



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

## ADMINISTRATIVE APPROVAL – STAFF REPORT

### 319 NE 3<sup>rd</sup> Ave – Restaurant Conversion

| Meeting               | File No.                                    | Application Type  |
|-----------------------|---|-------------------|
| July 16, 2024         | 2022-268                                    | Level 2 Site Plan |
| Property Owner        | Agent                                       |                   |
| Big B Investments LLC | Jeffrey Costello, JC Planning Solutions LLC |                   |

### Request

Level 2 Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 850 sq. ft. second-floor addition and change of use to establish a restaurant at 319 NE 3<sup>rd</sup> Avenue.

**Location:** 319 NE 3<sup>rd</sup> Avenue

**PCN:** 12-43-46-16-01-089-0030

**Property Size:** 0.065 acres

**LUM:** Commercial Core (CC)

**Zoning:** Central Business District – Railroad Corridor (CBD)

**Adjacent Zoning:**

- North, South, East, West: CBD

**Existing Land Use:** Flex Office - Vacant

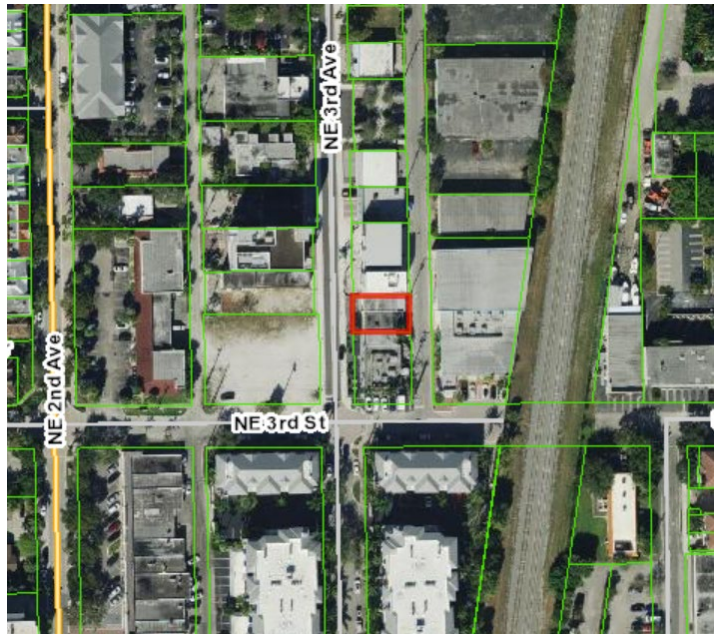
**Proposed Land Use:** Restaurant

**Floor Area Ratio:**

- Existing: 0.65
- Proposed: 0.95
- Maximum Allowed: 3.0

**Density:**

- Existing: NA
- Proposed: NA





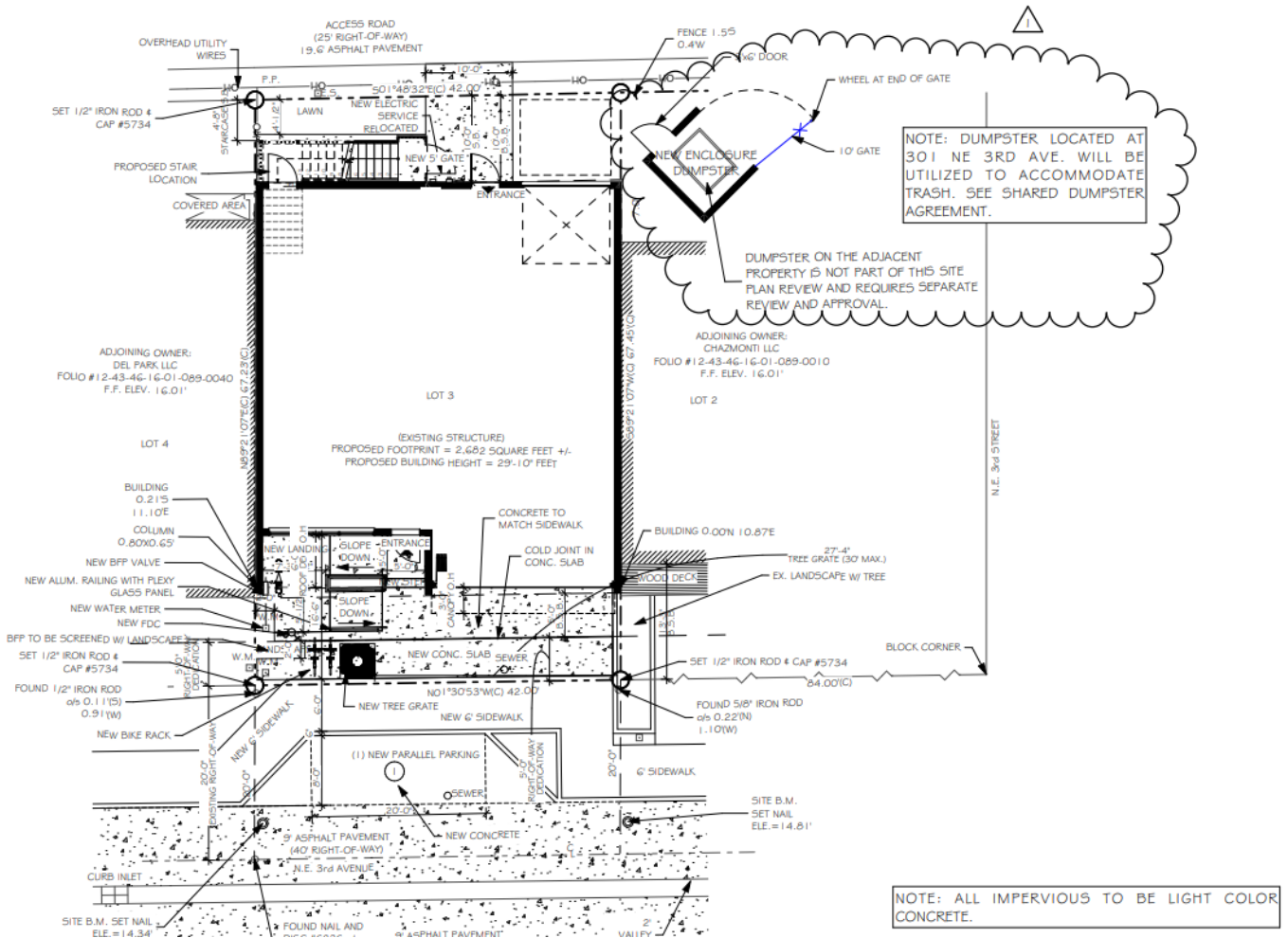
### Background

The subject property consists of an approximate 1,800 sq. ft. flex office building that is dilapidated and an opportunity for redevelopment. The applicant has submitted a Level 2 site plan application for a second story addition and change of use to establish an approximate 2,600 sq. ft. restaurant. In conjunction with the site plan modification, the applicant has requested to provide payment in-lieu of providing the required 12 net parking spaces generated by the requested addition and change of use, and this in-lieu request was approved by the City Commission on June 6, 2023. The applicant also sought relief through a waiver request for the required rear setback, as well as sought approval of an alternative design style that is not listed as a permitted style within the CBD design guidelines. The waiver and design style (modern vernacular) were both approved by the City Commission on August 8<sup>th</sup>, 2023. More recently, a tri-party shared dumpster agreement has been accepted by the City Commission to allow the proposed restaurant to utilize a dumpster on the adjacent property at 301 NE 3<sup>rd</sup> Street.

### Description of Proposal

The development proposal is to establish a restaurant within the ground floor footprint of the existing structure as well as construct a second-floor open terrace addition to expand the use area to approximately 2,600 sq. ft. The scope of work involves improvements to the streetscape, including new on-street parking and a shade tree. The second-floor deck contains a bar and restaurant seating and is accessible from an exterior stairwell at the rear of the property located off of the alley. The building proposes a storefront frontage type that meets the requirements of the CBD frontage standards, with a defined entrance, an awning feature, and prominent use of storefront glass. A portion of the facade includes accordion windows that may be opened up.

