



HISTORIC PRESERVATION BOARD STAFF REPORT

139-143 SE 7th Avenue

Meeting	File No.	Application Type
August 6, 2025	2023-164	Level 3 Site Plan, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, Demolition, Relocation, Variances, Waivers, and Internal Adjustment

REQUEST

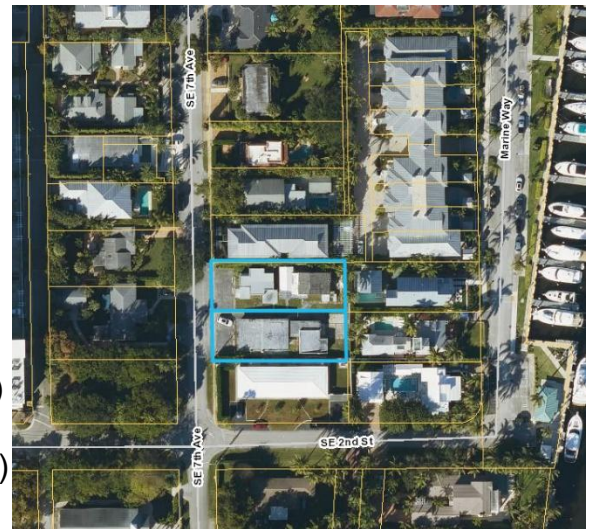
The item before the Board is consideration of a Level 3 Site Plan, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, Demolition, Relocation, Variances, Waivers, and Internal Adjustment (2023-164) request associated with an existing contributing multi-family residential property located at 139-143 SE 7th Avenue, within the Marina Historic District.

GENERAL DATA

Owner: 139 143 SE 7th Avenue, LLC
Agent: Steve Siebert Architecture
Location: 139-143 SE 7th Avenue
PCN: 12-43-46-16-01-126-0180
Property Size: 0.328 acres
Zoning: Multiple Family Residential-Medium Density (RM)
Historic District: Marina Historic District
Land Use: Medium Density Residential
Adjacent Zoning:

- East: RM (Multiple Family Residential-Medium Density)
- North: RM (Multiple Family Residential-Medium Density)
- West: RM (Multiple Family Residential-Medium Density)
- South: RM (Multiple Family Residential-Medium Density)

Existing Use: Residential
Proposed Use: Residential



BACKGROUND AND PROJECT DESCRIPTION

The subject 0.328 acre property consist of two 0.16 acre lots on the east side of SE 7th Avenue between SE 1st Street and SE 2nd Street, within the RM zoning district. The property is situated within the Locally and Nationally Registered Marina Historic District, which holds the distinction of being the first residential neighborhood in the City of Delray Beach. The neighborhood was developed between the 1920s and 1940s and contains a mix of architectural styles, including Mediterranean Revival, Mission Revival, Monterey, Minimal Traditional, Mid-Century Modern, and Art Moderne. Several architects contributed to the character and design of the Marina Historic District: Gustav Maas, Samuel Ogren Sr., Belford Shoumate, Addison Mizner, and Henry Pope. This area is comprised of low-rise development with original structures constructed as one and two-story structures. The district maintains its historic physical integrity, with a street layout that has not changed since it was platted in 1924.

Project Planner: Katherina Paliwoda, Planner, PaliwodaK@mydelraybeach.com Michelle Hewett, Planner, HewettM@mydelraybeach.com	Review Dates: HPB: September 17, 2025	Attachments: 1. Plans, Renderings, & Survey 2. Materials and Color Samples 3. Justification Statements 4. Demolition & Appraisal Reports 5. Relocation Report
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Prior to the neighborhood's development, the area encompassed by the Marina Historic District was home to the Blank Family Nursery. The John Rudolph Blank family came to Delray in 1903 from Bay City, Michigan, which makes them part of the early "Michigan Connection" as the pioneering settlers from the Saginaw area were called. They founded the first tropical plant nursery in the area and were successful in shipping palms and other tropical house plants north on the Florida East Coast Railroad. Their business contributed to the financial growth of the city as this was a period when palms and other exotics were in great demand for hotel lobbies and public spaces as well as for home decoration. The nursery was centered in the area of the Marina Historic District, which accounts for the many beautiful trees found within the district.

The subject property contains seven residential units within four contributing residential structures. A fifth structure, a 1920's garage/storage building, previously existed on the south side of the site and was recently demolished. The south 0.16-acre parcel contains two structures, which are further described below:

Building 1 – 1 residential unit:

- The eastern structure was constructed in 1924 in the Masonry Vernacular architectural style as an apartment. It is constructed of concrete block with a gable roof and stucco siding.

Building 3 – duplex 2 residential units:

- The west structure is a one-story Mid-Century Modern duplex constructed in 1952, designed by Kenneth Jacobsen. The structure is CBS with smooth stucco siding and a low-pitched gable roof.

The north 0.16-acre parcel also contains two structures, which are described in more detail below:

Building 2 – 2 residential units:

- The eastern Frame Vernacular style, two-story structure was originally constructed in 1925 and was later altered and expanded to encompass an existing one-car storage/garage structure.
- The structure consists of a concrete block first floor and a wood frame second floor with a gable roof, and a mix of jalousie & sash windows. At one point the structure was connected to a flat roof garage via a breezeway.

Building 4 – 1 residential unit:

- The western one-story structure was constructed in 1925, originally representing a 1920s Mission-style structure. The Mission architectural style was altered in the 1950's through the addition of a Mid-century flat roofed front porch canopy with splayed supports, clam shell awnings, and smooth stucco on the facade.

The 1920's storage building that was situated to the rear (east side) of the south lot was recently demolished without approval by the Historic Preservation Board (HPB) nor building permits.

The subject request before the board is a Level 3 Site Plan, Certification of Appropriateness (COA), Demolition, Relocation, Variances, and Waiver. Modifications proposed to the site are listed below:

- Exterior alterations to all existing historic structures;
- Construction of a new additions (131 and 146 square feet) to the east and west sides of Building 1 (existing 690 square feet) for a total of 967 square feet;

- Construction of a new 269 square feet addition on the second floor, north side of Building 2 (existing 1,860 square feet) for a total of 2,129 square feet. Construction of new decking and stairs;
- After the fact demolition of an existing one-story, one-car garage/storage building located in the rear (east side) of the property on the south parcel;
- Vertical relocation of Buildings 1, 2, & 4 to meet the 9' required FEMA floor height;
- Demolition of the existing open porches to the front (west) and rear (east) sides of Building 1;
- Demolition of a 64 square feet open air portion of Building 2;
- Construction of a new swimming pool to the rear of Building 1; and,
- Landscaping and hardscaping including walkway pavers throughout the site, and a pool and paver deck to the rear (east) of Building 1.

Proposed relief requests:

- Internal Adjustment to allow reduced separation of between Buildings 1 & 3;
- Waiver to allow a reduction in the required width and overall size of the two terminal landscape islands from 9' to 5'6" and from 135 square feet to 120 square feet;
- Waiver to the Secondary and Subordinate visual compatibility standard to allow a second-floor addition to be constructed on top of Building 2;
- Variance to reduce the required 9' finished floor elevation to allow Building #3 to remain at the existing 3.54' finished floor elevation;
- Variance to allow an addition to be constructed on the south side of Building #1 with a reduced side interior setback;
- Variance to allow a 2nd floor addition to be constructed on the north side of Building #2 with a reduced side interior;

REVIEW AND ANALYSIS

LDR Section 2.4.10(A)(1)(c), Level 3. Level 3 Site Plan applications include new construction, additions to an existing building, or the conversion of an existing single-family residence or duplex, consisting of more than a total of five dwelling units for multi-family residential development or 15,000 gross square feet of mixed-use or nonresidential development.

The project is being reviewed and processed as a Level 3 Site Plan Modification. The proposal involves reducing the number of units on-site from seven to six, increasing the square footage of Buildings 1 & 2, and removal of the garage/storage building. The overall project will contain a total of 6,756 square feet.

LDR Section 2.4.10(A)(3)(b), Findings. All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

- **Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.**

The proposal is for additions and exterior alterations to four existing residential structures. A review of the Performance Standards can be found later in this report.

Pursuant to Land Development Regulation (LDR) Section 2.4.10(A)(3)(d), Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural

Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

Analysis of the proposed architectural elevations are found in the Historic Preservation section of this report.

Pursuant to Land Development Regulation (LDR) Section 2.4.12(A)(5), prior to approval, a finding must be made that any Certificate of Appropriateness is consistent with Historic Preservation purposes pursuant to Objective HPE 1.4 of the Historic Preservation Element of the Comprehensive Plan; the provisions of Section 4.5.1; the Delray Beach Historic Preservation Design Guidelines; and, the Secretary of the Interior's Standards for Rehabilitation.

ZONING AND USE REVIEW

Pursuant to LDR Section 4.4.6(F)(1) - **Medium Density Residential (RM) - Development standards**: The existing use is multi-family residential, which is a permitted use within the RM zoning district.

DEVELOPMENT STANDARDS	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Required Setbacks:			
Front (West)	25'/30'	24'10"-27'	No change
Side Interior (North)	15/30'	3'9"-9'3"	9'3"**
Side Interior (South)	15/30'	5'9"-11'4"	5'9"**
Rear (East)	15/25'	20'1"-25'1"	15.1'
Building Height:	35' Max	21'-11&1/2'	26'-11&1/2'
Minimum Lot Size:	2,000 sq. ft.	3,902 sq. ft.	3,902 sq. ft.
Minimum Lot Width & Frontage:	60'	100'	100'
Minimum Lot Depth:	100'	143'	143'
Open Space	25%	37.5%	38.5%
Density (Per the Neighborhood, Districts, & Communities [NDC] Element of the Always Delray Comprehensive Plan)	6-12 units/acre	1-3 units/acre allowed 7 units existing**	6 units**
Parking	16	10	16
Floor Area Ratio (Per the NDC Element of the Always Delray Comprehensive Plan)	N/A	.36	.47

* Variance requested

** Existing non-conformity

Pursuant to LDR Section 4.6.9(C)(2)(c), parking for Multiple-family structures is as follows:

Efficiency dwelling unit	1.0 space/unit
One bedroom dwelling unit	1.5 spaces/unit
Two or more bedroom dwelling unit	2.0 spaces/unit
Guest parking shall be provided cumulatively as follows:	
For the first 20 units	0.5 spaces per unit
For units 21-50	0.3 spaces per unit
For units 51 and above	0.2 spaces per unit

The subject site contains seven residential units, six are two-bedroom units and one is an efficiency unit, requiring 17 parking spaces. The subject request involves elimination of the efficiency unit resulting in an overall reduction in required parking by two parking spaces. Overall, the proposal requires 15 parking spaces (see calculation table below):

2 parking spaces per unit x 6 units	12 spaces
0.5 guest spaces per unit x 6 units	3 spaces
Total spaces required	15 spaces

The subject site contains 10 existing back-out parking spaces located at the front (west) side of the property. The current on-site parking configuration is considered an existing non-conformity. The proposal includes a reduction of provided parking spaces by one space to 9 parking spaces. Such reduction is a result of the new design that includes a required handicap accessible parking space and pedestrian walkways, where such do not currently exist.

Pursuant to LDR Section 4.6.9(D), Design Standards, all parking spaces which are created in order to fulfill requirements of this Section (i.e. required parking spaces) shall conform to the design standards of this subsection.

The existing parking spaces are situated in the front (west side) of the property backing out onto SE 7th Avenue. The back-out parking configuration is considered an existing non-conformity and has historically existed in such configuration since original development of the site. It is noted that there is no other anticipated configuration of the site that would result in a conforming parking lot design with respect to location of parking spaces. Aside from the back-out design of the parking area, the spaces meet the design requirements of the LDRs with regard to the width, striping, access, handicap accessibility, etc. Thus, the proposal can be considered a reduction of an existing non-conformity.

Pursuant to LDR Section 4.6.15(G) Swimming Pool - Yard encroachment. Swimming pools, the tops of which are no higher than grade level, may extend into the rear, interior or street side setback areas but no closer than ten feet to any property line. Swimming pools shall not extend into the front setback area noted in Section 4.3.4(K).

A new swimming pool is proposed on the east side of the property behind Building #1. The request is compliant with the requirements of this code section, as the pool meets the setback requirements. All proposed decking and hardscaping meet the required minimum of 5-foot setback, per LDR Chapter 6.

Pursuant to LDR Section 5.1.4(C) – Exemptions, The following are hereby exempt from the platting procedure. The combination or recombination of portions of platted lots where no additional lots are created and the new lots conform to the development regulations for the applicable zoning district in which the properties are located.

An application for plat exemption has been submitted, which is required to combine the two lots into one lot. The site has been functioning as one site for many years, sharing open space, walkways, parking, etc. A site plan technical item has been included requiring the plat exemption be completed prior to site plan certification.

Pursuant to LDR Section 5.3.1(A)(6) - Additional right-of-way width may be required to promote public safety and welfare; to provide for stormwater management; to provide adequate area for street trees; and to assure adequate access, circulation, and parking in high intensity use areas. Such a determination shall be advanced by a recommendation from the City Engineer and may be based upon the results of a traffic study or general knowledge of the City. The authority for

requiring such additional right-of-way shall rest with the body having the approval authority of the associated development application.

A five-foot right-of-way dedication is required along the west side of the site adjacent to SE 7th Avenue, in accordance with the Comprehensive Plan, Mobility Table. The required five-foot right-of-way dedication is proposed and is illustrated on the plans. The dedication will need to be completed prior to issuance of permit; this item is attached as a Site Plan Technical Item.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(2) – Major Development.

The subject application is considered "Major Development" as it involves "The construction, reconstruction, or alteration of more than 25 percent of the existing floor area of the buildings and all appurtenances."

Pursuant to LDR Section 4.5.1(E)(3)(a)(1.)(d) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

Appurtenances: Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

Fences and Walls: The provisions of Section 4.6.5 shall apply, except as modified below:

- a. Chain-link fences are discouraged. When permitted, chain-link fences shall be clad in a green or black vinyl and only used in rear yards where they are not visible from a public right of way, even when screened by a hedge or other landscaping.
- b. Swimming pool fences shall be designed in a manner that integrates the layout with the lot and structures without exhibiting a utilitarian or stand-alone appearance.
- c. Fences and walls over four feet (4') shall not be allowed in front or side street setbacks.
- d. Non-historic and/or synthetic materials are discouraged, particularly when visible from a public right of way.
- e. Decorative landscape features, including but not limited to, arbors, pergolas, and trellises shall not exceed a height of eight feet (8') within the front or side street setbacks.

The subject request includes a new 4' black aluminum fence with a gate proposed in front of the existing parking area. Additionally, a 4' masonry wall with painted stucco finish is proposed for the enclosure of the pool in the rear of Building 1. A 3' wood fence is proposed to the rear of Building 2. All other existing fencing on the site includes a 6' wood fence screened with hedging on the south side of the property, a 4' CMU fence in the rear (east), and 4' aluminum fence with hedging on the north side of the property.

Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking

areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

An existing asphalt parking area is situated on the west side of the property and is designed to back-out into the adjacent SE 7th Avenue right-of-way.

LANDSCAPE ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.10(A)(3)(c), Findings. Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

Pursuant to LDR Section 4.6.16 – Landscape Regulations – The provisions of this Section are minimum standards which may be increased in accordance with the guidelines contained herein as well as aesthetic criteria established by the Site Plan Review and Appearance Board and the Historic Preservation Board when applicable. Additional landscape requirements may be required for certain zoning districts and roadways as provided for elsewhere in these regulations.

There are existing non-conformities with regard to landscaping. A waiver is requested for the required landscape islands for the parking lot located on the front (west) side of the property, pursuant to LDR Section 4.6.16(H)(3), analyzed later in this report. Overall, the landscape plans for the proposed site have been reviewed by the Senior Landscape Planner and if the waiver is approved, the request can be determined to be in compliance with the LDRs.

HISTORIC PRESERVATION ANALYSIS

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The subject request is for additions and exterior modifications to an existing multi-family property. Applicable development and preservation standards have been applied during the review of the proposal while also taking into consideration the original design of the four contributing structures and their location within the Locally and Nationally Designated Marina Historic District.

SECRETARY OF THE INTERIORS STANDARDS

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards 1, 2, 3, 5, 9, and 10 are applicable to this request. The subject request is for exterior modifications to four existing contributing residential structures. The property was originally constructed

for residential use so there will be no change to use or the historic character of property with regard to Standards 1, 2, and 3. The existing windows on all four structures are to be replaced with impact white aluminum frames glass with clear, non-reflective, non-tinted glass. The roof materials are to be gray dimensional shingles for Buildings 2 and 3. The structure's walls will be lightly textured stucco to match existing and wood fascia will be painted in SW9547 Vessel. Railings used throughout the site will be aluminum with brown color/style. It is noted that with the exception of window replacements and exterior painting, there are no exterior changes proposed to Building 3. The proposed materials can be considered appropriate to the site and meet the requirements of Standard 5.

With regard to Standards 9 and 10, the request consists of additions to Buildings 1 and 2. The additions to Building 1 are located on the west and east sides of the one-story structure. The additions are minor and can be considered appropriate to the size and massing of the existing structure, as well as the other structures within the site. The structures within the property consist of different style of architecture, however the additions are proposed to match the style of its perspective building. There is concern regarding the addition to Building 2 as it is located on top of the structure, essentially expanding the existing second floor. Although the size of the addition is minor in comparison to the existing two-story building, if the addition were to be removed in the future, it could compromise the integrity of the contributing structure.

Pursuant to LDR Section 4.5.11(7) – Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures, and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.11(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- a. **Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.11(2)(a), shall also be determined through application of the Building Height Plane.
- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.

- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
 - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 - 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
 - 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
 - 3. Characteristic features of the original building shall not be destroyed or obscured.
 - 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
 - 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.

6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

With regard to the **Relationship of Materials, Texture, and Color**, the proposed modifications include all existing windows to be replaced with white aluminum frames with clear glass. The roof materials are to be gray dimensional shingles for Buildings 2 and 3. The structures walls will be lightly textures stucco to match existing and wood fascia will be painted in SW9547 Vessel. Railings used throughout the site will be aluminum with wood color/style. The proposed materials on all existing structures will match what currently exists. The proposed color pallet reflects the Mid-Century timeframe as earth tones, browns, and warm grays were prominently used for such style of architecture. However, it is noted that these neutral tones were used as a base which accompanied a contrasting pop of color, such as mustard yellows, burnt oranges, reds, and even teals as a way to reflect the architectural organic design and form. Even the Art Deco style utilized neutrals and vibrant hues as a way of giving balance to a structure. It is recommended that a brighter accent color be included in the color pallet to appropriately display the structure's time period and to avoid washing out the important defining architectural detailing that exists on-site.

Regarding **Architectural** style, Building 4, which is situated at the front northwest corner of the site, was originally designed in the Mission Revival style. The structure's style has progressed through the years with alterations in the Mid-Century Modern style having been made to the structure in the 1950's. Such alterations included the addition of clamshell awnings, smooth stucco detailing on the front facade, and the addition of a flat eyebrow type of front porch roof with slanted supports. The Yellowcard shows the structure was remodeled in 1959, which is likely when these alterations occurred. This is primarily assumed given this would have been the same time period that the adjacent duplex structure to the south was constructed (also in the Mid-Century Modern style). It is possible that the property owner or architect designed the alterations to the Mission Revival style structure at that time to make the structures more cohesive and less juxtaposed in their style.

It is noted that given the flat roof design of the original Mission style along with the smooth stucco of the front facade, the Mid-Century alterations lend themselves more to the Art Deco style. And the 1920's Mission Revival style is still prevalent on the rear and side elevations with the rough stucco pattern, roof scuppers, parapets, and "dog ears". The mix of detailing results in a structure that is having somewhat of an architectural identity crisis. While such finishes and details should be retained in order to tell the story of architectural progression of the structure, the applicant could consider a historic restoration of the Mission Revival style in the future.

Finally, the front porch feature on Building 4 is considered a significant architectural detail to the existing design of its front façade and it is important that defining elements are carried through to the rehabilitated design. The existing building has the design of the horizontal roof line continuing through to create a brow over the front façade, however, the proposal only shows the element ending at the porch. A site plan technical item has been added for the front porch brow design to continue through the structure as it currently exists.

HISTORIC PRESERVATION BOARD September 17, 2025
139-143 SE 7th Avenue



Front of Building 4



Rear of Building 4



(Image of original stucco detail Building 4 located at 139 SE 7th Ave (west structure) compared with 714 NE 2nd Ave, another contributing 1920 Mission style structure.

Buildings 1 and 2 are in the Masonry Vernacular Architectural Style with minor detailing on Building 1 that are Mid-Century in their simplicity (roof detailing, porch additions, etc.). The proposed additions to these buildings are designed to honor their existing styles.

There is concern with respect to **Proportion of Openings (Windows and Doors)** and **Rhythm of Solids to Voids** as the proposal consists of removal and relocation of windows and doors on Buildings 1 and 2. On Building 1 there are windows being shifted on each side of the structure, with the door on the north, east and west elevations being removed to accommodate new doors and windows. On Building 2, there are relocations and removal of windows and doors on all four elevations as well. Although, the proposed change in openings are located on the structures' facades that are interior to the site, and not visible from the public right-of-way, it should be noted that the reconfiguration of interior spaces should not reflect on exterior elevation changes such as window profiles.

Relating to the standards for **Additions**, there are additions proposed to the east and west façade of Building 1 and an addition proposed to the 2nd story of Building 2 as an expansion to the existing 2nd floor. There is concern with regards to the addition to Building 1 as the expansion of the east and west facades could alter the historic character of the structure. There are also concerns with the alteration of Building 2 as it is the highest structure on site, and the addition is proposed on top of the structure, which cannot be considered secondary and subordinate. Also, as previously noted that if removed in the future, the integrity of the structure would be problematic. The applicant has requested a waiver for relief from this standard which is analyzed in the later in the report.

RELOCATION ANALYSIS

Pursuant to LDR Section 4.5.1(E)(6)(b)(1), Relocation of Contributing or Individually Designated Structures, Criteria - when considering the relocation of a contributing structure from a historic district, or an individually designated structure from a site, the Board shall be guided by the following, as applicable:

- c. Whether the structure will be relocated within the same historic district, into a new historic district, or outside of a historic district;
- d. Whether the proposed relocation may have a detrimental effect on the structural soundness of the building or structure;
- e. Whether the proposed relocation would have a negative or positive effect on other historic sites, buildings, or structures within the originating historic district, at the new site;
- f. Whether the new surroundings of the relocated structure would be compatible with its architectural character; and,
- g. Whether the proposed relocation is the only practicable means of saving the structure from demolition.

The proposal involves elevating three of the four existing contributing structures (Buildings 1, 2, & 4) from their existing grades using hydraulic crib jacks and Unified Hydraulic Jacking System. This method of vertical relocation will allow for the installation of new foundations at the required FEMA and Florida Building code finished floor height of 9' N.A.V.D. The installation of shoring/jacking stands will be put inside of the structure with temporary steel I-Beam lifting platform throughout the building. It is also noted that the upper floor of Building 2 will vertically elevate given its original construction method, which lacks some of the necessary structural supports. Building 3, a concrete block structure, is proposed to remain at its current finished floor elevation of 5.34' via a Variance request, which is discussed later in this report.

The proposed relocation is not anticipated to have a negative effect on the surrounding buildings/site, as it is to be located in its original position/siting. The board will need to make a determination that the proposed vertical relocation is appropriate for the structure, site, and historic district.

Pursuant to LDR Section 4.5.1(E)(6)(b)(2), Relocation of Contributing or Individually Designated Structures, Relocation Plan - when considering the relocation of a contributing or individually designated structure, the Board shall require a Relocation Plan that includes the following:

- a. A detailed explanation of the relocation method including the type of machinery and equipment to be utilized;
- b. A demolition plan illustrating any parts of the structure to be removed or modified to facilitate the relocation;
- c. An illustration of locations where the building will be split, as applicable;
- d. The name of the Florida Licensed Building Mover who will relocate the structure(s) and the following support materials, if available:
 - i. A description of the Florida Licensed Building Mover's past experience in moving historic buildings of a similar construction technique.
 - ii. Photographs of prior relocation projects completed by the Florida Licensed Building Mover taken before and after the relocation, if applicable.
- e. A certified engineering report which includes:
 - i. A relocation feasibility study with an assessment of the building's structural condition to determine any damage that might occur during the move.
 - ii. Details and a description of the historic structure's construction type including technique and materials and current condition of materials.
 - iii. Identification of any areas of concern, and how these areas will be addressed prior to the relocation.

Brownie Companies, LLC is the proposed Relocation Contractor (Mover) who is a Florida Licensed Contractor. The Mover has indicated that they have elevated over 5,000 buildings since 1922 with four generations of service. Brownie Companies, LLC have been associated with several projects in Delray Beach including homes on Nassau Street and Sundry Village. They were founded in New York and moved to Florida in 1982. The Mover will utilize "hydraulic crib jacks and a unified hydraulic jacking system" to elevate the three structures and then lower the buildings. A temporary steel I-Beam lifting platform will be installed throughout the structures with ledgers attached to existing wood studs to provide additional lateral support during the elevation. Shoring towers will be installed on top of steel lifting platform to bottom side of roof framing with hydraulic crib jacks and Unified Hydraulic Jacking System to lift each series of hydraulic jacks simultaneously. Each structure will be vertically elevated approximately five feet (5') from existing finished floor elevation. The structures will be left elevated to allow for the installation of a new permanent foundation and then lowered onto their new foundations.

Pursuant to LDR Section 4.5.1(E)(10')(b)(3), Relocation of Contributing or Individually Designated Structures, Supplemental Documentation - The following information shall be provided with the application for a Certificate of Appropriateness for relocation of a contributing or individually designated structure prior to Board consideration:

- a. As built drawings of the building as it exists on its originating site before undertaking the move, particularly if the move will require substantial reconstruction, including but not limited to floor plans, elevations, and architectural details and profiles;
- b. Photographs of the site and the interior and exterior of the building, including but not limited to all elevations and exterior details.

- c. History of any code violations applied to the structure and property, along with an explanation of any pending violations or structure violations which have been issued within five (5) years of the application request.

Architectural drawings documenting the existing conditions of the structure have been provided as well as interior and exterior photographs of the structure.

Pursuant to LDR Section 4.5.1(E)(6)(b)(4), Relocation, Relocation of Contributing or Individually Designated Structures, Concurrent New Development Review - Applications for a Certificate of Appropriateness for relocation shall be submitted concurrently with the application for a Certificate of Appropriateness for the new development on the originating site.

The Relocation requests have been submitted with the required COA application.

Pursuant to LDR Section 4.5.1(E)(6)(b)(5), Relocation, Relocation of Contributing or Individually Designated Structures, Site Maintenance - If the originating site is to remain vacant and construction of the new development will not commence for more than 90 days following the relocation, the lot shall be sodded and maintained in a manner consistent with other open space in the historic district.

The proposal will need to meet this requirement as applicable.

Pursuant to LDR Section 4.5.1(E)(6)(b)(6), Relocation, Relocation of Contributing or Individually Designated Structures, Successful or Unsuccessful Relocation - The relocation of a historic structure is deemed successful when either no damage occurs during or as a result of the relocation or minimal damage occurs which is not deemed to compromise the integrity (structurally and architecturally) of the structure, and when the relocation is completed in accordance with the approved Certificate of Appropriateness, including the associated Relocation Plan.

- a. If damage occurs during the relocation, then the property owner, applicant and/or Licensed Building Mover shall notify the Historic Preservation Planner and Chief Building Official within 24 hours of completion of the move to determine if the damage has compromised the integrity of the structure, thereby deeming the relocation as unsuccessful.
- b. If a relocation is not successful, then the property owner and/or applicant shall notify the Historic Preservation Planner and Chief Building Official within 24 hours of the failed relocation, or before the close of business on the next business day.
- c. Failure of any degree to successfully relocate the historic structure may result in the revocation of any site development relief (waivers, variances, internal adjustments, or other relief) associated with the relocation that has been granted by the Board or the City Commission, as required by the Planning and Zoning Director.
- d. The applicant or property owner may submit a written request for the reconsideration of any previously approved site development relief associated with the unsuccessfully relocated structure in accordance with the following:
 - i. The reconsideration request shall be submitted to the Planning and Zoning Director within five business days of notification of the unsuccessful relocation. The reconsideration will be placed on the next available agenda of the recommending or approving body as appropriate.
 - ii. Requests for reconsideration shall include a statement regarding the relocation, documentation of the relocation, an explanation of the relocation failure, and how the relocation

failed to meet the Relocation Plan of the approved Certificate of Appropriateness and the corrective actions to address issues caused by failed relocation.

The Applicant shall comply with this code section should there be damage that compromises the integrity of any of the structures, and if any of the relocations are deemed unsuccessful.

Pursuant to LDR Section 4.5.1(E)(6)(b)(7), Relocation, Relocation of Contributing or Individually Designated Structures, Public Notice - All applications for a Certificate of Appropriateness for the relocation of a contributing structure or an individually designated structure shall meet the “Additional Public Notice” requirements of LDR Section 2.4.2(B)(f)(j).

A notice of the Relocation was posted on the City’s website at least ten days prior to the scheduled hearing, sent to surrounding property owners within a 500’ radius of the subject property, and the notice was also posted at City Hall.

Pursuant to LDR Section 4.5.1(E)(6)(d), Relocation, Supplemental Requirements, all buildings and structures approved for relocation shall comply with the following:

- 1. The building to be relocated shall be secured from vandalism and potential weather damage before and after its move, in a manner as approved by the Chief Building Official.**
- 2. All structures approved for relocation and awaiting issuance of a building permit for the new development on the originating site shall be maintained so as to remain in a condition similar to that which existed at the time of the application.**
- 3. All structures to be relocated pursuant to this Section shall comply with the requirements of Section 7.10.11, “Moving of Building: Historic Structures”.**

The Applicant shall meet all requirements of this code section. Staff will work with applicants to ensure all requirements have been met before issuance of a permit for relocation.

DEMOLITION ANALYSIS

Pursuant to LDR Section 4.5.1(F), Demolitions – Demolition of historic or archaeological sites, or buildings, structures, improvements and appurtenances within historic districts shall be regulated by the Historic Preservation Board and shall be subject to the following requirements:

- (1) No structure within a historic district or on a historic site shall be demolished before a Certificate of Appropriateness has been issued pursuant to Section 2.4.6(H).**
- (2) The application for a Certificate of Appropriateness for demolition must be accompanied by an application for a Certificate of Appropriateness for alterations to the structure or the redevelopment of the property.**
- (3) Demolition shall not occur until a building permit has been issued for the alterations or redevelopment as described in the applicable Certificate of Appropriateness.**
- (4) All structures approved for demolition and awaiting issuance of a building permit for the alterations or redevelopment shall be maintained so as to remain in a condition similar to that which existed at time that the Certificate of Appropriateness for demolition was approved unless the Chief Building Official determines that an unsafe building condition exists in accordance with Section 4.5.3(G).**
- (5) A Certificate of Appropriateness for demolition of 25 percent or more of contributing or individually designated structure shall be subject to the following additional requirements:**
 - a. A demolition plan shall accompany the application for a Certificate of Appropriateness for demolition. The plan shall illustrate all portions of the existing structure that will be removed or altered.**

- b. The Certificate of Appropriateness for demolition and the Certificate of Appropriateness for alternation or redevelopment shall meet the "Additional Public Notice" requirements of LDR Section 2.4.2(B)(1)(j).
- (6) The Board upon a request for demolition by a property owner, shall consider the following guidelines in evaluating applications for a Certificate of Appropriateness for demolition of designated historic sites, historic interiors, or buildings, structures, or appurtenances within designated historic districts:
- a. Whether the structure is of such interest or quality that it would reasonably fulfill criteria for designation for listing on the national register.
 - b. Whether the structure is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or economically nonviable expense.
 - c. Whether the structure is one of the last remaining examples of its kind in the designated historic district within the city.
 - d. Whether retaining the structure would promote the general and value of a particular culture and heritage.
 - e. Whether there are approved plans for immediate reuse of the property if the proposed demolition is carried out, and what effect those plans will have on the historic district designation or the individual designation of the property.
- (7) No decision of the Board shall result in undue economic hardship for the property owner. The Board shall determine the existence of such hardship in accordance with the definition of undue economic hardship found in Section 4.5.1(H).
- (8) The Board's refusal to grant a Certificate of Appropriateness requested by a property owner for the purpose of demolition will be supported by a written statement describing the public interest that the Board seeks to preserve.
- (9) The Board may grant a certificate of appropriateness as requested by a property owner, for demolition which may provide for a delayed effective date. The effective date of the certificate will be determined by the Board based on the relative significance of the structure and the probable time required to arrange a possible alternative to demolition. The Board may delay the demolition of designated historic sites and contributing buildings within historic districts for up to six months while demolition of non-contributing buildings within the historic district may be delayed for up to three months.
- (10) Request for Demolition Justification Statement: A justification statement shall accompany the application for a Certificate of Appropriateness for demolition of any contributing structure in a historic district or individually designated historic structure.
- (11) Salvage and Recordation of Historic Structures:
- a. The property owner shall contact the Delray Beach Historical Society for the purpose of salvaging and preserving specified classes of building materials, architectural details and ornaments, fixtures, and the like for reuse in the restoration of the other historic properties. Confirmation of such efforts shall be provided in a written statement and submitted with the other demolition application prior to consideration by the Historic Preservation Board.
 - b. The Board may, with the consent of the property owner, request that the Delray Beach Historical Society, or the owner, at the owner's expense, record the architectural details for archival purposes prior to demolition.

- i. The recording may include, but shall not be limited to photographs, documents and scaled architectural drawings to include elevations and floor plans.
- ii. One (1) copy of the recording shall be submitted to the City's Planning and Zoning Department, and one (1) copy shall be submitted to the Delray Beach Historical Society for archiving purposes.

The proposal involves an after-the-fact demolition of a one-story, 231 square foot, one car garage/storage building located at the rear (east) side of the southern parcel. It is noted that the structure is indicated on the survey as having a zero-foot setback on the eastern property line. The garage structure existed on-site as being utilized for storage and according to the timeframe of build on the Yellowcards, was considering a contributing structure to the site. It is noted that as the subject application was in process, the garage structure was demolished from the site due to structural conditions (per the applicant). The board will need to make a determination that the proposal has been executed appropriately.

Per the submittal requirements of this code section, appraisals for the existing site including the demolished garage was submitted along with justification statements and cost estimates.

Secretary of the Interior's Standards for Reconstruction:

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

Reconstruction as a Treatment

"When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when sufficient historical documentation exists to ensure an accurate reproduction, Reconstruction may be considered as a treatment."

The proposal includes an after-the-fact demolition of a previously existing, contributing one-car garage/storage. As previously noted, demolition of the structure occurred without approval from the Historic Preservation Board. The Secretary of the Interior provides guidance relating to historic reconstruction practices via the Standards for Reconstruction and Guidelines for Reconstructing Historic Buildings, which defines Reconstruction as follows:

"The act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location."

Criteria Considerations: Ordinarily cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years **shall not be considered eligible** for the National Register.

However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

- (a) A religious property deriving primary significance from architectural or artistic distinction or historical importance; or
- (b) A building or structure removed from its original location but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or
- (c) A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his productive life; or
- (d) A cemetery that derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or
- (e) A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or
- (f) A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or
- (g) A property achieving significance within the past 50 years **if** it is of exceptional importance.

The operative words that allow Reconstruction as an acceptable treatment for a contributing structure is the existence of physical evidence to permit accurate reconstruction with minimal conjecture. While, the request does not propose a reconstruction of the garage/storage structure, it is noted as an option with regard to the Criteria Considerations. However, the secondary structure was utilitarian in nature and had structural issues due to lack of maintenance from previous owners. While there are photographs that were taken of the structure, no permits or structural plans from the time of construction has been located in order to create an accurate reconstruction. Given site contains, additional surviving structures with architectural significance constructed in the timeframe that the garage was built, staff does not have concerns that the demolished structure will not be reconstructed on site. But ultimately, the board will need to make a determination that the demolition is appropriate and that a reconstruction is not necessary.

VARIANCE ANALYSIS

Pursuant to LDR Section 2.4.11(A) A variance is a departure from the dimensional or numeric requirements of these land development regulations where such variance will not be contrary to the public interest and where, owing to the existing conditions peculiar to the property and not the result of the actions of the landowner, a literal enforcement of the regulations would result in unnecessary and undue hardship.

Pursuant to LDR Section 2.1.9(E)(12)(d)(1)&(3), Board Actions. The Board hereby has the authority to take action on Variances from LDR Section 4.3.4 - Base district development standards and LDR Section 4.6 - Supplemental District Regulations associated with property,

sites, and structures located within a Historic District or for Individually Designated Sites as listed on the Local Register of Historic Places in Section 4.5.1(I), pursuant to the procedures and standards of the LDR.

Below are the Variance requests for the subject property:

LDR Section	Required	Existing	Variance Request
<u>Variance Request 1:</u> Side Interior (North) Setback of Building #2 4.3.4(K) Structure Setback (Minimum)	15'	3'-9"-9'3"	9'3"
<u>Variance Request 2:</u> Side Interior (South) Setback of Building #1 4.3.4(K) Structure Setback (Minimum)	15'	5'9" - 11'4"	5'-9"
<u>Variance Request 3:</u> Building #3 (southwest corner) 10.1.1.(C)(2) Reduction of Finished Floor Elevation	9'	5.34'	5.34'

Variance Request 1

Pursuant to Section 4.3.4(K), Development Standards Matrix, the required side interior setback is 15' for the RM zoning requirements. The request is to reduce the minimum required side interior (north) setback for the second story of Building 2 from 15 feet to 9 feet 3 inches.

Pursuant to LDR Section 2.4.11(A)(6) – Alternative Findings of the Historic Preservation Board: The Board may be guided by the following to make findings as an alternative to the variance standard criteria:

- (a) That a variance is necessary to maintain the historic character of property and demonstrating that the granting of the variance would not be contrary to the public interest, safety, or welfare.

The variance request is to allow the construction of a 269 square foot second floor addition to expand the existing 1,860 square foot structure. Building 2 is situated located at the northeast corner of the property behind Building 4. The addition is largely interior to the site and will be constructed on top of the existing building, which already encroaches into the north side interior setback. The board will need to make a determination that the variance is necessary to maintain the historic character of the property and that the variance would not be contrary to the public interest, safety or welfare.

- (b) That special conditions and circumstances exist, because of the historic setting, location, nature, or character of the land, structure, appurtenance, sign, or building involved, which are not applicable to other lands, structures, appurtenances, signs, or buildings in the same zoning district, which have not been designated as historic sites or a historic district nor listed on the Local Register of Historic Places.

Due to the existing structure's historic setting on the site, encroaching into the north side interior setback, special conditions and circumstances exist that are not applicable to other historic lands or structures. The existing siting of the residence being situated within the side interior setback, could be seen as a challenge to accommodate a second story addition within the required fifteen-foot setback. Additionally, given the design of Building 2, with its south facade being the front of the structure, an addition forward of the front/south wall plane would impact the historic integrity

of the structure. The board will need to determine that special conditions and circumstances exist in order to meet this finding.

- (c) That literal interpretation of the provisions of existing ordinances would alter the historic character of the historic district, or historic site to such an extent that it would not be feasible to preserve the historic character of the historic district or historic site.**

Literal interpretation of the code is not anticipated to alter the historic character of the historic district as sufficient land area exists to the side and rear of the contributing structure where additional building area can and is being accommodated, however such addition would be a ground level addition rather than a second-floor addition. Building 2 contains two units, with each unit per floor. Preservation of the historic character of the structure also relies upon compliance with visual compatibility standards, such as not constructing additions forward of the established front wall plane of a historic building. The board will need to determine that literal interpretation of the code would alter the historic character of the district and site.

- (d) That the variance requested will not significantly diminish the historic character of a historic site or of a historic district.**

The variance to reduce the required setback for the second-floor expansion can be considered supportable given the nature of the existing site and the setting of the existing structures on the property. However, there are concerns regarding the placement of the addition as it is on top of the one-story portion of the structure, which cannot be considered secondary and subordinate to the main massing of the contributing structure. The applicants have requested additional relief to the Secondary and Subordinate visual compatibility standard, which is analyzed in the Waiver section of this report.

- (e) That the requested variance is necessary to accommodate an appropriate adaptive reuse of a historic building, structure, or site.**

The requested variance will allow for the modernization of the site allowing for continued use of the structures as residential uses.

Variance Request 2

Pursuant to Section 4.3.4(K), Development Standards Matrix, the required side interior setback is 15' for the RM zoning requirements. The request is to reduce the minimum required side interior (south) setback, from 15' to 5' 9" for a one-story addition to the west side of Building 1.

Pursuant to LDR Section 2.4.11(A)(6) – Alternative Findings of the Historic Preservation Board: The Board may be guided by the following to make findings as an alternative to the variance standard criteria:

- (a) That a variance is necessary to maintain the historic character of property and demonstrating that the granting of the variance would not be contrary to the public interest, safety, or welfare.**

The request includes the construction of a 131 square feet addition to the southwest side of structure, in addition to a 146 square feet addition to the northeast facade of the existing 690 square feet one-story structure of Building 1 located the southeast corner of the property. The requested variance will allow for the 131 square foot addition to have a 5' 9" side interior setback where 15' is required. The board will need to make a determination that the variance is necessary

to maintain the historic character of the property and that the granting of the variance would not be contrary to public interest, safety, or welfare.

- (b) That special conditions and circumstances exist, because of the historic setting, location, nature, or character of the land, structure, appurtenance, sign, or building involved, which are not applicable to other lands, structures, appurtenances, signs, or buildings in the same zoning district, which have not been designated as historic sites or a historic district nor listed on the Local Register of Historic Places.**

The existing south setback of Building 1 is at 5'9" and is an existing non-conformity. The 131 square foot addition is proposed to be placed at the same setback measurement as the existing building. The board will need to make a determination that special conditions and circumstances exist because of the historic setting, location, nature, or character of the land or building making the variance necessary.

- (c) That literal interpretation of the provisions of existing ordinances would alter the historic character of the historic district, or historic site to such an extent that it would not be feasible to preserve the historic character of the historic district or historic site.**

Literal interpretation of the code would require the proposed addition to meet the required 15' setback and sufficient space does exist surrounding the structure where a one-story addition could be accommodated. The board will need to make a determination that the request meets this variance finding.

- (d) That the variance requested will not significantly diminish the historic character of a historic site or of a historic district.**

The historic structure is proposed to remain in its current configuration but will be elevated vertically on the site. The additions are proposed forward of the front wall plane of the home and to its side and rear. The variance request, if approved, would allow construction of an addition to be constructed at the same wall plane along the south side of the property as the existing historic structure. In some instances, it is appropriate to offset an addition from the existing wall plane to allow for differentiation from old to new. There is concern that the side setback variance could diminish the historic character of the structure in that the historic design of the modest structure is being altered.

- (e) That the requested variance is necessary to accommodate an appropriate adaptive reuse of a historic building, structure, or site.**

Approving the variance will allow for the proposed front addition to be line with the original structure. It is noted that all existing structures situated within the subject property encroach within the north and south setbacks. Yet, additions could be accommodated on sides of the structure that do not encroach into the setbacks. Finally, the enlargement and modernization of existing historic buildings represents a development pressure on historic district. The structure is modest in scale and size, and while the additions are also modest in nature the board will need to make a determination that the variance is necessary to accommodate an appropriate adaptive reuse of the building and site.

Variance Request 3

Pursuant to Section 10.1.1(C)(2) Require the use of appropriate construction practices in order to prevent or minimize future flood damage. The request is to reduce the minimum required 9' N.A.V.D finished floor elevation per the Federal Emergency Management Agency (FEMA) regulations and the Florida Building Code to 5.34' N.A.V.D for the existing one-story duplex structure known as Building #3 located at the southwest corner of the property.

Pursuant to LDR Section 2.4.11(A)(6) – Alternative Findings of the Historic Preservation Board: The Board may be guided by the following to make findings as an alternative to the variance standard criteria:

- (a) That a variance is necessary to maintain the historic character of property and demonstrating that the granting of the variance would not be contrary to the public interest, safety, or welfare.**

The variance is not anticipated to be contrary to the public interest, safety, or welfare. It is expected to aid in maintaining the historic character of the property by retaining the historic streetscape and building facade. Should the new additions be required to be constructed to the new FEMA required finished floor elevations, the design would require an unreasonable interior transition to the new spaces making the additions impossible to accommodate.

- (b) That special conditions and circumstances exist, because of the historic setting, location, nature, or character of the land, structure, appurtenance, sign, or building involved, which are not applicable to other lands, structures, appurtenances, signs, or buildings in the same zoning district, which have not been designated as historic sites or a historic district nor listed on the Local Register of Historic Places.**

Special conditions exist due to the design and setting of the structure as well as the property. The subject structure has a finished floor elevation of 5.34' and is of concrete block construction. Such structures are more difficult to vertically elevate in place with the traditional methods utilized for frame construction. Therefore, special conditions and circumstances exist because of the historic nature of the structure. Finally, other flood resiliency treatments could be incorporated for use with this structure including but not limited to site and landscape adaptations such as flood gates or site drainage improvements meant to guide flood waters away from the structure.

- (c) That literal interpretation of the provisions of existing ordinances would alter the historic character of the historic district, or historic site to such an extent that it would not be feasible to preserve the historic character of the historic district or historic site.**

The literal interpretation of the code would alter the historic character of the structure. The variance request to reduce the FEMA requirement for Building 3 would allow the contributing structure to remain at its existing finished floor height.

- (d) That the variance requested will not significantly diminish the historic character of a historic site or of a historic district.**

As Building 3 currently exists at the 5.34' finished floor height, which is at a higher elevation than some of the other structures on the property. Vertically elevating the low scale Mid-Century Modern structure could diminish the historic character of the structure and its placement within the adjacent historic Marina Historic District SE 7th Avenue streetscape. The variance is anticipated to ensure the historic character of the property is retained. It is noted that the FEMA regulations specifically allow for a variance to the flood zone finished floor elevation

requirements for historic properties in order to retain the historic character of the structure, site, and/or historic district. Such relief can be seen as a benefit that is not afforded to non-historic properties.

(e) That the requested variance is necessary to accommodate an appropriate adaptive reuse of a historic building, structure, or site.

The requested variance will facilitate the duplex structure can be utilized as handicap accessible units for the overall property; thus, accommodating an appropriate adaptive reuse of the historic residential structure.

The property owner has submitted justification statements for each of the requests (attached).

Note: As required by the LDRs, a notice regarding the subject variance request was sent to those property owners located within a 500' radius of the subject property.

WAIVER ANALYSIS

Pursuant to LDR Section 2.4.11(B) A waiver involves the granting of partial or total relief from a specific development regulation. A waiver may be granted to the procedural and substantive provisions of these regulations. A waiver may be granted only for those substantive items within these regulations for which such provision is made. A waiver to substantive provisions may be granted only by the approving body with the final authority to approve or deny the related development application.

Pursuant to LDR Section 2.1.9(E)(12)(i), Board Actions. The Board hereby has the authority to take action on any other regulations or requirements that specify relief is available by the body acting upon the development application.

Waiver Request 1:

The Waiver request is to allow a reduction in the required width and overall size of two terminal landscape islands from 9' to 5'6" and from 135 square feet to 120 square feet.

Pursuant to LDR Section 4.6.16(H)(3)(i) Minimum landscape requirements.

New multiple family, commercial, and industrial development. Multi-family, commercial, industrial and all other uses are required to comply with the minimum requirements for off-street parking.

Landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of nine feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Tree specifications shall adhere to those listed in Section 4.6.16(E)(5) and 4.6.16(E)(6). Where approval for the use of compact parking has been approved, islands may be placed at intervals of no less than one island for every 15 compact parking spaces

Pursuant to LDR Section 2.4.11(B)(5) – Findings: The following findings must be made prior to approval of a waiver:

(a) Shall not adversely affect the neighboring area:

The Waiver request is to allow a reduction for two required terminal landscape islands adjacent to the existing parking area to be smaller than what is required by the LDRs. The existing parking area has existed in the current configuration since the original development of the property. The proposal involves improvement of the parking area through the addition of new landscaping areas and pedestrian walkways in front of the existing parking spaces, increasing the size of the northern terminal landscape island, and installation of tress and ground cover as required by the LDRs. Additionally, the proposal includes curbing, parking space striping, and a new handicap parking space, which will aid in reducing existing non-conformities. It is noted that the parking lot is for private use and has existed in the current configuration for decades. The board will need to make a determination that the waiver shall not adversely affect the neighboring area.

(b) Shall not significantly diminish the provision of public facilities;

The proposal is for a private multi-family project and is not anticipated to diminish the provisions of public facilities.

(c) Shall not create an unsafe situation; and,

The request is not anticipated to cause any unsafe situations.

(d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

The existing parking area and associated landscaping have existed for many years, and the development proposal involves reducing the existing non-conformities through additional site and landscaping modifications in order to comply with other parking, safety, accessibility, and landscape requirements. Should the landscape islands be required such design would result in reducing the existing parking by an additional parking space. It is noted that similar waivers have been granted under similar circumstances on other property for another applicant. The board will need to determine if the waiver results in a special privilege and if the same waiver would be granted under similar circumstances on other property.

Waiver Request 2:

Pursuant to LDR Section 4.5.1(E)(7)(m)(6), Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

A waiver to for relief to the Secondary and Subordinate visual compatibility standard to allow a second-floor addition to be constructed on top of Building 2.

Pursuant to LDR Section 2.4.11(B)(5) – Findings: The following findings must be made prior to approval of a waiver:

(a) Shall not adversely affect the neighboring area:

The submitted waiver request is to allow a second-floor addition to Building 2 to be on top of the first-floor which is not considered a Secondary and Subordinate approach to the required visual compatibility standards. The addition to the second floor of the structure is not anticipated to affect the neighboring area as Building 2 is situated to the rear and interior portion of the site. However, it is also important to note that if all the additions were to be removed in the future, it could have a negative effect on the historic integrity of the existing structures. The

board will have to make a determination that the waiver will not adversely affect the neighboring area and Marina Historic District.

(b) Shall not significantly diminish the provision of public facilities;

The proposed waiver is not anticipated to diminish the provision of any public facilities.

(c) Shall not create an unsafe situation; and,

The request is not anticipated to create an unsafe situation.

(d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

The Secretary of the Interior's Standards do not recommend adding upper story additions to low scale buildings (between one and three stories). However, Building 2 is already a two-story building and the proposal involves expanding the second floor further to the west, resulting in a square footage increase for the upper floor. There is concern that the proposal may not be compliant with Secretary of the Interior's Standard #10, which states that *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired"*. Therefore, the board will need to determine if the waiver results in a special privilege and if the same waiver would be granted under similar circumstances on other property.

The property owner has submitted justification statements for each of the requests (attached).

INTERNAL ADJUSTMENT

Pursuant to LDR Section 2.4.11(C) An adjustment involves the lessening, or a total waiver, of those development standards which affect the spatial relationship among improvements on the land within the boundary of the site or development plan.

An adjustment shall only be considered during the site and development plan review process and shall be only for requirements that do not pertain to, or affect, standards that apply to the perimeter of a proposed development. An adjustment may be granted by the body or board with authority to approve or deny the site and development plan.

Pursuant to LDR Section 2.1.9(E)(12)(i), Board Actions. The Board hereby has the authority to take action on any other regulations or requirements that specify relief is available by the body acting upon the development application.

The Internal Adjustment request is to allow a reduction for the separation of buildings requirement between Buildings 1 and Building 3 from the required 16.3' to 7'10' to accommodate the construction of an addition.

Pursuant to LDR Section 2.4.11(C)(5) – Findings: Concurrent with granting relief from a development standard or regulation, the granting body must find that such relief does not diminish the practical application of the affected regulation (requirement) and that by granting such relief a superior development product will result.

The existing contributing structures as they are situated on the property, do not meet minimum separation requirements as the current distance between Buildings 1 and 3 is 8'5". The proposal

requests a reduction from the required 16'3" to accommodate a new addition to Building #1. The requested measurements would not create an unsafe situation between Buildings 1 and 3 and is not anticipated to diminish the practical application of the building separation requirement. Ultimately, the waiver will facilitate a small addition to Building #1 allowing for the structure to be enlarged and modernized.

FINDINGS AND PERFORMANCE STANDARDS

Pursuant to LDR Section 2.4.10(A)(3)(b), Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

LDR SECTION 3.1.1(A) - LAND USE MAP

The subject property has a Land Use Map (LUM) designation of Medium Density Residential (MD) and a zoning designation of Multi-family Residential (RM). The zoning district is consistent with the Land Use Map designation. The proposed commercial uses are permitted. Positive findings can be made with respect to Future Land Use Map consistency.

LDR SECTION 3.1.1(B) - CONCURRENCY

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

LDR SECTION 3.1.1(C) - CONSISTENCY

As described in Appendix "B", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

LDR SECTION 3.1.1(D) - COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made, provided the conditions of approval are met.

The development proposal involves modifications to four existing residential structures and to the design of the overall site. The board will need to determine that positive finding can be made with respect to compliance with the LDRs.

COMPREHENSIVE PLAN

Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.

The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

HPE Objective 1.4 - Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

Historic Preservation Element 1.4.1 Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the “Delray Beach Design Guidelines”.

The development proposal involves a request for the alteration and rehabilitation to multi-family residential contributing structures. The board will need to make a determination that the alterations are consistent with the requirements of the Comprehensive Plan, and the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the “Delray Beach Historic Preservation Design Guidelines”.

SITE PLAN TECHNICAL ITEMS

1. That a plat exemption be approved to join the two properties prior to site certification.
2. That a five-foot right-of-way dedication along SE 7th Avenue be completed prior to issuance of a building permit
3. That the site data table be updated to include separate required, existing, and proposed setbacks for each building and that setbacks be provided in a range where applicable.
4. That the site data table be updated to provide parking calculation details for each structure ensuring the number of bedrooms are identified in the table.
5. Ensure the setbacks on the site plan match the measurements given on the site data table.
6. That the existing horizontal design of the front porch brow on Building #4 be illustrated as continuing across the front of the structure as it currently exists.

ALTERNATIVE ACTIONS

- A. Move to continue with direction.
- B. Approve Level 3 Site Plan, Certificate of Appropriateness, Relocation, Variance, Waivers and Internal Adjustment (2023-164), for the property located at **139-143 SE 7th Avenue, Marina Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Level 3 Site Plan, Certificate of Appropriateness, Relocation, Variance, Waivers, and Internal Adjustment (2023-164), for the property located at **139-143 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations, subject to the following conditions:
 - 1.
- D. Deny Level 3 Site Plan, Certificate of Appropriateness, Relocation, Variance, Waivers, and Internal Adjustment (2023-164), for the property located at **139-143 SE 7th Avenue, Marina Historic**

District, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

PUBLIC AND COURTESY NOTICES	
<input checked="" type="checkbox"/> Courtesy Notices were provided to the following, at least 5 working days prior to the meeting: <input checked="" type="checkbox"/> Marina Historic District Homeowners Association	<input checked="" type="checkbox"/> Public Notice was mailed to property owners within a 500' radius on 9/5/25, 10 days prior to the meeting. <input checked="" type="checkbox"/> Public Notice was posted at the property on 9/10/25, 7 calendar days prior to the meeting. <input checked="" type="checkbox"/> Public Notice was posted in the main lobby at City Hall on 9/5/25, 10 working days prior to the meeting. <input checked="" type="checkbox"/> Public Notice was posted to the City's website on 9/5/25, 10 calendar days prior to the meeting. <input checked="" type="checkbox"/> Agenda was posted on 9/10/25, 5 working days prior to meeting.

APPENDIX "A"
CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

Water and sewer services exist on site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage:

Drainage and water run-off will be addressed through the on-site retention. There should be no impact on drainage as it relates to this level of service standard.

Traffic:

The proposal involves reduction of the number of units on site; therefore, the proposed development is not anticipated to have an increase upon traffic concurrency.

Parks and Recreation:

The proposal does not include an increase to the existing number of units on the property; therefore, the proposal will not have a significant impact with level of service standards for parks and recreation facilities.

Solid Waste:

The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools:

No changes are proposed to the number of residential units within the development; thus, the proposal will not have any further impact on the school concurrency level of service standard.

APPENDIX "B"
CONSISTENCY FINDINGS & STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- C. Open space enhancements as described in Policies found in the Open Space, Parks, and Recreation Element are appropriately addressed.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening, or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- J. Tot lots and recreational areas, serving children from toddlers to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

HISTORIC PRESERVATION BOARD September 17, 2025
139-143 SE 7th Avenue

TAC Timeline Table			
Review No.	Submittal Date	TAC Comments Transmitted	Board Meeting Date
1	05/10/2023	06/15/2023	N/A
2	01/05/2024	02/13/2024	N/A
3	7/23/2024	08/15/2025	N/A
4	12/05/2024	01/09/2025	N/A
5	03/25/2025	04/03/2025	N/A
6	06/23/2025	07/03/2025	N/A
7	08/18/2025	Determined Board Ready 08/02/2025	HPB Scheduled – 08/17/2025

APPRAISAL REPORT
(APPRAISER FILE: 25-0645A)



MULTIFAMILY PROPERTY

7TH AVE APTS
139 & 143 SE 7TH AVE
DELRAY BEACH, FLORIDA

FOR

MRS. AIMIE WANG
DELRAY BEACH, FL

AS OF

APRIL 7, 2025

AUCAMP, DELLENBACK & WHITNEY
APPRAISERS & CONSULTANTS

AUCAMP, DELLENBACK & WHITNEY

APPRAISERS & CONSULTANTS

August 14, 2025

Mrs. Aimie Wang
139 143 SE 7th Avenue, LLC
139 SE 7th Ave
Delray Beach, FL 33483

RE: Appraisal of Real Property
Multifamily Property
7th Ave Apts
139 & 143 SE 7th Ave
Delray Beach, Florida 33483
(Appraiser File: 25-0645A)

Dear Mrs. Wang:

As you requested, we made the necessary investigation and analysis to form an opinion of value for the above referenced real property. This report is an appraisal of the property.

To assist Mr. and Mrs. Wang and City of Delray Beach in business decisions regarding this property, this appraisal provides an estimate of value. This report is written in **APPRAISAL REPORT** format. No other party may use or rely on this report for any purpose.

This appraisal assignment and report have been prepared in accordance with requirements of the Uniform Standards of Professional Appraisal Practice (USPAP) developed by the Appraisal Standards Board of the Appraisal Foundation, with the appraisal requirements of Title XI of the Federal Financial Institutions Reform, Recovery, and Enforcement Act of 1989 (FIRREA), with the Interagency Appraisal and Evaluation Guidelines of 2010, with the Appraisal Institute's Code of Professional Ethics and Standards of Professional Appraisal Practice, and with requirements of the State of Florida for state-certified general real estate appraisers.

The subject is located along the east side of SE 7th Ave, within the municipality of Delray Beach, Palm Beach County, Florida. The subject consists of two adjacent sites totaling 14,253 square feet (SF), or 0.33 acres. The two adjacent properties function best as one economic unit based on their proximity and trends in the market.

The subject sites are improved with 4 one- and two-story multifamily buildings constructed in 1928 and 1967. The improvements are currently vacant, in shell condition, and contain 4,764 SF of enclosed area within seven units. The owner is in the process of renovating the property and plans to expand the building size by enclosing existing porches. Upon completion, the improvements are expected to total 5,674 SF situated within 6 two-bedroom units. The subject will have an average unit size of 946 SF.

Mrs. Aimie Wang
August 14, 2025

The subject does not appear to be listed for sale on the open market, nor is it reported to be encumbered by a purchase and sale agreement. The subject last sold in March 2022 for \$2,680,000. At that time, the property exterior was in superior condition, but the interior was similar to the current interior condition. The buyer appears to have overpaid.

The subject improvements are contributing structures within the Marina Historic District. Due to building preservation guidelines within this district, the property owner has had difficulties with securing approvals throughout the renovation process.

This report is contingent on the extraordinary assumption that the subject will be built-out according to the description herein.

When the property was purchased in March 2022, the subject was improved with a 120-SF storage building. This structure was in poor condition and was razed in the past couple years. This report is contingent on the hypothetical condition that the subject is improved with a 120-SF storage building. This structure is not included in the building size shown. This hypothetical condition only applies to the value in "as if" condition. The value in "as is" condition does not include the storage building. The difference between the "as if" and "as is" conditions is \$20,000. **Therefore, the contributory value of the storage building is \$20,000.**

After careful and thorough investigation and analysis, we estimate market value for the fee simple interest in the subject real property in its "as if" condition, subject to assumptions and contingent and limiting conditions as well as any extraordinary assumptions and hypothetical conditions, as explained in this report, as of April 7, 2025, is:

**ONE MILLION SEVEN HUNDRED SEVENTY THOUSAND DOLLARS
(\$1,770,000)**

After careful and thorough investigation and analysis, we estimate market value for the fee simple interest in the subject real property in its "as is" condition, subject to assumptions and contingent and limiting conditions as well as any extraordinary assumptions and hypothetical conditions, as explained in this report, as of April 7, 2025, is:

**ONE MILLION SEVEN HUNDRED FIFTY THOUSAND DOLLARS
(\$1,750,000)**

We estimate market value of the land (as cleared) for the subject real property as of April 7, 2025, is **\$1,700,000**.

Mrs. Aimie Wang
August 14, 2025

Aucamp Dellenback & Whitney has performed services concerning this property for the same client in reports dated April 18, 2025, and May 16, 2025. We have not performed any other services regarding the subject in the prior three years. Thank you for this opportunity to assist in meeting your appraisal needs.

Respectfully submitted,

AUCAMP, DELLENBACK & WHITNEY



Sarah Brand, MAI
State-certified General Real Estate Appraiser RZ3894
sarah@adw-appraisers.com



Jonathan Whitney, MAI
State-certified General Real Estate Appraiser RZ2943
jon@adw-appraisers.com

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SUMMARY OF IMPORTANT FACTS AND CONCLUSIONS

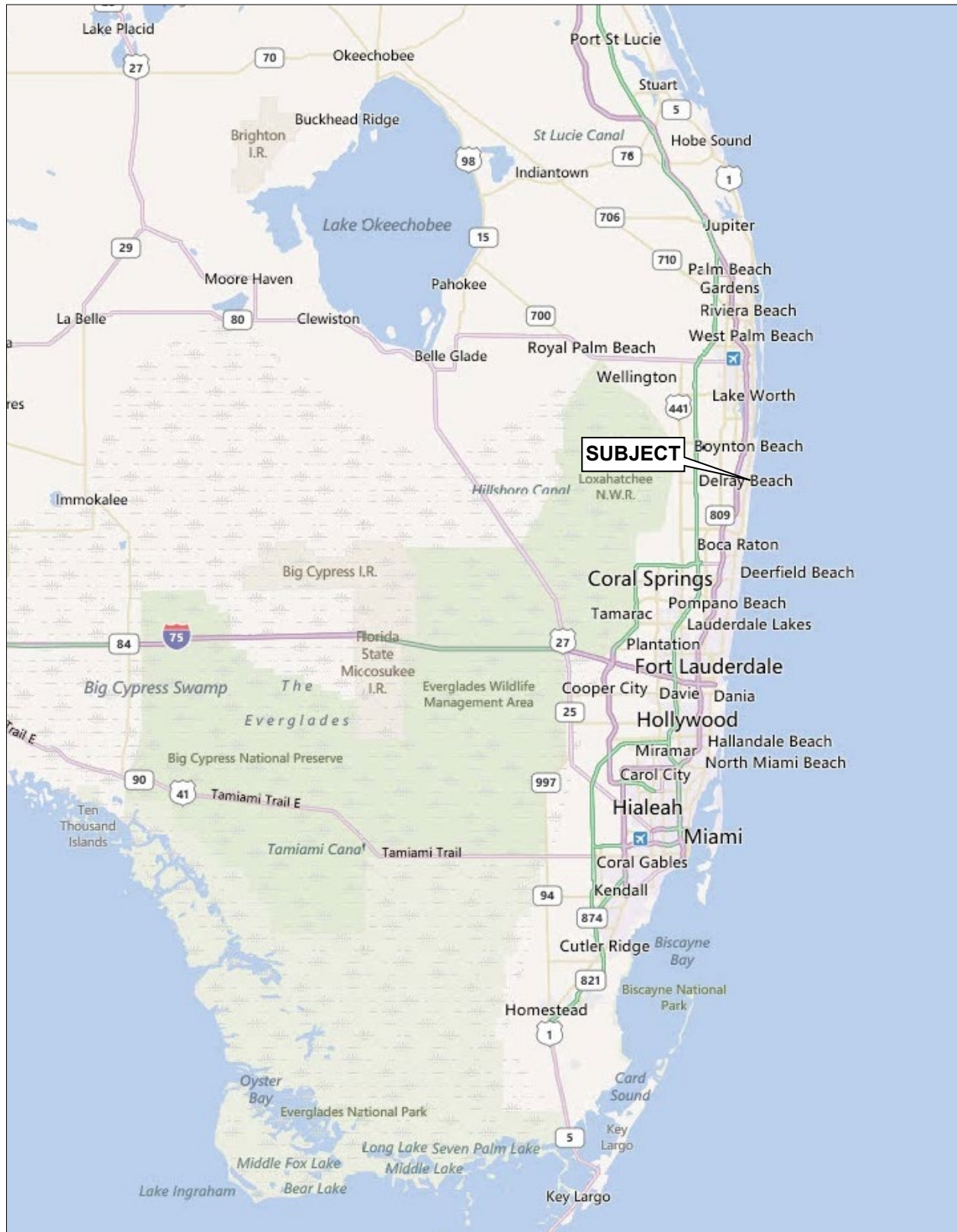
REPORT TYPE	Appraisal Report
PROPERTY TYPE	Multifamily property
LOCATION	139 & 143 SE 7th Ave, Delray Beach, Florida 33483
REPORT DATE	August 14, 2025
VALUATION DATE	April 7, 2025
INTENDED USER	Mr. and Mrs. Wang and City of Delray Beach
INTENDED USE	To assist in business decisions regarding this property
SITE	14,253 SF or 0.33 acres
IMPROVEMENTS	Multifamily buildings constructed in 1928 and 1967 and containing 5,674 SF situated within 6 units
OCCUPANCY	Vacant
ZONING	Medium Density Residential (RM) by the City of Delray Beach
CENSUS TRACT	64.02
FLOOD ZONE	AE, flood insurance is typically required in this zone
HIGHEST AND BEST USE	
As Vacant:	Immediate development of multifamily residential improvements for multiple occupants
As Improved:	Immediate renovation and use of existing multifamily residential improvements for multiple occupants
NORMAL MARKETING PERIOD	12 months or less
REASONABLE EXPOSURE TIME	12 months or less

ASSIGNMENT OVERVIEW

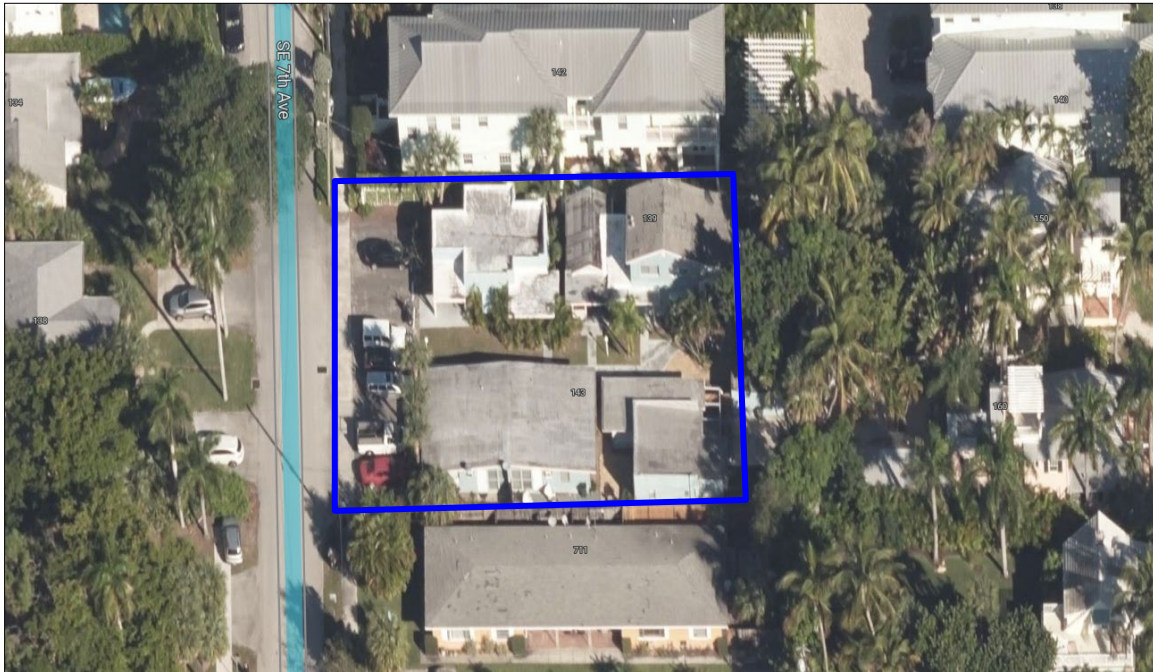
The subject is an attractive property for an investor. The sales comparison approach and the income capitalization approach provide the most useful indications of market value.

VALUE INDICATIONS			
Analysis	Indication	\$/SF	\$/Unit
<u>"As is" Condition</u>			
Cost	N/A	N/A	N/A
Sales Comparison	\$1,750,000	\$308	\$291,667
Income Capitalization	<u>\$1,750,000</u>	<u>\$308</u>	<u>\$291,667</u>
Market Value	\$1,750,000	\$308	\$291,667
<u>"As If" Condition</u>			
Cost	N/A	N/A	N/A
Sales Comparison	\$1,770,000	\$312	\$295,000
Income Capitalization	<u>\$1,770,000</u>	<u>\$312</u>	<u>\$295,000</u>
Market Value	\$1,770,000	\$312	\$295,000
Land Value	\$1,700,000	N/A	N/A

LOCATION MAP



SUBJECT PHOTOGRAPHS



Bird's eye view of subject (outlined)



Facing north along NE 7th Ave with subject on the right



North and west building elevations



West and south building elevations



South and east building elevations



West and north building elevations



East and north building elevations



Interior



Interior



Interior



Photo provided by the client showing the 120-SF storage building



Photo provided by the client showing the 120-SF storage building

SCOPE OF WORKAppraisal

Purpose:	To estimate market value in "as if" condition (with the storage building) and "as is" condition (without the storage building), as well as land value
Interest Appraised:	Fee simple interest
Client:	Mrs. Aimie Wang
Intended User:	Mr. and Mrs. Wang and City of Delray Beach. No other party may use or rely on this report for any purpose
Intended Use:	To assist in business decisions regarding this property
Report Format:	Appraisal Report
Inspection Date:	April 7, 2025
Effective Date:	April 7, 2025
Report Date:	August 14, 2025
Competency Rule:	We had the knowledge and experience necessary to complete this assignment competently at the time of its acceptance
Definitions:	Shown in the addendum of this report
Hypothetical Conditions:	The subject is improved with a 120-SF storage building. (This hypothetical condition only applies to the value in "as if" condition.)
Extraordinary Assumptions:	The subject will be built-out according to the description herein
Valuation Approaches:	The sales comparison approach provides an estimate of market value based on an analysis of comparable property sales. The income capitalization approach provides an estimate of market value based on direct capitalization of net operating income
Appraisers:	Sarah Brand inspected the readily accessible areas of the subject site and improvements, performed the research and analysis, and wrote this report. Jonathan Whitney discussed the assignment with this appraiser throughout the process and reviewed this final report
Other:	We relied on a previous, recent site visit as of the valuation date for the pictures shown herein.

