

AREA TABULATION

EXISTING
 Ground Floor Air Conditioned Area..... 1,152 s.f.
 Covered Porch 166 s.f.

PROPOSED
 Garage (NON A/C)..... 544 s.f.

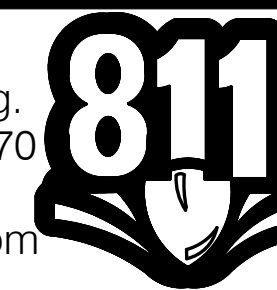
TOTAL FLOOR AREA
 Ground Floor Air Conditioned Area (No change)..... 1,152 s.f.
 Covered Porch area (No change)..... 166 s.f.
 Garage 544 s.f.

Site Area..... 4,947 s.f. 100%
 Impervious 2,969 s.f.
 Pervious (open space)..... 1,978 s.f.

BECKWORTH HOUSE

231 VENETIAN DRIVE
 DELRAY BEACH, FLORIDA

CALL before you dig.
 811 or 1-800-432-4770
 or visit
 www.callsunshine.com



LEVEL 2 ALTERATION
 BECKWORTH HOUSE
 231 VENETIAN DRIVE
 DELRAY BEACH, FL

JOHN SHERMAN REED
 ARCHITECT
 FL LICENSE # AR95171

JSR DESIGN GROUP INC.
 1 W. CAMINO REAL, SUITE 107E
 BOCA RATON, FL 33432
 PH: 561-362-7203
 FAX: 561-362-2033

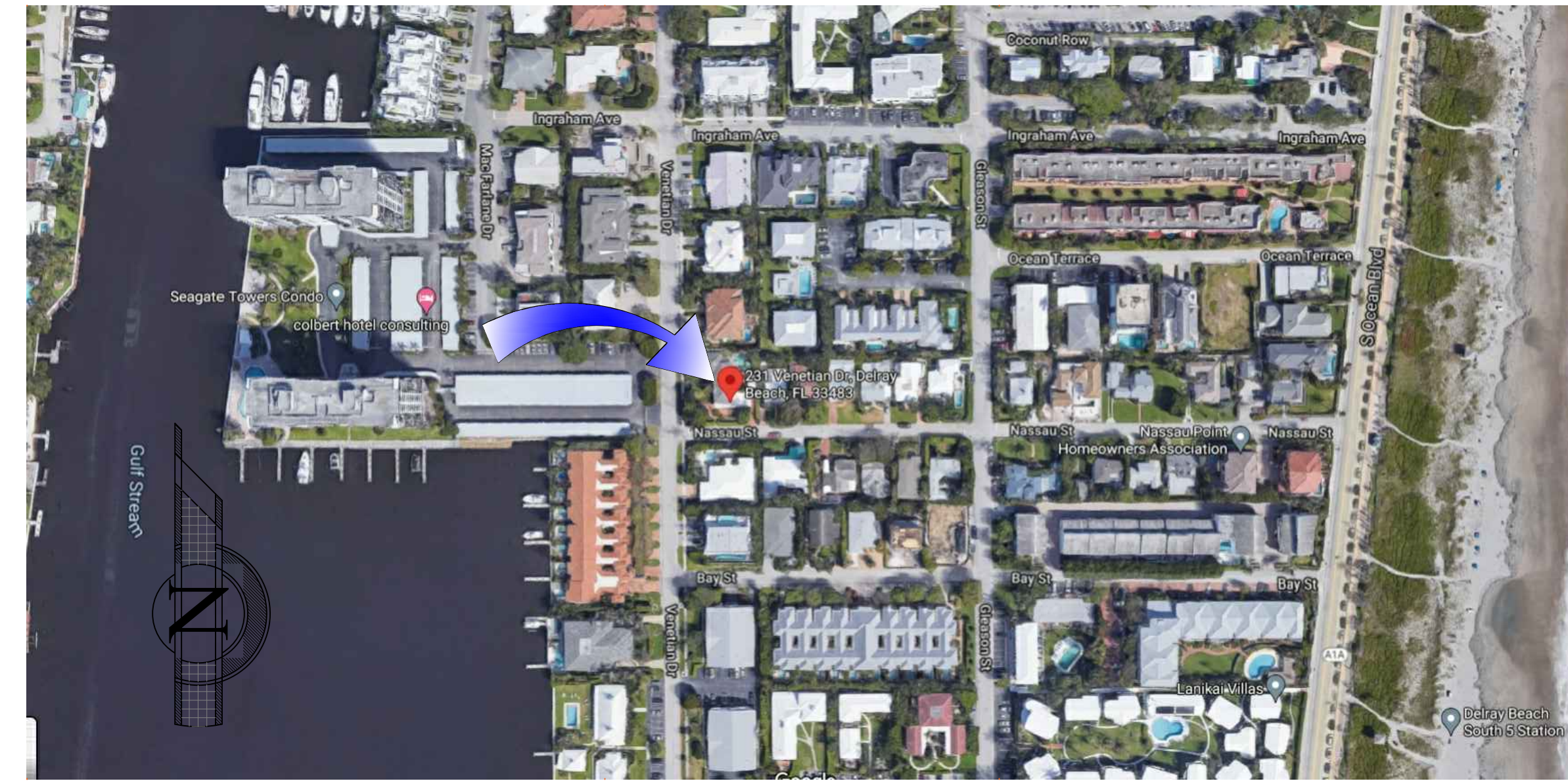
BUILDING DESIGN DATA

Occupancy: R-3
 Type of Construction: V-B (Unprotected), Unsprinklered

FLOOD ZONE: "AE" (Base Floor Elevation 6.0')

PROPERTY DATA:
 Parcel Control Number
 12 - 43 - 46 - 16 - 14 - 005 - 0041
 Official Records Book: 31345 / 1389
 Legal Description
 JOHN B REIDS VILLAGE S 20.5 FT OF N 59.62 FT OF E 38.64 & S
 40.05 FT OF LT 4 BLK E (NASSAU ST HISTORIC DIST)
 Zoning
 RM - Multiple Family (HISTORIC DISTRICT)

VICINITY MAP



| EXTERIOR DOOR SCHEDULE | | | | | | | | |
|------------------------|--------|--------|----------|----------|------------|-------------|-------------|---------|
| MARK | SIZE | | TYPE | MATERIAL | ROOM NAME | GLASS COLOR | FRAME COLOR | REMARKS |
| | WIDTH | HEIGHT | | | | | | |
| D1 | 20'-0" | 7'-0" | Overhead | Metal | New Garage | | White | |
| D2 | 3'-0" | 6'-8" | Swing | Metal | New Garage | | White | |

- NOTES:**
- SIZES LISTED AS FOOT/INCHES/FOOT/INCHES.
 - ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION. ANY QUESTIONS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO FABRICATION.
 - HARDWARE IS TO BE SELECTED BY OWNER OR INTERIOR DESIGNER.
 - DOORS QUANTITIES VERIFIED BY OTHERS. TEMPER GLASS AS REQUIRED.
 - ALL EXTERIOR DOORS/WINDOWS TO BE IMPACT RESISTANT WITH PRODUCT CODE APPROVALS.
 - ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURERS CUT SHEET/PRODUCT APPROVALS)
 - ALL EGRESS WINDOWS IN SLEEPING ROOM SHALL COMPLY WITH FBC-R 310.2. SHOULD HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ FT., 5.0 SQ FT ON GRADE LEVEL. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F., WIDTH SHALL BE 20" MIN. CLEAR OPEN AND NET CLEAR HEIGHT OF 24 IN. AND 20 IN. NET CLEAR WIDTH. (G.C. TO VERIFY WITH MANUFACTURER)
 - ALL GLASS SHOULD BE CLEAR (NO TINT) AND NON REFLECTIVE.
 - ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH FBC-R4501.17.1.9
 - ALL WINDOWS/DOORS SHALL COMPLY WITH FBC 5TH EDITION (2020)

PROVIDE WINDOW FLASHING CONSISTING OF WINDOWSEAL™40 OR EQUAL. WINDOWSEAL™40 IS A 40 MIL SELF-ADHERING, SELF-SEALING CONSTRUCTION TAPE CONSISTING OF RUBBERIZED ASPHALT WATERPROOFING COATING, LAMINATED TO AN EXTRA HIGH STRENGTH POLYETHYLENE FILM BACKING

NOTE:
 SEE STRUCTURAL ENGINEER DRAWINGS FOR REQUIRED DOOR & WINDOW PRESSURES.

- ROUGH OPENING WINDOW/DOOR GENERAL NOTE:**
- ROUGH OPENINGS FOR EXTERIOR WINDOWS ARE A TOTAL OF 3-1/4" WIDER AND 3-1/4" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.
 - ROUGH OPENINGS FOR EXTERIOR DOORS ARE A TOTAL OF 3-1/4" WIDER AND 2" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020.
- FLORIDA BUILDING CODE 2020 EXISTING EDITION.
- A.C.I. 318-11 FOR REINFORCED CONCRETE.
- A.S.T.M. STANDARDS AND SPECIFICATIONS. AMERICAN SOCIETY FOR TESTING AND MATERIALS.
- NATIONAL PEST CONTROL ASSOCIATION STANDARDS.
- FLORIDA ACCESSIBILITY CODE 2020.

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DESIGN CRITERIA AND LOADS

| BUILDING DESIGNED AS: | ENCLOSED |
|---|-----------------------|
| WIND EXPOSURE CLASSIFICATION: | C |
| WIND SPEED DESIGN: | 170 MPH (3 sec. gust) |
| INTERNAL PRESSURE COEFFICIENT | ±0.18 |
| Kd | 0.85 |
| MAXIMUM ROOF HEIGHT | 12.0' |
| MEAN ROOF HEIGHT | 10.0' |
| ROOF LIVE LOAD: | 30 PSF |
| TOP CHORD DEAD LOAD: | 15 PSF |
| BOT CHORD DEAD LOAD: | 10 PSF |
| IMPORTANCE/USE FACTOR: | 1.0 |
| BUILDING CATEGORY | II |
| MIN. SOIL BEARING PRESSURE: | |
| SHUTTERS: | NO |
| IMPACT RESISTANT ASSEMBLY: | YES |
| IS A CONT. LOAD PATH PROVIDED | YES |
| ARE COMPONENT & CLADDING DETAILS PROVIDED | YES |

ZONE 4 = +48.16 PSF, -53.51 PSF
 ZONE 5 = +48.16 PSF, -64.38 PSF
 SEE ROOF, WIND ZONE PRESSURE DIAGRAM FOR ZONE LAYOUT, SIZE AND PRESSURE.

PROJECT TEAM

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 BOCA RATON FL 33432
 (561) 362-7203

SURVEYOR
 BASELINE LAND SURVEY
 1400 NW 1ST COURT,
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LANDSCAPE
 AGTLAND
 132 NORTH SWINTON AVE,
 DELRAY BEACH FL 33444
 (561) 276-5050

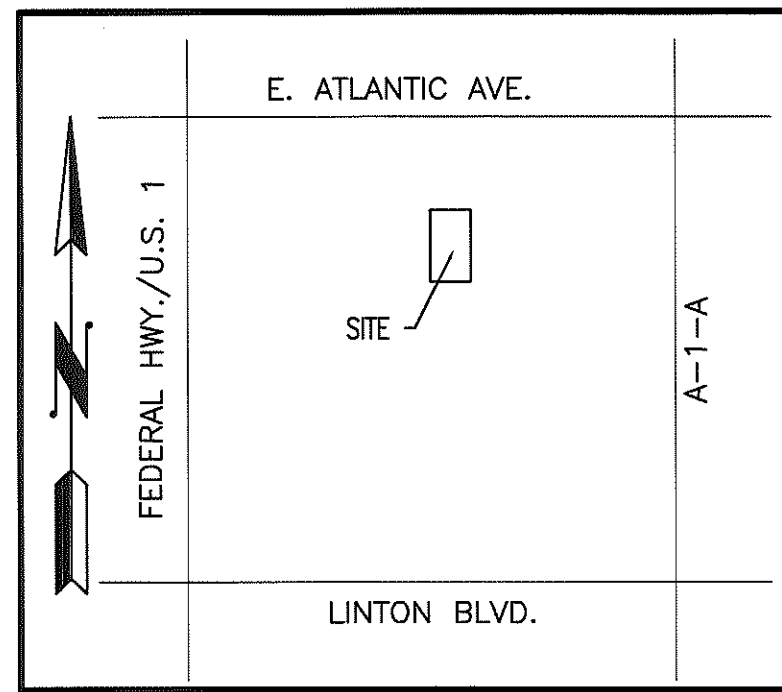
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CSO



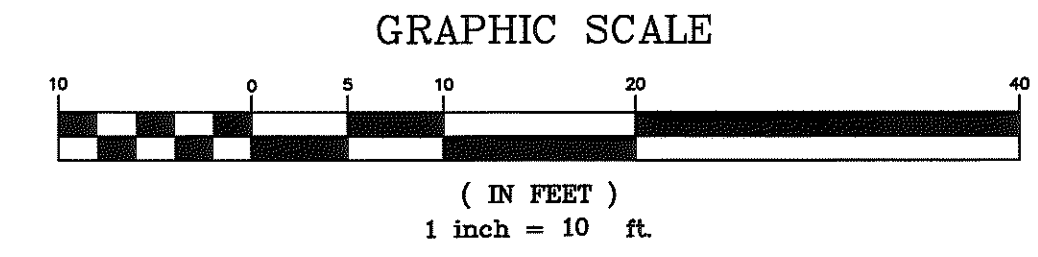
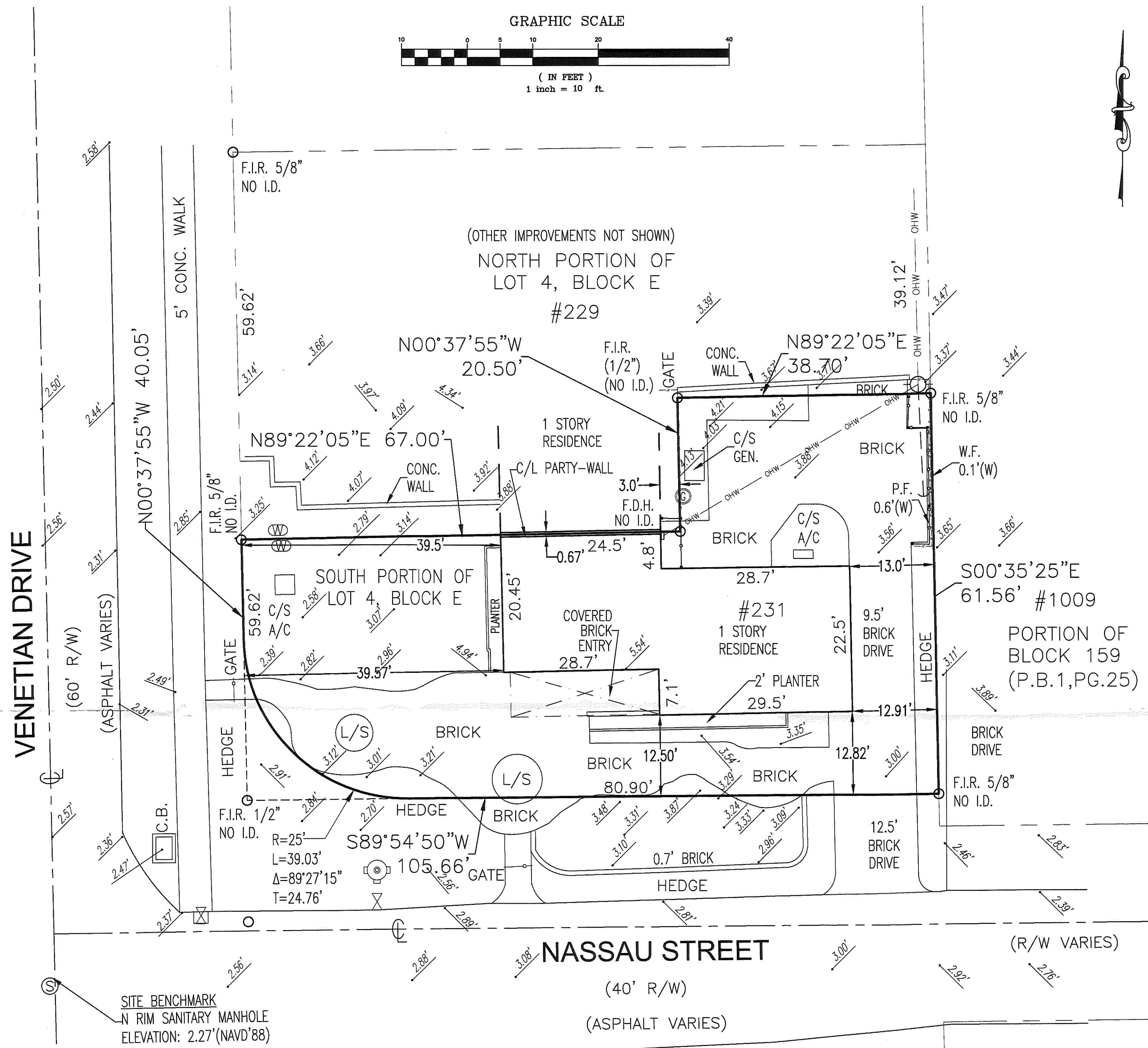
LOCATION MAP
NOT TO SCALE

LEGEND

- A/C = AIR CONDITIONER
- B.R.L. = BUILDING RESTRICTION LINE
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C = CALCULATED
- CL = CENTER LINE
- CH = CHORD
- C/S = CONCRETE SLAB
- CONC. = CONCRETE
- Δ = DELTA (CENTRAL ANGLE)
- D.E. = DRAINAGE EASEMENT
- EL., ELEV. = ELEVATION
- F. = FOUND
- F.D.H. = FOUND DRILL HOLE
- F.F. = FINISHED FLOOR
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.I.R.C. = FOUND IRON ROD AND CAP
- L = ARC LENGTH
- L.B. = LICENSED SURVEY BUSINESS
- LS = LICENSED SURVEYOR
- L/S = LIFT STATION
- M = MEASURED
- NO I.D. = NO IDENTIFICATION
- N/A = NOT APPLICABLE
- P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER
- NAVD'88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM OF 1929
- ISAOA = ITS SUCCESSORS AND/OR ASSIGNS
- ATIMA = AS THEIR INTEREST MAY APPEAR
- P = PLAT
- P.B.C. = PALM BEACH COUNTY
- P.B. = PLAT BOOK
- P.C. = POINT OF CURVATURE
- P.K. = PARKER KALON COMPANY
- D = DEED
- 0.00'x = SPOT ELEVATION
- P.R.C. = POINT OF REVERSE CURVATURE
- PG. = PAGE
- R = RADIUS
- R/W = RIGHT OF WAY
- U.E. = UTILITY EASEMENT
- C.L.F. = CHAINLINK FENCE
- EM = ELECTRIC METER

SYMBOL

- CATCH BASIN
- WATER METER
- ANCHOR
- WOOD UTILITY POLE
- WOOD LIGHT POLE
- CONCRETE UTILITY POLE
- CONCRETE LIGHT POLE
- FIRE HYDRANT
- CABLE BOX
- ELECTRIC BOX
- TELEPHONE BOX
- WATER VALVE
- IRRIGATION VALVE
- OVERHEAD WIRE LINE (OHW)
- CHAIN LINK FENCE (C.L.F.)
- WOOD FENCE (W.F.)
- METAL FENCE (M.F.)
- PLASTIC FENCE (P.F.)
- WIRE FENCE (W.F.)