The architectural design delivers elements of the vernacular and masonry modern style in a cohesive and unified composition. A combination of the two styles has been previously approved. Variation in material thoughtfully dispersed throughout the façade, as well as a strategic and restrained use of asymmetry adds interest to the overall design. While stark, the proposed color palette of black with yellow accents is softened by the use of natural materials and is appropriate for the contextual location within an established art-centric corridor.







**Review & Analysis: Site Plan and Zoning**

**Pursuant to LDR Section 2.4.10(A)(2)(c)**, Level 1 and Level 2 Site Plan applications may be approved, denied, or approved with conditions pursuant to Article 2.2 by the Director.

**Pursuant to LDR Section 2.4.10(A)(3)(b)**, Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

**LDR Section 3.1.1 Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

**3.1.1(A), Land Use Map**

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of CC, and a zoning designation of CBD – Railroad Corridor, which is a compatible zoning district to implement the CC land use designation. Restaurant is a permitted use within the CBD district.

**3.1.1(B), Concurrency**

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: Water and sewer services will be connected to adjacent available networks pursuant to approval of the utilities plan reviewer. Pursuant to the Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage: Drainage and water run-off will be addressed through on-site retention, which should not impact the level of service standard.

Transportation: A Traffic Performance Standards (TPS) letter has been provided by Palm Beach Count indicating the project meets concurrency standards with an anticipated net daily increase of 141 trips, generating a total of 11 new trips at AM peak hour and 10 new trips at PM peak hour.

Parks and Open Space: Park impact fees are not applicable for commercial development.

Solid Waste: The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: Concurrency is not applicable.

**3.1.1(C), Consistency**

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions.



**Section 3.2.3, Standards for site plan and/or plat actions**

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions. The proposed development generally meets the applicable standards.

**Comprehensive Plan**

Overall, the proposed application is consistent with applicable Goals, Objectives, and Policies of the Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element.

**Neighborhoods, Districts, and Corridors Element**

**Policy NDC 1.1.2** *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.*

**Policy NDC 1.3.7** *Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse development... that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area continue to evolve into a traditional, self-sufficient downtown...*

**3.1.1(D), Compliance with the LDRs**

The proposed project has been reviewed by the Technical Advisory Committee and has been deemed technically compliant with regard to all applicable regulations of the Land Development Regulations. No relief is needed to accommodate the proposed site configuration or building design, unless already requested and approved (e.g. rear setback). The scope of work is compliant with regard to all development thresholds including, but not limited to, setbacks, height, FAR, and parking (in-lieu previously approved).

**Director Action**

**The proposed project has been administratively approved.** Final action is pending approval of the City Commission via the appealable process.