Subject Property

Name:	7th Ave Apts
Address:	139 & 143 SE 7th Ave, Delray Beach, Florida 33483
Location:	The subject is located along the east side of SE 7th Ave, within the municipality of Delray Beach, Palm Beach County, Florida
Legal Description:	Lots 17 and 18 in Block 126, Delray Beach, according to the map or plat thereof, as recorded in Plat Book 11, Page 4 of the Public Records of Palm Beach County, Florida (source: Warranty Deed)
Current Owner:	139 143 SE 7th Avenue, LLC (source: Palm Beach County Property Appraiser records). A title search was not performed as part of this assignment as that is outside the scope of work
Ownership History:	The subject has not sold during the prior three years (source: Palm Beach County Property Appraiser records). The subject does not appear to be listed for sale on the open market, nor is it reportedly encumbered by a purchase and sale agreement.
Items Received:	The following items were provided by a representative of the owner: <ul style="list-style-type: none">▪ Construction plans, verbally

Market

Data Sources:	CoStar Realty (subscription service), LoopNet.com (subscription service), Multiple Listing Service (subscription service), PwC Real Estate Investor Survey (subscription service), published reports from national brokerage firms, RealQuest (subscription service), Site-To-Do-Business (subscription service), Floodmaps.com (subscription service), RealtyRates.com (subscription service), Marshall Valuation Service (subscription service), local county property appraiser's records (public records), Circuit Court recordings (public records), and appraisal files in this office
Types of Data:	Multifamily building and land sales and listings, rental rates, occupancies, operating expenses, and investment rates
Geographic Area:	Primary: Delray Beach; secondary: Palm Beach County; tertiary: South Florida
Verification:	Sales and rental rates were verified by a party to each transaction, unless otherwise noted

PART 2: DESCRIPTIONS, ANALYSES, AND VALUE CONCLUSIONS

The subject property is located in Delray Beach, a municipality situated within Palm Beach County, Florida. The Addendum contains an Area Description and Analysis of the state, South Florida, and Palm Beach County.

MUNICIPALITY

The South Florida region consists of three counties and numerous adjoining cities along the coastline, all of which interact with one another. The result is a long urban-suburban pattern of development from south of Miami to north of West Palm Beach, a distance of approximately 100 miles.

The City of Delray Beach is located in the southeastern portion of Palm Beach County. The unincorporated areas west of the city boundaries are also referred to as Delray Beach. West Palm Beach is the county seat and located several miles to the north.

The city was originally developed in the 1920s as a small town near the intersection of Atlantic Avenue and Federal Highway. Over the next 70 years, the city grew tremendously. The city is now built-out and is primarily suburban in character with a small downtown core. Delray Beach contains a wide variety of residential products attractive to a wide variety of incomes and ages. Industrial uses are typically located near the highways and commercial uses are typically located along arterial roads. The City maintains several public parks, include a popular public beach.

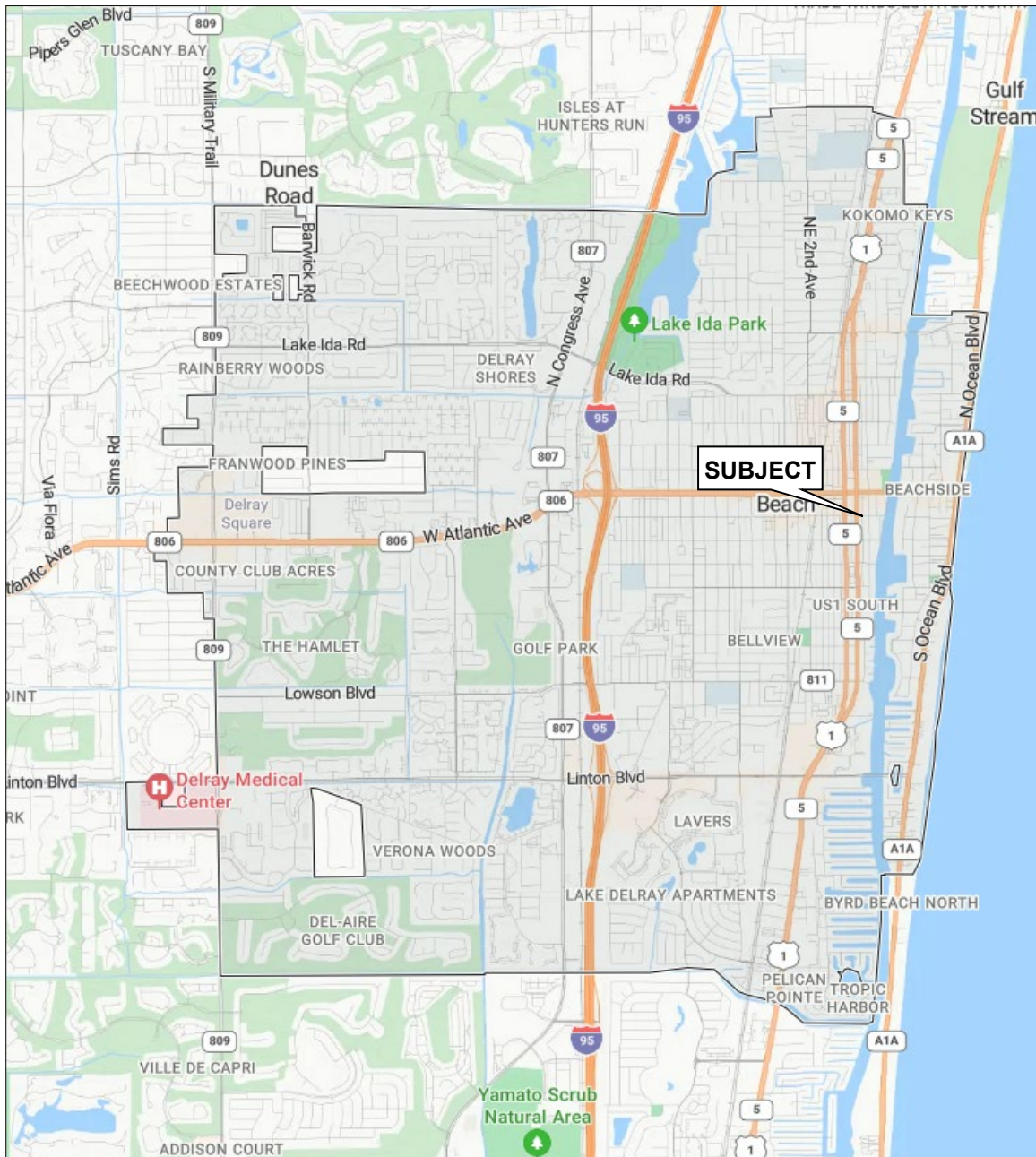
The automobile is the primary method of transportation in the city. Primary east-west roads are Atlantic Ave and Linton Blvd. North-south arterial roads and highways include US 1, I-95, Congress Ave, Military Trail and Florida's Turnpike. The roads in Delray Beach generally have a grid system, based on the quadrants established in its downtown.

Atlantic Avenue is a popular low-rise retail-oriented downtown destination, containing pedestrian-friendly sidewalks covered by canopies and trees, lined with small boutiques, hotels, restaurants and bars. Delray Beach has gained local and national notoriety for successful revitalization of its downtown. Thousands of new residents have moved into new town homes and condominium projects constructed over the past 10 years and pedestrian activity and retail commerce has also significantly increased.

Delray Beach's neighbor to the south, Boca Raton, is a major employment center for the region, containing half of all office space in Palm Beach County. In Delray Beach, office uses are clustered around medical centers, such as the Delray Medical Center at the intersection of Military and Linton Blvd, and along the Congress Ave corridor, south of Atlantic Ave.

Overall, Delray Beach is poised for future sustainability based on its popular retail downtown, availability of public services and parks, close proximity to employment centers as well as continued long-term in-migration to the region.

MUNICIPALITY MAP
(Delray Beach is outlined)



NEIGHBORHOOD

The subject neighborhood is downtown Delray Beach and its surrounding areas. This irregular-shaped neighborhood is generally defined as south of George Bush Blvd (NE 8th St), west of State Road A1A (AKA Ocean Blvd), north of SE 10th St and east of I-95. At its widest point, the neighborhood is roughly two miles wide by roughly one mile long. The area is in a revitalization period of the typical neighborhood life cycle.

Pedestrian traffic can be somewhat busy in certain parts of downtown, but the primary mode of transportation in the neighborhood is the automobile. Atlantic Avenue and Federal Highway are the primary downtown thoroughfares. Atlantic Avenue is the major east-west arterial road in the City, having intersections with I-95 and Florida's Turnpike. In the downtown area, Atlantic Avenue is primarily a two-lane road. The eastern end of Atlantic Avenue feeds into a popular public beach area. Federal Highway (AKA US Hwy 1) is a major north-south arterial road in the South Florida region. In this neighborhood, Federal Highway is split into northbound lanes (6th Ave) and southbound lanes (5th Ave) by one full city block containing privately-held parcels.

The downtown area was initially developed as a small town between the 1920s and the 1960s. Market interest waned in the 1970s and 1980s as new development was focused in other areas. However, over the past 15 to 20 years, downtown Delray Beach has transformed from a rather sleepy, dated downtown to a vibrant, desirable destination. The City enhanced the streetscape of Atlantic Ave, downtown's east-west retail artery, with pedestrian-friendly sidewalks covered by a tree canopy. Substantial property owner reinvestment is evident among the low-rise in-line buildings fronting Atlantic Ave. Occupants include a wide mix of local, regional and national operations, and consist of boutiques, restaurants, bars and hotels.

Property along downtown side streets have become targets for redevelopment. Developers and builders have been actively developing residentially-focused projects. Product offerings have included rental apartments, for-sale condominiums, and for-sale townhomes. Other development along the side streets includes retail and office buildings, as well as new hotels. Also, some older single-family homes (cottages) and older commercial buildings are repurposed for new retail concepts or office space. Several under-construction, proposed and recently delivered projects in the downtown are shown in the Market section. Overall, the downtown area retains a low-rise character, with buildings generally five stories or less.

Single-family homes surrounding downtown have recent sale prices from \$500,000 to well into the multimillions. Home prices and household incomes are higher east of Swinton Ave compared to west of Swinton Ave. Also, commercial property prices and rents are much higher east of Swinton Ave compared to west of Swinton Ave.

The subject is located about two blocks south of the primary retail corridor of E Atlantic Ave. This corridor is a "high-street" retail destination in South Florida, consisting of high rents and high pedestrian activity. The area is undergoing significant changes currently as local retailers with dated buildings are replaced by national retailers with updated façades and storefronts.

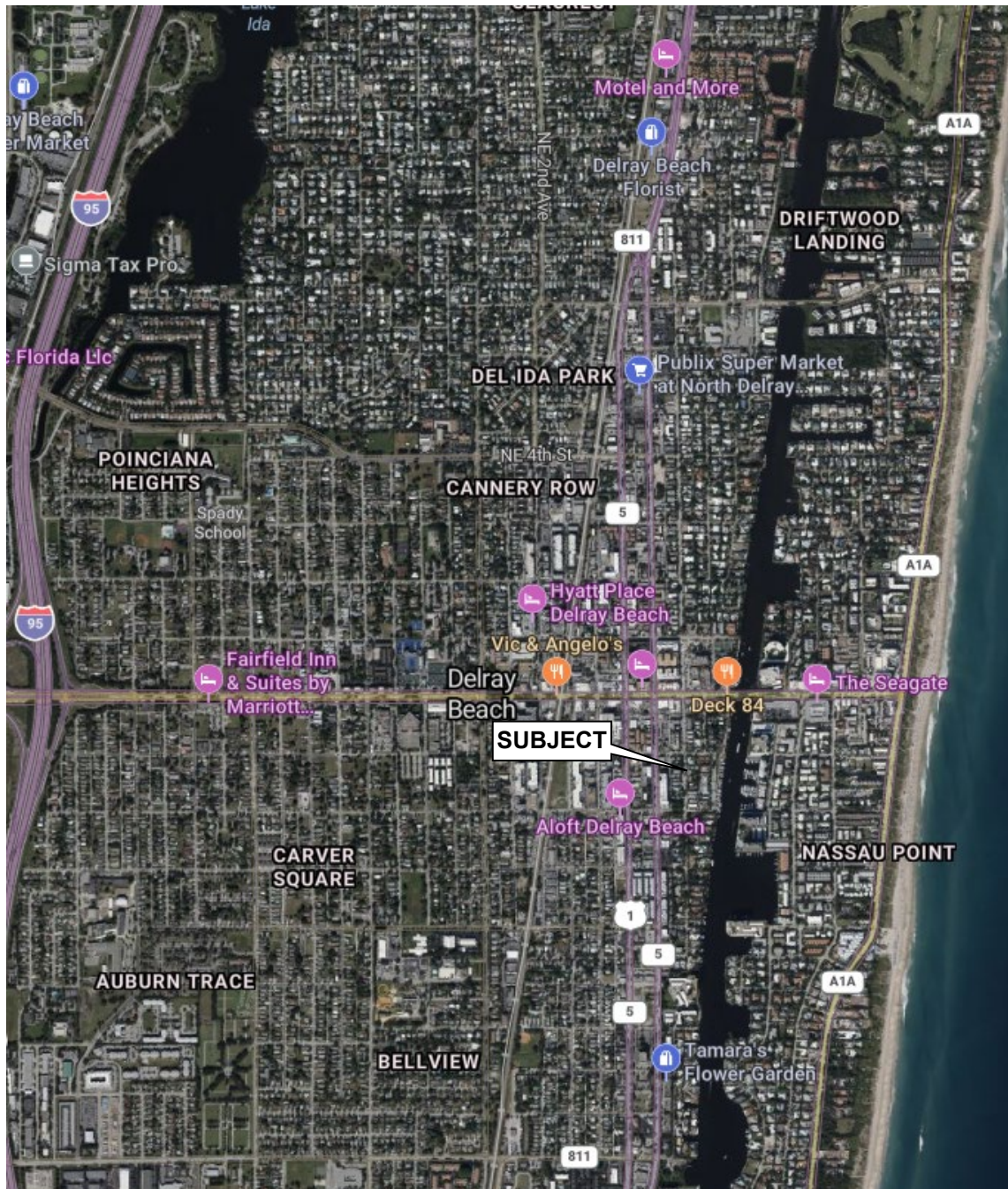
Residential and hospitality projects have been popular in recent years within close proximity to the subject. The Caspian, Courtyard by Marriott hotel, and The Ray hotel, are some of the recently built developments in the area. Sundry Village and Atlantic Corssings are some large mixed-use under construction in the area.

In summary, downtown Delray has become an attractive destination, based on its popular downtown atmosphere and proximity to the ocean. The area is expected to have continued immigration.

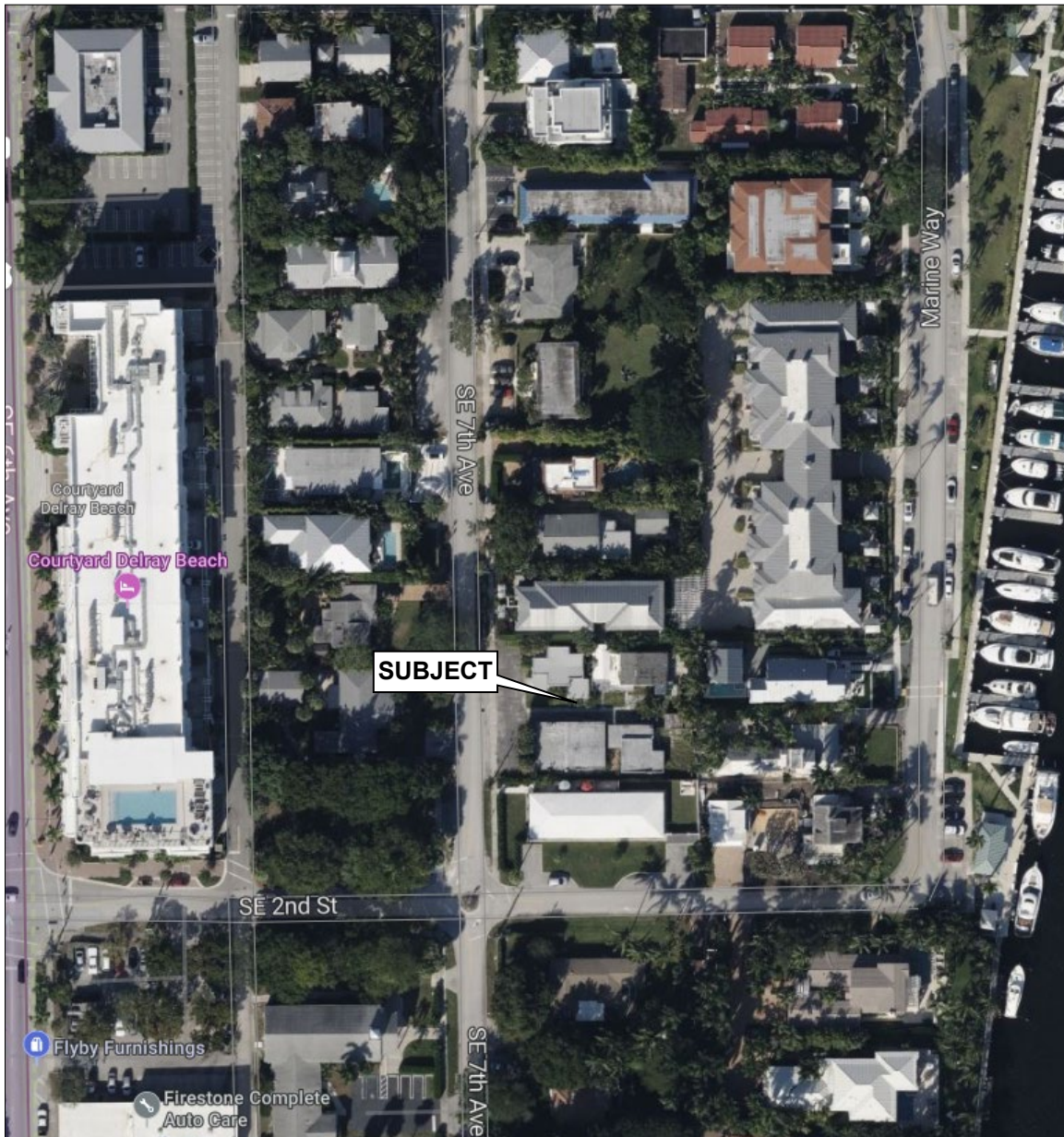
The following chart shows the demographics for rings surrounding the subject, as well as the demographics for the city, the county and the state. Compared to the county, the immediate area surrounding the subject (one-mile ring) has a higher median household income, a higher median home value, and a lower percentage of owner occupied units. The chart indicates modest projected annual population growth in the immediate area over the next five years. The one-mile radius to the subject has 10,838 residents, which is a typical density for Palm Beach County. Overall, the demographics for the neighborhood bode well for residential uses.

DEMOGRAPHICS AROUND SUBJECT						
<i>Source: ESRI, 2024 figures</i>						
Item	1 Mile Radius	3 Mile Radius	5 Mile Radius	Delray Beach	Palm Beach County	Florida State
Population	10,838	66,905	168,950	34,051	1,546,881	22,779,514
Projected Ann. Rate ('24 - '29)	1.09%	0.63%	0.63%	3.24%	0.47%	0.93%
Median HH Income	\$113,278	\$83,351	\$78,621	\$56,752	\$81,615	\$74,715
Households (HH)	5,185	31,840	82,234	14,517	633,334	9,084,882
Average HH Size	2.05	2.07	2.02	2.33	2.40	2.45
Median Age	51.0	50.1	55.8	43.1	45.8	43.5
Owner Occupied Units	42.4%	50.3%	55.5%	38.4%	59.3%	57.8%
Median Home Value	\$782,769	\$575,157	\$475,250	\$439,392	\$486,868	\$391,816

NEIGHBORHOOD MAP



AERIAL MAP OF SURROUNDING AREA



MARKET

Overview

The South Florida real estate market generally consists of property in Palm Beach, Broward, and Miami-Dade County and other smaller, surrounding counties (Monroe, Martin, St. Lucie). This market section was developed as a result of interviewing market participants, reviewing published reports, and analyzing trends involving construction prices, sales, rent rates, and occupancies.

The recent coronavirus pandemic (COVID-19) substantially impacted real estate markets globally. Starting in March 2020, various local, state and federal authorities in the United States ordered the closure of non-essential businesses. Most office workers were asked or ordered to work from home. Initially, most real estate market participants reported a pause in executing new transactions due to market uncertainty. The non-essential business closures were eventually lifted but uncertainty and changes have persisted. As we now move through the post-pandemic years, various segments of the real estate market have been affected in very different ways.

Initially, the Federal government was very active in assisting business and individuals during the onset of the pandemic. This bolstered the economy in various ways, though some have argued the Federal stimulus may have had some unintended consequences. For instance, business owners report difficulty in finding workers for lower-paid retail, transportation, and hospitality jobs as a result of the stimulus money. As a result of increased safety measures related to the pandemic, as well as worker shortages, global supply chain delays disrupted the normal course of business. The United States relies heavily on imports of manufactured goods, and the delays caused some economic uncertainty.

Also, the Federal Reserve cut the federal funds rate to historic lows. Market participants reported the low interest rate environment had a positive impact on the real estate market. In fact, the low interest rate environment led to very robust gains in the real estate markets, with substantial year-over-year price increases between 2020, 2021, and 2022. However, considering significant annual inflation around 9% between 2021 and 2022, the Federal Reserve began to increase the target rate in 2022. The target range reached between 5.25% and 5.50% in early 2024. As inflation started hovering around 3% in 2024, the Federal Reserve indicated some level of success and signaled possible rate cuts in late 2024 and in 2025. Three such cuts were recently announced resulting in a target rate of 4.25% to 4.50% as of early 2025.

Unemployment had been on a slow, steady decline in recent years and was reported to be hovering around 4.0% before jumping upward due to the pandemic. It has recently reset to just under 4.0%.

The Gross Domestic Product (GDP) for the United States had been on a year-over-year percentage increase for several years until disruption occurred in 2020 with the pandemic. It is currently growing at an annual rate of about 3.0%

In early 2025, President Trump introduced new tariff policies involving a host of countries. This has produced some initial uncertainty in the real estate market as of late.

Each segment of the South Florida real estate market has been affected by the above-mentioned events. For instance, as large segments of the United States workforce began to work remotely, workers explored living in warmer climates and low tax environments, such as South Florida. A discussion of residential in-migration and housing starts in South Florida are discussed in more depth in the following pages.

Also, some corporations took this opportunity to entirely relocate or expand offices to warmer climates and business friendly environments, especially in financial services and tech-related industries. As a result, some new Class A office towers are being developed in select areas of South Florida due to robust office absorption and in-migration. This is a unique feature of the South Florida office market, as most other areas in the nation are seeing increasing office vacancies and reduced market interest in the office sector. Nonetheless, a debate continues regarding the longer-term positives and negatives of working remotely. This behavior shift has yet to be fully understood, leaving uncertainty in the office sector both locally and nationally. Most believe South Florida will outperform the nation due to continued in-migration.

The market has seen a surge of new e-commerce activity, causing a need for new warehouse space. This shift in real estate needs from retail to industrial resulted in robust year-over-year gains in industrial prices, both nationally and locally. The retail market has somewhat softened as a result. However, as a result of continued in-migration to South Florida, the local retail market has outperformed the nation, since retail typically follows new rooftops.

As of most recently, the year-over-year price gains in the South Florida real estate market have largely subsided due to pressures from the higher cost of capital due to interest rate increases, as well as construction costs increases. Pressure exists for softening and even a decline in prices as a result of these increases. Overall, fewer large transactions have occurred in 2023 and 2024 compared to recent years.

Overall, the South Florida real estate market is poised to outperform the nation due to the state's low tax environment, business friendly climate resulting in corporate relocations and expansions, as well as mild weather and recreational amenities leading to robust in-migration.

Residential Market

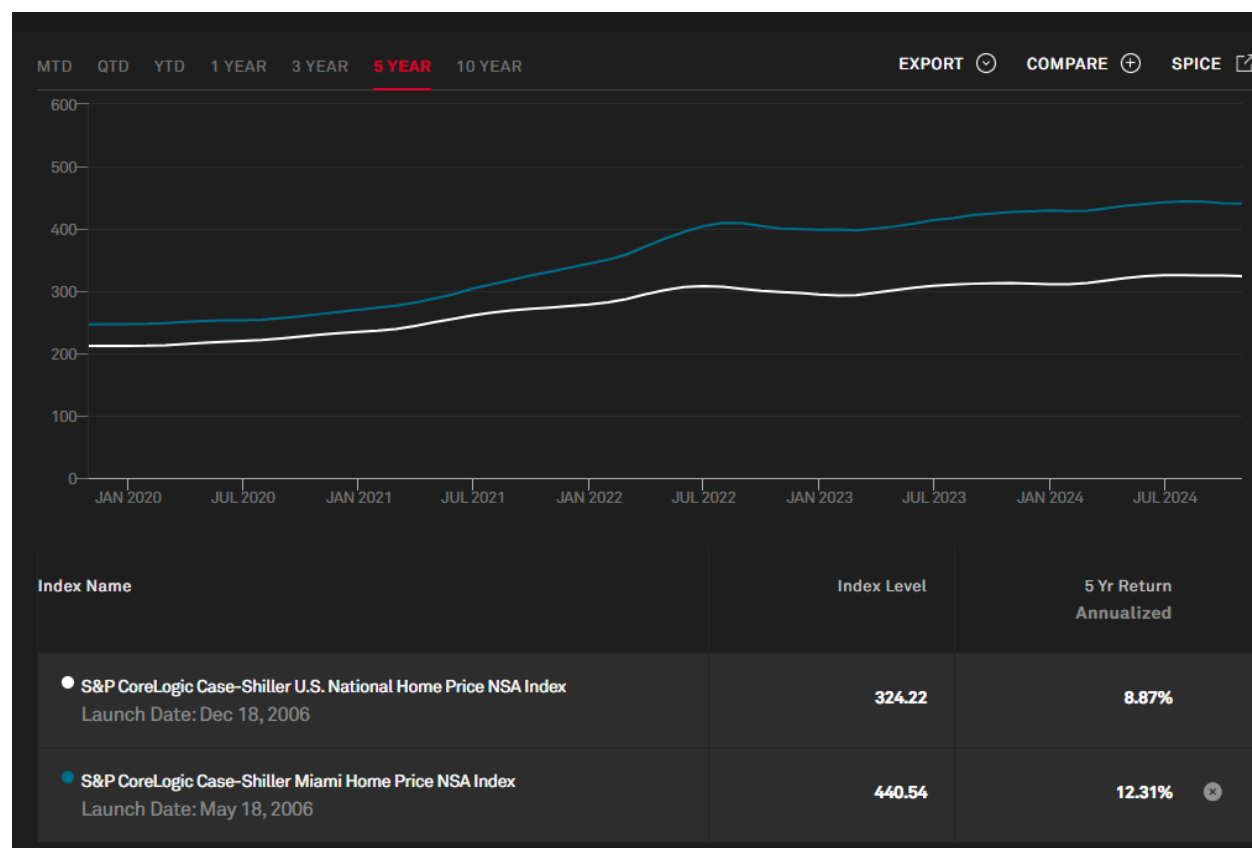
Reinhold P. Wolff Economic Research, Inc. (Reinhold Wolff) publishes a quarterly report showing new building permits in South Florida. The past ten years show new building permits are generally between 20,000 and 25,000 per year.

NEW HOUSING UNITS IN SOUTH FLORIDA											
Source: Reinhold P. Wolff Economic Research											
Location	New Building Permits Per Year										
County	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Palm Beach											
Multiple-Family	2,554	3,213	1,984	3,557	1,959	1,991	2,341	3,255	4,039	2,945	2,163
Single-Family	<u>2,756</u>	<u>4,049</u>	<u>3,737</u>	<u>3,780</u>	<u>2,792</u>	<u>2,969</u>	<u>3,062</u>	<u>4,244</u>	<u>4,269</u>	<u>3,173</u>	<u>3,205</u>
Total	5,310	7,262	5,721	7,337	4,751	4,960	5,403	7,499	8,308	6,118	5,368
Broward											
Multiple-Family	2,835	1,828	2,119	2,585	2,862	2,610	3,394	2,997	2,863	1,224	2,188
Single-Family	<u>1,333</u>	<u>1,714</u>	<u>1,687</u>	<u>1,946</u>	<u>1,658</u>	<u>1,613</u>	<u>1,771</u>	<u>1,423</u>	<u>1,573</u>	<u>1,117</u>	<u>814</u>
Total	4,168	3,542	3,806	4,531	4,520	4,223	5,165	4,420	4,436	2,341	3,002
Miami-Dade											
Multiple-Family	8,087	11,361	13,649	10,777	7,460	7,843	9,633	7,782	11,350	9,749	11,826
Single-Family	<u>2,092</u>	<u>2,482</u>	<u>2,772</u>	<u>2,955</u>	<u>2,271</u>	<u>2,422</u>	<u>2,435</u>	<u>2,133</u>	<u>2,452</u>	<u>2,296</u>	<u>1,401</u>
Total	10,179	13,843	16,421	13,732	9,731	10,265	12,068	9,915	13,802	12,045	13,227
South Florida											
Multiple-Family	13,476	16,402	17,752	16,919	12,281	12,444	15,368	14,034	18,252	13,918	16,177
Single-Family	<u>6,181</u>	<u>8,245</u>	<u>8,196</u>	<u>8,681</u>	<u>6,721</u>	<u>7,004</u>	<u>7,268</u>	<u>7,800</u>	<u>8,294</u>	<u>6,586</u>	<u>5,420</u>
Total	19,657	24,647	25,948	25,600	19,002	19,448	22,636	21,834	26,546	20,504	21,597

A general trend of resident in-migration to South Florida from northern states, mid-western states, and western states is recognized. Several reasons account for the trend. The federal tax overhaul in December 2017 limited the ability of taxpayers to deduct state and local taxes (SALT) from their income in subsequent years. Residents in high local tax states have been relocating to no state income tax states like Florida. Also, the onset of the pandemic and associated possibility of working remotely opened up opportunities for workers. As workers do not necessarily need to be in close proximity to a physical place of employment, the possibilities of relocation to warmer climates enters the equation.

According to a recent article in the South Florida Business Journal, Florida gained nearly \$40 billion in adjusted gross income due to the pandemic between 2020 and 2021. This is according to data collected by the IRS and compiled by CoStar.

In terms of home prices, data provided by the Case-Shiller Home Price Index for South Florida shows home prices have been increasing in the past five years, as shown in the following chart. The latest report indicates the South Florida market has outperformed the nation over the past five years. However, over the past year, the year-over-year increase in the index for South Florida was 3.2%, where the national index was 3.6%.



An increase in interest rates typically results in a decrease in home prices. As interest rates have been increasing, national homebuilders have reported a slight decrease in the price per proposed unit that they are willing to pay. While there is certainly pressure for prices to decrease, this has yet to be meaningfully experienced in the South Florida market. Having said that, the delta between list prices and sale prices was getting quite high, and so some asking prices have been lowered to reflect a more realistic sale price. With many high list prices and a higher cost to borrow money, the quantity of sales has been decreasing as of late.

Rental Apartment Market

To quantify recent trends within the local apartment market, we utilized CoStar Comps to research sales of multifamily properties located within South Florida; the results of this search are shown in the following chart.

Historically, the annual sales volume has been around \$4,000,000,000, though in 2021 and 2022, the annual sales volume was over \$10,000,000,000. The 2023 and 2024 sales volumes were much less.

Median prices per square foot and per unit were showing significant gains year-over-year increases up until recently, and a leveling of prices is noted. The months to sale is similar to the marketing time and has been between five and seven months for several years.

SOUTH FLORIDA MULTIFAMILY SALES							
<i>Source: Compiled from CoStar Realty</i>							
Sales Year	#	Volume	Median Levels		\$/Unit	%	Mos. to Sale
			\$/SF	%			
2015	701	\$3,674,696,681	\$131		\$94,235		7.5
2016	667	\$3,952,005,813	\$138	5%	\$100,000	6%	6.6
2017	773	\$4,265,413,089	\$145	5%	\$105,064	5%	5.9
2018	1,047	\$4,210,030,925	\$146	1%	\$106,458	1%	7.0
2019	1,000	\$4,433,913,373	\$159	9%	\$127,212	19%	6.1
2020	706	\$3,875,323,383	\$177	11%	\$139,706	10%	7.0
2021	889	\$10,629,831,703	\$234	32%	\$174,679	25%	6.6
2022	823	\$10,330,621,191	\$284	21%	\$207,500	19%	6.1
2023	496	\$3,660,468,592	\$284	0%	\$214,227	3%	5.4
2024	545	\$4,082,349,750	\$291	2%	\$205,417	-4%	5.7

The most recent PwC Real Estate Investor Survey was recently published in Q4 2024; this report includes findings for investment grade properties within the Southeast Region Apartment Market which are summarized in the following bullets:

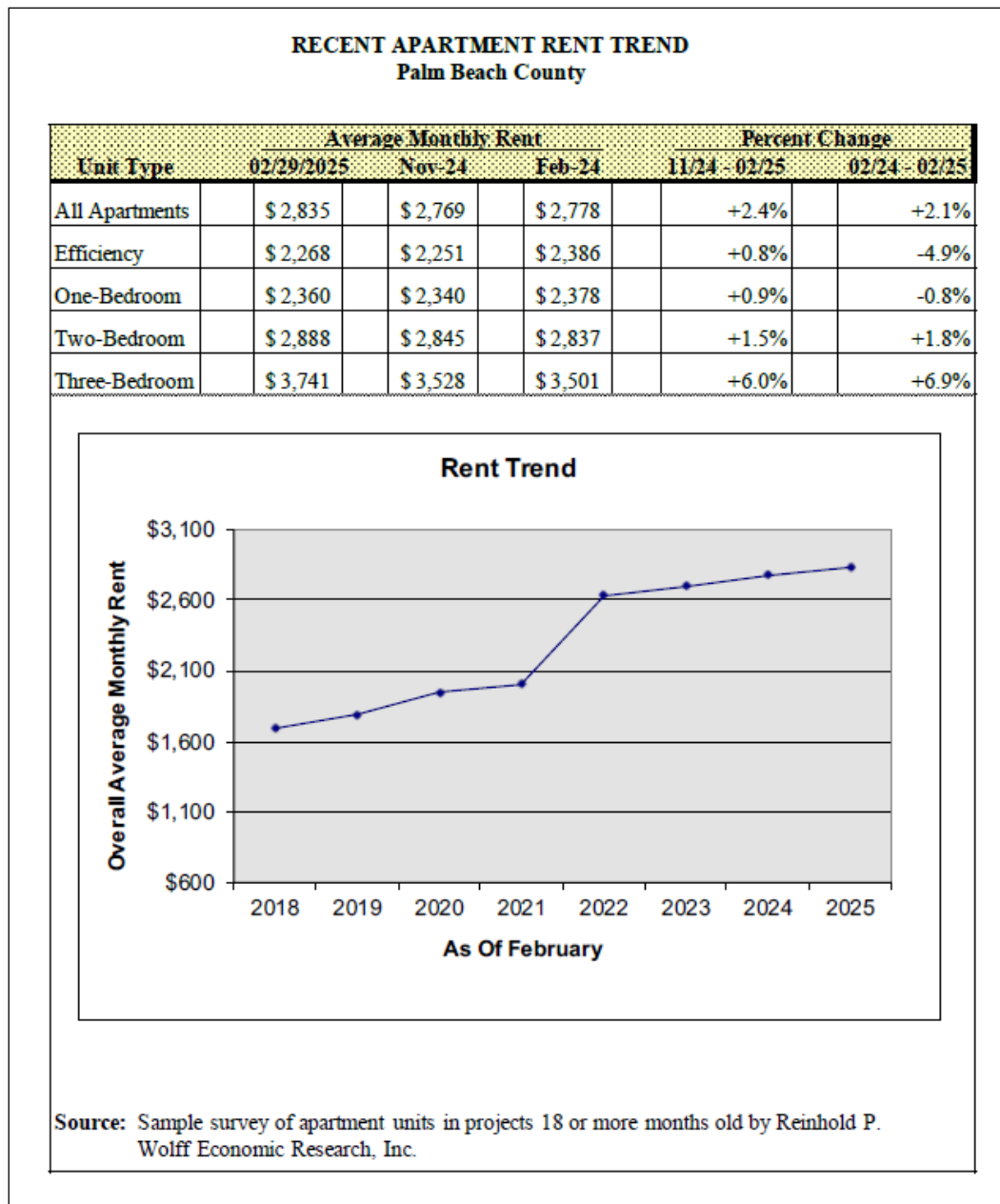
- Overall Cap Rate range: 4.50% to 6.25% with an average of 5.54%.
- Marketing Periods: Two to six months with an average of about four months.
- Year 1 Market Rent Change: Estimate of YOY increases of 0.00% to 4.00% with an average of 2.33%.

The most recent CBRE South Florida Market Update was recently published in 2025; this report includes findings for investment grade properties within the Southeast Region Apartment Market which are summarized in the following bullets:

- In 2024, rents increased 1.5% in Miami-Dade County. For the second year in row rents were flat in Broward County, and marginally increased by 0.2% in Palm Beach County.
- In 2024, Miami-Dade County vacancies decreased from 5.8% to 5.6%; Broward County and Palm Beach County vacancies increased from 6.9% to 7.7% and 7.9% to 8.9%, respectively.
- Capitalization rates range from 4.85% to 5.35% for Class A properties, 5.35% to 5.85% for Class B properties, and 5.85% to 6.50% for Class C properties.

Market interest for multifamily property has been quite high in recent years. A low interest rate environment has kept overall capitalization rates quite low. The Federal Reserve increased the federal fund rate to combat inflation in 2022 and 2023. The elevated interest rates put pressure on overall rates to increase, but the increase was actually rather minimal in South Florida among multifamily property. In late 2024, the Fed announced three rate cuts and indicated more cuts are coming after a level of success in curbing inflation.

The following chart provides rental rate information within Palm Beach County as reported by the Q1 2025 *Reinhold Wolff* survey. The data indicate rental rates for all unit types have been decreasing over the past year.



The following chart provides rental rate as well as vacancy information within Palm Beach County as well as the Delray Beach (subject's submarket) submarket as reported by the Q1 2025 *Reinhold Wolff* survey. The data indicate the vacancy rate within the subject's submarket is lower while the rental rates are much higher in comparison with the county as a whole; this report is summarized in the following bullets:

- Rental rates within Palm Beach County have increased by 2.1% during the past year.
- Rental rates for one-, two- and three-bedroom units within the subject's submarket have changed by about 1.4%, -0.2%, and -2.0%, respectively, during the past year, after several years of significant increases.
- The vacancy rate in the submarket has remained stable around 2.6% during the past year.

RENTAL APARTMENT MARKET				
<i>Source: Reinhold Wolff Research (Q1 2025)</i>				
Units		Average Rent*		Vacancy
Bedrooms	Avg SF	Rate	\$/SF	
<u><i>Delray Beach</i></u>				2.6%
1	825	\$2,675	\$3.24	
2	1,175	\$3,181	\$2.71	
3	1,405	\$3,605	\$2.57	
<u><i>Palm Beach County</i></u>				3.0%
1	824	\$2,360	\$2.86	
2	1,143	\$2,888	\$2.53	
3	1,418	\$3,741	\$2.64	
<i>*Monthly rental rates.</i>				

The Income Capitalization Approach section in this report shows rental rates within the subject neighborhood ranging from \$2,650 to \$3,000/month for two-bedroom units; these rental rates are less than rental rates throughout the subject's submarket which includes newer projects with superior quality features and amenities. Rental rates had been significantly increasing within the subject's immediate area among similar assets over the past few years. Slight softening is noted recently though. The vacancy rate has been stable.

Strengths, Weaknesses, Opportunities, and Threats (SWOT)

Strengths for the subject include aspects of its location.

- **Location:** The subject has a good residentially-focused location with nearby access to transportation links, and close proximity to employment centers and downtown. The subject is located among an area experiencing revitalization and increases in resident population, which bodes well for property values as well as market interest in residential apartment rental units.

Weaknesses for the subject include aspects of its improvements.

- **Improvements:** The subject requires significant renovations prior to occupancy.

Opportunities for the subject include external factors such as market forces.

- **Market forces:** The demand for units in South Florida is anticipated to outpace supply over the five years based on expected population growth. After years of increases, interest rates may decrease in the near term. These features can lend to property prices and-or rents outpacing historic levels of inflation.

Finally, threats for the subject include external factors such as market forces.

- **Market forces:** The residential market exhibits some risk as new product becomes available and as interest rates are at elevated levels, placing some downward pressure on rents or prices. Softening is noted in rental rates in the market. Also the real estate market has not yet had time to fully react to the economic uncertainty related to new tariff policies coming from the Trump administration.

Market participants and market studies provided the following additional information:

- Interest in the subject's submarket has increased significantly during the past few years.
- Apartment properties similar to the subject are generally listed on the open market for less than six months.
- Capitalization rates in the subject's submarket have remained relatively stable during the past year.
- Employment expansion within South Florida has been a driver for strong demand for multifamily rental projects.

Overall, the subject has good appeal in the market.

SUBJECT PROPERTY

This section addresses physical characteristics of the site and improvements plus other factors, such as zoning and taxes. Analysis and conclusions for these features are included at the end of this section.

Site Features

Adjacent Uses:	Low-rise multifamily residential
Size:	14,253 SF or 0.33 acres (source: Palm Beach County Property Appraiser)
Shape:	Rectangular
Frontage/Access:	Along the east side of SE 7th Ave, a two-lane, undivided public road
Topography:	Generally flat and slightly above street grade
Soils:	Generally sandy, typical of the area. We assume the site has no adverse soil conditions
Hazards:	An environmental site assessment report was not provided. We are not aware of any environmental hazards affecting the subject; we assume the site has no adverse environmental conditions
Utilities:	Public water and sewer service as well as electricity and communication services
Easements:	No survey was available to us. We are not aware of any easements which present unusual or adverse development conditions for the subject.
Encroachments:	No survey was available to us. We are not aware of any encroachments which involve the subject.
Census:	64.02 (source: US Census Data)
Flood Zone:	AE, Community-Panel: 12099C0979G, dated December 20, 2024; flood insurance is typically required in this zone (source: FEMA)

Zoning: Medium Density Residential (RM) by the City of Delray Beach. This district permits single-unit and multiple-unit improvements with a maximum density of 12 dwelling units per acre.

- Maximum height: 35 feet
- Maximum lot coverage: 40%
- Minimum front/rear setbacks: 30/25 feet
- Parking: 2.0 spaces per unit plus 0.5 space per unit for guest parking

The subject is located within the Marina Historic District and the improvements are contributing structures within this historic district.

The subject is improved with 6 units which represents 18.3 dwelling units per acre. While a detailed examination of the zoning code was not performed, the subject use, site, and improvements do not appear to meet the current code requirements, namely in regarding parking and density requirements.

The subject improvements have a greater density than what is permitted within the subject zoning district which likely results in a bonus to land value. This lack of conformity to the current code is likely due to the subject improvements pre-dating the current code. Therefore, per the code, the subject appears to be grandfathered-in and legally permitted to continue. This could not be confirmed with the City on an individual basis without a lengthy process, which is outside the scope of this assignment. However, this type of non-conformity to the current code is typical in the immediate area.

Taxes: The County's Property Appraiser establishes assessments annually. The millage rate is the amount paid to each taxing body for every \$1,000 of assessed value. Millage rates applied to properties in this neighborhood are for the state, county, city, and special districts. In addition, property owners are obligated to pay non-ad valorem taxes.

Based on a Florida State Statute, the change in assessments for non-homesteaded property (such as commercial property) cannot exceed 10% per year. As a result, the current market values (per the County's Property Appraiser) for some properties exceed current assessments. Taxes are based on assessments and are not subject to a 10% annual cap. However, after a sale transaction, assessments are reset to the market value per the County's Property Appraiser. A further discussion of taxes is located in the income capitalization approach.

The 2024 millage rate was 18.1994. The subject's 2024 assessed value is more than the market value conclusion in this report. Taxes have been paid to date.

SUBJECT TAXES				
Property	Year: 2024		Year: 2023	
Parcel ID	Assessment	Taxes	Assessment	Taxes
12-43-46-16-01-126-0180	\$1,860,000	\$34,452	\$2,499,339	\$47,865
12-43-46-16-01-126-0170	<u>\$1,395,000</u>	<u>\$25,882</u>	<u>\$2,397,923</u>	<u>\$45,841</u>
Totals:	\$3,255,000	\$60,334	\$4,897,262	\$93,706

Site Improvements

Access:	Paved vehicular access from northbound and southbound SE 7 th Ave
Parking:	Asphalt paved surface parking along the west side of the site; parking totals 10 lined spaces, or a ratio of 1.7 spaces per unit; parking spaces are lined with concrete wheel stops. Back-out parking onto street right-of-way
Curbing:	Concrete curbs along the parking lot and walkway perimeter
Walkways:	Concrete
Drainage:	Positive drainage away from improvements
Landscaping:	Grass, shrubs, and trees
Irrigation:	None observed
Lighting:	Building-mounted
Street Right-of-Way:	Two-lane asphalt-paved road

Building Improvements

The subject sites are improved with 4 one- and two-story multifamily buildings constructed in 1928 and 1967. The improvements currently contain 4,764 SF of enclosed area within seven units. The owner is in the process of renovating the property and plans to expand the building size by enclosing existing porches. Upon completion, the improvements are expected to total 5,674 SF situated within 6 units. The unit mix will consist of five two-bedroom/one-bathroom units and a two-bedroom/two-bathroom unit. The subject will have an average unit size of 946 SF. The source for the building's size is the Palm Beach Property Appraisers records.

Building Shell and Exterior Features:

Structure:	CBS and wood-frame with wood truss roof system (assumed)
Foundation:	Slab or spread concrete footings (assumed)
Walls:	Painted stucco and wood siding
Story Height:	Two floors with an average story height of 9'
Doors:	Wood
Roof:	Flat roof and pitched roof with composition covering over plywood decking (assumed)
Windows:	Fixed glass in aluminum frame and jalousie windows
Access:	Each unit has direct exterior access via covered walkways
Vertical Transport:	Exterior uncovered staircase
Other:	When the property was purchased in March 2022, the subject was improved with a 120-SF storage building (10' x 12'). This structure was in poor condition and was razed in the past couple years. This report is contingent on the <u>hypothetical condition</u> that the subject is improved with a 120-SF storage building. (This hypothetical condition only applies to the value in "as if" condition.) This structure is not included in the building size shown. Also, this structure does not have electrical or plumbing and is not habitable.

Interior Features:

The subject interior is in shell condition with wood-framed walls, partial wood panel ceilings, and partial terrazzo floor covering in one unit. The ceiling height ranges from 8' to 9' in select units and each unit is individually metered for electric.

Analysis and Conclusions:

The site plan consists of parking along the west side of two buildings along the north and south sides of the site. The subject has a typical and sufficient number of parking spaces for occupants as well as guests in the area. Back-out parking onto street rights-of-way is generally discouraged or no longer permitted. The property's floor area ratio (FAR) is 0.40, which is a typical ratio for similar one- and two-story apartment properties in the area. Access is good from public roadways to the parking areas as well as from the parking areas to the building improvements. Landscaping exhibits signs of neglect. Overall, the site improvements have good utility and do not display any significant functional obsolescence.

The subject is considered a Class C investment within the region and is generally attractive to a local investor. The property is in shell condition and is not habitable.

The owner plans to renovate the property. A cost breakdown for the renovations was not provided, but the property owner reported a total renovation budget of \$2,500,000. This represents a cost \$416,667/unit and \$441/SF, which appears high. Per Marshall Valuation Service (MVS), costs for new construction multiple residences are around \$150 to \$200/SF for Good Type construction.

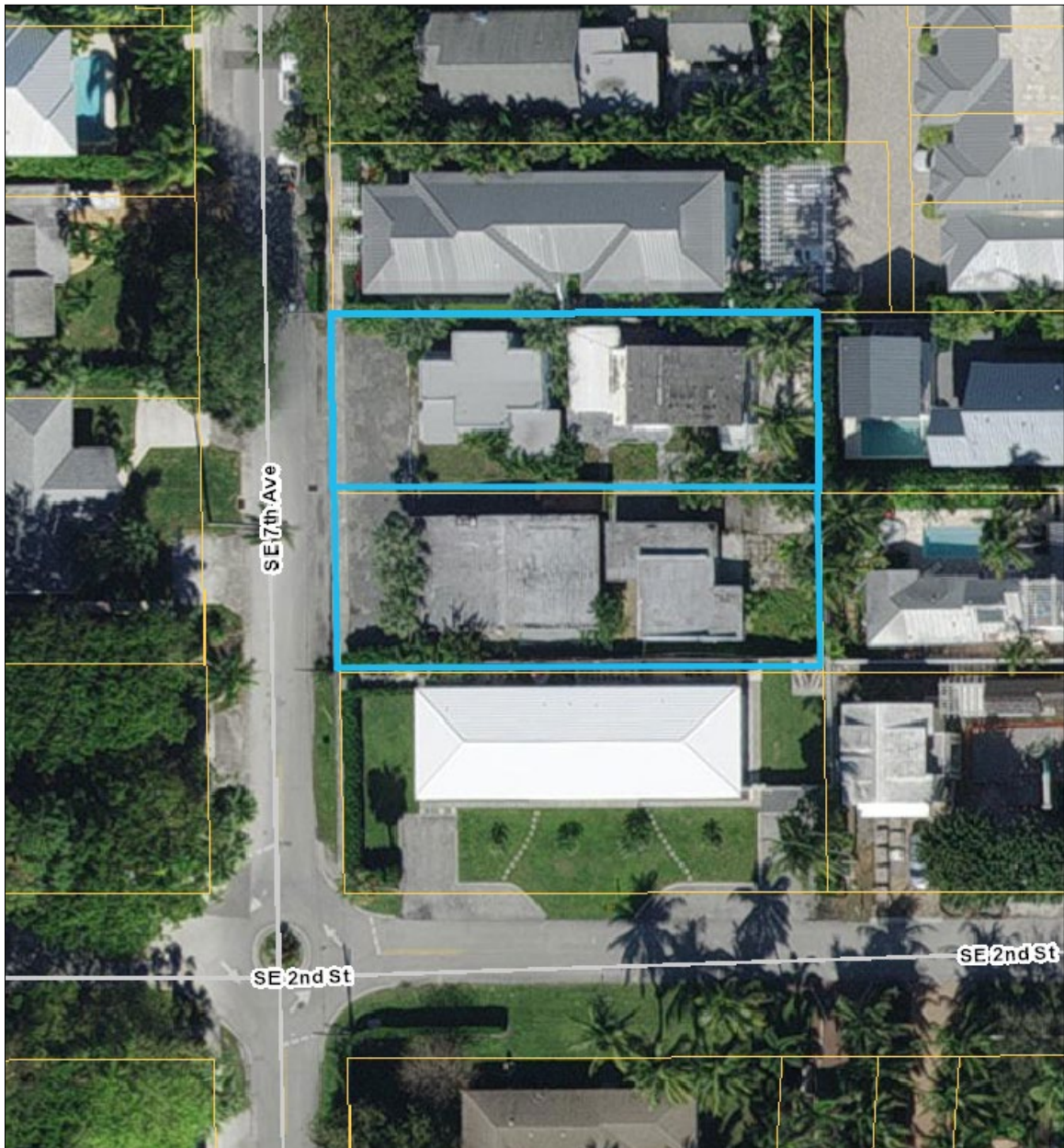
Based on a review of costs and the subject's condition, we estimate \$550,000 is a reasonable renovation budget for the subject. This represents \$92,000/unit and \$97/SF and this estimate will be utilized herein.

The finishes of the exterior and interior are expected to be commensurate with good quality materials, typical of similar properties in the local market.

The following chart shows our life expectancy estimations for the subject property upon completion. The total useful life estimation is based on the guidelines provided via Marshall Valuation Service (MVS). The subject corresponds with Good Type in MVS.

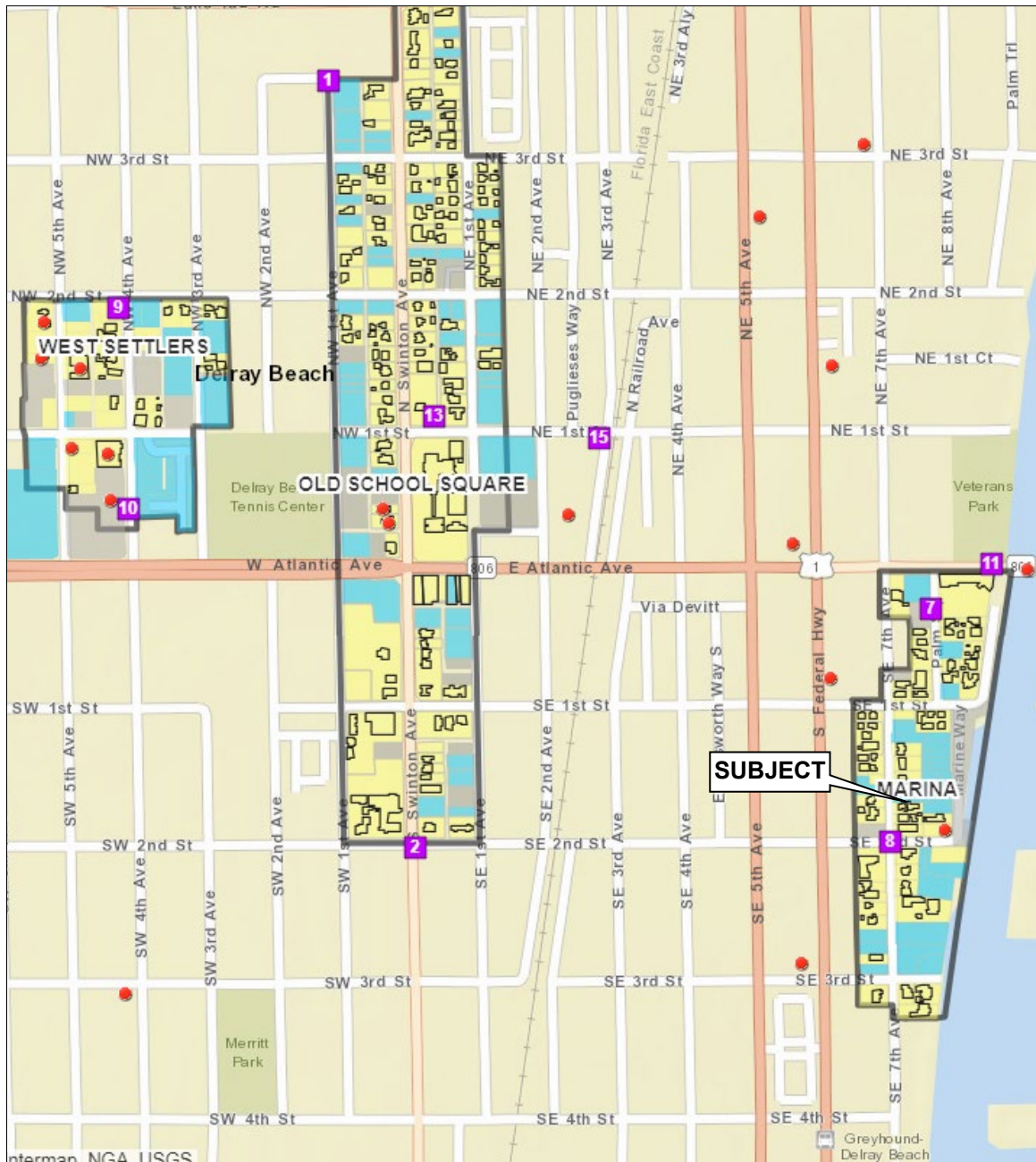
SUBJECT LIFE EXPECTANCY	
<i>Source: MVS</i>	
MVS Building Category	Multiple Residences
MVS Building Class	C
MVS Building Type	Good
Year Built	1928
Actual Age	97
Effective Age	10
Total Useful Life	55
Remaining Useful Life	45

AERIAL PARCEL MAP
Subject is outlined in blue

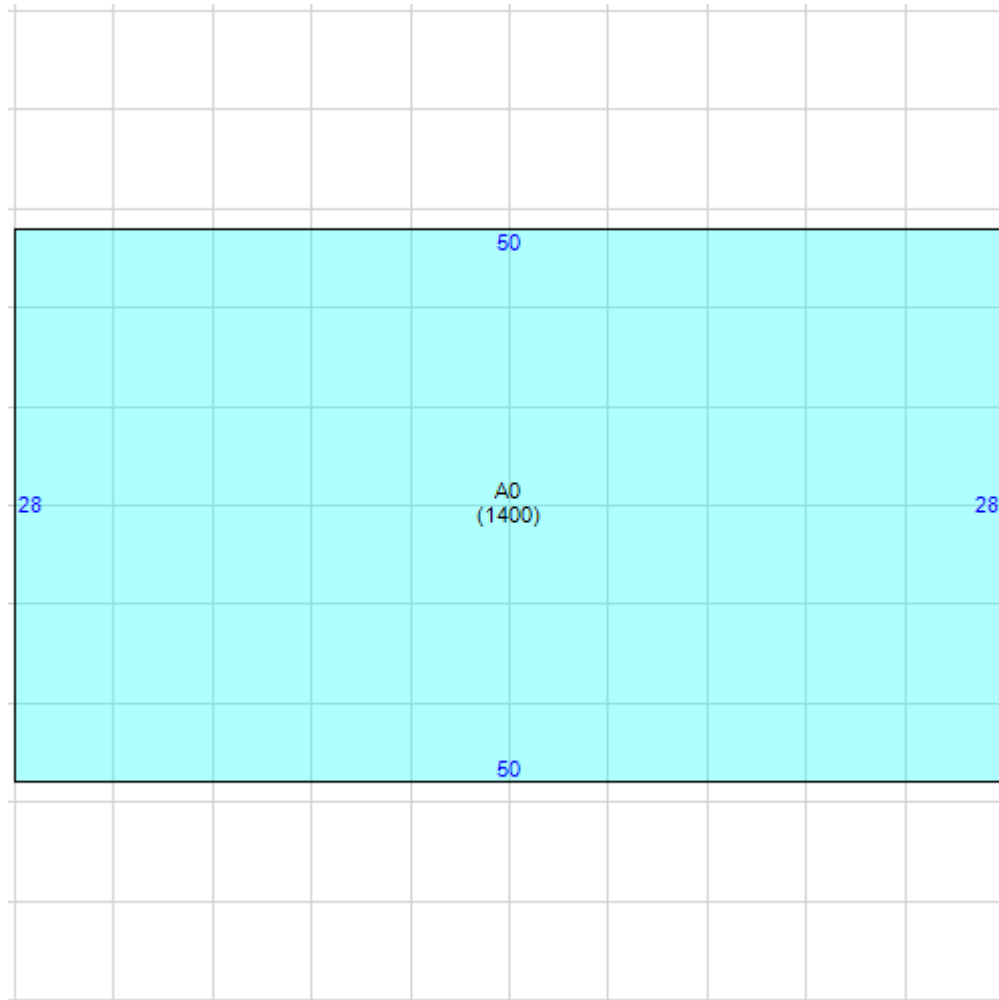


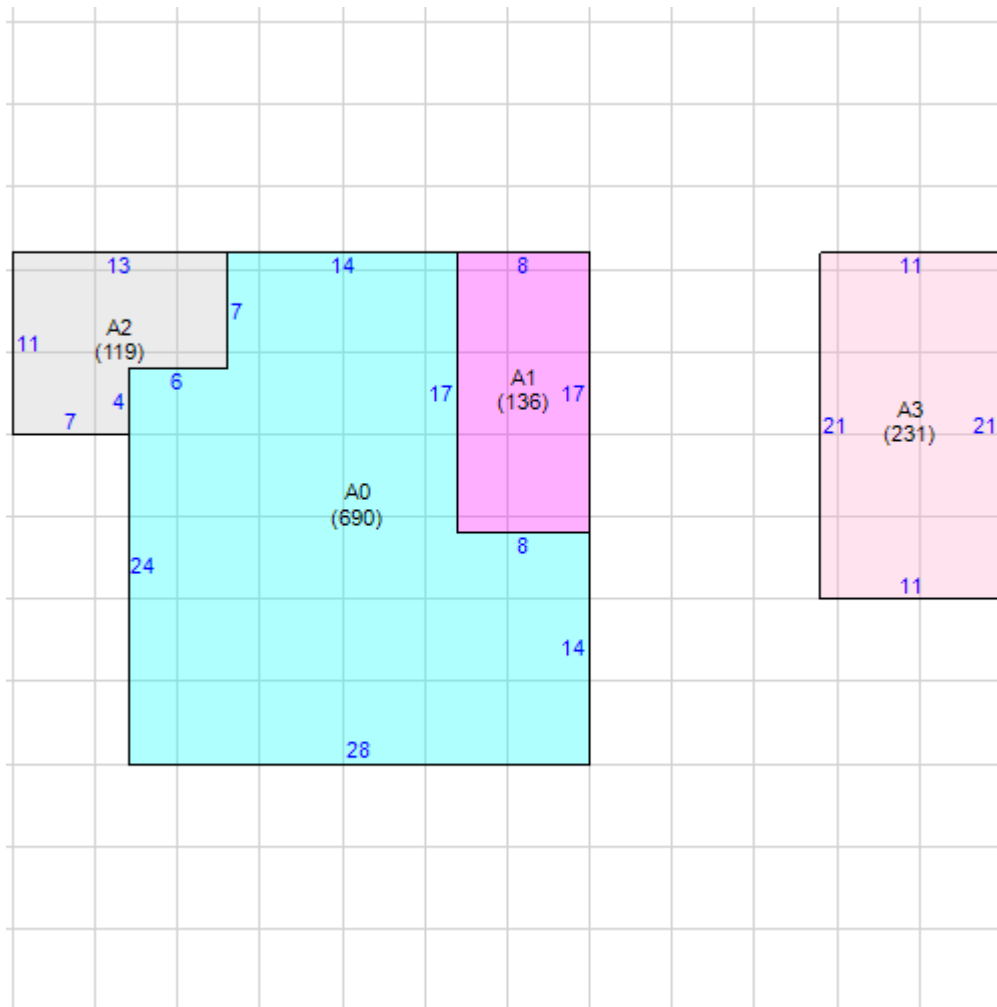
(Properties shown in yellow have contributing structures.)

(Properties shown in yellow have contributing structures.)

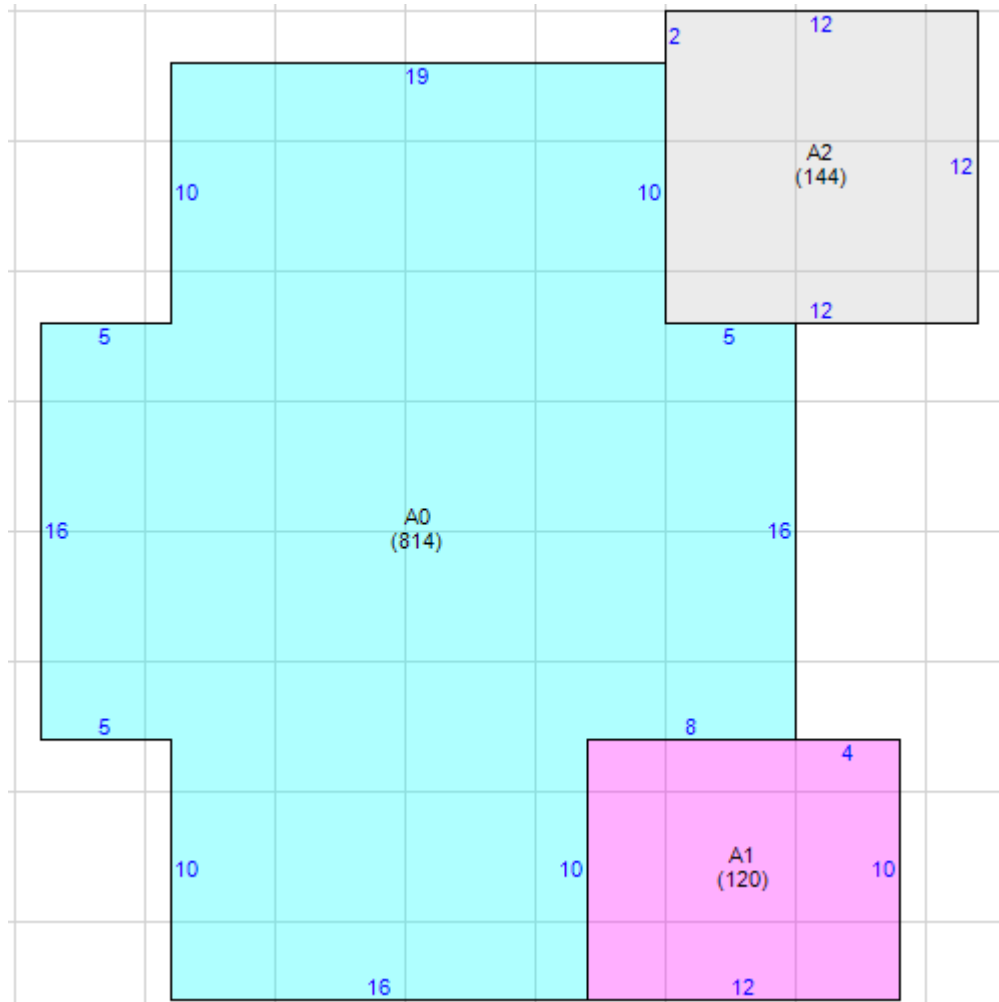


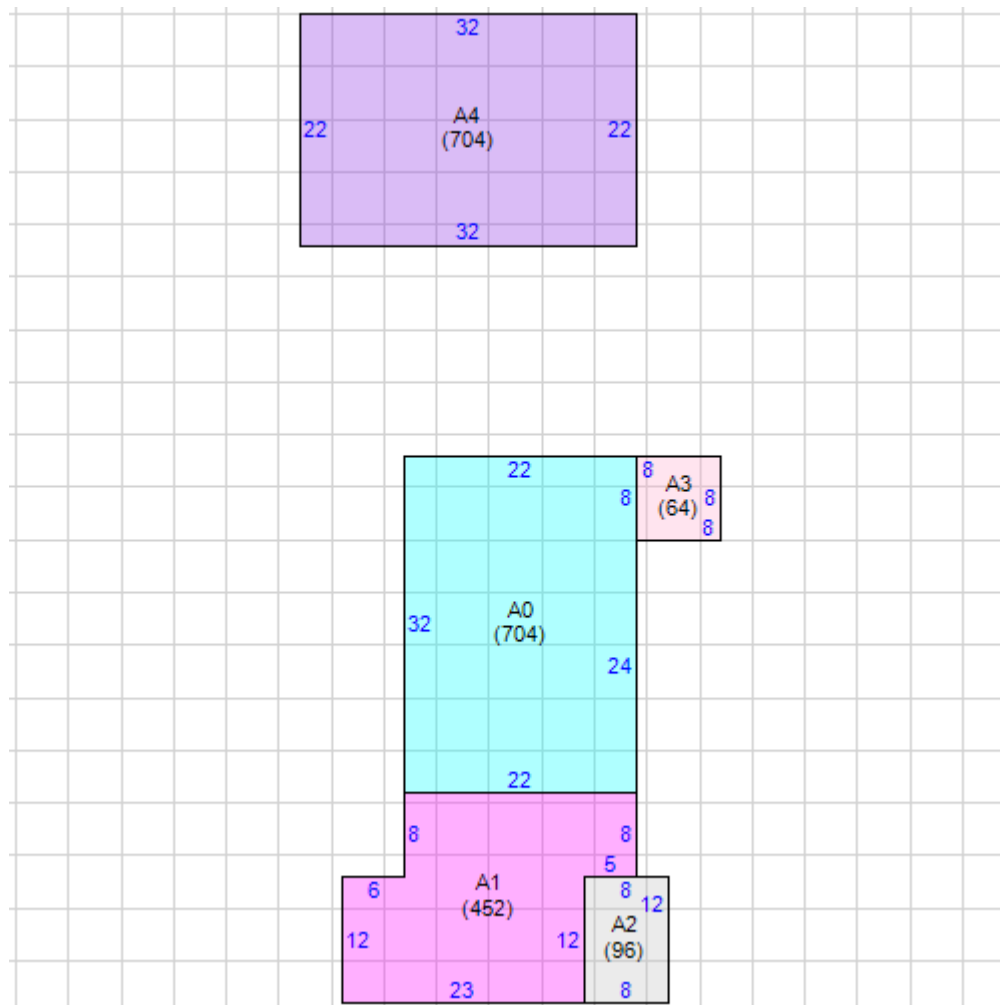
BUILDING SKETCH
(143 SE 7th Ave)





BUILDING SKETCH
(139 SE 7th Ave)





HIGHEST AND BEST USE

The concept of highest and best use has the following definition.

The reasonably probable and legal use of vacant land or an improved property that is physically possible, appropriately supported, financially feasible, and that results in the highest value.

Appraisal Institute, The Dictionary of Real Estate Appraisal, Fifth Edition (2010), p. 93.

The highest and best use concept takes into account contribution of a specific use to the community and community development goals as well as benefits of that use to individual property owners. An additional aspect is the use determined from this analysis represents an opinion, not a fact to be found. The concept of highest and best use represents the premise upon which value is based.

The highest and best use must meet four tests or criteria.

Legally permissible: What uses are permitted or have reasonable probability of being permitted by zoning and deed restrictions on the site in question?

Physically possible: What uses are possible based upon the site's physical constraints such as size, shape, area, terrain, soil conditions, topography, and access to utilities?

Financially feasible: Which possible and permissible uses will produce a net return to the owner of the site?

Maximally productive: Among the feasible uses, which one is most probable and will produce the highest net return and highest present worth?

Analysis of highest and best use for a property typically involves analyzing the site as though it were vacant and available for development, as well as analyzing the site as improved and proposed to be improved. In the subject's case, this analysis focuses on highest and best use as vacant and as improved.

Concerning legally permissible uses, the subject site is zoned for multifamily improvements. Based on its physical attributes, the subject site is well suited for residential uses. In-migration to South Florida continues to occur at a rapid clip, especially during the recent pandemic. And, several new multifamily projects are being constructed on available sites in the area and appear financially feasible and maximally productive, based on a review of construction costs, rents and prices. Trends in the area involve assemblage of smaller parcels into larger sites in order to maximize the development potential available in the zoning code. The highest and best use as vacant is for immediate development of multifamily residential improvements for multiple occupants.

The subject is improved with a multifamily use, which is designated as historic and cannot be demolished. The current improvements have a greater density than what is permitted within the subject's zoning district. Therefore, the current improvements represent a bonus to site value. And, the improved value is higher than land value. The improvements provide a contribution to overall property value and cannot be readily expanded. The highest and best use as improved is for immediate renovation and use of existing multifamily residential improvements for multiple occupants.

The most probable purchaser of the subject is an investor.

VALUATION PROCESS

The previous sections contain identification and analysis of the area including the neighborhood and local market as well as data and analysis of the subject site as a basis for determining the highest and best use of the property. Estimating market value for property under its highest and best use typically involves analysis of three separate approaches: cost approach, sales comparison approach, and income capitalization approach.

The cost approach is based on the principle of substitution that states an informed purchaser will not pay more for a property than the cost of reproducing a property with identical improvements having the same utility. This approach consists of estimating value for the site as vacant, adding direct and indirect costs of construction, deducting an estimate of accrued depreciation, and adding an appropriate entrepreneurial profit. This approach is not relevant for estimating a credible market value for the subject. The amount of accrued depreciation to apply to the subject is not only difficult to accurately determine, but would become a function related to the values produced in the other two approaches.

The sales comparison approach is also based upon the principle of substitution whereby similar properties within competitive markets will realize similar prices. An informed purchaser would not pay more for the subject property than the cost to acquire another property with the same amenities and utility. Market data are available for estimating market value.

The income capitalization approach is based on the principle of anticipation whereby an investor expects benefits to be derived in the future. In evaluating future benefits, an informed purchaser will analyze income as well as how change affects income-producing characteristics of the property. This approach consists of analyzing a property's income and deducting appropriate expenses as well as evaluating appropriate capitalization methods. Market data are available for estimating market value.

The final step in the valuation process is reconciliation of the value indications into a single final value by analyzing the appropriateness, accuracy and quantity of evidence in each approach.

