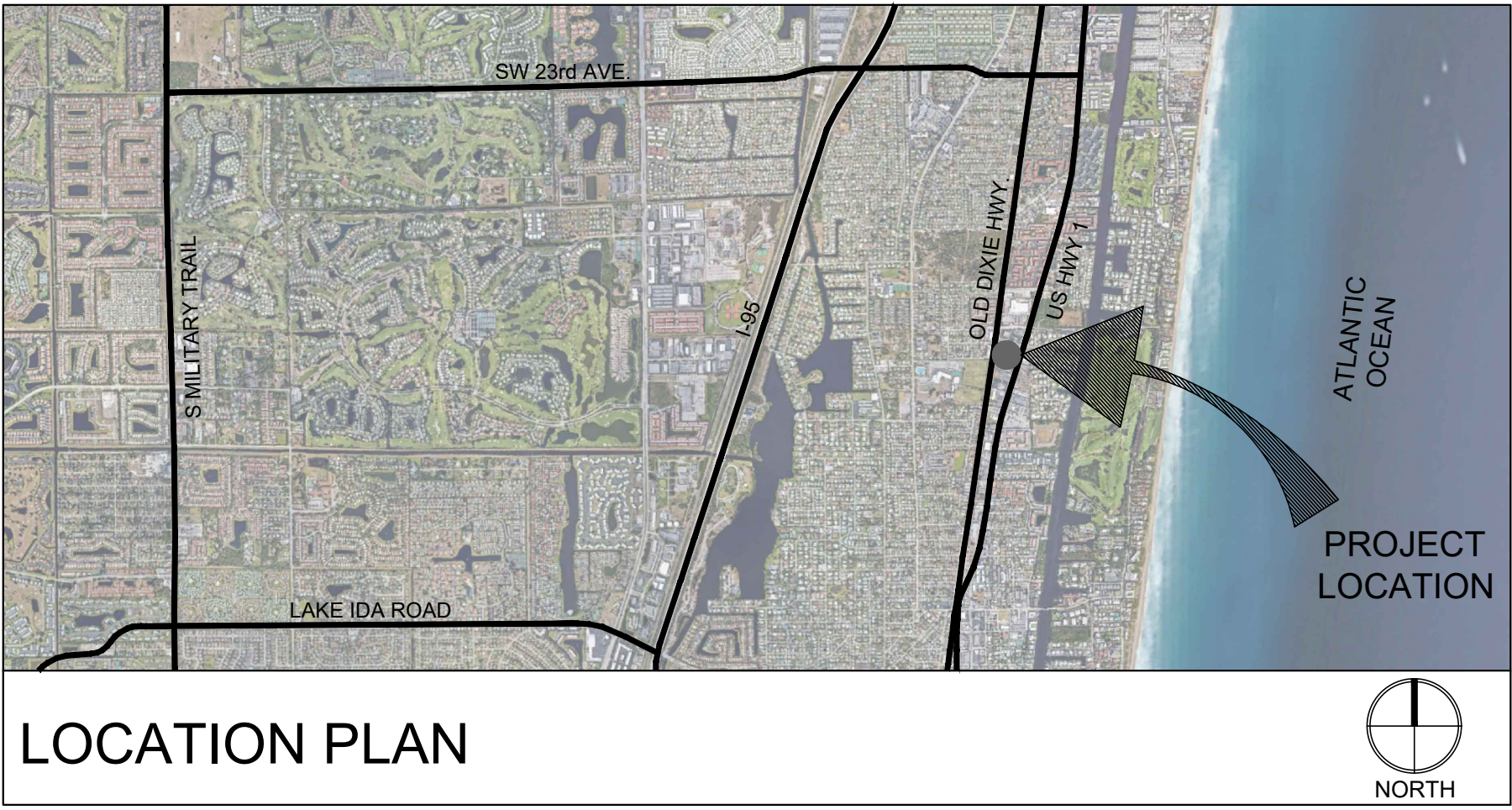


BUILDING DEPARTMENT PRODUCT APPROVAL CHECKLIST				
Permit Type : <u>COMMERCIAL</u>	Permit No. :	Owners Name : <u>ABC JS Auto Imports, LLC.</u> <u>C/O: Mr. John Staluppi, Jr.</u> <u>1429 Broadway, Riviera Beach, Florida 33404</u>		
Design Professional Name A/E : <u>Brent A. Wood Architecture LLC.</u> Job Site Location: <u></u>				
Rule 9-B-72 requires the following information promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications or general notes, simply indicate page number on the affidavit.				
PRODUCT	MODEL NUMBER	MANUFACTURER	EVALUATION AGENCY	EXP. DATE
IMPACT GLAZING SYSTEMS				
STOREFRONT WINDOW	WWS 5000 - Window Wall Storefront System	Velocity Impact Products	FL No. 41909.1	12.31.2026
EXTERIOR DOORS				
STOREFRONT ENTRY DOORS	Series "FD-750" Outswing Aluminum French Door w/o Sidelites	PGT Industries, LLC	NOA # 23-0724.04	02.24.2025
STEEL ENTRY DOORS	Steelcraft H Series Single Flush Outswing Commercial Steel Door	Schlage Lock Company LLC	NOA # 23-0821.14	02.24.2027
STEEL ENTRY DOORS	Steelcraft H Series Outswing Double Flush Commercial Steel Door	Schlage Lock Company LLC	NOA # 23-0821.19	05.05.2028
FOLDING GLAZED DOORS	NanaWall SL73 Outswing Aluminum Folding Door System	Nana Wall Systems, Inc.	FL No. 20107.2	12.31.2026
ROLL-UP DOORS	Insulated Steel Rolling Door	Cornell Iron Works, Inc.	NOA # 23-1017.16	07.09.2025
ROLL DOWN SHUTTERS AT GLAZED ROLL-UP GARAGE DOORS	Magnum Security Star Shutter	Alutech United, Inc.	FL No. 17344.2	12.31.2026
GLAZING MATERIAL				
ACM PANEL SYSTEMS	Series "Alpolic and AlpolicFR" COMPOSITE WALL PANEL SYSTEMS	Mitsubishi Chemical America, ALPOLIC Division	FL No. 10520.1	12.31.2023
FLAT ROOFING MATERIAL				
SINGLE PLY ROOFING MEMBRANE	GAF EverGuard TPO Single Ply TPO Roofing Systems over Steel Decks	GAF	NOA No. 23-0610.04	07.13.2026
ROOFING UNDERLAYMENT	Polyglass Roof Underlayments	Polyglass USA	FL No. 5259.1	12.23.2023
ROOF HATCH	Hurricane and Personnel Series BG and SG Series Aluminum Roof Hatch	Babcock-Davis	NOA No. 21-1201.02	05.25.2027
In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the FBC 2020.				

Hyundai-Genesis Del Ray

AUTO DEALERSHIP

2650 North Federal Hwy
Delray Beach, Florida 33483



PROJECT CONSULTANTS:					
SURVEYOR GEOPUNT SURVEYING, INC. 4152 W. BLUE HERON BLVD. SUITE 105 RIVIERA BEACH, FL 33404 T 772-334-0868	CIVIL ENGINEER CREECH CONSULTING, INC. 1205 SE INDIAN ST. SUITE 102 STUART, FL 34997 T 772-485-2140	LAND PLANNER COVELLI DESIGN ASSOCIATES 2295 CORPORATE BLVD. NW, BOCA ROTON, FL 33431 T 561-549-9000	GEOTECHNICAL ENGINEER ANDERSEN ANDRE CONSULTING ENGINEERS, INC. 634 SW SWAN AVENUE PORT ST. LUCIE, FL 34983 T 772-907-9191	STRUCTURAL ENGINEER BLISS & NYITRAY, INC. 5800 VILLAGE BLVD. SUITE 310 WEST PALM BEACH, FL 33409 T 561-623-7081	ARCHITECT BRENT A. WOOD ARCHITECTURE, LLC. 20 SE OCEAN BLVD. 315 SOUTH 7th STREET FT. PIERCE, FL 34950 T 772-220-1217
MECHANICAL / ELECTRICAL / PLUMBING ENGINEER FORT PIERCE ENGINEERING, INC. 315 SOUTH 7th STREET FT. PIERCE, FL 34950 T 772-672-4636					

