIES
CANNOT BE COUNTED TOWARD MEETING THIS REQUIREMENT.

SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurseries' Grades and Standards 2015, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.

PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% mulk, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

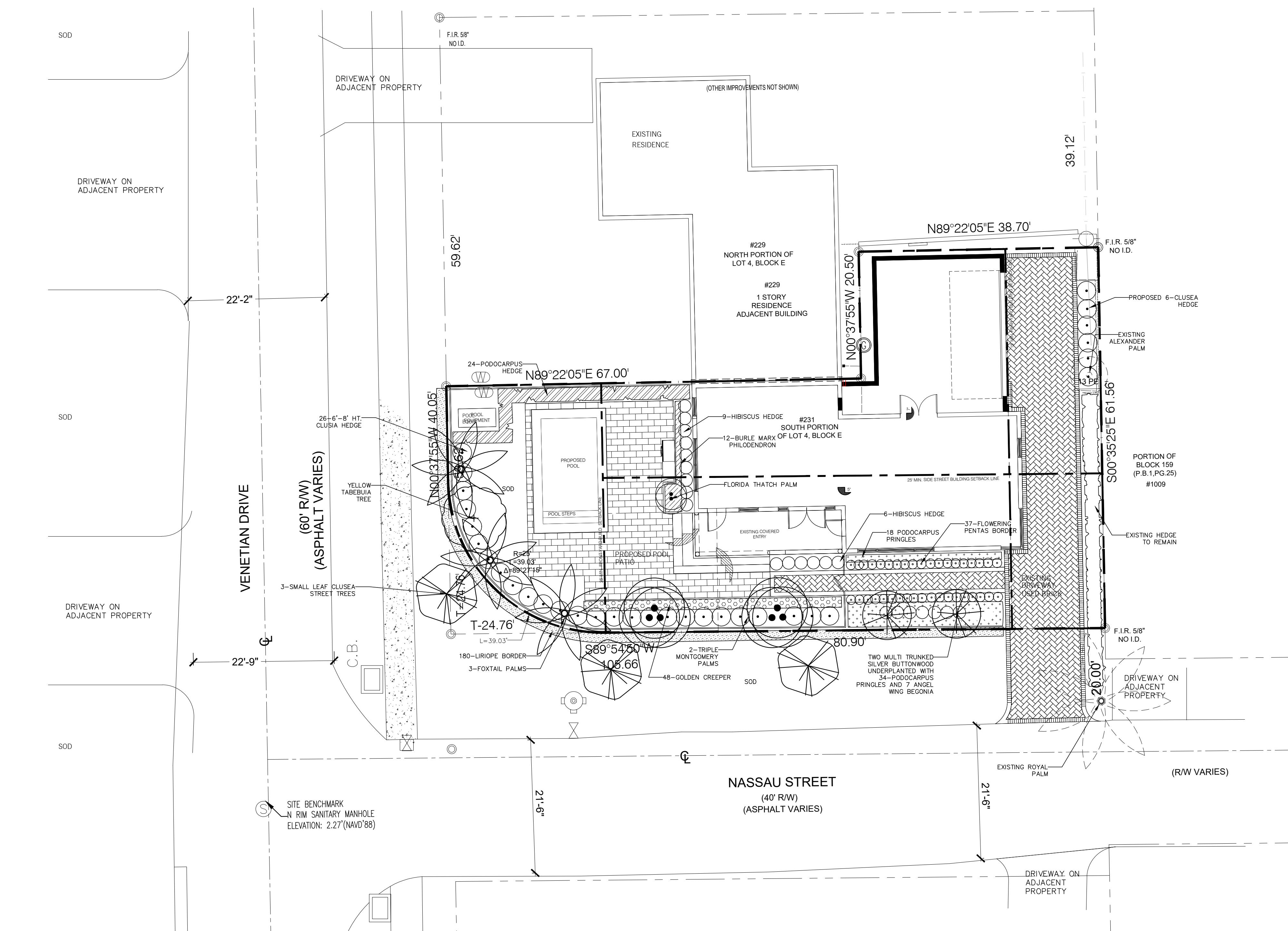
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

WATERING: All plant material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.

GUING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, dead or infrequent weeds. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