LEGAL DESCRIPTION:

LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, AN ADDITION TO THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 21, PAGE 95, LESS THE FOLLOWING DESCRIBED PORTION:

THE NORTH 39.12 FEET OF THE NORTH 59.62 FEET AND THE WEST 67 FEET OF THE SOUTH 20.5 FEET OF THE NORTH 59.62 FEET OF THE LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC LAND RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES:

LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO (NAVD'88) UNLESS OTHERWISE NOTED.


BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "17.163" ELEVATION: 15.617'(NAVD'88)

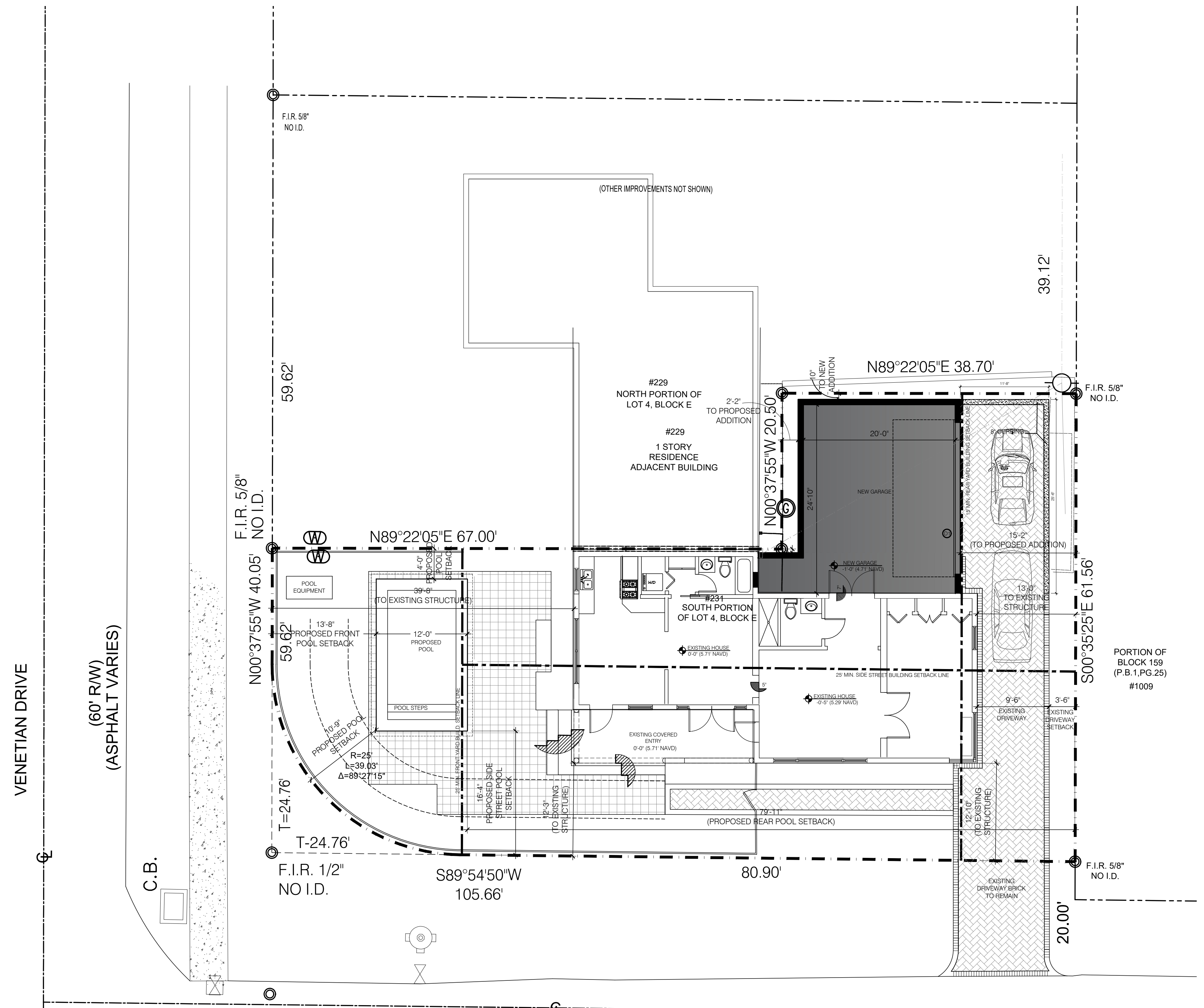
| | | | | | |
|---|---|--------------------------------|--|---|--|
| TITLE: MAP OF BOUNDARY SURVEY | | SCALE: 1" = 10' | NOTES/REVISIONS | THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. | Baseline Land Survey LLC 1400 N.W. 1st COURT BOCA RATON, FL. 33432 Ph.(561) 417-0700 |
| COMMUNITY PANEL# 125102-0983-F | FLOOD ZONE: AE | BASE FLOOD EL.: 6.0' (NAVD'88) | DRAWN BY: NLR. CHECKED BY: J.E.K. | | |
| DATE OF FIRM: 10/05/2017 | BASIS OF BEARING: N R/W LINE OF NASSAU STREET, SAID LINE HAVING AN ASSUMED PLAT BEARING OF S89°54'50"W. | | UPDATED: 10/18/20 PARTY CHIEF: NICK | JOHN E. KUHAR P.S.M., STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 6711 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. | 11/05/2020 Date |
| PROPERTY ADDRESS: 231 VENETIAN DRIVE, DELRAY BEACH, FLORIDA 33483 | | | SURVEY DATE: 02/04/20 | JOB NO.: 20-02-015 | LB-8229 |

| ZONING: RM | REQUIRED/PERMITTED | EXISTING STRUCTURE | PROPOSED ADDITION |
|------------------------------------|-----------------------|---------------------------|--------------------------------|
| FRONT SETBACK (WEST) | 25'-0" | 39'-8" | NO CHANGE |
| SIDE INTERIOR SETBACK (NORTH) | 0'-0" | 0'-0" - 5'-10" - 26'-4" | 0'-0" - 0'-6" - 2'-2" - 0'-10" |
| SIDE STREET SETBACK (SOUTH) | 25'-0" | 12'-3" - 12'-10" | NO CHANGE |
| REAR SETBACK (EAST) | 15'-0" | 13'-0" | 13'-0" - 15'-2" |
| HEIGHT/FLOORS | 35'-0" | 12'-8" | NO CHANGE |
| WIDTH OF SITE | 60'-0" | 40'-0" | NO CHANGE |
| DEPTH OF SITE | 100'-0" | 80'-0" | NO CHANGE |
| FRONTAGE | 60'-0" | 27'-9" | NO CHANGE |
| TOTAL SITE AREA | 8,000 s.f. | 4,947 s.f. | NO CHANGE |
| PERVIOUS/IMPERVIOUS AREA | N/A | 1,629 s.f./3,318s.f. | 1,978 s.f./2,969s.f. |
| OPEN SPACE (LANDSCAPE) | 25% min (1,237s.f.) | 33% min (1,629s.f.) | 29.6% min (1,467s.f.) |
| HARDSCAPE | N/A | 2,002 s.f. | 1,618 s.f. |
| WATER BODIES | N/A | N/A | N/A |
| GROUND FLOOR AREA | 1,000 s.f. | 1,152 (AC) + 166 (Non AC) | 1,318 + 544 (Non AC) |
| TOTAL FLOOR AREA | 900 s.f. (MIN) | 1,318 s.f. | 1,862 s.f. |
| LOT COVERAGE | 40% | 27% | 37.6% |
| FLOOR AREA RATIO | N/A | 0.27 | 0.38 |
| NUMBER OF DWELLING UNITS | 1 | 1 | 1 |
| DENSITY (UNITS PER ACRE) | 6-12 (UNITS PER ACRE) | 6-12 (UNITS PER ACRE) | 6-12 (UNITS PER ACRE) |
| POOL FRONT (WEST) SETBACK | 25' MIN | N/A | 13'-8" - 10'-9" |
| POOL SIDE INTERIOR SETBACK (NORTH) | 0' MIN | N/A | 4'-0" |
| POOL REAR (EAST) SETBACK | 15' MIN | N/A | 79'-11" |
| POOL SIDE STREET (SOUTH) | 25' MIN | N/A | 16'-4" - 10'-9" |

SEE SHEET 6-2 FOR POOL DIMENSIONS

LEGEND

AREA OF ADDITION 



VENETIAN DRIVE (60' R/W) (ASPHALT VARIES)

NASSAU STREET (40' R/W) (ASPHALT VARIES)

C.B.

SITE BENCHMARK
N RIM SANITARY MANHOLE
ELEVATION: 2.27' (NAVD'88)

NOTE
FOR POOL INFORMATION, POOL SETBACKS,
HARDSCAPE AND MATERIALS PLEASE
REFER TO SHEET 6-2 (SITE DETAILS)

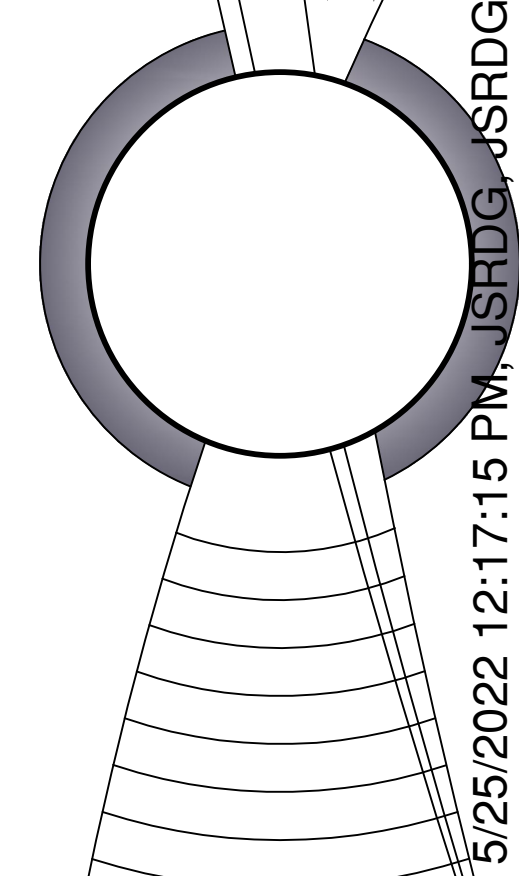
PROPOSED SITE PLAN
SCALE: 1/8" = 1' - 0"



LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

JOHN SHERMAN REED
ARCHITECT
FL LICENSE # AR9571

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SP

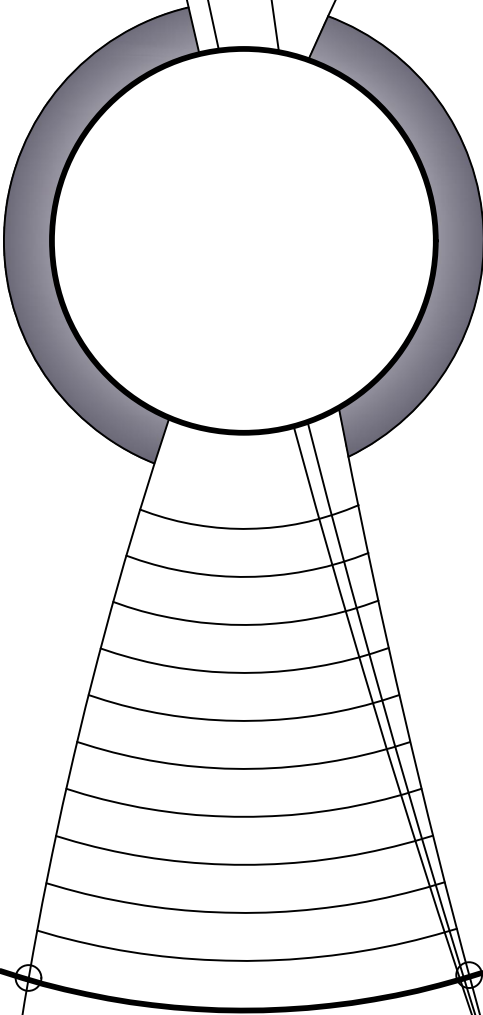
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LEVEL 2 ALTERATION
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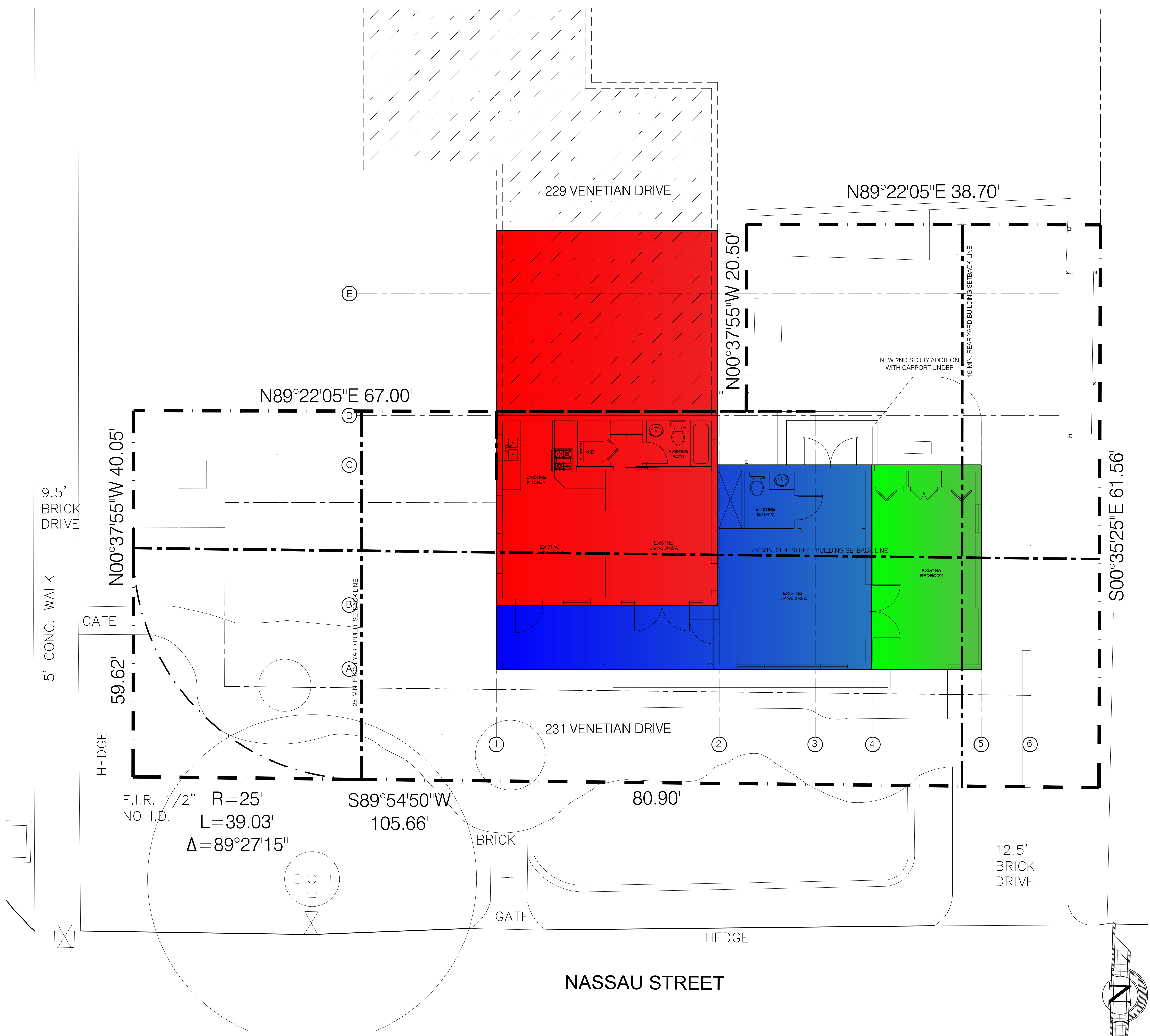
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SP1

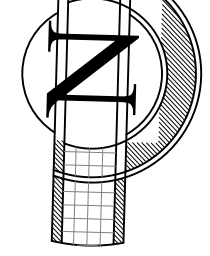
LEGEND

- 1949 ORIGINAL PERMIT (Floor Plan consists on a mirror layout of two independent units that connect thru a kitchen door, both kitchens have a range and a sink)
- 1950 ADDITION (New Living Area, bathroom and closet along with a new exterior door on north wall, new covered porch facing Nassau)
- 1962 ADDITION (Current bedroom area on west side of the house is added.)
- 2020 PROPOSED ADDITION (New Two Car Garage and New BBQ covered trellis.