SALES COMPARISON APPROACH

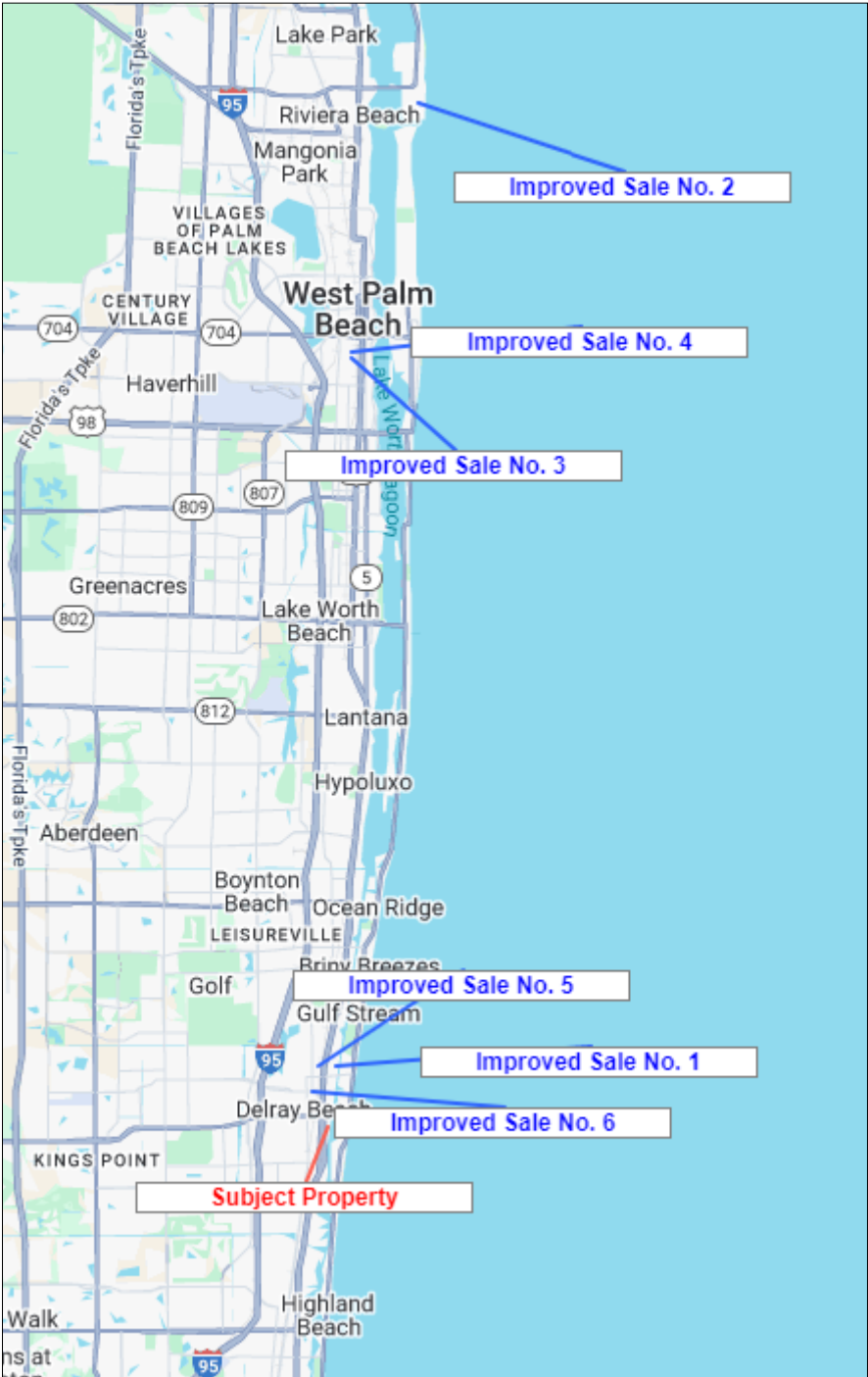
The sales comparison approach is a method for estimating the subject's value by analyzing sales of similar properties. The underlying theory is that a prudent buyer would not buy one property at a price any higher than the cost to acquire a comparable, competitive property. This approach provides a reliable indication of market value when properties are bought and sold regularly.

A search of the immediate area provided limited recent sale data. A search of the broader area for recent sales (comparables) of similar properties provided an adequate number of useful comparables. These comparables are summarized within the following chart, are displayed on a following map, and are described in the subsequent detailed descriptions. Additionally, these comparables are evaluated on the basis of the most relevant unit of comparison which, in this case, is price per building SF as well as price per unit.

The unadjusted prices range from \$386 to \$591/SF and \$238,889 to \$470,833/unit. Comparable listings were also considered in this analysis. The subject units contain appliances that, in this market, are considered fixed to the real estate and part of the real property. The appliances represent a nominal value and a separate value allocation is not warranted.

SUMMARY OF COMPARABLE PROPERTIES							
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)							
	SUBJECT	COMP 1	COMP 2	COMP 3	COMP 4	COMP 5	COMP 6
Property Name	7th Ave Apts	Palm Apts	Blue Lagoon	Apt Building	Multifamily	Dell Park Apts	Delray Apts
Address	139 & 143 SE 7th Ave	1000 Palm Trl	113 Edwards Ln	614 Palm St	1309 Florida Ave	242 NE 12th St	401 NE 2nd Ave
City	Delray Beach	Delray Beach	Palm Beach Shores	West Palm Beach	West Palm Beach	Delray Beach	Delray Beach
<u>Sale:</u>							
Sale Price	N/A	\$5,650,000	\$1,800,000	\$975,000	\$1,164,000	\$2,500,000	\$2,150,000
Sale Status	N/A	Closed	Closed	Closed	Closed	Closed	Closed
Marketing Period	N/A	2 months	Not listed	2 months	2 months	2 months	2 months
Date of Sale	N/A	Mar-25	Dec-24	Oct-24	May-24	Feb-24	Jan-23
Price/SF	N/A	\$386	\$591	\$411	\$412	\$428	\$424
Price/Unit	N/A	\$470,833	\$300,000	\$243,750	\$388,000	\$312,500	\$238,889
<u>Site:</u>							
Site Size Acres	0.33	0.54	0.20	0.15	0.15	0.32	0.29
Site Size SF	14,253	23,522	8,712	6,399	6,686	14,000	12,480
Floor Area Ratio	0.40	0.62	0.35	0.37	0.42	0.42	0.41
Zoning	RM	RM	B	SF14-C2	SF14-C2	R-1-A	RO
Prkg Ratio/Unit	1.7	1.3	1.1	0.0	0.0	1.4	1.0
<u>Building:</u>							
Property Type	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily
Building Size (SF)	5,674	14,644	3,048	2,375	2,822	5,840	5,073
Number of Units	6	12	7	4	3	8	9
Average Unit SF	946	1,220	435	594	941	730	564
Year Built	1928	1972	1954	1950	1930	1969	1924
Condition	Good	Avg to Good	Avg to Good	Avg to Good	Good	Avg to Good	Average
Quality	Good	Avg to Good	Avg to Good	Average	Good	Avg to Good	Average
Stories	Two	Two	One	One	One	Two	Two
<u>Economics:</u>							
Occupancy at Sale	95%	100%	67%	100%	100%	100%	100%
PGI Per Unit	\$35,500	\$36,365	N/A	\$19,940	\$38,800	\$23,648	\$23,733
OE Per Unit	\$13,424	\$13,247	N/A	\$8,524	\$16,587	\$8,771	\$7,919
NOI Per Unit	\$20,301	\$23,118	N/A	\$10,419	\$20,273	\$13,694	\$14,627
GIM	8.3	12.9	N/A	12.2	10.0	13.2	10.1
OAR	5.25%	4.91%	N/A	4.27%	5.22%	4.38%	6.12%
(Conclusions)							

MAP OF COMPARABLE PROPERTIES



COMPARABLE 1**General Data**

Property Name:	Palm Apts
Property Type:	Multifamily, Garden, Low-Rise
Address:	1000 Palm Trl, Delray Beach, Florida 33483
County:	Palm Beach
Parcel ID:	12-43-46-09-08-002-0260
Legal Description:	KENMONT LTS 26 THRU 28 (LESS ELY 3.79 FT PALM TRL R/W) BLK 2

Site Data

Site Size:	0.54 Acres or 23,522 SF
Floor-to-Area Ratio (FAR):	0.62
Zoning:	RM
Parking Ratio:	1.3 spaces per unit
Site Remarks:	Pool

Building Data

Size SF:	14,644
Number of Units:	12
Average Unit Size SF:	1,220
Year Built:	1972
Condition:	Avg to Good
Construction Quality:	Avg to Good
Stories/Floors:	Two
Building Remarks:	The property was rebuilt in 2010 with a new roof, windows, doors, plumbing, electricity, and pool.

Unit Mix:	<i>Unit Type</i>	<i># Units</i>	<i>Avg Rent/Mo</i>	<i>Total Rent/Mo</i>
	2/1.5	1	\$2,625	\$2,625
	2/2.5	10	\$3,064	\$30,640
	3/2.5	1	\$3,100	\$3,100
	* Totals *	12	\$3,030	\$36,365

Financial Data

Occupancy at Sale:	100%	
Potential Gross Income:	\$436,380	\$36,365/Unit
Effective Gross Income:	\$436,380	\$36,365/Unit
Operating Expenses:	(\$158,965)	\$13,247/Unit
Net Operating Income:	\$277,415	\$23,118/Unit
Overall Capitalization Rate:	4.9%	
Gross Income Multiplier:	12.9	
Financial Data Remarks:	In-place income and expenses per broker	

Sale Data

Sale Status:	Closed
Price:	\$5,650,000
Price/SF:	\$385.82
Price/Unit:	\$470,833
Sale Date:	March 2025
O.R. Book-Page:	35686-109
Grantor:	James and Nohra Gagliardi
Grantee:	Pan American Papers, Inc.
Property Rights:	Fee simple
Marketing Period:	2 months
Listing Price at Sale:	\$6,000,000
Prior Transactions:	None in prior three years
Verification Source:	Listing broker, Sarah Brand, April 2025 (25-0447)

COMPARABLE 2



General Data

Property Name:	Blue Lagoon
Property Type:	Multifamily, Garden, Low-Rise
Address:	113 Edwards Ln, Palm Beach Shores, Florida 33404
County:	Palm Beach
Parcel ID:	54-43-42-27-04-000-2140
Legal Description:	Lot 214, Palm Beach Shores, according to the Plat thereof, as recorded in Plat Book 23, Page 29, of the Public Records of Palm Beach County, Florida

Site Data

Site Size:	0.20 Acres or 8,712 SF
Floor-to-Area Ratio (FAR):	0.35
Zoning:	B
Parking Ratio:	1.1 spaces per unit
Amenities:	On-site laundry

Building Data

Size SF:	3,048
Number of Units:	7
Average Unit Size SF:	435
Year Built:	1954
Condition:	Avg to Good
Construction Quality:	Avg to Good
Stories/Floors:	One
Building Remarks:	Property has been updated in recent years with impact windows and doors and updated kitchens and bathrooms in most units

Financial Data

Occupancy at Sale: 67%

Sale Data

Sale Status: Closed
 Price: \$1,800,000
 Price/SF: \$590.55
 Price/Unit: \$300,000
 Sale Date: December 2024
 O.R. Book-Page: 35450-00084
 Grantor: Sunstar Manufacturing, LLC
 Grantee: 2419 29th Street, LLC
 Property Rights: Fee simple
 Financing: None recorded
 Marketing Period: Not listed
 Prior Transactions: None in prior three years
 Verification Source: Buyer, Sarah Brand, November 2024 (24-1698)
 Sale Remarks: The property was not listed on the open market but the price appears market driven. The property had two vacant units which were vacated during the contract period. The seller wanted the units to remain vacant during the contract period and planned to list the units for lease after the sale closes.

COMPARABLE 3**General Data**

Property Name:	Apartment Building
Property Type:	Multifamily, Garden, Low-Rise
Address:	614 Palm St, West Palm Beach, Florida 33404
County:	Palm Beach
Parcel ID:	74-43-43-28-05-000-0520
Legal Description:	GRANDVIEW HEIGHTS LOT 52

Site Data

Site Size:	0.15 Acres or 6,399 SF
Floor-to-Area Ratio (FAR):	0.37
Zoning:	SF14-C2
Site Remarks:	No on-site parking; public street parking. Located within the Flamingo Park District, just south of downtown

Building Data

Size SF:	2,375
Number of Units:	4
Average Unit Size SF:	594
Year Built:	1950
Condition:	Avg to Good
Construction Quality:	Average
Stories/Floors:	One
Building Remarks:	Property has been updated in recent years

Financial Data

Occupancy at Sale:	100%	
Potential Gross Income:	\$79,761	\$19,940/Unit
Vacancy & Credit Loss:	<u>(\$3,988)</u>	5.0%
Effective Gross Income:	\$75,773	\$18,943/Unit
Operating Expenses:	<u>(\$34,097)</u>	\$8,524/Unit
Net Operating Income:	\$41,676	\$10,419/Unit
Overall Capitalization Rate:	4.3%	
Gross Income Multiplier:	12.2	
Financial Data Remarks:	OAR based on pro forma income; appraiser applied 5% V&CL and 45% OER	

Sale Data

Sale Status:	Closed
Price:	\$975,000
Price/SF:	\$410.53
Price/Unit:	\$243,750
Sale Date:	October 2024
O.R. Book-Page:	35352-01306
Grantor:	Lake 7 Properties, LLC & RGT Holdings, LLC
Grantee:	614 Palm Street, LLC
Property Rights:	Fee simple
Financing:	Not available
Marketing Period:	2 months
Listing Price at Sale:	\$1,175,000
Prior Transactions:	None in prior three years
Verification Source:	Ed Rubio, rep of seller, 561-386-5644, Mark Worch, August 2024 (24-1194s)

COMPARABLE 4**General Data**

Property Name:	Multifamily Property
Property Type:	Multifamily, Garden, Low-Rise
Address:	1309 Florida Avenue, West Palm Beach, Florida 33401
County:	Palm Beach
Parcel ID:	74-43-43-28-04-012-0070
Legal Description:	MOSS & HEISLER ADD LTS 7 & 8 BLK 12

Site Data

Site Size:	0.15 Acres or 6,686 SF
Floor-to-Area Ratio (FAR):	0.42
Zoning:	SF14-C2
Site Remarks:	No on-site parking; street parking

Building Data

Size SF:	2,822
Number of Units:	3
Average Unit Size SF:	941
Year Built:	1930
Condition:	Good
Construction Quality:	Good
Stories/Floors:	One
Building Remarks:	Property consists of a single-unit home and two units in the rear. Property has been substantially renovated in recent years including a new roof in 2018.

Financial Data

Occupancy at Sale:	100%	
Potential Gross Income:	\$116,400	\$38,800/Unit
Vacancy & Credit Loss:	<u>(\$5,820)</u>	5.0%
Effective Gross Income:	\$110,580	\$36,860/Unit
Operating Expenses:	<u>(\$49,761)</u>	\$16,587/Unit
Net Operating Income:	\$60,819	\$20,273/Unit
Overall Capitalization Rate:	5.2%	
Gross Income Multiplier:	10.0	
Financial Data Remarks:	OAR based on pro forma income; appraiser applied 5% V&CL and 45% OER.	

Sale Data

Sale Status:	Closed
Price:	\$1,164,000
Price/SF:	\$412.47
Price/Unit:	\$388,000
Sale Date:	May 2024
O.R. Book-Page:	35052 / 01850
Grantor:	FLORIDA AVE 1309 LLC
Grantee:	AARON BRIAN
Property Rights:	Fee simple
Financing:	None recorded
Marketing Period:	2 months
Listing Price at Sale:	\$1,164,000
Prior Transactions:	No arm's length transactions
Verification Source:	Brian Clark Boles, listing broker, 561-350-3082, Mark Worch, August 2024 (24-1194)

COMPARABLE 5**General Data**

Property Name:	Dell Park Apts
Property Type:	Multifamily, Garden, Low-Rise
Address:	242 NE 12th St, Delray Beach, Florida 33444
County:	Palm Beach
Parcel ID:	12-43-46-09-28-005-0100
Legal Description:	Lots 10 and 11, Block 5, Dell Park, Florida, according to the plat thereof as recorded in Plat Book 8, Page 56, Public Records of Palm Beach County, Florida

Site Data

Site Size:	0.32 Acres or 14,000 SF
Floor-to-Area Ratio (FAR):	0.42
Zoning:	R-1-A
Parking Ratio:	1.4 spaces per unit
Amenities:	On-site laundry

Building Data

Size SF:	5,840
Number of Units:	8
Average Unit Size SF:	730
Year Built:	1969
Condition:	Avg to Good
Construction Quality:	Avg to Good
Stories/Floors:	Two
Building Remarks:	Property has been updated in recent years

Financial Data

Occupancy at Sale:	100%	
Potential Gross Income:	\$189,180	\$23,648/Unit
Vacancy & Credit Loss:	<u>(\$9,459)</u>	5.0%
Effective Gross Income:	\$179,721	\$22,465/Unit
Operating Expenses:	<u>(\$70,171)</u>	\$8,771/Unit
Net Operating Income:	\$109,550	\$13,694/Unit
Overall Capitalization Rate:	4.4%	
Gross Income Multiplier:	13.2	
Financial Data Remarks:	In-place income and expenses with 5% V&CL	

Sale Data

Sale Status:	Closed
Price:	\$2,500,000
Price/SF:	\$428.08
Price/Unit:	\$312,500
Sale Date:	February 2024
O.R. Book-Page:	34842-01572
Grantor:	Petes Property Holdings, LLC
Grantee:	Delray Drift, LLC
Property Rights:	Fee simple
Financing:	None recorded
Marketing Period:	2 months
Listing Price at Sale:	\$2,600,000
Prior Transactions:	Sold in June 2022 for \$2,150,000
Verification Source:	Listing broker, Sarah Brand, April 2025 (22-0951)

COMPARABLE 6



General Data

Property Name:	Delray Apts
Property Type:	Multifamily, Garden, Low-Rise
Address:	401 NE 2nd Ave, Delray Beach, Florida 33444
County:	Palm Beach
Parcel ID:	12-43-46-09-29-007-0030
Legal Description:	DEL IDA PARK LTS 3 & 4 BLK 7 (DEL-IDA PARK HISTORIC DISTRICT)

Site Data

Site Size:	0.29 Acres or 12,480 SF
Floor-to-Area Ratio (FAR):	0.41
Zoning:	RO
Parking Ratio:	1.0 spaces per unit

Building Data

Size SF:	5,073
Number of Units:	9
Average Unit Size SF:	564
Year Built:	1924
Condition:	Average
Construction Quality:	Average
Stories/Floors:	Two
Building Remarks:	Property has eight garage units.No significant updates in recent years

Financial Data

Occupancy at Sale:	100%	
Potential Gross Income:	\$213,600	\$23,733/Unit
Vacancy & Credit Loss:	<u>(\$10,680)</u>	5.0%
Effective Gross Income:	\$202,920	\$22,547/Unit
Operating Expenses:	<u>(\$71,273)</u>	\$7,919/Unit
Net Operating Income:	\$131,647	\$14,627/Unit
Overall Capitalization Rate:	6.1%	
Gross Income Multiplier:	10.1	
Financial Data Remarks:	Broker pro forma income and expenses from OM	

Sale Data

Sale Status:	Closed
Price:	\$2,150,000
Price/SF:	\$423.81
Price/Unit:	\$238,889
Sale Date:	January 2023
O.R. Book-Page:	34101-00935
Grantor:	Christine Gardner
Grantee:	Pierre and Angelique Rochemont
Property Rights:	Fee simple
Financing:	None recorded
Marketing Period:	2 months
Listing Price at Sale:	\$2,690,000
Prior Transactions:	None in prior three years
Verification Source:	Listing broker, 954-573-4449, Sarah Brand, April 2023 (23-0543)
Sale Remarks:	Property purchased by an investor who will rent the units.

Adjustments are appropriate and necessary based on differences in elements of comparison. The following elements of comparison are characteristics of properties and sale transactions causing variations in prices. The first five elements of comparison are considered transactional adjustments; each of the transactional adjustments is made prior to making further adjustments. The remaining five elements of comparison are referred to as property adjustments and their total net adjustment is applied at the end.

1. Real property rights conveyed
2. Financing terms
3. Conditions of sale
4. Expenditures immediately after purchase
5. Market conditions
6. Location
7. Physical characteristics
8. Economic characteristics
9. Use
10. Non-realty components of sale

The comparables are adjusted quantitatively. The percentage adjustment indicates the degree of the appropriate adjustment based on our knowledge of the local market, discussion with market participants and reviewing data. A chart on a following page shows comparison of the comparables with the subject, and contains adjustments as explained in the following items and summarized on a following chart.

1. Real Property Rights Conveyed. No differences are noted.

2. Financing Terms. No differences are noted.

3. Conditions of Sale. No differences are noted.

4. Expenditures Immediately After Purchase. No differences are noted.

5. Market Conditions. Market prices and rental rates have been increasing recently, as discussed in the Market section. Comparable 6 is adjusted upward to account for improving market conditions. However, no upward adjustments are made from 2024 forward due to flattening of prices as a result of interest rate increases.

6. Location. Consideration is given to the following factors: rents, land prices, and neighborhood demographics, such as household income and home prices. Comparable 2 has a superior location and is adjusted downward.

7. Physical Characteristics. Differences in prices are evident for several considerations.

Parking ratio: A direct relationship typically exists between the parking ratio and price per unit. As the parking ratio increases, the price per unit tends to increase. Comparables 3 and 4 have no on-site parking and are adjusted upward.

Number of units: Typically, prices per unit have an inverse relationship to building size. As the number of units increase, price per unit typically decrease, based in part on economies of scale. Comparable 4 is a smaller project and is adjusted downward.

Year built/condition: A direct relationship is typically attributed to price and year built/condition. As the building ages or the condition declines, the price tends to decrease. Consideration is given to any recent renovations and-or capital expenditures. We are adjusting to the subject upon completion. Comparables 1, 2, 3, 4, and 5 are newer, updated buildings and no adjustments are applied. Comparable 6 is an older building and is adjusted upward.

Quality: A direct relationship is typically attributed between quality and price per unit. As the quality increases, the price per unit generally increases. Comparable 3 has inferior quality and is adjusted upward. No adjustment is applied to Comparable 6 to account for superior garage space.

Swimming Pool: The subject property does not have a swimming pool, but some sales have on-site pools. Based on a review of sales of similar properties as well as paired sales analysis, premiums for on-site swimming pool are not evident for similar size residential properties in the local market. As a result, no adjustments are applied.

8. Economic Characteristics. We are adjusting to the subject upon economic stabilization. Some buyers of the comparables have the ability to raise rents. No significant adjustments appear warranted.

9. Use. No differences are noted.

10. Non-realty Components of Sale. No differences are noted.

One other factor has been taken into consideration. The subject is located within the AE Flood Zone and flood insurance is typically required in this zone. Consideration has been given to the comparable properties located within similar flood zones. The difference in flood zone is insignificant within the local market and no adjustment is warranted.

The comparable sales have adjusted price range of \$386 to \$490/SF and \$240,000 to \$470,833/unit. This range is relatively broad due to the variety of average unit sizes between the projects. Therefore, we have included the following ranking analysis chart which sorts each sale by average unit size (based on gross building SF). The sales show the price per unit generally increases as the average unit size increases while price per SF generally decreases as the average size increases. The subject has an average unit size of 946 SF and is highlighted in blue.

UNIT SIZE RANKING ANALYSIS			
Sale	Avg Unit SF	\$/SF	\$/Unit
2	435	\$472	\$240,000
6	564	\$490	\$275,917
3	594	\$452	\$268,125
5	730	\$428	\$312,500
4	941	\$412	\$388,000
Subject	946	\$410	\$385,000
1	1,220	\$386	\$470,833

Based on this analysis, we conclude a value around \$410/SF and \$385,000/unit is reasonable for the subject; the corresponding value range for the subject is \$2,310,000 to \$2,326,000, say \$2,320,000 (rounded) upon completion. A value at the upper end of the range is appropriate to account for additional income from the storage building that is not included in the total building size. The additional income from this building is discussed further in the Income Capitalization Approach section of this report.

As explained earlier in the report, we have applied a deduction of \$550,000 to account for construction costs in “as is” condition. When applying this deduction, this analysis indicates a value of \$1,770,000.

We search the market for comparable listings with similar criteria as the comparable sales. Our search resulted in several listings with asking prices higher than recent sale prices. An appropriate value for the subject is less than these comparable listing prices.

We conclude the value of the subject in “as if” condition, via the sales comparison approach, is **\$1,770,000.**

As shown in the Income Capitalization Approach section, the difference in the “as if” and “as is” condition is \$20,000, which is the added value of the subject’s storage building in “as if” condition. This value difference is applied to the “as if” condition to value the subject in “as is” condition. Therefore, the value in “as is” condition is \$1,750,000.

We conclude the value of the subject in “as is” condition, via the sales comparison approach, is **\$1,750,000.**

ADJUSTMENTS TO COMPARABLES							
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)							
	SUBJECT	COMP 1	COMP 2	COMP 3	COMP 4	COMP 5	COMP 6
Size (# of Units)	6	12	7	4	3	8	9
Year Built	1928	1972	1954	1950	1930	1969	1924
Condition	Good	Avg to Good	Avg to Good	Avg to Good	Good	Avg to Good	Average
Quality	Good	Avg to Good	Avg to Good	Average	Good	Avg to Good	Average
Parking (Spaces/Unit)	1.7	1.3	1.1	0.0	0.0	1.4	1.0
AC (Central/Wall)	Central AC	Central AC	Central AC	Central AC	Win-Wall A/C	Central AC	Win-Wall A/C
Occupancy	95%	100%	67%	100%	100%	100%	100%
NOI Per Unit	\$20,301	\$23,118	N/A	\$10,419	\$20,273	\$13,694	\$14,627
Sale Status	N/A	Closed	Closed	Closed	Closed	Closed	Closed
Sale Date	N/A	Mar-25	Dec-24	Oct-24	May-24	Feb-24	Jan-23
Unadjusted Price/SF	N/A	\$386	\$591	\$411	\$412	\$428	\$424
Unadjusted Price/Unit	N/A	\$470,833	\$300,000	\$243,750	\$388,000	\$312,500	\$238,889
<u>Transactional Adjs:</u>							
Market Conditions		SIMILAR	SIMILAR	SIMILAR	SIMILAR	SIMILAR	INFERIOR
Adjustment		0%	0%	0%	0%	0%	5%
Adjusted Price/SF		\$386	\$591	\$411	\$412	\$428	\$445
Adjusted Price/Unit		\$470,833	\$300,000	\$243,750	\$388,000	\$312,500	\$250,833
<u>Property Adjs:</u>							
Location		SIMILAR	SUPERIOR	SIMILAR	SIMILAR	SIMILAR	SIMILAR
Adjustment		0%	-20%	0%	0%	0%	0%
Parking Ratio		SIMILAR	SIMILAR	INFERIOR	INFERIOR	SIMILAR	SIMILAR
Adjustment		0%	0%	5%	5%	0%	0%
Project Size		SIMILAR	SIMILAR	SIMILAR	SMALLER	SIMILAR	SIMILAR
Adjustment		0%	0%	0%	-5%	0%	0%
Year Built/Condition		SIMILAR	SIMILAR	SIMILAR	SIMILAR	SIMILAR	INFERIOR
Adjustment		0%	0%	0%	0%	0%	10%
Quality		SIMILAR	SIMILAR	INFERIOR	SIMILAR	SIMILAR	SIMILAR
Adjustment		0%	0%	5%	0%	0%	0%
Net Adjustment		0%	-20%	10%	0%	0%	10%
Adjusted Price/SF	N/A	\$386	\$472	\$452	\$412	\$428	\$490
Adjusted Price/Unit	N/A	\$470,833	\$240,000	\$268,125	\$388,000	\$312,500	\$275,917
Gross Adjustment	N/A	0%	20%	10%	10%	0%	15%
Average Unit Size	946	1,220	435	594	941	730	564

Value As Vacant Land

The client requested a value for the subject property as vacant land (cleared). The sales comparison approach is a method for estimating the subject's land value by analyzing sales of similar properties. The underlying theory is that a prudent buyer would not buy one property at a price any higher than the cost to acquire a comparable, competitive property. This approach provides a reliable indication of market value when properties are bought and sold regularly.

A search of the local market provided limited sales data, but a search of the broader area provided comparable land sales. The comparables are summarized within the following chart, and an adjustment chart is shown on the following page.

The comparables are analyzed on the basis of the most relevant unit of comparison, which in this case, is price per unit. The unadjusted prices of the comparables range from \$575,000 to \$850,000/unit.

SUMMARY OF LAND COMPARABLES							
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)							
	SUBJECT	COMP 1	COMP 2	COMP 3	COMP 4	COMP 5	COMP 6
ADW Property ID	21837	21545	20606	21544	21543	16864	13907
Property Name	7th Ave Apts	Proposed Townhome Site	Flagler Development Site	Townhome Site	Proposed Duplex Building	Proposed Magnolia Place	Reve Del Mizner
Address	139 & 143 SE 7th Ave	Confidential	3907 S Flagler Drive and 3906 Washington Rd	801 Bond Way	696 Hastings Street	130 SE 1st Avenue	200 E Boca Raton Rd
City	Delray Beach	Delray Beach	West Palm Beach	Delray Beach	Boca Raton	Delray Beach	Boca Raton
<u>Sale:</u>							
Sale Price	N/A	\$6,000,000	\$20,000,000	\$1,900,000	\$1,700,000	\$5,750,000	\$3,400,000
Sale Status	N/A	In-Contract	Closed	Closed	Closed	Closed	Closed
Market Period	N/A	Not listed	Not listed	< 1 month	< 1 month	Extended	Privately
Date of Sale	N/A	N/A	Nov-24	Aug-24	Apr-24	May-23	Nov-22
Price/Unit	N/A	\$666,667	\$740,741	\$633,333	\$850,000	\$575,000	\$680,000
<u>Site:</u>							
Property Type	Land	Land	Land	Land	Land	Land	Land
Site Size Acres	0.33	0.38	0.85	0.31	0.48	0.98	0.39
Site Size SF	14,253	16,397	37,026	13,504	20,909	42,735	17,117
Zoning	RM	CBD	MF-32	RL	R-2	OSSHAD	R1D / DDRI
Surface	Cleared	Old Bldgs	MF Bldgs	Old Duplex	Old Duplexes	Old Bldgs	Cleared
<u>Development:</u>							
Planned Use	N/A	Townhomes	Condos	Townhomes	Duplex	Townhomes	Townhomes
Planned Units	N/A	9	27	3	2	10	5
Approvals	N/A	SPA	None	None	None	None	Yes (seller)
Density	12.0	23.9	31.8	9.7	4.2	10.2	12.7

Adjustments are appropriate and necessary based on differences in elements of comparison. The following elements of comparison are characteristics of properties and sale transactions causing variations in prices. The first five elements of comparison are considered transactional adjustments; each of the transactional adjustments is made prior to making further adjustments. The remaining five elements of comparison are referred to as property adjustments and their total net adjustment is applied at the end.

1. Real property rights conveyed
2. Financing terms
3. Conditions of sale
4. Expenditures immediately after purchase
5. Market conditions
6. Location
7. Physical characteristics
8. Economic characteristics
9. Use
10. Non-realty components of sale

The comparables are adjusted quantitatively. The percentage adjustment indicates the degree of the appropriate adjustment based on our knowledge of the local market, discussion with market participants and reviewing data. A chart on a following page shows comparison of the comparables with the subject, and contains adjustments as explained in the following items and summarized on a following chart.

1. Real Property Rights Conveyed. No differences are noted.

2. Financing Terms. No differences are noted.

3. Conditions of Sale. No differences are noted.

4. Expenditures Immediately After Purchase. No differences are noted.

5. Market Conditions. Market prices and rental rates have been increasing recently, as discussed in the Market section. Comparables 5 and 6 are adjusted upward to account for improving market conditions. However, no upward adjustments are made from 2024 forward due to flattening of prices as a result of interest rate increases.

6. Location. Consideration is given to the following factors: rents, land prices, and neighborhood demographics, such as household income and home prices. Comparables 2, 3, 4, and 6 have inferior locations and are adjusted upward.

7. Physical Characteristics. Differences in prices are evident for several considerations.

Surface / Utilities: Sites that are cleared and ready for vertical development tend to sell for premiums compared to sites which require costs for demolition of old buildings or costs for clearing of trees. Also, sites which have utilities available to the site fetch premiums compared to sites which require costs to extend utilities to the site. The site is assumed cleared for this analysis. Based on these features, a few comparables are adjusted upward.

8. Economic Characteristics. Some differences are noted.

Approvals: Soft costs for project entitlements can be quite costly and buyers tend to allocate value to these approvals. For instance, market participants report spending between 5% and 15% of the price per square foot in securing approvals for development. As the entitlement risk increases, the ratio could be well over this range. Several sales closed after the buyer secured development approvals, thereby reducing entitlement risk. And, premiums are paid for approvals for financially feasible development in this market. Comparable 1 is selling with approvals and is adjusted downward for this superior feature.

9. Use. No differences are noted.

10. Non-realty Components of Sale. No differences are noted.

The comparable sales have adjusted price range of \$552,500 to \$574,000/unit. This range is relatively narrow and provides a good indication of value for the subject. Based on our calculations of 25' wide townhomes, the subject site could be improved with three townhouse units. The corresponding value range for the subject is \$1,658,000 to \$1,722,000, say \$1,700,000.

Utilizing a typical land price to end unit ratio of 20%, this value represents an end unit value around \$2,850,000, which appears reasonable based on recent sale prices in the subject's immediate area.

We conclude the value of the subject property as vacant land, via the sales comparison approach, is **\$1,700,000.**

ADJUSTMENTS TO LAND COMPARABLES							
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)							
	SUBJECT	COMP 1	COMP 2	COMP 3	COMP 4	COMP 5	COMP 6
Property Name	7th Ave Apts	Proposed Townhome Site	Flagler Site	Townhome Site	Proposed Duplex Building	Proposed Magnolia Place	Reve Del Mizner
Surface	Cleared	Old Bldgs	MF Bldgs	Old Duplex	Old Duplexes	Old Bldgs	Cleared
Site Size Acres	0.33	0.38	0.85	0.31	0.48	0.98	0.39
Site Size SF	14,253	16,397	37,026	13,504	20,909	42,735	17,117
Planned Units	6	9	27	3	2	10	5
Approvals	N/A	SPA	None	None	None	None	Yes (seller)
Sale Status	N/A	In-Contract	Closed	Closed	Closed	Closed	Closed
Sale Date	N/A	N/A	Nov-24	Aug-24	Apr-24	May-23	Nov-22
Unadjusted Price/Unit	N/A	\$666,667	\$740,741	\$633,333	\$850,000	\$575,000	\$680,000
<u>Transactional Adjts:</u>							
Market Conditions		SIMILAR	SIMILAR	SIMILAR	SIMILAR	INFERIOR	INFERIOR
Adjustment		0%	0%	0%	0%	5%	10%
Adjusted Price/SF		\$366	\$540	\$141	\$81	\$141	\$218
Adjusted Price/Unit		\$666,667	\$740,741	\$633,333	\$850,000	\$603,750	\$748,000
<u>Property Adjts:</u>							
Location		SIMILAR	SUPERIOR	SUPERIOR	SUPERIOR	SIMILAR	SUPERIOR
Adjustment		0%	-20%	-5%	-30%	0%	-25%
Surface		SUPERIOR	SUPERIOR	SUPERIOR	SUPERIOR	SUPERIOR	SIMILAR
Adjustment		-5%	-5%	-5%	-5%	-5%	0%
Approvals		SUPERIOR	SIMILAR	SIMILAR	SIMILAR	SIMILAR	SIMILAR
Adjustment		-10%	0%	0%	0%	0%	0%
Net Adjustment		-15%	-25%	-10%	-35%	-5%	-25%
Adjusted Price/Unit	N/A	\$566,667	\$555,556	\$570,000	\$552,500	\$573,563	\$561,000
Gross Adjustment	0%	15%	25%	10%	35%	10%	35%
Density	12.0	23.9	31.8	9.7	4.2	10.2	12.7

INCOME CAPITALIZATION APPROACH

In the income capitalization approach, or income approach, the subject's income stream provides a basis for estimating value. Income producing real estate has earning power and is attractive as an investment. The amount an investor will pay represents the present value of anticipated future benefits. Rental rates within this section are stated on a monthly basis unless otherwise indicated.

Income

Rental income is generated from renting the subject's units to multiple tenants on short-term arrangements. Landlords typically pay for water/sewer, trash, and house/common area electric while the tenants are responsible for individual unit electrical service. The subject is currently vacant.

To estimate market rent for the subject, we searched the local market for comparable rentals and the results are displayed in the chart on the following page; maps and photographs are also included. The comparable projects show the following rental rate ranges for similar units. The comparable rental rates have varying degrees of interior updates, project amenities, and unit sizes, all of which have been taken into consideration. All of the comparable rentals are contract rents (actual rents) signed within the past year. MLS and Costar are deemed by the local market as a reliable source for multifamily contract rental rates within the area, as indicated by local property managers as well as local market participants.

Two-bedroom units

The comparable two-bedroom rents range from \$2,650 to \$3,000/month. The rentals around \$2,700 and \$3,000/month have similar unit sizes as the subject. Weight is placed at the upper end of the range since the subject will be newly renovated. Through analysis of comparable rentals, we conclude \$3,000/month is consistent with market rents for the subject's two-bedroom/two-bathroom unit and \$2,900/month is consistent with market rents for the subject's two-bedroom/one-bathroom units.

The subject's resulting potential gross rental income is \$210,000.

We considered a deduction to account for some rent loss during lease-up, but the deduction would be relatively minimal and the amount would be lost in rounding, and a buyer would likely not make a deduction. As a result, we have not applied a deduction for rent loss.

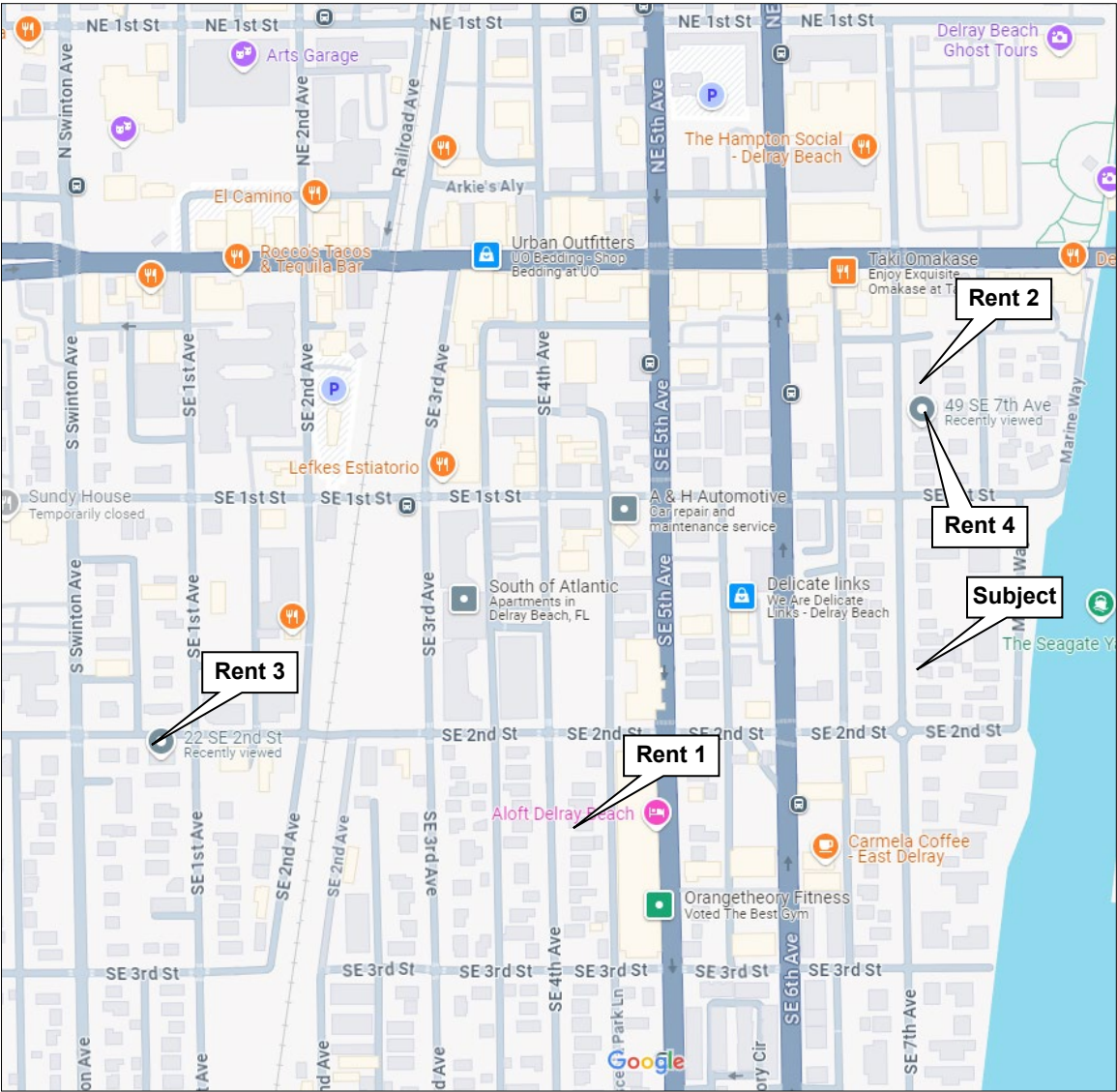
In "as if" condition, the subject has a 120-SF storage building that does not have plumbing or electric, but is useful to tenants as additional storage (such as bike storage). We estimate that this storage building could rent for an additional \$100/month.

In addition to rental income, other income is relevant for fees collected from tenant applications, non-refundable deposits, laundry, late payments, pet fees, etc. Similar apartment communities within the subject's market typically show other income around \$200/unit annually, which appears reasonable for the subject.

We conclude the subject's potential gross income, comprised of potential gross rental income and other income is \$213,000.

COMPARABLE RENTAL RATES			
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)			
PROPERTY	BUILDING		RENTAL RATES
Location Folio Verification	# Units Built Condition	Quality Stories Size	Monthly Rent/Unit: Two-bed
R1 224 SE 4th Ave Delray Beach 12-43-46-16-04-095-0180 <i>Listing broker via MLS, Sarah Brand, 4/25 (25-0447)</i>	2 1973 Avg-Good	Avg-Good One 744 SF	\$2,650 <i>contract rent</i>
R2 45 SE 7th Ave Delray Beach 12-43-46-16-34-000-0200 <i>Listing broker via MLS, Sarah Brand, 4/25 (25-0447)</i>	4 1966 Avg-Good	Avg-Good Two 925 SF	\$2,700 <i>contract rent</i>
R3 22 SE 2nd St Delray Beach 12-43-46-16-01-071-0010 <i>Listing broker via MLS, Sarah Brand, 4/25 (25-0447)</i>	2 1981 Avg-Good	Avg-Good Two 1,120 SF	\$2,800 <i>contract rent</i>
R4 49 SE 7th Ave Delray Beach 12-43-46-16-34-000-0200 <i>Listing broker via MLS, Sarah Brand, 4/25 (25-0447)</i>	4 1966 Avg-Good	Avg-Good Two 900 SF	\$3,000 <i>contract rent</i>
SUBJECT			
7th Ave Apts	6	Good	\$2,900 - \$3,000
139 & 143 SE 7th Ave	1928	Two	Conclusions
Delray Beach	Good		N/A
12-43-46-16-01-126-0180 & 12-43-46-16-01-126-0170			<i>Wtd Avg Contract Rents</i>

MAP OF COMPARABLE RENTALS



PHOTOGRAPHS OF COMPARABLE RENTALS



Rent 1



Rent 2



Rent 3



Rent 4

Vacancy and Collection Loss

The subject was 100% occupied during our inspection. Historically, a typical vacancy and collection loss within the local market has generally been between 2.0% and 8.0%. As discussed in the Market section, vacancy rates are currently at 2.6% within the subject's local market. In addition to vacancy, a landlord experiences collection loss for unpaid rent and from disputes with tenants, typically around 1.0%. The tenants are current with rent. In consideration of both vacancy and collection loss over a typical holding period, we conclude a rate of 5.0% to be reasonable.

Operating Expenses

We were not provided with the subject's historical operating expenses. We have utilized operating expenses from similar properties to estimate operating expenses for the subject; these operating expenses and our conclusions are shown within the chart on a following page as well as discussed in the following bullets. Operating expenses are subdivided into fixed and variable expenses.

Several of our operating expense conclusions are rounded on a total and/or on per unit basis as shown within the summary chart on a following page; any differences in our conclusions due to rounding are considered insignificant.

Fixed Expenses:

- Real Estate Taxes: The subject's current taxes are \$9,653/unit after a 4% discount for early payment. Inherent in the definition of market value is the consummation of a sale. The tax burden may change after a sale. Upon a sale, Palm Beach County has been actively adjusting tax assessments at 80% to 90% of sale prices. The subject's 2024 tax assessment is higher than the market value conclusion within this report. It is speculative to assume a decrease in taxes. Therefore, we are utilizing the current taxes.
- Insurance: Insurance premiums have significantly increased during the past couple of years. Based on comparable properties, we conclude \$1,000/unit is reasonable.

Variable Expenses:

- Utilities & Trash: The landlord is responsible for house/common area electric, water/sewer, and trash. Based on the comparable properties, we conclude \$750/unit is reasonable.
- Repairs and Maintenance: Based on the comparable properties, we conclude \$650/unit is reasonable for this line item.
- General & Administrative: A nominal amount is appropriate for this line item. We conclude \$50/unit appears reasonable.
- Management: Management fees for multifamily projects similar to the subject's size typically range between 2% and 5% of effective gross income; we have utilized 3% for the subject.
- Marketing: A nominal amount is appropriate for this line item. We have applied \$50/unit.
- Reserves: During a typical investment period, an owner would expect to replace and/or repair roofs, walkways/sidewalks, parking lots, appliances, floor covering, painting walls, etc; we conclude \$250/unit is reasonable.

Our conclusion for operating expenses is \$13,424/unit.

The expense comparables have operating expense ratios (OERs) of 38% to 65%. Additionally, market participants report OERs, within the subject's local market, typically range between 40% and 50%. Our operating expense conclusions result in an OER of 40% which is supported by the operating expense comparables as well as consistent with typical OERs reported by market participants.

COMPARABLE OPERATING EXPENSES (PER UNIT)							
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)							
	Subject	COMP 1	COMP 2	COMP 3	COMP 4	COMP 5	COMP 6
Property Type	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily	Multifamily
City	Delray Beach	Boynton	North Miami	Lake Worth	Ft Lauderdale	Miami Beach	Lake Worth
Building SF	5,674	4,480	9,968	10,464	3,688	6,706	9,320
Number of Units	6	6	12	13	6	10	15
Avg Unit Size (SF)	946	747	831	805	615	671	666
Year Built	1928	1970	1967	1971	1957	1958	1974
12 Months Ending	Apr-25	Dec-25	Dec-25	Dec-24	Dec-23	Dec-23	Jun-23
Source	Conclusions	Proforma	Proforma	Actual	Actual	Actual	Actual
Operating Expenses:							
<u>Fixed Expenses:</u>							
Real Estate Taxes	\$9,653	\$3,002	\$2,664	\$2,237	\$2,203	\$4,172	\$3,709
Property Insurance	\$1,000	\$1,750	\$1,083	\$638	\$1,053	\$3,000	\$2,000
<u>Variable Expenses:</u>							
Utilities & Trash	\$750	\$891	\$1,335	\$323	\$4,312	\$932	\$971
Repairs & Maint.	\$650	\$700	\$1,150	\$1,895	\$3,845	\$83	\$657
General & Admin.	\$50	\$75	\$417	\$32	\$719	\$25	\$75
Management	\$1,012	\$1,023	\$1,486	\$1,785	\$3,499	\$0	\$1,099
Marketing	\$50	\$0	\$0	\$0	\$92	\$0	\$0
Capital Reserves	<u>\$250</u>	<u>\$250</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$250</u>
Total Expenses	\$13,415	\$7,691	\$8,136	\$6,911	\$15,722	\$8,212	\$8,761
OER:	40%	38%	40%	39%	65%	N/A	40%

Capitalization

The two methods for capitalizing net operating income for estimating value are direct capitalization and yield capitalization. Direct capitalization is appropriate for a project with a relatively stable income stream, and yield capitalization is appropriate for a project with a fluctuating income stream. In this analysis, direct capitalization will be utilized for estimating value of the subject, since this is how a most probable purchaser would analyze the property.

This method converts a stabilized net income stream into value. The net operating income is divided by an appropriate overall capitalization rate. For estimating an appropriate capitalization rate for the subject property, two common methods are derivation from comparable sales and from a band of investment. Additionally, we reviewed market reports to estimate an appropriate overall rate.

The following chart lists overall capitalization rates from several recent multifamily transactions within South Florida. These sales provide a range of 4.27% to 6.80% with an average of 5.22%. Some of the OARs are reconstructed since some owners within the local market do not apply a deduction for vacancy and collection loss and exclude several operating expenses.

OVERALL CAPITALIZATION RATES						
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)						
Sale Date	City	Type	# Units	\$/Unit	OAR	Comments
		Size (SF)	Occ. %	NOI/Unit		
Oct-24	Riviera Beach	Multifamily	6	\$195,833	6.80%	In-place income and expenses per broker
		2,813	83.0%	\$13,312		
Oct-24	West Palm Beach	Multifamily	4	\$243,750	4.27%	OAR based on pro forma income; appraiser applied 5% V&CL and 45% OER
		2,375	100.0%	\$10,419		
Aug-24	Lake Worth Beach	Multifamily	4	\$193,750	5.11%	OAR based on in-place income; appraiser applied 5% V&CL and 40% OER
		2,600	100.0%	\$9,892		
Jul-24	West Palm Beach	Multifamily	6	\$258,333	4.61%	Proforma income and expenses, 5% V&CL and 45% OER
		3,072	100.0%	\$11,913		
May-24	Boynton Beach	Multifamily	8	\$243,750	5.19%	OAR based on estimated rents, 5% V&CL, and 40% OER
		5,400	100.0%	\$12,654		
May-24	Lake Worth Beach	Multifamily	9	\$200,000	4.81%	OAR low since rents were below market
		4,675	100.0%	\$9,614		
May-24	West Palm Beach	Multifamily	3	\$388,000	5.22%	OAR based on pro forma income; appraiser applied 5% V&CL and 45% OER
		2,822	100.0%	\$20,273		
Apr-24	Riviera Beach	Multifamily	6	\$191,667	5.74%	Pro forma income and expenses
		2,624	83.0%	\$11,004		
Apr-24	Lake Worth	Multifamily	9	\$258,889	5.19%	OAR based on pro forma income and 5% V&CL; appraiser applied 45% OER
		7,251	100.0%	\$13,446		
Subject	Delray Beach	Multifamily	6	N/A	5.25%	Conclusions
		5,674	95.0%	\$20,301		

The following discussion applies to the appropriate rate for the subject in light of the comparables:

- The OAR comparables are generally located in similar to inferior locations in the South Florida region. This places downward pressure on the overall rate.
- The comparables include mostly in-place income (with market rents). Pro forma income is usually higher than in-place income and corresponding OARs for pro forma income are higher. Our estimate is based on pro forma income, which places slight upward pressure on the appropriate rate for the subject.
- All of the capitalization rates are for properties with relatively older improvements. The subject is a relatively older apartment project and older projects are typically associated with higher capitalization rates. The subject's proposed updated have been taken into consideration. This places downward pressure on the appropriate rate for the subject.

Overall rates have been affected because of the recent pandemic. Associated government restrictions and responses to the pandemic may have led to significant increases to the inflation rate in recent years. The subsequent response by the Central Bank was to increase the federal fund rate. Curbing high inflation appears to have been realized as of most recently and the Central Bank has been cutting rates and hints of future cuts. These developments have been discussed with market participants and have been incorporated in our selection of an appropriate OAR at this time.

We also interviewed confidential local market participants regarding an appropriate rate for the subject. Some buyers may not make all of the deductions for operating expenses that we have made, which places downward pressure on the overall rate. With consideration of these comparable sales as well as the factors described herein, we conclude an overall rate range similar to the mean, say 5.25%, is reasonable for the subject.

The band of investment technique is based on the premise that properties are purchased with debt and equity capital and the overall capitalization rate must satisfy the market return requirements of both investment positions. In this methodology, separate capitalization rates for the debt and equity components are summed to calculate a single overall capitalization rate for the property.

Reasonable loan rate and terms for the subject are 6.50% interest rate, 30-year amortization, and 75.00% LTV; the corresponding mortgage constant is 0.076. For the equity component, limited data were available. RealtyRates.com (1st Quarter 2025) reports equity dividend rates currently range from 4.66% to 12.22% with an average of 8.06%. Based on the subject's high-demand South Florida location, we conclude a rate at the low end of the range, say 5.00%, is a reasonable equity rate for the subject. The result is a capitalization rate of 6.90%. This analysis of the band of investment technique is shown within the chart on the following page.

BAND OF INVESTMENT	
Mortgage Component =	$M \times R_m$
Equity Component =	$(1 - M) \times R_e$
OAR (R_o) =	Mortgage Component + Equity Component
Mortgage Component =	$0.75000 \times 0.07585 = 0.05689$
Equity Component =	$(1 - 0.75000) \times 0.05000 = 0.01250$
OAR =	$0.05689 + 0.01250$
OAR =	0.06939
OAR Rounded to:	= 6.90%

This rate does not incorporate all effects of future adjustments in interest rates, downward adjustments for equity build-up, nor downward adjustments for property value appreciation. Market data is not readily available to precisely estimate such factors.

The overall capitalization rate range by derivation from comparable sales and from a band of investment is 5.25% to 6.90%. Compared to the nation, the South Florida market has a high number of cash buyers. And, local market participants generally anticipate that prices and rents in South Florida will outpace inflation, and therefore put more weight on the inflated property reversion rather than the returns on the life of the investment. As a result, less weight is placed on the band of investment technique and more weight is placed on the comparable OARs. Therefore, we conclude 5.25% is a reasonable rate to apply to the subject's net operating income.

Conclusions

We have shown the income capitalization approach summary chart on the following page; as shown within the chart, the subject's corresponding value range through the income capitalization approach is \$1,770,000 after deductions for construction costs. We conclude the value of the subject in "as if" condition, via the income capitalization approach, is **\$1,770,000.**

To estimate the value of the subject in "as is" condition, the additional income from the storage building is not included. This is shown on a following chart. We conclude the value of the subject in "as is" condition, via the income capitalization approach, is **\$1,750,000.**

As a check of reasonableness, we analyzed our conclusion for the subject utilizing a potential gross income multiplier (PGIM). The sales provide a PGIM range of 10.0 to 13.2 with an average of 11.7. When dividing our conclusion for the subject's potential gross income into the above value conclusion, the corresponding PGIM ("as is" condition) is 8.3 (\$1,750,000 / \$211,800). When using the value upon completion ("as is" condition), the PGIM is 10.9, which appears reasonable. This indicated PGIM for the subject falls within the range provided by the comparable properties and provides further support of our value conclusion.

DIRECT CAPITALIZATION SUMMARY - "As If"		
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645A)		
	Totals	Per Unit
Rental Income		
2 Bed 1 Bath (5 Units at \$2,900/Mo.)	\$174,000	
2 Bed 2 Bath (1 Units at \$3,000/Mo.)	\$36,000	
Storage (1 Unit at \$100/Mo.)	\$1,200	
Total Number of Units: 6		
Potential Gross Rental Income	\$211,200	\$35,200
Other Income	\$1,800	\$300
Potential Gross Income	\$213,000	\$35,500
Less Vacancy & Collection Loss (5.0%)	(\$10,650)	(\$1,775)
Effective Gross Income	\$202,350	\$33,725
Less Operating Expenses		
<u>Fixed Expenses:</u>		
Real Estate Taxes	\$57,921	\$9,653
Property Insurance	\$6,000	\$1,000
<u>Variable Expenses:</u>		
Utilities & Trash	\$4,500	\$750
Repairs & Maint.	\$3,900	\$650
General & Admin.	\$350	\$50
Management @ 3%	\$6,071	\$1,012
Marketing	\$300	\$50
Capital Reserves	\$1,500	\$250
Total Expenses	(\$80,541)	(\$13,424)
Net Operating Income	\$121,809	\$20,301
CAPITALIZATION		
Net Operating Income	\$121,809	
Overall Rate	5.25%	
Capitalized Value Indication	\$2,320,169	
Less Adjustments		
Construction Costs	(\$550,000)	
Adjusted Value Indication	\$1,770,169	
Value Conclusion	\$1,770,000	

DIRECT CAPITALIZATION SUMMARY - "As Is"		
7th Ave Apts, 139 & 143 SE 7th Ave, Delray Beach, Florida (25-0645)		
	Totals	Per Unit
Rental Income		
2 Bed 1 Bath (5 Units at \$2,900/Mo.)	\$174,000	
2 Bed 2 Bath (1 Units at \$3,000/Mo.)	\$36,000	
Total Number of Units: 6		
Potential Gross Rental Income	\$210,000	\$35,000
Other Income	\$1,800	\$300
Potential Gross Income	\$211,800	\$35,300
Less Vacancy & Collection Loss (5.0%)	(\$10,590)	(\$1,765)
Effective Gross Income	\$201,210	\$33,535
Less Operating Expenses		
<u>Fixed Expenses:</u>		
Real Estate Taxes	\$57,921	\$9,653
Property Insurance	\$6,000	\$1,000
<u>Variable Expenses:</u>		
Utilities & Trash	\$4,500	\$750
Repairs & Maint.	\$3,900	\$650
General & Admin.	\$350	\$50
Management @ 3%	\$6,071	\$1,012
Marketing	\$300	\$50
Capital Reserves	\$1,500	\$250
Total Expenses	(\$80,541)	(\$13,424)
Net Operating Income	\$120,669	\$20,111
CAPITALIZATION		
Net Operating Income	\$120,669	
Overall Rate	5.25%	
Capitalized Value Indication	\$2,298,454	
Less Adjustments		
Construction Costs	(\$550,000)	
Adjusted Value Indication	\$1,748,454	
Value Conclusion	\$1,750,000	

RECONCILIATION AND FINAL VALUE CONCLUSIONS

The approaches provided the following value estimations for the subject property.

VALUE INDICATIONS			
Analysis	Indication	\$/SF	\$/Unit
<u>"As is" Condition</u>			
Cost	N/A	N/A	N/A
Sales Comparison	\$1,750,000	\$308	\$291,667
Income Capitalization	<u>\$1,750,000</u>	<u>\$308</u>	<u>\$291,667</u>
Market Value	\$1,750,000	\$308	\$291,667
<u>"As If" Condition</u>			
Cost	N/A	N/A	N/A
Sales Comparison	\$1,770,000	\$312	\$295,000
Income Capitalization	<u>\$1,770,000</u>	<u>\$312</u>	<u>\$295,000</u>
Market Value	\$1,770,000	\$312	\$295,000
Land Value	\$1,700,000	N/A	N/A

The quality of market data in these approaches is good, and the methods of analysis are appropriate and reasonable. The sales comparison approach includes sale prices above and below the subject's value on a per unit basis as well as above and below the subject's value on an absolute basis. The sales data are good and the value is well supported. The income approach is based on well-supported rents, expenses and rates.

The sales comparison approach and the income capitalization approach provide the same value. An investor is the most probable purchaser and primary weight is given to the income capitalization approach.

The subject last sold in March 2022 for \$2,680,000. At that time, the property exterior was in superior condition, but the interior was similar to the current interior condition. The buyer appears to have overpaid. The property owner has had difficulties obtaining approvals during the renovation process due to the building preservation guidelines in the subject's historic district.

The difference between the "as if" and "as is" conditions is \$20,000. Therefore, the contributory value of the storage building is \$20,000.

After careful and thorough investigation and analysis, we estimate market value for the fee simple interest in the subject real property in its "as if" condition, subject to assumptions and contingent and limiting conditions as well as any extraordinary assumptions and hypothetical conditions, as explained in this report, as of April 7, 2025, is:

**ONE MILLION SEVEN HUNDRED SEVENTY THOUSAND DOLLARS
(\$1,770,000)**

After careful and thorough investigation and analysis, we estimate market value for the fee simple interest in the subject real property in its "as is" condition, subject to assumptions and contingent and limiting conditions as well as any extraordinary assumptions and hypothetical conditions, as explained in this report, as of April 7, 2025, is:

**ONE MILLION SEVEN HUNDRED FIFTY THOUSAND DOLLARS
(\$1,750,000)**

We estimate market value of the land (as cleared) for the subject real property as of April 7, 2025, is **\$1,700,000.**

NORMAL MARKETING PERIOD AND REASONABLE EXPOSURE TIME

Normal marketing period is the most probable amount of time necessary to expose a property, in its entirety, to the open market in order to achieve a sale. Implicit in this definition are the following characteristics.

1. The property will be actively exposed and aggressively marketed to potential purchasers through marketing channels commonly used by sellers of similar type properties.
2. The property will be offered at a price reflecting the most probable markup over market value used by sellers of similar type properties.
3. A sale will be consummated under the terms and conditions of the definition of market value.

The Market section has a chart showing median DOMs for multifamily sales in South Florida have been five months or less during the past several years. Marketing times for most of the comparable sales in the Sales Comparison Approach section were less than 12 months; the marketing periods for the remaining sales were not available. Most current listings with marketing periods exceeding 12 months have listing prices much higher than market prices. Market participants report strong demand for apartment properties and report marketing periods are currently between one and six months for similar multifamily properties. We conclude a reasonable marketing time for sale of the subject property in its “as is” condition and at a price similar to the estimate of market value is 12 months or less.

Exposure time is the amount of time likely to have been experienced for sale of the subject property on the valuation date. We estimate a reasonable exposure time is 12 months or less based on the same market data.

PART 3: ADDENDUM

CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this report, and I have no personal interest with respect to the parties involved.
- I have no bias with respect to any property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results, a specific valuation, or the approval of a loan.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
- The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the State of Florida.
- The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- Sarah Brand made a personal, visual inspection of the readily accessible areas of the property that is the subject of this appraisal. Jonathan Whitney did not inspect the subject property, but is very familiar with this area and product type.
- No one provided significant real property appraisal or appraisal consulting assistance to the person signing this certification.
- As of the date of this report, we have completed the continuing education program of the State of Florida.

- As of the date of this report, Jonathan Whitney and Sarah Brand have completed the continuing education program of the Appraisal Institute.
- The undersigned provided services as an appraiser for the client in reports dated April 18, 2025, and May 16, 2025. The undersigned has not provided any other services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period preceding acceptance of this assignment.



Sarah Brand, MAI
State-certified General Real Estate Appraiser RZ3894

August 14, 2025



Jonathan Whitney, MAI
State-certified General Real Estate Appraiser RZ2943

August 14, 2025

CONTINGENT AND LIMITING CONDITIONS

This appraisal is subject to the following contingent and limiting conditions:

1. The legal description and maps are assumed to be correct.
2. No responsibility is assumed for matters which are legal in character, nor is any opinion rendered as to title, which is assumed to be good and marketable. Any existing liens or encumbrances have been disregarded, and the property is appraised as free and clear. This appraisal is made, assuming that all public improvements of any kind affecting the property appraised are fully paid for, unless otherwise specifically set forth in the property description.
3. No survey has been made of the property on behalf of the appraisers and no responsibility is assumed in connection with such matters. The sketches contained in this report are for illustrative purposes only and are included to assist the reader to better visualize the property. The information furnished by others is believed to be reliable and no responsibility is assumed for its accuracy.
4. In this report, the distribution of the total valuation between land and improvements applies only under the existing program of utilization. The separate valuations for land and improvements must not be used in conjunction with any other appraisal and are invalid if so used.
5. Possession of this report, or a copy thereof, does not carry with it the right of publication, nor may it be used for any purpose by any but the recipient without written consent of the appraiser.
6. The contract for appraisal, consultation, or analytical service is fulfilled and total fee is payable upon completion of the report. The appraisers will not be required to give testimony in court or hearing because of having made the appraisal in full or in part, nor engage in post-appraisal consultation with the client or third parties, except under separate and special arrangement and at additional fee.
7. The appraisers may not divulge material contents of the report, analytical findings or conclusions or give a copy of the report to anyone other than the client or his designee as specified in writing, except as may be required by the Appraisal Institute as it may request in confidence for ethics enforcement or by a court of law or body with the power of subpoena.
8. Liability of Aucamp, Dellenback & Whitney is restricted to the client. Aucamp, Dellenback & Whitney has no accountability or liability to any third party.
9. It is assumed there are no hidden or unapparent conditions of the property, subsoil or structures which make it more or less valuable. The appraiser assumes no responsibility for such conditions or engineering which might be required to cover these facts. No topographical survey was provided.

10. No environmental impact study, special market study or analysis, highest and best use analysis or feasibility study has been requested or made unless otherwise specified in an agreement for services or in the report. The appraiser reserves the unlimited right to alter, amend, revise or rescind any of the statements, findings, opinions, values, estimates or conclusions upon any subsequent such study or analysis or previous study or analysis subsequently becoming known to him.
11. The market value estimated and the cost used are as of the date of the estimate of value. All dollar amounts are based on the purchasing power and price of the dollar as of the date of the value estimate.
12. This appraisal expresses our opinion and employment to make this appraisal was in no way contingent upon reporting a predetermined value or conclusion. The fee for this appraisal or study is for the service rendered and not for time spent on the physical report.
13. The value estimated in this appraisal report is gross without consideration given to any encumbrance, restriction, or question of title unless specifically defined. The estimate of value in the appraisal report is not based in whole or in part upon race, color or national origin of the present owners or occupants of properties in the vicinity of the property appraised.
14. Responsible ownership and competent property management are assumed.
15. It is assumed that there is full compliance with all applicable federal, state and local environmental regulations and laws, unless noncompliance is stated, defined and considered in the appraisal report.
16. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless a non-conformity has been stated, defined and considered in the appraisal report.
17. It is assumed that all required licenses, certificates of occupancy and consents or other legislative or administrative authority from any local, state or national government or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
18. It is assumed that the utilization of the land and improvements is within the boundaries of the property lines, that the property described in that there is no encroachment or trespass unless noted in the report.
19. Authentic copies of this report are signed in ink.

20. Unless otherwise stated in this report, the existence of hazardous substances, including without limitation asbestos, polychlorinated biphenyls, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, or other environmental conditions, were not called to the attention of nor did the appraiser become aware of such during the appraiser's inspection. The appraiser has no knowledge of the existence of such materials on or in the property unless otherwise stated. The appraiser, however, is not qualified to test such substances or conditions. If the presence of such substances, such as asbestos, urea formaldehyde foam insulation, or other hazardous substances or environmental conditions may affect the value of the property, the value estimated is predicated on the assumption that there is no such condition on or in the property or in such proximity thereto that it would cause a loss in value. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them.

21. The Americans with Disabilities Act (ADA) became effective January 26, 1992. The appraisers have not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property, together with a detailed analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon value of the property. Since the appraisers have no direct evidence relating to this issue, possible noncompliance with the requirements of ADA in estimating the value of the property has not been considered.

22. The report may contain estimates of prospective value for the subject property. Forecasts and prospective values are based upon current market conditions and trends. Aucamp, Dellenback & Whitney cannot be held responsible for unforeseeable events that alter market conditions prior to the prospective dates.

23. Acceptance and/or use of this appraisal report constitutes acceptance of the preceding conditions.

HYPOTHETICAL CONDITIONS AND EXTRAORDINARY ASSUMPTIONS

Hypothetical Conditions

This appraisal is subject to the following hypothetical conditions:

1. The subject is improved with a 120-SF storage building. (This hypothetical condition only applies to the value in “as if” condition.)

Extraordinary Assumptions

The following extraordinary assumption is important for supporting the value conclusion(s) in this report, and value conclusion(s) may be significantly affected without this extraordinary assumption. This appraisal is subject to the following extraordinary assumptions:

1. The subject will be built-out according to the description and timeline herein

DEFINITIONS

Market Value

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition are the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- *buyer and seller are typically motivated;*
- *both parties are well informed or well advised, and acting in what they consider their own best interests;*
- *a reasonable time is allowed for exposure in the open market;*
- *payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and*
- *the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.*

(Source: Interagency Appraisal and Evaluation Guidelines, Federal Register, Volume 75, No. 237, December 10, 2010)

Bulk Value

The value of multiple units, subdivided plots, or properties in a portfolio as though sold together in a single transaction. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 22)

Market Rent

The most probable rent that a property should bring in a competitive and open market under all conditions requisite to a fair lease transaction, the lessee and lessor each acting prudently and knowledgeably, and assuming the rent is not affected by undue stimulus. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 116)

Prospective Opinion of Value

A value opinion effective as of a specified future date. The term does not define a type of value. Instead, it identifies a value opinion as being effective at some specific future date. An opinion of value as of a prospective date is frequently sought in connection with projects that are proposed, under construction, or under conversion to a new use, or those that have not yet achieved sellout or a stabilized level of long-term occupancy. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 149-150)

Retrospective Value Opinion

A value opinion effective as of a specified historical date. The term retrospective does not define a type of value. Instead, it identifies a value opinion as being effective at some specific prior date. Value as of a historical date is frequently sought in connection with property tax appeals, damage models, lease renegotiation, deficiency judgments, estate tax, and condemnation. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 166)

Value in Use

*The amount determined by discounting the future cash flows (including the ultimate proceeds of disposal) expected to be derived from the use of an asset at an appropriate rate that allows for the risk of the activities concerned. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 201)*

Market Value of the Going Concern

*The market value of an established and operating business including the real property, personal property, financial assets, and the intangible assets of the business. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 119)*

Liquidation Value

The most probable price that a specified interest in real property should bring under the following conditions:

- 1. Consummation of a sale within a short time period.*
- 2. The property is subjected to market conditions prevailing as of the date of valuation.*
- 3. Both the buyer and seller are acting prudently and knowledgeably.*
- 4. The seller is under extreme compulsion to sell.*
- 5. The buyer is typically motivated.*
- 6. Both parties are acting in what they consider to be their best interests.*
- 7. A normal marketing effort is not possible due to the brief exposure time.*
- 8. Payment will be made in cash in U.S. dollars (or the local currency) or in terms of financial arrangements comparable thereto.*
- 9. The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.*

*(Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 109)*

Insurable Value

*A type of value for insurance purposes. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 97)*

Replacement Cost

The estimated cost to construct, at current prices as of a specific date, a substitute for a building or other improvements, using modern materials and current standards, design and layout.

*(Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 163)*

Limited-Market Property

*A property (or property right) that has relatively few potential buyers. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 108)*

Special Purpose Property

*An improved property with a unique physical design, special construction materials, or a layout that particularly adapts its utility to the use for which it was built and may be costly to modify to another use. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 178)*

Fee Simple Estate

*Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 73)*

Leased Fee Interest

*The ownership interest held by the lessor, which includes the right to receive the contract rent specified in the lease plus the reversionary right when the lease expires. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 105)*

Leasehold Interest

*The right held by the lessee to use and occupy real estate for a stated term and under the conditions specified in the lease. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 105)*

Real Property

1. *An interest or interests in real estate.*
2. *The interests, benefits, and rights inherent in the ownership of real estate. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal Seventh Edition*, Chicago, 2022, page 155)*

Personal Property

1. *Tangible or intangible objects that are considered personal, as opposed to real property. Examples of tangible personal property include furniture, vehicles, jewelry, collectibles, machinery and equipment, and computer hardware. Examples of intangible personal property include contracts, patents, licenses, computer software, and intellectual property.*
2. *Any tangible or intangible article that is subject to ownership and classified as real property, including identifiable tangible objects that are considered by the general public as being "personal," such as furnishings, artwork, antiques, gems and jewelry, collectibles, machinery and equipment, and intangible property that is created and stored electronically such as plans for installation art, choreography, emails, or designs for digital tokens (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 142)*

Intended Use

1. *The valuer's intent as to how the report will be used.*
2. *The use(s) of an appraiser's reported appraisal or appraisal review assignment results, as identified by the appraiser based on communication with the client at the time of the assignment. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 97-98)*

Intended User

1. *The party or parties the valuer intends to use the report.*
2. *The client and any other party as identified, by name or type, as users of the appraisal or appraisal review report by the appraiser based on communication with the client at the time of the assignment. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal, Seventh Edition*, Chicago, 2022, page 98)*

Hypothetical Condition

1. *A condition that is presumed to be true when it is known to be false.*
2. *A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results, but is used for the purpose of analysis. Hypothetical conditions are contrary to known facts about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 92)*

Extraordinary Assumption

*An assignment-specific assumption as of the effective date regarding uncertain information used in an analysis which, if found to be false, could alter the appraiser's opinions or conclusions. Uncertain information might include physical, legal, or economic characteristics of the subject property, or conditions external to the property, such as market conditions or trends, or about the integrity of data used in an analysis. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 68)*

Prudent and Competent Management

*An owner, operator, or management company that maintains and uses real estate in a manner consistent with the manner in which typical buyers of similar properties would consider appropriate as measured by actual practices in the competitive market. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 150)*

Arm's Length Transaction

*A transaction between unrelated parties who are each acting in his or her own best interest. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 10)*

Surplus Land

*Land that is not currently needed to support the existing use but cannot be separated from the property and sold off for another use. Surplus land does not have an independent highest and best use and may or may not contribute to the improved parcel. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 186)*

Excess Land

*Land that is not needed to serve or support the existing use. The highest and best use of the excess land may or may not be the same as the highest and best use of the improved parcel. Excess land has the potential to be sold separately and is valued separately. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 66)*

Entrepreneurial Incentive

*The amount an entrepreneur expects or wants to receive as compensation for providing coordination and expertise and assuming the risks associated with the development of a project. Entrepreneurial incentive is the expectation of future reward as opposed to the profit actually earned on the project. (Source: Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Seventh Edition, Chicago, 2022, page 62)*

AREA DESCRIPTION AND ANALYSIS

FLORIDA

Florida is a major U.S. state as seen in population and employment figures. As of 2022, Florida's estimated population was 22,114,754 according to the ESRI. Among the 50 states, Florida is ranked as the third most populous state. Florida is forecasted to have an annual growth rate of 0.61% over the next five years.