DRAWING INDEX											
SHEET #	SHEET TITLE	FIRST ISSUED	REVISION NUMBER	LATEST REVISION	SHEET #	SHEET TITLE	FIRST ISSUED	REVISION NUMBER	LATEST REVISION		
ARCHITECTURAL					D-3	PAVING, GRADING & DRAINAGE DETAILS	-	-	-		
GN-1	COVER SHEET, LOCATION MAP, AND CONSULTANT INFORMATION	-	-	-	D-4	PAVING, GRADING & DRAINAGE DETAILS	-	-	-		
GN-1	DRAWING INDEX, ABBREVIATIONS, GENERAL NOTES & BUILDING CODE ANALISYS	-	-	-	D-5	PAVING, GRADING & DRAINAGE DETAILS	-	-	-		
LANDSCAPE ARCHITECTURE					D-6	PAVING, GRADING & DRAINAGE DETAILS	-	-	-		
SP-1	SITE PLAN	-	-	-	D-7	PAVING, GRADING & DRAINAGE DETAILS	-	-	-		
LP-1	LANDSCAPE PLAN	-	-	-	D-8	WASTEWATER DETAILS	-	-	-		
LP-2	PLANT KEY & TABULATIONS	-	-	-	ARCHITECTURAL						
LP-3	LANDSCAPE DETAILS & NOTES	-	-	-							
TD-1	TREE DISPOSITION PLAN	-	-	-	A-1.00	ARCHITECTURAL SITE PLAN	-	-	-		
CIVIL ENGINEERING					A-1.11	GROUND FLOOR PLAN	-	-	-		
CO	COVER SHEET	-	-	-	A-1.21	SECOND FLOOR PLAN	-	-	-		
I-2	BOUNDARY AND TOPOGRAPHIC SURVEY	-	-	-	A-1.31	THIRD FLOOR PLAN	-	-	-		
C-1	CIVIL HORIZONTAL AND STRIPING PLAN	-	-	-	A-1.41	FOURTH FLOOR PLAN	-	-	-		
C-2	LIFE SAFETY PLAN	-	-	-	A-2.01	EXTERIOR ELEVATIONS	-	-	-		
C-3	DEMOLITION & EROSION CONTROL PLAN	-	-	-	A-2.03	SITE LINE DIAGRAMS	-	-	-		
C-4	PAVING, GRADING & DRAINAGE PLAN	-	-	-	ELECTRICAL						
C-5	WATE AND SEWER PLAN	-	-	-							
C-6	COMPOSITE UTILITY PLAN	-	-	-	E-4.09	PHOTOMETRIC SITE PLAN	-	-	-		
D-1	EROSION CONTROL DETAILS	-	-	-							
D-2	PAVING, GRADING & DRAINAGE DETAILS	-	-	-							

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Architect:
BRENT A. WOOD ARCHITECTURE LLC
BRENT A. WOOD, NCARB A194108
20 S.E. Ocean Blvd., Stuart, FL 34998
Tel. 772.220.1217 Fax 772.419.5081

Client:
**ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.**

Project Name:
Hyundai-Genesis Del Ray

Drawing Name:
COVER SHEET, LOCATION MAP, AND CONSULTANT INFORMATION

Sheet Number:
CV-1

Official Issue:

Date:

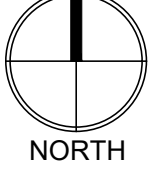
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Project Number: 232500
Drawing Number: 03-25-2025
© 2025 Brent A. Wood

ABBREVIATIONS

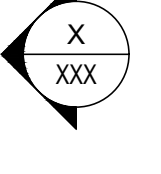
AB	ANCHOR BOLT	MATL	MATERIAL
A/C	AIR CONDITIONING	MECH	MECHANICAL
AFF	ABOVE FINISH FLOOR	MEMB	MEMBRANE
ALUM	ALUMINUM	MTL	MEAN TIDE LEVEL
APPROX	APPROXIMATELY	MFC	METAL FURRING CHANNEL
ARCH	ARCHITECTURAL / ARCHITECT	MFR	MANUFACTURER
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MIR	MIRROR
BLK	BLOCK	MISC	MISCELLANEOUS
BOT / BOTT	BOTTOM	MO	MASONRY OPENING
BRG	BEARING	MR	MOISTURE RESISTANT
BTWN	BETWEEN	MT	METAL THRESHOLD
CAB	CABINET	NAT	NATURAL
CLG / CEIL	CEILING	NIC	NOT IN CONTRACT
CEM	CEMENT	#	NUMBER
CL	CLOSET	NOM	NOMINAL
CLR	CLEAR	NTS	NOT TO SCALE
CO	CASED OPENING	OA	OVERALL / OUTSIDE AIR
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS	ORIG	ORIGINAL
CONTR	CONTRACTOR	PART	PARTITION
CT	CERAMIC TILE	PL	PLATE
CTR	CENTER	PLAS	PLASTER
DEG	(°) DEGREE	PLWID	PLYWOOD
DEPT	DEPARTMENT	PNL	PANEL
DTL	DETAIL	PMT / PTD	PAINT / PAINTED
DF	DRINKING FOUNTAIN	POL	POLISHED
DIA	DIAMETER	PREFAB	PREFABRICATED
DIM	DIMENSION	PROJ	PROJECT
DN	DOWN	PSF	POUNDS PER SQUARE FOOT
DR	DOOR	PSI	POUNDS PER SQUARE INCH
DWG	DRAWING	PT	PRESSURE TREATED
EA	EACH	PVMT	PAVEMENT
EL / ELEV	ELEVATION	QTY	QUANTITY
ELEC	ELECTRIC / ELECTRICAL	REF	REFRIGERATOR
EQ	EQUAL	REQD	REQUIRED
EQUIV	EQUIVALENT	REINF	REINFORCED / REINFORCING
EQUIP	EQUIPMENT	RET	RETURN
EW	EACH WAY	REV	REVERSE / REVISION
EXH	EXHAUST	RIGD	RIGID
EXIST	EXISTING	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
FD	FLOOR DRAIN	SCHED	SCHEDULE
FIN	FINISH	SD	SOAP DISPENSER
FIX	FIXTURE	SEP	SEPARATE
FL	FLOOR	SECT	SECTION
FLUOR	FLUORESCENT	SHLF	SHELF
FTG	FOOTING	SHT	SHEET
FURR	FURRING	SIM	SIMILAR
GA	GAGE / GAUGE	SPEC	SPECIFICATION
GALV	GALVANIZED	SPKR	SPEAKER
GL	GLASS / GLAZING	SQ	SQUARE
GR	GRADE	STD	STANDARD
GYP	GYPSUM	STL	STEEL
HB	HOSE BIBB	STOR	STORAGE
HCP	HANDICAP	SUB	SUBSTITUTE / SUBSTRATE
HDWR	HARDWARE	SURF	SURFACE
HDWD	HARDWOOD	SUSP	SUSPEND / SUSPENDED
HGT	HEIGHT	SYS	SYSTEM
HM	HOLLOW METAL	T&G	TONGUE & GROOVE
HR	HOUR	TEL	TELEPHONE
HVAC	HEATING / VENTILATING	THK	THICK / THICKNESS
HW	HOT WATER	TPH	TOILET PAPER HOLDER
IN	INCH	TRANS	TRANSFORMER
INCAND	INCANDESCENT	TYP	TYPICAL
INCL	INCLUDE	UGND	UNDERGROUND
INFO	INFORMATION	UL	UNDERWRITERS LAB.
INSUL	INSULATE / INSULATION	VERT	VERTICAL
INT	INTERIOR	W/	WITH
KIT	KITCHEN	WC	WATER CLOSET
LAM	LAMINATED	WH	WATER HEATER
LAV	LAVATORY	WM	WIRE MESH
LB / LBS	POUND / POUNDS	W/O	WITHOUT
LIN	LINEAR	WP	WATERPROOF
LL	LIVE LOAD	WS	WEATHER STRIPPING
LT	LIGHT	WWF	WELDED WIRE FABRIC
LVR	LOUVER		

SYMBOLS LEGEND

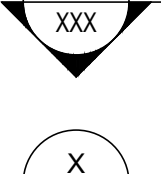


NORTH ARROW


NORTH



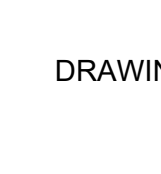
ELEVATION



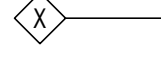
BUILDING / WALL SECTIONS




DETAIL




INTERIOR ELEVATIONS




PARTITION TYPE TAG




WINDOW TYPE TAG



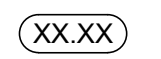
DOOR TYPE TAG




VERTICAL ELEVATION TAG




REVISION TAG



MATERIAL OR TILT PANEL KEYNOTE

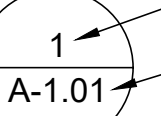


ROOM TAG



DRAWING TITLE

SCALE: 1" = 1'-0"