Represents 229 Venetian Drive property



CHRONOLOGY OF ADDITIONS
 SCALE: 3/16" = 1'-0"

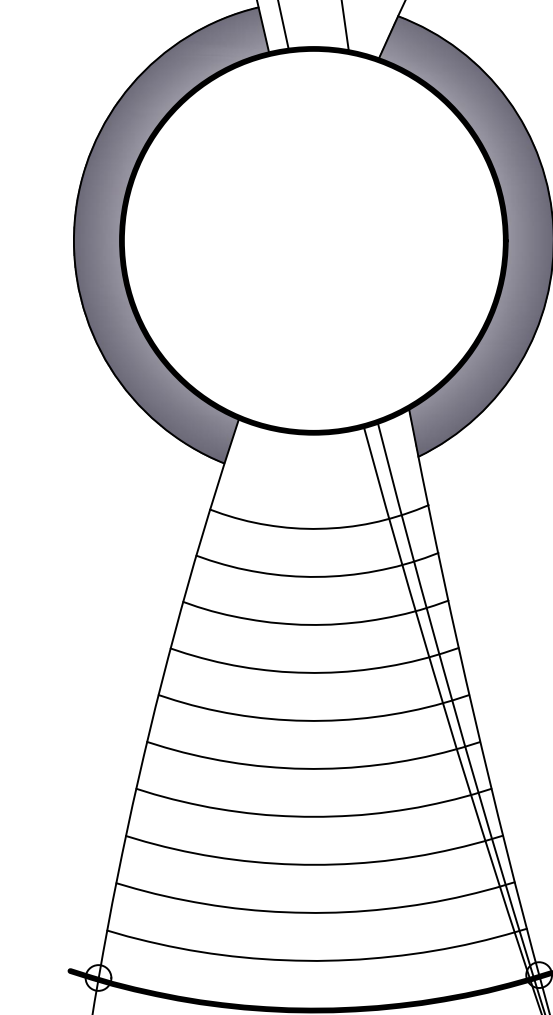




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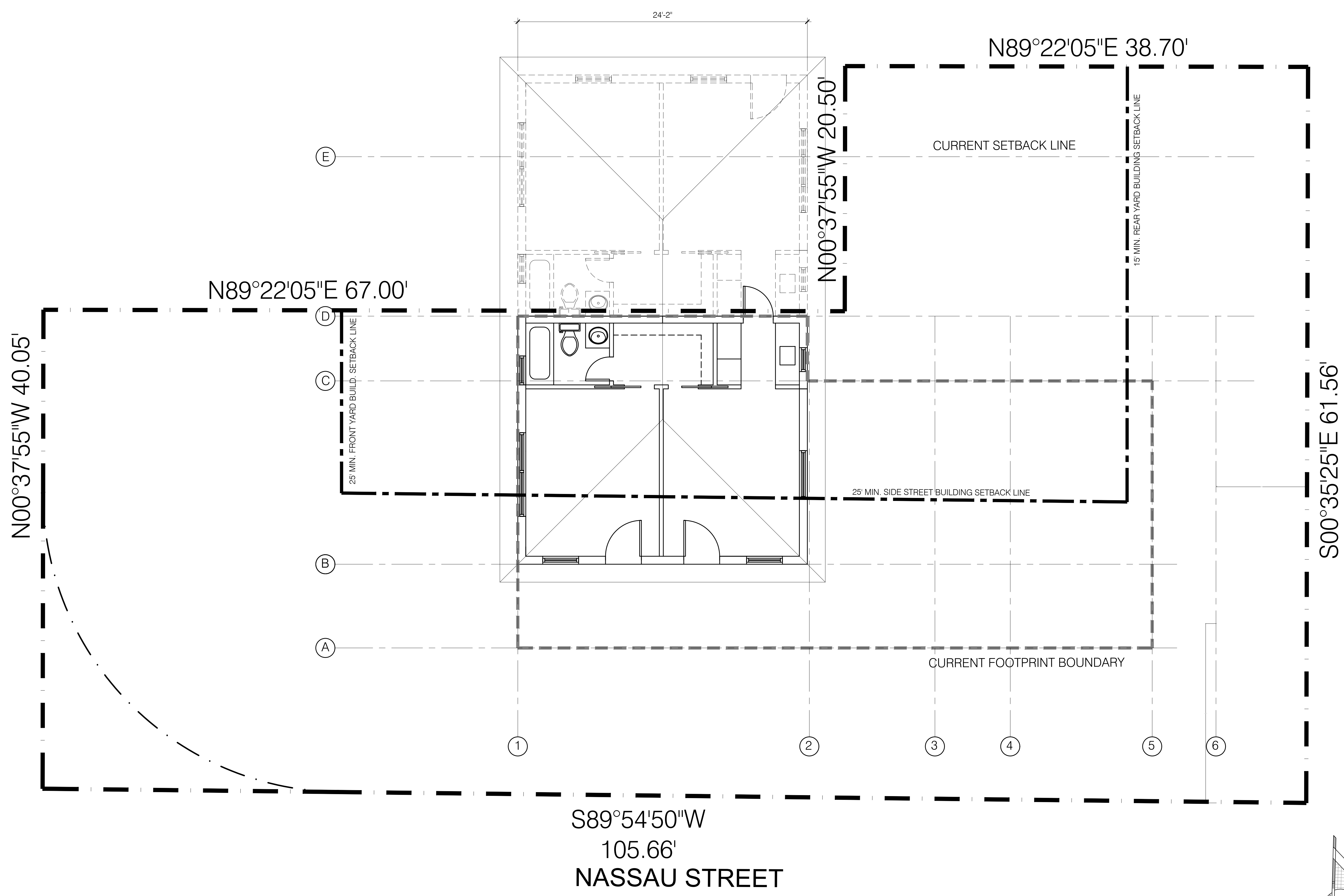
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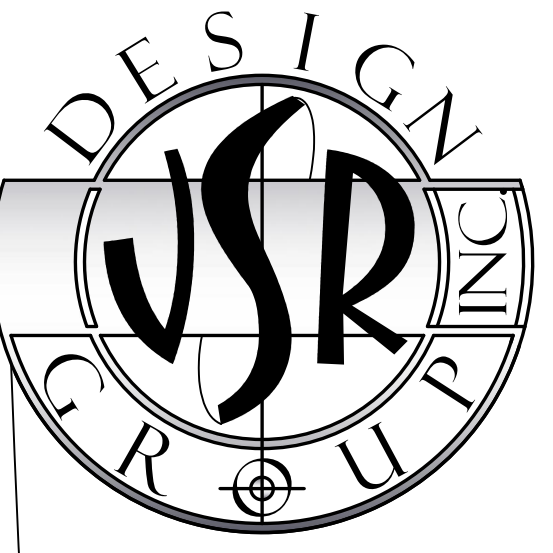
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SP2



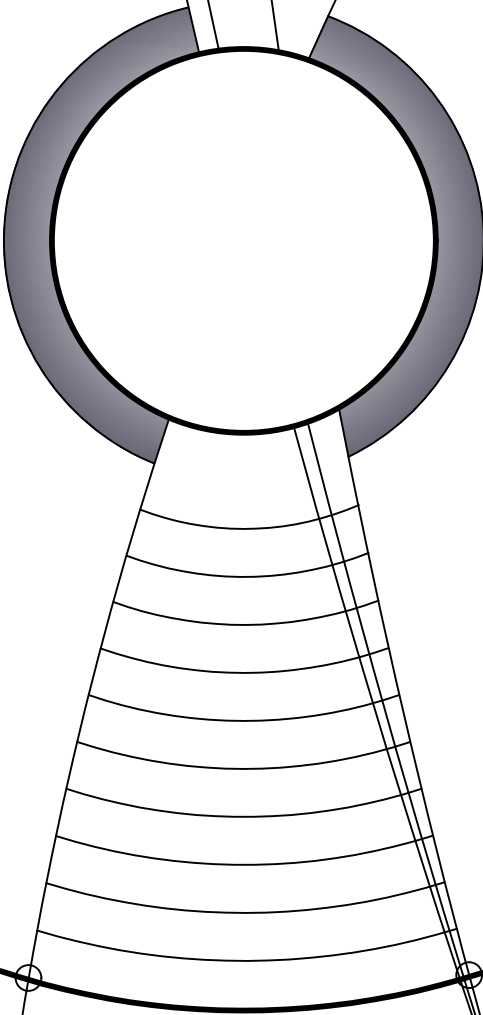
1949 ORIGINAL LAYOUT
SCALE: 1/4" = 1'-0"



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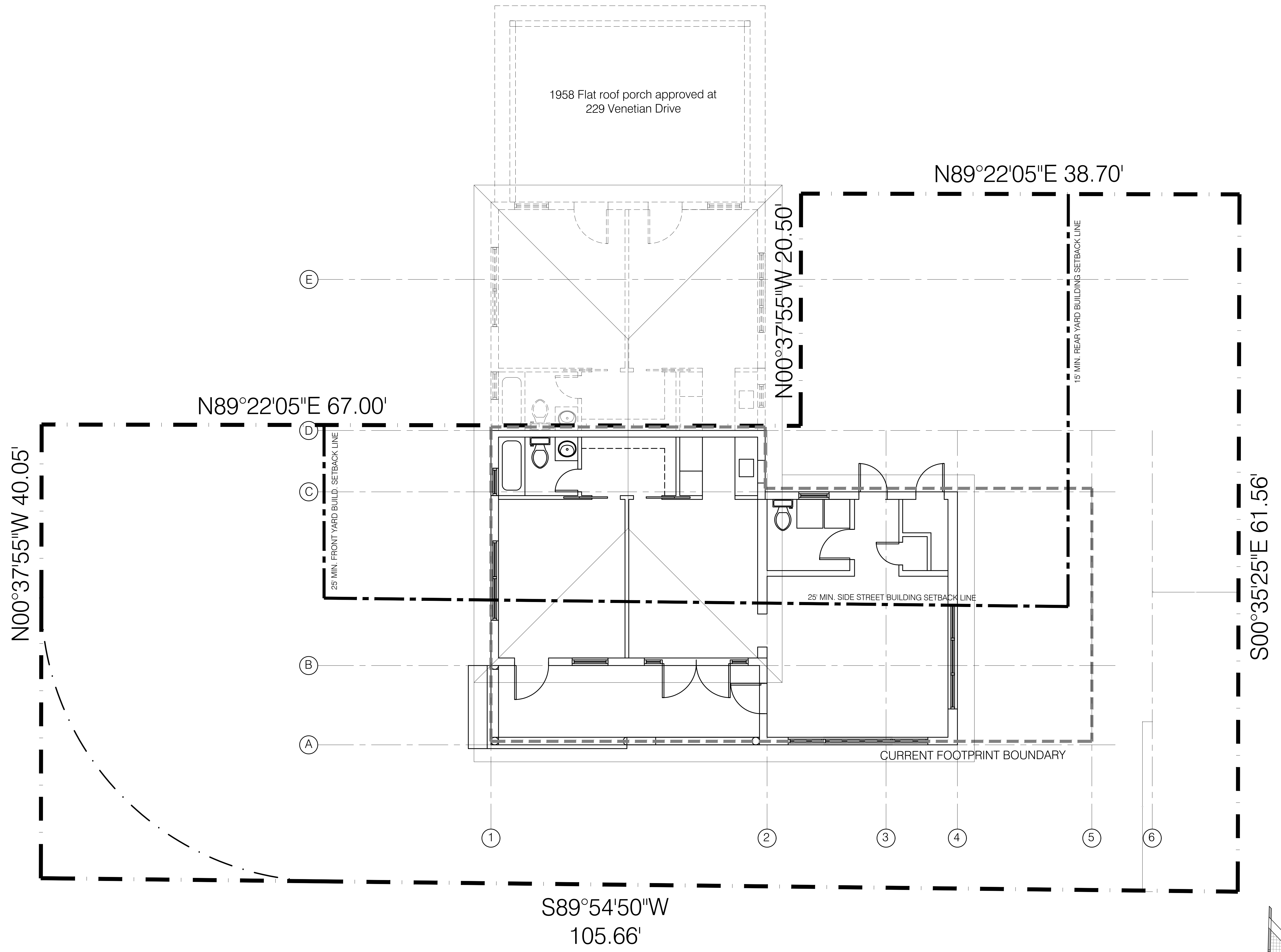
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SP3

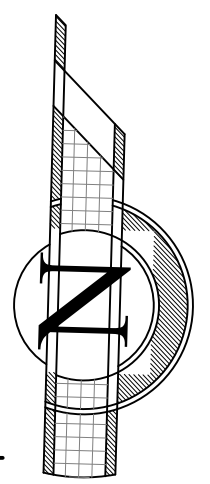


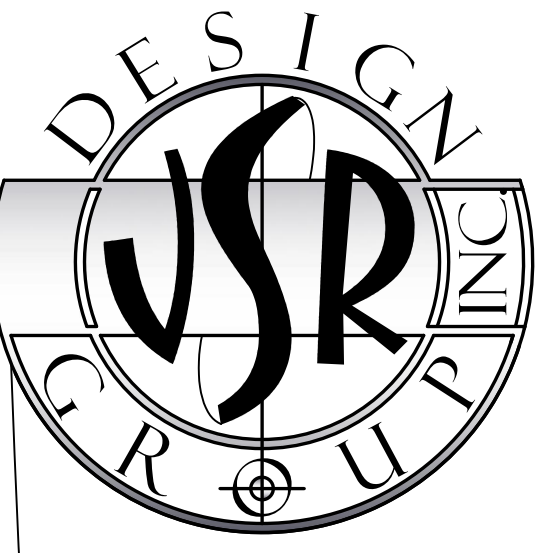
S89°54'50"W
 105.66'

NASSAU STREET

1950 ADDITION

SCALE: 1/4" = 1' - 0"

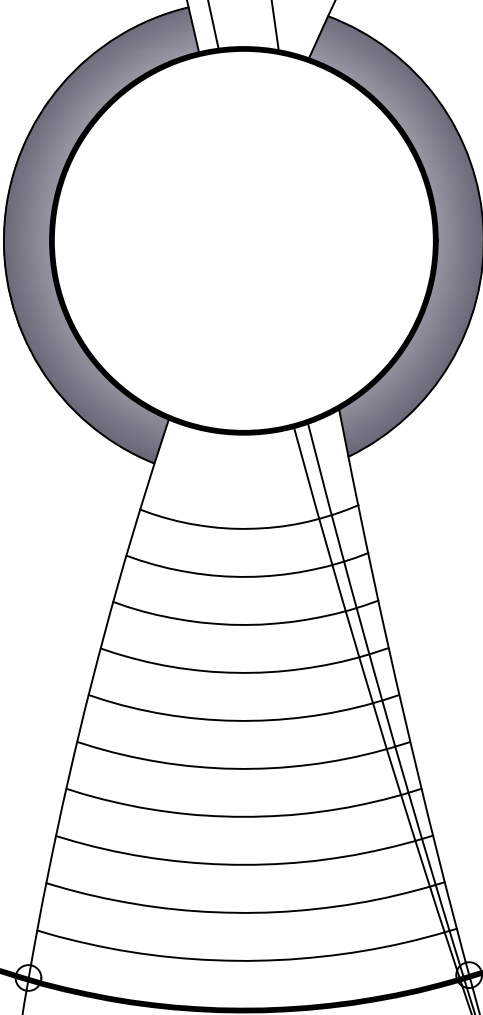




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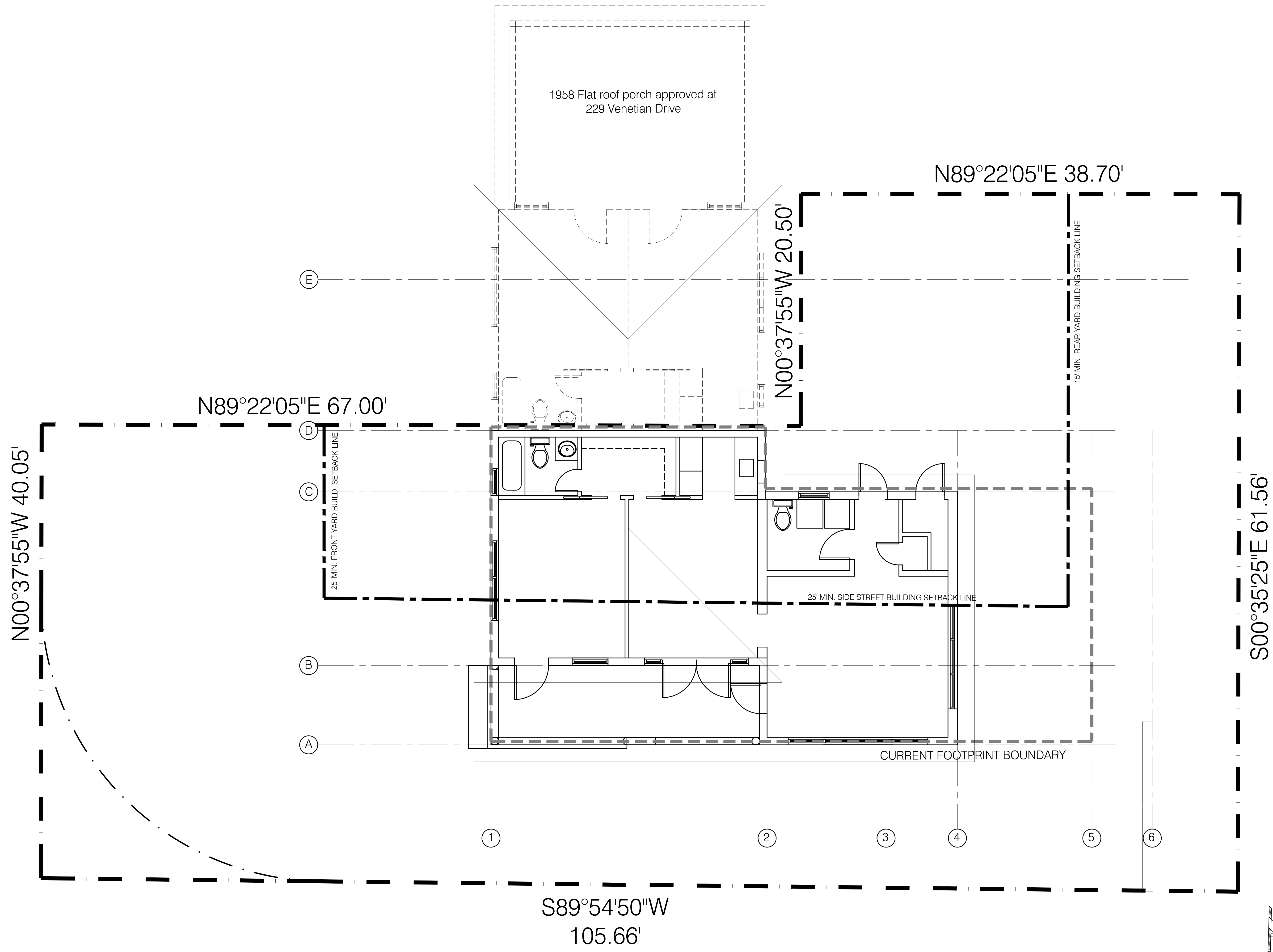
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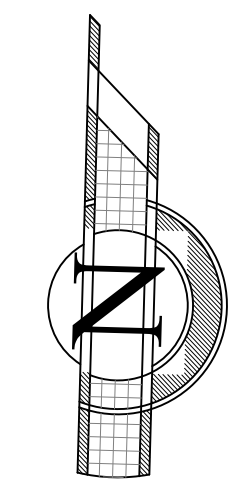
SP4