The majority of job growth in the next ten years likely will come in the service industry led by new jobs in business services, health care, and government employment. Manufacturing will continue to be a relatively reduced part of the state's economy.

Florida's geography, climate, and location are important reasons for its population and economic growth. Florida's coastline with 1,197 miles along the Atlantic Ocean and Gulf of Mexico is the longest of any state, except Alaska. Temperature variations are mild, and the southern part of the state has a subtropical climate. Florida is strategically located for access to the Caribbean Islands as well as to South and Central America.

SOUTH FLORIDA

South Florida is the tri-county region consisting of Miami-Dade, Broward, and Palm Beach and occasionally consists of other surrounding counties. The metropolitan area stretches from south of Miami to north of West Palm Beach, a distance of about 100 miles, and extends 15 to 20 miles west from the Atlantic Ocean. The three counties are the state's three most populous region with an estimated population of 6,200,000, as of 2022, and comprised almost one-third of the state's population.

The South Florida region experienced explosive growth starting in the 1950s when air-conditioned homes made round year living more comfortable. Moving forward, the tri-county region is forecasted to grow at a much slower pace than the past 70 years. Per ESRI, the average growth rate is projected to be under 1.0% during the next five years. Population growth has largely been migration from northern U.S. states and Canada as well as South American countries and Caribbean Islands.

Economic growth in South Florida is centered on services and retail trade for tourists, seasonal residents, permanent residents and retirees. Real estate construction has been a strong economic contributor over the past 50 years. South Florida is also known as a major export / import center for trade with South America and as an attractive location for some high-tech industries and financial service firms.

Within this region, a primary trend has been northward movement of population from Miami-Dade County into Broward County, and from Broward County into Palm Beach County. This trend accelerated with the dislocation of residents due to Hurricane Andrew in 1992. The movement continues today as residents seek less traffic congestion in comparison to Miami-Dade County.

PALM BEACH COUNTY

Palm Beach County is located along Florida's southeast coast on the Atlantic Ocean to the east and Lake Okeechobee to the west. The county is located about 15 miles north of Fort Lauderdale, 40 miles north of Miami, 175 miles south of Orlando, and 270 miles south of Jacksonville.

Palm Beach County, with approximately 1,974 square miles of land area, is one of the largest counties in the United States and is the third largest of Florida's 67 counties. Elevation changes range from 0-20 feet with the average elevation at 15 feet above sea level. The terrain is generally sandy and flat with some gently sloping coastal ridges.

The county's subtropical climate has an average temperature of 75 degrees Fahrenheit. Winters are mild because of the proximity to the warm Gulf Stream currents of the Atlantic Ocean. Prevailing winds are from the east. Average annual rainfall is 62 inches.

Palm Beach County contains 39 incorporated municipalities mostly located east of Florida's Turnpike. County government, mainly located within West Palm Beach, handles the unincorporated areas. Population growth has put constant pressure on government planning and services.

Land Use Pattern

Palm Beach County has a well-established area of urban development as well as a major nature reserve area and productive agricultural area. The urban corridor stretches along the eastern portion of the county while nature reserve and agricultural areas are located in the middle and western portions of the county.

Several small coastal communities in Palm Beach County were initially developed in the early 1900s. These small cities and towns were separated from each other with agricultural land or vacant land. By about the 1980s, the land was developed and the coastal area become one continuous developed urban / suburban corridor. This corridor now represents continuous development from the municipalities of Boca Raton to Tequesta. Most undeveloped land is located to the west of this eastern urban / suburban corridor. Several eastern coastal downtown areas developed between the 1920s and the 1960s, including Boca Raton, Delray Beach, Boynton Beach, Lake Worth, and West Palm Beach, are now experiencing redevelopment and gentrification.

The nature reserve area consists of a north-south corridor to the west of the urban corridor. This area consists of the large Loxahatchee National Wildlife Refuge in the south and central portion and several other natural areas in the north portion: Dupuis Reserve State Park, J.W. Corbett Wildlife Management Area, West Palm Beach Catchment Area, and Jonathan Dickinson State Park.

The agricultural reserve area in southeast Palm Beach County produces vegetables and ornamental plants while the agricultural area in western Palm Beach County is active in sugarcane production. Belle Glade, Pahokee, and South Bay are the three communities within the western agricultural area.

Population

Per ESRI, the county has an estimated population of 1,521,397 in 2022 representing about 7% of the state's population. Population growth from 2022 to 2027 is projected at 0.34%, which is less than the state's projected growth rate at 0.61%. The county's comparatively lower future growth rate reflects the county's advanced stage of development and diminishing supply of land available for development.

Economy

Palm Beach County has an employment base comprised mostly of several sectors: Trade, Transportation and Utilities; Professional and Business Services; Education and Health Services; and Leisure and Hospitality. These sectors are geared toward the seasonal and retiree segments that have been large part of the county's population.

Per the Palm Beach County Business Development Board, Palm Beach County's labor force consists of over 700,000 people. The county's unemployment rate is similar to that of the State of Florida and the United States, as shown on a chart in the following pages.

Housing

The Palm Beach County Business Development Board indicates Palm Beach County has a total of 700,000 housing units with a homeowner vacancy rate quite low at less than 3.0%. Per ESRI, the median home price in Palm Beach County is much higher than the state median home price.

Services

The county has good medical care facilities consisting of 34 hospitals and 1,992 physician offices. A recent trend in local health care is construction of satellite facilities with outpatient services.

The School District of Palm Beach County is the 10th largest public school district in the United States. The District reports an annual enrollment of 193,000 students and 22,340 employees. Numerous private schools are also available. Overcrowding is present in some areas. Prominent academic colleges in the county consist of Florida Atlantic University in Boca Raton, Palm Beach State College with four branch campuses, Palm Beach Atlantic University in West Palm Beach, and Lynn University in Boca Raton. The county has many vocational, technical, and charter schools.

Public water and sewer utilities are provided throughout the county by either incorporated municipalities, special districts, or by the county. Telephone service is provided by BellSouth and other telecommunication vendors. Standard electric service is generally available from Florida Power and Light. Natural gas is provided by main or delivered as liquefied petroleum gas by Peoples Gas System.

Transportation in Palm Beach County consists of Palm Beach International Airport (PBI), Palm Beach Park Airport, Palm Beach County Glades Airport, North County Airport, Boca Raton Airport, Palm Tran, Port of Palm Beach and Tri-Rail. PBI is conveniently located to serve the air trade area of Palm Beach County and the four surrounding counties. The 600,000 square foot airport accommodates 28 aircraft gates with expansion potential for 24 gates. The airport reports a passenger count of 6.5 million in the recent years, which is an increase year-over-year. The Boca Raton Airport, the Palm Beach Park Airport and the North County Airport are general aviation airports serving private and corporate airplanes.

Palm Tran is a public bus service in Palm Beach County. Palm Tran has been in service since 1971, runs seven days a week serving more than 3,200 bus stops with 150 buses in Palm Beach County. It has a ridership of over 10 million passengers a year.

Tri-Rail is also a means of public transportation in Palm Beach County. Formed in 1987, this light-rail system extends roughly 72 miles and runs parallel to Interstate 95 from West Palm Beach to Miami serving 18 stations. Ridership exceeded 4.2 million passengers in 2016.

Brightline is a recently constructed privately-held high-speed rail service serving Miami, Fort Lauderdale and West Palm Beach. Future expansion involves service to Orlando and other Florida cities.

Port of Palm Beach is one of the busiest container ports in Florida with over 2,500,000 tons of cargo shipped annually. The port also services over 500,000 cruise passengers.

Trends

Palm Beach County has well established urban and agricultural areas. Economic soundness is supported with a higher than average income, expanding employment centers, a wide range of commercial and public services and facilities, and many recreational opportunities. The county is poised for further growth.

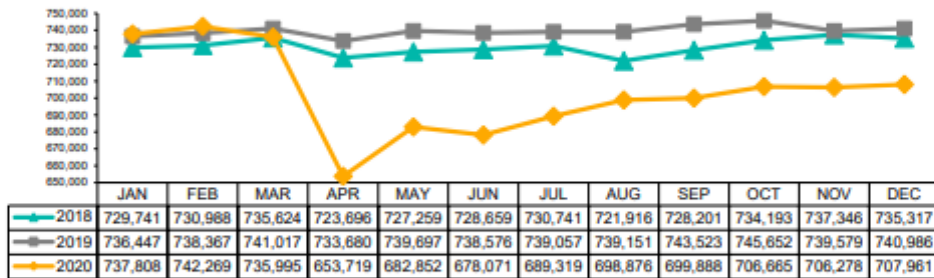
Future trends show modest population growth and a favorable outlook for Palm Beach County's economy. Population trends indicate further migration to the county will continue, and jobs will continue to increase and fuel economic growth in the county.

Problems typically associated with growth will continue to challenge Palm Beach County. The major challenges are schools, transportation and utilities to meet the needs of a growing population.

Palm Beach County Market Indicators

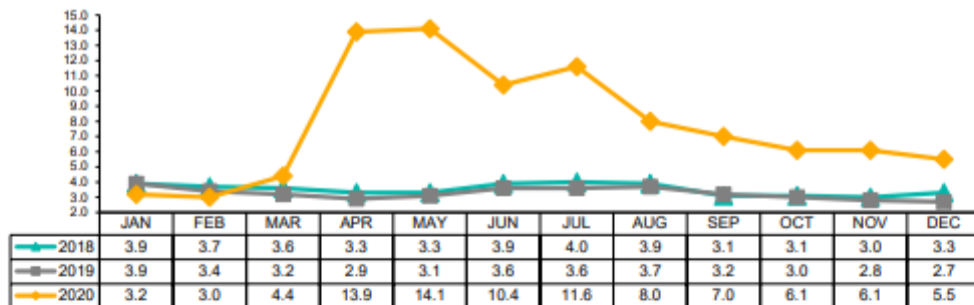


Palm Beach County Labor Force



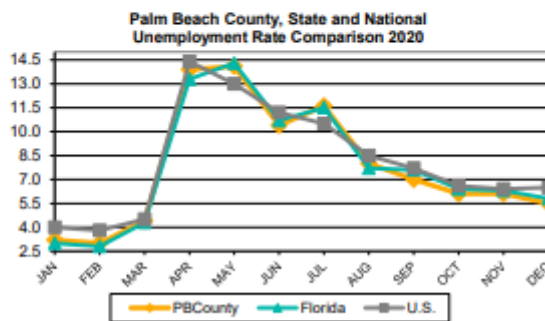
Source: Local Area Unemployment Statistics, Florida Department of Economic Opportunity

Palm Beach County Unemployment Rates



Source: Local Area Unemployment Statistics, Florida Department of Economic Opportunity

2020 County, State & U.S. Unemployment Rate Comparison



2020	PBC	Florida	U.S.
JAN	3.2	3.0	4.0
FEB	3.0	2.8	3.8
MAR	4.4	4.3	4.5
APR	13.9	13.3	14.4
MAY	14.1	14.3	13.0
JUN	10.4	10.7	11.2
JUL	11.6	11.5	10.5
AUG	8.0	7.7	8.5
SEP	7.0	7.6	7.7
OCT	6.1	6.4	6.6
NOV	6.1	6.3	6.4
DEC	5.5	5.8	6.5

Source: Local Area Unemployment Statistics, Florida Department of Economic Opportunity

APPRAISER QUALIFICATIONS AND LICENSE

QUALIFICATIONS OF JONATHAN D. WHITNEY, MAI

State-certified General Real Estate Appraiser, RZ 2943



JONATHAN D. WHITNEY, MAI

Aucamp, Dellenback & Whitney
1900 NW Corporate Blvd, Suite 215E
Boca Raton, FL 33431

jon@adw-appraisers.com
561-609-2884



Professional Experience

Aucamp, Dellenback & Whitney, Boca Raton, FL, 2003 - Present

Real Estate Appraisers & Consultants

- Principal, 2016 - Present
- Commercial Real Estate Appraiser, 2003 - Present

Jonathan Whitney has over 20 years of experience in valuing commercial real estate in the greater South Florida market. He heads the team of eight commercial real estate appraisers for independent Aucamp, Dellenback & Whitney (ADW), and values all major real property types: industrial, office, retail, and multifamily. Valuation assignments also include vacant development sites, residential subdivisions / condominiums, mixed-use buildings, and special-purpose properties. His business partner, David Aucamp, SRA, heads the residential side of their firm with a separate team of seven residential appraisers.

Clients are mostly bank lenders, but also include investors, institutions, property owners, developers, brokers, attorneys, CPAs, municipalities, and associations. Real estate appraisal and consulting assignments involve estimating market value and-or market rent, and providing expert witness testimony. Valuation assignments range between relatively straight forward assignments to multiple-phased projects with complex cash flow considerations.

Education

Master in Arts in Business, University of Florida, 2000

Bachelor of Science in Economics, University of Florida, 1999

Boca Raton Community High School, 1995

Activities and Affiliations

Florida State-certified General Real Estate Appraiser, RZ 2943, 2006 - Present

Florida State-registered Associate Appraiser, RI 11475, 2003 - 2006

Appraisal Institute

- Designated Member (MAI), 2013 - Present
- Board of Directors, South Florida Chapter, 2018 - 2020
- Associate Member, 2004 - 2013

Planning and Zoning Board, City of Boca Raton

- Secretary, 2021 - 2024
- Member, 2019 - 2024

Zoning Board of Adjustment, City of Boca Raton

- Vice Chair, 2017 - 2018
- Member, 2013 - 2018

Urban Land Institute (ULI)

- Associate Member, 2019 - Present

Commercial Real Estate Development Association (NAIOP)

- Member, 2019 - Present

Boca Raton Federation of Homeowners

- Executive Board Member, 2018 - 2019

Boca Raton Chamber of Commerce

- Member (ADW), 1990s - Present
- Leadership Boca, Class of 2016

Boca Raton Downtown Rotary Club

- Member, 2016 - Present
- Fund Board Member, 2020 - Present
- Mayors Ball Honorary Co-Chair, 2022
- Mayors Ball Co-Chair, 2021
- Mayors Ball Committee Member, 2016 - 2020

Spanish River Church and Christian School

- Member, Spanish River Church, 2011 - Present
- School Board Member, Spanish River Christian School, 2022 - Present
- Elder, Spanish River Church, 2017 - 2021

Recent Appraisal Institute Courses (sampling of recent courses)

Appraisal of Medical Office Buildings, 2024
 Forecasting Revenue, 2024
 Business Practice & Ethics, 2024
 ISO Construction & Basic Construction Plan Reading, 2024
 50 Percent FEMA Rule, 2024
 USPAP (Uniform Standards of Professional Appraisal Practice) Update, 2024
 Florida State Law for Real Estate Appraisers, 2024
 Supervisory Appraiser / Trainee Appraiser Course, 2022
 Appraisal of Fast Food Restaurants, 2022
 Business Practice & Ethics, 2018
 Appraising Automobile Dealership, 2018
 Technology Tips for Real Estate Appraisers, 2018
 Advanced Applications, 2009
 Advanced Income Capitalization, 2009
 Advanced Sales Comparison and Cost Approaches, 2008
 Report Writing and Valuation Analysis, 2008
 Office Building Valuation: A Contemporary Perspective, 2007





QUALIFICATIONS OF SARAH BRAND, MAI
State-certified General Real Estate Appraiser, RZ 3894



Sarah Brand, MAI

Aucamp, Dellenback & Whitney
1900 NW Corporate Blvd, Suite 215E
Boca Raton, FL 33431

sarah@adw-appraisers.com
561-998-9326

Professional Experience

Florida State-certified General Real Estate Appraiser, RZ 3894

Work Experience

August 2014 - Present

Staff Appraiser, Aucamp Dellenback & Whitney
Boca Raton, FL
Commercial Appraiser

May 2012 – July 2014

Staff Appraiser, Warfield, Messner & Dodd
Rochester, MN
Commercial Trainee Appraiser

Education

Master of Arts in International Business, University of Florida, 2012

Bachelor of Science in Economics, University of Florida 2011

Appraisal Institute

- Designated Member (MAI), 2024
- Associate Member, 2020 - 2024

Appraisal Courses:

The Uniform Standards of Professional Appraisal Practice (USPAP) Update, 2024

Florida Appraisal Laws and Regulations, 2024

An Appraiser's Guide to Expert Witness, 2024

The Discounted Cash Flow Model: Concepts, Issues, and Apps, 2024

Appraisal of Fast Food Facilities, 2022

Appraisal of Industrial and Flex Buildings, 2022

Complex Properties: The Odd Side of Appraisal, 2022

Business Practices and Ethics, 2020

Neighborhood Market Analysis, 2018


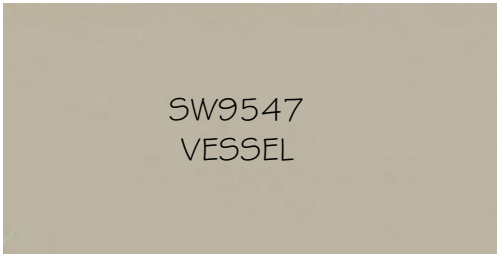
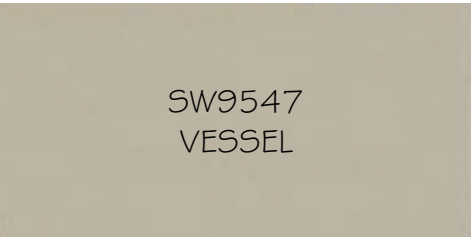
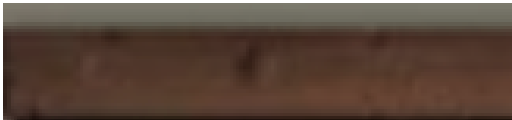




General Appraiser Site Valuation and Cost Approach, 2015

General Appraiser Sales Comparison Approach, 2015

General Appraiser Income Approach, 2015
General Report Writing & Case Studies, 2015
General Appraiser Market Analysis Highest and Best Use, 2015
Statistics, Modeling and Finance 2014
Basic Appraisal Principles, 2013
Basic Appraisal Procedures, 2013



NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS.
ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER

ROOF	WALLS
 <p>ASPHALT SHINGLE ROOF (GRAY)</p>	<p>PTD LIGHT TEXTURED STUCCO</p>  <p>SW9547 VESSEL</p>
FASCIA	TRIM/OTHER
 <p>SW9547 VESSEL</p> <p>PAINTED WOOD FASCIA</p>	<p>PAINTED WOOD TRIM</p> 
WINDOWS	SHUTTERS/AWNINGS
 <p>WHITE FRAMES CLEAR GLASS</p>	<p>N/A</p>
RAILINGS	FENCE
 <p>ALUM. RAILINGS WITH WOOD COLOR/STYLE</p>	 <p>WOOD PRIVACY FENCES</p>
COLUMNS	OTHER
<p>N/A</p>	 <p>60" TALL CHILMARK HAND CRAFTED FOUNTAIN, CONC/ PLASTER</p>



STEVE SIEBERT
ARCHITECTURE

Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

June 11, 2025

City of Delray Beach

100 NW. First Ave.
Delray Beach, FL 33444

**RE: Historic Preservation
139 & 143 SE 7th Garage Report
Delray Beach FL.**

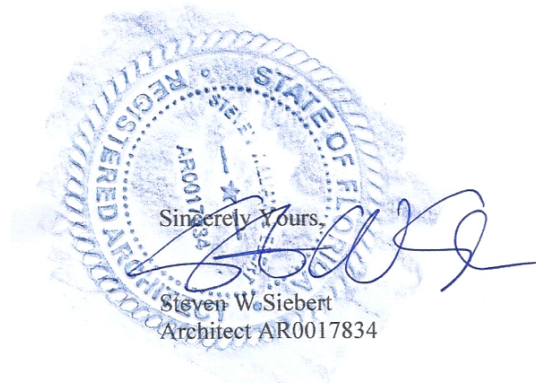
To whom it may concern:

The following report is to confirm the current status and quality of the Single Car garage. Due to the age of the structure, and the fact that the site has been under development for several years even before the current client, the garage has since collapsed. At the time of purchase, we did get a chance to review and see the structure, however, did not get a chance to go inside due to the roof collapsing in on itself. Please see the image below at the time of sale.



The original structure was stacked blocks. However as it was only intended as a storage space for a wagon, the block was only mortared in and not reinforced. Due to the age and the roof falling apart, the main structure eventually collapsed. It was not habitable prior to the collapse due to the condition and damage to the roof structure. As a result, once it fell, it had to be cleaned up due to the safety concerns. It would not have been possible to repair the building after the collapse, it would have needed a full rebuild.

The structure may have been repaired at some point, but since there was no reinforcement and a minimal foundation, it would not have been a proper repair/safe repair. The only way to repair/bring it back, is to rebuild the structure completely. However, it will need to be built according to current codes and reinforced as the stacked block is not enough to keep it collapsing in the future.



Sincerely Yours,
Steven W. Siebert
Architect AR0017834

End-of-Narrative.
Steve Siebert
AR0017834



STEVE SIEBERT
ARCHITECTURE

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ph. 561.880.7894
AR 0017834

June 11, 2025

City of Delray Beach

100 NW. First Ave.
Delray Beach, FL 33444

**RE: Historic Preservation
139 & 143 SE 7th - Demolition
Delray Beach FL.**

To whom it may concern:

The following is a brief narrative of the findings for the requirements of the LDR Sec. 4.5.1(F)(6) for the demolition of the existing Single car garage.

Currently, the garage functions as a storage area only, the original structure was converted from having a carriage door, into a single man door. Therefore, the main functionality was removed. There are no plans to reuse this building as continued storage, as it will not be safe for the new rental units and keeping it as a garage will not allow for car access as this will be dangerous to the units as well. In terms of value to the community and the current homes, removing the storage building will not affect the quality or value of the remaining buildings as it is only used as storage. Since it is storage, the original building was only built from stacked blocks and a simple flat roof, there are no windows or any architectural styles. There are many and frankly better example of preserved detached garages that should be kept in the Marina district, but due to the safety factors, the poor condition and since it has been previously modified, removing it will not be a negative on the site. As this was originally utilitarian, no architectural features were given other than the front entry carriage door, which has long been infilled and replaced with a standard man door.

Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments.
Steve Siebert



STEVE SIEBERT
ARCHITECTURE

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ph. 561.880.7894
AR 0017834

Aug. 8, 2025


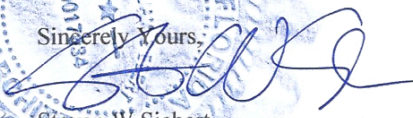
City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th Parking Lot - Delta #6 on site plan.
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the findings for the requirements of the Landscaping per Sec. 4.6.16(H)(3) of the Waiver Standards as listed in the LDR 2.4.11 (B). This waiver applies to the parking area only;

- a) This waiver is to allow for the existing site to stay as-is and not fully meet the Landscaping requirements of 4.6.16(H)(3). As the current site is existing and being requested to remain the same, this will not adversely affect the neighborhood. This parking layout has remained like this for many years.
- b) No public facilities will be diminished. Currently the sidewalk is behind the parking spaces and this will remain with back out parking. Not ideal, but the condition will not be worsened with this request.
- c) As mentioned above, the back out parking is not ideal, but it is a preexisting condition with the existing homes in the way of pushing the parking forward or for allowing a redesign on the parking lot.
- d) No special privilege will be granted with this waiver. We are asking to keep the existing conditions as we cannot meet 4.6.16(H)(3) due to the existing conditions and layout of the parking spaces.


Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments. Steve Siebert



STEVE SIEBERT
ARCHITECTURE

Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

Aug. 28, 2025

City of Delray Beach

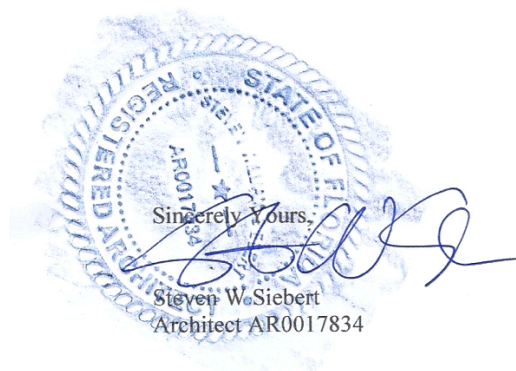
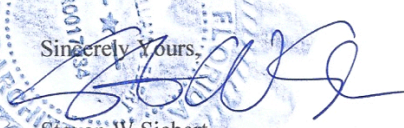
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #1 - Delta #3 on site plan.
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the Internal Adjustment as listed in the LDR 2.4.11 (C)(5);

One Internal Adjustment will be needed. The existing Building #1 front porch is currently 8'-5" from Building #3. This already does not meet the requirements for the separation of buildings. We are requesting to make this 7'-10" in order to add an addition to Building #1. This will result in a smaller internal setback between these buildings as the both buildings are not parallel and the new addition being inline with Building #1 will pinch at 7'-10" if the addition is kept plum with Building #1. This request will not diminish the Historic nature and will allow for a very nice adaptive reuse to make these small units a bit larger with amenities. This granting will also not negatively affect the current separation as it is kept close to the original and existing separation.


Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments
Steve Siebert



STEVE SIEBERT
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Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

AUG. 28, 2025

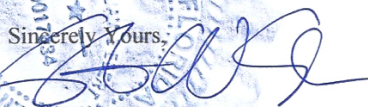
City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #1
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the Relocation Requirements as listed in the LDR 4.5.1 (E)(6);

- a.) The structures to be relocated are only to be lifted, to meet FEMA. They will remain on the site and in the exact same location. They will not be moved. Current finished floor is at +4.46' and this will now go to +9.00' to meet FEMA AE8 requirements.
- b.) 1. Relocation
 - a. The structures are to only be lifted, they will remain on site and in the same location.
 - b. The relocation will not have a negative effect on the structure, but help to save the structure as they are currently below the flood level.
 - c. The relocation will have a positive effect as it will raise the homes to save them from any possible water damage due to flooding and to strengthen the foundations.
 - d. The surrounding will not be effected as they are only being raised.
 - e. Due to the potential flooding, raising them will help save the structures and rebuild the foundations.

Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments
Steve Siebert



STEVE SIEBERT
ARCHITECTURE
Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

Aug. 28, 2025

City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #1 - Delta #2 on site plan.
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the Variance Standards as listed in the LDR 2.4.11 (A)(6);

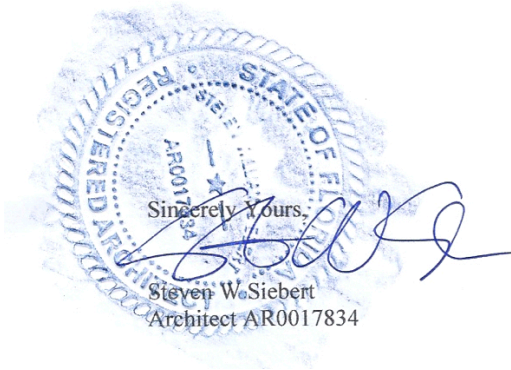
One variance is being requested, this is to build a new addition past the current setbacks to match the existing building wall lines and foot print. Currently, the existing building sits 5'-9" from the property line. We are seeking to match this setback and continue the existing wall for the addition. The new additions setback will remain at 5'-9" rather than the required 15'.

- a) The current home uses the Single Family home setbacks as it was built using these standards. As it was converted to Multi-Family over the years, this now requires 15' setbacks which now go almost halfway into the existing home. This makes a large part non-conforming, and with this granting, we can keep the original setbacks. Keeping the original will not affect the public interest or safety.
- b) As mentioned above, the special condition is that the current home has Single Family setbacks and the required Multi-family setbacks will make about half the home non-conforming. This means it will need to be corrected or no work can be done. To keep the home as is, we are requesting this variance to do the repairs and additions past the 15', but within the original existing setbacks.
- c) The literal interpretation is that we need 15' setbacks for the home and any additions. Items that do not conform will need to be mitigated. As an existing home, this is not possible as we want to preserve the existing house as it is. Same with the repairs and addition, we want to keep the original setbacks and not exceed them so we are inline as if it was still Single Family.

- d) As this is only a request to keep the existing setbacks and not meet the 15' setbacks, granting this will not diminish the character of the property. The request will still keep the existing footprint of the historic home as the new additions will not go beyond what is already there.
- e) This variance is not necessary to accommodate the historic nature, but it is necessary for a current standard of unit sizes to adapt these into rentable units. We would like to increase the floor area for a more comfortable unit, but still keep within the existing footprint.

Sincerely Yours,

Steven W. Siebert
Architect AR0017834



End-of-Comments
Steve Siebert



STEVE SIEBERT
ARCHITECTURE

Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

Aug. 28, 2025

City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #2
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the Relocation Requirements as listed in the LDR 4.5.1 (E)(6);

- a.) The structures to be relocated are only to be lifted, to meet FEMA. They will remain on the site and in the exact same location. They will not be moved. Current finished floor is at +4.69' and this will now go to +9.00' to meet FEMA AE8 requirements.
- b.) 1. Relocation
 - a. The structures are to only be lifted, they will remain on site and in the same location.
 - b. The relocation will not have a negative effect on the structure, but help to save the structure as they are currently below the flood level.
 - c. The relocation will have a positive effect as it will raise the homes to save them from any possible water damage due to flooding and to strengthen the foundations.
 - d. The surrounding will not be effected as they are only being raised.
 - e. Due to the potential flooding, raising them will help save the structures and rebuild the foundations.

Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments
Steve Siebert



STEVE SIEBERT
ARCHITECTURE

Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
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Aug. 28, 2025

City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #2 - Delta #1 on site plan.
Delray Beach FL.

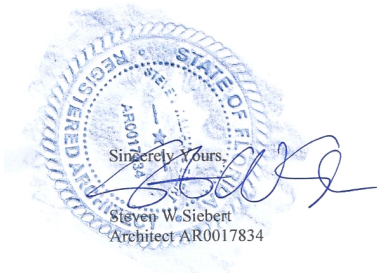
To whom it may concern:

The following is a brief narrative of the Variance Standards as listed in the LDR 2.4.11 (A)(6);

One variance is being requested, this is to provide an addition to the second floor to match the existing footprint and first floor wall which is current at 9'-3" front the North property line. As a Multifamily a 15' setback is required. We are requesting to keep the 9'-3" setback for the second floor addition to align with the ground floor.

- a) As a historic home that was built under single family setbacks, the current requirement of 15' is about half into the existing historic home. This does not allow for any modifications or additions, therefore we need a variance to use the original setbacks and keep the additions and renovations inline with the current footprint. As we will not reduce the setbacks any further, it will not affect the public interest of safety.
- b) This home was built with Single Family setbacks, as it is now a Multi-Family property, the new 15' Multi-Family setbacks will apply. This special condition will not allow for any modifications or work as the new 15' Setback is about half way into the home. If this lot was to remain a Single Family, this issue would not exist as any addition or modification will be legal.
- c) As mentioned above, the literal 15' setback is about halfway into the existing home which makes a large part non-conforming. As we cannot remove or adjust the existing home to meet this condition, a variance is needed to keep the original historic setback lines. This request will not increase the original setbacks.
- d) As this is only a request to keep the existing setbacks and not meet the 15' setbacks, granting this will not diminish the character of the property. The request will still keep the existing footprint of the historic home.

- e) This variance is not necessary to accommodate the historic nature, but it is necessary for a current standard of unit sizes to adapt these into rentable units. We would like to increase the floor area for a more comfortable unit, but still keep within the existing footprint. No new ground floor area is being added as the addition is only on the second floor. The ground floor will stay as-is.



Sincerely Yours,
Steven W. Siebert
Architect AR0017834

End-of-Comments
Steve Siebert



STEVE SIEBERT
ARCHITECTURE

Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

Aug. 28, 2025

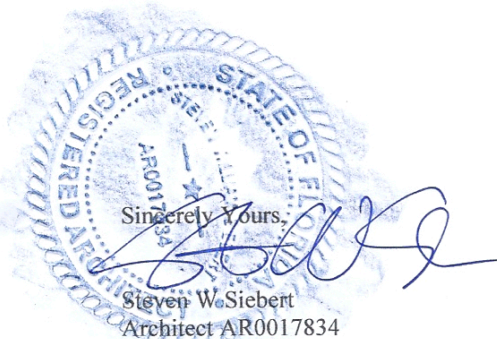
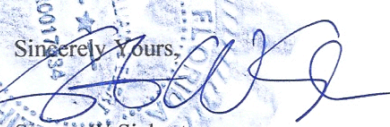
City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444

RE: Historic Preservation
139 & 143 SE 7th BUILDING #2 - Delta #5 on site plan.
Delray Beach FL.

To whom it may concern:

The following is a brief narrative of the Waiver Standards as listed in the LDR 2.4.11 (B); This waiver request is to allow for the second floor addition to Building #2 to be on the West side which is considered the front elevation. It will be built on an existing flat roof and still behind the 1 story portion below.

- a) The addition to the second floor will not have any adverse effects to the surrounding neighborhood as it is a small portion to the home and it mirrors the existing rear addition. The addition conforms to the existing ground floor and not expanding past the existing home. In fact, it will provide for a proper "front" which faces inwards.
- b) The addition is on the second floor, the ground level and public level is not effected of diminished for any future resident on the site or public.
- c) The addition on the second floor will not cause any safety or unsafe features as it conforms to the existing footprint and retains the existing structure.
- d) The ground floor is existing, therefore the addition over this floor will not be a special privilege or provide any special advantages to anyone who can add to their homes on the second floor. The addition may be at the front, but still does not pass the existing home's front and still behind the main front line and no special privilege will be given in this regard.


Sincerely Yours,

Steven W. Siebert
Architect AR0017834

End-of-Comments. Steve Siebert



STEVE SIEBERT
ARCHITECTURE
Steve Siebert Architecture
1010 Gateway Blvd. #103
Boynton Beach, Florida 33426
ph. 561.880.7894
AR 0017834

Aug. 28, 2025

**City of Delray Beach
100 NW. First Ave.
Delray Beach, FL 33444**

**RE: Historic Preservation
139 & 143 SE 7th BUILDING #3 - Delta #4 on the site plan.
Delray Beach FL.**

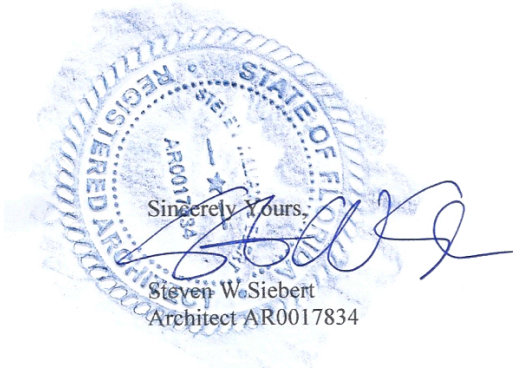
To whom it may concern:

The following is a brief narrative of the Variance Standards as listed in the LDR 2.4.11 (A)(6);

We are requesting to keep the existing Building #3 slab and finished floor at the current finished floor elevation of 5.34' NAVD. Per the current FEMA (AE8), the minimal finished floor is required to be at 9.00 NAVD. This request will maintain the 5.34' elevation.

- a) Current Flood maps require this home to be elevated to +9.00' from the current +5.34' To keep the home where it is, we need to get this variance to keep the original pad and finished floor. As these are now rentals, we need some form of ADA units and this house will allow this if it remained as-is.
- b) The special condition that exists is that the current home was build at grade level, back before the FEMA maps took hold. Therefore, to keep the home where it is and as-is, we need this variance to not raise the home.
- c) The literal interpretation of the code is that this home needs to be about three and a half feet higher than it currently is. As the only home that does not need extensive repair, raising it will be detrimental to the home.
- d) This variance request will help keep the home at the existing height, proportions and location. Granting this variance will not diminish the character, and in fact preserve the character of this home by keeping it as-is.

- e) Not only will this variance request keep the home where it is and untouched, but it will allow for ADA rentable units as raising the other homes leaves no units for ADA accessibility without extensive ramps which take up space and be detrimental to the site.


Sincerely Yours,
Steven W. Siebert
Architect AR0017834

End-of-Comments
Steve Siebert

HISTORIC PLANNING BOARD SUBMISSION:

WANG RESIDENCE

139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

LIST OF DRAWINGS:

CS-1 COVER SHEET
SPI-1 EXISTING SITE PLAN
SPI-2 PROPOSED SITE PLAN
SPI-3 COMPOSITE OVERLAY DEMOLIITON PLAN
A1-1 FLOOR PLANS BLDG 1
A1-2 ELEVATIONS BLDG 1
A1-3 ROOF PLAN
A2-1 FLOOR PLAN(S) BLDG 2
A2-2 ELEVATIONS BLDG 2
A2-3 ROOF PLAN
A3-1 FLOOR PLAN BLDG 3
A3-2 ELEVATIONS BLDG 3
A3-3 ROOF PLAN
A4-1 FLOOR PLAN BUIDLING 4
A4-2 ELEVATIONS BLDG 4 & 3D VIEWS
A4-3 ROOF PLAN
A4-4 GARAGE DEMOLITION PLAN
A5-0 D/W SCHEDULE & HISTORIC STREETSCAPE
A6-0 COLOR PERSPECTIVES / PHOTOMETRIC
L-1 EXISTING LANDSCAPE PLAN
L-2 PROPOSED LANDSCAPE PLAN
L-3 IRRIGATION PLAN
L-4 LANDSCAPE LIGHTING PLAN

WS-1 COVER
WS-2 DEMOLITION PLAN
WS-3 WATER & SEWER PLAN
WS-4 WATER & SEWER DETAILS

PD-1 COVER
PD-2 DEMOLITION PLAN
PD-3 PAVING, GRADING & DRAINAGE PLAN
PD-4 PAVING, GRADING & DRAINAGE DETAILS
PD-5 PAVING, GRADING & DRAINAGE DETAILS

ARCHITECTURAL RENDERING:



GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP.
3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

ABBREVIATIONS:

AT	H.C.	HOLLOE CORE
ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR
ANCHOR BOLT		CONDITIONING
AIR CONDITIONING	INSUL.	INSULATION
ABOVE FINISH FLOOR	INV.	INVERT
ALUMINUM	LAM.	LAMINATED
ALTERNATE	MAT.	MATERIAL
BOARD	M.C.	MECHANICAL CONTRACTOR
BUILDING	M.H.	MAN HOLE
BENCH MARK	MLDG.	MOLDING
BRIDGING OR BEARING	MTL. MET.	METAL
CENTER TO CENTER	MIN.	MINIMUM
CENTER LINE	M.T.	METAL THRESHOLD
CABINET	N.I.C.	NOT IN CONTRACT
CATCH BASIN	NO.	NUMBER
CAST IRON	NOM.	NOMINAL
CERAMIC	O.C.	ON CENTER
CEILING	OPG.	OPENING
CLEAN OUT	O.W.	OPEN WEB
CONCRETE	P.C.	PLUMBING CONTRACTOR
COORDINATE	PL	PLATE
COLUMN	PT.	PRESSURE TREADED
CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH
DETAIL	R.A.	RETURN AIR
DOWN	RM.	ROOM
DECK	REQ'D	REQUIRED
DOWN SPOUT	REIN.	REINFORCING
DRY WALL	S.B.	SPALSH BLOCK
DRAWING	SCH.	SCHEDULE
ELECTRICAL CONTRACTOR	SEC.	SECTION
ELEVATION	S.C.	SOLID CORE
ELECTRICAL	S.S.	STAINLESS STEEL
EXISTING	S.V.B.	STRAIGHT VINYL BASE
EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
FIRE EXTINGUISHER	T.O.	TOP OF
FINISHED FLOOR	T.O.F.	TOP OF FOOTING
FLOOR	T.O.P.	TOP OF PLATE
FULL SIZE	T.O.S.	TOP OF STEEL
FOOT OR FEET	TYP.	TYPICAL
FOOTING	THK.	THICK OR THICKNESS
GENERAL CONTRACTOR	T&G	TOUNGUE AND GROOVE
GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
GLAZED PAINT	V.C.B.	VINYL COVE BASE
GYPSUM	VIF	VERIFY IN FIELD
HOSE BIB	W/	WROUGHT IRON
HEIGHT	W.I.	WOOD
HARDENER	W.D.	WELDED WIRE FABRIC
	W.W.F.	

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8\"/>
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8\"/>
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8\"/>
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER
	ELEVATION MARK
	ROOM NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE
	WINDOW TAG- REFER TO WINDOW SCHEDULE
	WALL DETAIL, REFER TO PARTITION DETAILS
	FIXTURE TAG
	SECTION LETTER
	WALL SECTION
	BUILDING SECTION
	DETAIL

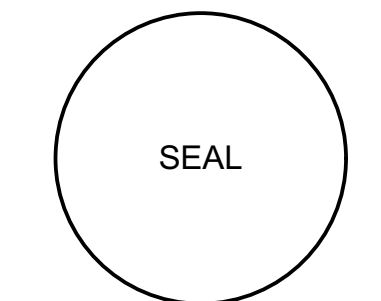
PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF AN ADDITION AND A RENOVATION OF THE INTERIOR & EXTERIOR OF FOUR EXISTING BUILDINGS LOCATED ON THE PROPERTIES AT 139 & 143 SE 7TH AVE.



STEVE SIEBERT
ARCHITECTURE

1010 GATEWAY BLVD.
BOYNTON BEACH, FL 33426
PH. 561.880.7894
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STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

WANG RESIDENCE
139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

C.O.A. DRAWINGS

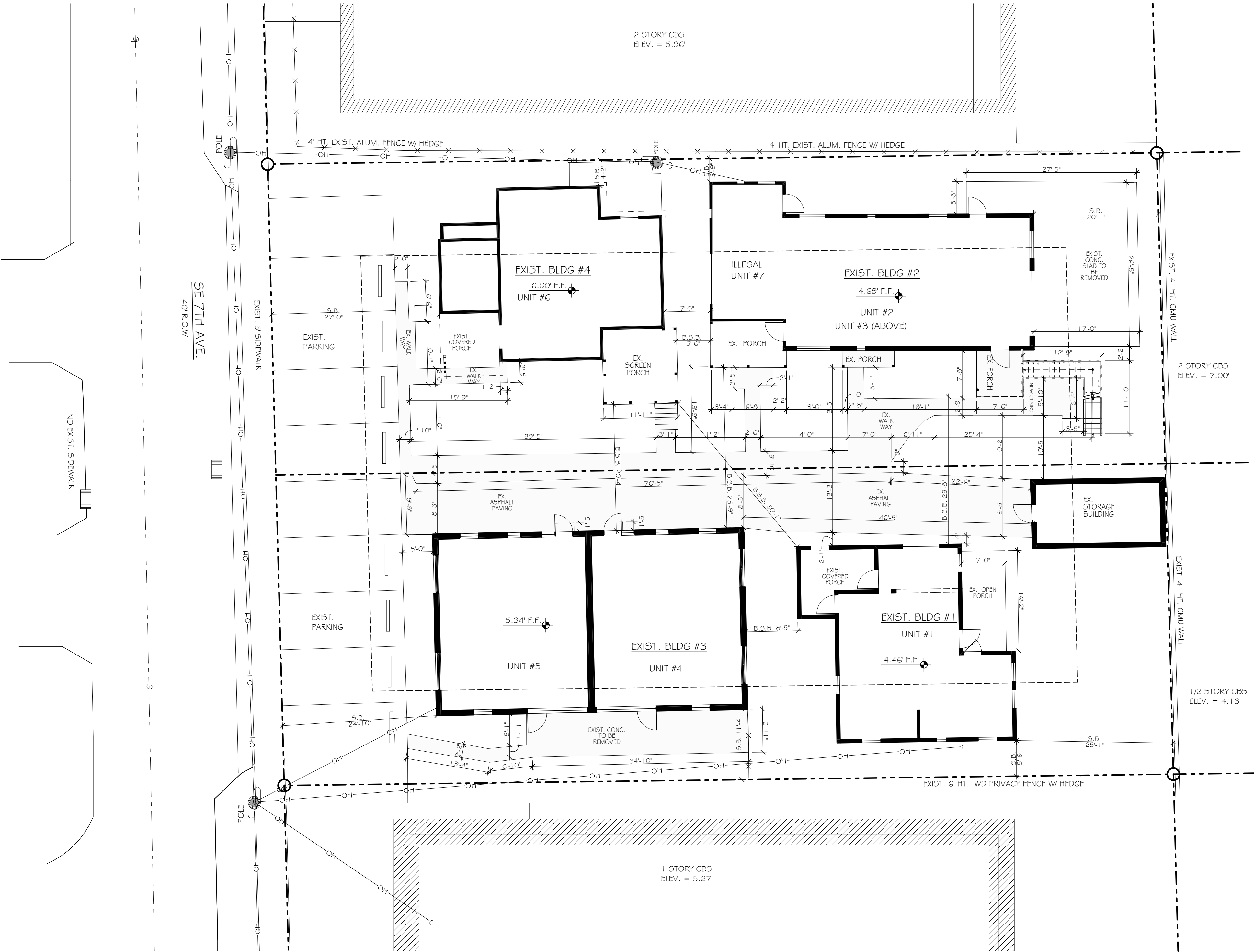
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THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED REPRODUCTION OR ANY OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

COVER SHEET

CS.1

NOTE:
SITE PLAN IS ILLUSTRATIVE # 15 SHOWN FOR
BUILDING LOCATION ONLY.



EXISTING ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

DRAWING ABBREVIATIONS

U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
L.A.E.	LIMITED ACCESS EASEMENT
L.M.E.	LAKE MAINTENANCE EASEMENT
S.B.	SETBACK
B.S.B.	BUILDING SETBACK
PROP. B.S.B.	PROPOSED BUILDING SET BACK
E.O.W.	EDGE OF WATER
L.B.E.	LANDSCAPE BUFFER EASEMENT
R.O.W.	RIGHT OF WAY
CB.	CATCH BASIN

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: 139 143 SE 7TH AVENUE LLC
ADDRESS: 139/143 SE 7TH AVE
DELRAY BEACH, FL 33483
P.C.N.: 12-43-46-16-01-126-0180
12-43-46-16-01-126-0170
LEGAL: DELRAY BEACH LT 18 BLK 126
DELRAY BEACH LT 17 BLK 126

HISTORIC: MARINA HISTORIC DISTRICT

ZONING AND CODE INFORMATION:

ZONING: RM - RM-MULTIPLE FAMILY
CONSTRUCTION TYPE: III-B
CURRENT USE: 0800 - MULTIFAMILY
PROPOSED USE: 0800 - MULTIFAMILY
FLOOD ZONE: AE - ELEV. 8', REFER TO SURVEYORS DWG'S.

FLORIDA BUILDING CODE:
FBC-2020 BUILDING CODE & FBC-2020 7TH EDITION RESIDENTIAL
FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2017 EDITION, NATIONAL ELECTRICAL CODE
FS= FLORIDA STATUTES

SITE/LAND DATA:

	REQUIRED	EXISTING
TOTAL SITE AREA:	.328 AC (14,312 SF)	
MIN. LOT SIZE:	8,000 SF	14,301
MIN. LOT WIDTH:	60'	100'
MIN. LOT DEPTH:	100'	143'
LOT FRONTAGE:	60'	100'
F.A.R.	-	.36
MIN. FLOOR AREA(SF):	(1)	4,060
MAX. LOT COVERAGE(BLDG)	40%	28.4%
MIN. OPEN SPACE:	25%	37.5%
MAX. HEIGHT:	35'	20'-1 1/2" (Bldg. #2)
DENSITY:	6-12 UNITS/ACRE 3 DU PERMITTED	7 DU EXISTING* 3 MAX. DU ALLOWED

* THE 7 UNITS ARE AN EXISTING NON-CONFORMITY.

SETBACKS:

	REQUIRED	EXISTING
FRONT(WEST):	25/30' (6)	24.85'
REAR (EAST):	15/25' (6)	20.06'
SIDE INTERIOR (NORTH):	15/30' (6)	3.7'
SIDE INTERIOR (SOUTH):	15/30' (6)	5.69'
POOL REAR:	10'-0"	NA
POOL SIDE :	10'-0"	NA

PARKING DATA:

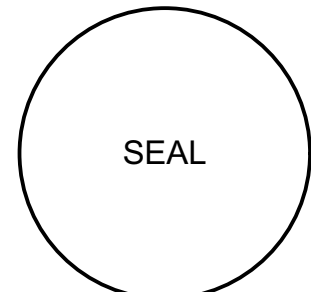
	REQUIRED	EXISTING
BLDG #1(1 x 2) "EXISTING"	2 SPACES	
BLDG #2(2 x 2) "EXISTING"	4 SPACES	
BLDG #3(2 x 2) "EXISTING"	4 SPACES	
BLDG #4(1 x 2) "EXISTING"	2 SPACES	
GUEST PARKING	3 SPACES	
HANDICAP PARKING REQ.	*1 SPACES	
	16 SPACES	10 SPACES

NOTE: THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/CIVIL WORK OR ANY DRAWINGS THAT HAVE BEEN INSERTED INTO THIS SET OR ANY LACK OF. THIS INCLUDES, BUT IS NOT LIMITED TO, THE EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION, ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE ADJUDICATING CITY OR A LICENSED CIVIL ENGINEER.



STEVE SIEBERT ARCHITECTURE

1010 GATEWAY BLVD.
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Steve@stevesiebert.com
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WANG RESIDENCE

139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

C.O.A. DRAWINGS

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
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PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
4 CITY COMMENTS (3.18.25)
5 CITY COMMENTS (5.14.25)
6 CITY COMMENTS (8.8.25)

EXISTING SITE PLAN

SP1.1

RELIEF REQUESTS:

1. VARIANCE - BUILDING #2 NEW ADDITION ON THE SECOND FLOOR THE EXISTING BUILDING AS THE GROUND FLOOR IS INTO THE REQUIRED 15' NORTH PROPERTY LINE REQUIRED SETBACK. CURRENTLY THIS SETBACK FROM THE PROPERTY LINE IS 9'-3". THIS VARIANCE WILL KEEP THE 9'-3" SETBACK FOR THE SECOND FLOOR ADDITION TO ALIGN WITH THE WALL BELOW.

2. VARIANCE - BUILDING #1 NEW GROUND FLOOR ADDITION ONTO THE REQUIRED 15' SETBACK TO MATCH THE EXISTING BUILDING WALL LINE WHICH IS CURRENTLY AT 5'-9" SETBACK FROM THE PROPERTY LINE. THIS VARIANCE WILL KEEP THE 5'-9" SO THE ADDITION ALIGNS WITH THE EXISTING WALL.

3. INTERNAL ADJUSTMENT - BUILDING #1 NEW GROUND FLOOR ADDITION THAT WILL BE CLOSER TO BUILDING #3. 16.3' IS REQUIRED, REQUEST WILL BRING IT DOWN TO 7'-10". CURRENTLY, THE EXISTING PORCH IS AT 8'-5" FROM BUILDING #3 AND THIS ADJUSTMENT IS ASKING TO CHANGE TO A 7'-10" DISTANCE.

4. VARIANCE - BUILDING #3 FINISHED FLOOR WILL REMAIN AT THE SAME LEVEL WHICH IS CURRENTLY AT 5.34' NAVD.

5. WAIVER - BUILDING #2, THE SECOND FLOOR ADDITION IS EXPANDING TO THE BUILDING'S FRONT ELEVATION LINE ON TO AN EXISTING FLAT ROOF. SEE ELEVATIONS FOR BLDG. #2 FOR TAG.

6. WAIVER - PARKING LOT LANDSCAPE ISLANDS, THE EXISTING LOT WILL NOT ALLOW FOR US TO MEET SEC. 4.6.1 G (H)(3) IN REGARDS TO MULTI-FAMILY DEVELOPMENTS. THE SITE WILL NOT ALLOW FOR INTERMEDIATE ISLANDS AND PROPER SIZED LANDSCAPE AREAS ISLANDS.

DEMOLITION REQUESTS:

7. DEMOLITION - FULL DEMOLITION OF THE EXISTING SINGLE CAR GARAGE.

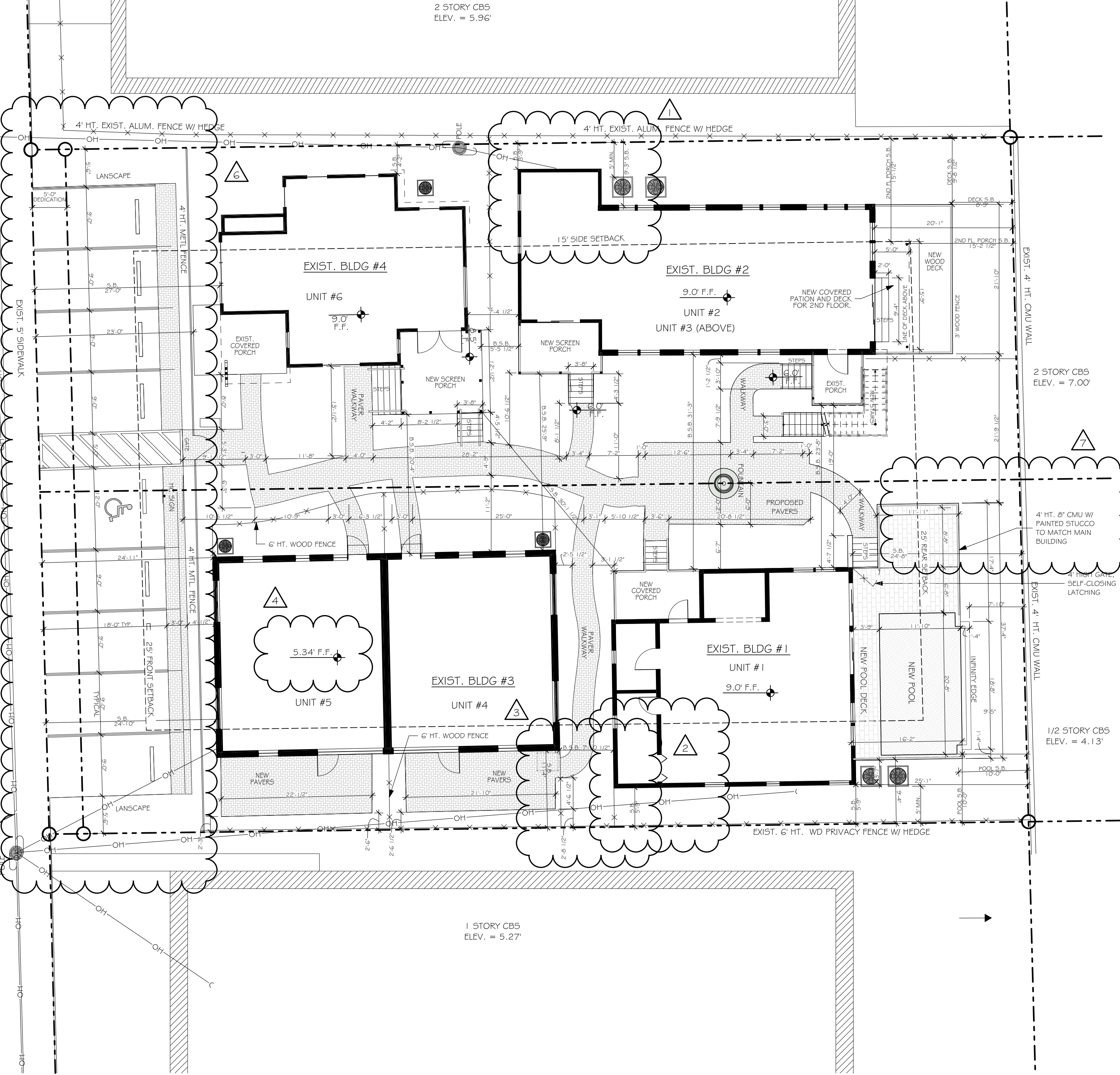


DRAWING ABBREVIATIONS

U.E. UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
L.A.E. LIMITED ACCESS EASEMENT
L.M.E. LAKE MAINTENANCE EASEMENT
S.B. SETBACK
B.S.B. BUILDING SETBACK
PROP. B.S.B. PROPOSED BUILDING SET BACK
E.O.W. EDGE OF WATER
L.B.E. LANDSCAPE BUFFER EASEMENT
R.O.W. RIGHT OF WAY
CB. CATCH BASIN

NOTE: THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/ CIVIL WORK OR ANY DRAWINGS THAT HAVE BEEN INSERTED INTO THIS SET OR ANY LACK OF. THIS INCLUDES, BUT IS NOT LIMITED TO, THE EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION, ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE ADJUDICATING CITY OR A LICENSED CIVIL ENGINEER.

NOTE:
SITE PLAN IS ILLUSTRATIVE & IS SHOWN FOR
BUILDING LOCATION ONLY.



PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

POOL NOTE:
A FENCE IS REQUIRED FOR THE POOL
PER LDR SECTION 4.6.15

BUILDING STYLE DESCRIPTION:
BUILDING 1 & BUILDING 4 IS A MEDITATION STYLE, BUILDING #3 IS
POST MODERN ARCHITECTURE. BUILDING #2 IS FRAME VERNACULAR.

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: 139 143 SE 7TH AVENUE LLC
ADDRESS: 139/143 SE 7TH AVE
DELRAY BEACH, FL 33483
P.C.N.: 12-43-46-16-01-126-0180
12-43-46-16-01-126-0170
LEGAL: DELRAY BEACH LT 18 BLK 126
DELRAY BEACH LT 17 BLK 126
HISTORIC: MARINA HISTORIC DISTRICT

ZONING AND CODE INFORMATION:

ZONING: RM - RM-MULTIPLE FAMILY
CONSTRUCTION TYPE: III-B
CURRENT USE: 0800 - MULTIFAMILY
PROPOSED USE: 0800 - MULTIFAMILY
FLOOD ZONE: AE - ELEV. 8', REFER TO SURVEYORS DWG'S.

FLORIDA BUILDING CODE:
FBC-2020 BUILDING CODE & FBC-2020 7TH EDITION RESIDENTIAL
FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE
F5= FLORIDA STATUES

SITE/LAND DATA:

	REQUIRED	EXISTING	PROPOSED
TOTAL SITE AREA:	.328 AC (14,312 SF)		
DENSITY:	6-12 UNITS/ACRE 1-3 DU ALLOWED	7 DU EXISTING 3 MAX. ALLOWED	6 DU PROPOSED** 18 DU/AC EXISTING.
MIN. LOT SIZE:	8,000 SF	14,301	14,301
MIN. LOT WIDTH:	60'	100'	100'
MIN. LOT DEPTH:	100'	143'	143'
LOT FRONTAGE:	60'	100'	100'
F.A.R.	-	.36	.47
MIN. FLOOR AREA(SF):	(1)	4,060 (COMBINED)	4,606 (COMBINED)
MAX. LOT COVERAGE(BLDG)	40%	28.4%	32.2%
MIN. OPEN SPACE:	25%	37.5%	38.5%
MAX. HEIGHT:	35'	20'-1 1/2" SEE ELEV.	20'-9" (Bldg. #2) SEE ELEV.

** THE 6 UNITS ARE AN EXISTING NON-CONFORMITY. AN ILLEGALLY SPLIT UNIT WILL BE JOINED BACK IN TO A SINGLE UNIT. NO NEW UNITS ARE ADDED.

F.A.R.:

	PROPOSED
BUILDING #1	0.10
BUILDING #2	0.19
BUILDING #3	0.10
BUILDING #4	0.07

SETBACKS:

	REQUIRED	EXISTING	PROPOSED
FRONT(WEST):	25/30' (6)	24.85'	24.85'
REAR (EAST):	15/25' (6)	20.06'	15.1'
SIDE INTERIOR (NORTH):	15/30' (6)	3.7'	3.7'
SIDE INTERIOR (SOUTH):	15/30' (6)	5.69'	5.69'

POOL REAR:	10'-0"	NA	10'-0"
POOL SIDE :	10'-0"	NA	10'-0"

DISTANCE BETWEEN RESIDENTIAL BUILDINGS :

PER SECTION 4.6.2

$D = (LA + LB + 2(HA + HB)) / 6$

BUILDING #3; LA = 29.16', HA = 11.25'

BUILDING #1; LB = 24.58', HB = 10.83'

$D = (29.16 + 24.58 + 2(11.25 + 10.83)) = 97.8 / 6 = 16.3'$
(EXISTING IS 14' PROPOSED IS 7-10')

Required Minimum Horizontal Distance

Effective Length of Building A:

The effective length of Building A is the length of that portion of its wall, or walls, from which perpendicular lines drawn in a horizontal plane will intersect any wall of Building B. Where Building A has a curved or irregular surface, such surface shall be enclosed within an imaginary rectangle having its side nearest to Building B parallel with Building B, and all measurements shall be made from the imaginary rectangle.

LB =

Effective Length of Building B:

The effective length of Building B is the length of that portion of its wall, or walls, from which perpendicular lines drawn in a horizontal plane will intersect any wall of Building A. Where Building B has a curved or irregular surface, such surface shall be enclosed within an imaginary rectangle having its side nearest to Building A parallel with Building A, and all measurements shall be made to the imaginary rectangle.