DRAWING NUMBER

SHEET NUMBER

GENERAL NOTES

- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ANY DIMENSION NOT GIVEN OR MISLABELED SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES WITH THE DRAWINGS DIMENSIONS OR OTHERWISE SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PURCHASING OF MATERIALS, PROJECT COMPONENTS AND COMMENCEMENT OF CONSTRUCTION.
- ALL WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE CURRENT BUILDING CODE AS STATED ON THE BUILDING CODE SUMMARY IN THESE DOCUMENTS, AS WELL AS ALL CITY ORDINANCES, RULES AND REGULATIONS. ALL WORK SHALL CONFORM TO FLORIDA STATE STATUTES.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS, AND CONTRACT SUPPLEMENTS RELATIVE TO THE SCOPE OF THE WORK RELATING TO THIS PROJECT.
- GENERAL CONTRACTOR SHALL CALL 1-800-432-4770 (CALL BEFORE YOU DIG), TWO FULL BUSINESS DAYS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISRUPTION TO ANY UTILITY SERVICES DAMAGED.
- THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO PROVIDE THE NECESSARY PROTECTION OF THE GENERAL PUBLIC AND PREVENT ACCESS TO THE PROJECT SITE. THE CONTRACTOR IS TO SECURE THE SITE WITH ADEQUATE SAFETY MEASURES TO PREVENT ACCESS TO THE PUBLIC OF AREAS UNDER CONSTRUCTION.
- IT IS RECOGNIZED THAT THE CONTRACT DOCUMENTS DO NOT COVER SOME CONDITIONS OR MODIFICATIONS WHICH MAY BE REQUIRED AND WHICH MAY NOT ACCURATELY REFLECT THE EXISTING CONDITIONS. IT IS HOWEVER, INTENDED THAT THE CONDITIONS NOT DETAILED OR NOT SHOWN ACCURATELY SHALL BE DEVELOPED THROUGH THE TRADE CONTRACTORS VIA SHOP DRAWINGS, REPORTS OR SPECIFICATIONS TO THE SAME LEVEL OR AESTHETICS AND IN COMPLIANCE WITH THE PERFORMANCE CRITERIA AS INDICATED FOR DETAILED AREAS AND STIPULATED IN THESE DOCUMENTS. THE CONTRACTOR, IN THEIR PREPARATION OF THEIR BID, IS TO VISIT THE SITE AND DETERMINE THE EXISTING CONDITIONS FOR THEMSELVES. THE TRADE CONTRACTORS BY ACCEPTING A CONTRACT FOR THE WORK ACKNOWLEDGES THIS AND AGREES THAT THE OWNER AND ARCHITECT SHALL HAVE THE FINAL APPROVAL.
- ANY SUBSTITUTIONS, REVISIONS, OR ADDITIONS PROPOSED BY THE CONTRACTOR OR THEIR SUB-CONTRACTORS SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE TECHNIQUES, MEANS, AND METHODS EMPLOYED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS FOR THE FABRICATION OR INSTALLATION OF ANY SPECIFIED ITEM OR MATERIAL. IT IS THE RESPONSIBILITY OF THE PARTY SUBMITTING THE SUBSTITUTION REQUEST TO RESEARCH AND QUALIFY THAT PERFORMANCE AND CONSTRUCTION SPECIFICATIONS MEET THOSE OF THE ORIGINALLY SPECIFIED ITEM OR MATERIAL PRIOR TO SUBMISSION OF SUBSTITUTIONS TO THE DESIGNER.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY CONDITIONS WHICH ARE IN CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS TO ARCHITECT IMMEDIATELY. DO NOT PROCEED WITH CONSTRUCTION UNTIL ALL DISCREPANCIES ARE RESOLVED. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ALL GOVERNING FEDERAL, STATE, AND LOCAL BUILDING CODES.
- DIMENSIONS INDICATED ON THE DIMENSION PLAN ARE TO THE FACE OF STUD OR CONCRETE SUBSTRATE.
- GENERAL CONTRACTOR SHALL NOTIFY THE ELECTRICAL CONTRACTOR AND/OR OWNER IF CONFLICTS OCCUR BETWEEN LIGHTING AND OTHER TRADES OR BUILDING STRUCTURE. DO NOT PROCEED WITH INSTALLATION IN THAT AREA UNTIL CONFLICT HAS BEEN RESOLVED TO THE SATISFACTION OF THE OWNER AND CONTRACTOR.
- NOTIFY THE OWNER IMMEDIATELY IF THE REMOVAL OR INSTALLATION OF LIGHTING, PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF EXISTING SITE ELECTRICAL OR MEP SYSTEMS OUTSIDE THE SCOPE OF WORK.
- CONTRACTOR TO COORDINATE AND SUPPLY, LOCATION, & REMOVAL OF DUMPSTERS FOR DEMOLITION & CONSTRUCTION.
- FINISHES, EQUIPMENT, HARDWARE, FURNISHINGS, APPLIANCES AND LIGHTING NOT SPECIFIED ARE TO BE APPROVED BY OWNER PRIOR TO PURCHASING MATERIALS. CONTRACTOR SHALL SUBMIT SAMPLES AND MANUFACTURER'S PRODUCT INFORMATION TO OWNER FOR APPROVAL.
- BUILDING ADDRESS NUMBERS SHALL BE PLACED ON IN A VISIBLE LOCATION ON THE PRIMARY FACADE. LETTERS SHALL BE A MINIMUM OF 6" IN HEIGHT AND SHALL CONTRAST WITH THE WALL FINISH WHERE THEY ARE AFFIXED.
- ALL CONSTRUCTION, DEMOLITION AND RENOVATION SHALL COMPLY WITH REQUIREMENTS OF NFPA 241: STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, 2013 EDITION.
- TRASH AND CONSTRUCTION DEBRIS SHALL BE COLLECTED AND PLACED IN AN ON-SITE CONSTRUCTION DUMPSTER AT THE END OF EACH WORK DAY.
- A KNOX-BOX SHALL BE MOUNTED TO EXTERIOR WALL ADJACENT TO FRONT ENTRY DOORS - COORDINATE TYPE AND FINISH WITH OWNER AND ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. COORDINATE MOUNTING WITH MANUFACTURER SPECIFICATIONS.

DIVISION 1 - GENERAL REQUIREMENTS

- 1.01 ARCHITECT'S STATUS:
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES; OR FOR THE SAFETY. PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND SHALL HAVE CONTROL OR CHARGE OVER THE ACTS OF THEIR SUBCONTRACTORS AND ANY OF THEIR AGENTS OR EMPLOYEES RELATED TO THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR PERFORMING ANY OF THE WORK.
- 1.02 CODES:
- A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY & FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
- B. CONSTRUCTION DOCUMENTS SHALL COMPLY WITH:
- CITY OF DELRAY BEACH'S LAND DEVELOPMENT REGULATIONS
 - FLORIDA BUILDING CODE, 2023, 8th EDITION - BUILDING
 - FLORIDA BUILDING CODE, 2023, 8th EDITION - ACCESSIBILITY
 - FLORIDA BUILDING CODE, 2023, 8th EDITION - MECHANICAL
 - FLORIDA BUILDING CODE, 2023, 8th EDITION - PLUMBING
 - FLORIDA BUILDING CODE, 2023, 8th EDITION - ENERGY CONSERVATION
 - FLORIDA FIRE PREVENTION CODE, 2023, 8th EDITION
 - NFPA 101 2023
 - NATIONAL ELECTRICAL CODE - NEC 2023
- 1.03 PERMITS:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND THEIR RESPECTIVE COSTS.
- 1.04 JOB CONDITIONS:
- A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION IN WRITING. BIDS SHALL NOT BE NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO THE CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.
- B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.
- 1.05 WORK NECESSARY TO COMPLETE CONSTRUCTION:
- IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C." (NOT IN CONTRACT).
- 1.06 CLEAN UP/ REPAIR:
- A. THE CONTRACTOR SHALL MAINTAIN THE PREMISED CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOOR, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- B. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING ITEMS DAMAGED BY THE PROCESS OF NEW CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH EXISTING ADJACENT AREAS AND SURFACES.
- 1.07 SHOP DRAWINGS:
- THE CONTRACTOR SHALL SUBMIT ELECTRONIC SETS OF SHOP DRAWINGS OF ALL FABRICATED ITEMS AND EQUIPMENT FOR OWNERS / ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT WITH THE WORK.
- 1.08 ALLOWANCES:
- FIXTURES, EQUIPMENT, HARDWARE AND FINISHES NOT SPECIFIED SHALL BE PROVIDED FOR IN THE CONTRACTOR'S BID AS LINE ITEM ALLOWANCES ON A SCHEDULE OF VALUES.
- 1.09 SCHEDULE:
- THE CONTRACTOR SHALL DELIVER TO THE OWNER, AS PART OF THE BID DOCUMENTS, THEIR PROPOSED SCHEDULE FOR CONSTRUCTION, INCLUDING COMMENCEMENT OF WORK THROUGH CERTIFICATE OF OCCUPANCY AND SHALL INCLUDE PRODUCT AM WORKMANSHIP WARRANTY PERIODS.