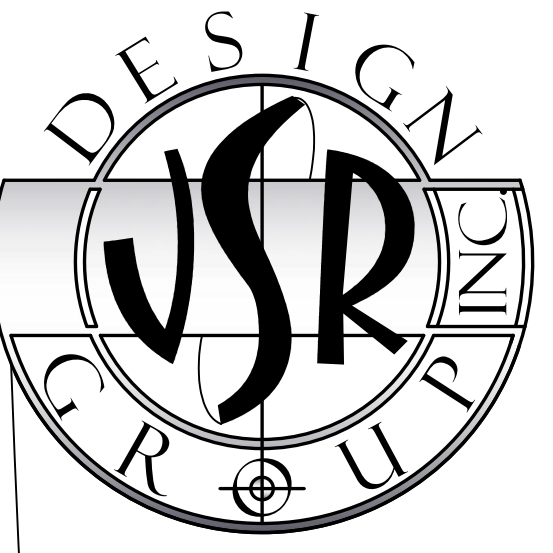


S89°54'50"W
105.66'

NASSAU STREET

CURRENT LAYOUT
SCALE: 1/4" = 1'- 0"

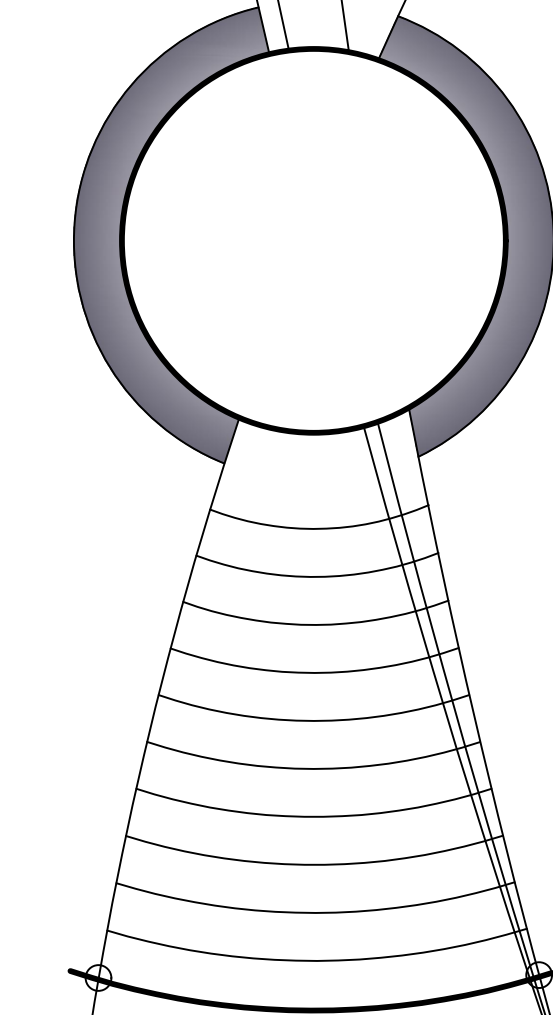




LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

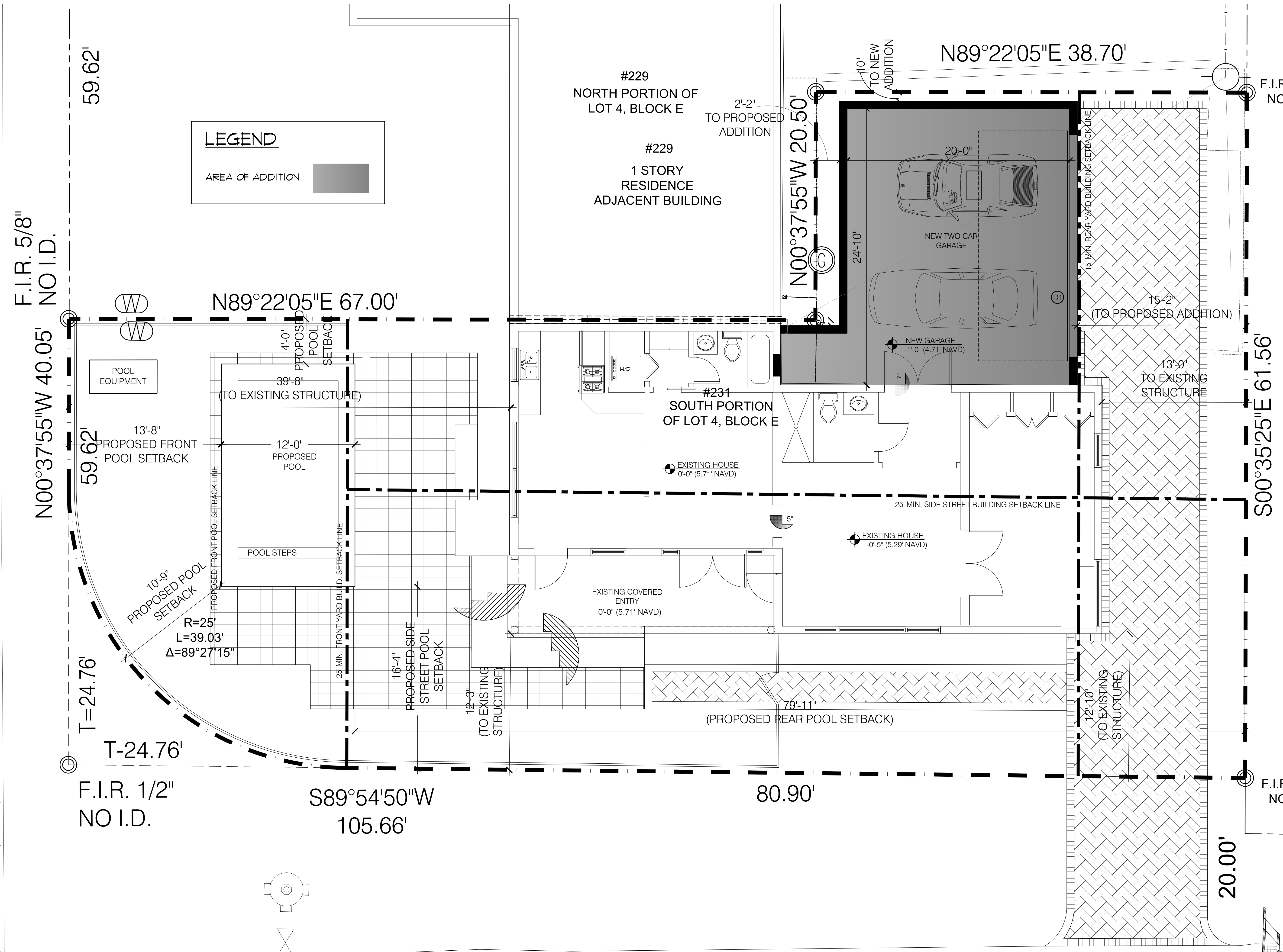
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PH: 561-362-7203
AA26002033



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13022

SP5



LEGEND

AREA OF ADDITION

PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

F.I.R. 5/8"
NO I.D.

N00°37'55"W 40.05'

59.62'

N89°22'05"E 67.00'

13'-8"
PROPOSED FRONT
POOL SETBACK

59.62'

T=24.76'

F.I.R. 1/2"
NO I.D.

S89°54'50"W
105.66'

#229
NORTH PORTION OF
LOT 4, BLOCK E

#229
1 STORY
RESIDENCE
ADJACENT BUILDING

#231
SOUTH PORTION
OF LOT 4, BLOCK E

N89°22'05"E 38.70'

N00°37'55"W 20.50'

NEW TWO CAR
GARAGE

NEW GARAGE
-1'-0" (4.71' NAVD)

15' MIN. REAR YARD BUILDING SETBACK LINE

15'-2"
(TO PROPOSED ADDITION)

13'-0"
TO EXISTING
STRUCTURE

25' MIN. SIDE STREET BUILDING SETBACK LINE

EXISTING HOUSE
-0'-5" (5.29' NAVD)

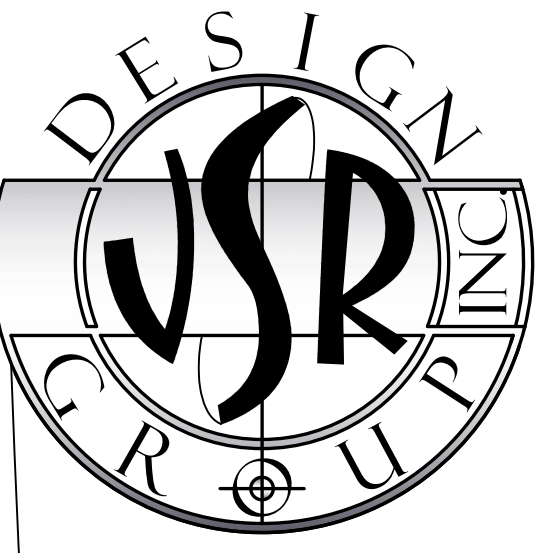
EXISTING COVERED
ENTRY
0'-0" (5.71' NAVD)

79'-11"
(PROPOSED REAR POOL SETBACK)

12'-10"
(TO EXISTING
STRUCTURE)

20.00'

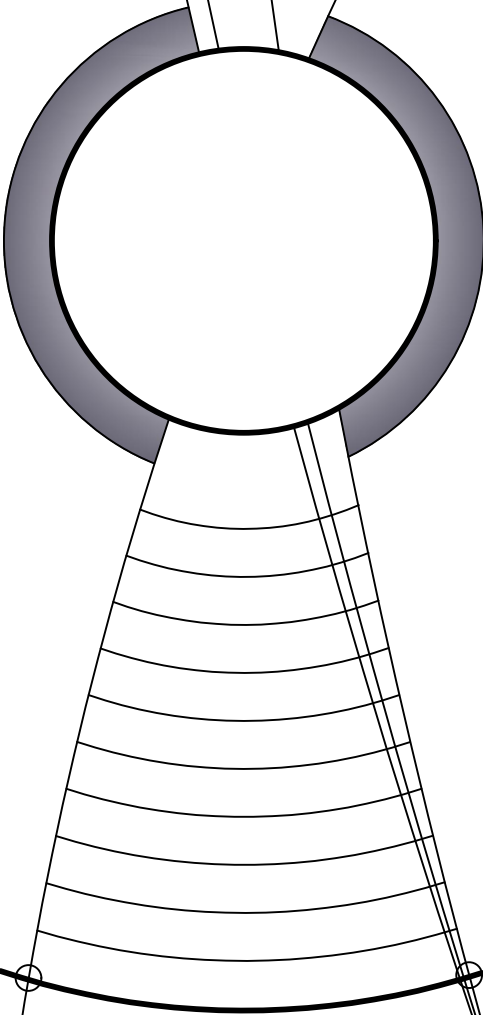
F.I.R. NO



LEVEL 2 ALTERATION
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231 VENETIAN DRIVE
DELRAY BEACH, FL

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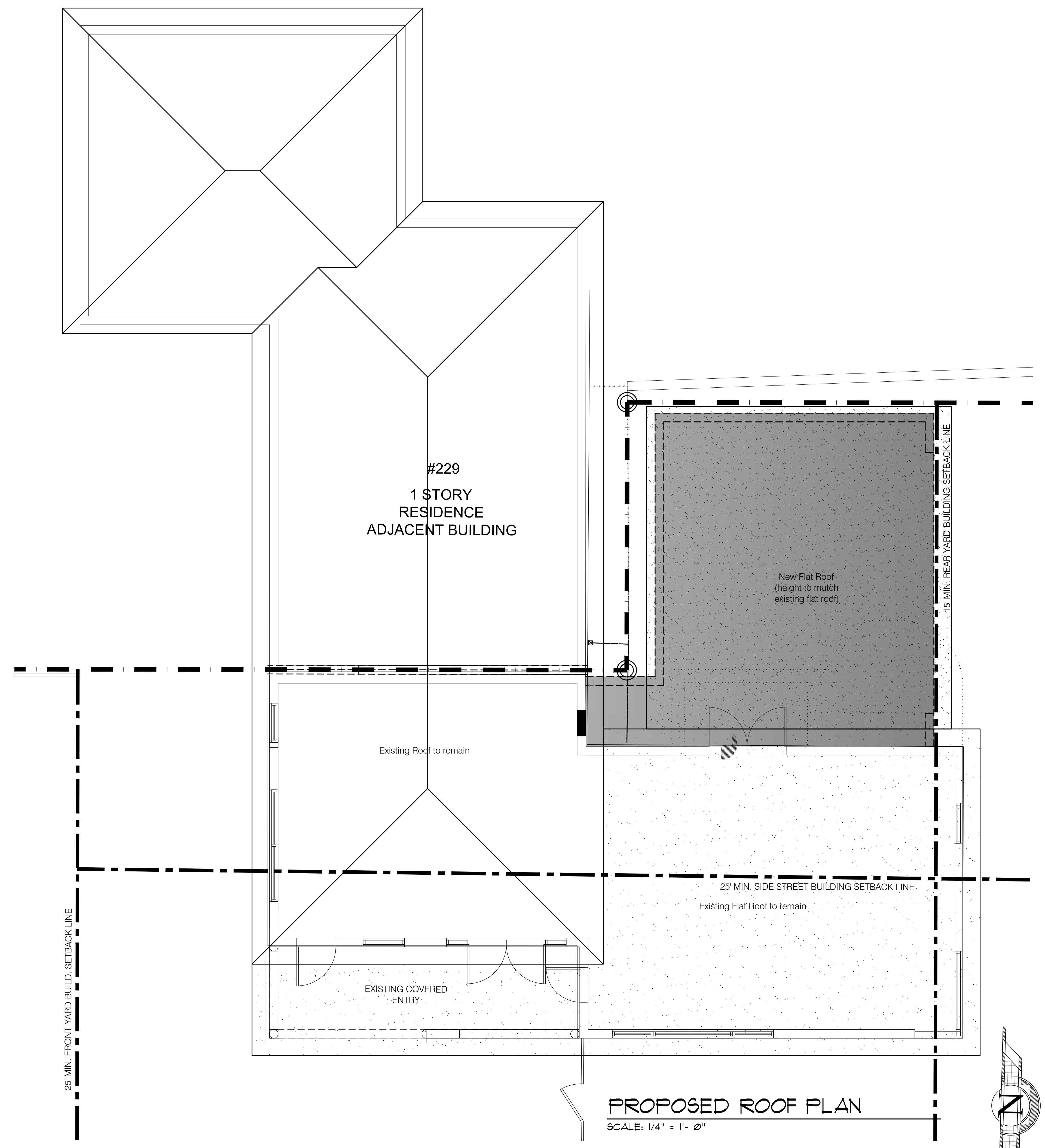
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SP6