	PROPOSED:	REQUIRED:	EXIST.:
BUILDING #3 & #4 DISTANCE BETWEEN BUILDINGS	20'-4"	22.25'	20'-4"
BUILDING #1 & #4 DISTANCE BETWEEN BUILDINGS	30'-1"	NA	30'-1"
BUILDING #1 & #2 DISTANCE BETWEEN BUILDINGS	23'-8"	25.9'	23'-8"
BUILDING #2 & #4 DISTANCE BETWEEN BUILDINGS	5'-6"	21'	5'-6"
BUILDING #1 & #3 DISTANCE BETWEEN BUILDINGS	7'-10"	16.3'	8'-5"
BUILDING #2 & #3 DISTANCE BETWEEN BUILDINGS	25'-9"	NA	25'-9"

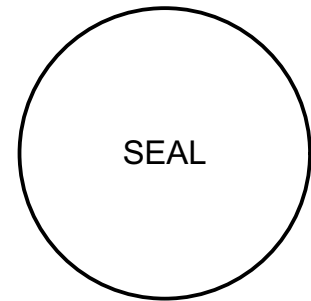
PARKING DATA:	REQUIRED	PROVIDED
BLDG #1(1 x 2) "EXISTING"	2 SPACES	1 SPACES
BLDG #2(2 x 2) "EXISTING"	4 SPACES	2 SPACES
BLDG #3(2 x 2) "EXISTING"	4 SPACES	2 SPACES
BLDG #4(1 x 2) "EXISTING"	2 SPACES	1 SPACES
GUEST PARKING REQ.	2 SPACES	2 SPACES
HANDICAP PARKING REQ.	1 SPACES	1 SPACES
	16 SPACES	09 SPACES

* INCLUDED IN OVERALL PARKING SPACE COUNT
NO NEW BEDROOMS WERE ADDED TO EXISTING FLOOR PLAN LAYOUT - TYPICAL



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DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:

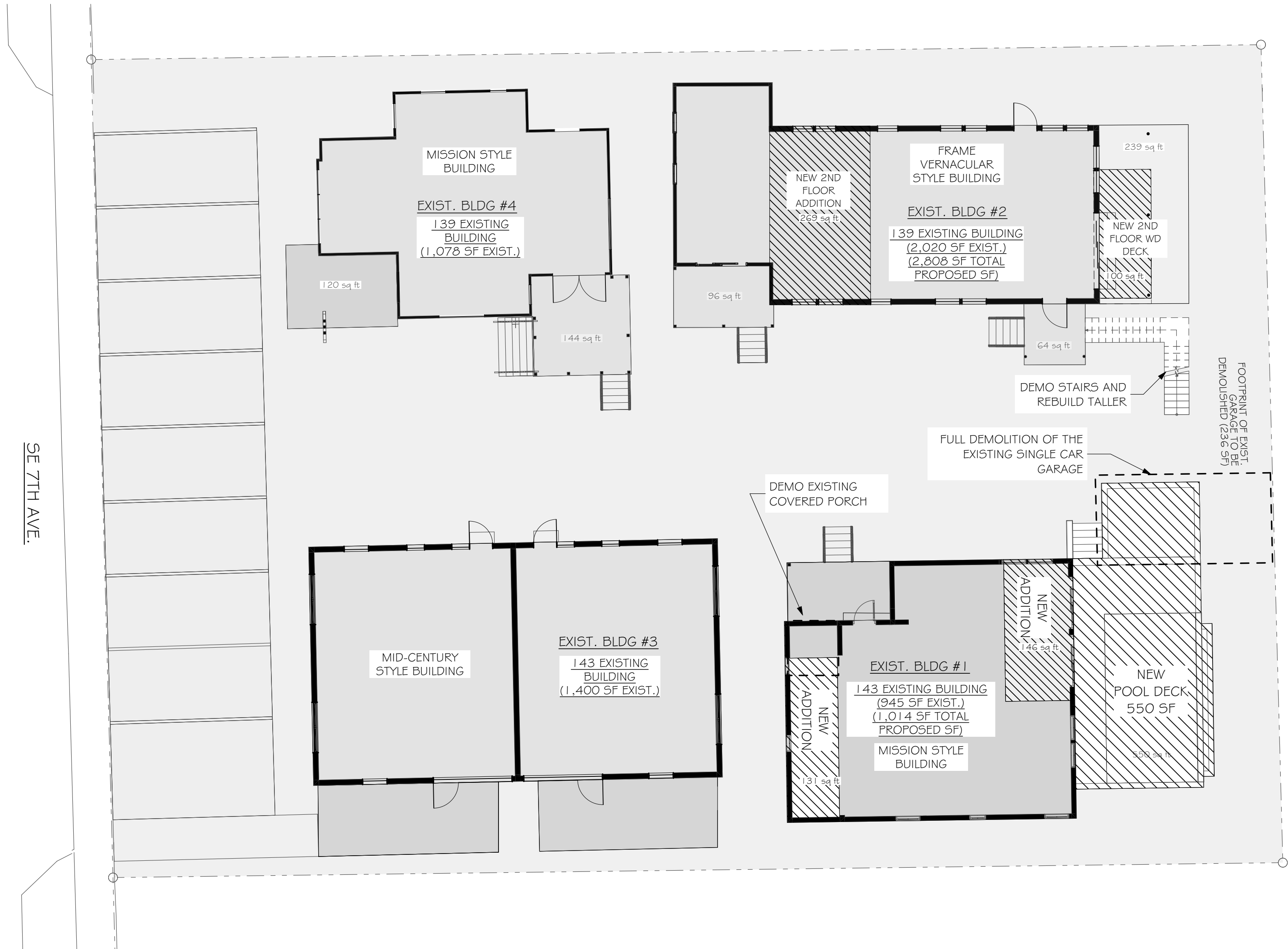
4 CITY COMMENTS (3, 18, 25)

5 CITY COMMENTS (5, 14, 25)

6 CITY COMMENTS (8, 8, 25)

PROPOSED SITE PLAN

SP1.2



OVERLAY PLAN

SCALE: 1" = 10'

BUILDING DATA:

(UC) = OPEN, UNDER COVER
(UA) = ENCLOSED, UNDER AIR

EXISTING:	EXISTING			
BUILDING 1; UNIT #1 (UA) FRONT PORCH (UC) REAR PORCH (UC) TOTAL SF	690 SF 119 SF 136 SF 945 SF			
BUILDING 2; UNIT #2A (UA) UNIT #2A (UC) UNIT 2B (UA) UNIT 2B (UA) UNIT #3 (UA) TOTAL SF	704 SF 64 SF 452 SF 96 SF 704 SF 2,020 SF	NOTE, UNIT 2B WILL BE MERGED WITH UNIT 2A.		
BUILDING 3; UNIT #4 (UA) UNIT #5 (UA) TOTAL SF	700 SF 700 SF 1,400 SF			
BUILDING 4; UNIT #6 (UA) FRONT PORCH REAR PORCH TOTAL SF	814 SF 120 SF 144 SF 1,078 SF			
BUILDING 5: GARAGE	231 SF			

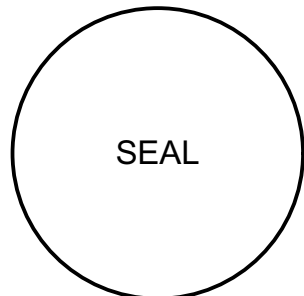
PROPOSED:	EXISTING	DEMO	ADDITION	PROPOSED
BUILDING 1; UNIT #1 (UA) FRONT PORCH (UC) REAR PORCH (UC) TOTAL SF	690 SF 119 SF 136 SF 945 SF	-42 SF -136 SF	+277 SF +550 SF	967 SF 47 SF 550 SF 1,564 SF
BUILDING 2; UNIT #2 (UA - MERGED) UNIT #2 (UC) UNIT #3 (UA) UNIT #3 (UC) TOTAL SF	1,156 SF 160 SF 704 SF 0 SF 2,020 SF	-64 SF	+303 SF +269 SF +186 SF	1,156 SF 399 SF 973 SF 186 SF 2,714 SF
BUILDING 3; UNIT #4 (UA) UNIT #5 (UA) TOTAL SF	700 SF 700 SF 1,400 SF			700 SF 700 SF 1,400 SF
BUILDING 4; UNIT #6 (UA) FRONT PORCH REAR PORCH TOTAL SF	814 SF 120 SF 144 SF 1,078 SF			814 SF 120 SF 144 SF 1,078 SF
BUILDING 5: GARAGE	231 SF	-231 SF		0 SF

EXISTING GARAGE TO BE DEMOLISHED = 231 SF
EXISTING BLDG. #1 COVERED PORCH DEMO = 178 SF
EXISTING BLDG. #2 PORCH DEMO = 64 SF
TOTAL BUILDING AREA= 5,674
(231 + 178 + 64)/5,674=0.083 (8.2%)



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REVISIONS:

4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

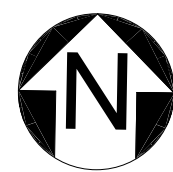
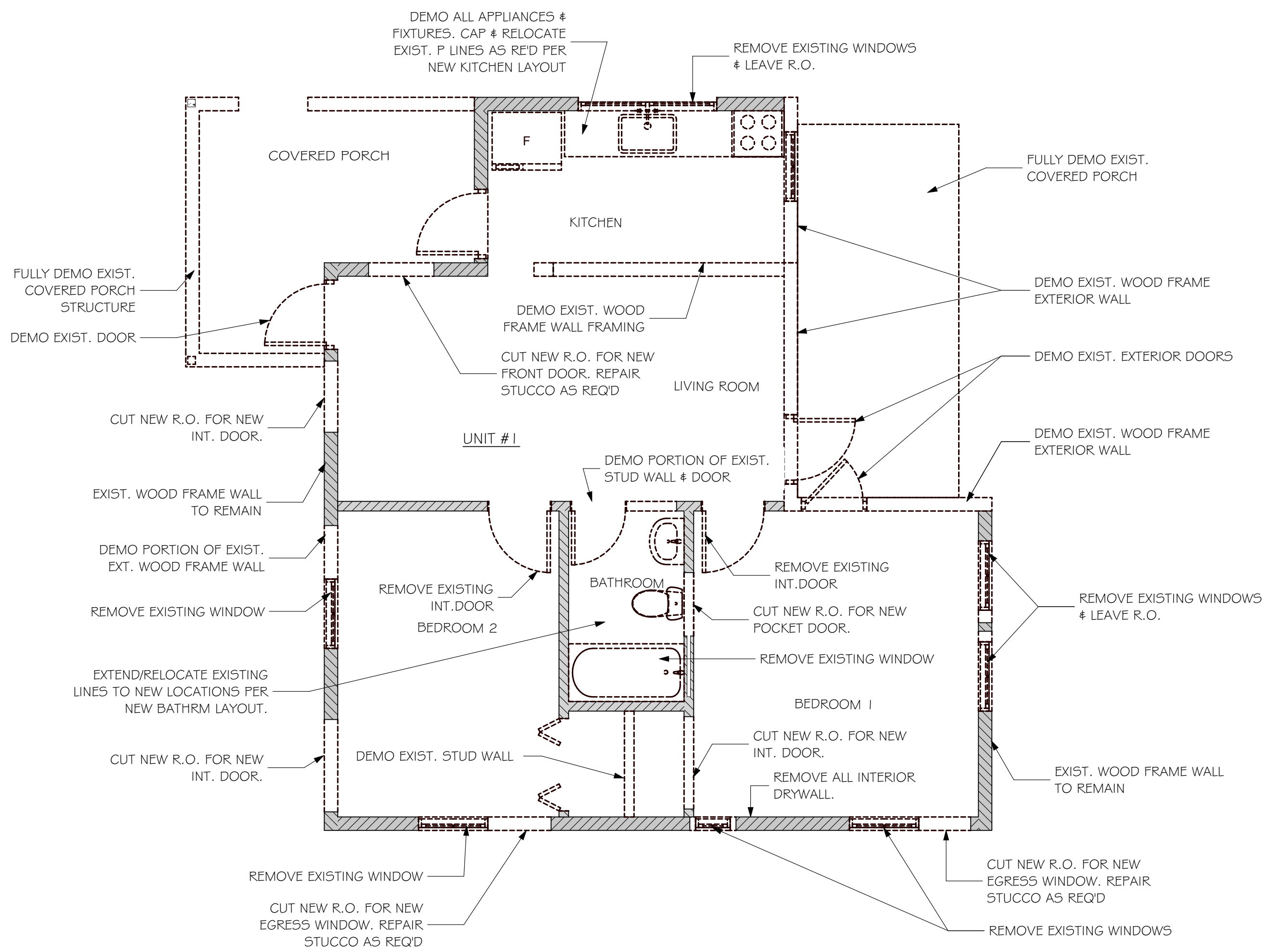
6 CITY COMMENTS (8.8.25)

COMPOSITE OVERLAY

DEMOLIITON PLAN

SP1.3

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th AVE COA 6.21.23.pln

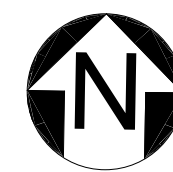
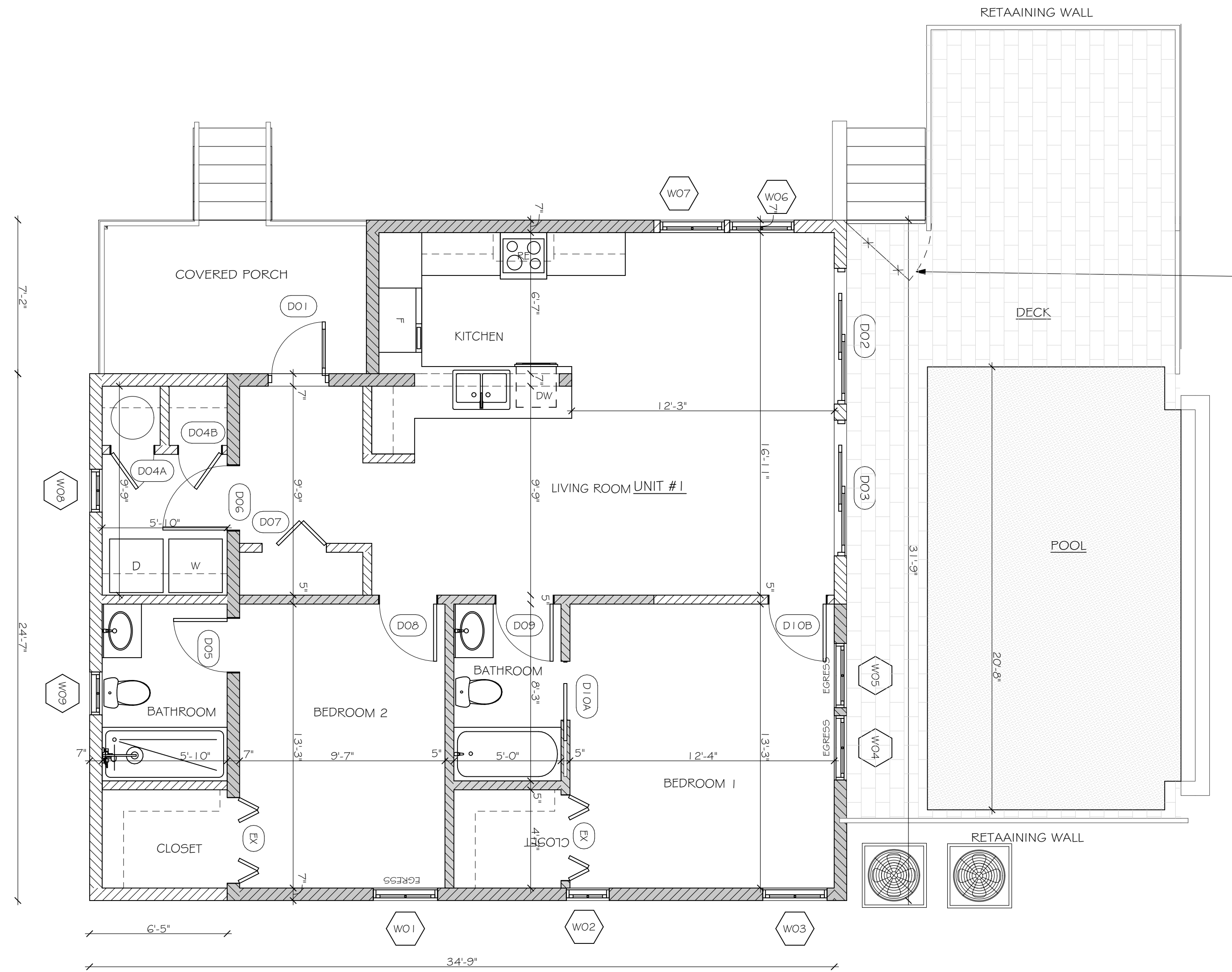


EXISTING/DEMO PLAN BLDG I

SCALE: 1/4" = 1'-0"

EXISTING = 2 BED / 1 BATH

UNIT #1



PROPOSED PLAN BLDG I

SCALE: 1/4" = 1'-0"

PROPOSED = 2 BED / 1 BATH

UNIT #1

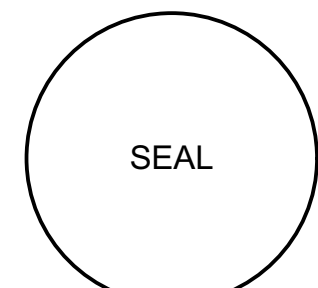
SETBACKS:

(WEST):82'-8"
(EAST):24'-8"
(NORTH):62'-6"
(SOUTH):5'-6"



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REVISIONS:

4 CITY COMMENTS (3, 1, 8, 25)

5 CITY COMMENTS (5, 14, 25)

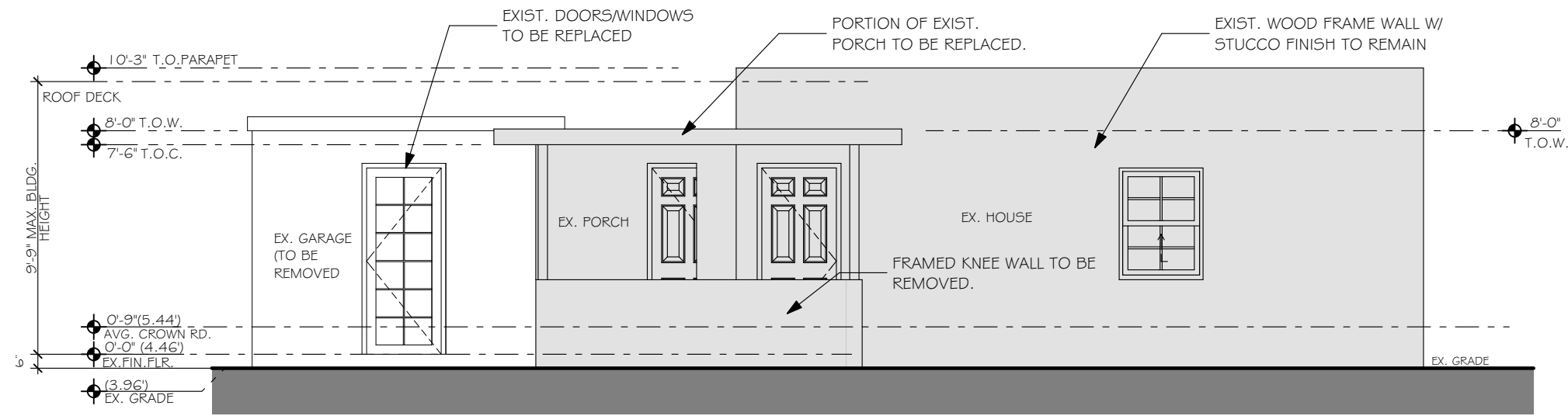
6 CITY COMMENTS (8, 8, 25)

FLOOR PLANS BLDG 1

A1.1

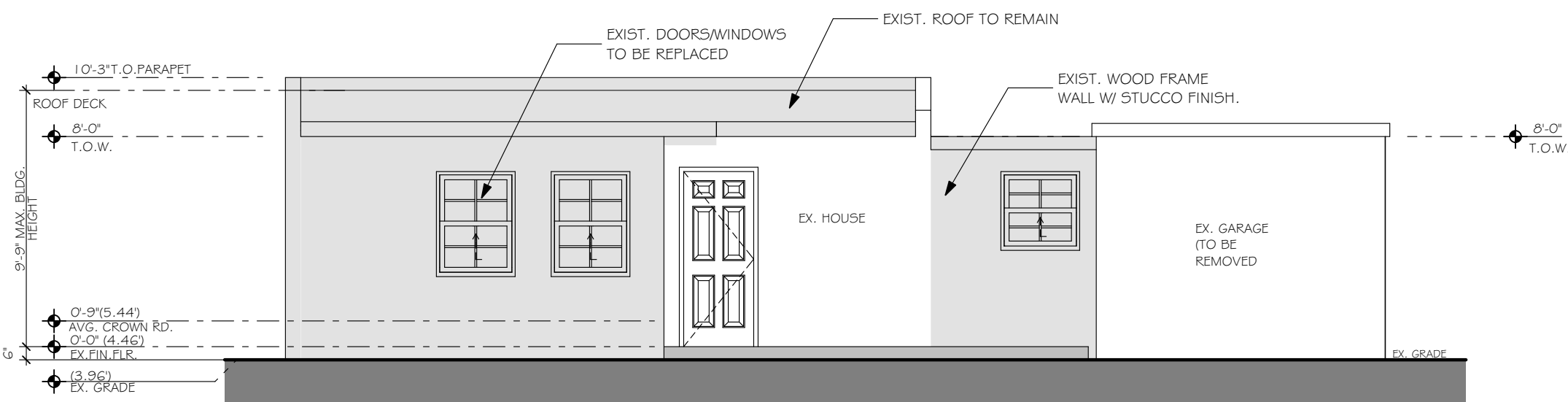
BUILDING #2; UNIT 1

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



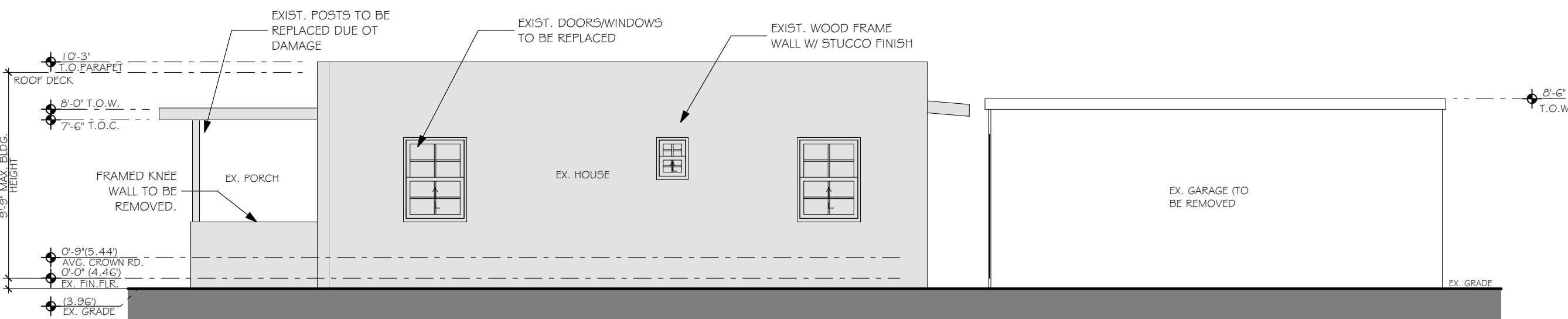
EXISTING WEST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



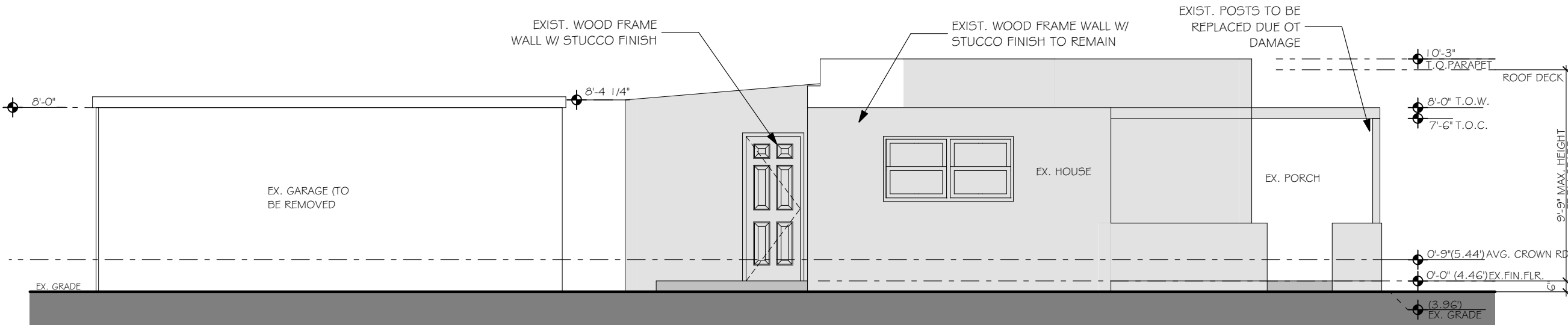
EXISTING EAST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



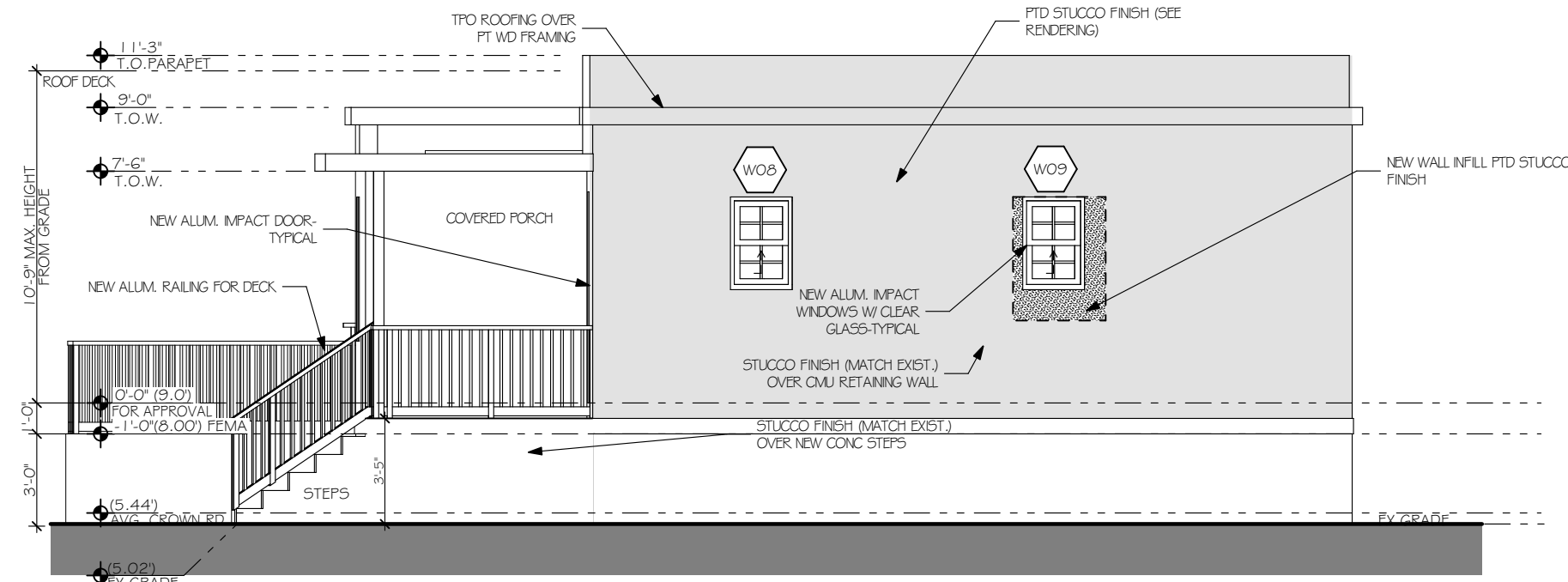
EXISTING SOUTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



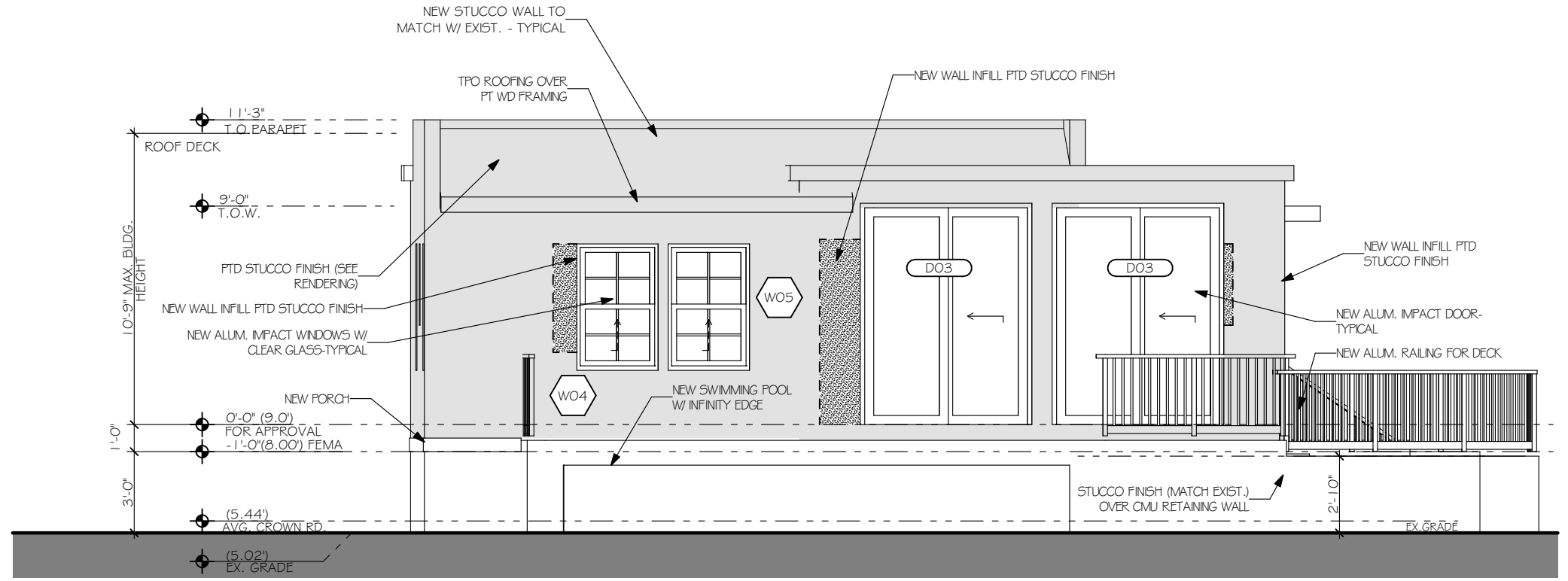
EXISTING NORTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



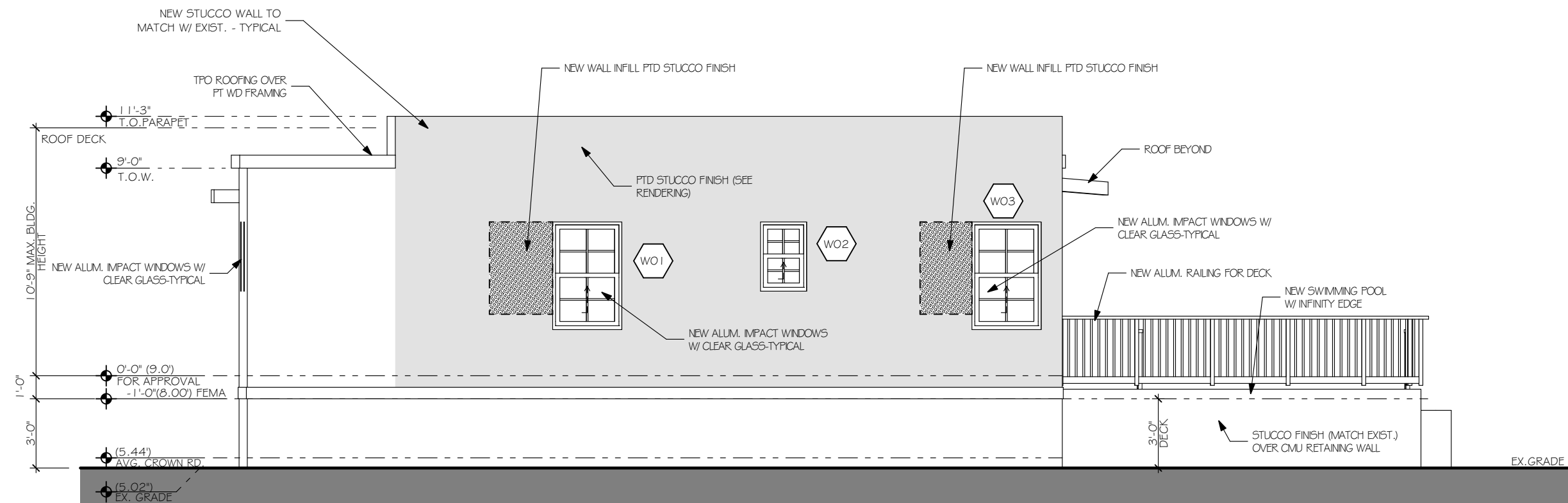
WEST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



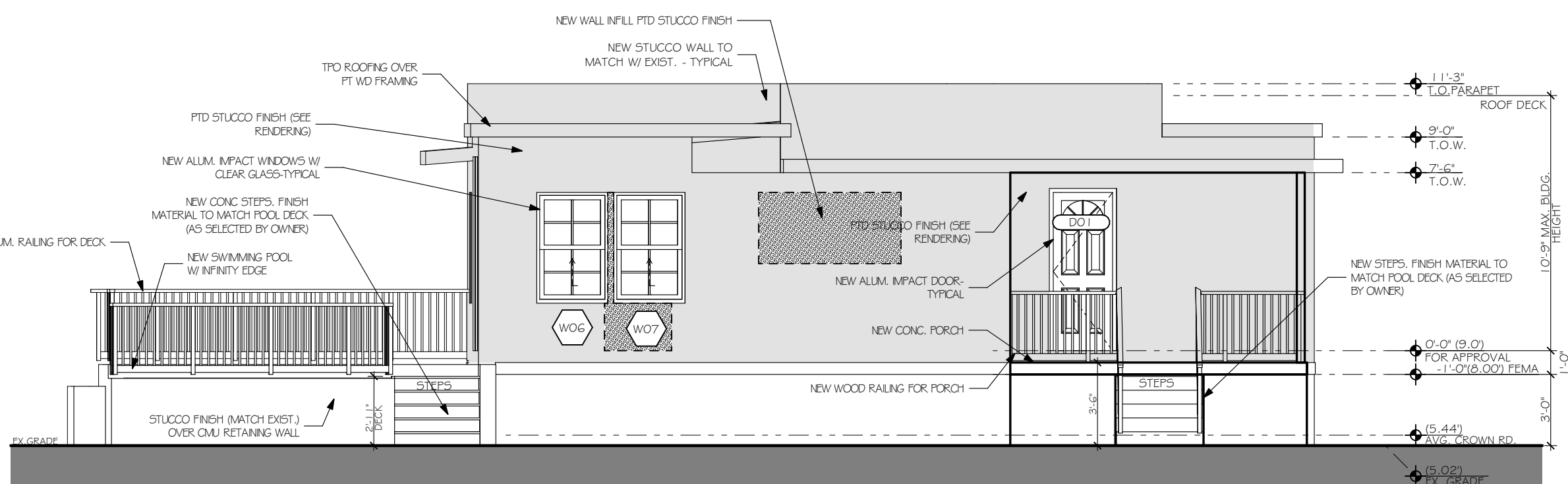
EAST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



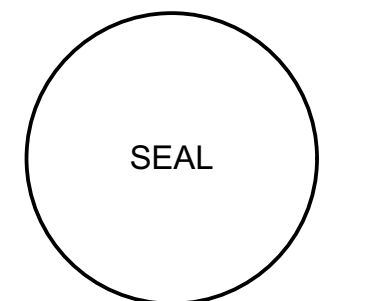
NORTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



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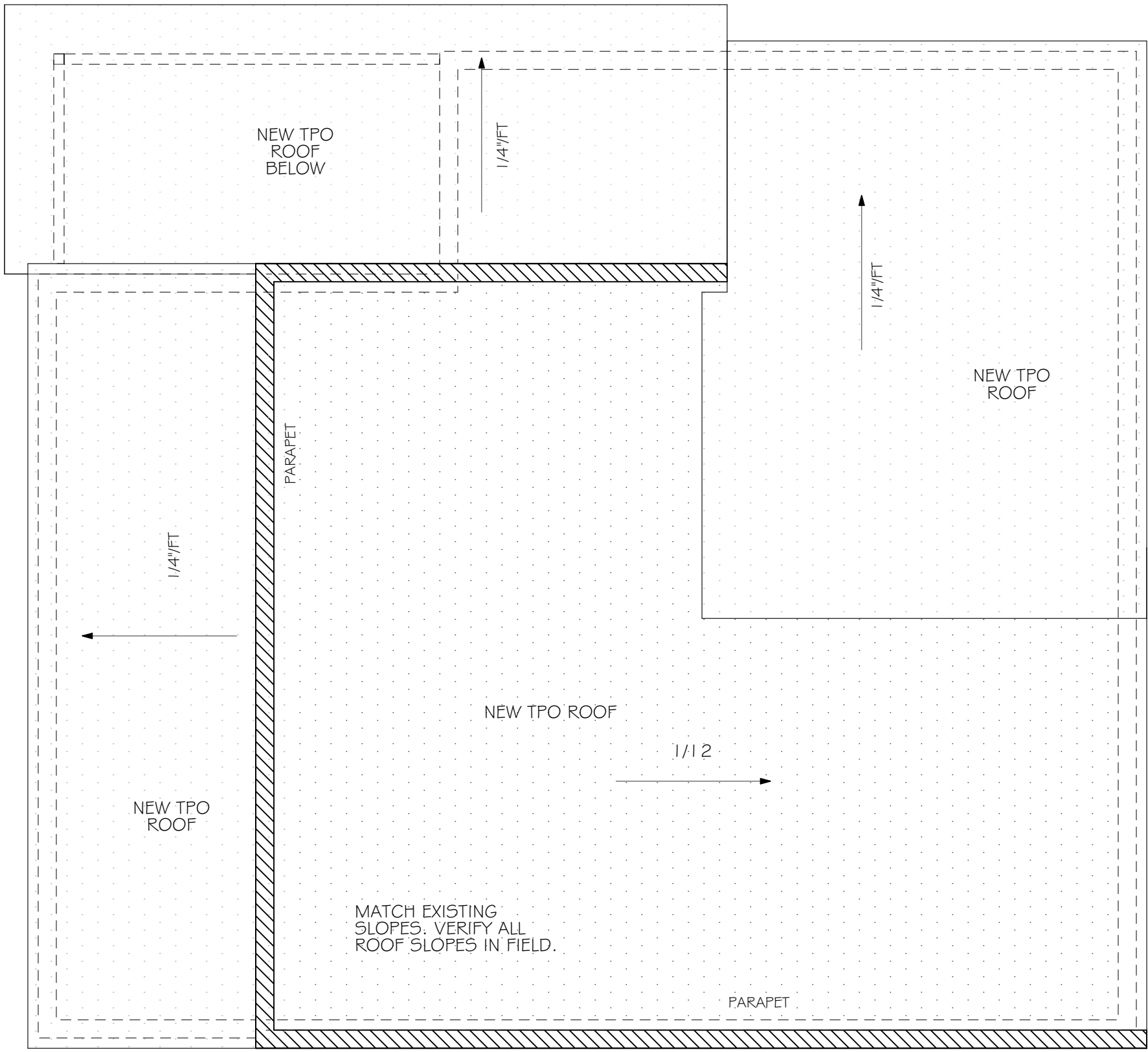
1 CITY COMMENTS (3.18.25)

2 CITY COMMENTS (5.14.25)

3 CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 1

A1.2



ROOF PLAN

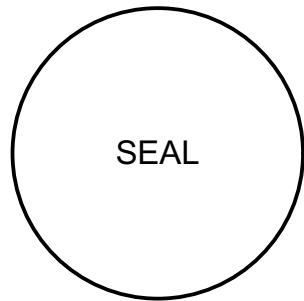
SCALE: 1/4" = 1'-0"

BUILDING #1



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REVISIONS:

4 CITY COMMENTS (3, 1, 8, 25)

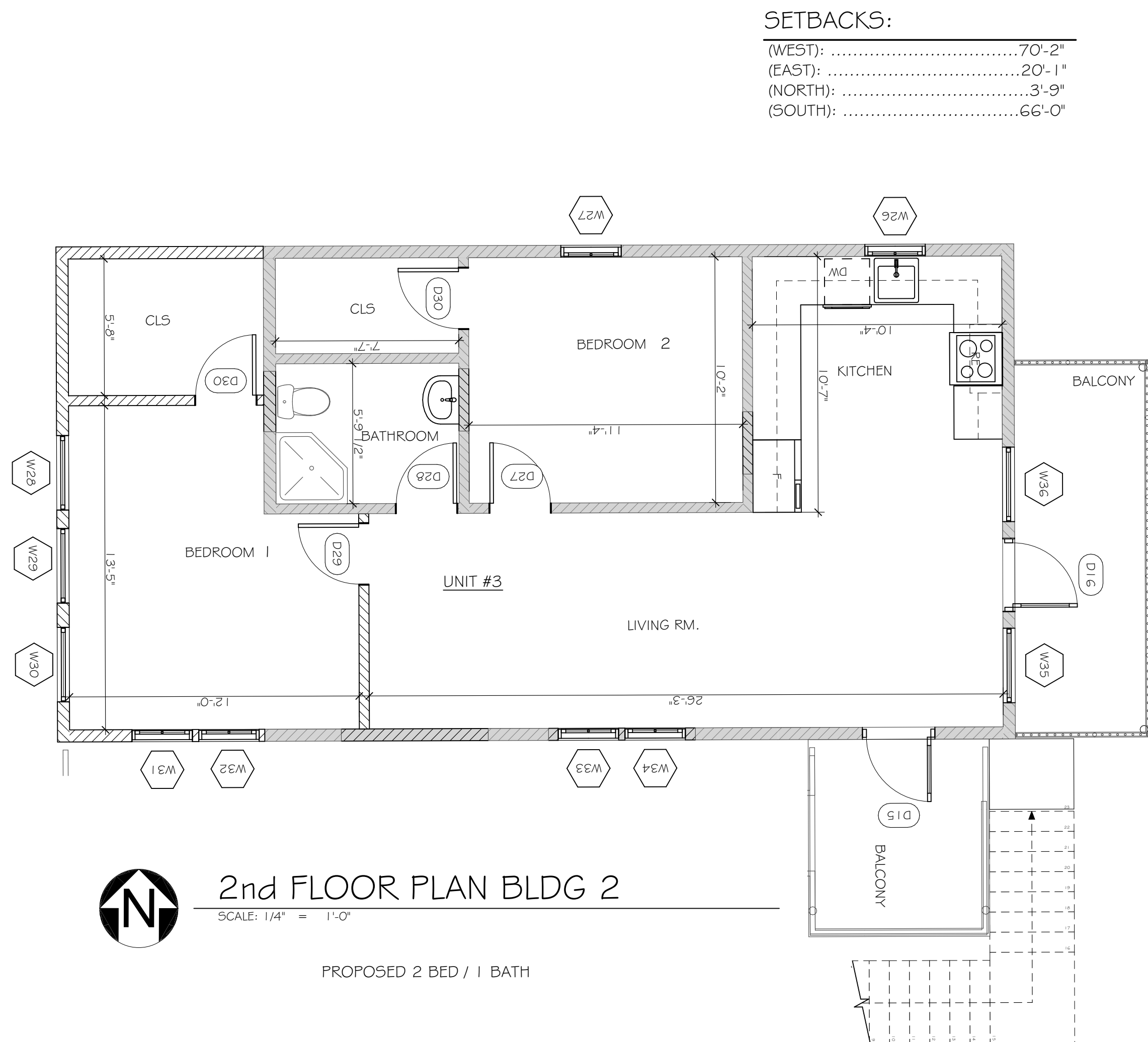
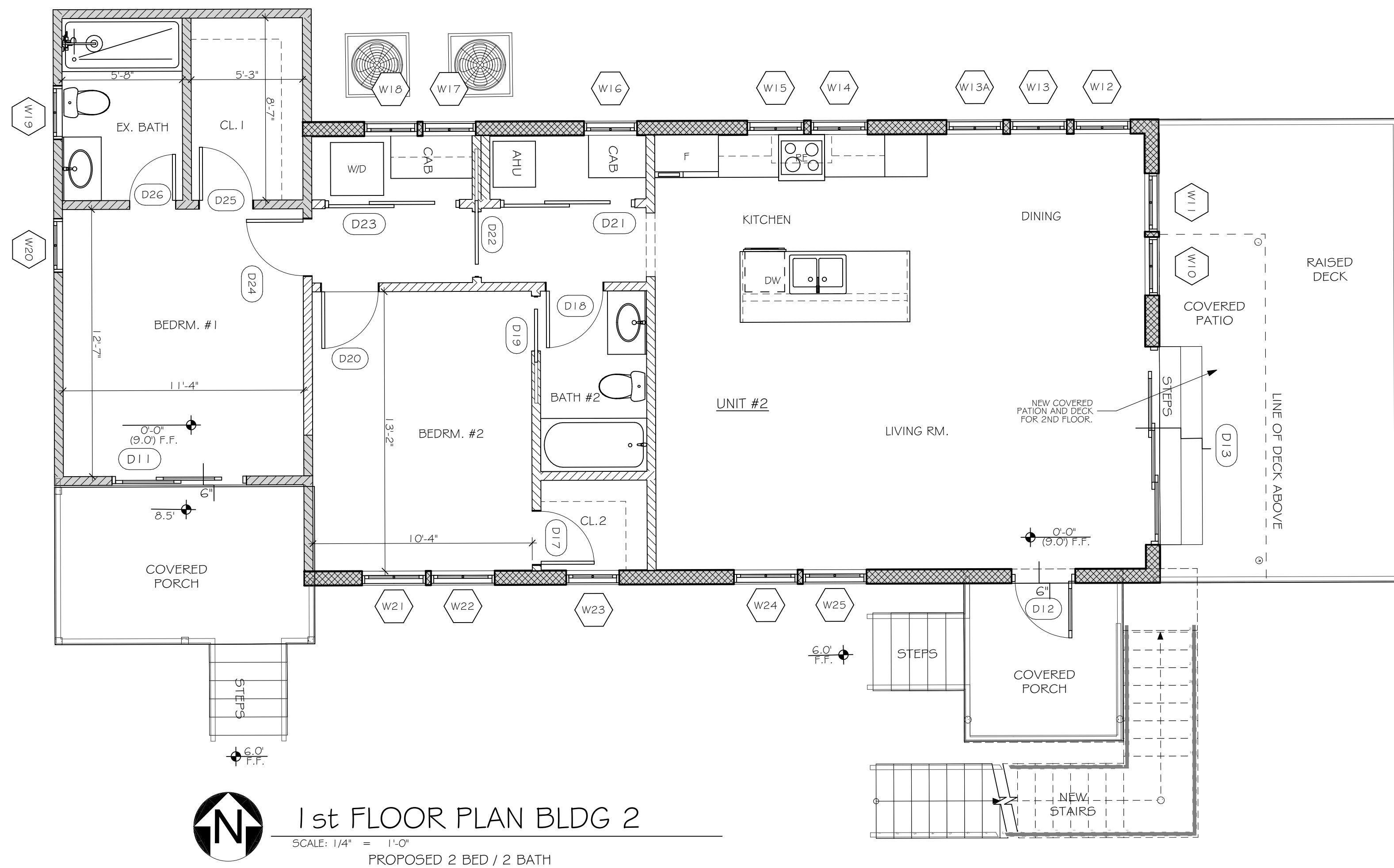
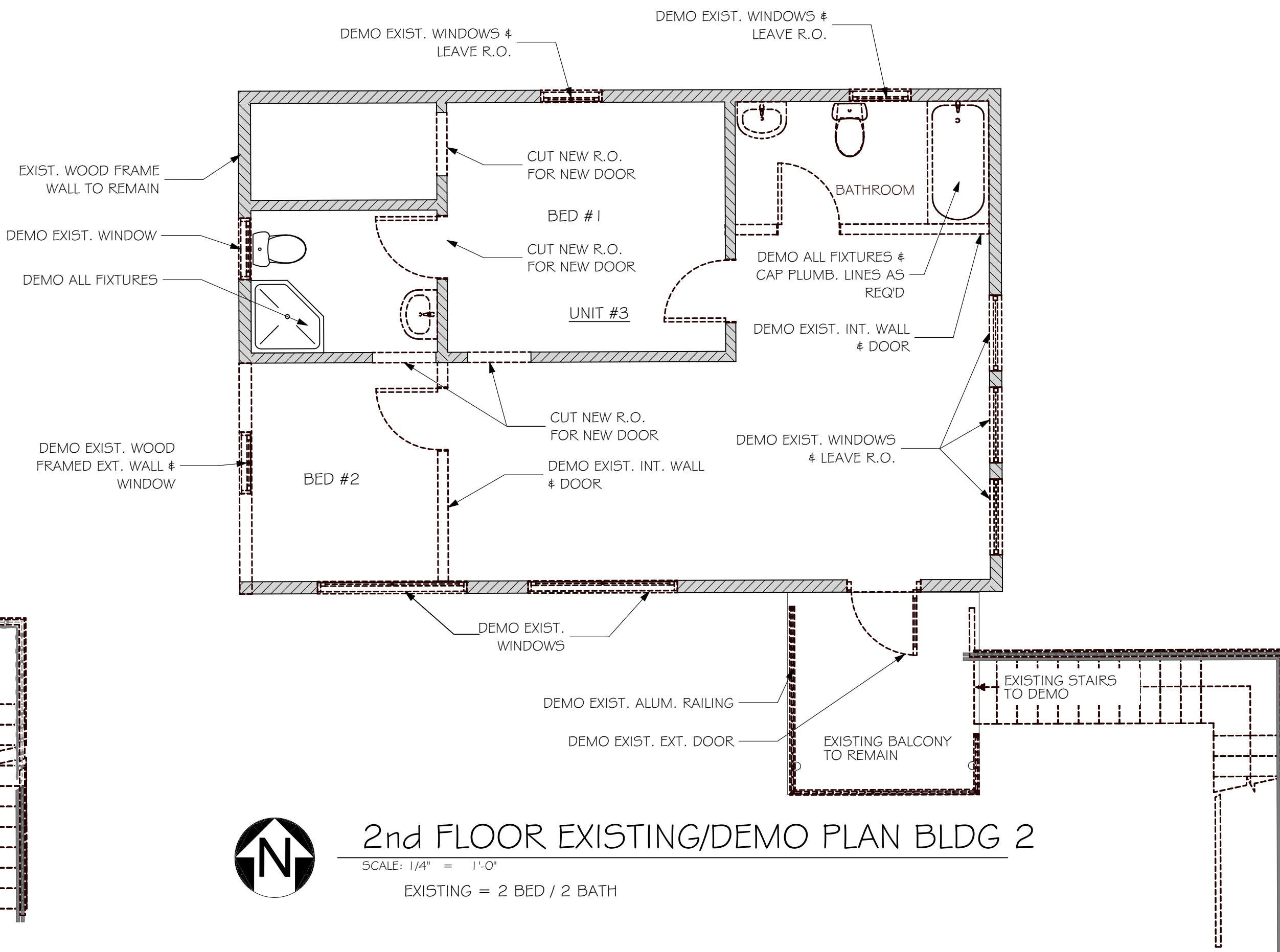
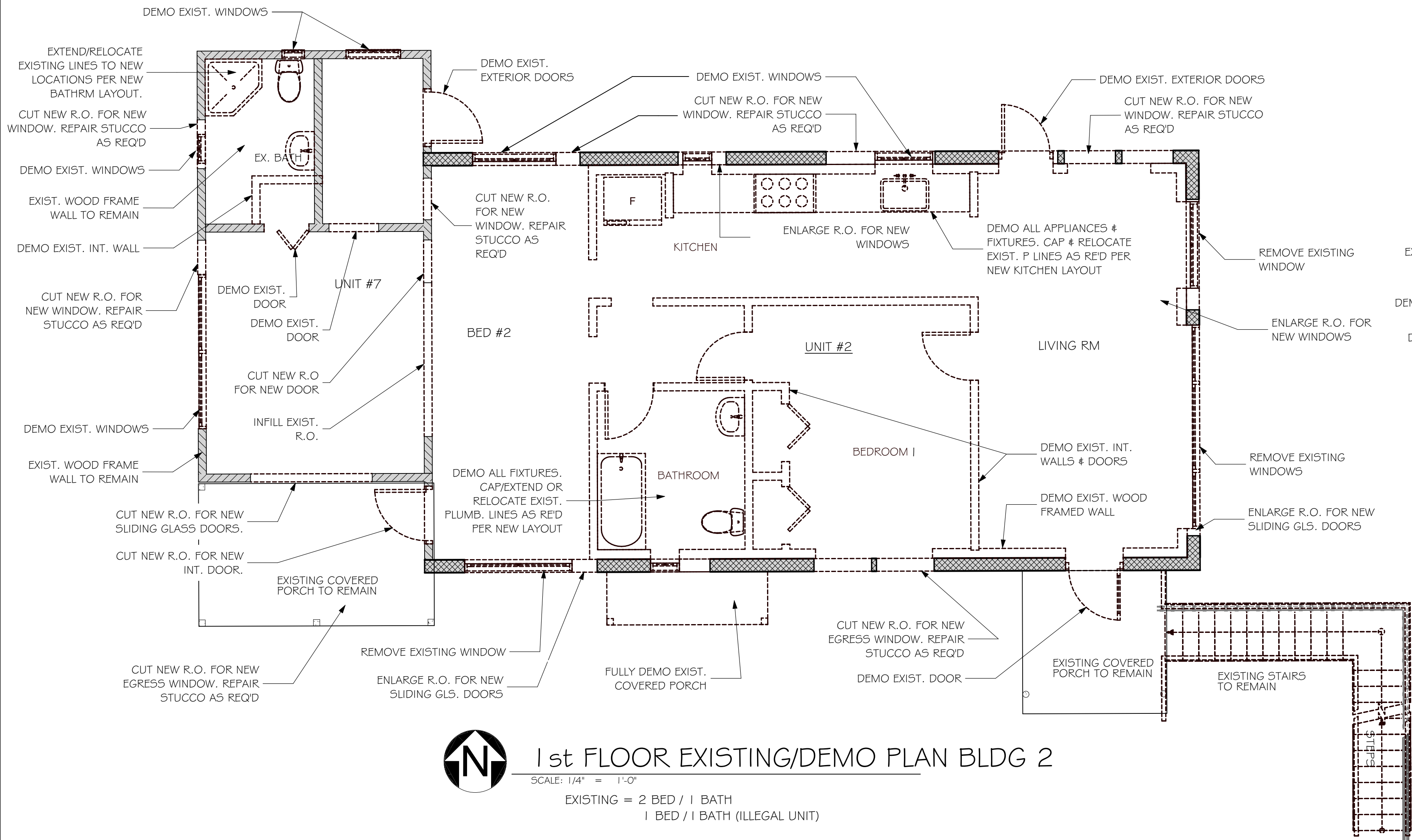
5 CITY COMMENTS (5, 14, 25)

6 CITY COMMENTS (8, 8, 25)

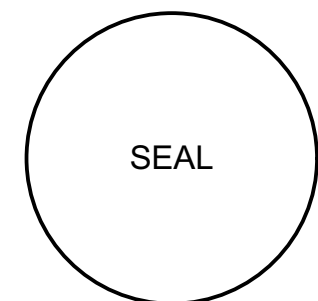
ROOF PLAN

A1.3

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th ave COA 6.21.23.pln



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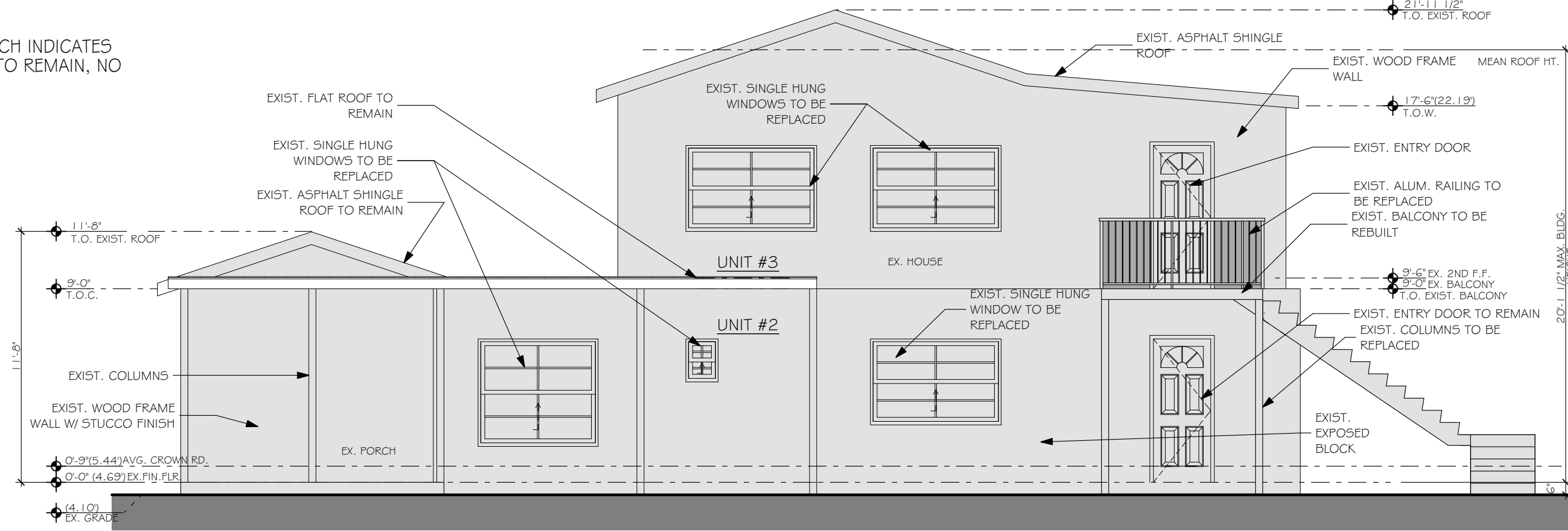
PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

FLOOR PLAN(S) BLDG 2

A2.1

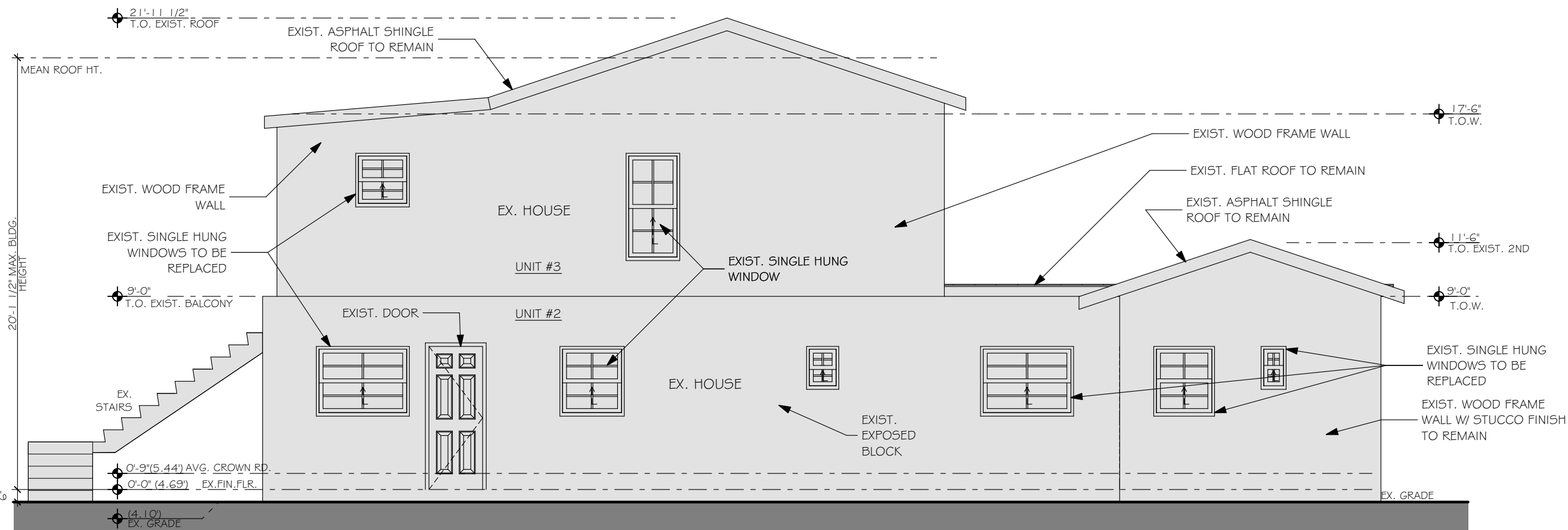
BUILDING #2; UNITS 2&3

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



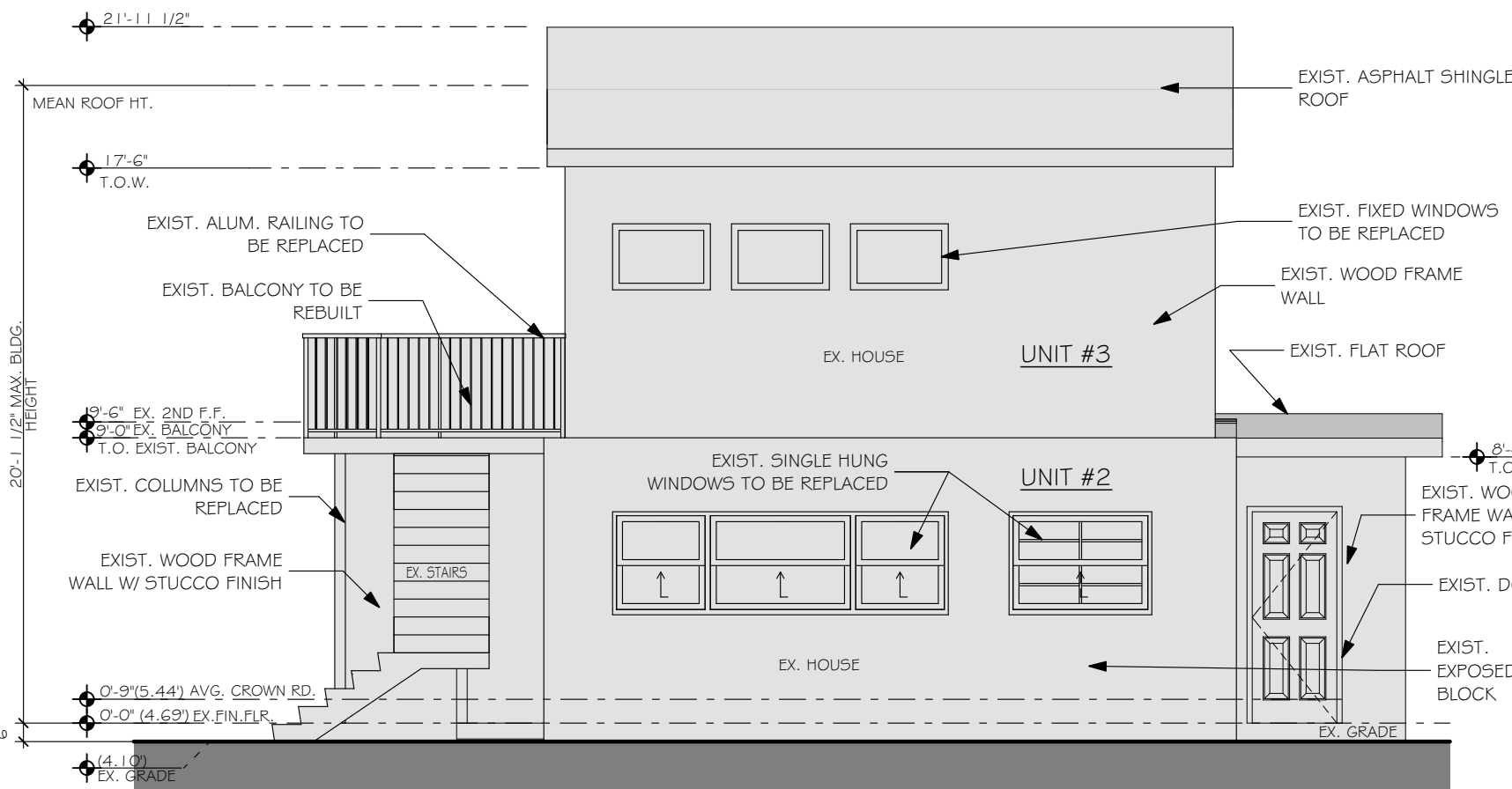
EXISTING SOUTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



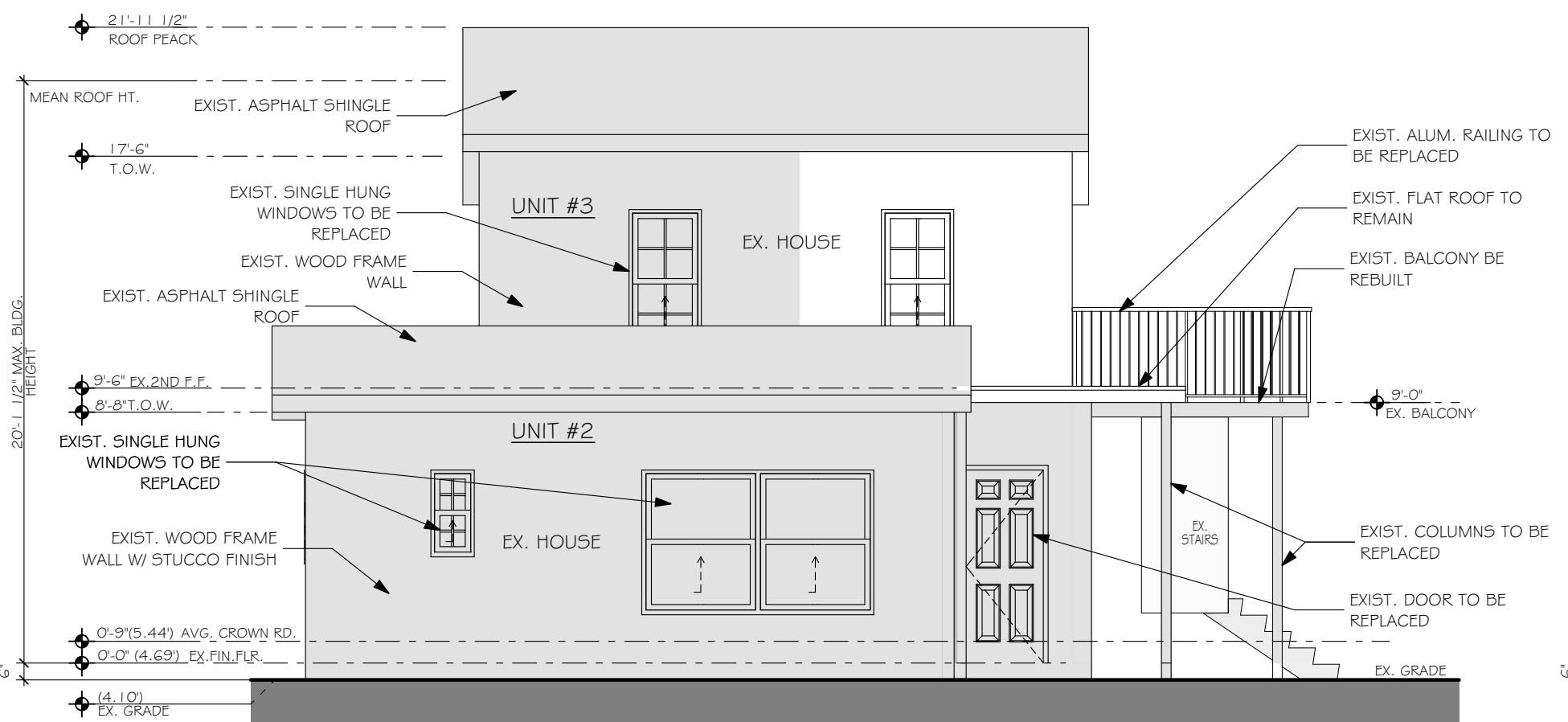
EXISTING NORTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



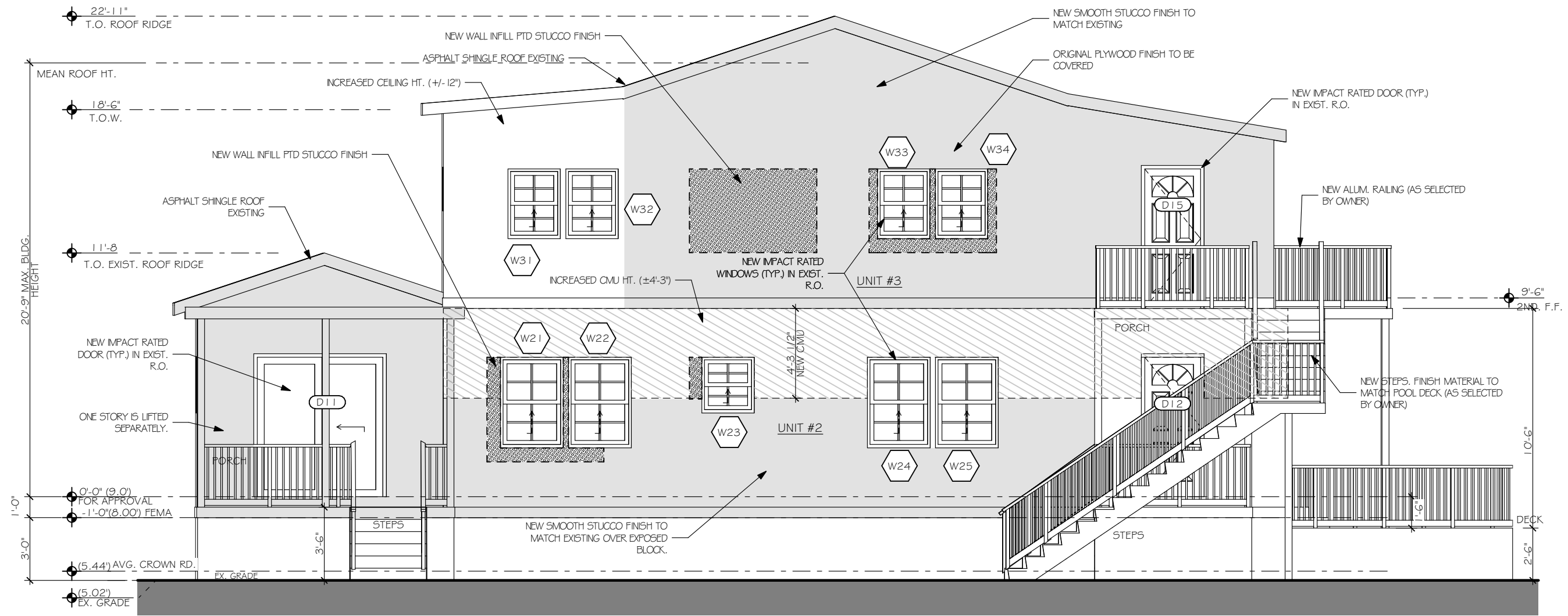
EXISTING EAST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



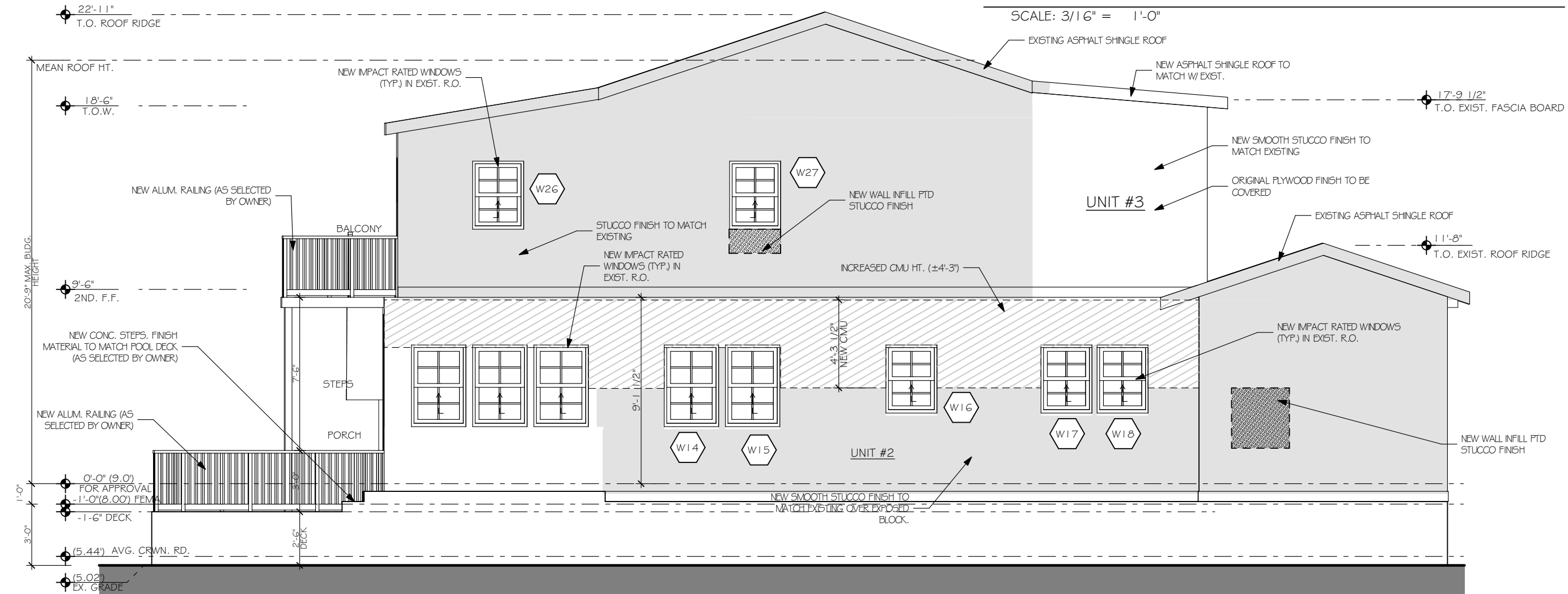
EXISTING WEST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



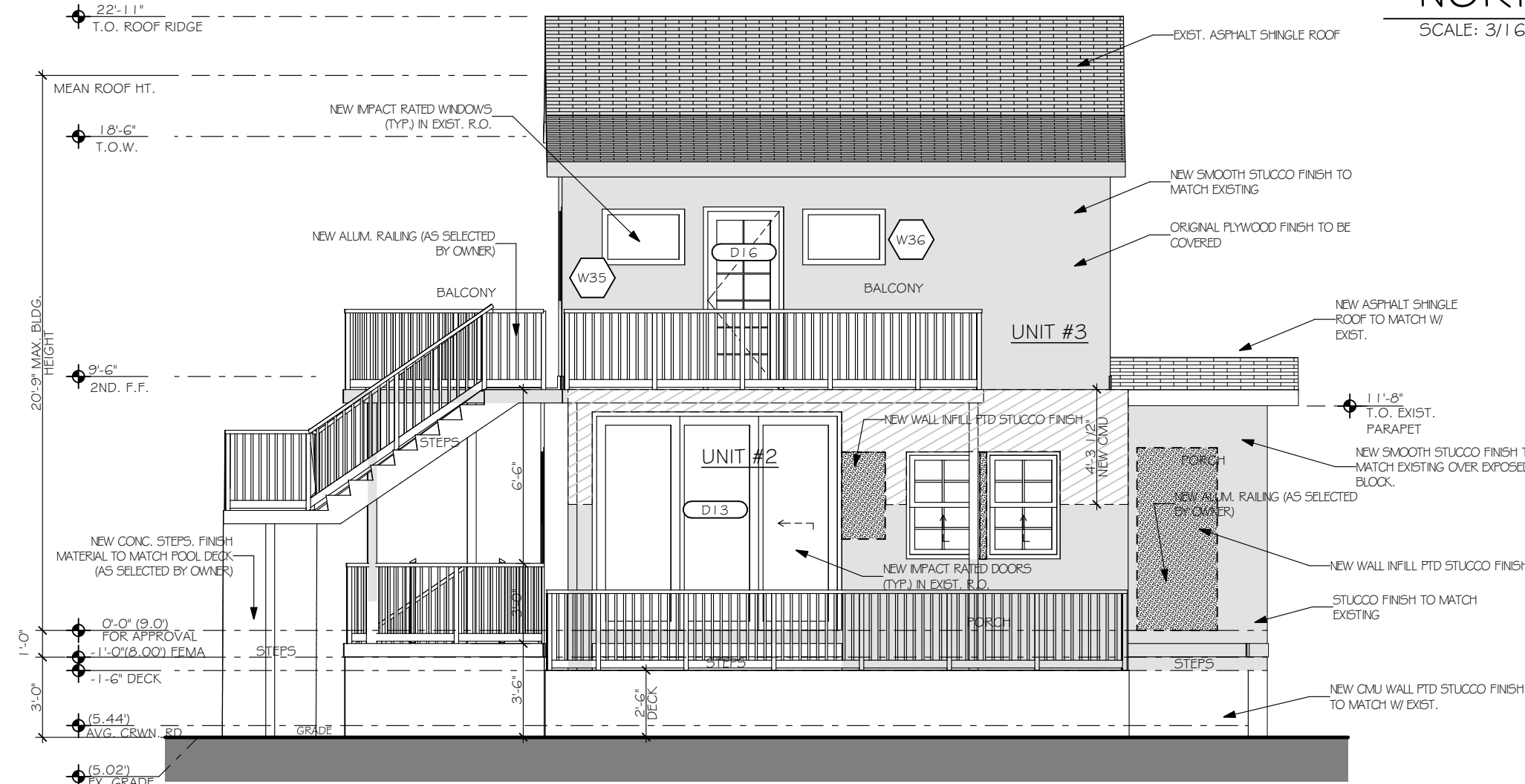
SOUTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



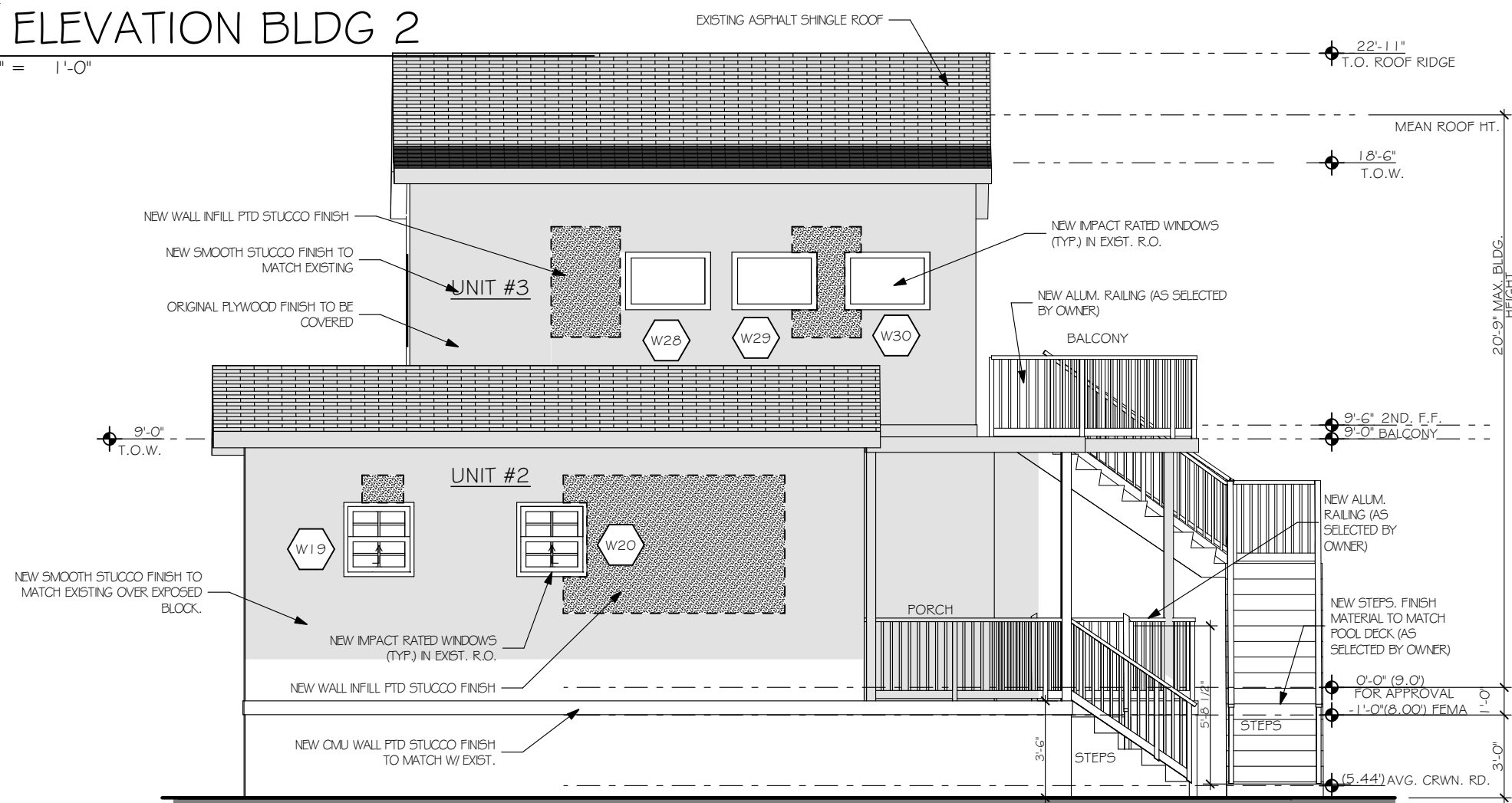
NORTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



EAST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



WEST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



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SEAL

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DRAWN BY: BT

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REVISIONS:

1 CITY COMMENTS (3, 1, 8, 25)

2 CITY COMMENTS (5, 1, 4, 25)

3 CITY COMMENTS (8, 8, 25)

ELEVATIONS BLDG 2

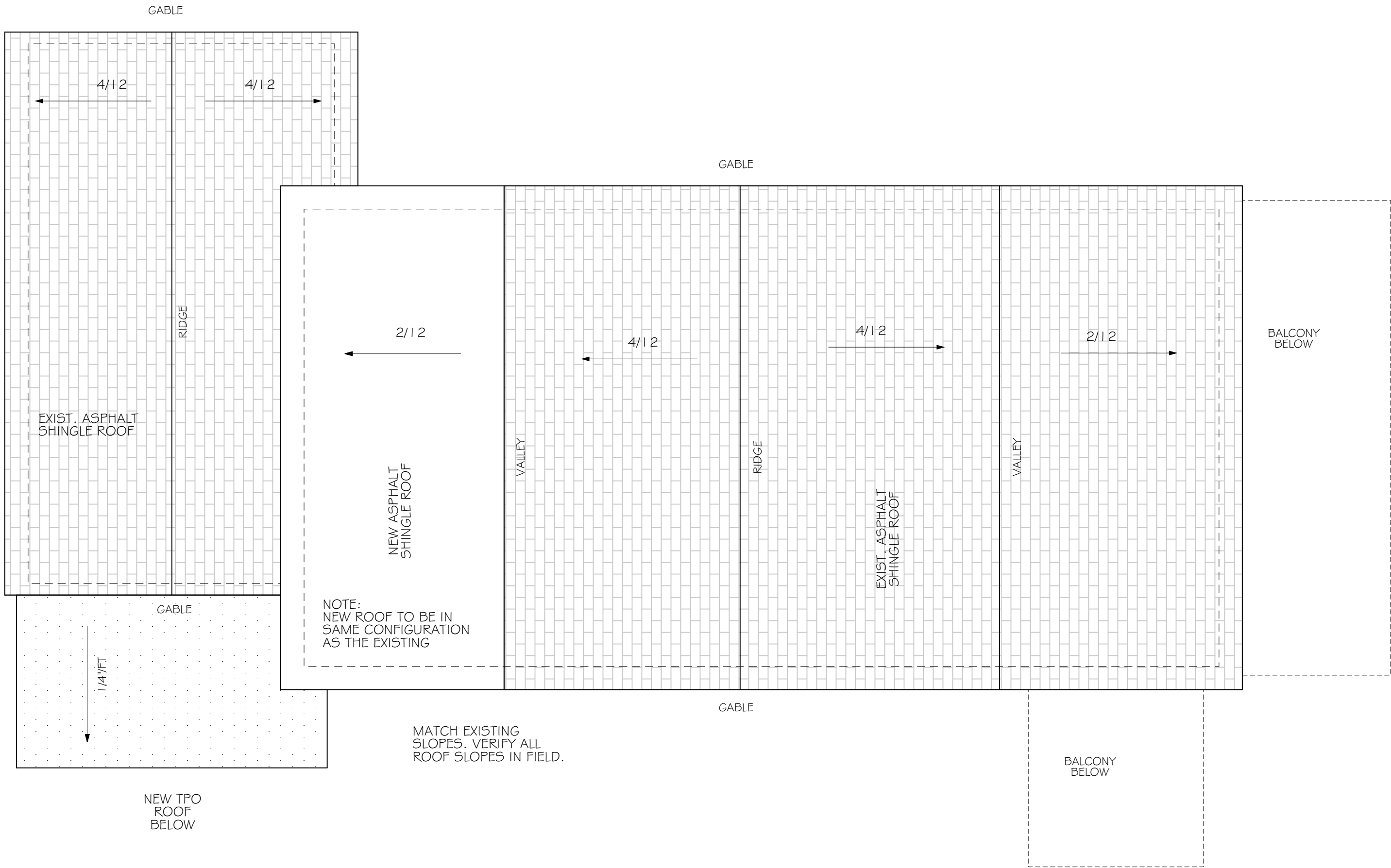
A2.2



ROOF PLAN

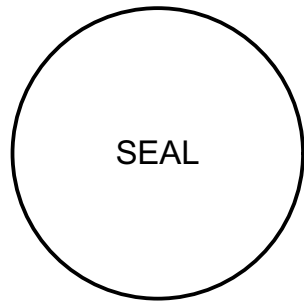
SCALE: 1/4" = 1'-0"

BUILDING #2



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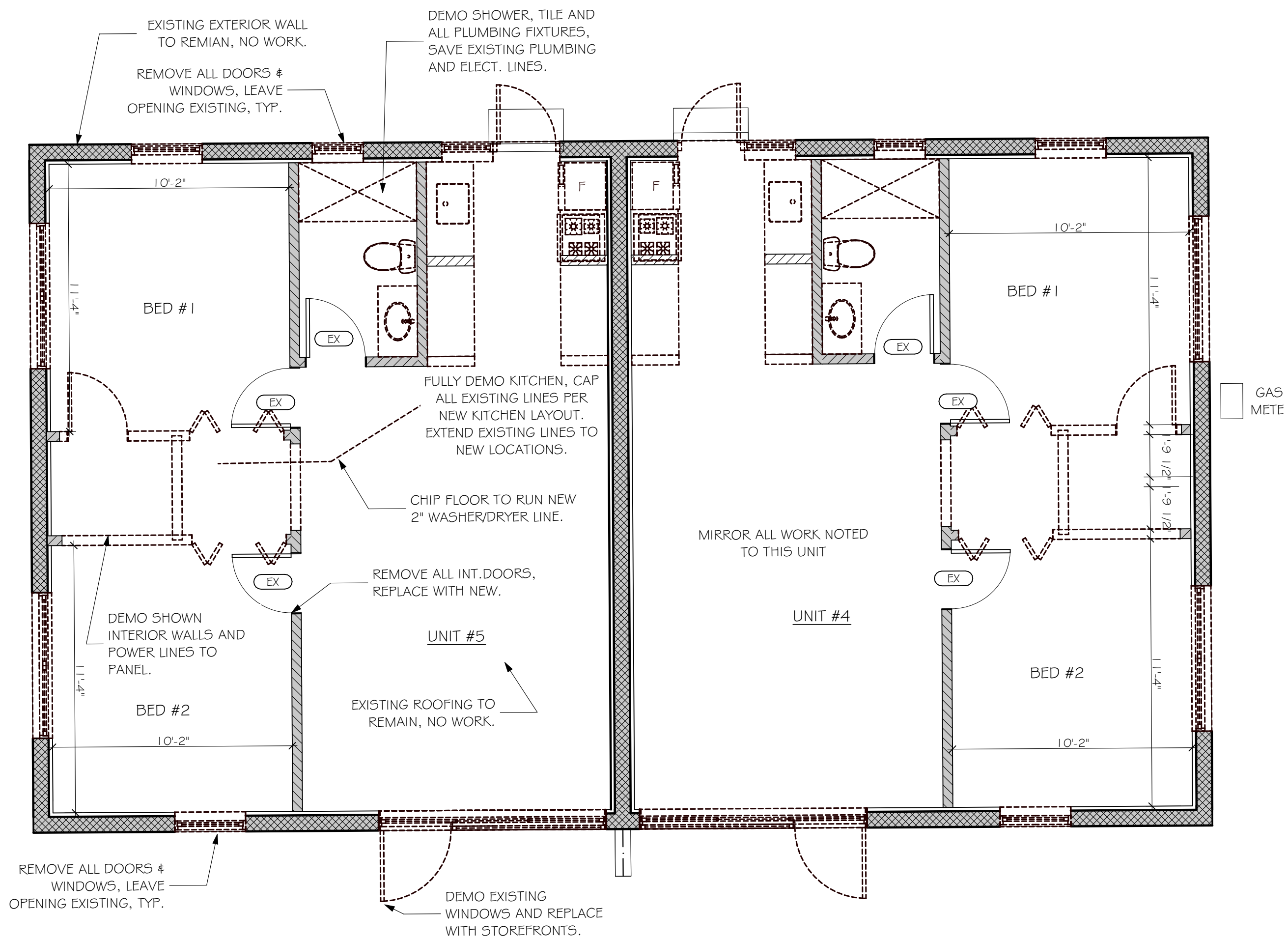
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REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

ROOF PLAN

A2.3

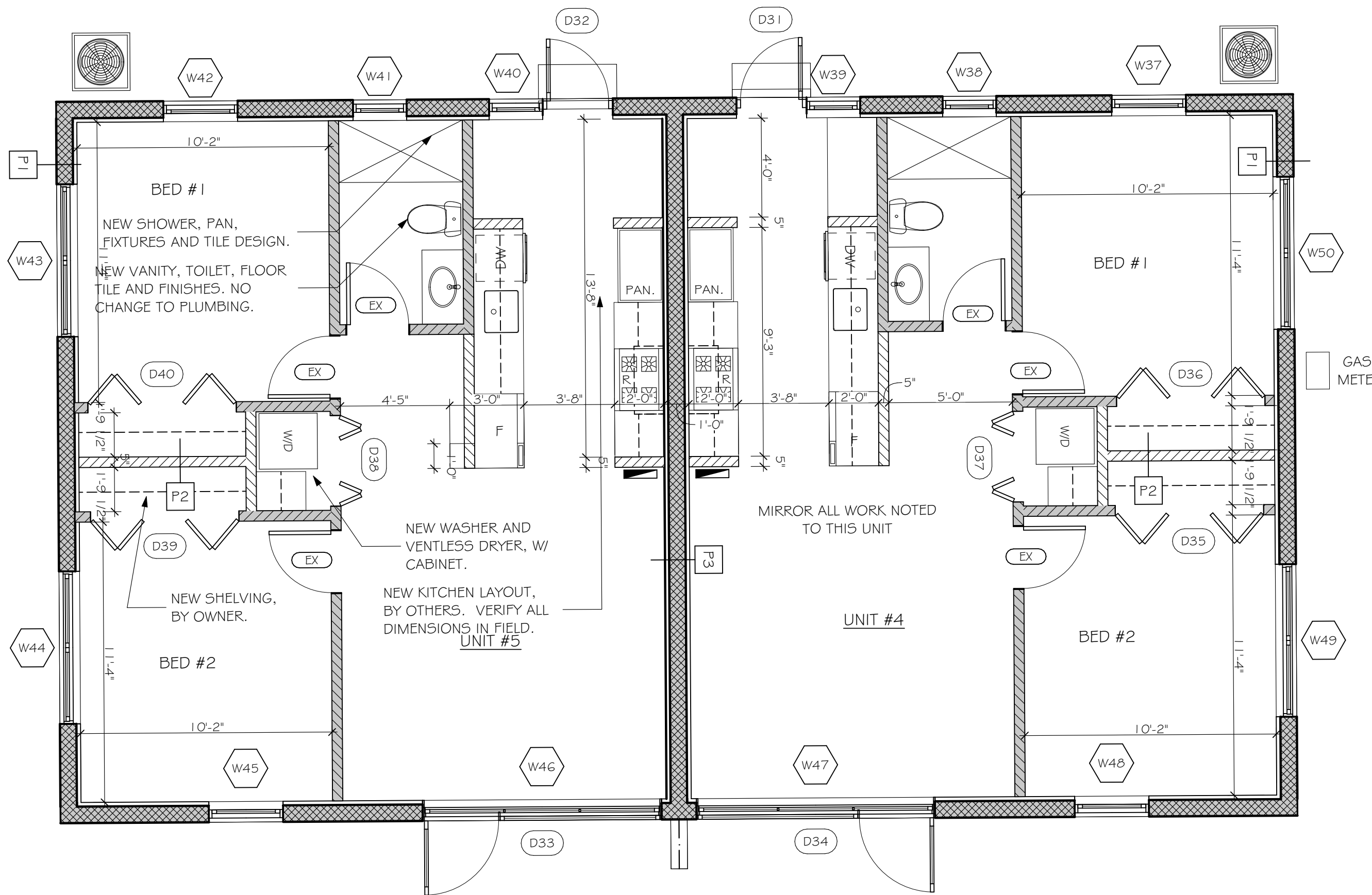


EXISTING/DEMO PLAN BLDG 3

SCALE: 1/4" = 1'-0"

UNITS #4 & 5

EXISTING = 2 BED / 1 BATH



PROPOSED PLAN BLDG 3

SCALE: 1/4" = 1'-0"

UNITS #4 & 5

PROPOSED = 2 BED / 1 BATH

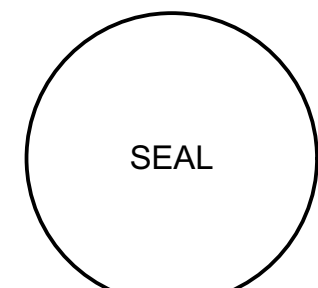
SETBACKS:

(WEST):24'-9"
(EAST):68'-2"
(NORTH):59'-6"
(SOUTH):11'-3"



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C.O.A. DRAWINGS

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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

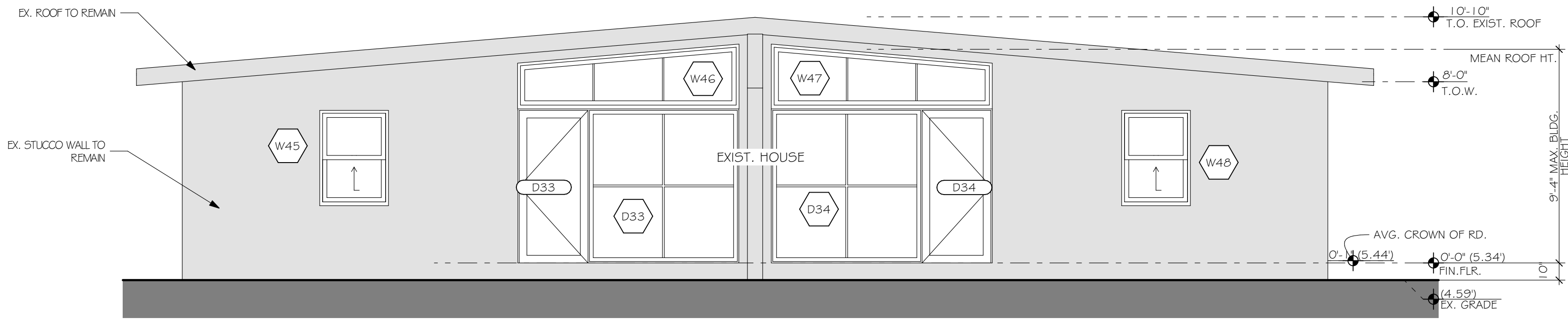
6 CITY COMMENTS (8.8.25)

FLOOR PLAN BLDG 3

A3.1

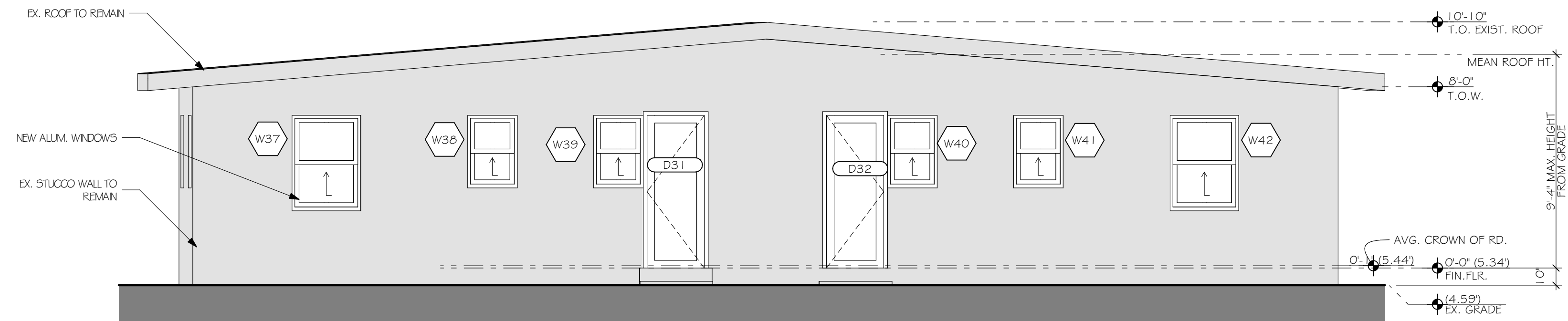
BUILDING #3; UNIT 6

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



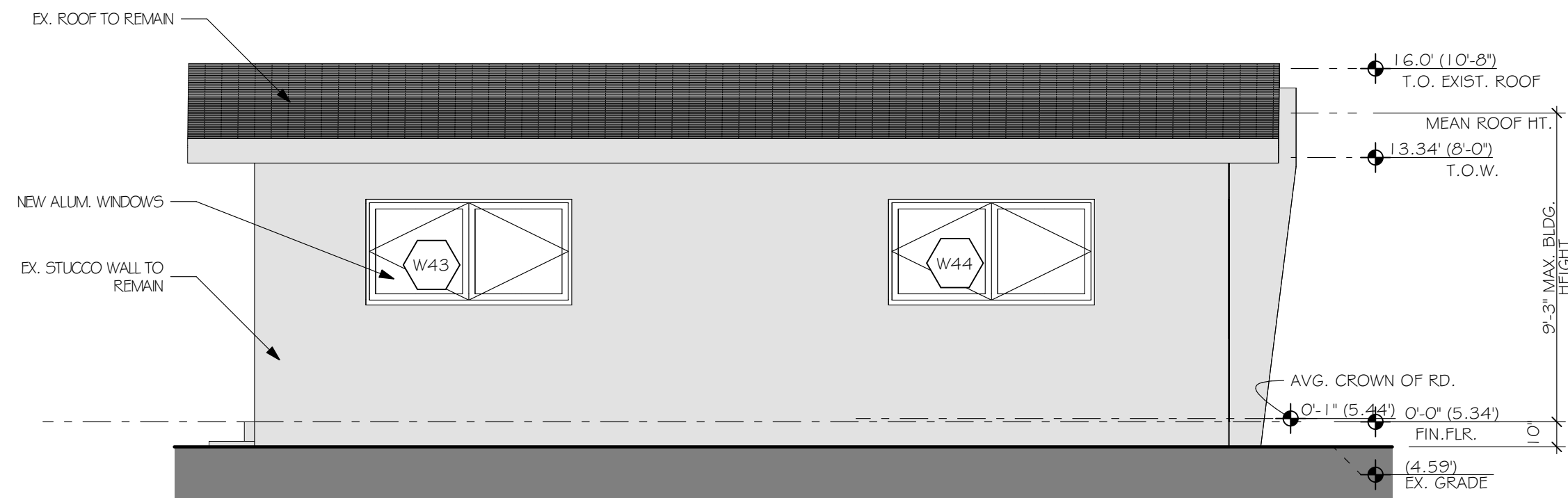
SOUTH ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



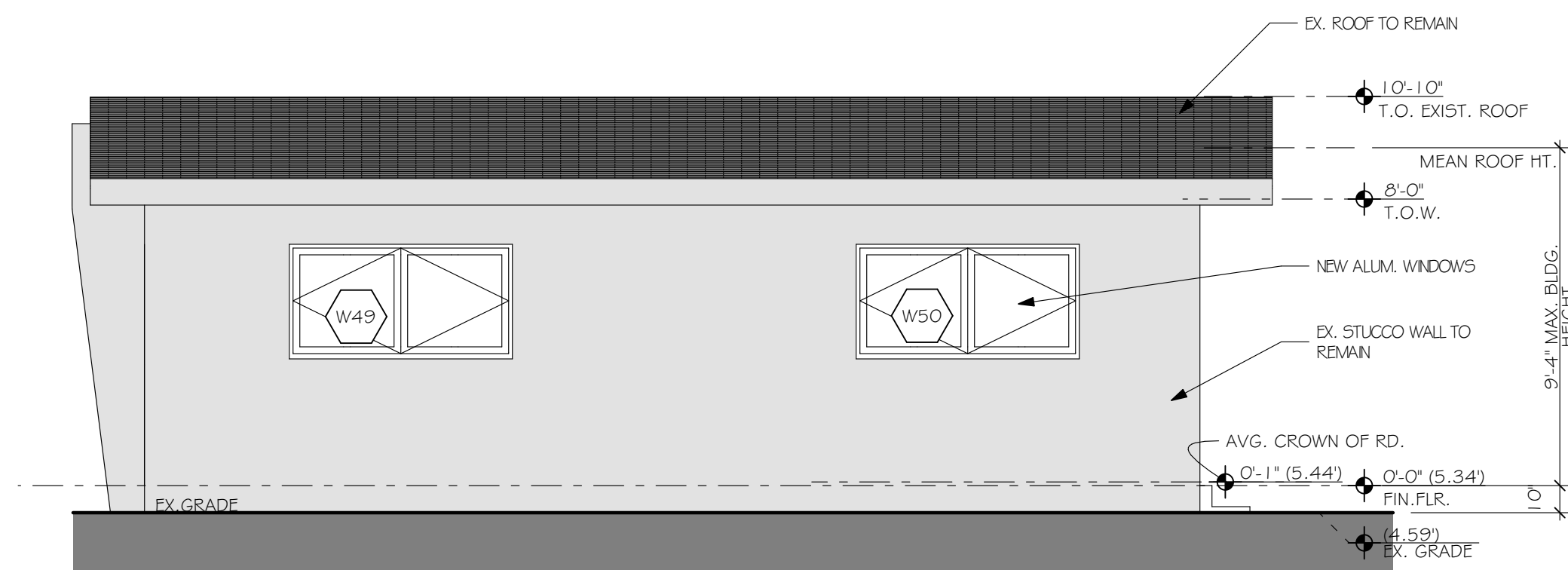
NORTH ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



WEST ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



EAST ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"

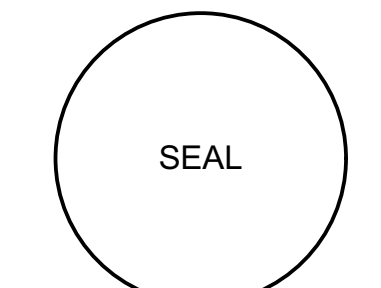
KEY ARCHITECTURAL NOTES:

1. NO CHANGE TO EXTERIOR OF EXISTING BUILDING
2. REPLACE EXISTING DOORS AND WINDOWS WITH NEW IMPACT RATED WINDOWS AND DOORS, OF SAME STYLE AND SIZE, IN EXISTING ROUGH OPENINGS. (VERIFY IN FIELD)



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REVISIONS:

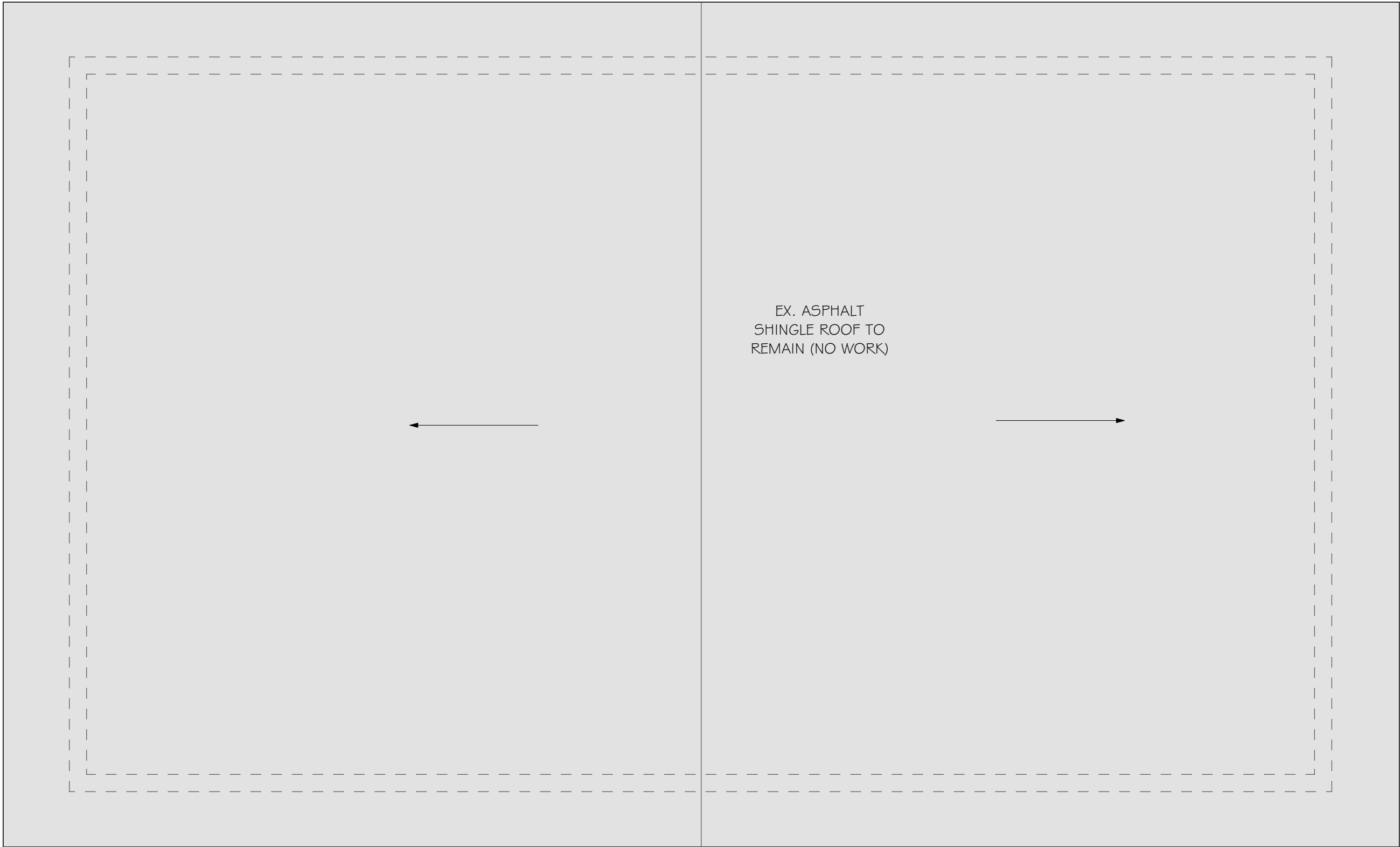
4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 3

A3.2



ROOF PLAN

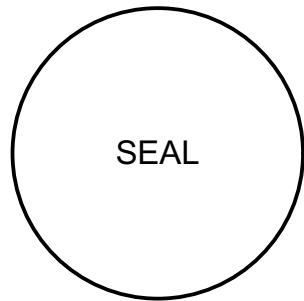
SCALE: 1/4" = 1'-0"

BUILDING #3



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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3, 1.8, 2.5)

5 CITY COMMENTS (5, 1.4, 2.5)

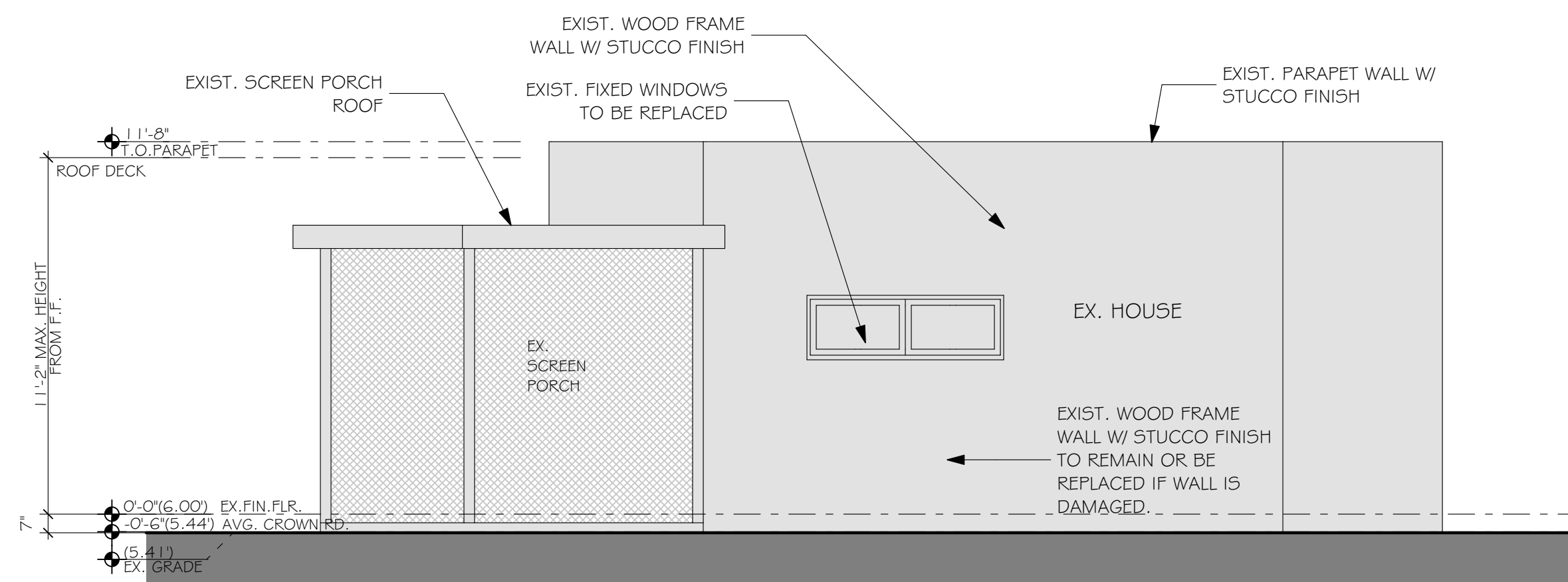
6 CITY COMMENTS (8.8, 2.5)

ROOF PLAN

A3.3

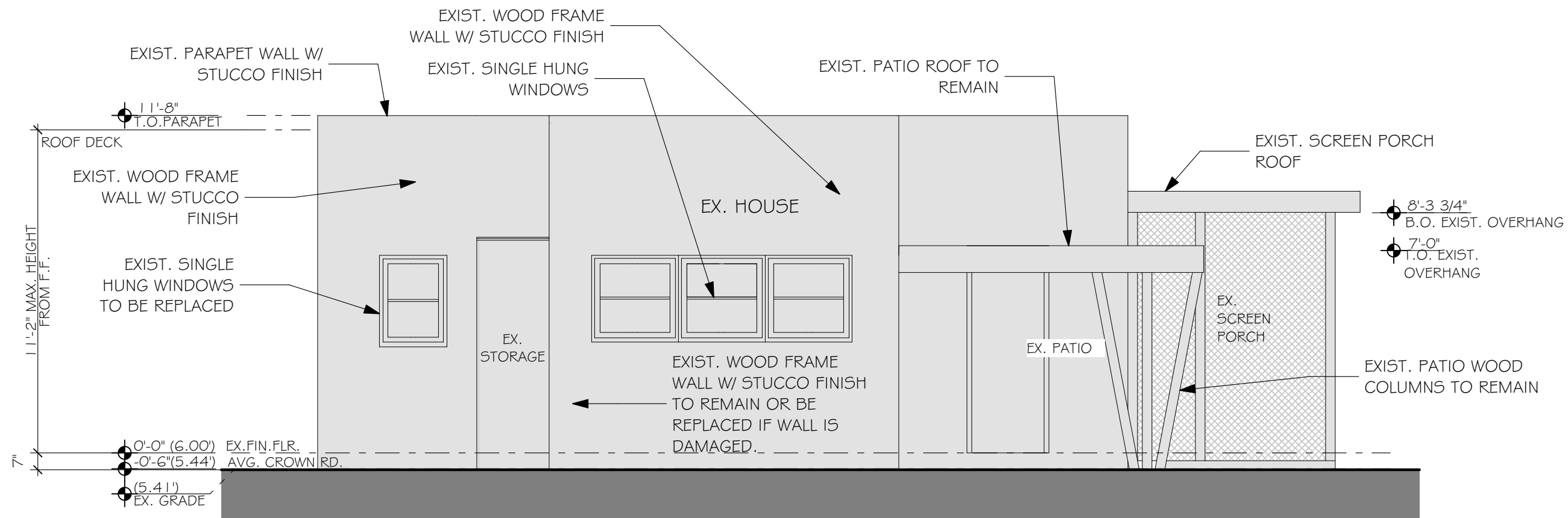
A4.1

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



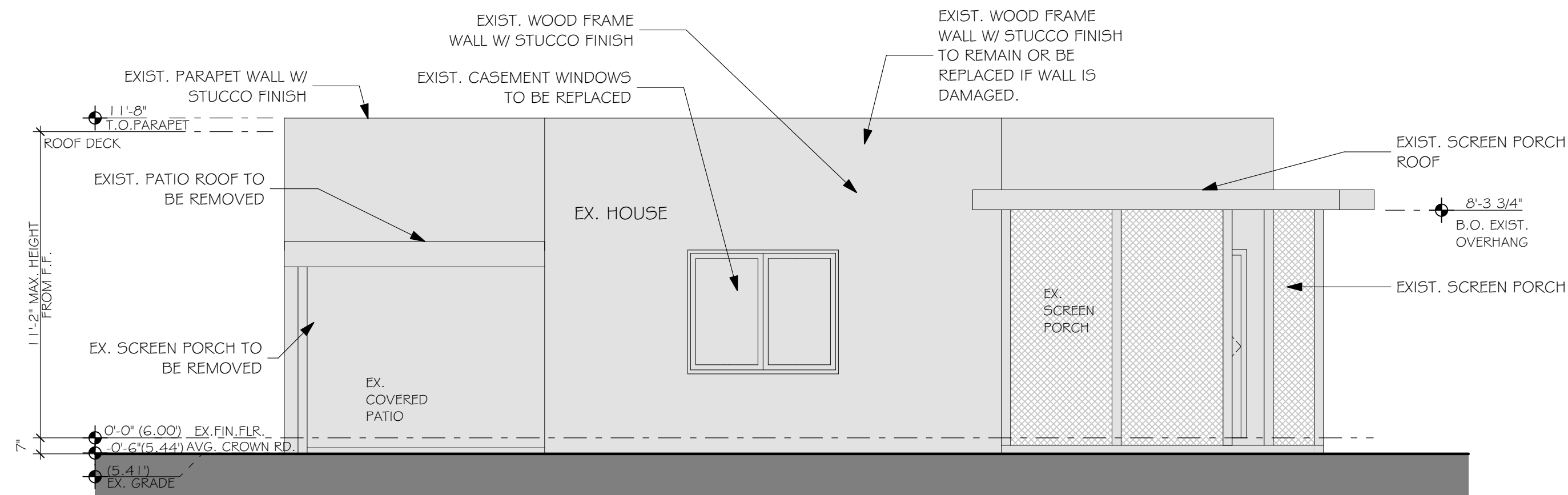
EXISTING EAST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



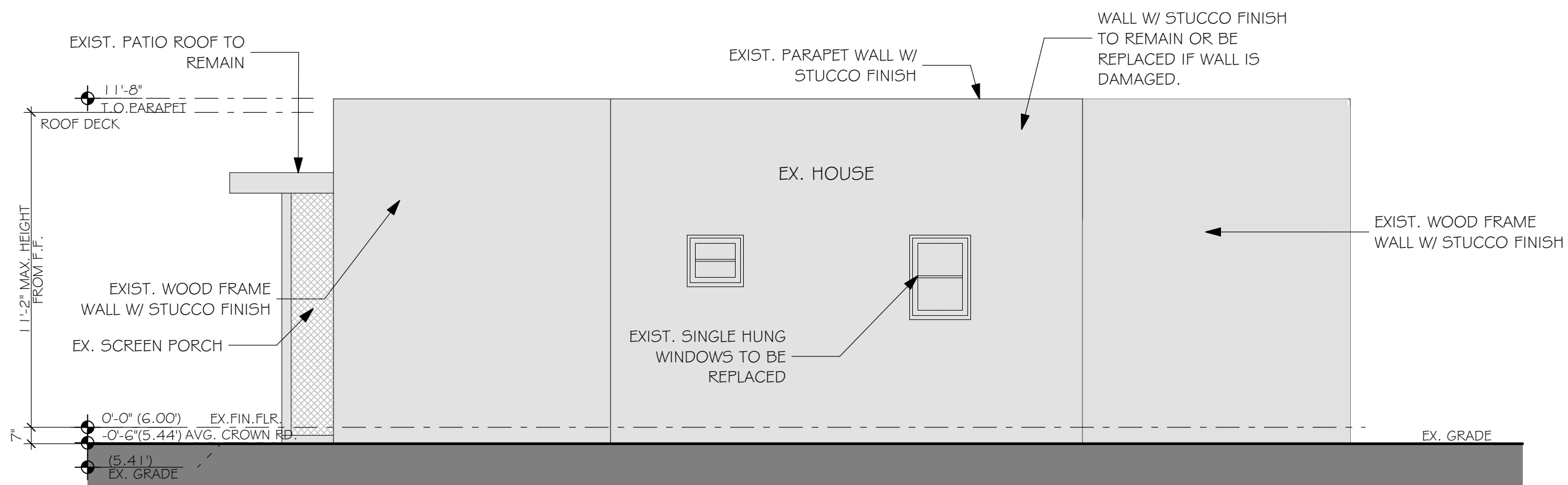
EXISTING WEST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



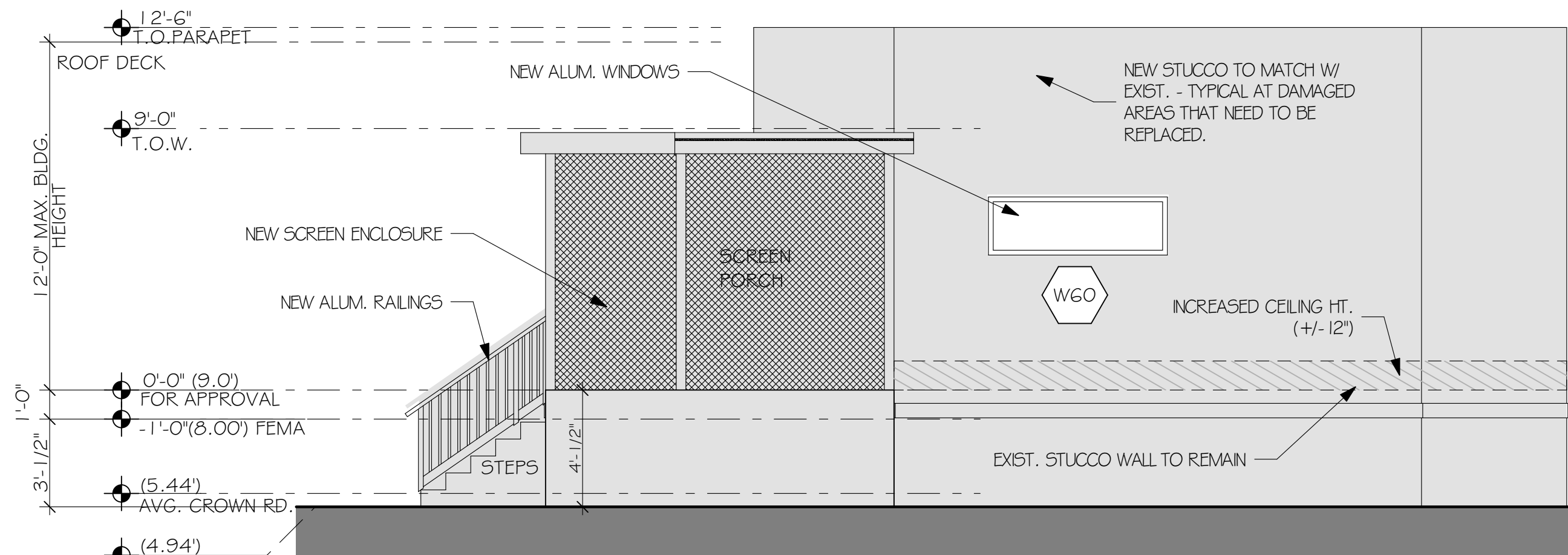
EXISTING SOUTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



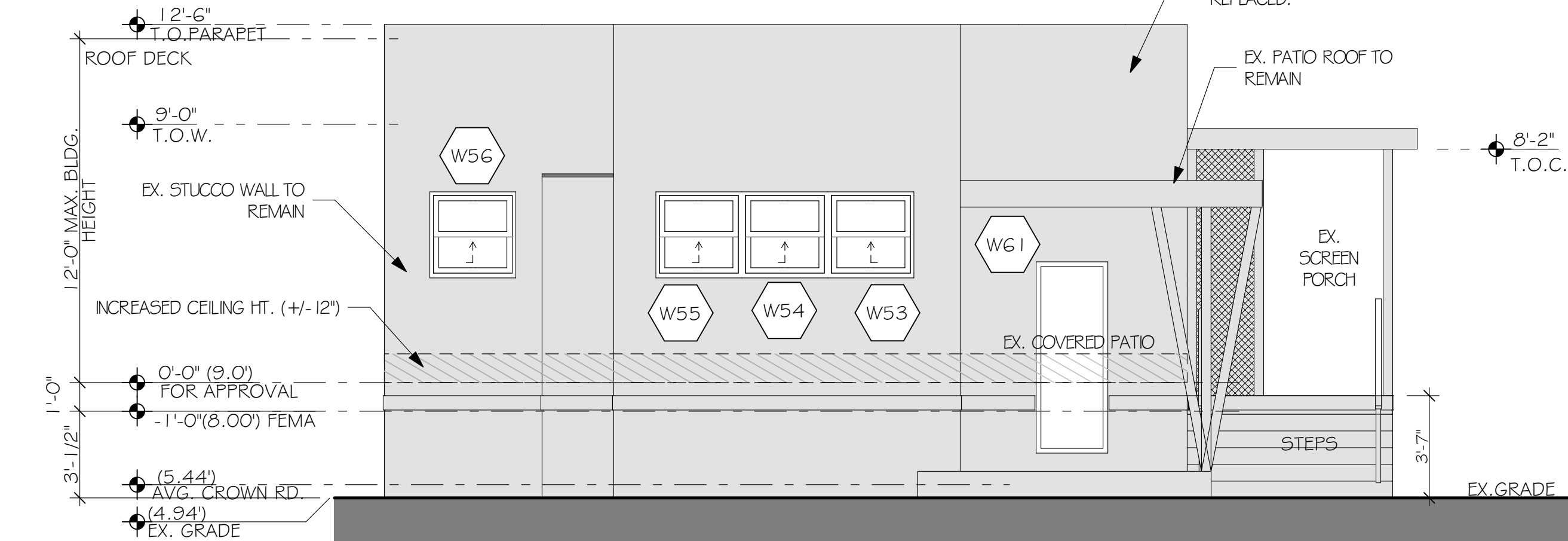
EXISTING NORTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



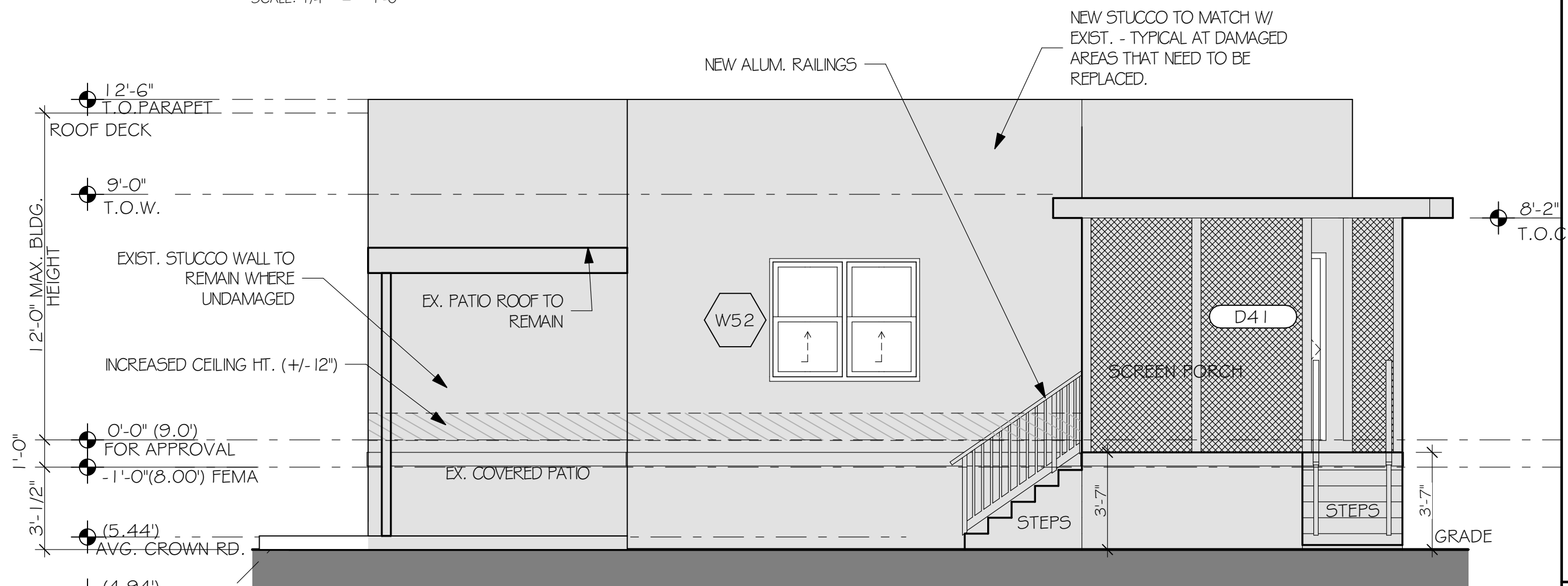
EAST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



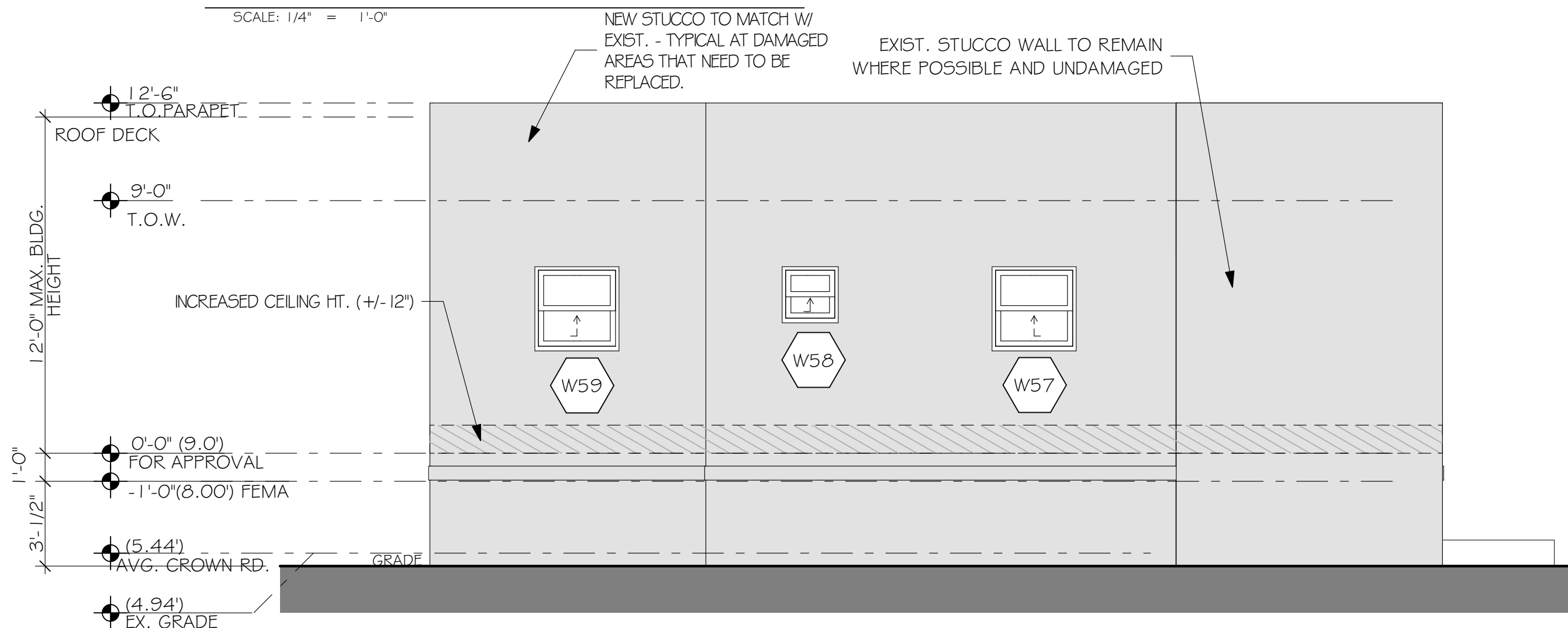
WEST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



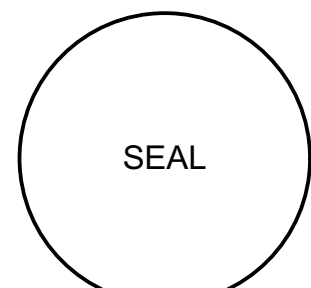
NORTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



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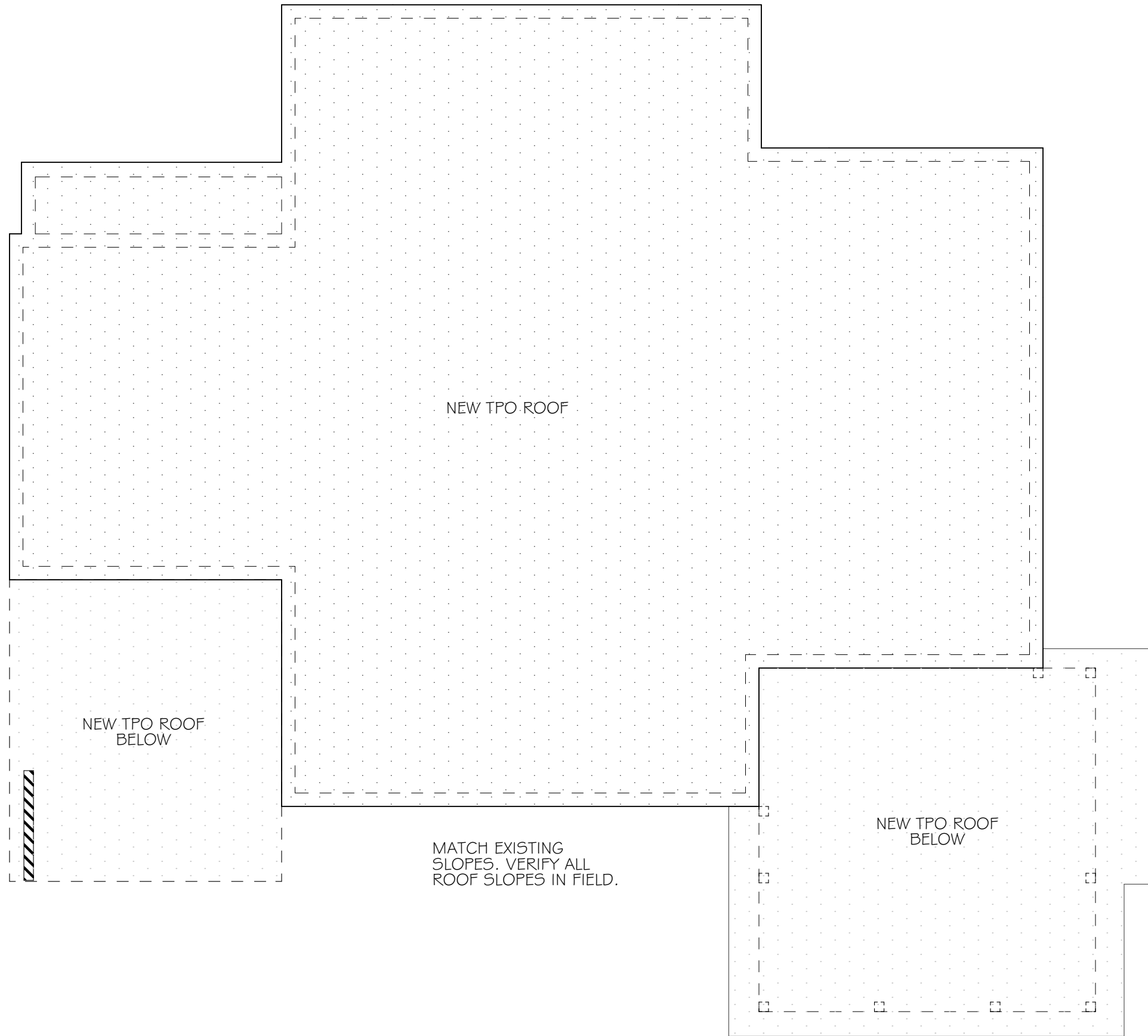
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PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 4 & 3D
VIEWS

A4.2



ROOF PLAN

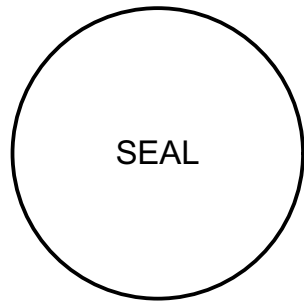
SCALE: 1/4" = 1'-0"

BUILDING #4



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REVISIONS:

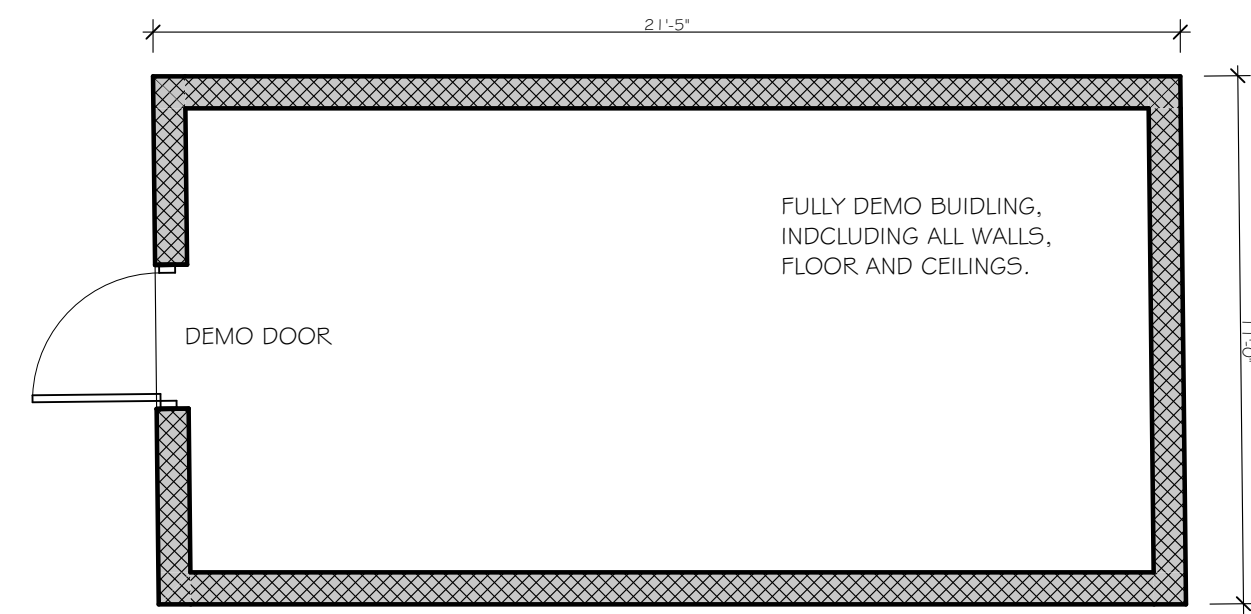
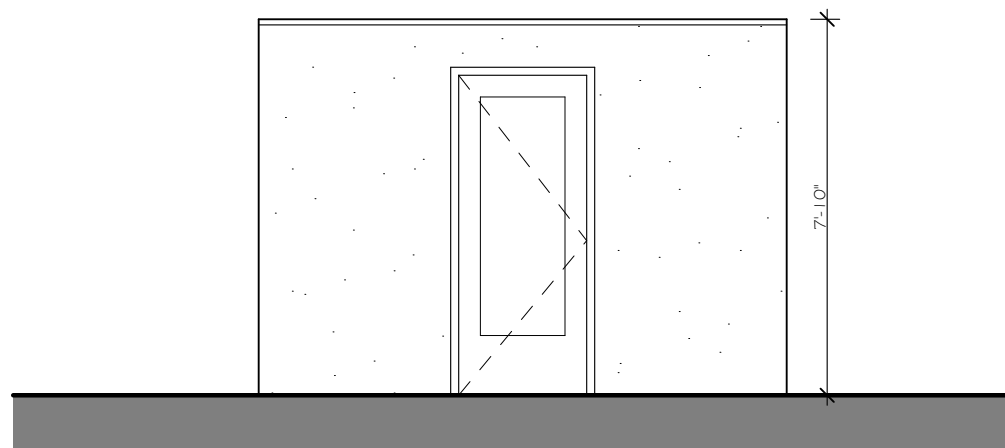
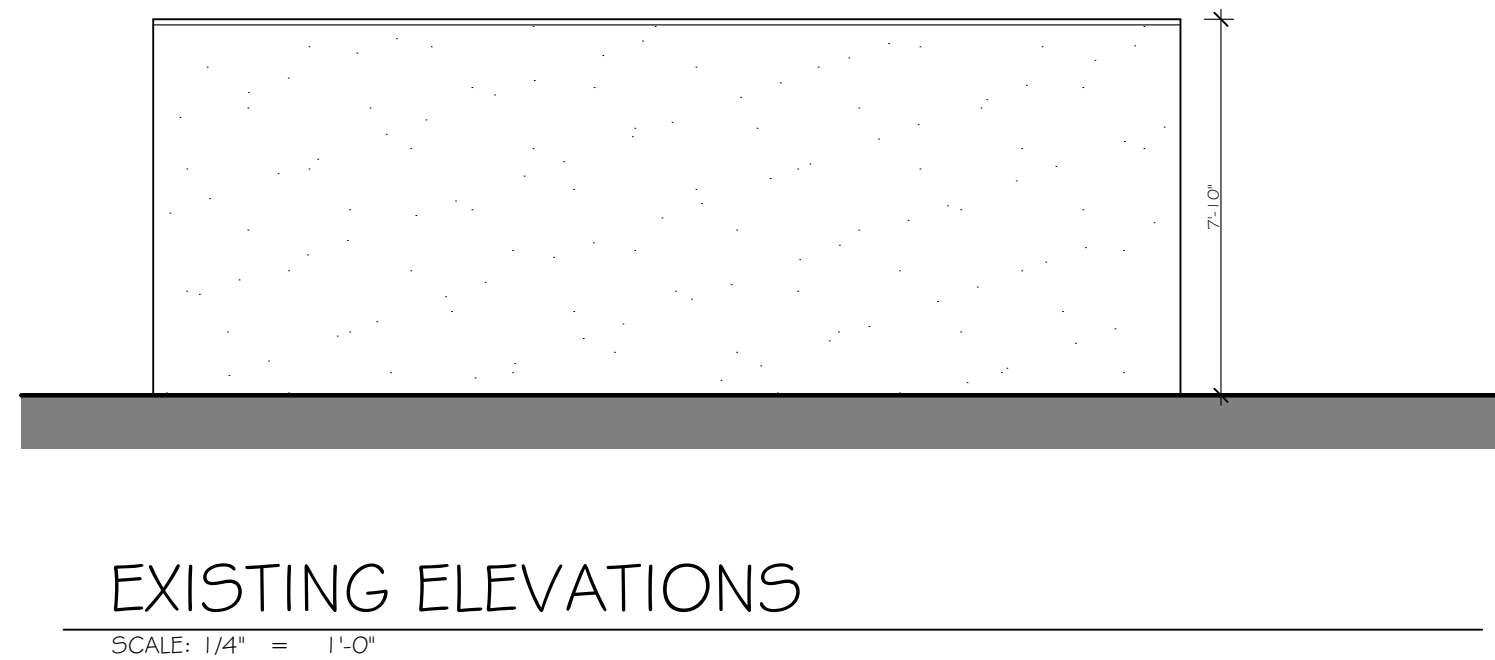
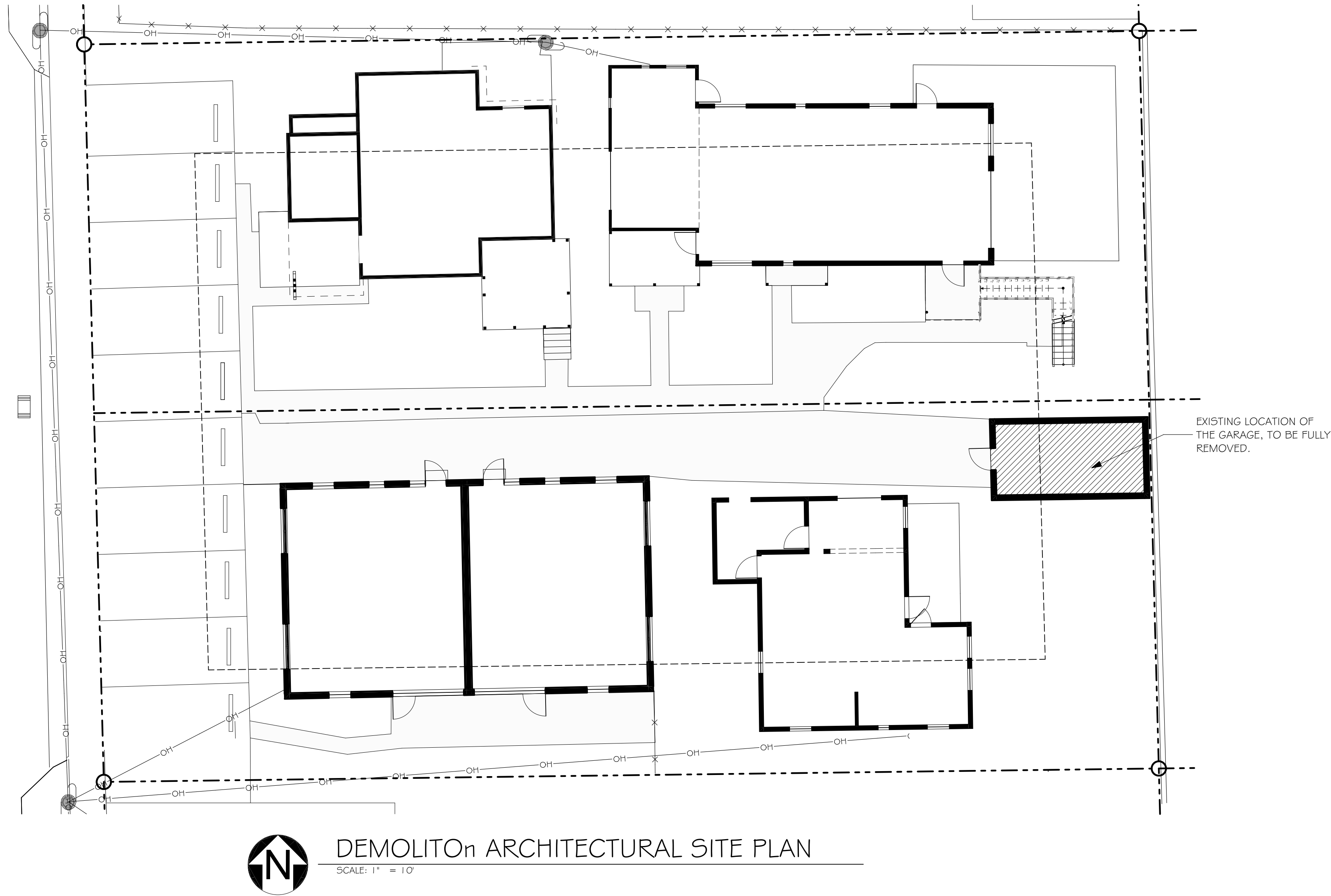
4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

ROOF PLAN

A4.3



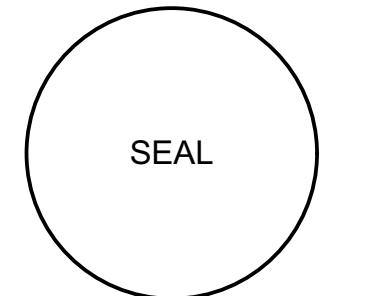
GARAGE DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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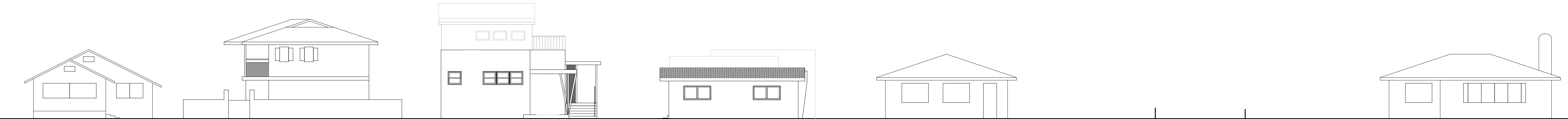
4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

GARAGE DEMOLITION
PLAN

A4.4



131 SE 7TH AVE.

142 MARINE WAY.

139 SE 7TH AVE.

143 SE 7TH AVE.

711 SE 2ND ST.

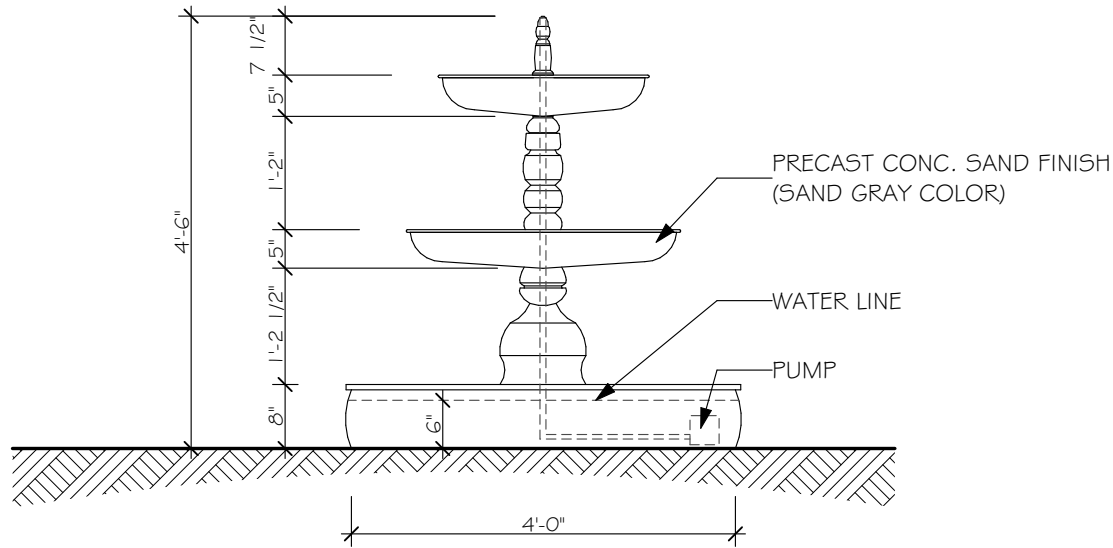
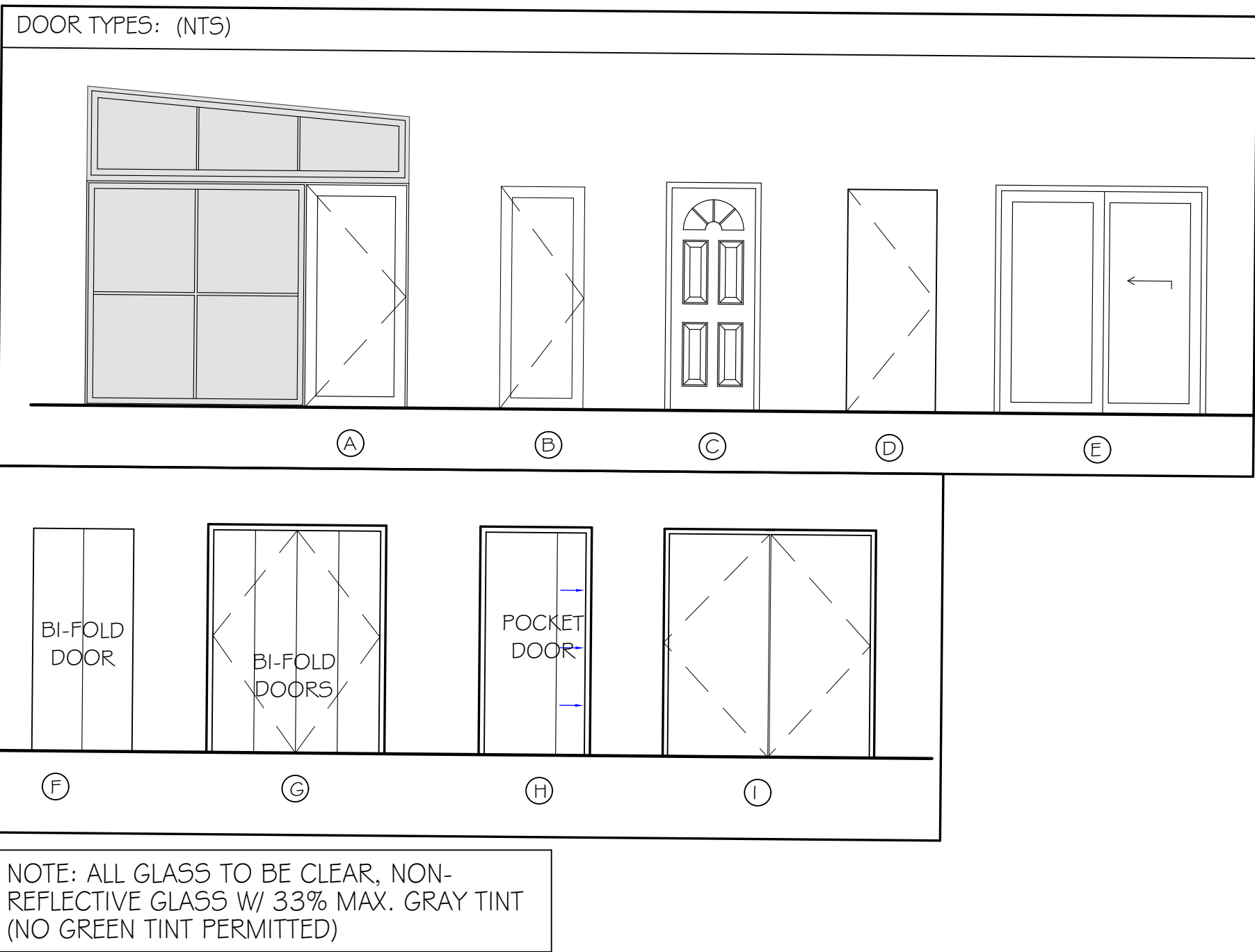
203 SE 7TH AVE.