PROJECT DATA

SITE DATA	
PROJECT ADDRESS:	HYUNDAI - GENESIS OF DELRAY BEACH 2650 North Federal Hwy, Delray Beach, FL 33483
ZONING DESIGNATION:	AC - AUTOMOTIVE COMMERCIAL
FUTURE LAND USE:	GC - GENERAL COMMERCIAL
MUNICIPALITY:	CITY OF DELRAY BEACH
PROPOSED CONSTRUCTION TYPE:	TYPE V-B (UNPROTECTED) FULLY SPRINKLERED
PRIMARY OCCUPANCY CLASSIFICATION:	BUSINESS GROUP B - MOTOR VEHICLE SHOWROOM
SECONDARY OCCUPANCY CLASSIFICATION:	STORAGE GROUP S-1 - MOTOR VEHICLE REPAIR GARAGE
PRIMARY USE:	AUTO DEALERSHIP & AUTO SERVICE & REPAIR

BUILDING CODE SUMMARY

SCOPE OF WORK:
<ul style="list-style-type: none">NEW MULTI-STORY AUTO DEALERSHIP AND SERVICE REPAIR FACILITY
DESIGN CRITERIA:
FLORIDA BUILDING CODE 2023 - BUILDING
FLORIDA BUILDING CODE 2023 - ACCESSIBILITY
FLORIDA BUILDING CODE 2023 - MECHANICAL
FLORIDA BUILDING CODE 2023 - PLUMBING
FLORIDA BUILDING CODE 2023 - ENERGY CONSERVATION
CITY OF DELRAY BEACH'S LAND DEVELOPMENT REGULATIONS
FLORIDA FIRE PREVENTION CODE 2023
LIFE SAFETY CODE, NFPA 101 - 2023
NATIONAL ELECTRIC CODE - 2023 (NEC 2023)

BUILDING AREA SUMMARY

BUILDING AREA CALCULATIONS:	
SPACE DESCRIPTION	AREA (SQUARE FEET)
GROUND FLOOR AREAS:	
GENESIS A/C AREA	14,591 S.F.
GENESIS NON A/C AREA	1,665 S.F.
HYUNDAI A/C AREA	31,756 S.F.
HYUNDAI NON A/C AREA	3,264 S.F.
GARAGE AREA - NON CONDITIONED	2,794 S.F.
CAR WASH - NON CONDITIONED	1,260 S.F.
GROSS AREA GROUND FLOOR:	55,330 S.F.
SECOND FLOOR AREAS:	
GENESIS A/C AREA	4,591 S.F.
GENESIS NON A/C AREA	N/A
HYUNDAI A/C AREA	5,687 S.F.
HYUNDAI NON A/C AREA	5,050 S.F.
GARAGE AREA - NON CONDITIONED	29,822 S.F.
GROSS AREA SECOND FLOOR:	45,150 S.F.
GROSS THIRD FLOOR AREA:	
GARAGE AREA - NON CONDITIONED	38,040 S.F.
GROSS FOURTH FLOOR ROOF AREA:	
GARAGE AREA - NON CONDITIONED	38,160 S.F.
GROSS AIR-CONDITIONED SPACE	
	56,625 S.F.
GROSS FLOOR AREAS	
	176,680 S.F.

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Sheet

Architect

Client

Project Name

Drawing Name

Official Issue

Issue Description

Date

SEAL OF THE STATE OF FLORIDA

REGISTERED

ARCHITECT

AR04186

01/24/25

ABC JS Auto Imports, LLC.

C/O: Mr. John Staluppi, Jr.

Hyundai-Genesis Del Ray

ABBREVIATIONS, GENERAL NOTES & BUILDING CODE ANALYSIS

GN-1

1429 Broadway Ave.

Room 400

Delray Beach, Florida 33483

2650 North Federal Hwy.

Delray Beach, Florida 33483

1429 Broadway Ave.

Room 400

Delray Beach, Florida 33483

BRENT A. WOOD, NCARB, AIA, LEED AP

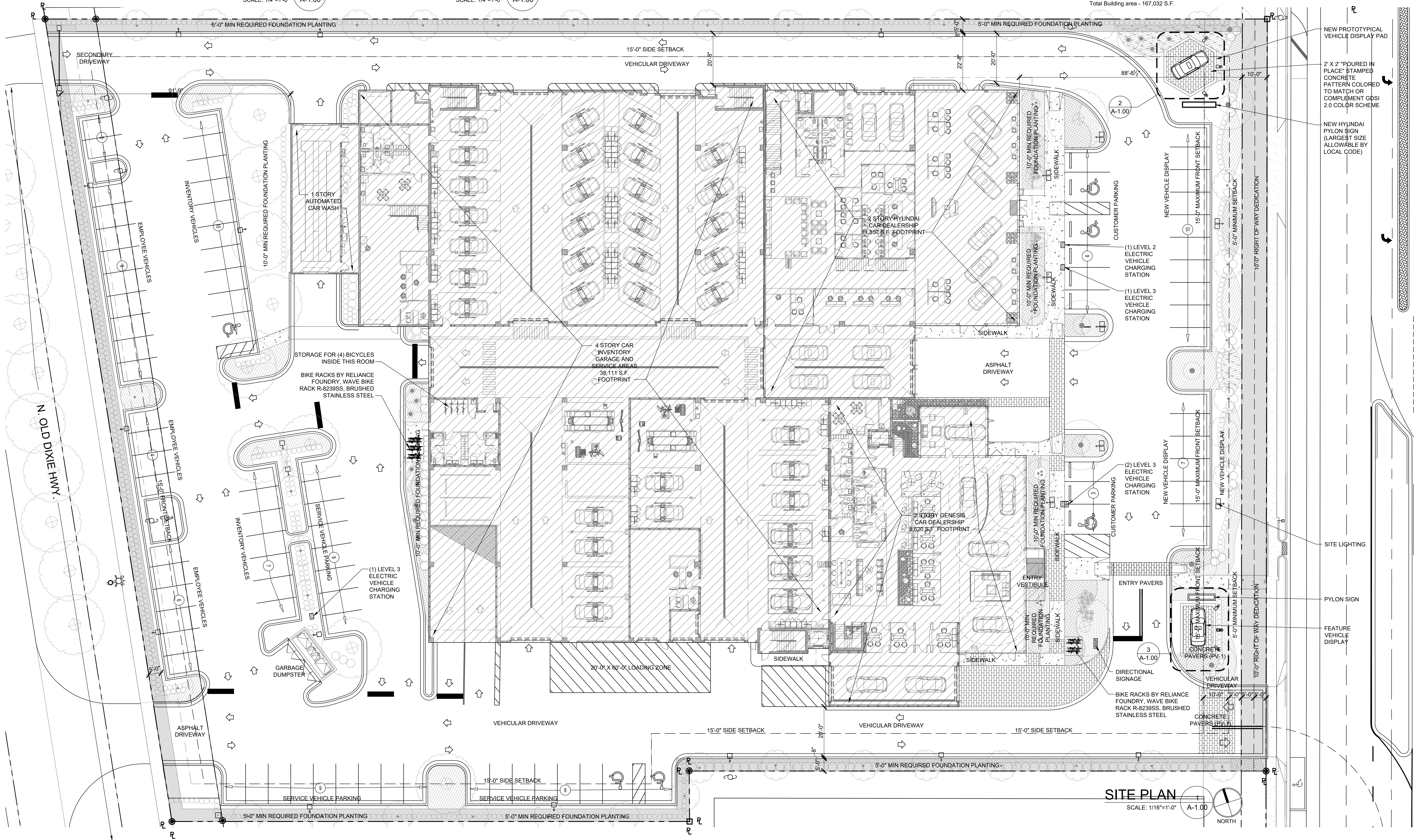
20 S.E. Ocean Blvd., Suite 101, Delray Beach, FL 33483

Tel: 772.220.1217 Fax: 772.419.5081

Project Number: 232030

Project Name: Hyundai-Genesis Del Ray

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1. ALL FINISHES AND MATERIALS SHOULD BE IN ACCORDANCE WITH THE GDSI 2.0 DESIGN MANUAL.
2. SITE LIGHTING FIXTURES, FIXTURES AND FINISH (BRONZE COLOR) MUST MATCH SPECIFICATIONS IN GDSI 2.0 FACILITY BRAND STANDARDS.
3. VEHICLE DISPLAY LOTS MUST BE PAVED WITH ASPHALT OR CONCRETE. STANDARD 6" HIGH CONCRETE CURBING OR CURB & GUTTER IS REQUIRED ADJACENT TO BUILDINGS AND AT ALL WALKWAYS, ISLANDS AND EDGE OF PAVEMENT.
4. VEHICLE DISPLAY PAD. REFER TO SECTION 4.4 OF THE DESIGN MANUAL FOR MORE INFORMATION.
5. LANDSCAPING SHOULD INCLUDE LOCALLY SUITABLE, LOW EVERGREEN PLANTINGS UTILIZED AROUND THE SHOWROOM, IN THE VEHICLE DISPLAY AREA AND ADJACENT TO ALL CUSTOMER WALKWAYS. SELECT SPECIES THAT WILL NOT BLOCK VISIBILITY OF THE VEHICLES AND FACILITY OR BECOME A MAINTENANCE ISSUE.
6. SITE WALLS AND FENCES- IF INCORPORATED, ALL WALLS AND FENCING MUST BE IN GOOD CONDITION. FENCING SHOULD BE STANDARD GALVANIZED OR COATED VINYL FINISH. WALLS SHOULD BE PAINTED ANTHRACITE VELVET TO COORDINATE WITH THE BUILDING. BARBED WIRE IS PROHIBITED.