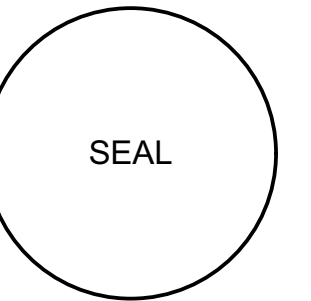
# CLASS III SITE PLAN MODIFICATION

## 319 NE 3RD AVE

### DELRAY BEACH, FL 33483



**STEVE SIEBERT  
ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

INTERIOR TENANT BUILD-OUT  
**319 RESTAURANT**  
 319 NE 3RD AVE  
 DELRAY BEACH, FL 33483



COLOR RENDERING A

NOT TO SCALE



COLOR RENDERING B

NOT TO SCALE

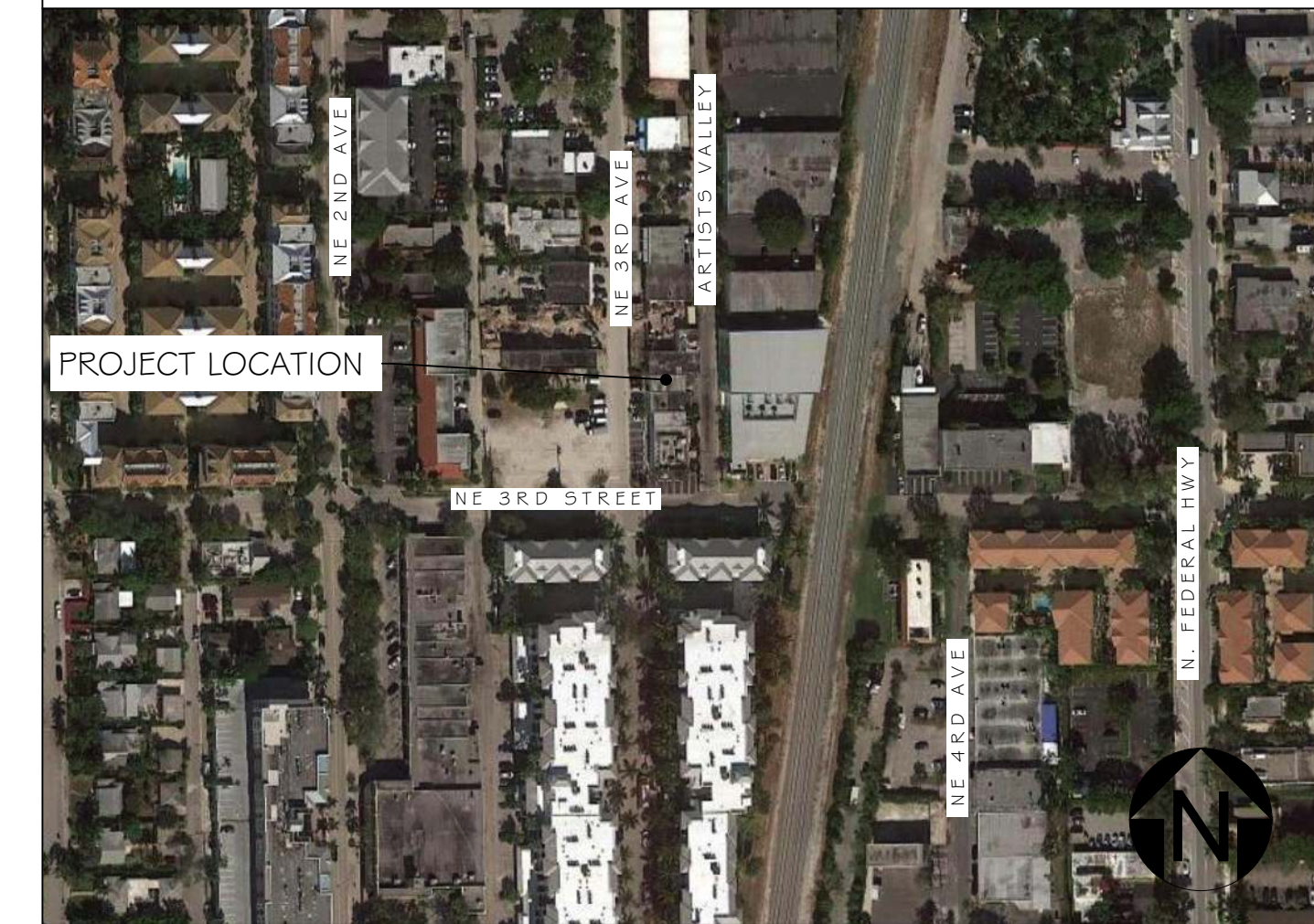
#### WALL LEGEND:

|  |  |
|--|--|
|  | EXISTING CMU WALL  |
|  | EXISTING INTERIOR WALL   |
|  | EXISTING FIRE RATED PARTITION WALL   |
|  | CMU WALL   |
|  | CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD   |
|  | CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD   |
|  | CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD  |
|  | PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD, (5FAB) & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL |
|  | PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING, (5FAB) & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL    |
|  | INTERIOR WALL  |
|  | INTERIOR FIRE RATED PARTITION WALL   |