HISTORIC STREETScape

SCALE: 1:137.14

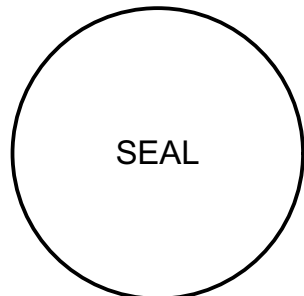
DOOR SCHEDULE:											
ID	W	HT	THK	MATERIAL	REQUIRED PRESSURES (PSF)	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	TYPE	TRDWR GROUP	COLOR	COMMENTS
D01	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	HALF LITE
D02	6'-0"	8'-0"	1 3/4"	SC WD	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS. DOORS
D03	6'-0"	8'-0"	1 3/4"	SC WD	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS. DOORS
D04A	2'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D04B	2'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D05	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	-	
D06	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D07	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	E	MANU	-	BIFOLD
D08	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D09	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D10A	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	F	MANU	-	POCKET
D10B	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D11	6'-0"	6'-8"	MANU	SC WD/GLS	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS DOOR
D12	2'-8"	6'-8"	1 3/4"	ALUM/GLS	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D13	9'-0"	MANU	ALUM/GLS	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS DOOR	
D15	2'-8"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D16	2'-8"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D17	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D18	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D19	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	F	PRIV	PRIV	POCKET
D20	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D21	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	E	PASS	WHT	DBL BYPASS
D22	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	F	MANU	WHT	POCKET
D23	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	E	PASS	WHT	DBL BYPASS
D24	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D25	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D26	2'-2"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D27	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D28	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D29	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D30	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D31	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D32	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D33	3'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D34	3'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D35	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D36	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D37	3'-8"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D38	3'-8"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D39	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D40	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D41	6'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	I	LOCK	DRK BRZ	
D42	5'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	DBL BIFOLD
D43	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D44	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D45	6'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	DBL BIFOLD
D46	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D47	4'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	

WINDOW SCHEDULE:												
ID	W	HT	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	TYPE	EGRESS	MATERIAL	GLAZE	COLOR	COMMENTS
W01	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W02	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W03	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W04	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W05	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W06	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	N	ALUM.	CLEAR GLASS	WHT	
W07	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	N	ALUM.	CLEAR GLASS	WHT	
W08	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W09	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W10	2'-9"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W11	2'-9"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W12	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W13	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W13A	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W14	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W15	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W16	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W17	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W18	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W19	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W20	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W21	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	Y	ALUM.	CLEAR GLASS	WHT	
W22	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W23	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W24	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W25	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W26	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W27	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W28	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W29	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W30	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W31	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W32	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W33	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W34	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W35	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W36	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W37	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W38	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W39	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W40	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W41	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W42	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W43	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W44	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W45	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W46	9'-8"	2'-10"	PER PLAN	PER NOA	20-0401.10	Y	FXD1	N	ALUM.	CLEAR GLASS	WHT	TRAPEZOID TRANSOM ABV D...
W47	9'-8"	2'-10"	PER PLAN	PER NOA	20-0401.10	Y	FXD1	N	ALUM.	CLEAR GLASS	WHT	TRAPEZOID TRANSOM ABV D...
W48	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W49	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W50	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W51	2'-4"	4'-2"	PER PLAN	PER NOA	20-0401.10	N	CSM2	N	ALUM.	CLEAR GLASS	WHT	
W52	5'-6"	4'-6"	PER PLAN	PER NOA	20-0402.02	N	FXD3	Y	ALUM.	CLEAR GLASS	WHT	
W53	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W54	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W55	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W56	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM4	Y	ALUM.	CLEAR GLASS	WHT	
W57	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM4	Y	ALUM.	CLEAR GLASS	WHT	
W58	2'-0"	2'-0"	PER PLAN	PER NOA	20-0401.10	N	CSM5	N	ALUM.	CLEAR GLASS	WHT	
W59	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W60	6'-2"	2'-0"	PER PLAN	PER NOA	20-0401.10	N	FXD2	N	ALUM.	CLEAR GLASS	WHT	
W61	2'-6"	6'-8"	PER PLAN	PER NOA	20-0401.10	N	FXD1	N	ALUM.	CLEAR GLASS	WHT	



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TEXAS 26934

WANG RESIDENCE
139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th AVE COA 6.21.23.pln



COLOR PERSPECTIVE A

NOT TO SCALE



COLOR PERSPECTIVE B

NOT TO SCALE



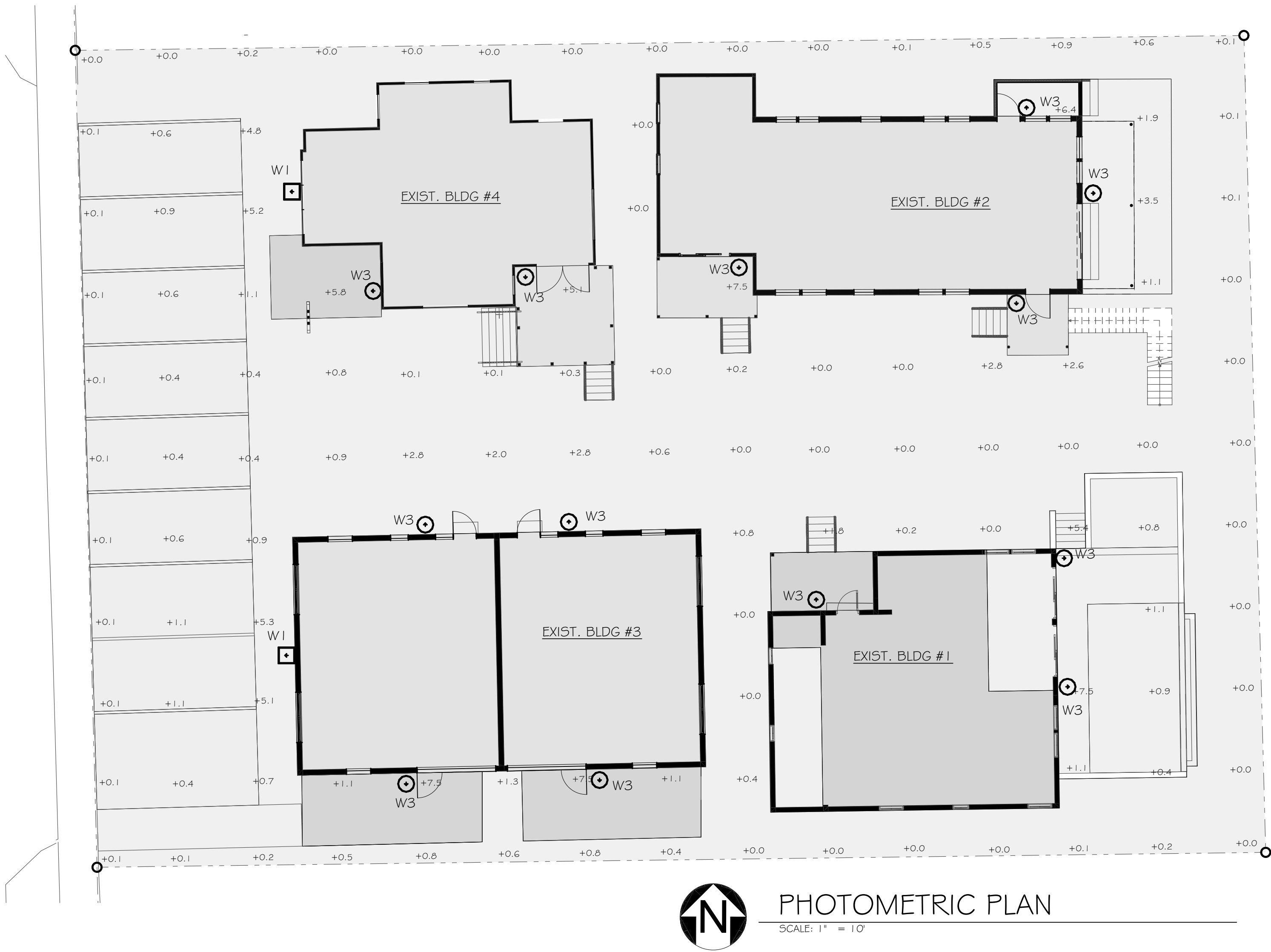
COLOR PERSPECTIVE C

NOT TO SCALE



COLOR PERSPECTIVE D

NOT TO SCALE



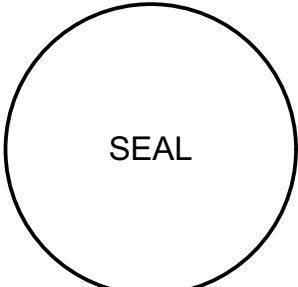
Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	W1	Single	2069	2069	0.900	20.1	20.1
	0	W2	Single	2931	2931	0.900	40	40
	13	W3	Single	976	976	0.900	11	11

LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
W1	WALL MOUNTED LUMINAIRE	IVUE	ENC-SA1A-740-U-T2-FINISH-HSS	UNV	4000K	2069	LED	0-10V	20W	WALL	1
W2	CYLINDRICAL DOWN LIGHT	LIGMAN	UMV-30052-2x20w-EW-T4-W40-FINSH-120/277V	UNV	4000K	2931	LED	0-10V	40W	WALL	1
W3	CYLINDRICAL DOWN LIGHT	LIGMAN	UMV-30001-11W-M-W40-FINSH-120/277V	UNV	4000K	976	LED	0-10V	11W	WALL	1
FIXTURE SCHEDULE NOTES											



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WANG RESIDENCE

139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

C.O.A. DRAWINGS

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED REPRODUCTION OR ANY OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

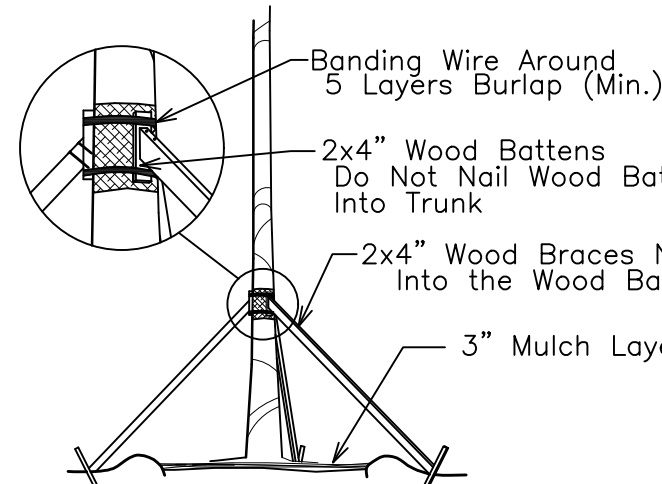
6 CITY COMMENTS (8.8.25)

COLOR PERSPECTIVES /
PHOTOMETRIC

A6.0

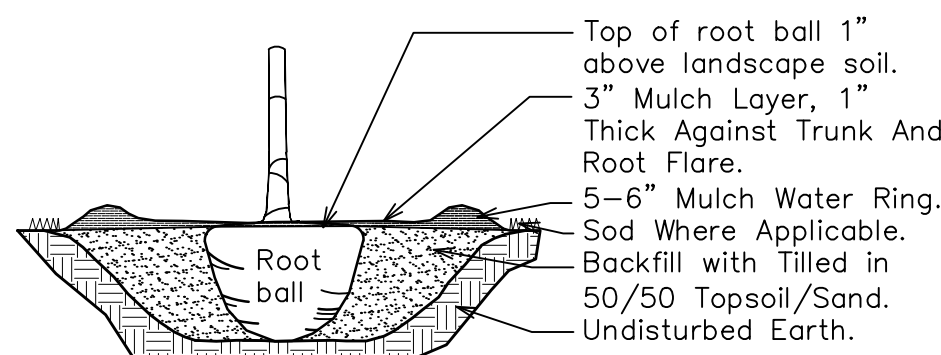
GENERAL LANDSCAPE NOTES

- The plan takes precedence over the plant list.
- 2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
- General site and berm grading to $\pm 1/4$ " 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.
- All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.
- All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- All planting beds shall be free of all rocks $1/2$ " or larger, sticks, and all objectionable non-native material including weeds, weed seeds. All limerock, road rock, asphalt shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all rocks, concrete, asphalt, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
- All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
- All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- All landscape and lawn areas are irrigated by an existing fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. One bubbler shall be provided for each tree. The system is operational with a rain sensor and rust inhibitor.
- No fertilizers are required.
- All landscape areas shall be covered with a 3" layer of Melaleuca mulch or Florimulch when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.
- All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
- Please refer to the planting details for a graphic representation of the above notes.
- All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Thomas L. White, ASLA-ISA.
- All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.
- A min. 5 feet horizontal clearance / horizontal separation is required between city utilities infrastructure and proposed small trees and 10 foot separation from large trees.



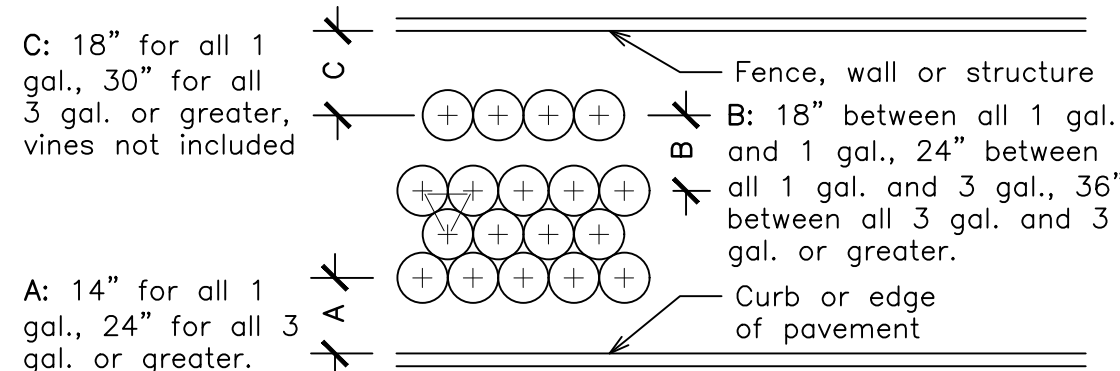
TREE/PALM BRACING DETAIL

NTS



TREE/PALM PLANTING DETAIL

NTS

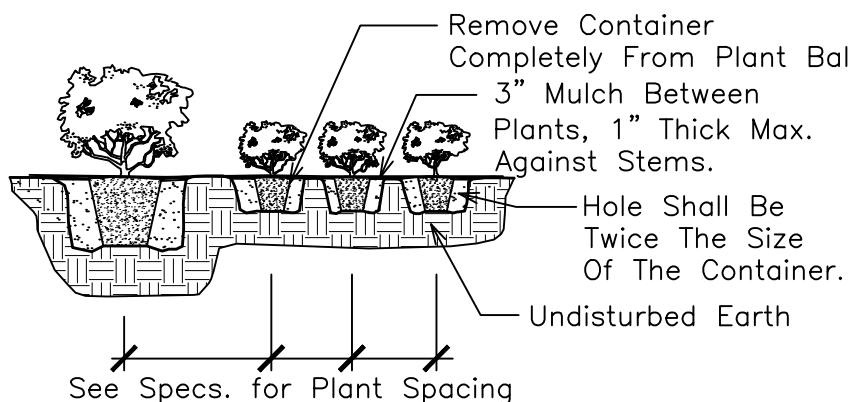


TYPICAL SHRUB SPACING DETAIL

NTS

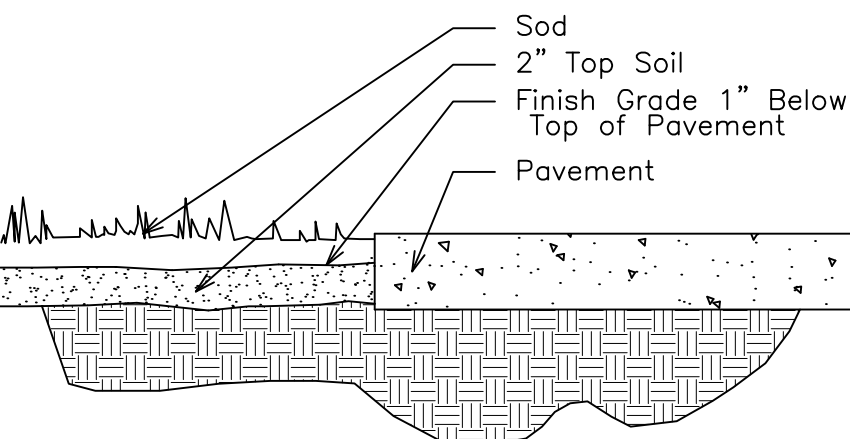
PLANT LIST

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
Proposed Trees / Palms				
AM	V	2	Adonidia merillii / Christmas Palm	16' OA Ht., 8' CT
CE	(N)	2	Conocarpus erectus sericeus / Silver Buttonwood	16' Ht X 7' Spr., 8' CT
FD	V	1	Filicium decipiens / Japanese Fern Tree	16' Ht X 7' Spr., 8' CT
IC	(N)	1	Ilex cassine / Dahoon Holly	16' Ht X 7' Spr., 8' CT
CO	(N)	2	Chrysophyllum oliviforme / Satin Leaf	16' Ht X 7' Spr., 8' CT
VM	V	3	Veitchia montgomeryana / Montgomery Palm	16' OA Ht., 8' CT
		8	Total Proposed Trees / Palms (AM and VM Counted 3:1)	
Native Trees				
		5	Native Trees	
		65%		
Accents / Shrubs				
ADV	V	1	Agave desmettiana / Variegated Agave	30"X30"
CFR	V	9	Cordyline fruticosa 'Red Sister' / Red Sister Ti Plant	3 Gal., 30"X12"
CHE	V	1	Chamaecyparis humilis / European Fan Palm	42-48" OA Ht.
CMF	V	2	Caryota mitis / Fishtail Palm	6' OA Ht.
CRI	(N)	7	Crinum asiaticum / Tree Crinum	30"X30"
CRO	V	28	Codiaeum variegatum 'Mammey' / Croton	3 Gal., 18"X18"
CRS	(N)	44	Clusia rosea / Small Leaf Clusia	36"X24", 24-30" OC
DAH	V	1	Dictyosperma album / Hurricane Palm	8' OA Ht.
DLA	V	21	Dypsis lutescens / Areca Palm	8' OA Ht.
ING	V	15	Ixora 'Nora Grant' / Pink Nora Grant Ixora	3 Gal., 18"X18"
JNS	V	13	Jasminum nitidum / Shining Jasmine	3 Gal., 18"X18"
MDS	V	17	Monstera deliciosa / Swiss Cheese Plant	3 Gal., 18"X18"
MFS	V	5	Myrcianthes fragrans / Simpson Stopper	8' OA Ht.
PMP	V	107	Podocarpus neri / Podocarpus	3 Gal., 24"X18", 2" OC
SAG	V	80	Schefflera arboricola / Green Dwarf Schefflera	3 Gal., 24"X24", 2" OC
SAT	V	9	Schefflera arboricola 'Trinette' / Variegated Arboricola	3 Gal., 24"X24", 2" OC
TDF	(N)	6	Tripsacum dactyloides / Fakahatchee Grass	24-30"X24-30", 42-48" OC
TRF	V	4	Thrinax radiata / Florida Thatch Palm	8' OA Ht.
VOS	V	15	Viburnum odoratissimum / Sweet Viburnum	3 Gal., 24"X24", 2" OC
VSS	V	3	Viburnum suspensum / Sandankwa Viburnum	3 Gal., 24"X24", 2" OC
		388	Total Shrubs	
Ground Covers / Sod				
ADM	V	18	Asparagus densiflorus 'Myers' / Foxtail Fern	1 Gal., 12" OA
BRO	V	5	Bromeliad spp. / Bromeliads	1 Gal., 8" OA
CFH	V	33	Cyrtomium falcatum / Holly Fern	1 Gal., 12" OA
DIA	V	13	Diets iridioides / African Iris	1 Gal., 12" OA
FMG	V	28	Ficus microcarpa / Green Island Ficus	3 Gal., 16" Spr.
JCS	V	14	Juniperus conferta / Green Juniper	1 Gal., 12" Spr.
JHB	V	37	Juniperus horizontalis / Blue Rug Juniper	1 Gal., 12" Spr.
LME	V	140	Liriope muscari 'eg' / Liriope Evergreen Giant	1 Gal., 12" OA
NEB	V	8	Nephrolepis exaltata / Boston Fern	1 Gal., 12" OA
A-Sod	M	By GC	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps
B-Sod	M	By GC	S.F. Paspalum notatum / Argentine Bahia - Sand Grown	Solid application - no gaps



SHRUB PLANTING DETAIL

NTS



SOD INSTALLATION DETAIL

NTS

CITY OF DELRAY BEACH CALCULATIONS

Multi Family Minimum Landscape Requirements

Sec 4.6.16. (H) (3)

	Required	Provided
Street Facing Foundation Shrubs	Contd. Shrubs	Contd. Shrubs
A/C Units Screen w/ Shrubs or Wood Fence	Hedge or Wood Fence	Both
Sod	Sod	Sod
ROW Sod	Sod	NA
Refuse Containers Screened	NA	Rear
Irrigation System	Irrigation System	Irrigation System
Parking Area:		1785 SF
Parking Interior Landscape Area:		420 SF
Landscape Barrier / 5' Perimeter where applicable:		1475 SF
Interior Landscape:		1820 SF
Foundation Landscape:		1275 SF
		4990 SF

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & LD 2.0

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

Thomas White

Digitally signed by Thomas White
Date: 2025.05.21
16:01:03 -04'00'

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
tcwhite@bellsouth.net
954-253-2265

REVISIONS

3/6/2025: Updated Existing Plant Material, Site Plan, and Parking Layout.
5/21/2025: Parking walk added.

Landscape Plan
Wang Residence
139-143 SE 7th Avenue
Deley Beach, Florida 33483

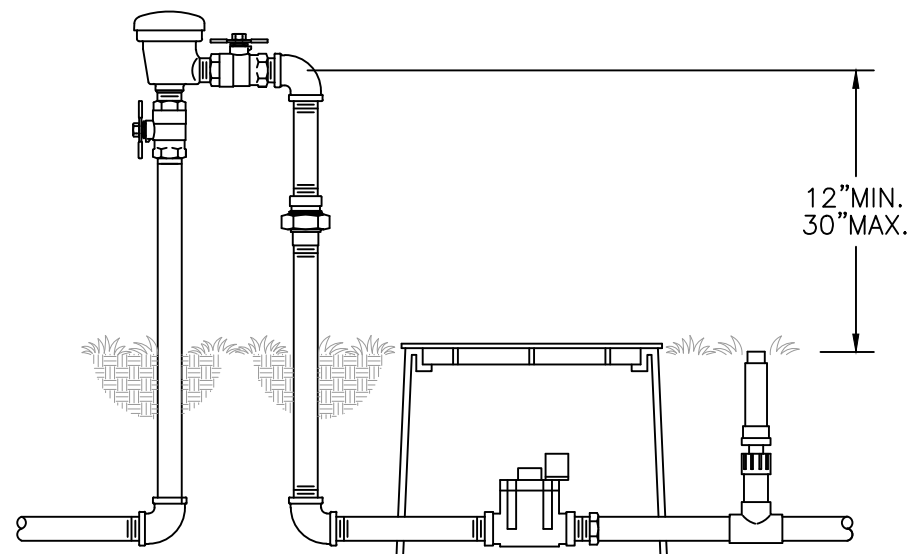
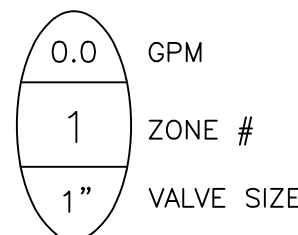


DRAWN: TW
CHECKED: TW
DATE: 10-12-2023
SCALE: 1"=10'

Sheet No.
L-2
Sheet 2 Of 4

IRRIGATION LEGEND:

- 1" MAIN LINE
- LATERAL ZONE LINES.
- 1" VACUUM BREAKER: Wilkins WK720A-100.
- CONTROLLER - Intermatic Electric 2or4 station controller.
- Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
- ZONE VALVES - Hunter PGV Series with SCV-100-VALVE-B Smart Valve Battery Controller.
- EXISTING CITY WATER METER.
- SLEEVES - Sch. 40, 2 Sizes Larger.
NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
- 6" POP-UP SPRAY - Hunter MP Rotator Series: Nozzles as Required.
NOTE - All of the below may not be used
- | | MP1000 | MP800 |
|--------------|--------|-------|
| 8-15' Radius | Q | q |
| 120 T | T | t |
| 180 H | H | h |
| 240 TT | TT | tt |
| 270 TQ | TQ | tq |
| 360 F | F | f |
- 6" POP-UP STREAM BUBBLER - Hunter 5-CST-B 5'R.
- SS-530 5 x 30'
- ES-515 5 x 15'



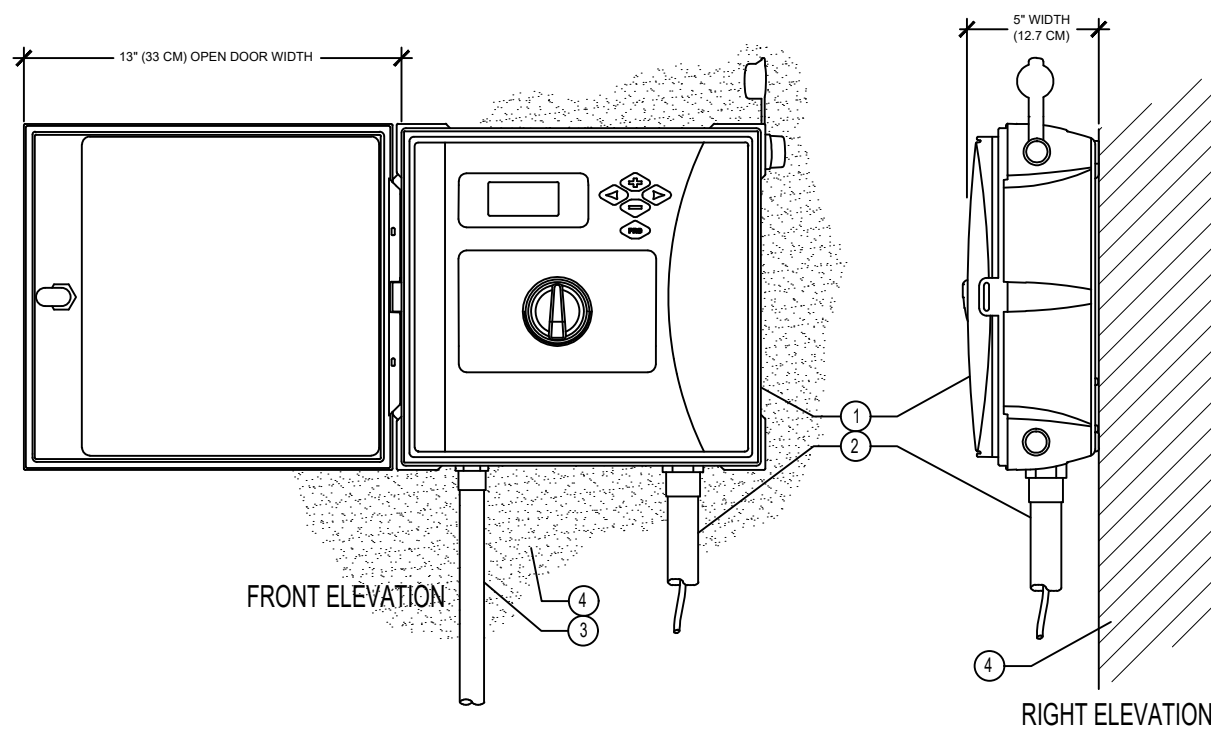
WILKINS MODEL 720A

NTS

LEGEND:

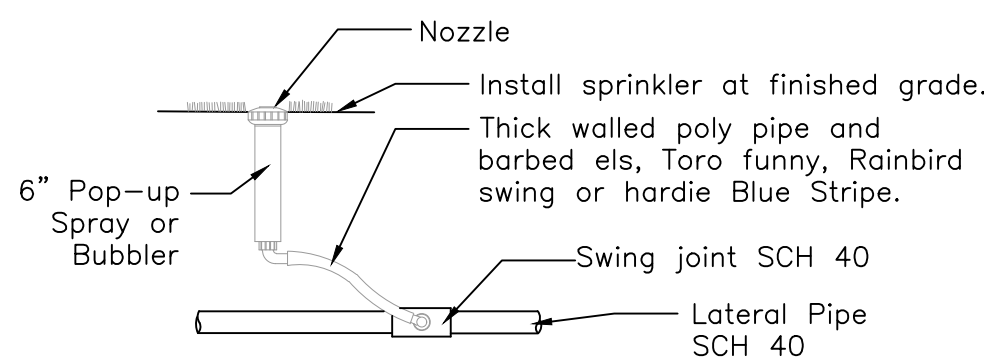
- IRRIGATION CONTROLLER
- IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
- ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, 1-BOX INSIDE CONTROLLER
- ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
- WIRELESS RAIN SENSOR

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 110 VAC POWER SOURCE



IRRIGATION CONTROLLER and RAIN CLIK SENSOR

NTS



6" Pop-up Spray / Bubbler Detail

NTS

IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 1 inch.
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

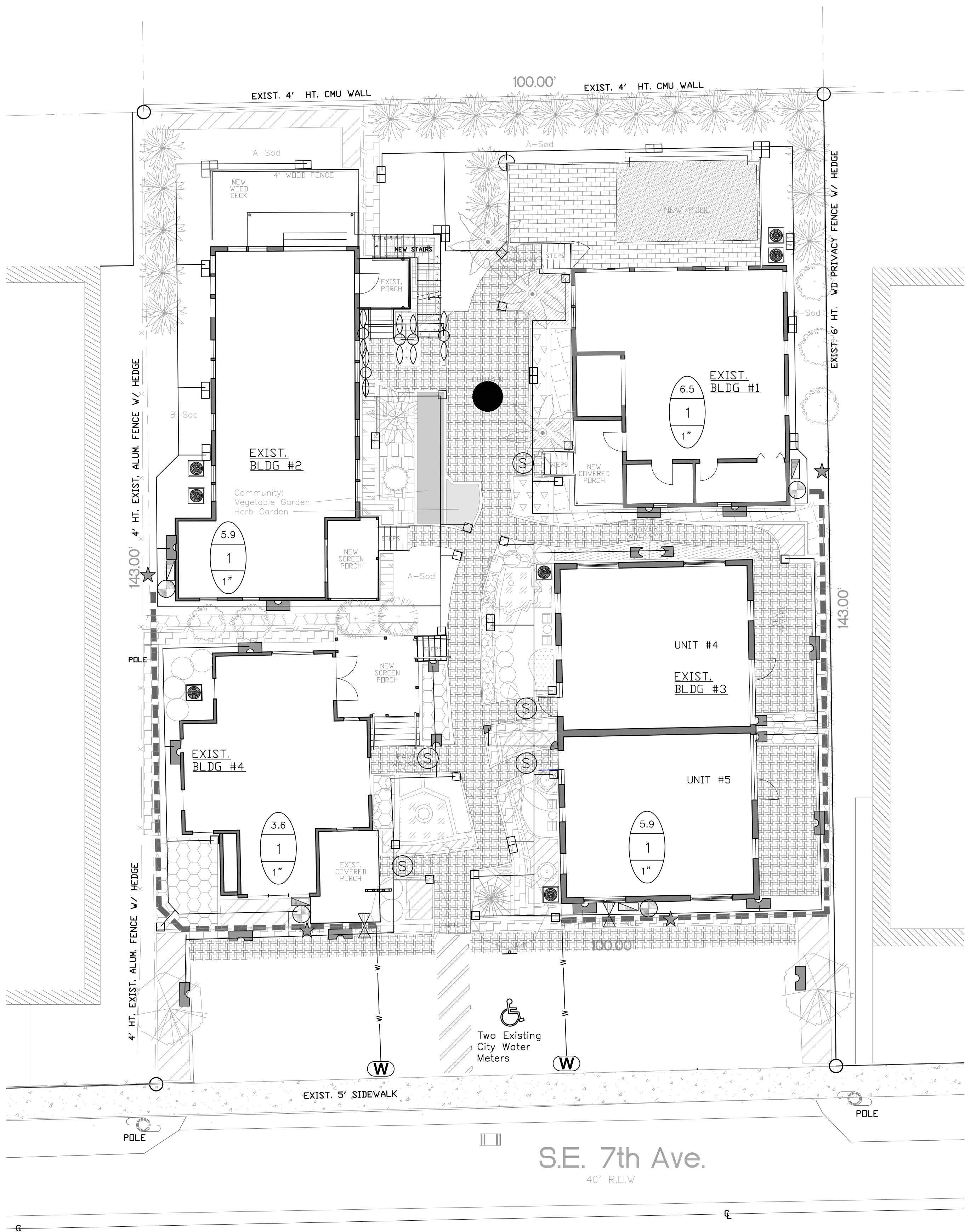
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



NOTE:

Each Building has it's own time clock, controller, and one irrigation zone.

Thomas
White

Digitally signed
by Thomas White
Date: 2025.05.21
16:01:49 -04'00'

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

DRAWN:
TW
CHECKED:
TW
DATE:
10-12-2023
SCALE: 1"=10'

Sheet No.
L-3
Sheet 3 Of 4

Irrigation Permit Plan

Wang Residence

139-143 SE 7th Avenue
Delray Beach, Florida 33483

REVISIONS

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
tcawhite@bellsouth.net
954-253-2265



PATH LIGHT

NTS



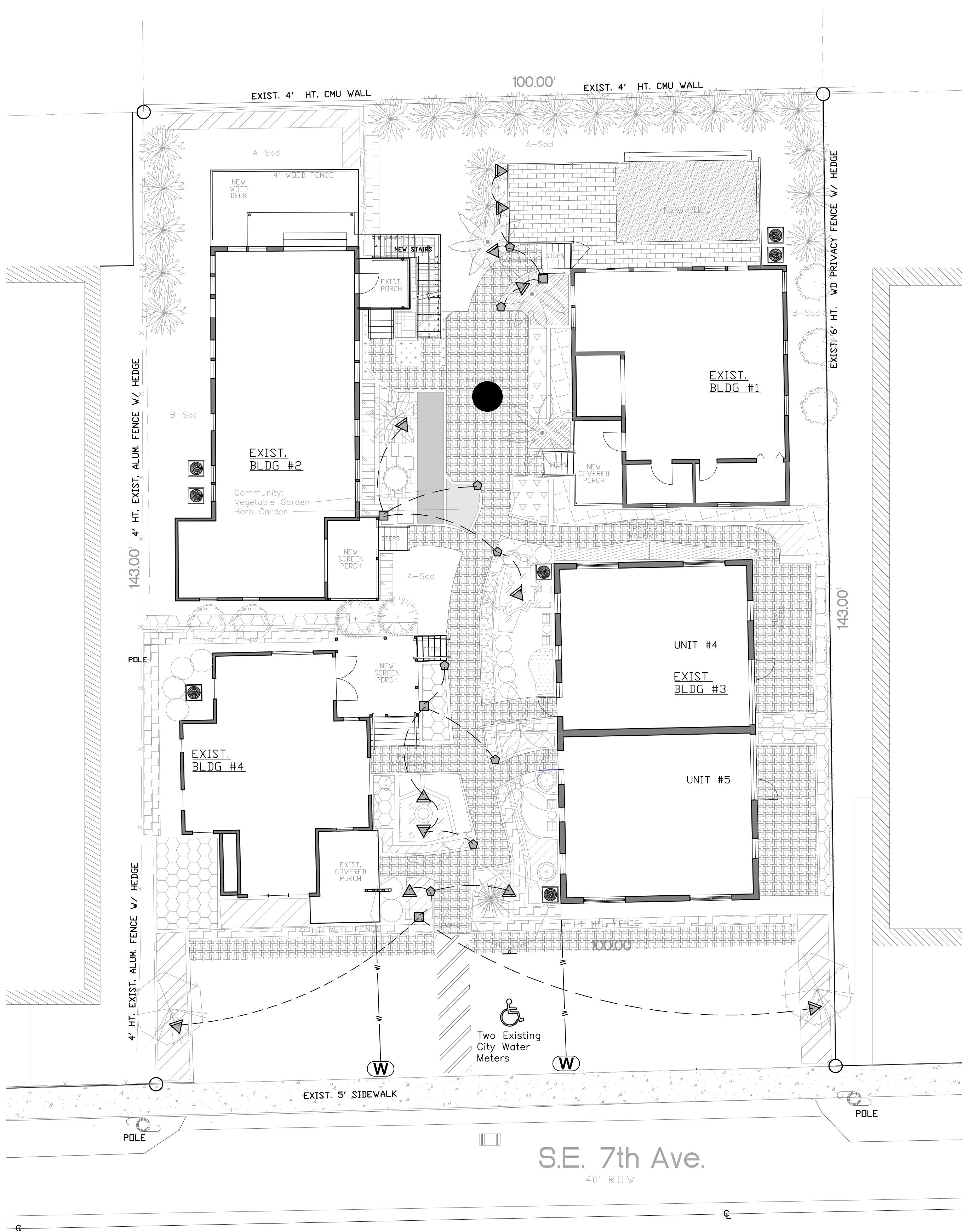
UP LIGHT (Typ.)

NTS

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE, FINISH	MANUFACTURER	ITEM NUMBER	LAMPS		VOLTS	REMARKS
				QTY	TYPE		
	UP LIGHT, BLACK	Kichler	16020BKT30	1	12 Watt LED	12-LED	Available Locally at Light Bulbs Unlimited, Factory Direct or online at Wayfair or Amazon.
	PATH LIGHT BLACK	Kichler	15845BKT	1	11.6 Watts	12-LED	
	TRANSFORMER, BLACK	Kichler	TBD		65 Watts	120	

NOTE:
THIS LOW VOLTAGE SYSTEM HAS BEEN DESIGNED FOR MAXIMUM SAVNGS
THE LAYOUT HAS MINIMIZED THE RUNNING LENGTH OF THE WIRING



THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
tcawhite@bellsouth.net
954-253-2265

REVISIONS

Irrigation Permit Plan
Wang Residence
139-143 SE 7th Avenue
Delray Beach, Florida 33483



DRAWN:
TW
CHECKED:
TW
DATE:
10-12-2023
SCALE: 1"=10'

Sheet No.
L-4
Sheet 4 Of 4

Thomas
White

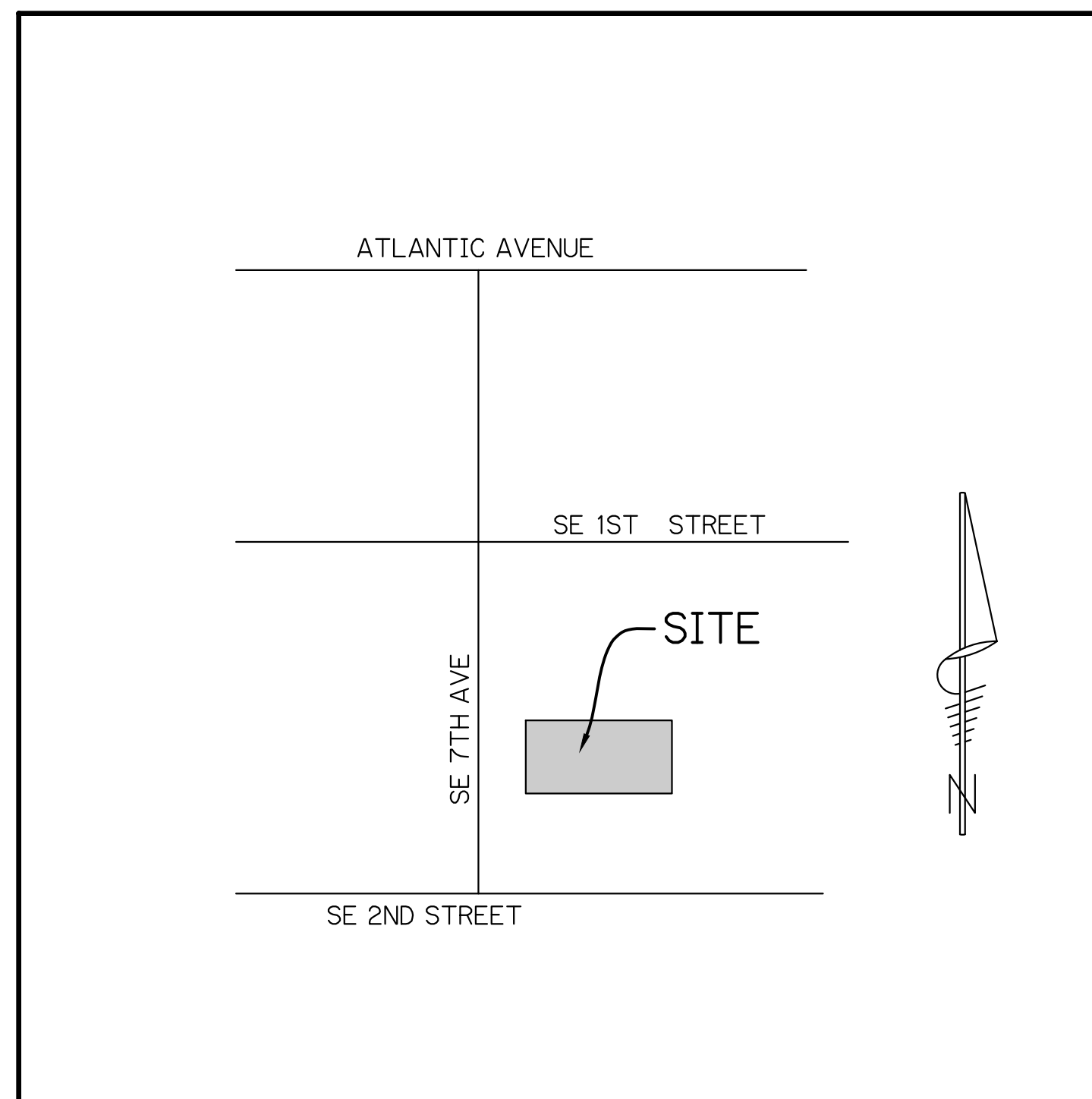
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Thomas White
Date: 2025.05.21
16:02:27 -04'00'



Call 811 or www.sunshine811.com two full
business days before digging to have utilities
located and marked.

Check positive response codes before you dig!

PAVING, GRADING, & DRAINAGE PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL



LOCATION MAP

N.T.S.
SEC. 16 TWP. 46 S RGE. 43 E

INDEX OF SHEETS

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	DEMOLITION PLAN
3	PAVING, GRADING, & DRAINAGE PLAN
4-5	PAVING, GRADING, & DRAINAGE DETAILS



PREPARED BY:

Last Devenport, Inc.

1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872
EB 9889

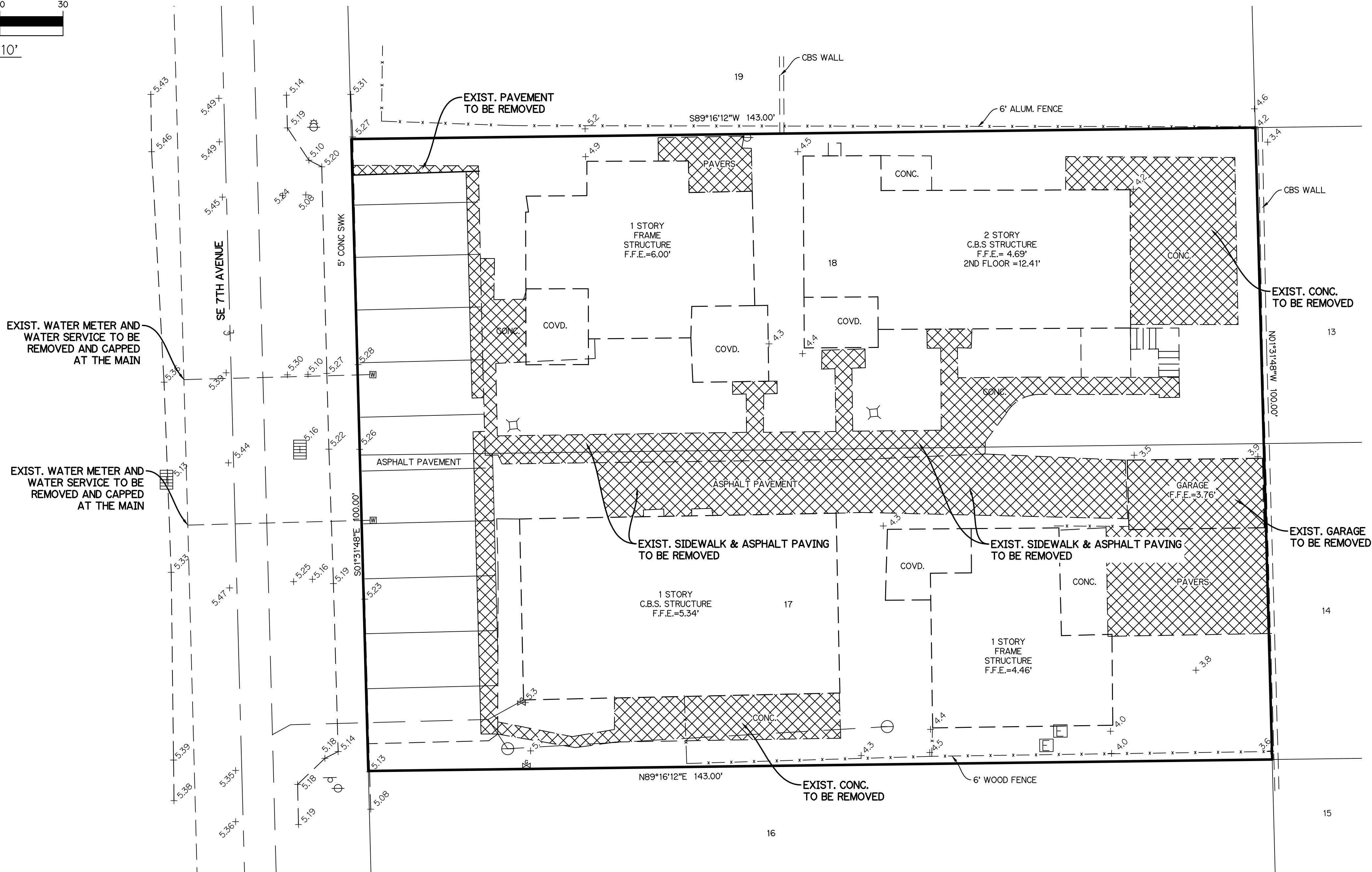
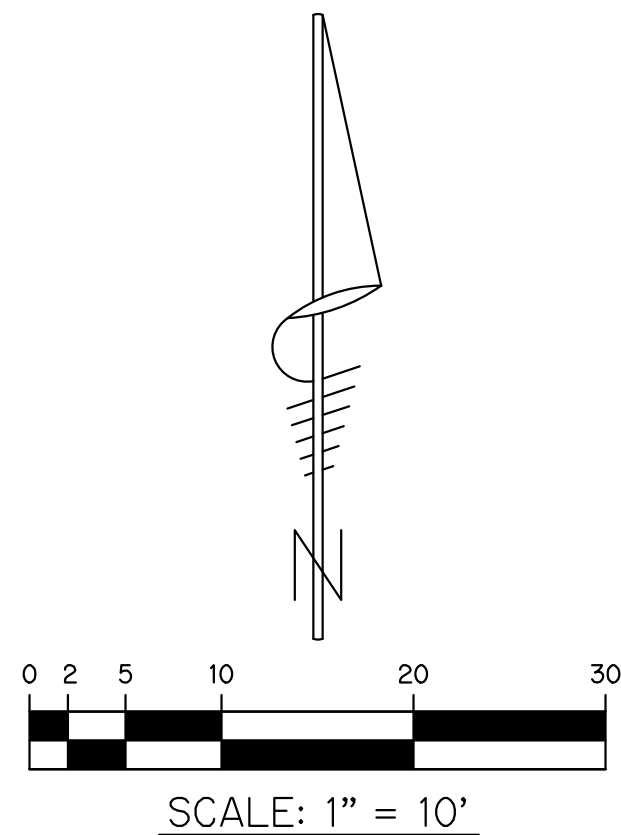
PRELIMINARY ☐
PROGRESS SET ☐
BID SET ☐
PERMIT SET ☐
CONSTRUCTION SET ☐

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD

SHEET 1 OF 5

23-053 139/143 SE 7TH AVE



LEGEND:

EXISTING CATCH BASIN	■
EXISTING CLEANOUT	○
EXISTING ELECTRIC BOX	□
EXISTING ELEVATION	x 0.00
EXISTING GAS VALVE	⊗
EXISTING LIGHT POLE	⊕
EXISTING POWER POLE	⊙
EXISTING POWER POLE W/ LIGHT	⊗
EXISTING SIGN	⊕
EXISTING WATER METER	⊗
FINISH FLOOR ELEVATION	F.F.E.

- NOTES:**
1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY PERIMETER SURVEYING & MAPPING, PROJECT NUMBER 20250, DATED 12/08/2020.
 2. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.

DEMOLITION PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CK

EB 9889

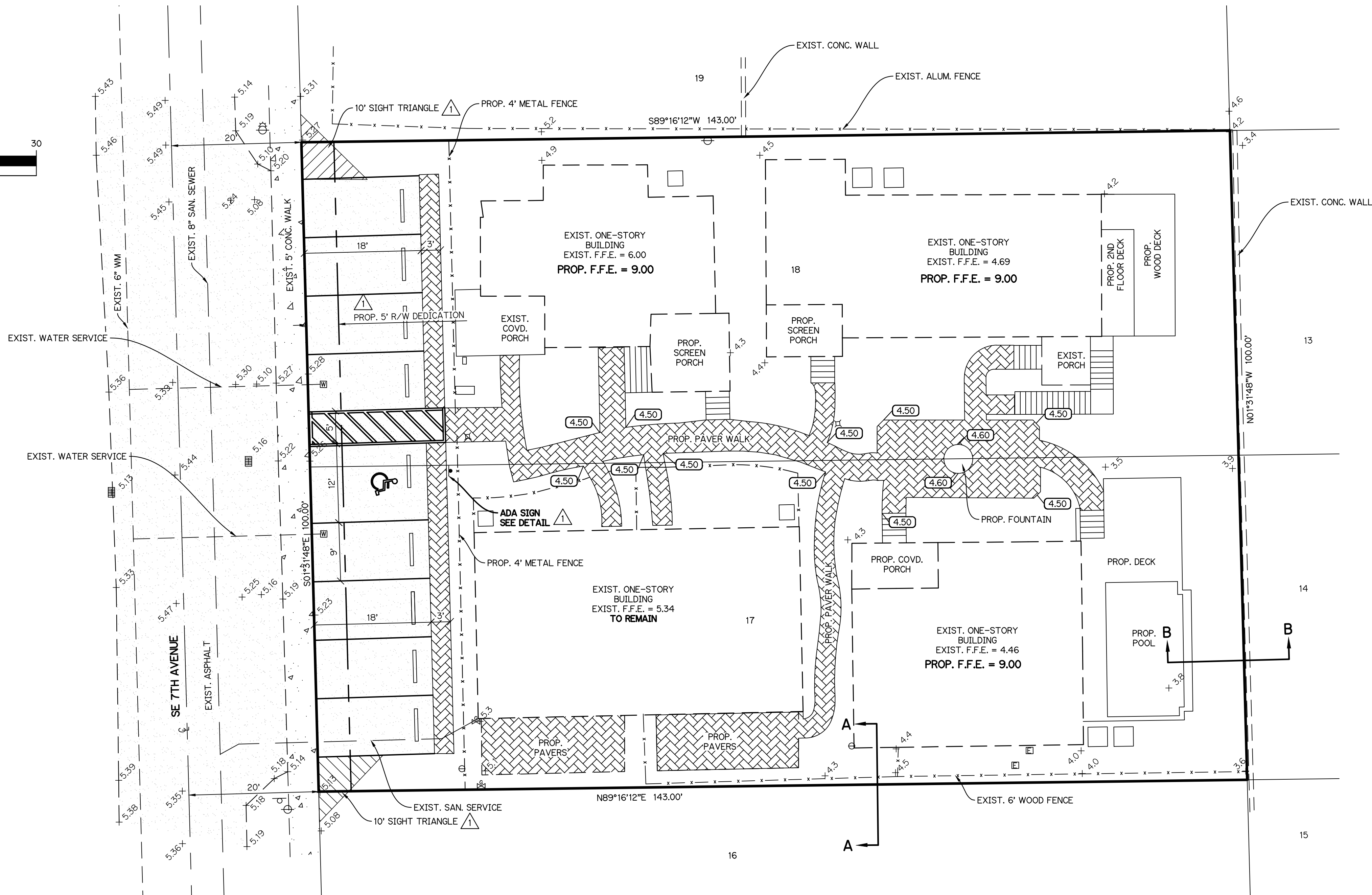
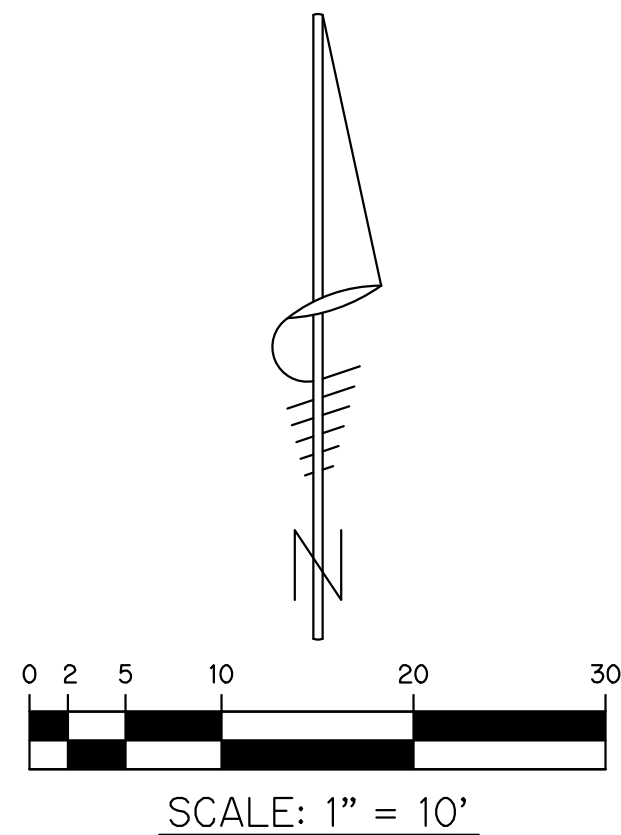
LDi Last Devenport, Inc.

1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: 1"=10'
DATE: AUG 2023
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 PD

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD



LEGEND:

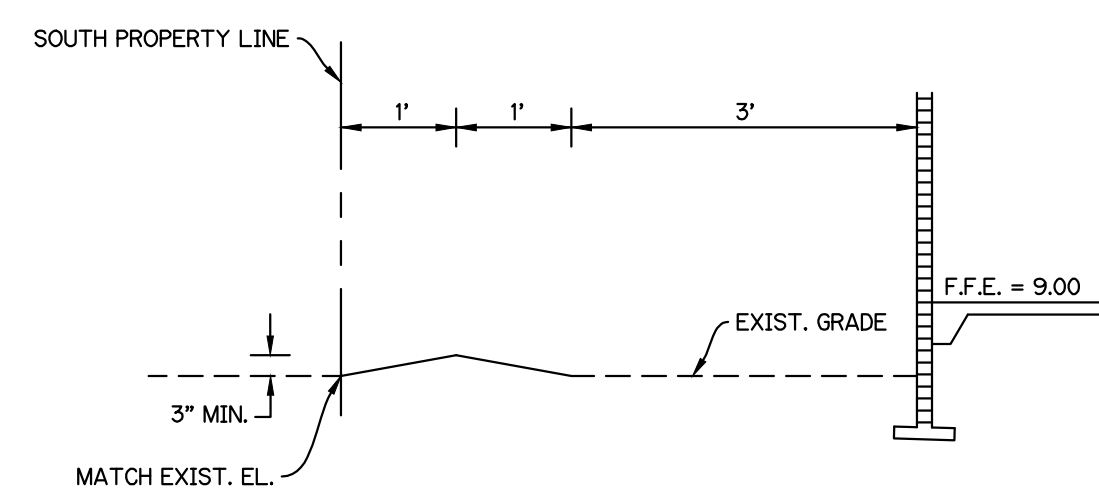
DIRECTION OF FLOW	
EXISTING CATCH BASIN	
EXISTING CLEANOUT	
EXISTING ELECTRIC BOX	
EXISTING ELEVATION	
EXISTING GAS VALVE	
EXISTING LIGHT POLE	
EXISTING POWER POLE	
EXISTING POWER POLE W/ LIGHT	
EXISTING SIGN	
EXISTING WATER METER	
FINISH FLOOR ELEVATION	
PROPOSED ELEVATION	

WATER MANAGEMENT CALCULATIONS:

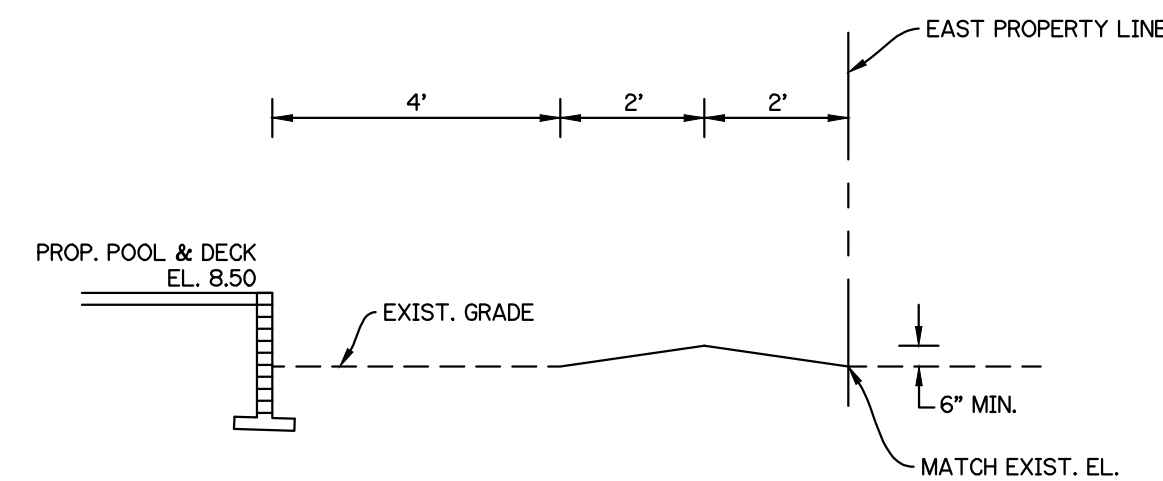
TOTAL LOT AREA = 14,301 SF
EXIST. PERVIOUS AREA = 4,489 SF (31%)
EXIST. IMPERVIOUS AREA = 9,812 SF (69%)
PROP. PERVIOUS AREA = 5,169 SF (36%)
PROP. IMPERVIOUS AREA = 9,132 SF (64%)
PROPOSED IMPROVEMENTS RESULT IN A 5% DECREASE IN IMPERVIOUS AREA.
Q EXIST. = 10,025 CF
Q PROP. = 9,608 CF
NO ADDITIONAL STORMWATER RETENTION REQUIRED.

NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY PERIMETER SURVEYING & MAPPING, PROJECT NUMBER 20250, DATED 12/08/2020.
2. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
3. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.
4. ALL DRY UTILITIES TO THE BUILDING SHALL BE UNDERGROUND.



SECTION "A-A"
NOT TO SCALE



SECTION "B-B"
NOT TO SCALE

PAVING, GRADING, & DRAINAGE PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK
△ REV. PER TAC COMMENTS	3/5/25	SAS	RWL

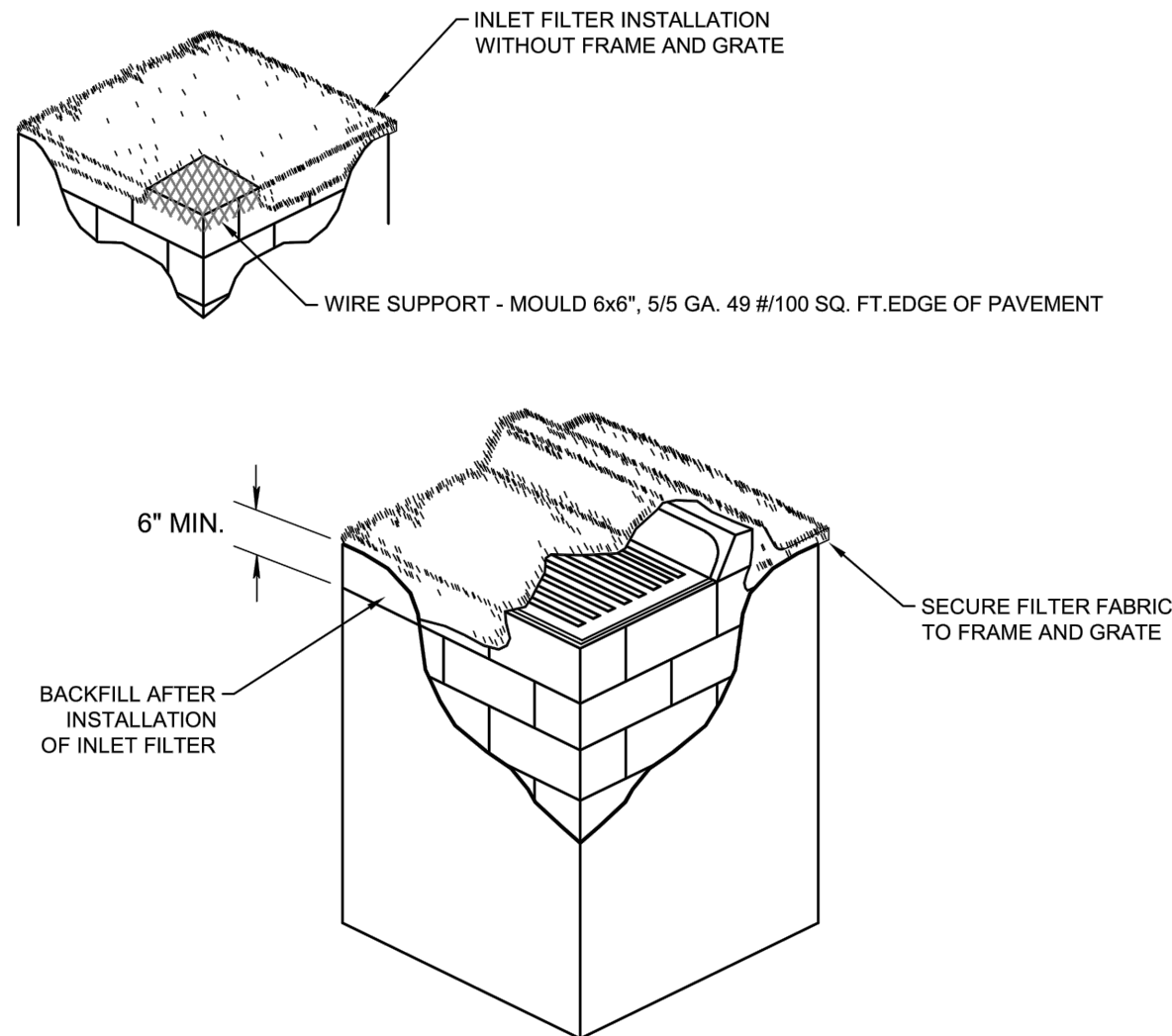
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West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

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CHECKED BY:RWL
DRAWING FILE:
23-053 PD

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD

SHEET 3 OF 5



NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL
N.T.S.

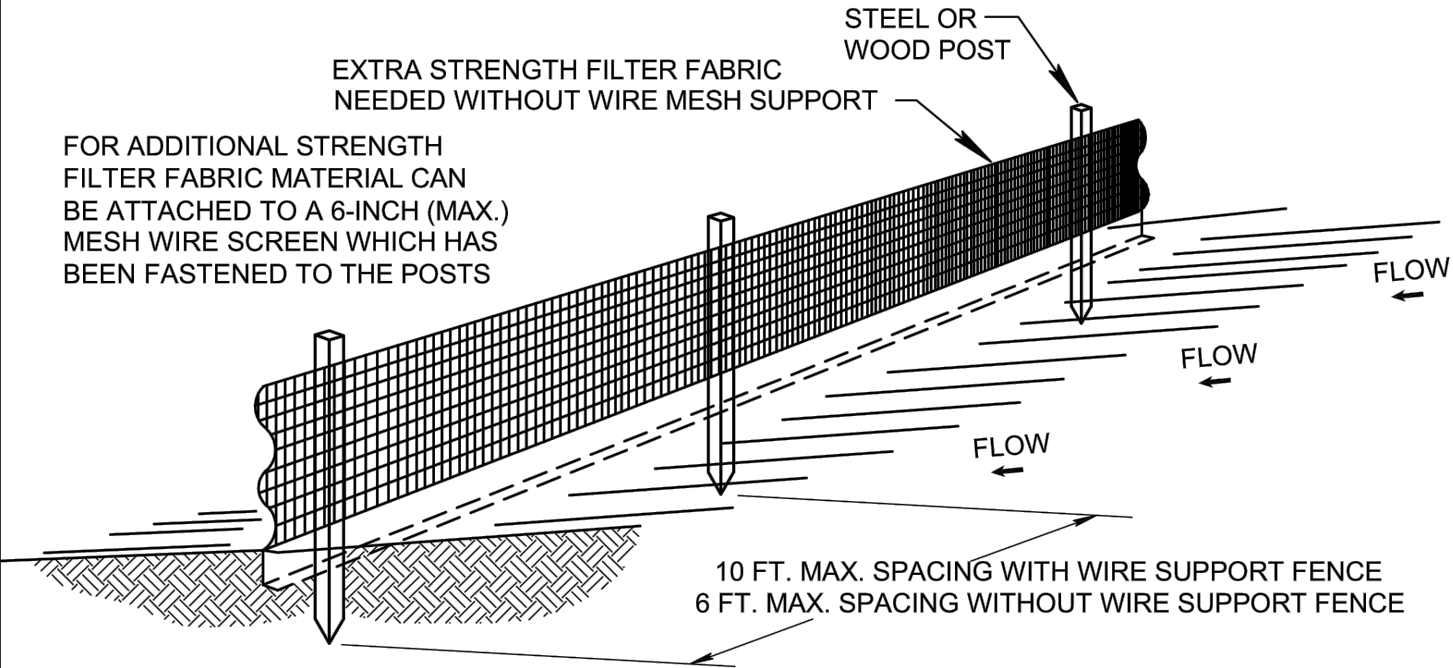
DATE: 10-04-2024
D 10.0

- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.

- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES
N.T.S.

DATE: 10-04-2024
D 11.0

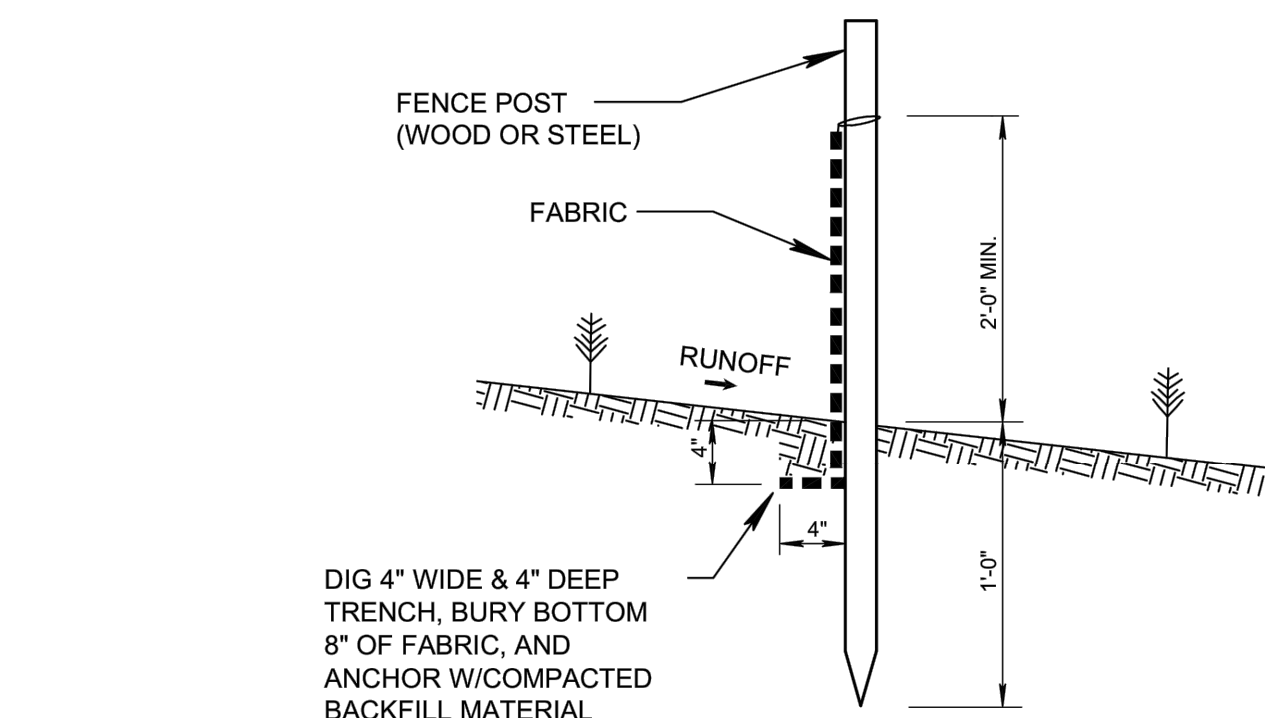


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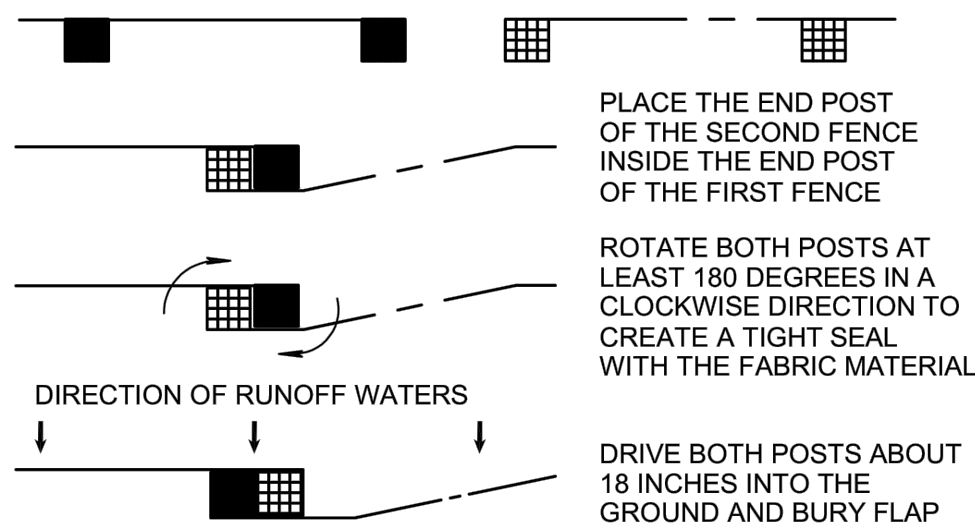
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION
DETAIL 1 OF 2
N.T.S.

DATE: 10-04-2024
D 12.0



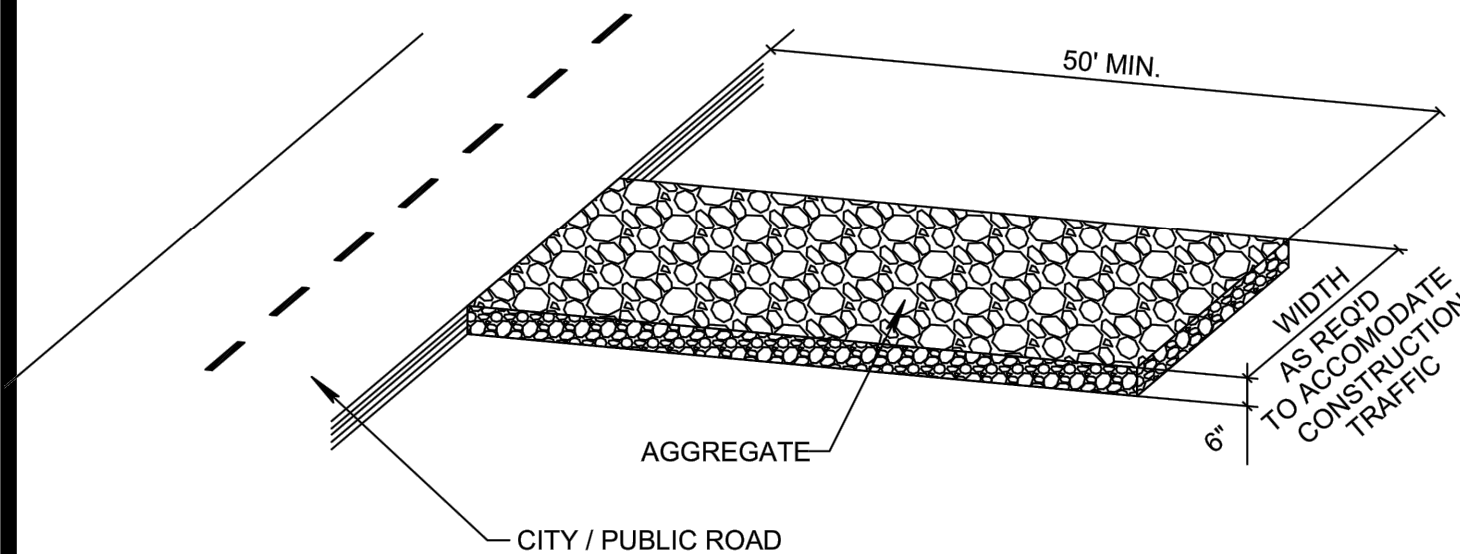
SILT FENCE SECTION
NOT TO SCALE



ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION
DETAIL 2 OF 2
N.T.S.