EV CHARGER MINIMUM REQUIREMENTS FOR HYUNDAI & IONIQ	
Location	Charger Type
Customer Parking	(1) 62.5 kW L-3 DC Fast Charger
Inventory	(1) 62.5 kW L-3 DC Fast Charger
Workshop	(1) 12 kW L-2 AC Charger
New Vehicle Delivery	(1) 12 kW L-2 AC Charger

CATEGORIES	REQUIRED	PROPOSED
TOTAL USEABLE LAND (SHARED WITH HYUNDAI DEALERSHIP)	2.75 AC	3.36 AC
SPACE GUIDELINES - BUILDING		
Customer Focus Areas	8,200 SF	7,078 SF
Administration	1,250 SF	2,443 SF
Service Work Shop	5,500 SF	5,890 SF
Service Drive	1,000 SF	1,672 SF
Parts	1,800 SF	1,515 SF
TOTAL BUILDING AREA	17,750 SF	18,598 SF
DEFINED SPACES - BUILDING		
# Display Vehicles	4	4
# Service Drive Vehicles	2	2
# Service Bays (w/Lifts) at Genesis Facility	8	9
For Adaptive Exclusive: Additional required # Service Bays with Lift at Hyundai or Competitive Luxury facility	N/A	N/A
Overall GENESIS Facility Dimensions (width x depth)	175' X 135'	210' X 123'

CATEGORIES	REQUIRED	PROPOSED	O/U		
TOTAL SITE AREA	235,000 SF	146,361 SF	62%		
SALES USABLE LAND AREA	172,000 SF	134,709 SF	78%		
SERVICE USABLE LAND AREA	32,400 SF	49,809 SF	153%		
TOTAL USABLE LAND AREA	204,700 SF	146,361 SF	72%		
SPACE GUIDELINES - BUILDING	REQUIRED	PROVIDED 1st FLOOR	PROVIDED 2nd FLOOR	TOTAL PROVIDED	O/U
Customer Facing Areas	7,850 SF	8,412 SF	1,903 SF	10,315 SF	130%
General Admin / Business Office	1,750 SF	312 SF	1,314 SF	1,626 SF	93%
Total Customer Facing + Admin	9,600 SF	8,724 SF	3,217 SF	11,941 SF	124%
Service Drive	1,800 SF	1,672 SF	0 SF	1,672 SF	93%
Service Work Shop	14,175 SF	12,149 SF	0 SF	12,149 SF	86%
Parts Dept / Storage	4,725 SF	1,903 SF	5,050 SF	6,953 SF	147%
Total Service & Parts Area	10,700 SF	15,724 SF	5,050 SF	20,774 SF	194%
TOTAL BUILDING AREA	30,300 SF	24,448 SF	8,267 SF	32,715 SF	108%
DEFINED SPACES - BUILDING					
# Showroom Display Vehicles	6	6	2	8	133%
# Service Drive Vehicles	4	4	0	4	100%
# Service Bays (w/Lifts) at Hyundai Facility	27	29	0	29	107%
Overall HYUNDAI Facility Dimensions (width x depth)	175' X 135'	N/A	N/A	263' X 95'	N/A

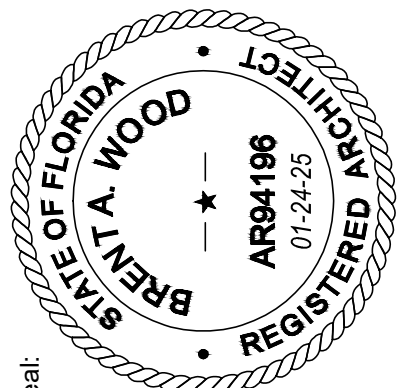
NOTE:

1. 332 Total parking stalls provided, both on-site and in parking garage
2. Total building envelope provided
 - Hyundai Dealership - 35,345 S.F.
 - Genesis Dealership - 25,667 S.F.
 - Parking Garage - 106,020 S.F.
 - Total Building area - 167,032 S.F.

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Architect:	Seal:
Official Issue:	

Issue Description:	Date:
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Architect:
BRENT A. WOOD
ARCHITECTURE LLC

BRENT A. WOOD, NCARB, AR94198	
20 S.E. Ocean Blvd., Stuart, FL 34996	
Tel. 772.220.1217 Fax 772.419.5061	
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Client: ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

1429 Broadway Ave.
Riviera Beach, Florida 33404

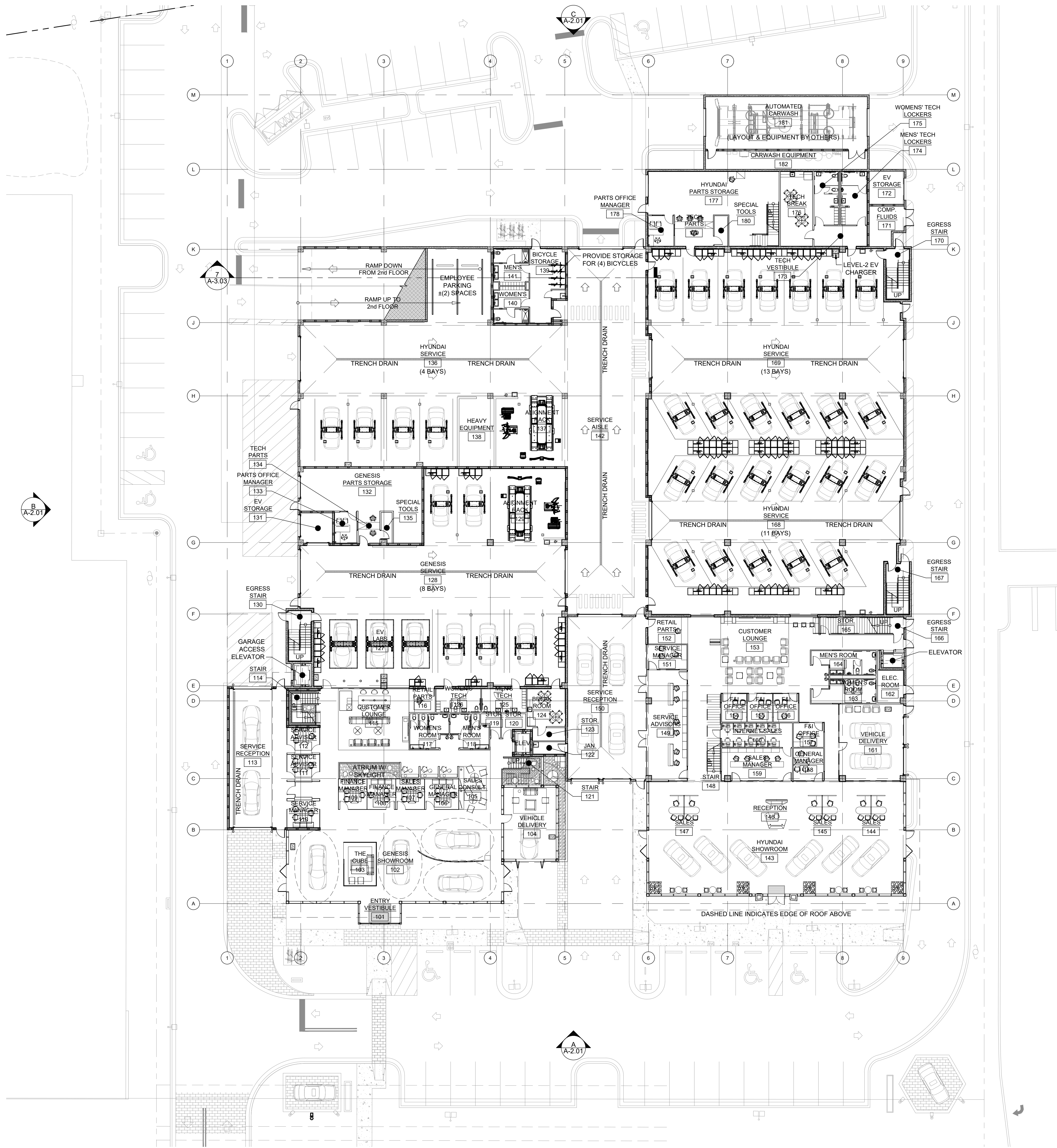
Name: Hyundai-Genesis Del Ray

2650 North Federal Hwy
Melray Beach, Florida 33483

Drawing Name: ARCHITECTURAL SITE PLAN

Project Number: 223030
Plot Date: 06-06-2025
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A-1.00



GROUND FLOOR PLAN
SCALE: 1/16"=1'-0"
1
A-1.11
NORTH

WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL ASSEMBLY: R-7.1 FI-FBI INSULATION OVER 15/32" METAL FURRING @ 16" O.C. MAX. w/PAINTED GYPSUM BOARD FINISH OVER 8" or 12" CMU / CAST-IN-PLACE CONCRETE STRUCTURAL WALL SYSTEM.
	CAST-IN-PLACE CONCRETE STRUCTURAL COLUMN PER STRUCTURAL DRAWINGS AND SPECIFICATIONS
	NEW INTERIOR FRAMED WALL: 3 1/2" or 6" METAL STUDS @ 16" O.C. TYP. w/(1) LAYER 1/2" GYPSUM BOARD SHEATHING EACH SIDE OF WALL
	1 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	2 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	8" PRE-CAST, REINFORCED CONCRETE WALL PANELS PER STRUCTURAL DRAWINGS SPECIFICATIONS

PARKING SCHEDULE 1st LEVEL	
TYPE OF PARKING	# OF PARKING STALLS - THIS LEVEL
EMPLOYEE PARKING	2
INVENTORY PARKING - BULLPEN STALLS	0

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Project Number: 23030
Drawing Name: GROUND FLOOR PLAN
Sheet Number: A-1.11

Client: Hyundai-Genesis Del Ray

Architect: BRENT A. WOOD ARCHITECTURE LLC

Official Issue:

Date:

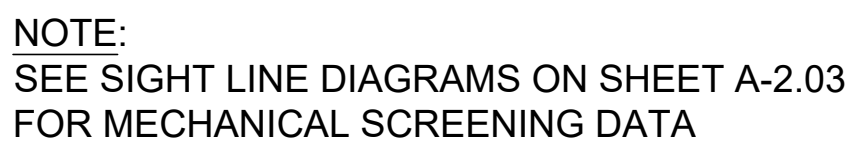
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ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

1429 Broadway Ave.
Riverside Beach, Florida 33464

2850 North Federal Hwy.
Delray Beach, Florida 33483

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PARKING SCHEDULE 2nd LEVEL	
TYPE OF PARKING	# OF PARKING STALLS - THIS LEVEL
EMPLOYEE PARKING	31
INVENTORY PARKING - BULLPEN STALLS	24

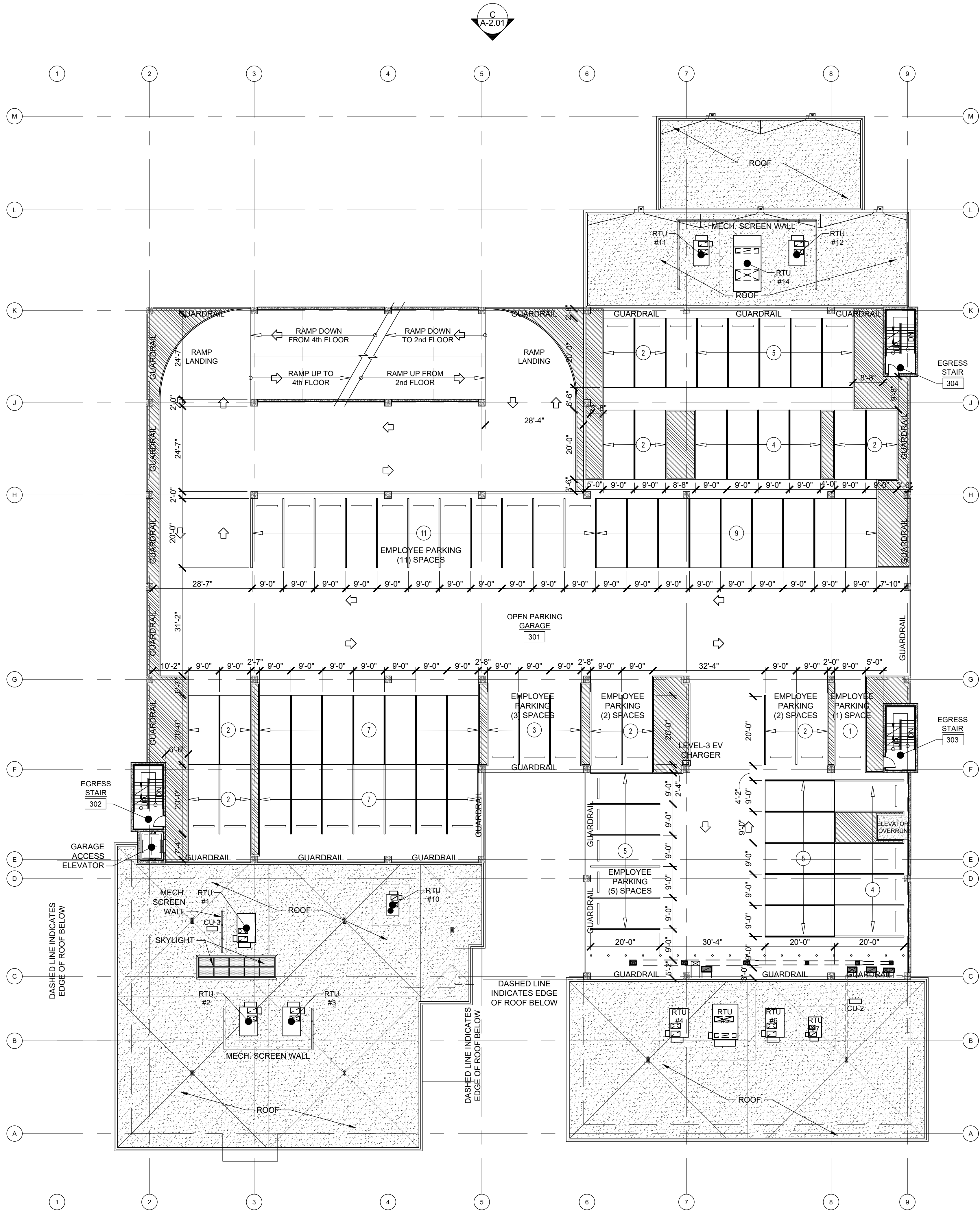
BRENT A. WOOD, NCARB, AR94198
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Riviera Beach, Florida 33404

2650 North Federal Hwy
Delray Beach, Florida 33483

A-1.21

Project Number: 223030
Plot Date: 06-06-2025
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NOTE:
SEE SIGHT LINE DIAGRAMS ON SHEET A-2.03
FOR MECHANICAL SCREENING DATA

THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"
1
A-1.31
NORTH

WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL ASSEMBLY: R-7.1 FI-Fall INSULATION OVER 1 1/2" METAL FLUORING @ 16" O.C. MAX. w/PAINTED GYPSUM BOARD FINISH OVER 8" or 12" CMU / CAST-IN-PLACE CONCRETE STRUCTURAL WALL SYSTEM -
	CAST-IN-PLACE CONCRETE STRUCTURAL COLUMN PER STRUCTURAL DRAWINGS AND SPECIFICATIONS
	NEW INTERIOR FRAMED WALL: 3 1/2" or 6" METAL STUDS @ 16" O.C. TYP. w/(1) LAYER 1/2" GYPSUM BOARD SHEATHING EACH SIDE OF WALL
	1 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	2 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	8" PRE-CAST, REINFORCED CONCRETE WALL PANELS PER STRUCTURAL DRAWINGS SPECIFICATIONS

PARKING SCHEDULE 3rd LEVEL	
TYPE OF PARKING	# OF PARKING STALLS - THIS LEVEL
EMPLOYEE PARKING	24
INVENTORY PARKING - BULLPEN STALLS	51

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Project Number: 23030
Project Name: THIRD FLOOR PLAN
Drawing Name: THIRD FLOOR PLAN
Sheet Number: A-1.31

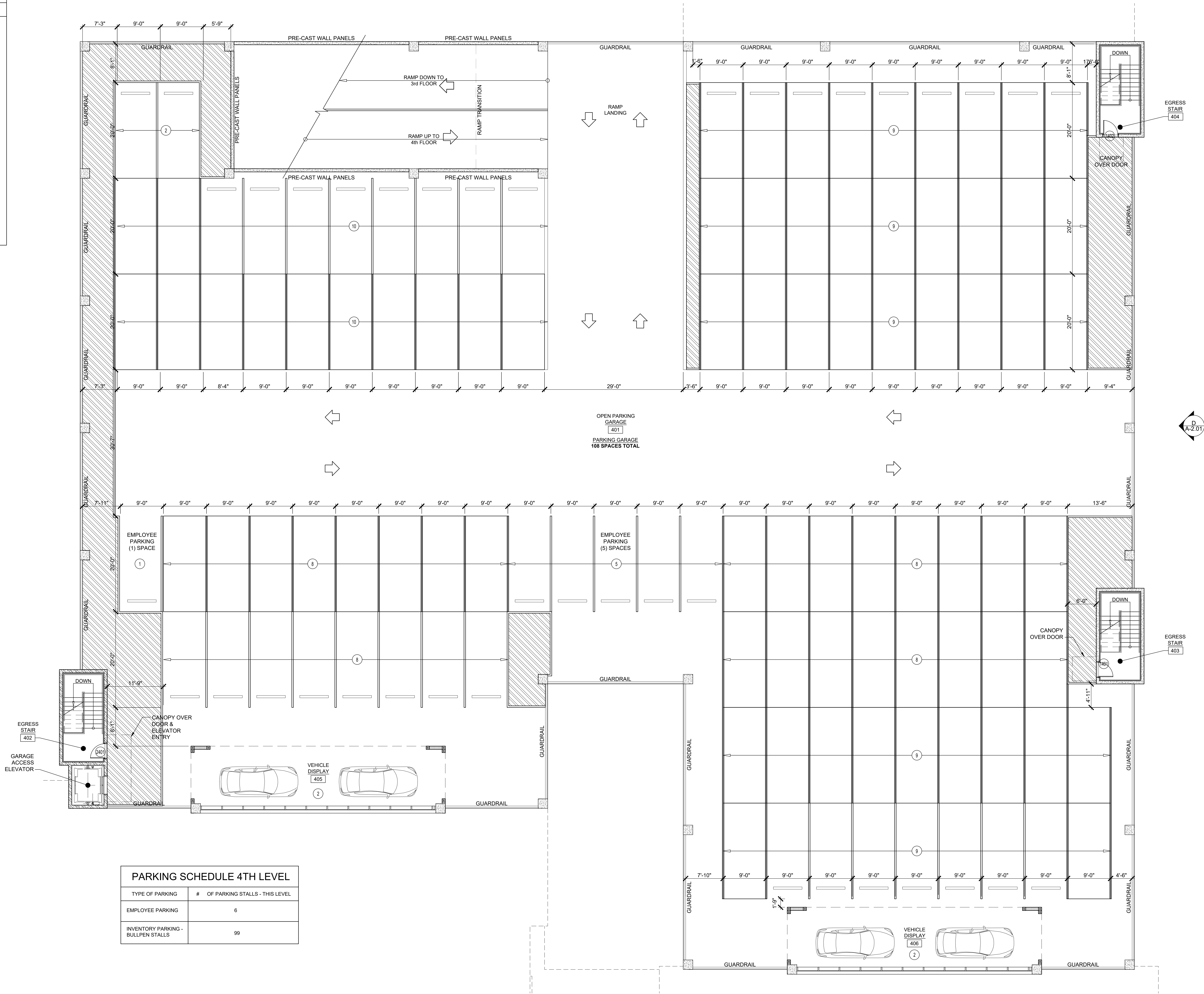
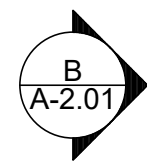
Client: Hyundai-Genesis Del Ray
ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