LEGEND

AREA OF ADDITION 

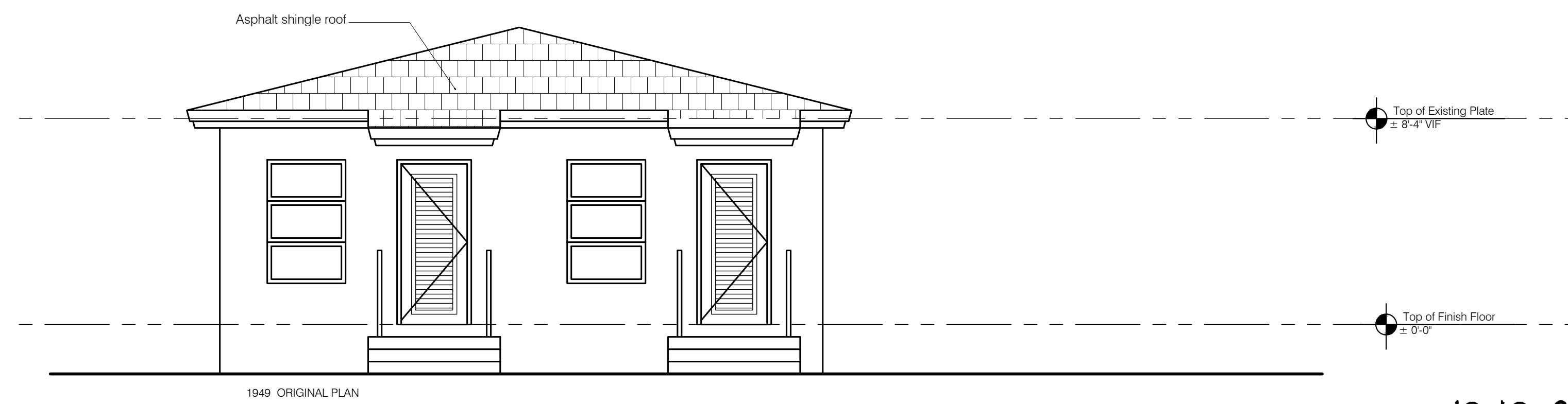




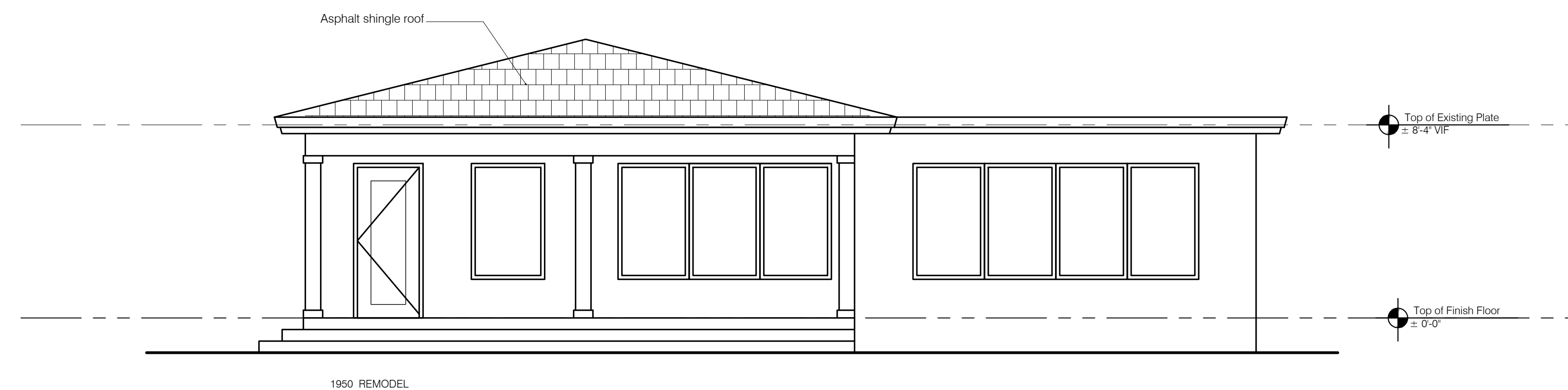
LEVEL 2 ALTERATION
BECKWORTH HOUSE
231 VENETIAN DRIVE
DELRAY BEACH, FL

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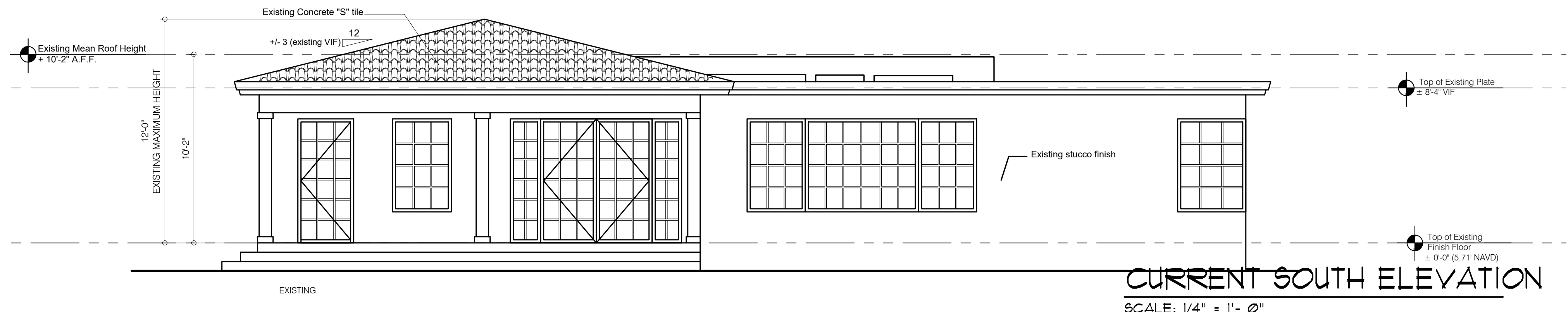
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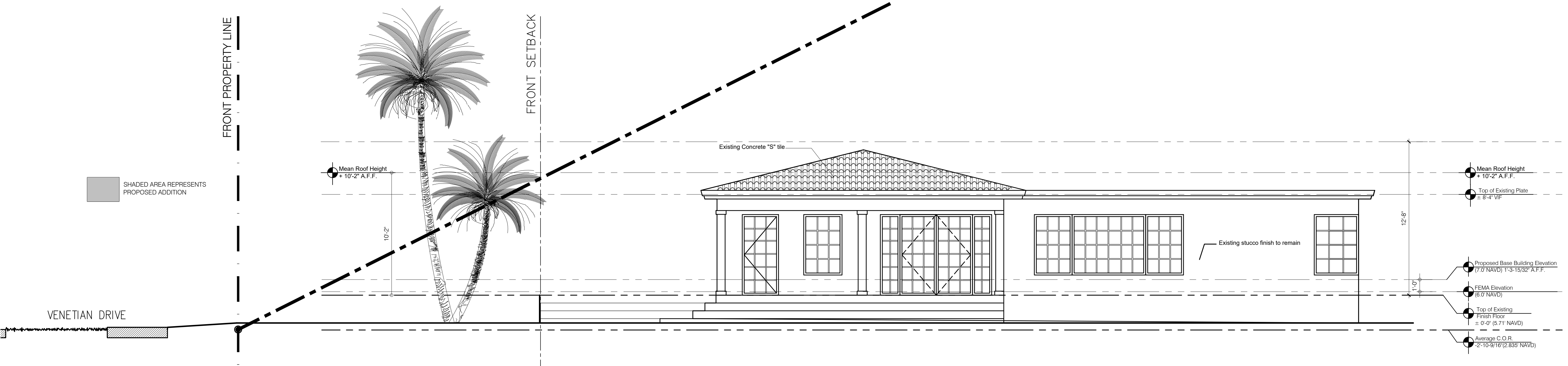
1949 SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



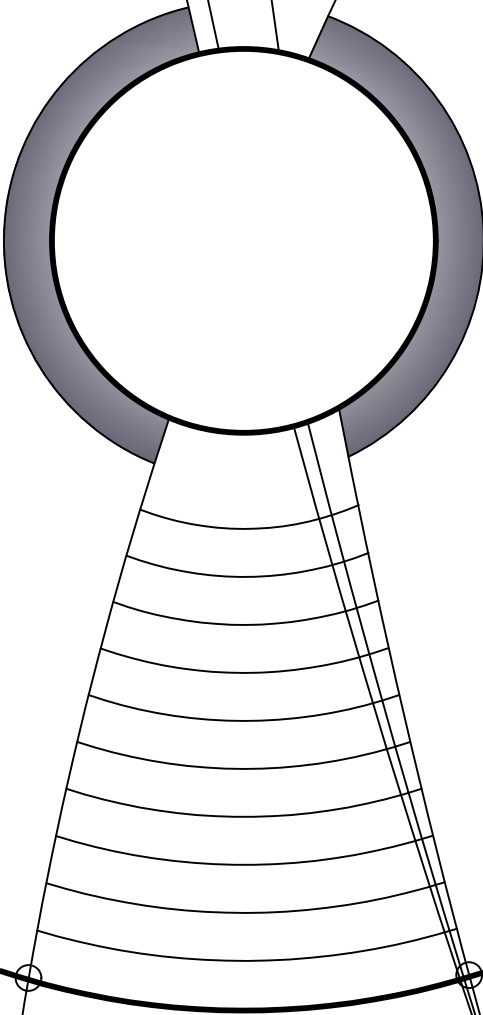
1950 SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



CURRENT SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



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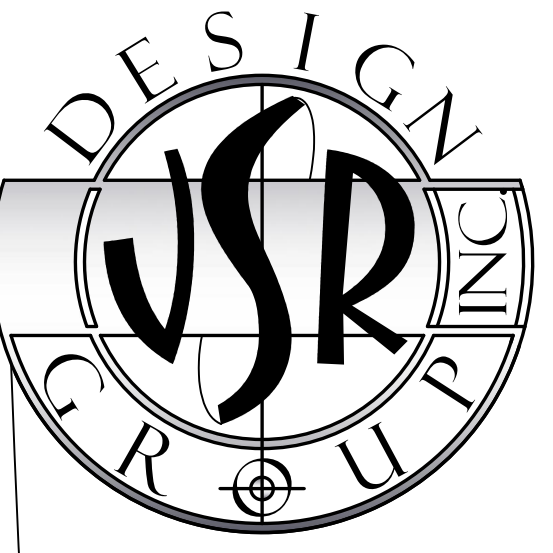
SP7

SHADED AREA REPRESENTS PROPOSED ADDITION

FRONT PROPERTY LINE

FRONT SETBACK

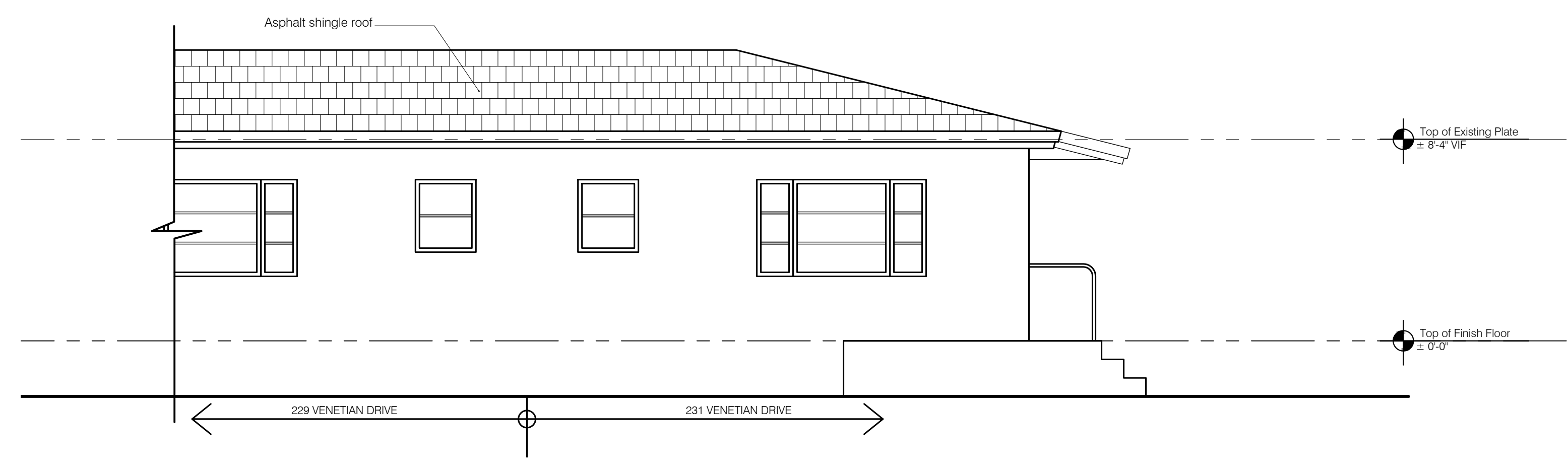
VENETIAN DRIVE



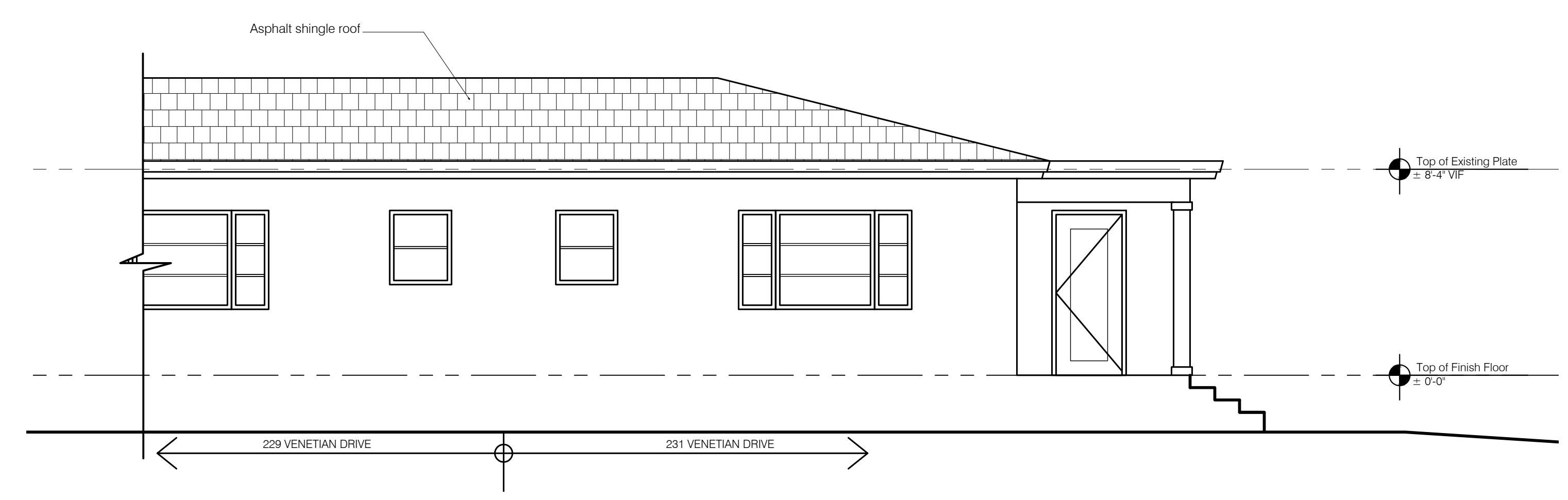
LEVEL 2 ALTERATION
 BECKWORTH HOUSE
 231 VENETIAN DRIVE
 DELRAY BEACH, FL

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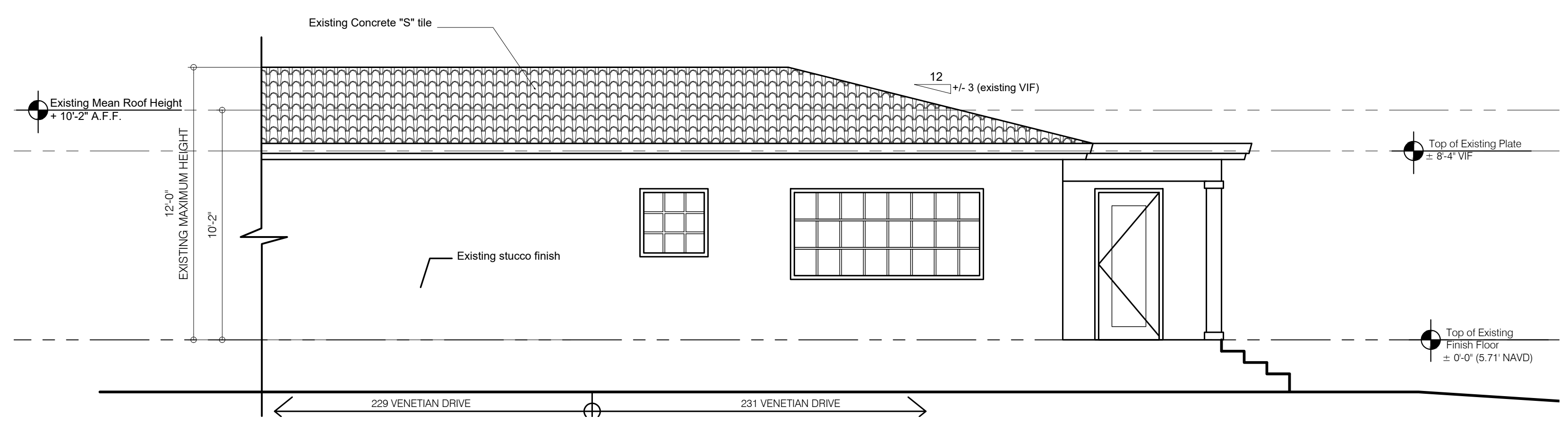
JSR DESIGN GROUP, INC.
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 BOCA RATON, FL 33432
 PH: 561-362-7203
 FAX: 561-200-2033



1949 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

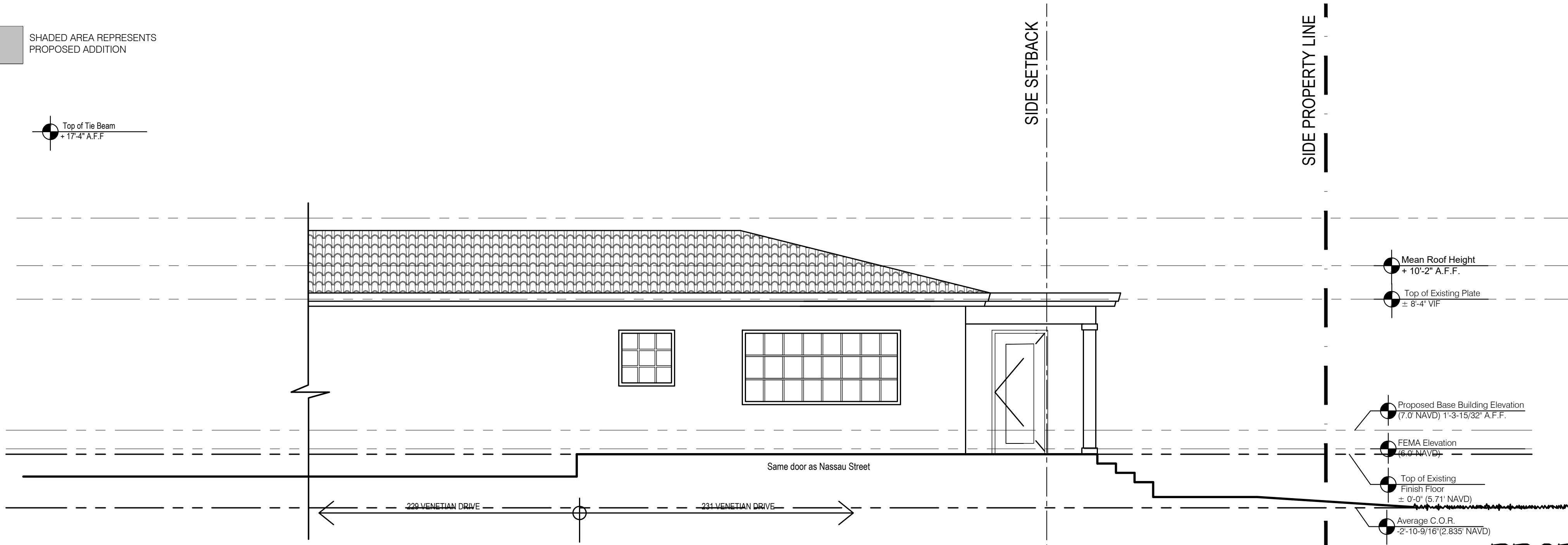


1950 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



CURRENT WEST ELEVATION
 SCALE: 1/4" = 1'-0"

SHADED AREA REPRESENTS
 PROPOSED ADDITION



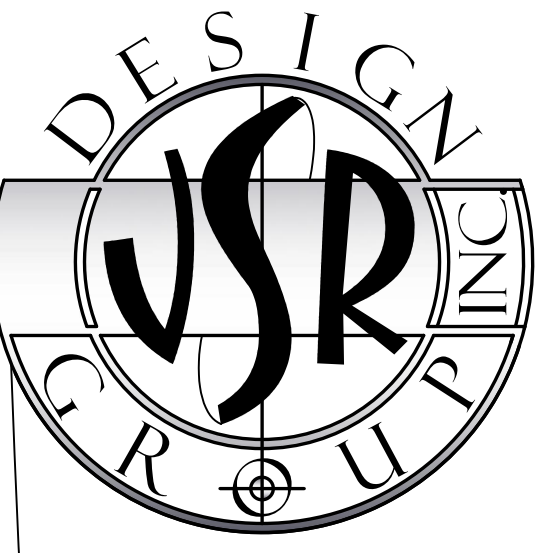
PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



13022

SP8

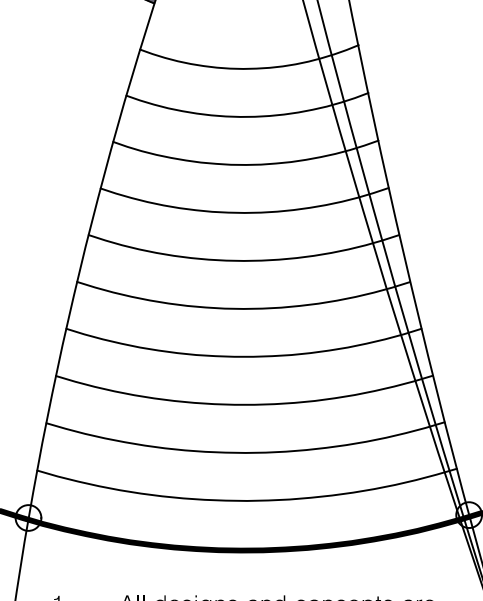
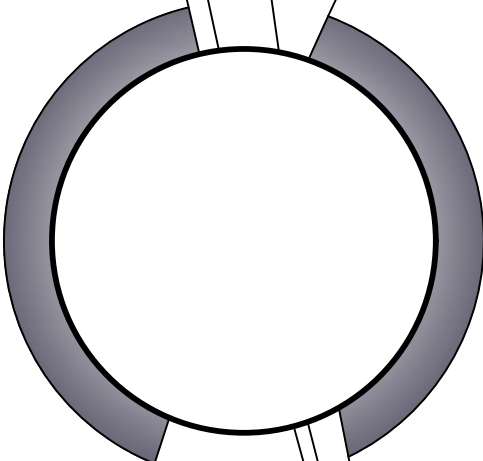
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LEVEL 2 ALTERATION
 BECKWORTH HOUSE
 231 VENETIAN DRIVE
 DELRAY BEACH, FL