DATE: 10-04-2024
D 12.1

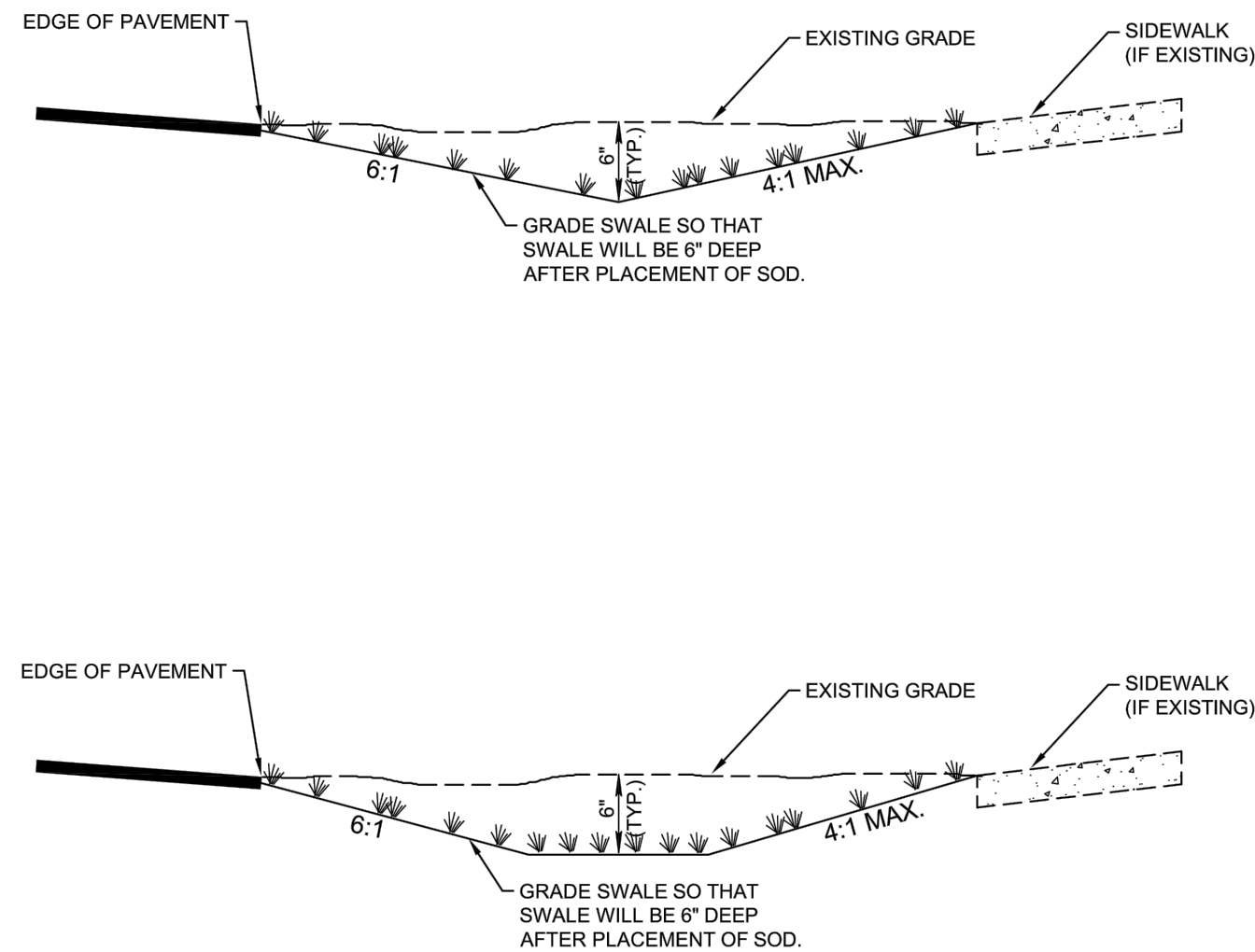


NOTE:

A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION
ENTRANCE DETAIL
N.T.S.

DATE: 10-04-2024
D 13.0

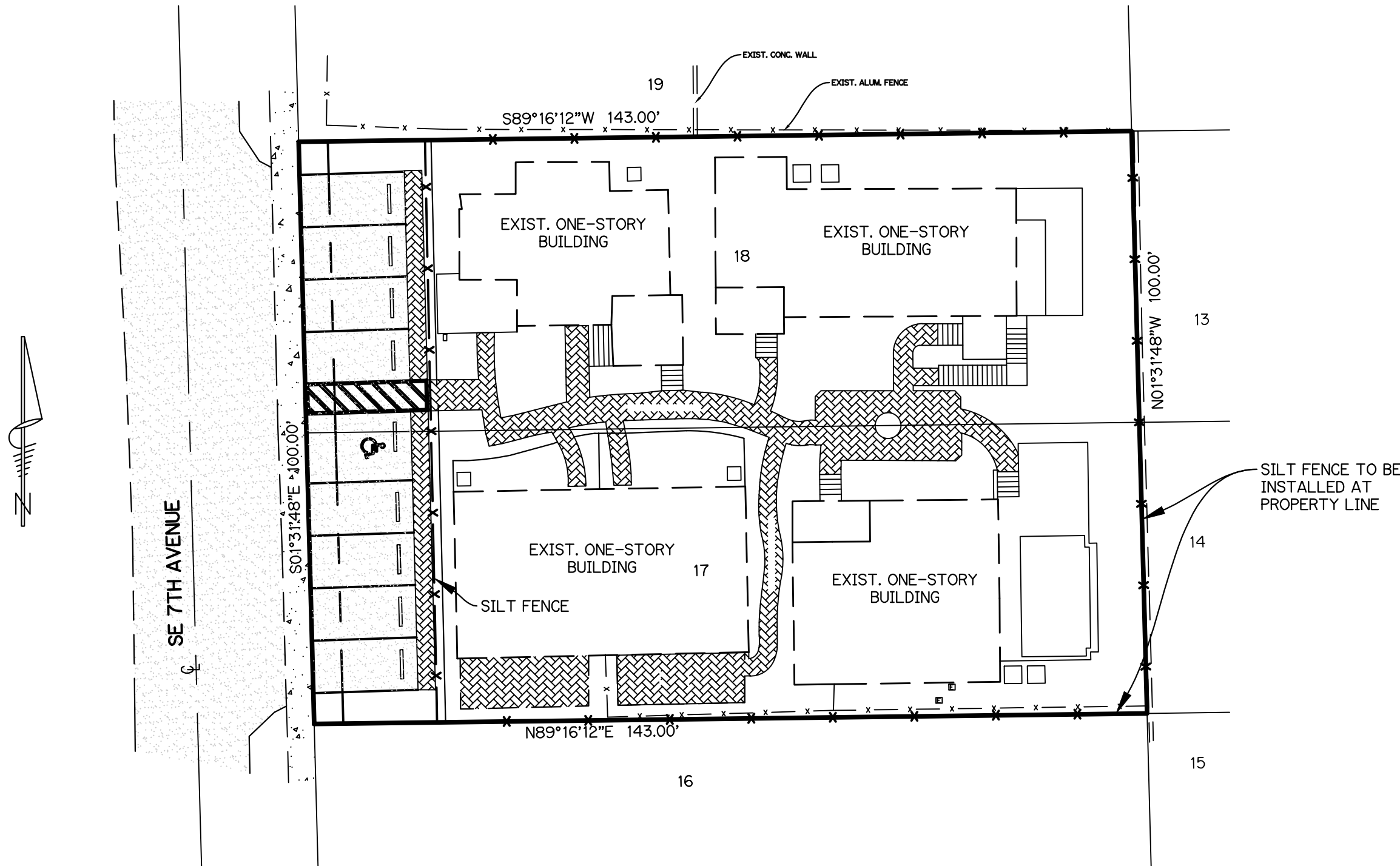


NOTE:

- CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL
N.T.S.

DATE: 10-04-2024
D 14.0



NOTES:

- CONTRACTOR TO MAINTAIN ALL POLLUTION PREVENTION MEASURES AT ALL TIMES UNTIL LANDSCAPING IS COMPLETE.

SITE PLAN
SCALE: 1"=20'

PAVING, GRADING, & DRAINAGE DETAILS
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

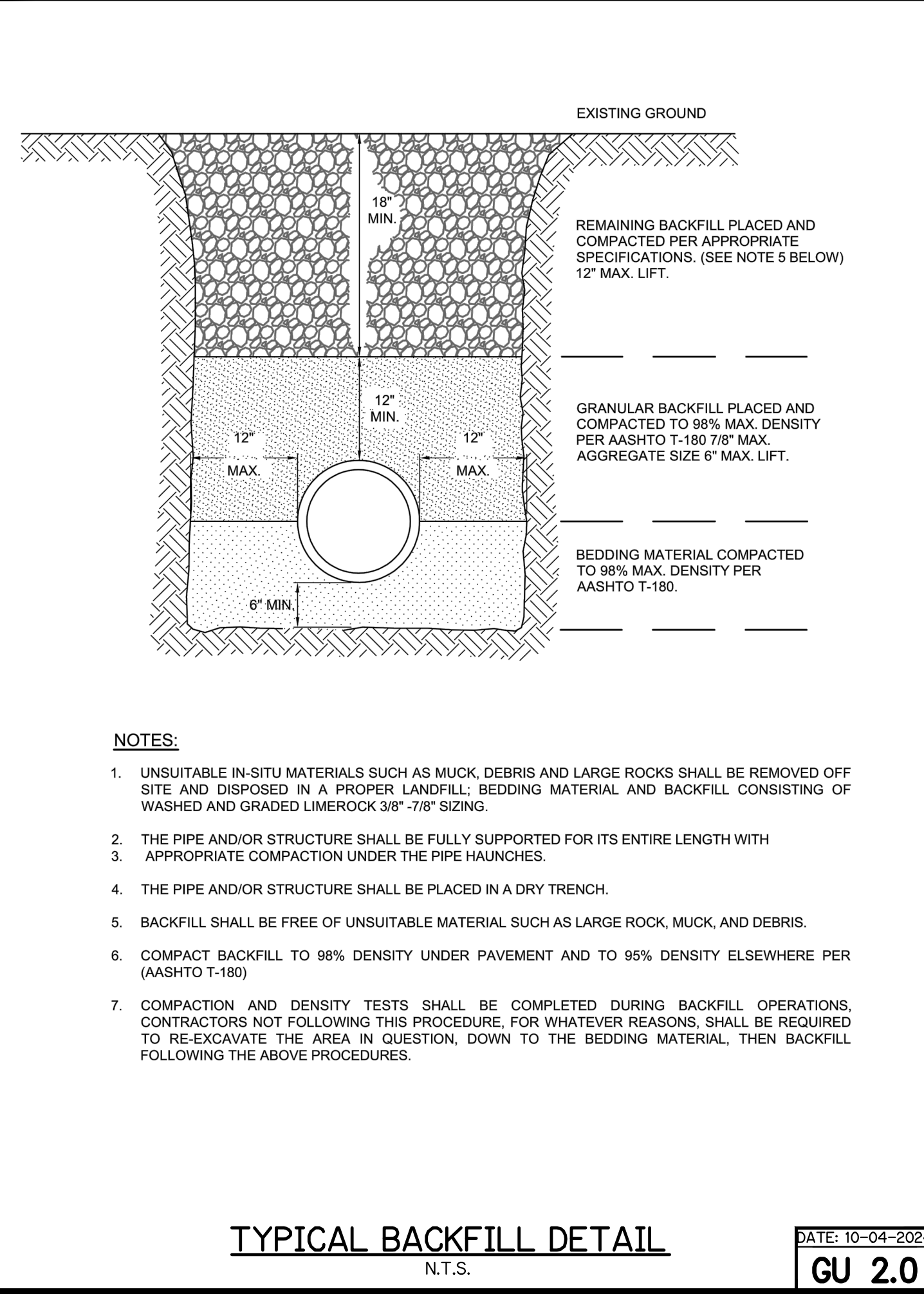
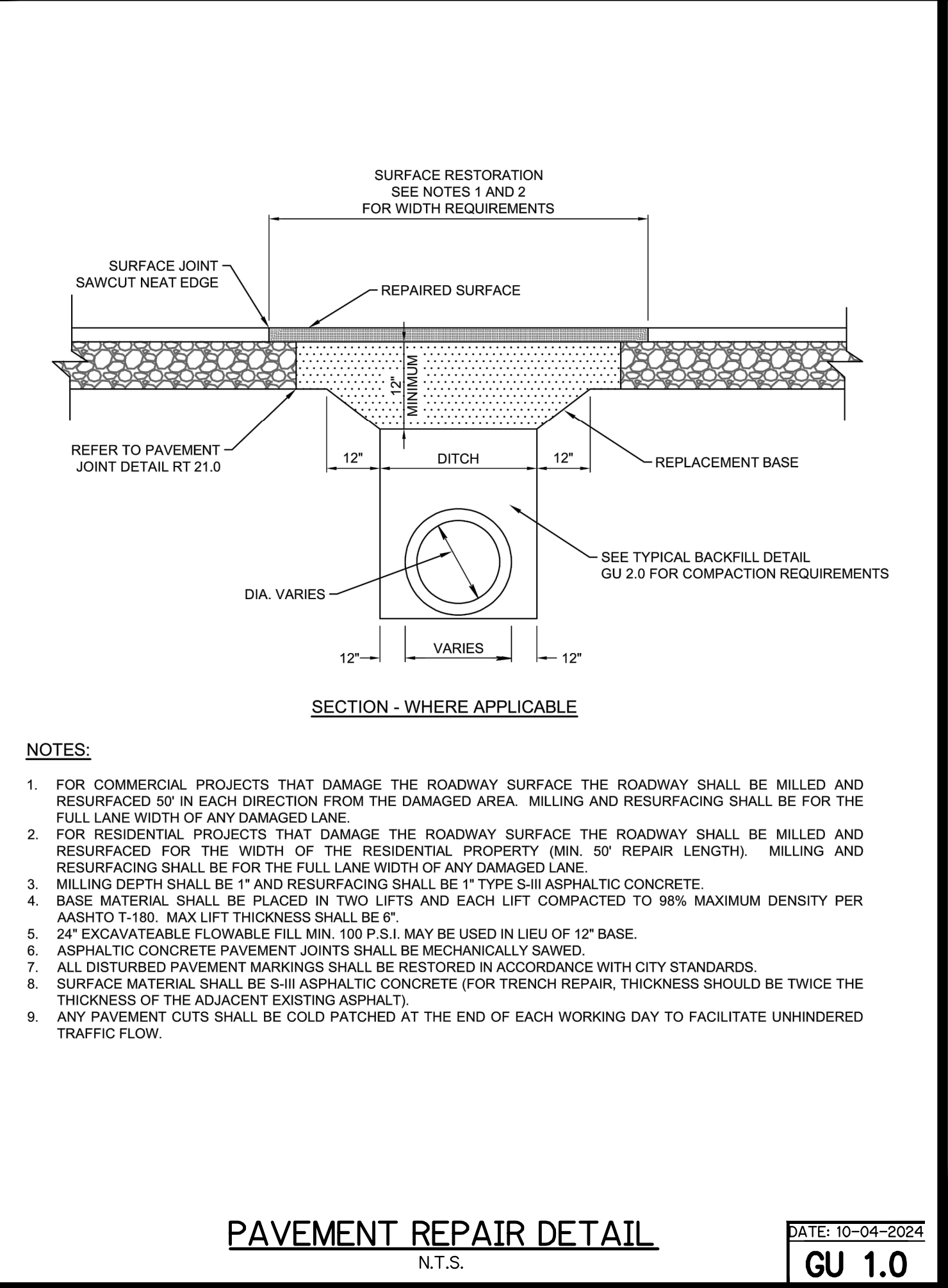
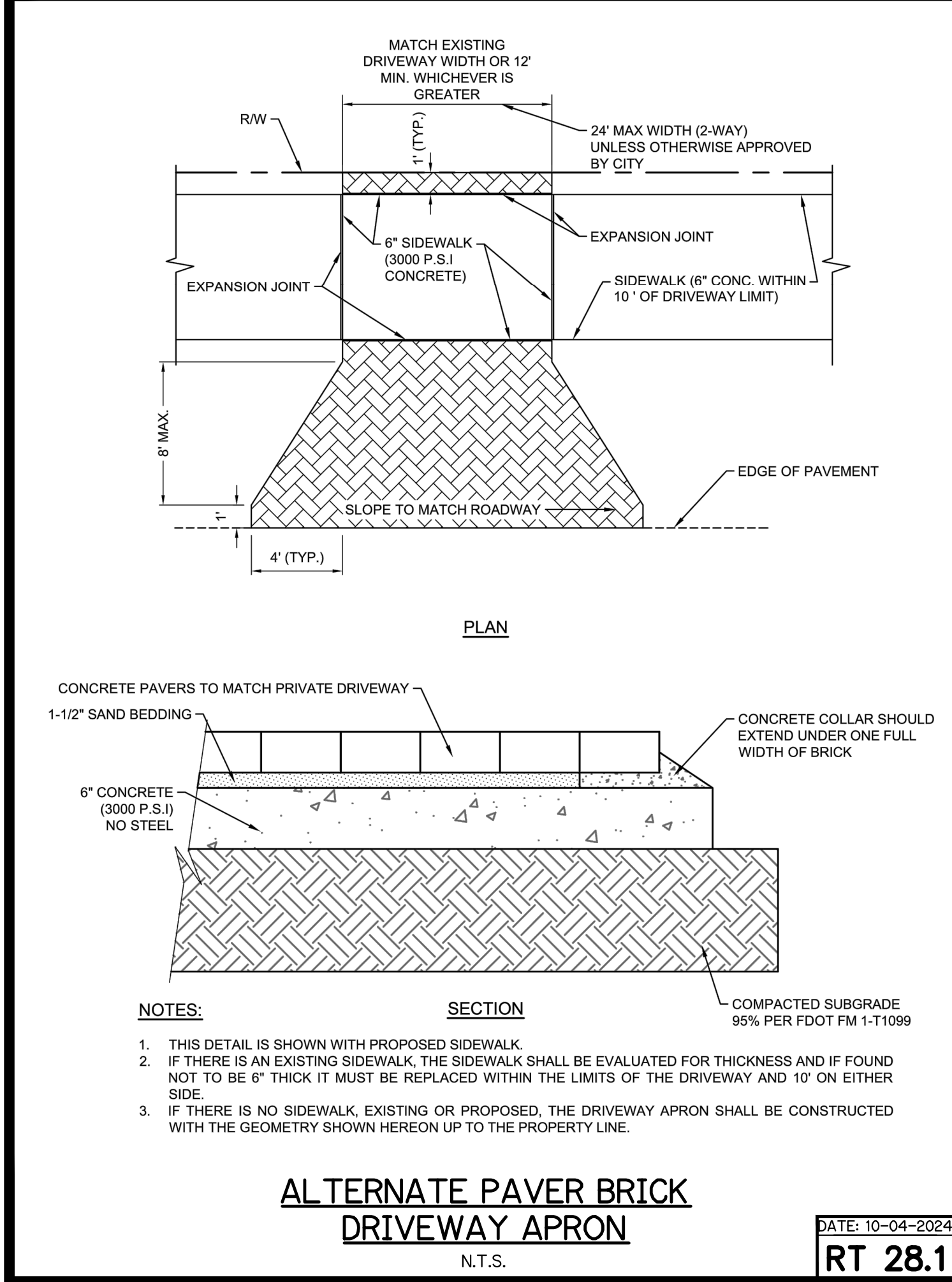
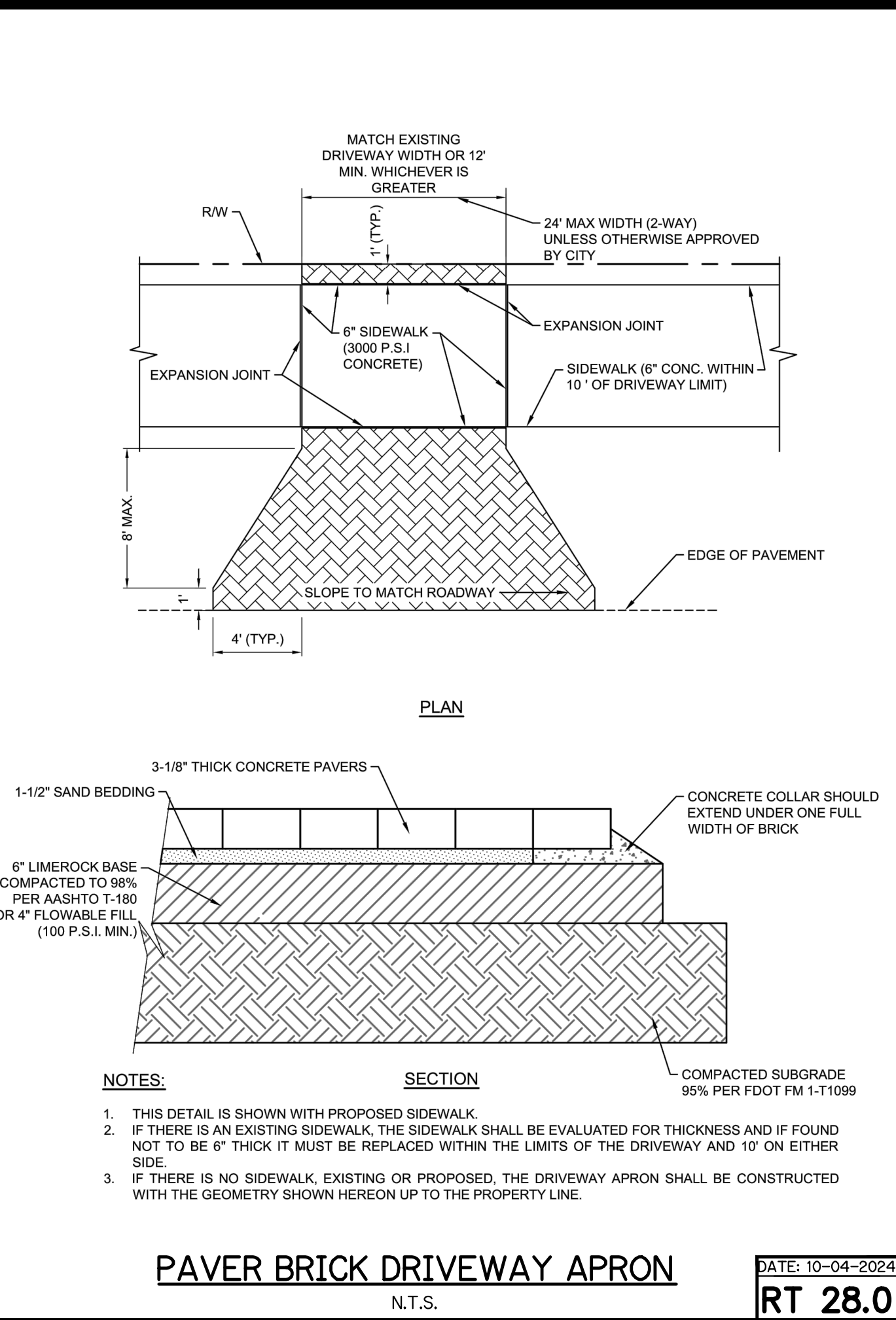
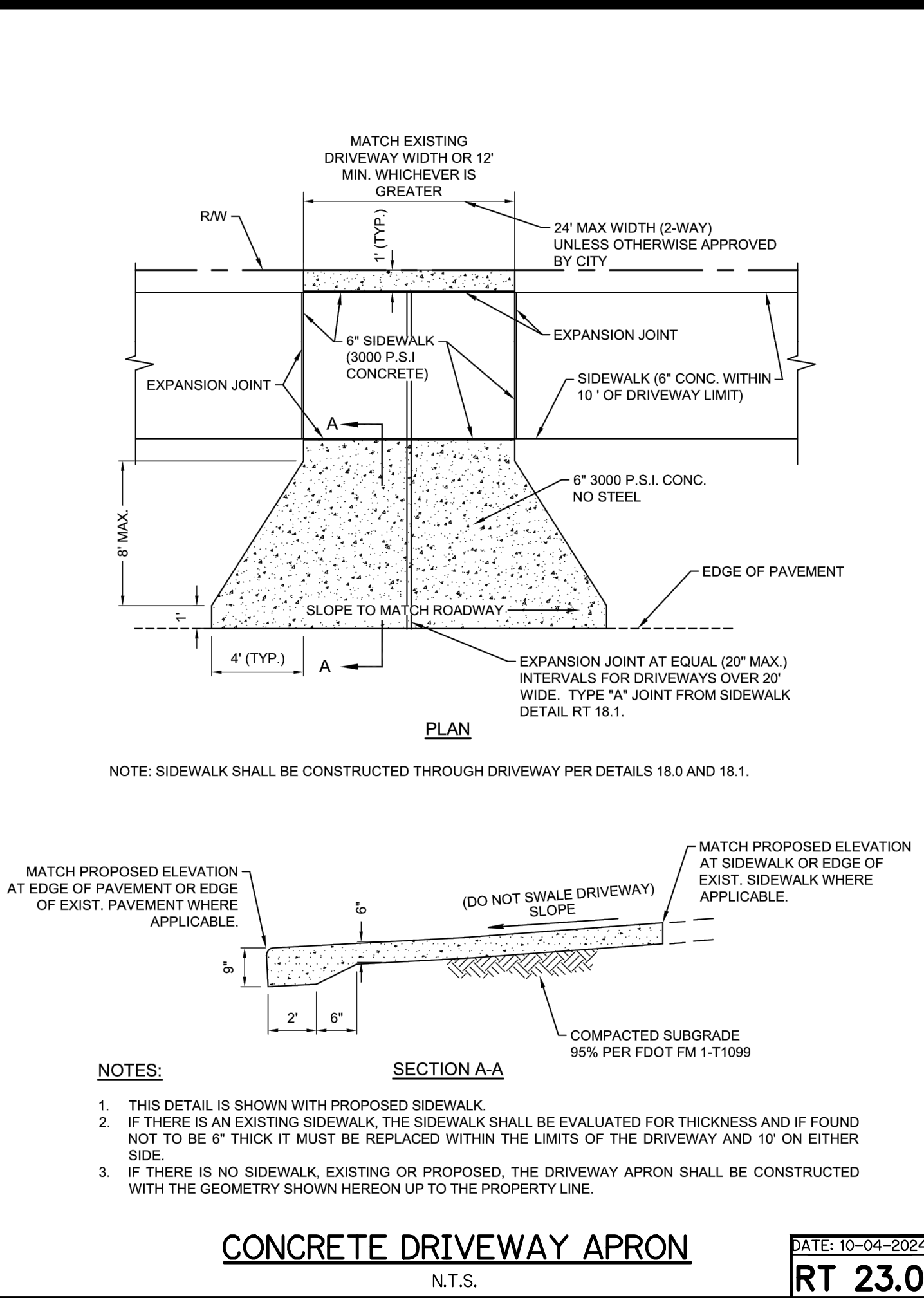
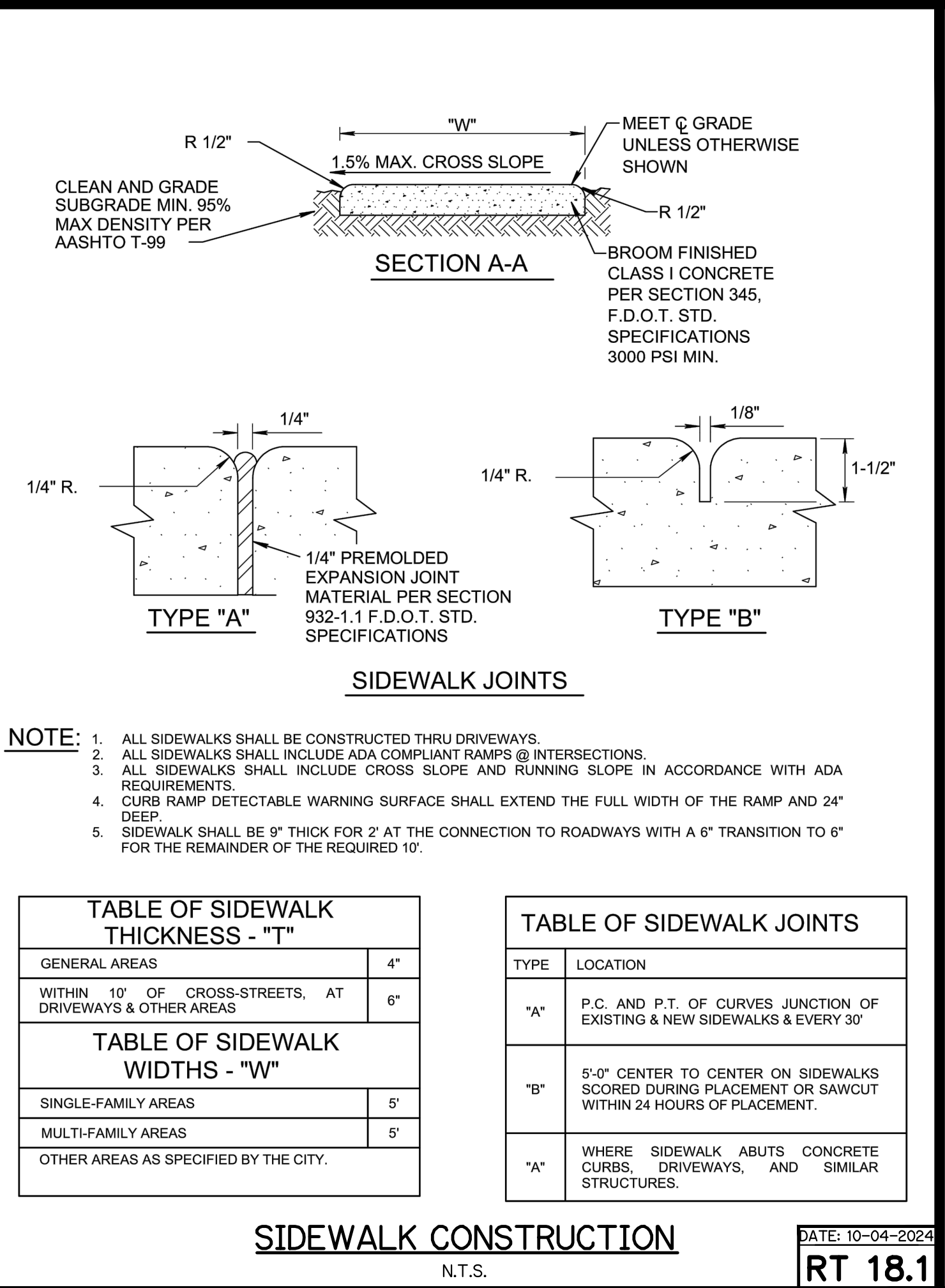
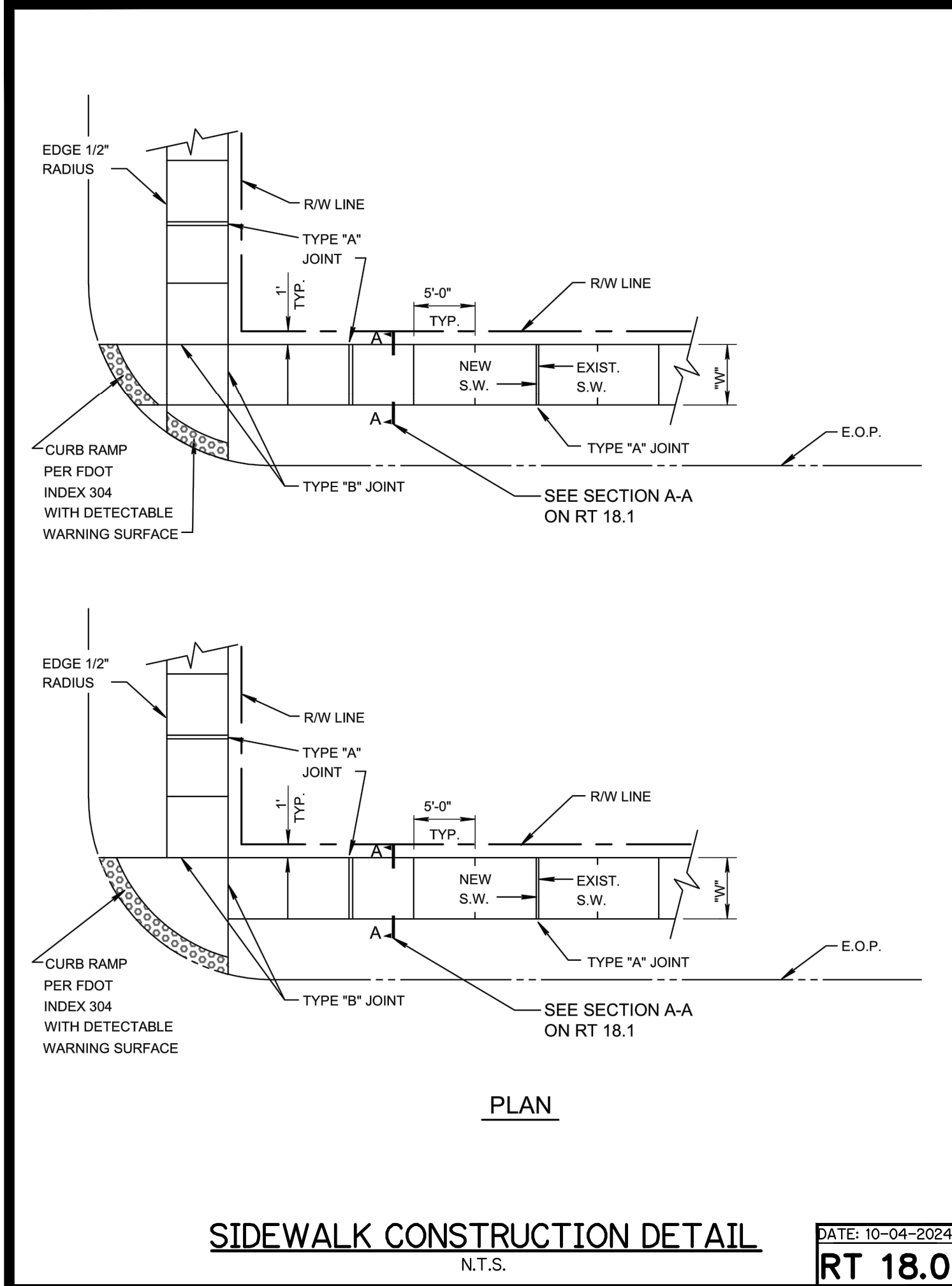
EB 9889
LPI
Last Devanport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: FEB 2025
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 PD DET

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD

SHEET 4 OF 5



PAVING, GRADING, & DRAINAGE DETAILS
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

DATE	BY	CK

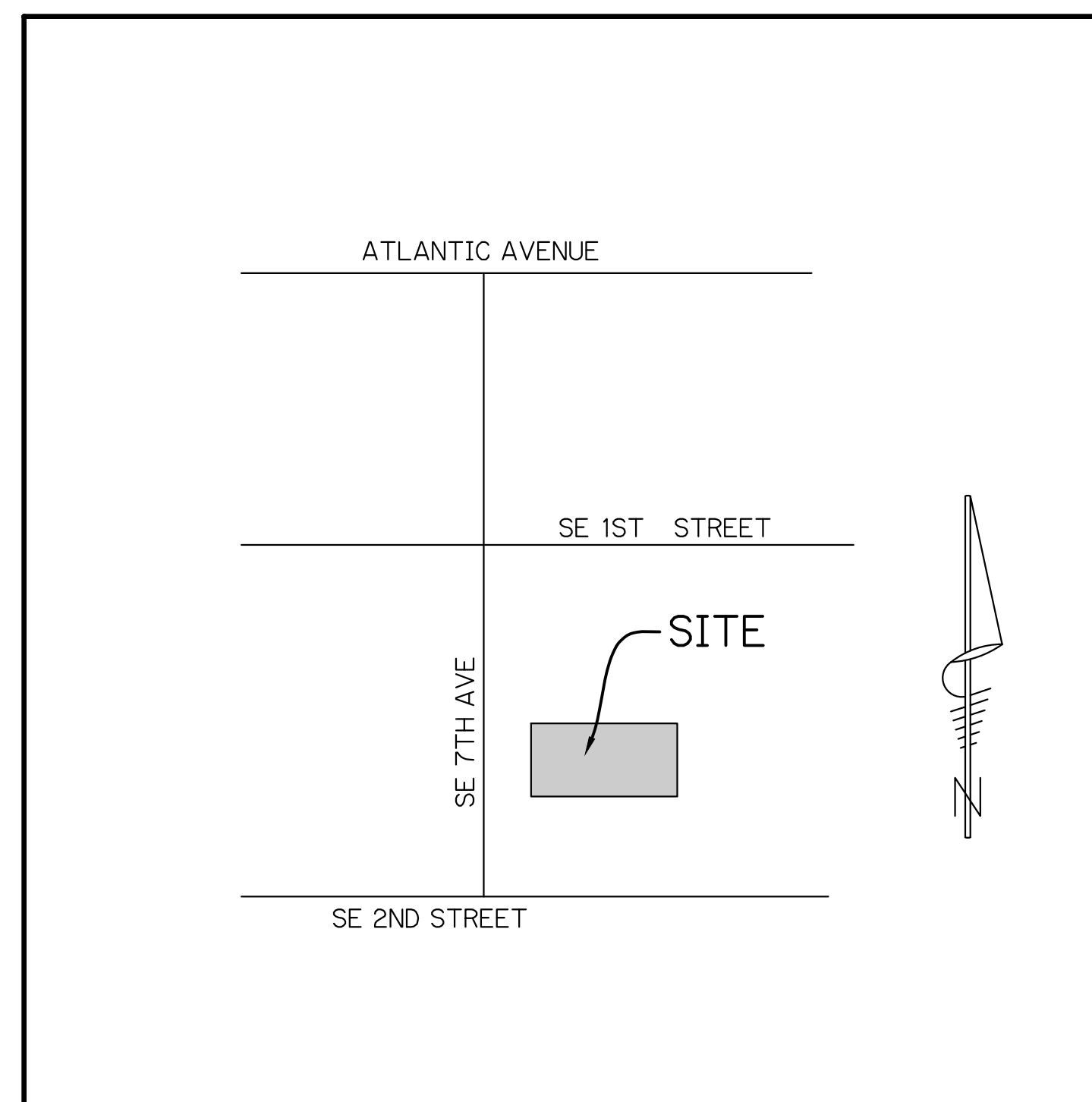
REVISIONS

EB 9889
LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

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23-053 PD DET

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
23-053 PD
SHEET 5 OF 5

WATER & SEWER PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL



LOCATION MAP

N.T.S.
SEC. 16 TWP. 46 S RGE. 43 E

INDEX OF SHEETS

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	DEMOLITION PLAN
3	WATER & SEWER PLAN
4	WATER & SEWER DETAILS

LDi PREPARED BY:
Last Devenport, Inc.

1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872
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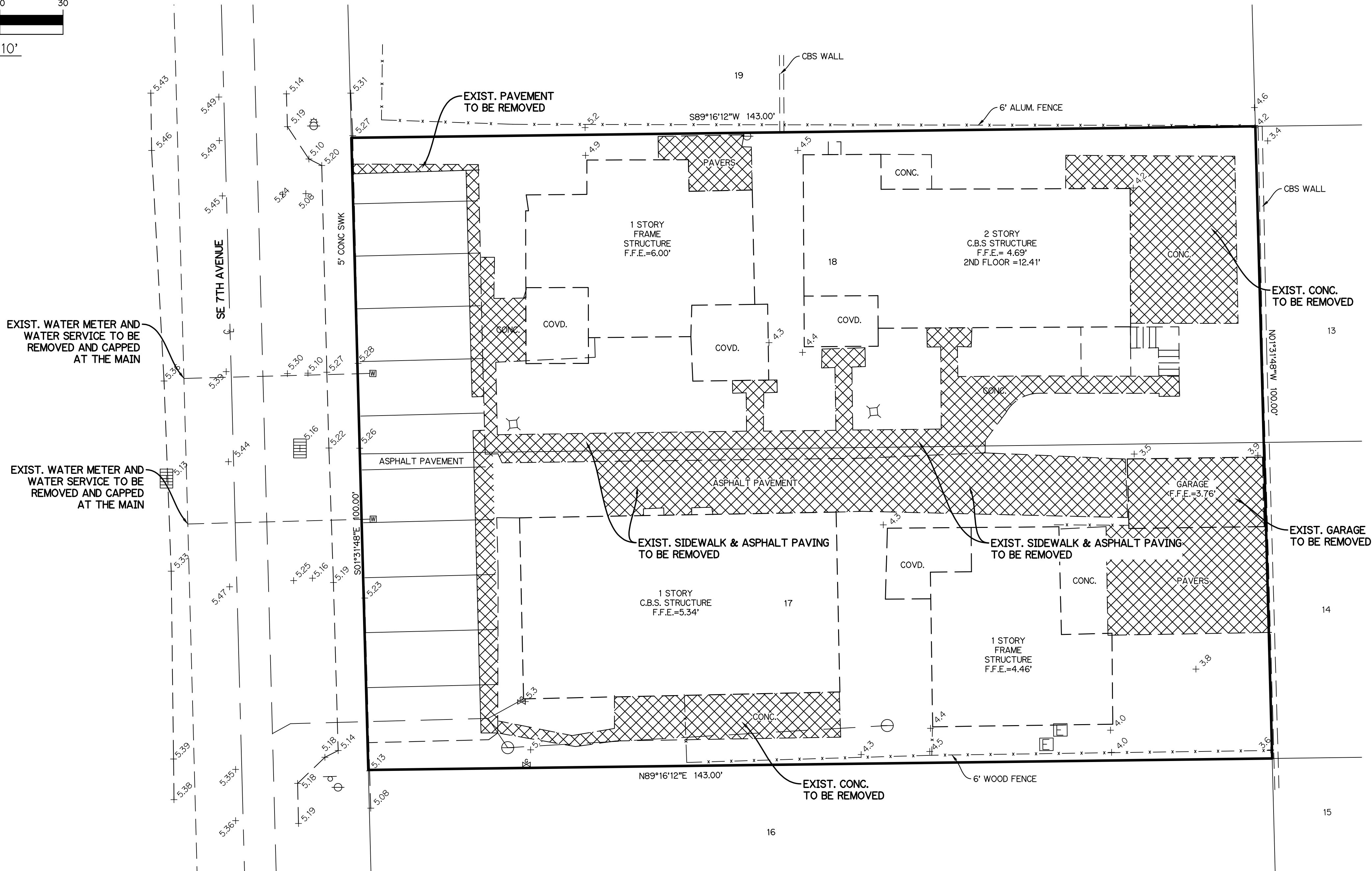
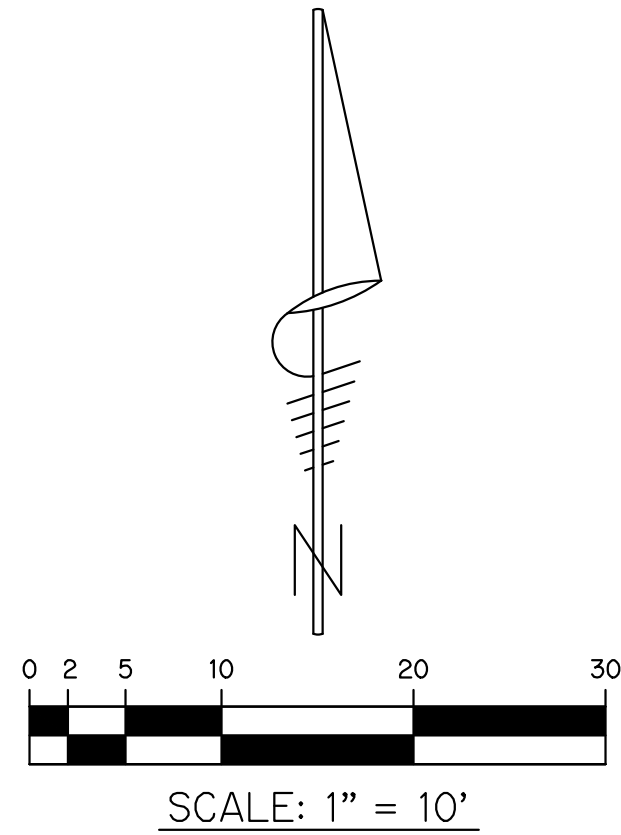
PRELIMINARY ☐
PROGRESS SET ☐
BID SET ☐
PERMIT SET ☐
CONSTRUCTION SET ☐

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 WS

SHEET 1 OF 4

23-053 139/143 SE 7TH AVE



LEGEND:

EXISTING CATCH BASIN	
EXISTING CLEANOUT	
EXISTING ELECTRIC BOX	
EXISTING ELEVATION	
EXISTING GAS VALVE	
EXISTING LIGHT POLE	
EXISTING POWER POLE	
EXISTING POWER POLE W/ LIGHT	
EXISTING SIGN	
EXISTING WATER METER	
FINISH FLOOR ELEVATION	F.F.E.

- NOTES:**
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**DEMOLITION PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL**

REVISIONS	DATE	BY	CK

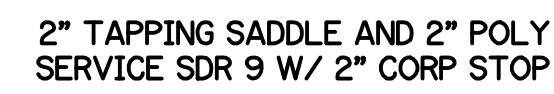
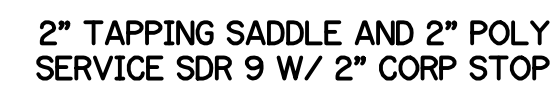
EB 9889

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SCALE: 1"=10'
DATE: AUG 2023
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 WS

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 WS



2" TAPPING SADDLE AND 2" POLY
SERVICE SDR 9 W/ 2" CORP STOP

EXISTING CATCH BASIN

EXISTING CLEANOUT

EXISTING ELECTRIC BOX

EXISTING ELEVATION

EXISTING GAS VALVE

EXISTING LIGHT POLE

EXISTING POWER POL

EXISTING POWER POLE W/ LIGHT

EXISTING SIGN

EXISTING WATER METER

FINISH FLOOR ELEVATION

MILL & RESURFACE 1" MIN
50' EACH SIDE OF OPEN CUT

€

1

0.9

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FF

NOTES:

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3. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.
4. IRRIGATION TO BE FROM WATER SERVICE AFTER METER AND RPZ BACKFLOW PREVENTER.

WATER & SEWER PLAN

WATER & SEWER PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS		DATE	BY	CK
1	REV. PER TAC COMMENTS	3/5/25	SAS	RWL

LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
Telephone (561)615-6567 Fax (561)615-3986
EB 39889

SCALE: 1"=10'

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DESIGNED BY: SAS

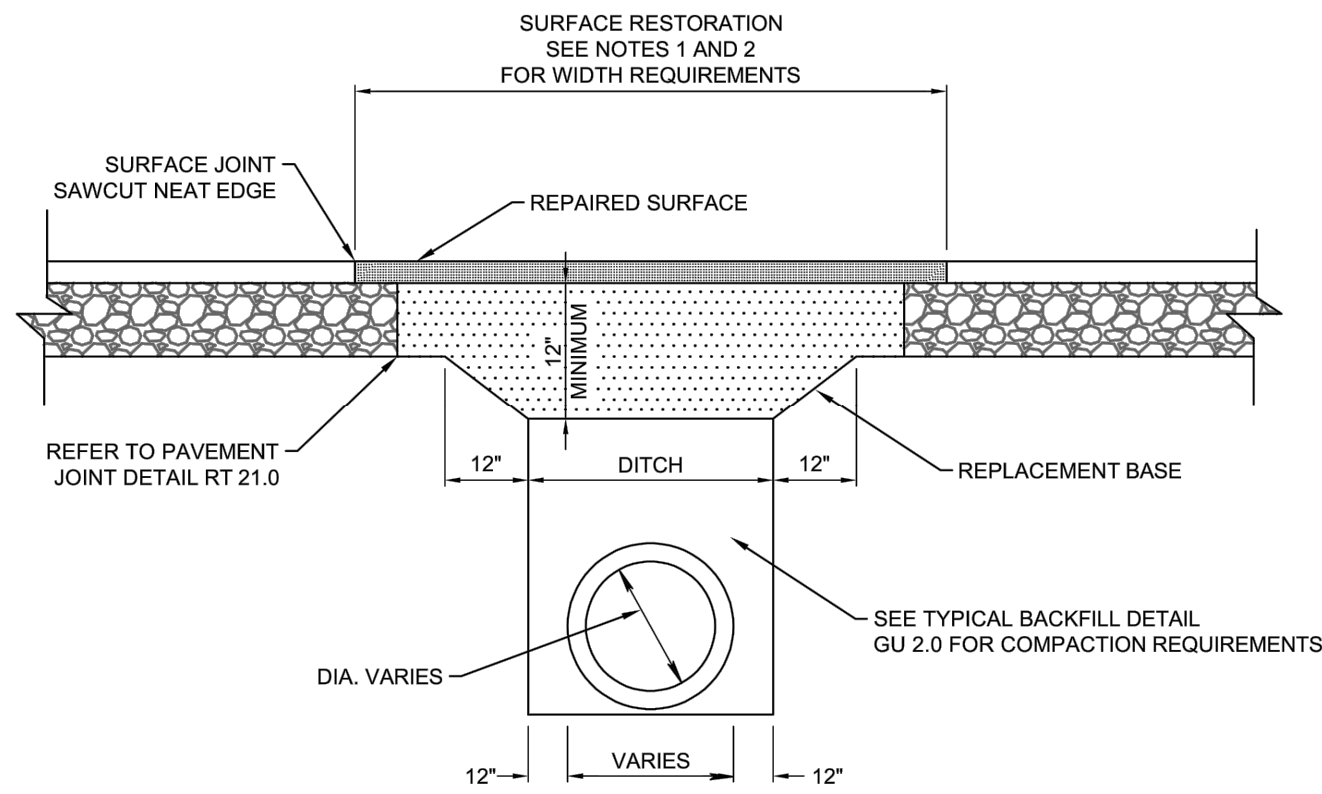
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DRAWING FILE:
23-053 WS

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053	WS
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SHEET 3 OF 4



SECTION - WHERE APPLICABLE

NOTES:

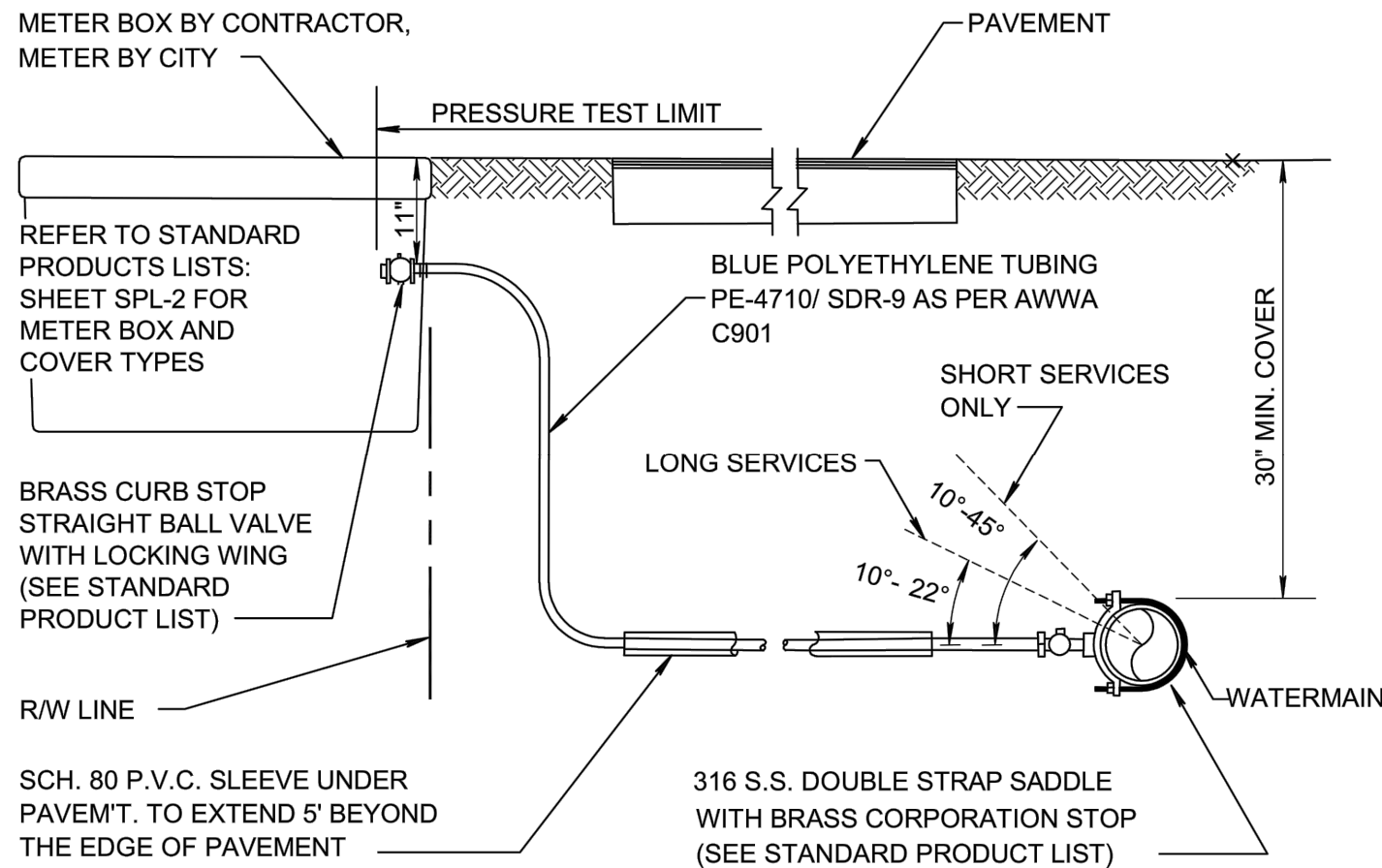
- FOR COMMERCIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION FROM THE DAMAGED AREA. MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- FOR RESIDENTIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED FOR THE WIDTH OF THE RESIDENTIAL PROPERTY (MIN. 50' REPAIR LENGTH). MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- MILLING DEPTH SHALL BE 1" AND RESURFACING SHALL BE 1" TYPE S-III ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180. MAX LIFT THICKNESS SHALL BE 6".
- 24" EXCAVATEABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (FOR TRENCH REPAIR, THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT THE END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL

N.T.S.

DATE: 10-04-2024

GU 1.0



NOTES:

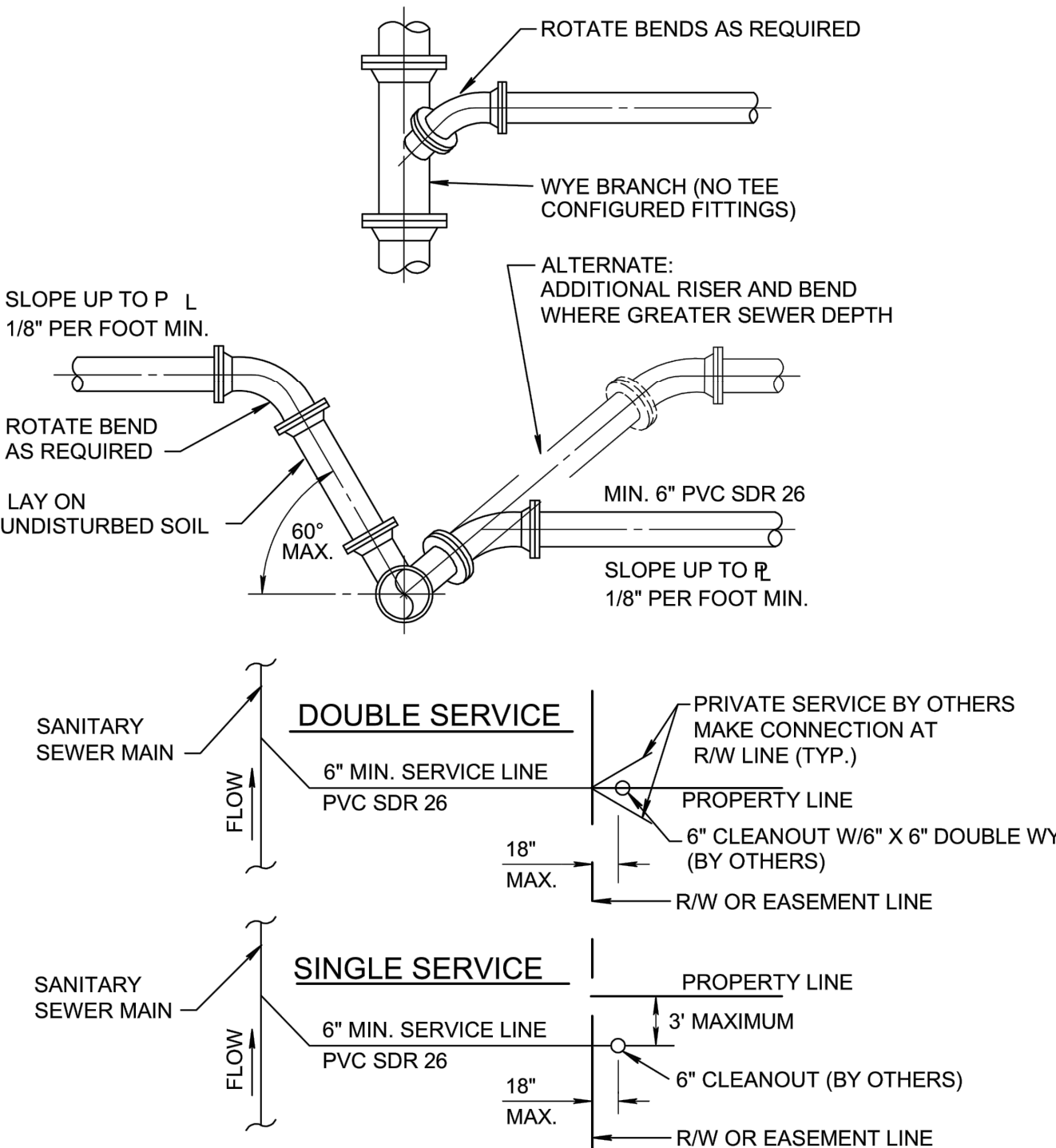
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
- ALL WATER SERVICE SHALL BE A MINIMUM OF 2".
- WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

PW 12.0



NOTE:

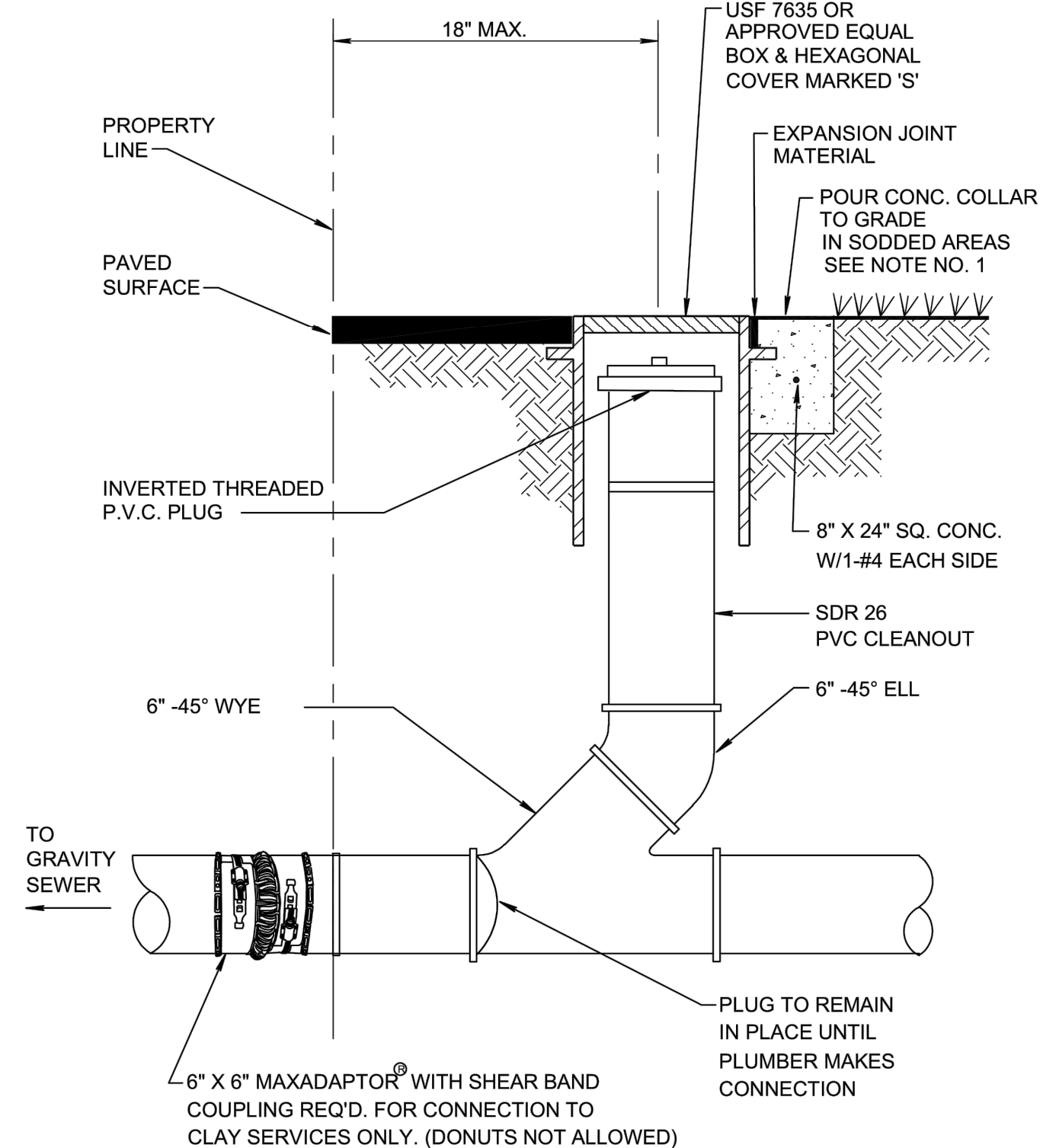
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

WW 8.0



NOTE:

- ALL SANITARY SEWER LATERALS AND CLEANOUT TO BE MINIMUM 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL CLEANOUT

N.T.S.

DATE: 10-04-2024

WW 10.0

CONSTRUCTION NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE BUILDING PAD, ROAD AND PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 18" LIFTS THOROUGHLY AND UNIFORMLY COMPACTED TO ACHIEVE 95 PERCENT OF THE ASTM D1557 MAXIMUM DRY DENSITY.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. FILL MATERIAL SHOULD HAVE NOT MORE THAN 10% BY WEIGHT PASSING THE NO. 200 SIEVE AND SHALL HAVE NO PARTICLE SIZE LARGER THAN 12". CARE SHOULD BE EXERCISED WHEN PLACING MATERIALS WHICH EXCEED 3" TO ASSURE THAT NESTING DOES NOT OCCUR AND TO FURTHER ASSURE THAT THE +3" PARTICLES ARE FULLY SURROUNDED BY FINER GRAINED MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIME/ROCK UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE CITY OF DELRAY BEACH ENGINEERING DIVISION.
- ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.

FLORIDA POWER AND LIGHT COMPANY
A T & T
DELRAY BEACH WATER UTILITIES DEPARTMENT
LOCAL CABLE TELEVISION COMPANY(S)
FLORIDA DEPARTMENT OF TRANSPORTATION
LOCAL GAS COMPANY
- ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE THEM PROMPTLY.
- FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER: 125102
PANEL NUMBER: 0979
SUFFIX: F
DATE OF FIRM INDEX: OCTOBER 5, 2017
ZONE: X
BASE FLOOD ELEV: N/A
- CONTRACTOR SHALL VERIFY EXISTING WATER SERVICE MATERIAL. IF THE WATER SERVICE IS GALVANIZED THEN IT SHALL BE REPLACED TO THE WATER MAIN PER PW 9.1a AT THE OWNERS EXPENSE.

WATER & SEWER DETAILS

FOR

139/143 SE 7TH AVENUE

DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9889

LDi
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: FEB 2025
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 WS DET

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
23-053 WS
SHEET 4 OF 4



947 Clint Moore Road
Boca Raton, Florida 33487

SURVEYING & MAPPING
Certificate of Authorization No. LB7264

Tel: (561) 241-9988
Fax: (561) 241-5182

BOUNDARY AND TOPOGRAPHIC SURVEY 139-143 SE 7TH AVENUE, DELRAY BEACH, FL

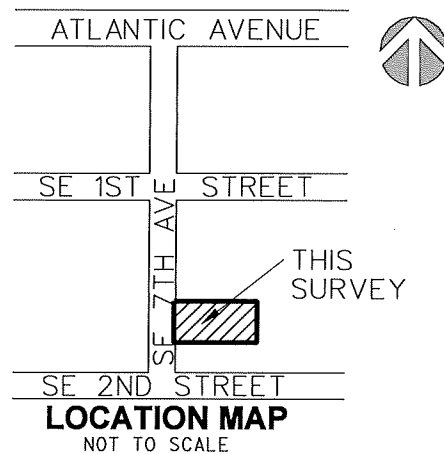
LEGAL DESCRIPTION

LOTS 17 AND 18 IN BLOCK 126 OF DELRAY BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, AT PAGE 4, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, FLORIDA, AND CONTAIN 14,300 SQUARE FEET, MORE OR LESS.

NOTES

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. NO SEARCH OF THE PUBLIC RECORDS WAS MADE IN THE PREPARATION OF THIS SKETCH AND DESCRIPTION.
3. BEARINGS SHOWN HEREON ARE BASED ON THE CENTER LINE OF SE 7TH AVENUE HAVING AN ASSUMED BEARING OF SOUTH 01° 31' 48" EAST.
4. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 DATUM RELATIVE TO PALM BEACH COUNTY BENCHMARK 14.33SRD HAVING AN ELEVATION OF 12.782'.
5. FLOOD INFORMATION
COMMUNITY NUMBER : 125102
PANEL NUMBER : 12099C0979F
DATE OF FIRM : OCTOBER 5, 2017
ZONE : AE
BASE FLOOD ELEV : 6.0'



LEGEND

- ← ANCHOR
- ▨ CATCH BASIN
- ⊙ CLEAN OUT
- ⊞ ELECTRIC SERVICE
- ⊞ GAS VALVE
- ⊞ LIGHT POLE
- ⊞ MAIL BOX
- ⊞ WOOD POWER POLE
- ⊞ WATER VALVE
- x— FENCE
- OHV--- OVERHEAD LINE
- +3.28 ELEVATION

ABBREVIATIONS

- ALUM = ALUMINUM
- CONC. = CONCRETE
- CBS = CONCRETE BLOCK & STUCCO
- D = DELTA (CENTRAL ANGLE)
- D.E. = DRAINAGE EASEMENT
- I.R. = IRON ROD
- I.R.C. = IRON ROD AND CAP
- L.B. = LICENSED BUSINESS
- L.S. = LICENSED SURVEYOR
- MON. = MONUMENT
- O.R.B. = OFFICIAL RECORDS BOOK
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.B. = PLAT BOOK
- P.B.C.R. = PALM BEACH COUNTY RECORDS
- PG. = PAGE
- P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- U.E. = UTILITY EASEMENT
- COV = COVERED
- SWK. = SIDEWALK
- W.F. = WOOD FENCE
- FF ELEV = FINISHED FLOOR ELEVATION

CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

LAST DATE OF FIELD WORK:
DEC. 8, 2020

Project Name:	139-143 SE 7TH AVE	DATE:	12/8/2020
JOB NO.	20250	DWG BY:	JSH
		CK'D BY:	AJR
			SHEET 1 OF 2



6526 S Kanner Hwy., Stuart, Florida 34997
Telephone: (772) 460-5660 Fax: (772) 460-5650
Website: www.BrownieCompanies.com
Email: jamison@browniecompanies.com

CGC 1519113

SCOPE OF WORK
&
LIFTING PLAN

139/143 S.E. 7th AVE., DELRAY BEACH, FL

BUILDING 1/ UNIT 1

Please reference the bullet points below for a detailed step by step procedure required for the successful elevation of the existing single story wood frame residential structure located at 139/143 S.E. 7th Ave., Delray Beach, FL.

- Provide \$2,000,000 General Liability Insurance Certificate as well as an additional \$1,000,000 Care, Custody, and Cargo Control Policy.
- Install 5'x5' temporary shoring/ jacking stands inside existing structure.
- Install temporary steel I-Beam lifting platform through-out structure.
- Provide and install steel channel beam lifting ledgers attached to existing wood studs to provide additional lateral support.
- Install 4'x4' shoring towers on top of steel lifting platform to bottom side of roof framing.
- Provide hydraulic crib jacks and Unified Hydraulic Jacking System to lift each series of hydraulic jacks simultaneously.
- Elevate structure up approximately five feet (5') from existing elevation.
- Structure will be left elevated to allow for the installation of a new permanent foundation.
- Structure will then be lowered onto the new foundation system and permanently/ structurally fastened down.

Our firm has been elevating and relocating Historic structures since 1922, including many projects within the City of Delray Beach and the surrounding areas. If there are any additional questions or concerns regarding the above referenced project, please contact me directly at (772) 260-3799 or you can visit our website at www.browniecompanies.com to view some of our past projects. Attached photo references a project with the same means and methods of elevation located at The Sundry Village, Delray Beach, FL.

Regards,
Jamison Brownie





6526 S Kanner Hwy., Stuart, Florida 34997
Telephone: (772) 460-5660 Fax: (772) 460-5650
Website: www.BrownieCompanies.com
Email: jamison@browniecompanies.com

CGC 1519113

SCOPE OF WORK
&
LIFTING PLAN

139/143 S.E. 7th AVE., DELRAY BEACH, FL

BUILDING 2/ UNIT 2 & 3

Please reference the bullet points below for a detailed step by step procedure required for the successful elevation of the existing single and 2-story wood frame/CMU residential structure located at 139/143 S.E. 7th Ave., Delray Beach, FL.

- § Provide \$2,000,000 General Liability Insurance Certificate as well as an additional \$1,000,000 Care, Custody, and Cargo Control Policy.
- § Install 5'x5' temporary shoring/ jacking stands inside existing structure.
- § Install temporary steel I-Beam lifting platform underneath the bottom side of the existing second story floor Joist within the existing CMU structure.
- § Install an additional temporary steel I-beam lifting platform throughout the single-story portion of the Structure along the existing floor system.
- § Provide and install steel channel beam lifting ledgers attached to existing wood studs to provide additional lateral support on the single-story portion of structure.
- § Install 4'x4' shoring towers on top of steel lifting platform to bottom side of roof framing.
- § Provide hydraulic crib jacks and Unified Hydraulic Jacking System to lift each series of hydraulic jacks simultaneously.
- § Elevate both structures up approximately five feet (5') from grade on the 1-story, and from CMU wall on the 2-story.
- § Structure will be left elevated to allow for the installation of a new permanent foundation or higher CMU wall.
- § Structure will then be lowered onto the new foundation/wall system and permanently/ structurally fastened down.

Our firm has been elevating and relocating Historic structures since 1922, including many projects within the City of Delray Beach and the surrounding areas. If there are any additional questions or concerns regarding the above referenced project, please contact me directly at (772) 260-3799 or you can visit our website at www.browniecompanies.com to view some of our past projects. Attached photo references a project with the same means and methods of elevation located at The Sundry Village, Delray Beach, FL.

Regards,
Jamison Brownie





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Website: www.BrownieCompanies.com
Email: jamison@browniecompanies.com

CGC 1519113

SCOPE OF WORK
&
LIFTING PLAN

139/143 S.E. 7th AVE., DELRAY BEACH, FL

BUILDING 4

Please reference the bullet points below for a detailed step by step procedure required for the successful elevation of the existing single story wood frame residential structure located at 139/143 S.E. 7th Ave., Delray Beach, FL.

- Provide \$2,000,000 General Liability Insurance Certificate as well as an additional \$1,000,000 Care, Custody, and Cargo Control Policy.
- Install 5'x5' temporary shoring/ jacking stands inside existing structure.
- Install temporary steel I-Beam lifting platform through-out structure.
- Provide and install steel channel beam lifting ledgers attached to existing wood studs to provide additional lateral support.
- Install 4'x4' shoring towers on top of steel lifting platform to bottom side of roof framing.
- Provide hydraulic crib jacks and Unified Hydraulic Jacking System to lift each series of hydraulic jacks simultaneously.
- Elevate structure up approximately five feet (5') from existing elevation.
- Structure will be left elevated to allow for the installation of a new permanent foundation.
- Structure will then be lowered onto the new foundation system and permanently/ structurally fastened down.

Our firm has been elevating and relocating Historic structures since 1922, including many projects within the City of Delray Beach and the surrounding areas. If there are any additional questions or concerns regarding the above referenced project, please contact me directly at (772) 260-3799 or you can visit our website at www.browniecompanies.com to view some of our past projects. Attached photo references a project with the same means and methods of elevation located at The Sundry Village, Delray Beach, FL.

Regards,
Jamison Brownie