Architect: BRENT A. WOOD ARCHITECTURE LLC
BRENT A. WOOD, NCARB, AR04108
20 S.E. Ocean Blvd., Suite FL 34096
Tel. 772.220.1217 Fax 772.419.5081

Official Issue:
Seal:
Date:

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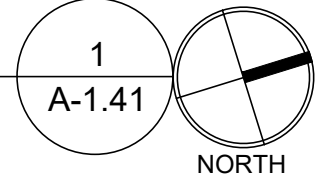
WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL ASSEMBLY: R-7.1 FI-Foil INSULATION OVER 1½" METAL FURRING @ 16" O.C. MAX. w/PAINTED GYPSUM BOARD FINISH OVER 8" or 12" CMU / CAST-IN-PLACE CONCRETE STRUCTURAL WALL SYSTEM
	CAST-IN-PLACE CONCRETE STRUCTURAL COLUMN PER STRUCTURAL DRAWINGS AND SPECIFICATIONS
	NEW INTERIOR FRAMED WALL: 3 ½" or 6" METAL STUDS @ 16" O.C. TYP. w/(1) LAYER ½" GYPSUM BOARD SHEATHING EACH SIDE OF WALL
	NEW INTERIOR FRAMED WALL: 3 ½" or 6" METAL STUDS @ 16" O.C. TYP. w/(1) LAYER ½" GYPSUM BOARD SHEATHING EACH SIDE OF WALL w/SOUND ATTENUATING INSULATION BETWEEN STUDS
	1 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	2 HOUR RATED PARTITION - SEE "X" ON "A-5.03"
	8" PRE-CAST, REINFORCED CONCRETE WALL PANELS PER STRUCTURAL DRAWINGS SPECIFICATIONS



PARKING SCHEDULE 4TH LEVEL	
TYPE OF PARKING	# OF PARKING STALLS - THIS LEVEL
EMPLOYEE PARKING	6
INVENTORY PARKING - BULLPEN STALLS	99



FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Architect:
BRENT A. WOOD
ARCHITECTURE LLC

Client:
ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

Project Name:
Hyundai-Genesis Del Ray

Drawing Name:
FOURTH FLOOR PLAN

Sheet Number:
A-1.41

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Date

Issue Description:

Official Issue:

Architect:

BRENT A. WOOD
ARCHITECTURE LLC

Client:

ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

Project Name:

Hyundai-Genesis Del Ray

Drawing Name:

FOURTH FLOOR PLAN

Sheet Number:

A-1.41

1429 Broadway Ave.
Riverside Beach, Florida 33464

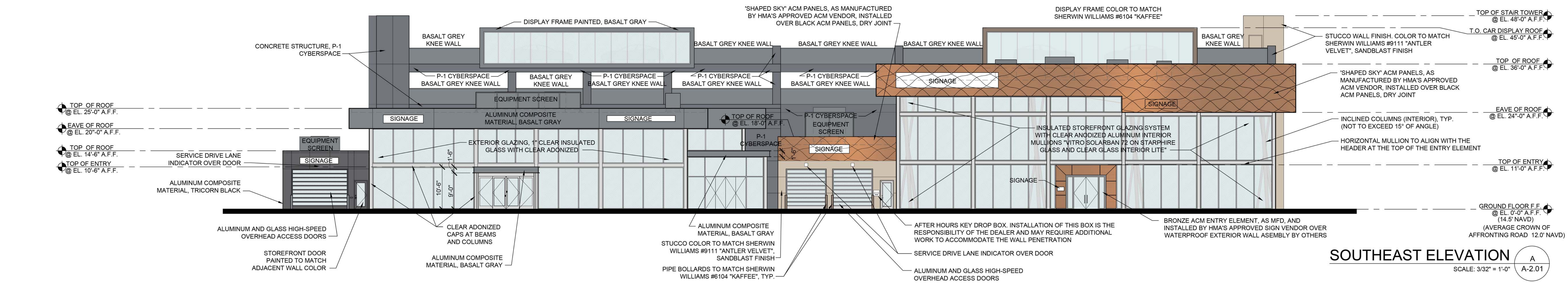
2650 North Federal Hwy.
Delray Beach, Florida 33483

Project Number: 223030
Project Name: Hyundai-Genesis Del Ray
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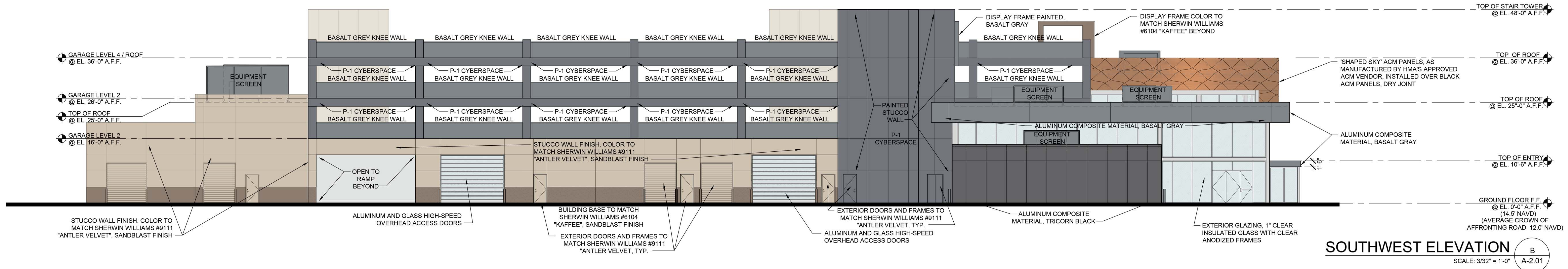
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Riverside Beach, Florida 33464

2650 North Federal Hwy.
Delray Beach, Florida 33483

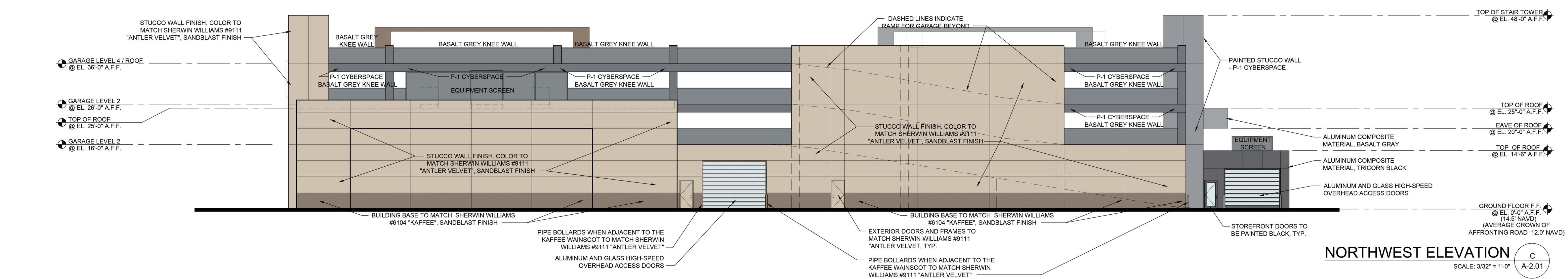
Project Number: 223030
Project Name: Hyundai-Genesis Del Ray
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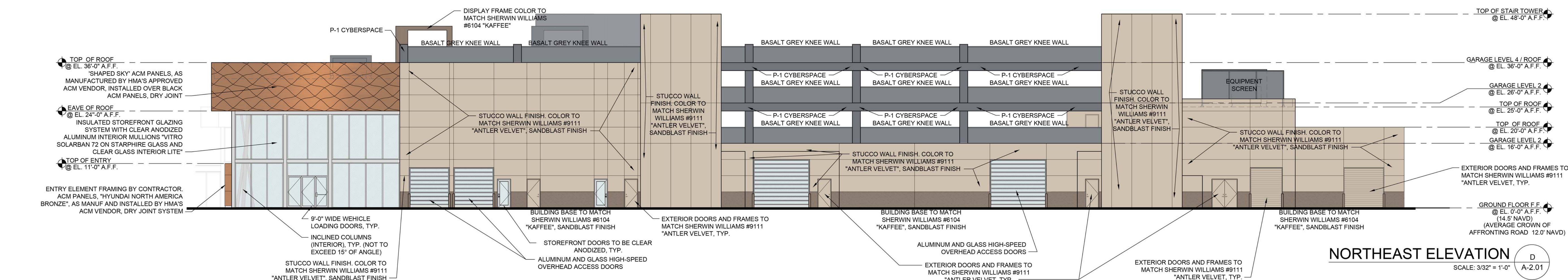
SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"
A-2.01



SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"
B-2.01



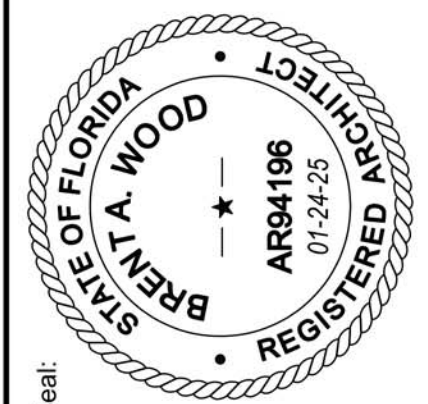
NORTHWEST ELEVATION
SCALE: 3/32" = 1'-0"
C-2.01



NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"
D-2.01

01-24-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Issue	Description	Date
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Architect:
BRENT A. WOOD
ARCHITECTURE LLC

Client:
ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.

Project Name:
Hyundai-Genesis Del Ray

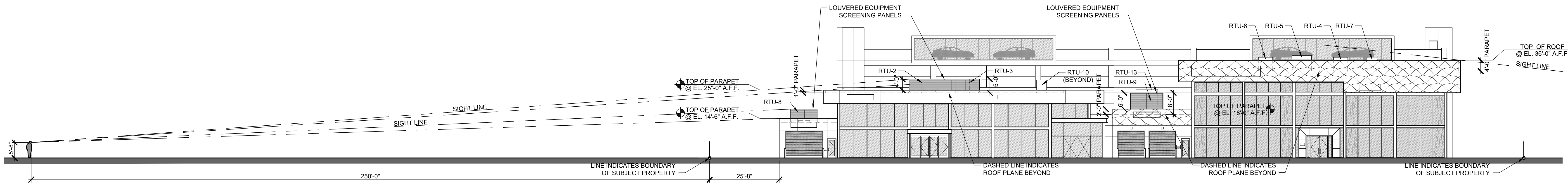
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EXTERIOR ELEVATIONS

Sheet Number:
A-2.01

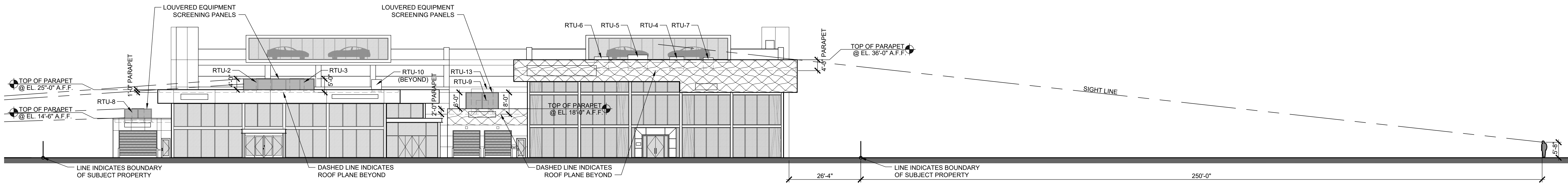
1429 Broadway Ave.
Riverside Beach, Florida 33464

2850 North Federal Hwy.
Delray Beach, Florida 33483

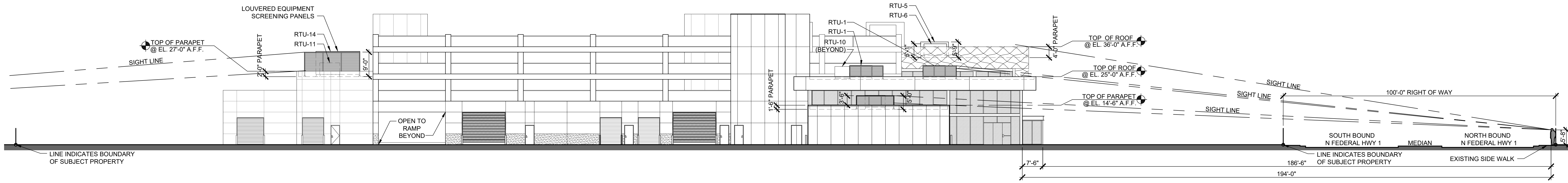
Project Number: 223030
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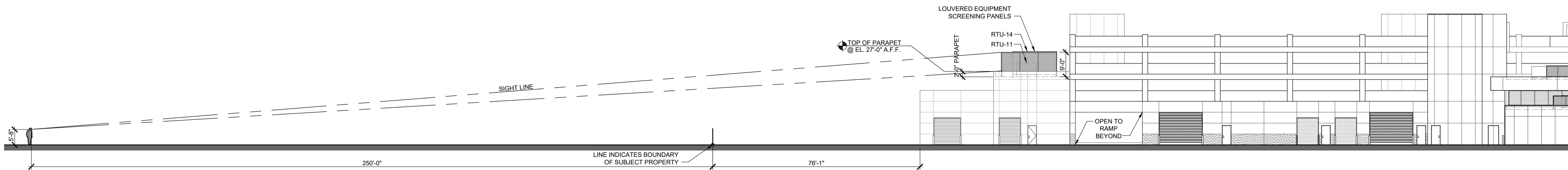
PARTIAL SOUTHEAST ELEVATION A
SCALE: 1/16" = 1'-0" A-2.03



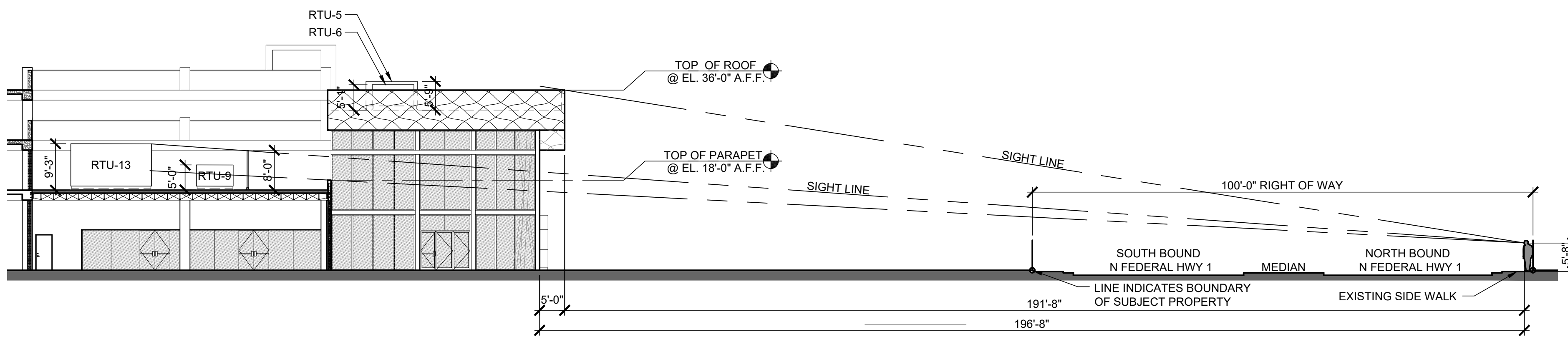
PARTIAL SOUTHEAST ELEVATION B
SCALE: 1/16" = 1'-0" A-2.03



PARTIAL SOUTHWEST ELEVATION C
SCALE: 1/16" = 1'-0" A-2.03



PARTIAL SOUTHWEST ELEVATION D
SCALE: 1/16" = 1'-0" A-2.03



PARTIAL SECTION / ELEVATION THRU HYUNDAI SERVICE RECEPTION E
SCALE: 1/16" = 1'-0" A-2.03

03-25-2025 - SITE PLAN SUBMITTAL - NOT FOR CONSTRUCTION

Architect: **BRENT A. WOOD ARCHITECTURE LLC**

Client: **ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.**

Project Name: **Hyundai-Genesis Del Ray**

Drawing Name: **SITE LINE DIAGRAMS**

Sheet Number: **A-2.03**

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Official Issue:

Issue Description:	Date:
1	
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8	

Architect: **BRENT A. WOOD ARCHITECTURE LLC**

Project Number: 223030
20 S.E. Ocean Blvd., Suite 100, Ft. Lauderdale, FL 33304
Tel. 772.220.1217 Fax 772.419.5081

Client: **ABC JS Auto Imports, LLC.
C/O: Mr. John Staluppi, Jr.**

Project Name: **Hyundai-Genesis Del Ray**

Drawing Name: **SITE LINE DIAGRAMS**

Sheet Number: **A-2.03**

1429 Broadway Ave.
Rivera Beach, Florida 33464

2850 North Federal Hwy.
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Project Number: 223030
20 S.E. Ocean Blvd., Suite 100, Ft. Lauderdale, FL 33304
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