JOHN SHERMAN REED
 ARCHITECT
 FL LICENSE # AR95171

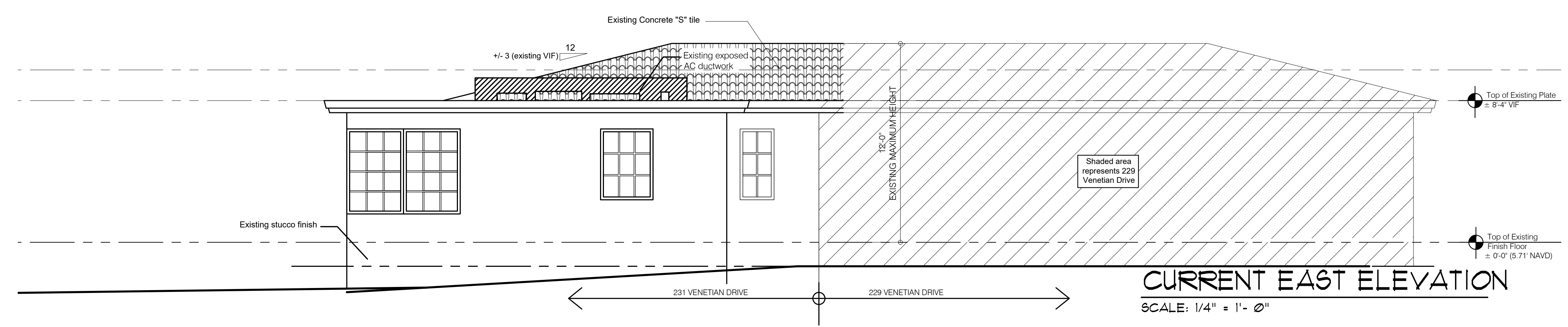
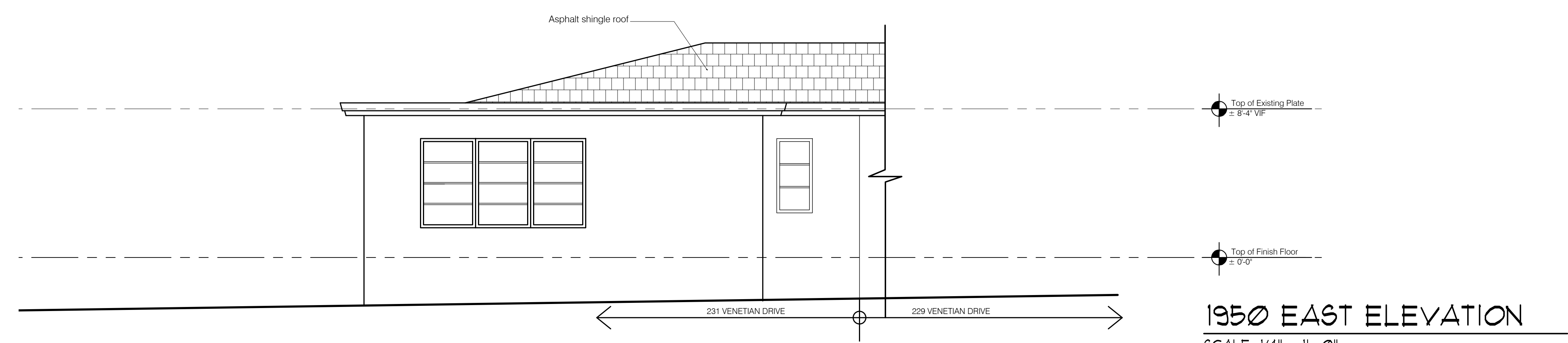
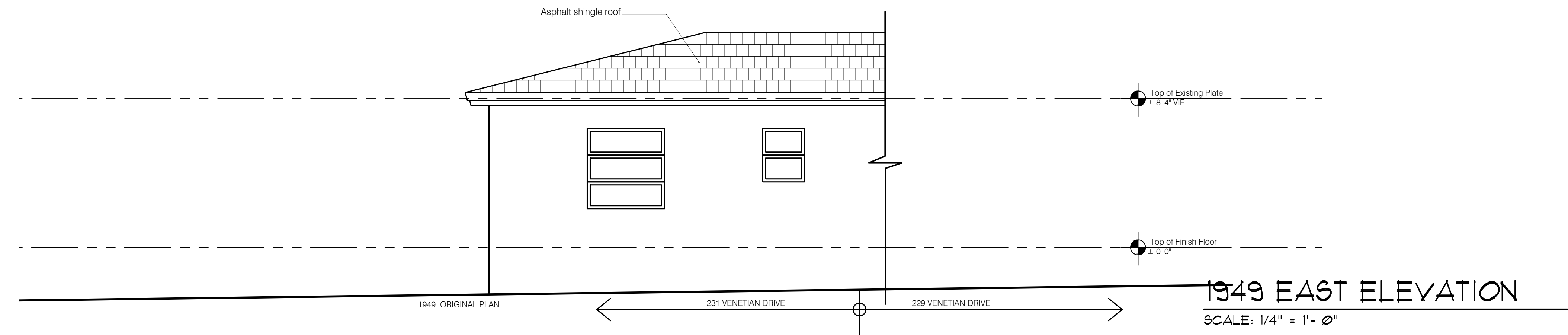
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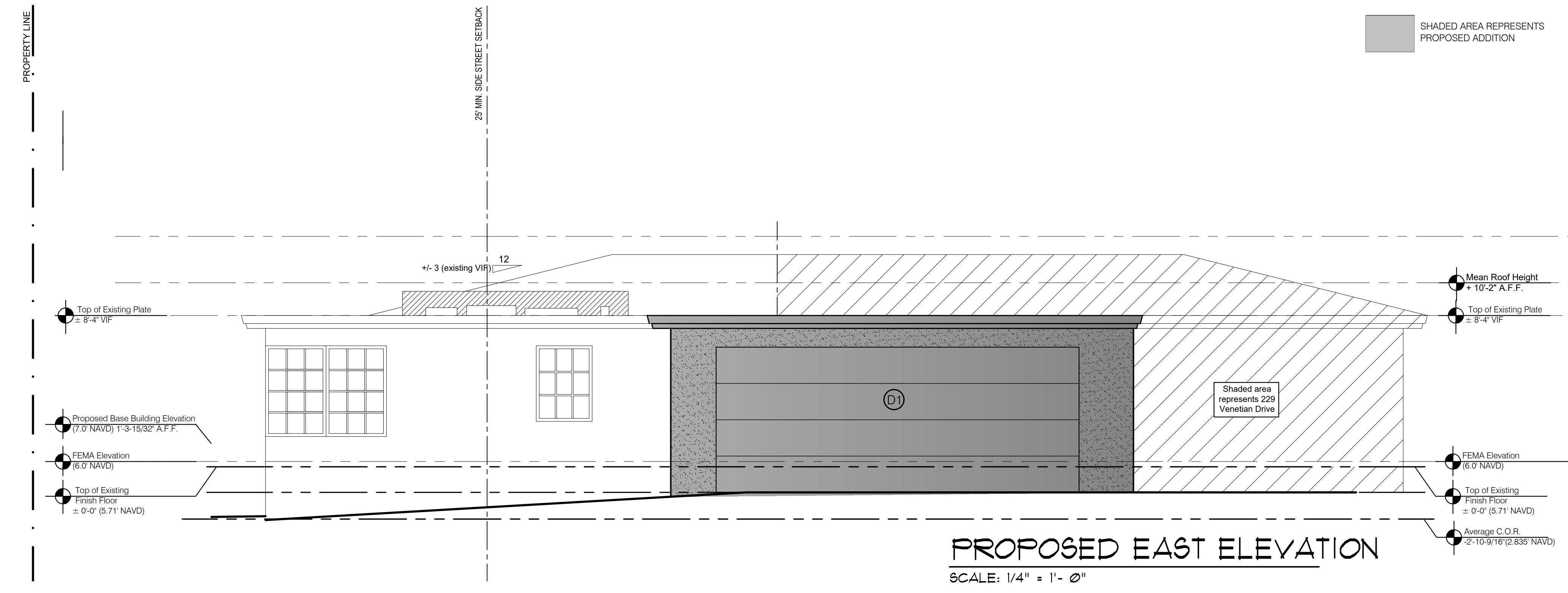
SP9



SHADED AREA REPRESENTS PROPOSED ADDITION

LEGEND

AREA OF ADDITION

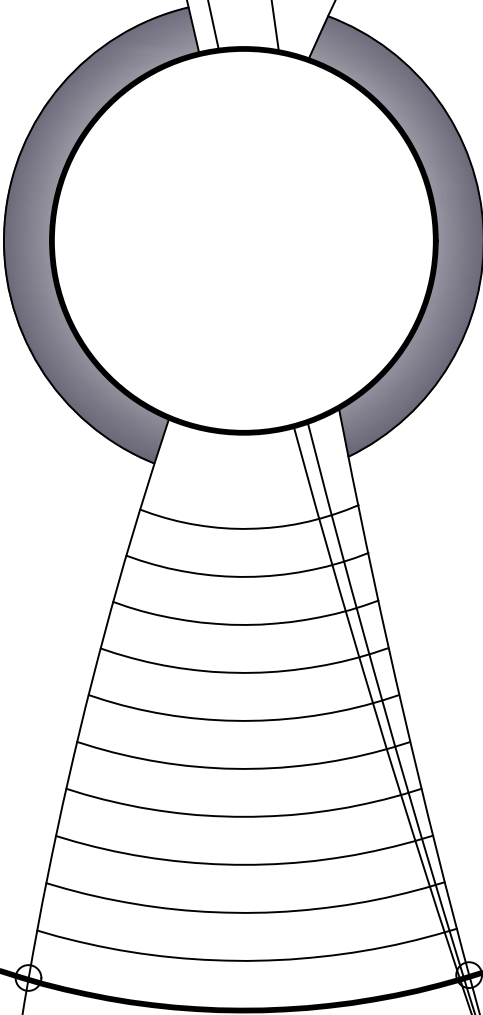




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 231 VENETIAN DRIVE
 DELRAY BEACH, FL

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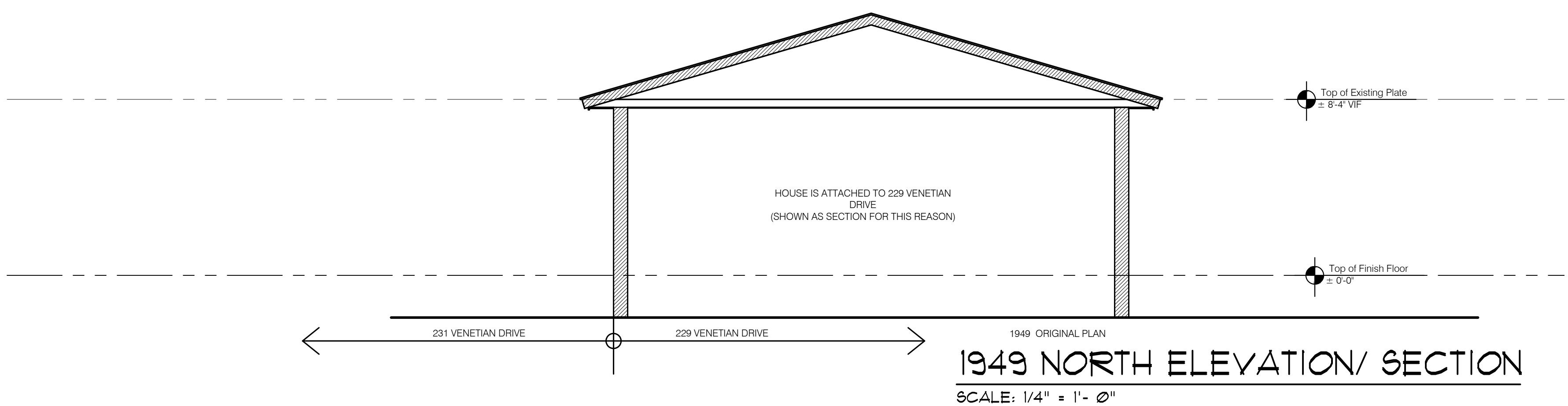
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 BOCA RATON, FL 33432
 PH: 561-362-7203
 FAX: 561-362-0333



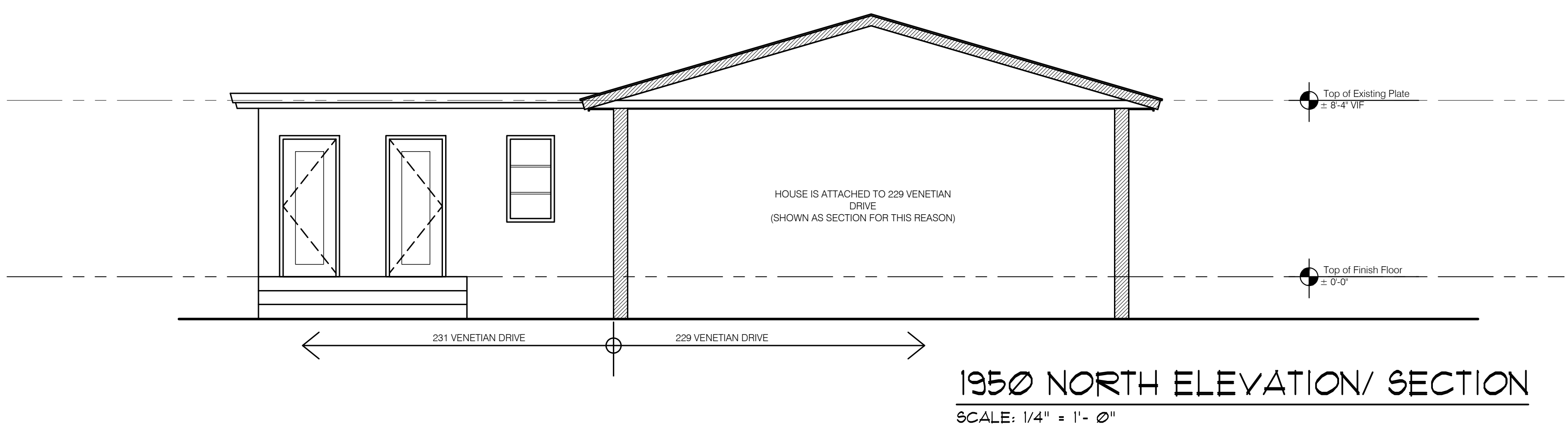
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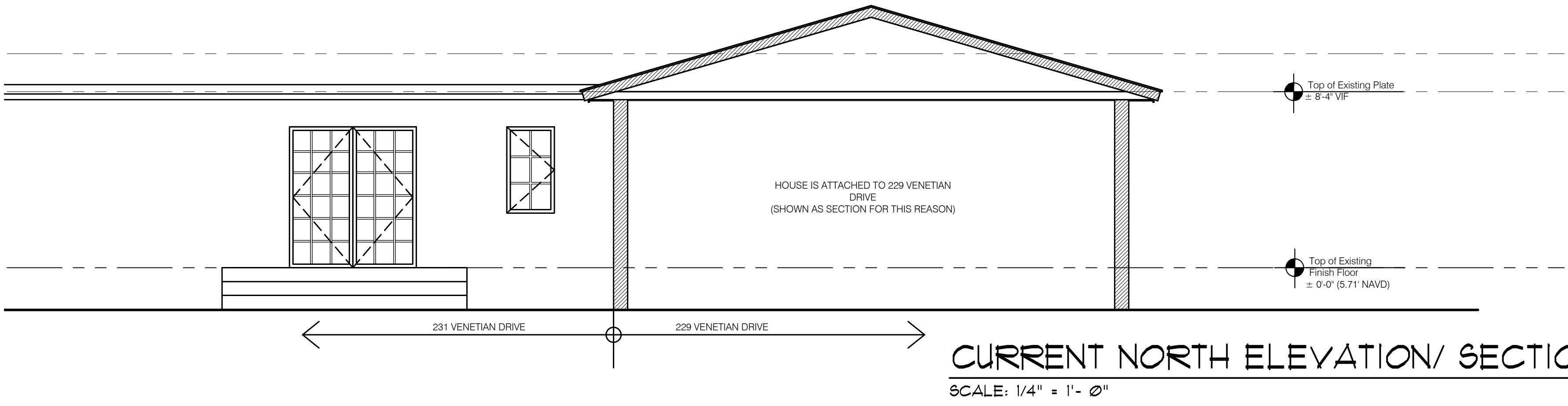
SP10



1949 ORIGINAL PLAN
1949 NORTH ELEVATION/ SECTION
 SCALE: 1/4" = 1'-0"



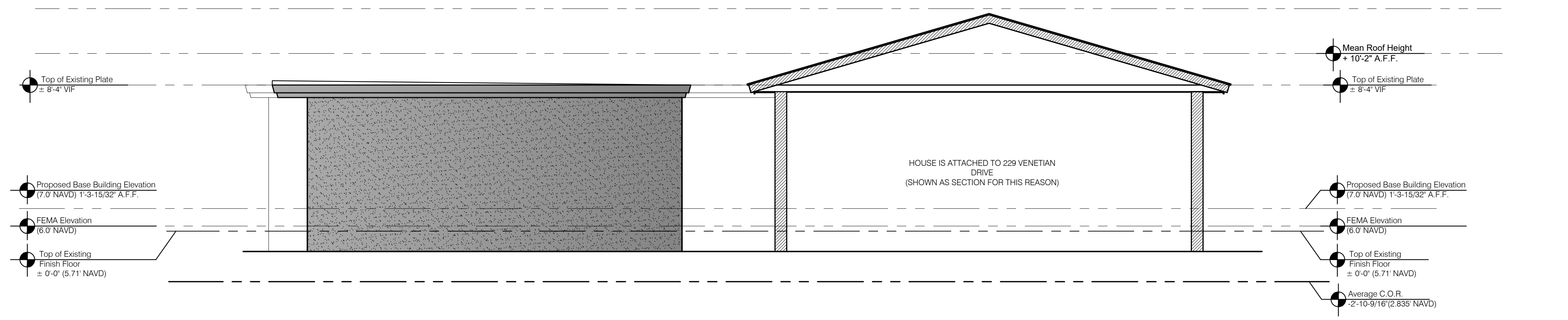
1950 NORTH ELEVATION/ SECTION
 SCALE: 1/4" = 1'-0"