#### ABBREVIATIONS:

|           |                       |           |  |
|-----------|-----------------------|-----------|--|
| @         | AT                    | H.C.      | HOLLOE CORE                              |
| ACT       | ACOUSTICAL TILE       | H.M.      | HOLLOW METAL                             |
| ADJ.      | ADJUSTABLE            | H.V.A.C.  | HEATING, VENTILATION, & AIR CONDITIONING |
| A.B.      | ANCHOR BOLT           | INSUL.    | INSULATION                               |
| A.C.      | AIR CONDITIONING      | INV.      | INVERT                                   |
| AFF       | ABOVE FINISH FLOOR    | LAM.      | LAMINATED                                |
| ALUM.     | ALUMINUM              | MAT.      | MATERIAL                                 |
| ALT.      | ALTERNATE             | M.C.      | MECHANICAL CONTRACTOR                    |
| BD.       | BOARD                 | M.H.      | MAN HOLE                                 |
| BLDG.     | BUILDING              | MLDG.     | MOLDING                                  |
| B.M.      | BENCH MARK            | MTL. MET. | METAL                                    |
| BRG.      | BRIDGING OR BEARING   | MIN.      | MINIMUM                                  |
| C/C       | CENTER TO CENTER      | M.T.      | METAL THRESHOLD                          |
| CL        | CENTER LINE           | N.I.C.    | NOT IN CONTRACT                          |
| CAB.      | CABINET               | NO.       | NUMBER                                   |
| C.B.      | CATCH BASIN           | NOM.      | NOMINAL                                  |
| C.I.      | CAST IRON             | O.C.      | ON CENTER                                |
| CER.      | CERAMIC               | OPG.      | OPENING                                  |
| CLG.      | CEILING               | O.W.      | OPEN WEB                                 |
| C.O.      | CLEAN OUT             | P.C.      | PLUMBING CONTRACTOR                      |
| CONC.     | CONCRETE              | PL        | PLATE                                    |
| COORD.    | COORDINATE            | PT.       | PRESSURE TREADED                         |
| COL.      | COLUMN                | P.S.I.    | POUNDS PER SQUARE INCH                   |
| CONT.     | CONTINUOUS            | R.A.      | RETURN AIR                               |
| DET.      | DETAIL                | RM.       | ROOM                                     |
| DN.       | DOWN                  | REQD      | REQUIRED                                 |
| DK.       | DECK                  | REIN.     | REINFORCING                              |
| D.S.      | DOWN SPOUT            | S.B.      | SPALSH BLOCK                             |
| D.W.      | DRY WALL              | SCH.      | SCHEDULE                                 |
| DWG.      | DRAWING               | SEC.      | SECTION                                  |
| E.C.      | ELECTRICAL CONTRACTOR | S.C.      | SOLID CORE                               |
| EL. ELEV. | ELEVATION             | SIM.      | SIMILAR                                  |
| ELEC.     | ELECTRICAL            | S.S.      | STAINLESS STEEL                          |
| EX/EXIST  | EXISTING              | S.V.B.    | STRAIGHT VINYL BASE                      |
| EXP.      | EXPOSED OR EXPANSION  | SPEC.     | SPECIFICATION                            |
| F.E.      | FIRE EXTINGUISHER     | T.O.      | TOP OF                                   |
| F.F.      | FINISHED FLOOR        | T.O.F.    | TOP OF FOOTING                           |
| FIN.      | FINISH                | T.O.P.    | TOP OF PLATE                             |
| FLR.      | FLOOR                 | T.O.S.    | TOP OF STEEL                             |
| F.S.      | FULL SIZE             | TYP.      | TYPICAL                                  |
| F.T.      | FOOT OR FEET          | THK.      | THICK OR THICKNESS                       |
| FTG.      | FOOTING               | T&G       | TOUNGUE AND GROOVE                       |
| G.C.      | GENERAL CONTRACTOR    | U.N.O     | UNLESS NOTED OTHERWISE                   |
| GL.       | GLASS OR GLAZING      | V.C.T.    | VINYL COMPOSITION TILE                   |
| G.PT.     | GLAZED PAINT          | V.C.B.    | VINYL COVE BASE                          |
| GYP.      | GYPSUM                | VIF       | VERIFY IN FIELD                          |
| H.B.      | HOSE BIB              | W/        | WITH                                     |
| HGT.      | HEIGHT                | W.I.      | WROUGHT IRON                             |
| HRD'R     | HARDENER              | WD.       | WOOD                                     |
|           |                       | W.W.F.    | WELDED WIRE FABRIC                       |