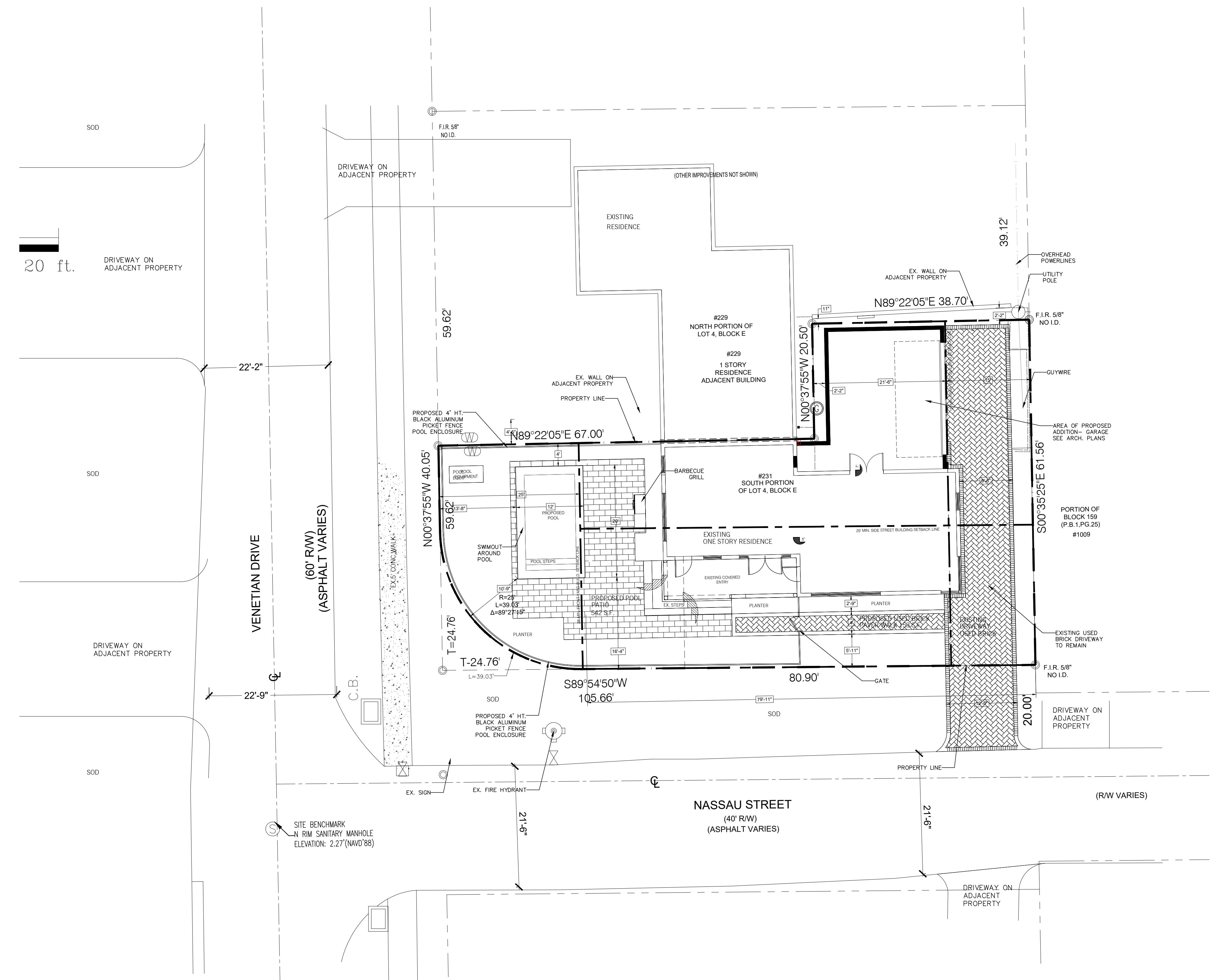




4' HT. BLACK ALUMINUM PICKET FENCE



POOL PATIO TUMBLED LIMESTONE PAVERS-CAPPS

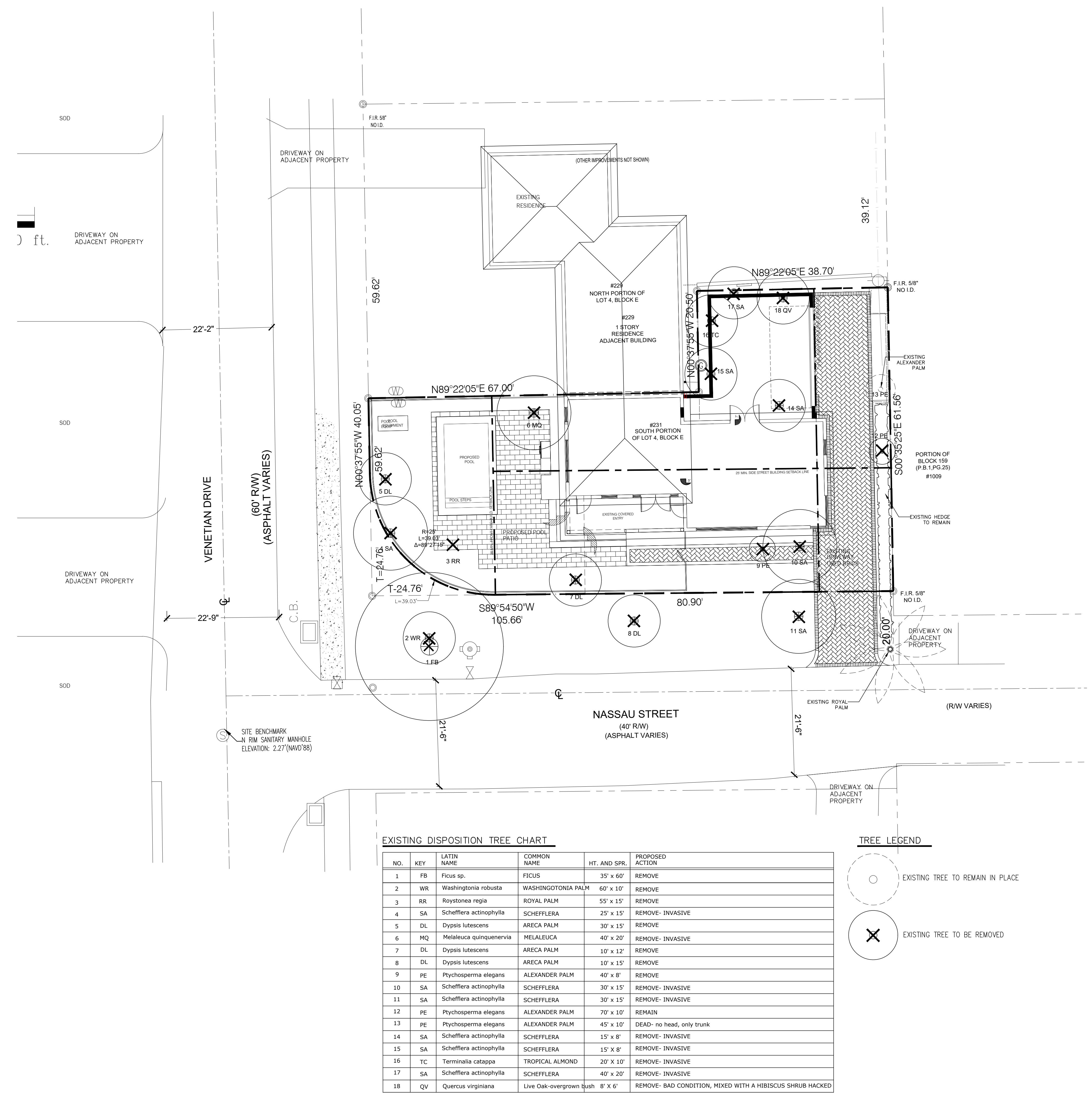


SCALE: 1" = 10'-0"

PROJECT

SITE DETAILS

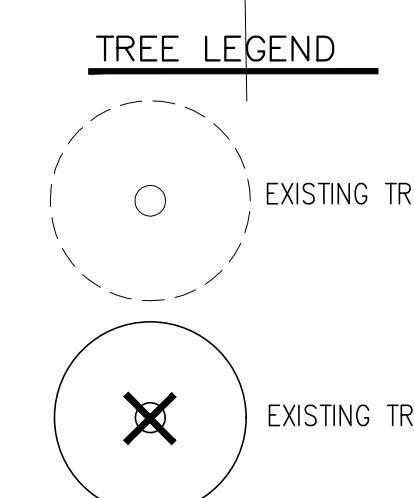
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FILE NAME	
BB/CBP	DRAWN
1/27/21	DATE
9/24/21	REV.
4/28/22	



BECKWORTH RESIDENCE
231 VENETIAN DRIVE

DELRAY BEACH, FL

EXISTING DISPOSITION TREE CHART					
NO.	KEY	LATIN NAME	COMMON NAME	HT. AND SPR.	PROPOSED ACTION
1	FB	<i>Ficus</i> sp.	FICUS	35' x 60'	REMOVE
2	WR	<i>Washingtonia robusta</i>	WASHINGTONIA PALM	60' x 10'	REMOVE
3	RR	<i>Roystonea regia</i>	ROYAL PALM	55' x 15'	REMOVE
4	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	25' x 15'	REMOVE- INVASIVE
5	DL	<i>Dypsis lutescens</i>	ARECA PALM	30' x 15'	REMOVE
6	MQ	<i>Melaleuca quinquenervia</i>	MELALEUCA	40' x 20'	REMOVE- INVASIVE
7	DL	<i>Dypsis lutescens</i>	ARECA PALM	10' x 12'	REMOVE
8	DL	<i>Dypsis lutescens</i>	ARECA PALM	10' x 15'	REMOVE
9	PE	<i>Ptychosperma elegans</i>	ALEXANDER PALM	40' x 8'	REMOVE
10	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	30' x 15'	REMOVE- INVASIVE
11	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	30' x 15'	REMOVE- INVASIVE
12	PE	<i>Ptychosperma elegans</i>	ALEXANDER PALM	70' x 10'	REMAIN
13	PE	<i>Ptychosperma elegans</i>	ALEXANDER PALM	45' x 10'	DEAD- no head, only trunk
14	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	15' x 8'	REMOVE- INVASIVE
15	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	15' X 8'	REMOVE- INVASIVE
16	TC	<i>Terminalia catappa</i>	TROPICAL ALMOND	20' X 10'	REMOVE- INVASIVE
17	SA	<i>Schefflera actinophylla</i>	SCHEFFLERA	40' x 20'	REMOVE- INVASIVE
18	QV	<i>Quercus virginiana</i>	Live Oak-overgrown bush	8' X 6'	REMOVE- BAD CONDITION, MIXED WITH A HIBISCUS SHRUB HACKED



EFF REMOVAL PLAN

PROJ. NO.	FILE NAME
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10/28/20	DATE
9/24/21	REV.
4/28/22	

SHEET TD 1

1