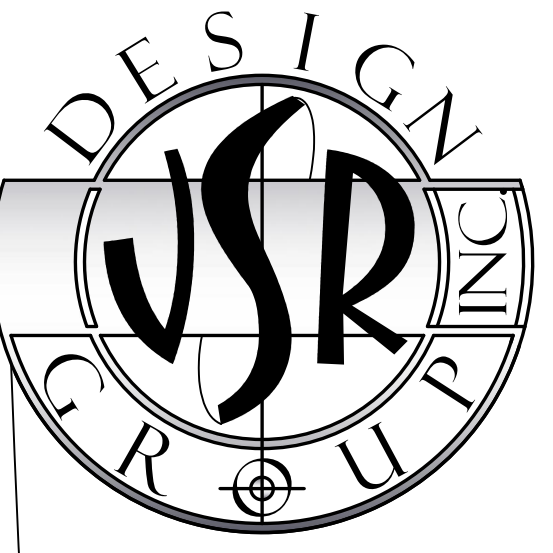
CURRENT NORTH ELEVATION/ SECTION
 SCALE: 1/4" = 1'-0"

LEGEND

AREA OF ADDITION



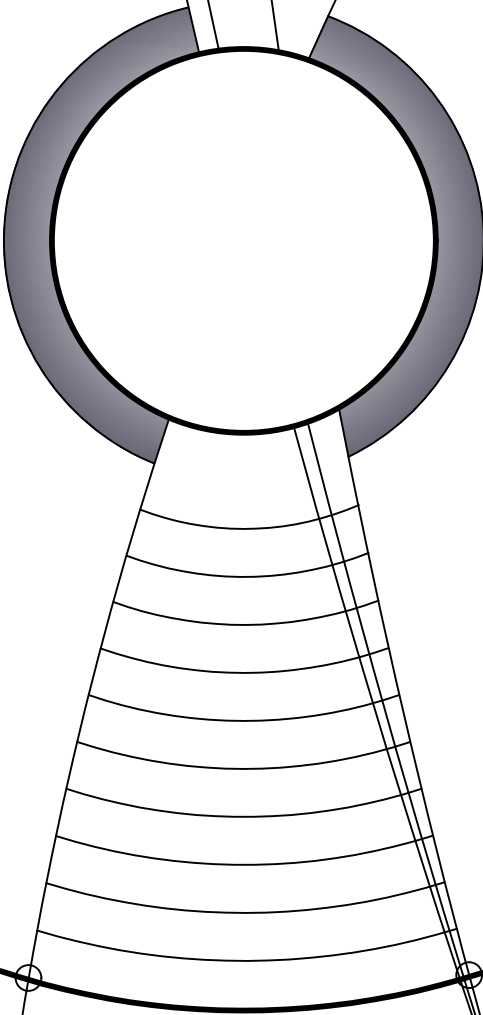
PROPOSED NORTH ELEVATION/ SECTION
 SCALE: 1/4" = 1'-0"



LEVEL 2 ALTERATION
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DELRAY BEACH, FL

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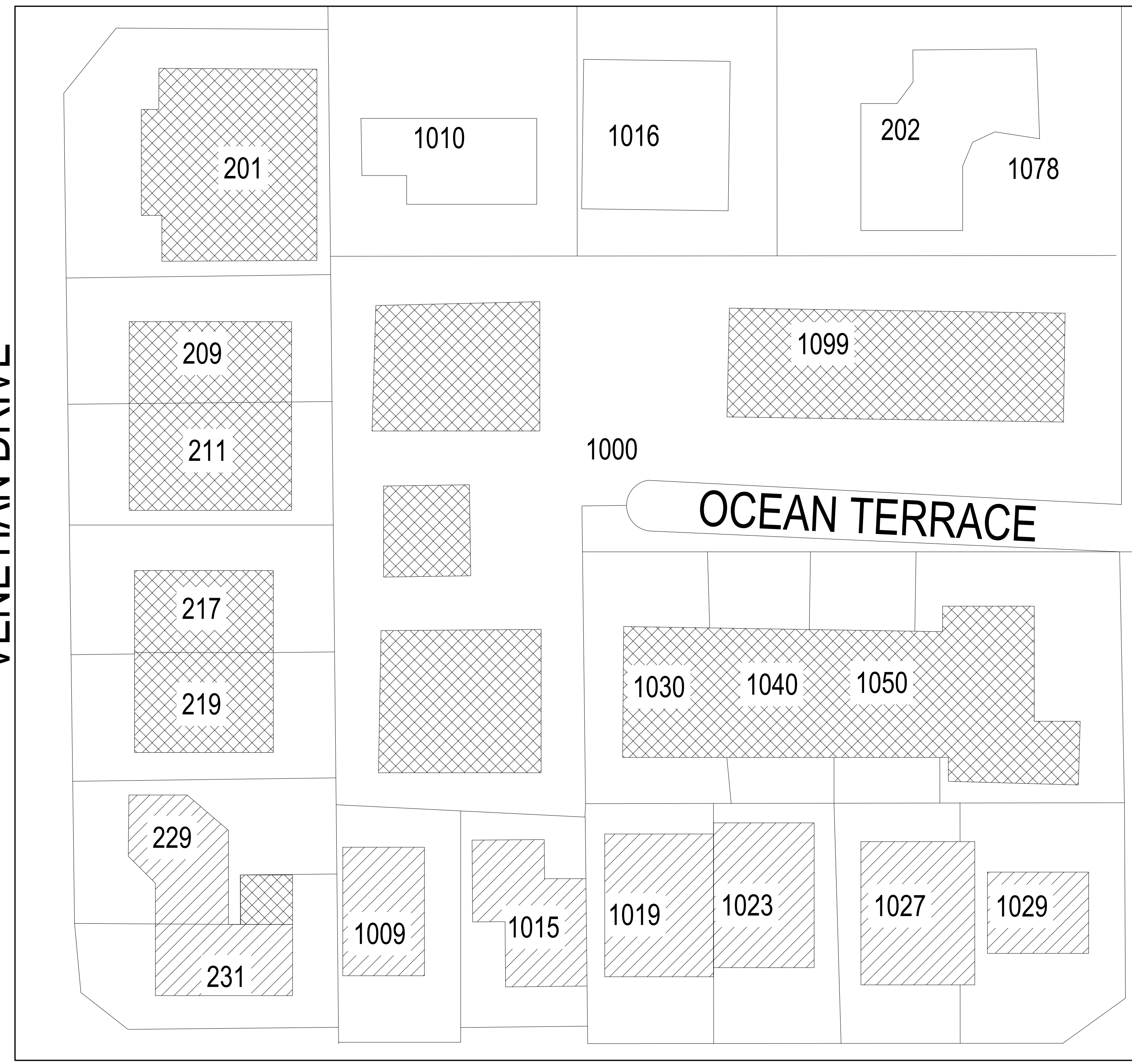
SP11

INGRAHAM AVENUE

VENETIAN DRIVE

GLEASON STREET

NASSAU STREET



201


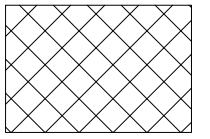
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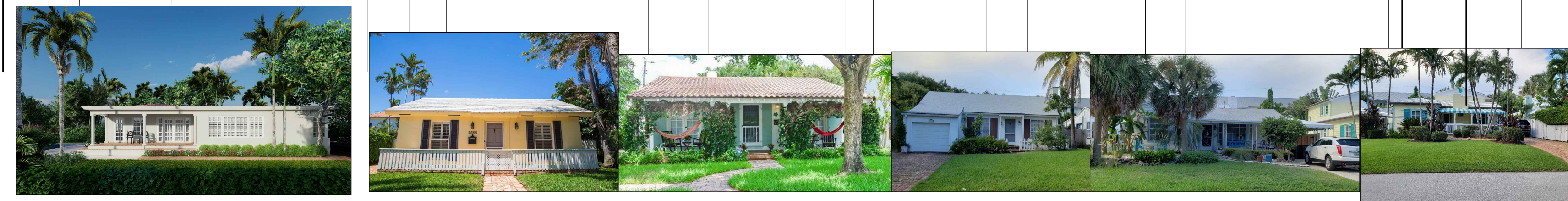
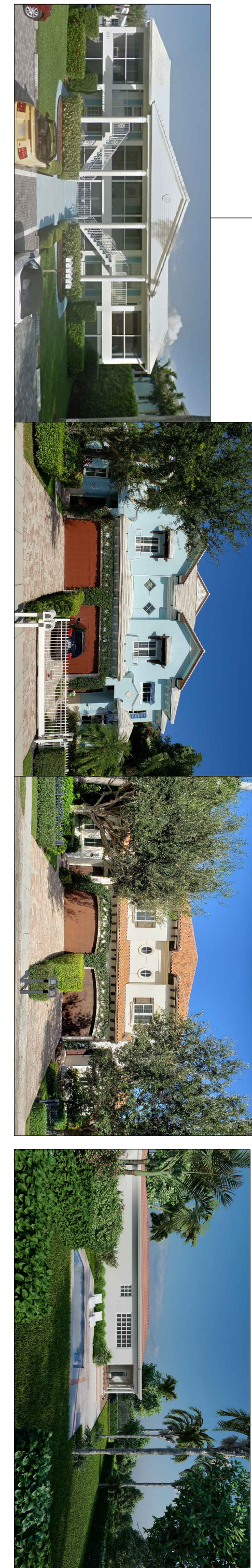
211

217

219

229

-  1 STORY BUILDING
-  2 STORY BUILDING



231

1009

1015

1019

1023

1027



NASSAU STREET



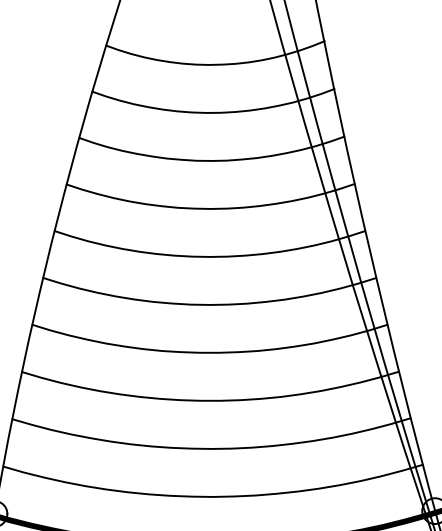
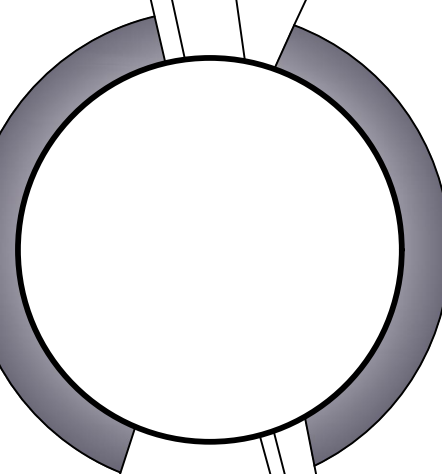
VENETIAN DRIVE



LEVEL 2 ALTERATION
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 231 VENETIAN DRIVE
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13022

SP12

PLANT LIST

| KEY | QTY | PLANT AND SPECIFICATION |
|---|-----|--|
| TREES AND PALMS | | |
| N ** CG | 3 | Clusea guttifera (Small Leaf Clusea) 12' ht., 6' spr., 6' c.t. , matched |
| N ** CES | 2 | Conocarpus erectus 'sericus' (Silver Buttonwood) 12' ht., 6' spr. multi trunked 4' c.t. , matched |
| ** TAB | 1 | Tabebuia spp. (Yellow Tabebuia) 12' ht., 6' spr. 6' c.t., first 4' with straight trunk, character branching |
| N ** TR | 1 | Thrinax radiata (Thatch Palm) 10' o.a. ht., 3' c.t., double |
| VM3 | 2 | Veitchia montgomeryana (Montgomery Palm) 10' c.t., 16" oa. ht., triple, full, matched |
| WB | 3 | Wodyedia bifurcata (Foxtail Palm) 10' c.t., 16" oa. ht., full, matched |
| SHRUBS, GROUNDCOVERS AND ACCENTS | | |
| BEG | 7 | Begonia odorata 'alba' (White Angel Wing Begonia) 20" ht., 18" spr., full, not shade-grown |
| N ** CLU | 32 | Clusea guttifera (Clusia Hedge) |
| HIB | 15 | Hibiscus spp. (Hibiscus Hedge) |
| ** LIR | 180 | Liriope muscari (Liriope) |
| POD | 24 | Podocarpus macrophyllus (Podocarpus Hedge) |
| PRI | 42 | Podocarpus spp. 'Pringles' (Pringles Podocarpus) |
| PEN | 37 | Pentas spp. (Flowering Pentas-Red flower) |
| PHI | 12 | Philodendron 'Burlie Marx' (Burlie Marx Philodendron) |
| N ** ERN | 48 | Erondea littoralis (Golden Creeper) |
| SOD | | St. Augustine 'palmetto' - Contractor to determine final qty. |
| MULCH | | non cypress mulch 3" depth - Contractor to determine final qty. |
| ** DENOTES DROUGHT TOLERANT | | |
| N DENOTES NATIVE SPECIES | | |

LANDSCAPE CALCULATIONS - DELRAY BEACH DUPLEX TABLE

| | | |
|---|-------|----------|
| A. TOTAL LOT AREA | 4,947 | SF |
| B. STRUCTURE, PARKING, WALKWAYS, DRIVES, ETC | 3,480 | SF |
| C. TOTAL PERVIOUS LOT AREA C = (A - B) | 1,467 | SF |
| D. MAX. REQUIRED AREA COVERED WITH SOD D = (C X 80%) | 1,173 | SF |
| E. AREA OF SHRUBS AND GROUNDCOVER PROVIDED | 1,300 | SF |
| F. NATIVE VEGETATION REQUIRED (F = D x .25) | 293 | SF |
| G. NATIVE VEGETATION PROVIDED | 350 | SF |
| H. TOTAL NUMBER OF TREES EXISTING ON SITE | 0 | TREES |
| I. TOTAL NUMBER OF TREES REQUIRED - I = (A ÷ 2000 SQ FT) | 3 | TREES |
| J. TOTAL NUMBER OF TREES PROVIDED | 4 | TREES |
| K. TOTAL NUMBER OF NATIVE TREES REQUIRED - K = (H + I) x .50 | 2 | TREES |
| L. TOTAL NUMBER OF NATIVE TREES PROVIDED | 2 | TREES |
| M. STREET TREES (LDR SEC. 4.6.16.(H)(6)) | | |
| ONE TREE PER EVERY 40 LF OF STREET FRONTAGE | 3 | REQUIRED |
| WITH A MINIMUM OF ONE TREE PER LOT | 3 | PROVIDED |
| * THREE (3) PALMS EQUAL ONE (1) TREE. PROHIBITED SPECIES CANNOT BE COUNTED TOWARD MEETING THIS REQUIREMENT. | | |

SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards 2015, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.

PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.