#### LOCATION MAP:



#### LIST OF DRAWINGS:

|        |                               |
|--------|-------------------------------|
| CS.1   | COVER SHEET                   |
| SU.1   | SURVEY                        |
| SP.1.1 | SITE PLAN                     |
| SP.1.2 | ENLARGED SITE PLAN            |
| SP.1.3 | PRELIMINARY STAGING PLAN      |
| LS.1.1 | LIFE SAFTEY PLAN              |
| A.1.1  | AS-BUILT & DEMO PLAN          |
| A.1.2  | OVERLAY PLAN & EXISTING VIEWS |
| A.1.3  | FIRST FLOOR PLAN              |
| A.1.4  | SECOND FLOOR & ROOF PLAN      |
| A.4.1  | DEMO ELEVATIONS               |
| A.4.2  | ELEVATIONS                    |
| L.1.1  | PHOTOMETRIC PLAN              |

#### DESIGN TEAM:

|                            |                      |
|----------------------------|----------------------|
| ARCHITECT:                 | OWNER:               |
| STEVE SIEBERT ARCHITECTURE | 9608 LAKE SERENA DR. |
| 466 N. FEDERAL HIGHWAY     | BOCA RATON FL 33496  |
| BOYNTON BEACH, FL 33435    |                      |
| (561) 880-7894             |                      |
| STEVE@STEVESIEBERT.COM     |                      |

#### ARCHITECTURAL SYMBOLS:

|  |   |  |                  |
|--|---|--|------------------|
|  | REVISION MARKER                         |  |                  |
|  | ELEVATION MARK                          |  |                  |
|  | ROOM NUMBER                             |  |                  |
|  | DOOR TAG- REFER TO DOOR SCHEDULE        |  |                  |
|  | WINDOW TAG- REFER TO WINDOW SCHEDULE    |  |                  |
|  | WALL DETAIL, REFER TO PARTITION DETAILS |  |                  |
|  | FIXTURE TAG                             |  |                  |
|  | SECTION LETTER                          |  | SECTION LETTER   |
|  | WALL SECTION                            |  | BUILDING SECTION |
|  | SHEET NUMBER                            |  | SHEET NUMBER     |
|  | DETAIL                                  |  |                  |