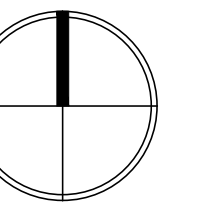
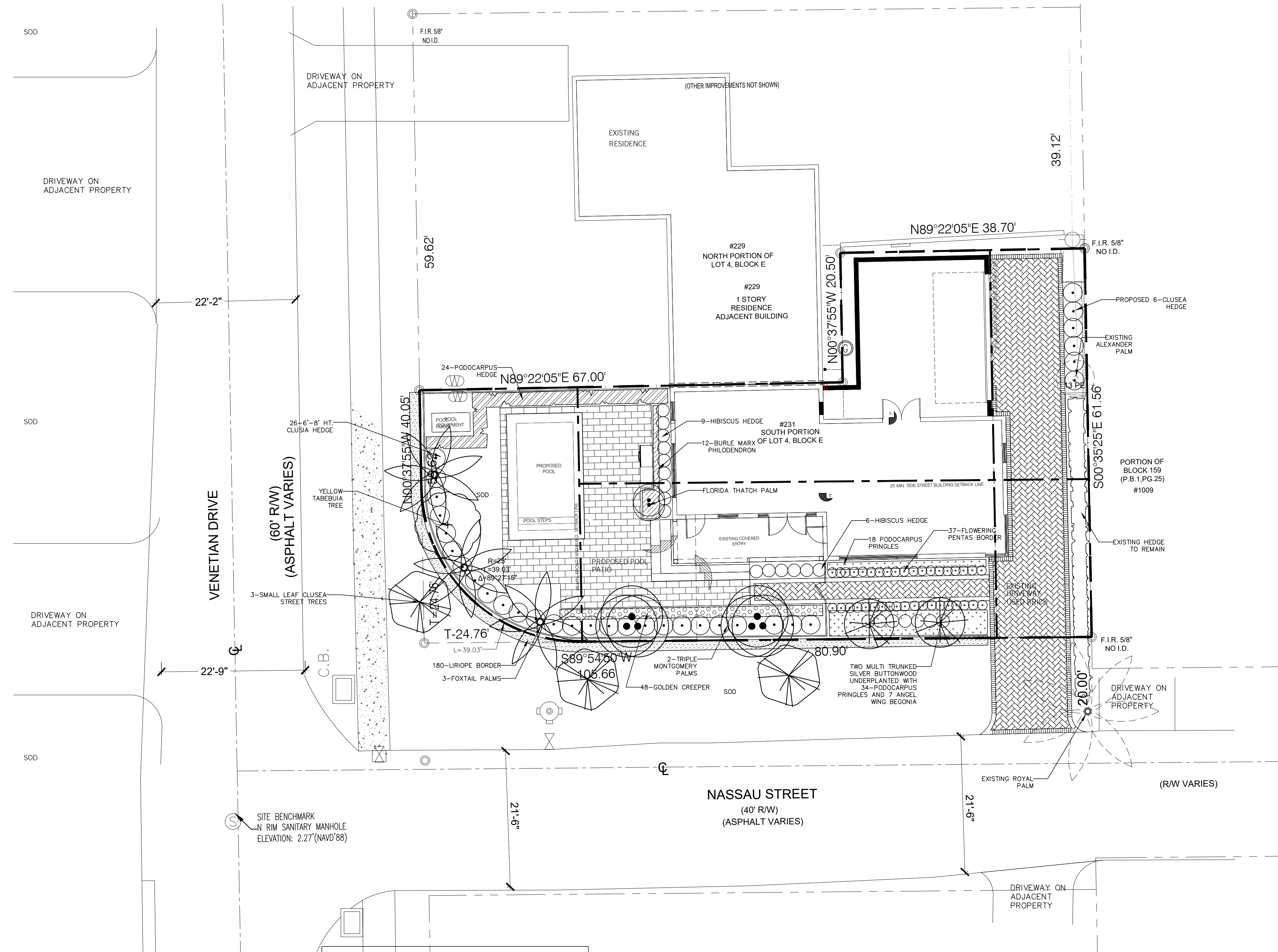
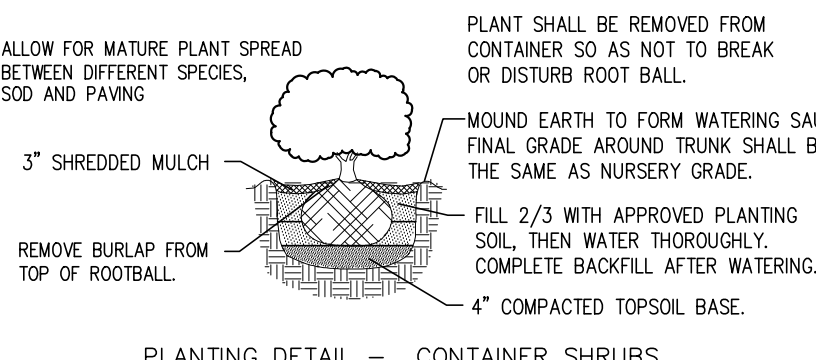
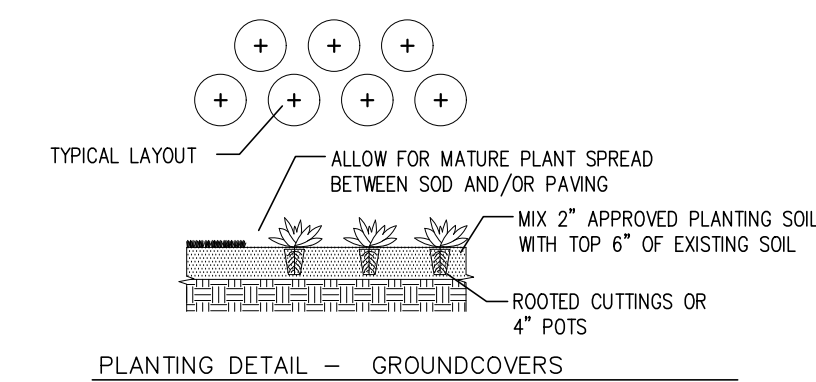
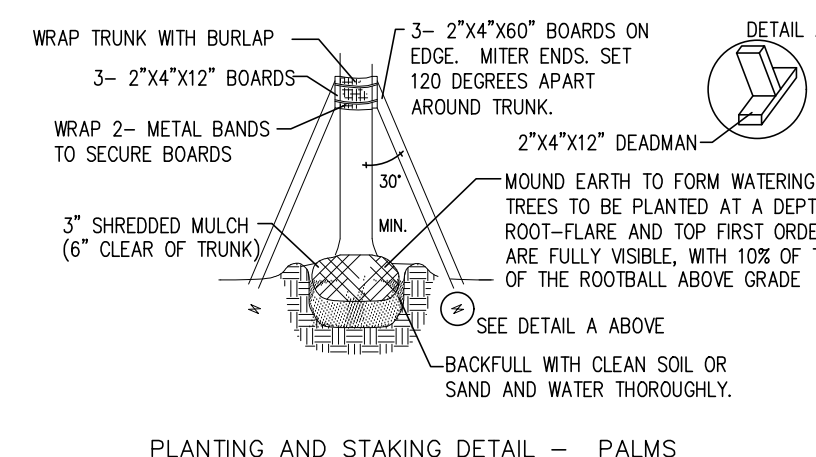
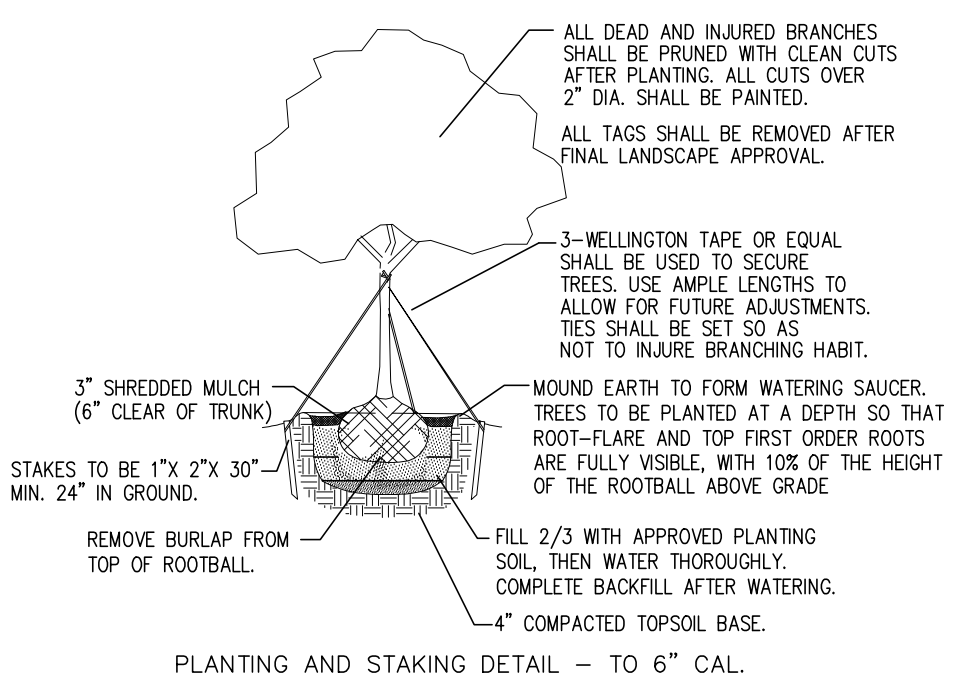
GUYYING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

NOTES

All plant material to be Florida #1 or better.
Sod to be St. Augustine 'Floridami', contractor to determine quantity.
All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.
Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.



SCALE: 1" = 10'-0"

PROJECT

BECKWORTH RESIDENCE
231 VENETIAN DRIVE

DELRAY BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

FILE NAME

BB/CBP DRAWN

1-27-21 DATE

9-24-21 REV.

1-12-22

4/28/22

SHEET

L-1

OF

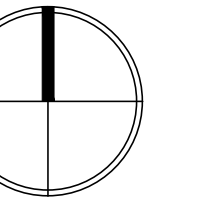
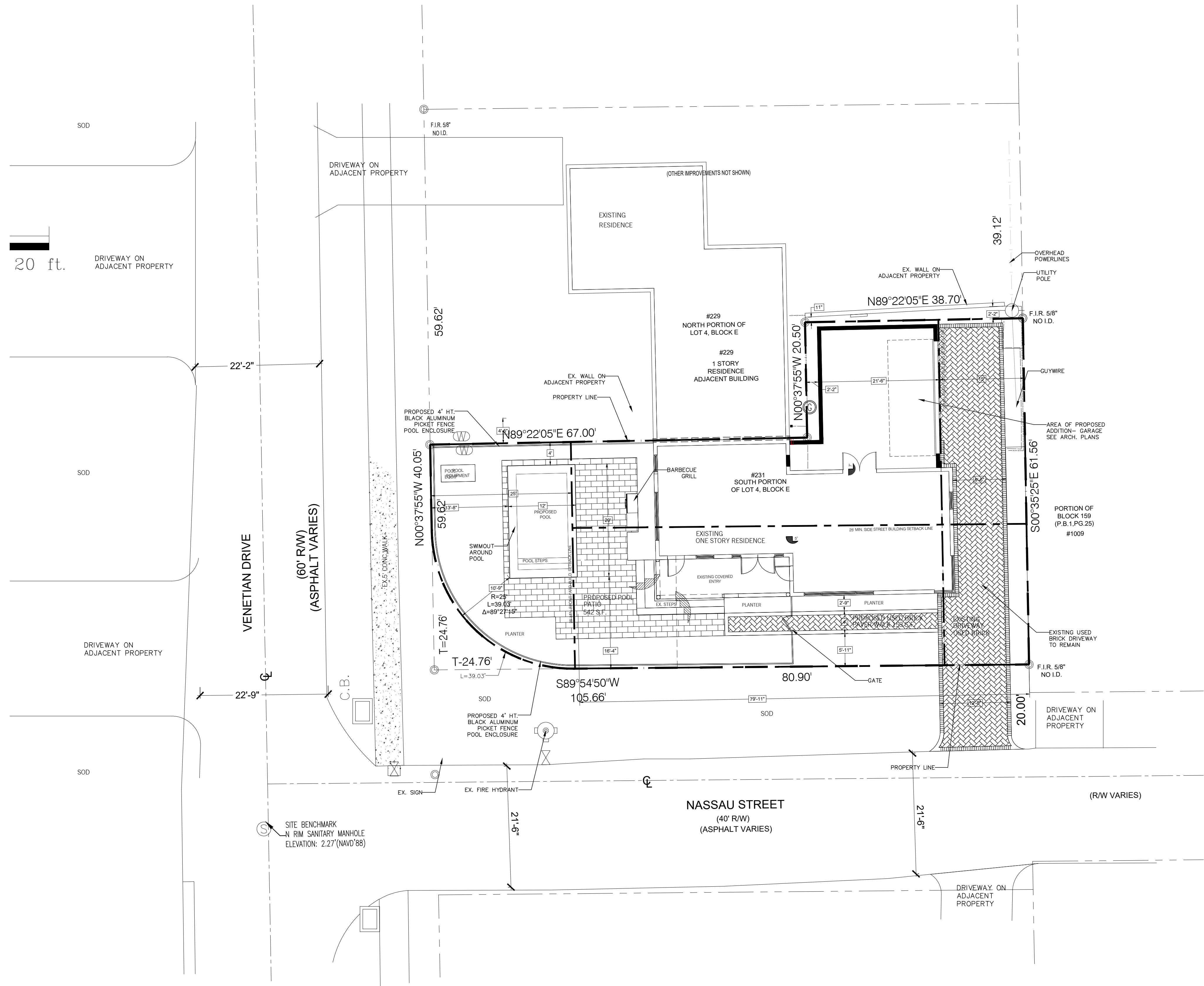
1



4' HT. BLACK ALUMINUM PICKET FENCE



POOL PATIO TUMBLED LIMESTONE PAVERS-CAPRI



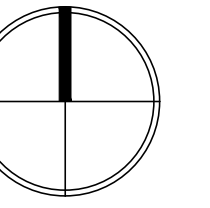
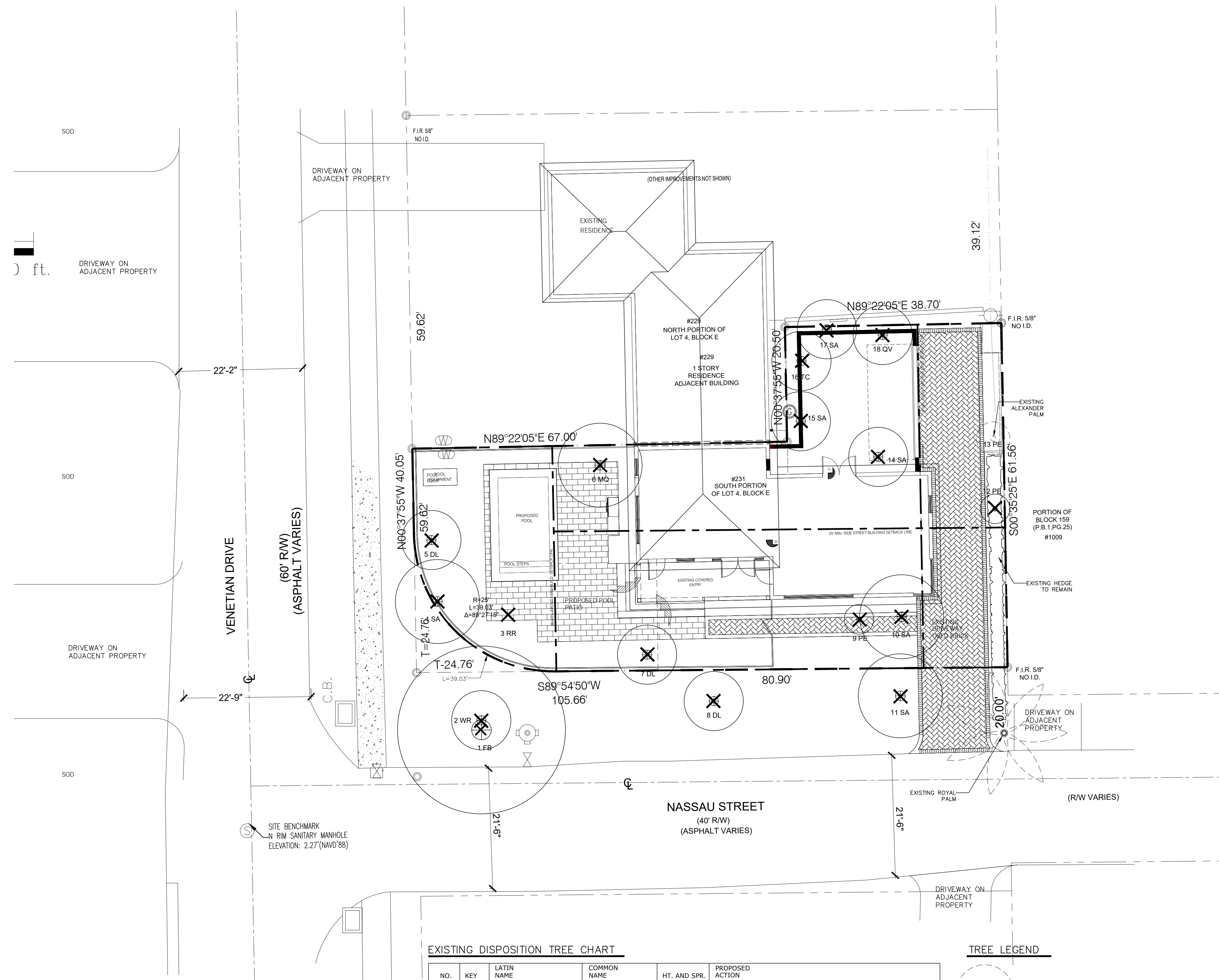
SCALE: 1" = 10'-0"

PROJECT
BECKWORTH RESIDENCE
231 VENETIAN DRIVE
DELRAY BEACH, FL
TITLE
SITE DETAILS

| PROJ. NO. | FILE NAME | DRAWN | DATE | REV. |
|-----------|-----------|-------|---------|------|
| | BB/CBP | | 1/27/21 | |
| | | | 9/24/21 | |
| | | | 4/28/22 | |

SHEET

S-2

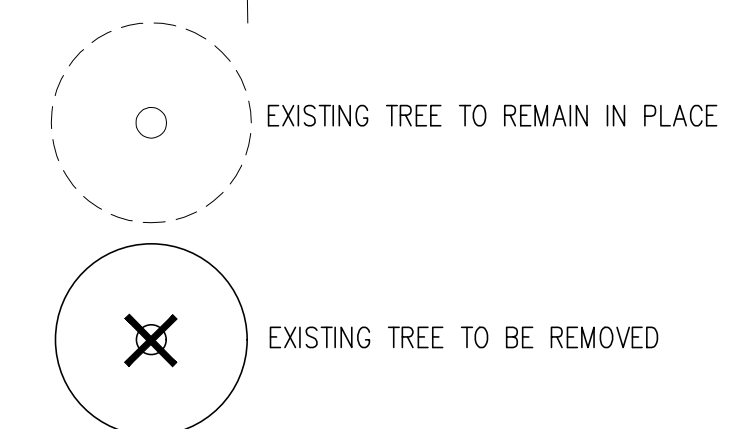


SCALE: 1" = 10'-0"

EXISTING DISPOSITION TREE CHART

| NO. | KEY | LATIN NAME | COMMON NAME | HT. AND SPR. | PROPOSED ACTION |
|-----|-----|-------------------------|-------------------------|--------------|---|
| 1 | FB | Ficus sp. | FICUS | 35' x 60' | REMOVE |
| 2 | WR | Washingtonia robusta | WASHINGTONIA PALM | 60' x 10' | REMOVE |
| 3 | RR | Roystonea regia | ROYAL PALM | 55' x 15' | REMOVE |
| 4 | SA | Schefflera actinophylla | SCHEFFLERA | 25' x 15' | REMOVE- INVASIVE |
| 5 | DL | Dyopsis lutescens | ARECA PALM | 30' x 15' | REMOVE |
| 6 | MQ | Melaleuca quinquenervia | MELALEUCA | 40' x 20' | REMOVE- INVASIVE |
| 7 | DL | Dyopsis lutescens | ARECA PALM | 10' x 12' | REMOVE |
| 8 | DL | Dyopsis lutescens | ARECA PALM | 10' x 15' | REMOVE |
| 9 | PE | Ptychosperma elegans | ALEXANDER PALM | 40' x 8' | REMOVE |
| 10 | SA | Schefflera actinophylla | SCHEFFLERA | 30' x 15' | REMOVE- INVASIVE |
| 11 | SA | Schefflera actinophylla | SCHEFFLERA | 30' x 15' | REMOVE- INVASIVE |
| 12 | PE | Ptychosperma elegans | ALEXANDER PALM | 70' x 10' | REMAIN |
| 13 | PE | Ptychosperma elegans | ALEXANDER PALM | 45' x 10' | DEAD- no head, only trunk |
| 14 | SA | Schefflera actinophylla | SCHEFFLERA | 15' x 8' | REMOVE- INVASIVE |
| 15 | SA | Schefflera actinophylla | SCHEFFLERA | 15' x 8' | REMOVE- INVASIVE |
| 16 | TC | Terminalia catappa | TROPICAL ALMOND | 20' x 10' | REMOVE- INVASIVE |
| 17 | SA | Schefflera actinophylla | SCHEFFLERA | 40' x 20' | REMOVE- INVASIVE |
| 18 | QV | Quercus virginiana | Live Oak-overgrown bush | 8' X 6' | REMOVE- BAD CONDITION, MIXED WITH A HIBISCUS SHRUB HACKED |

TREE LEGEND



PROJECT

BECKWORTH RESIDENCE
231 VENETIAN DRIVE

DELRAY BEACH, FL

TITLE

TREE REMOVAL PLAN

PROJ. NO.

FILE NAME

BB/CBP DRAWN

10/28/20 DATE

9/24/21 REV.

4/28/22

SHEET

TR-1
OF
1