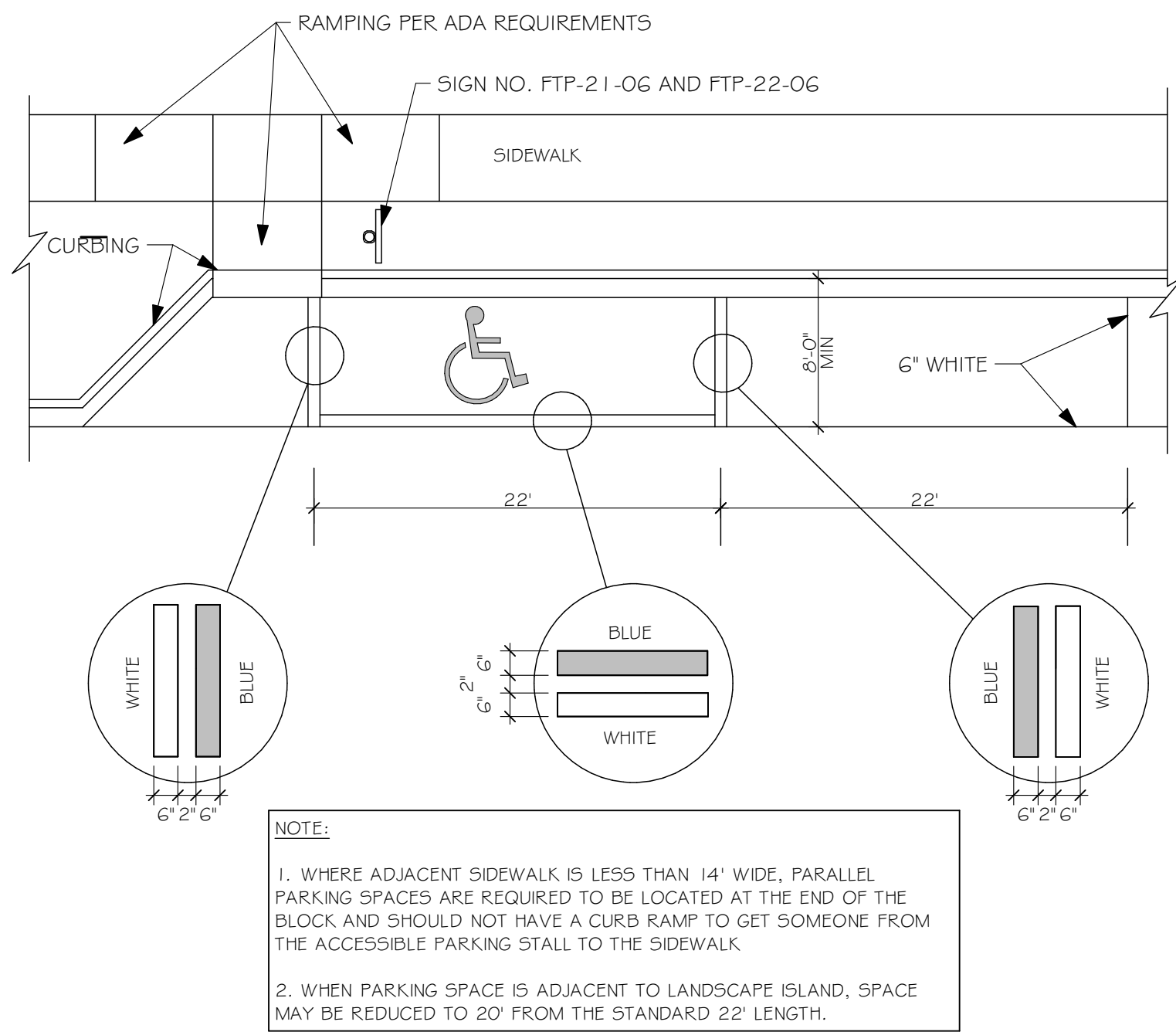
#### CONSTRUCTION DOCUMENTS

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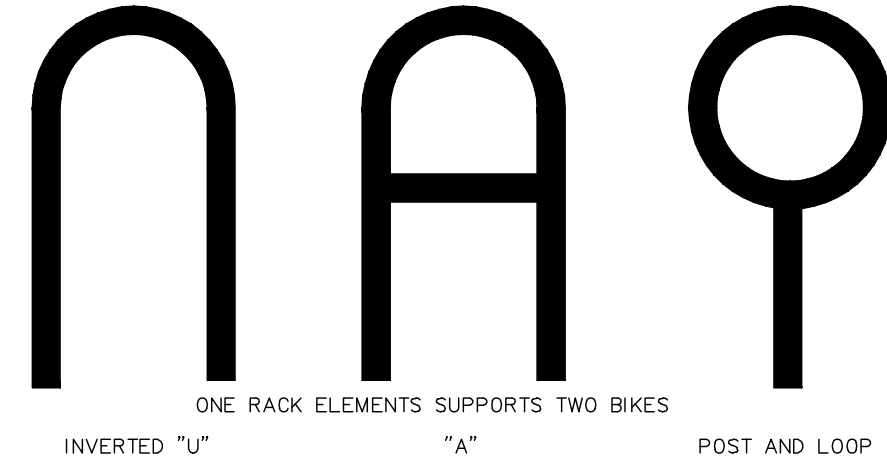
PROJECT NO: 21-391  
DATE: 9.29.23  
DRAWN BY: BT/JC  
CHECKED BY: SS  
REVISIONS:

COVER SHEET

CS.1



1 TYP. PARALLEL PARKING DTL. SCALE: 1/8" = 1'-0"

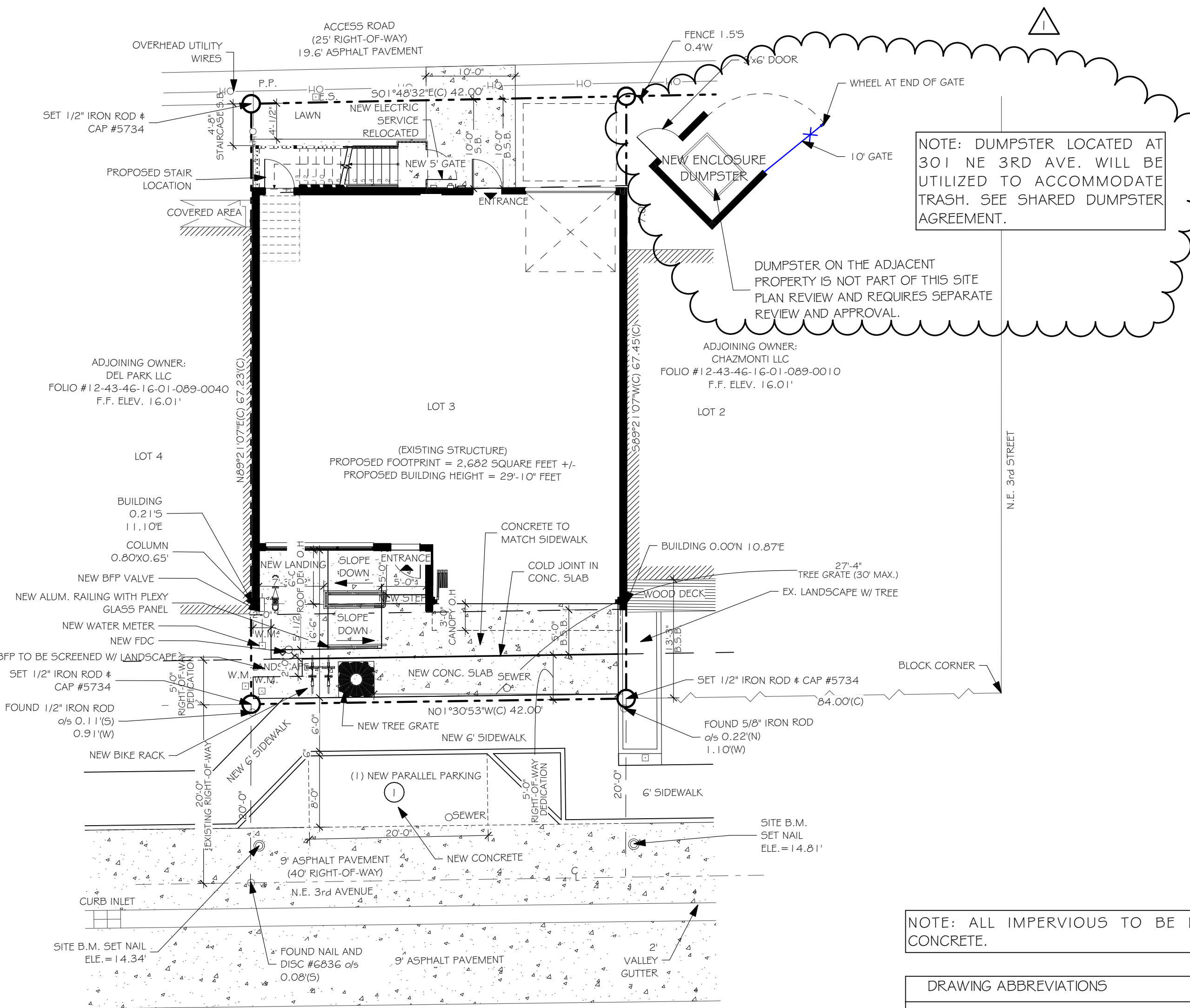


2 BIKE RACK DTL. SCALE: 1/2" = 1'-0"

**NOTE:**  
 1. WHERE ADJACENT SIDEWALK IS LESS THAN 14' WIDE, PARALLEL PARKING SPACES ARE REQUIRED TO BE LOCATED AT THE END OF THE BLOCK AND SHOULD NOT HAVE A CURB RAMP TO GET SOMEONE FROM THE ACCESSIBLE PARKING STALL TO THE SIDEWALK.  
 2. WHEN PARKING SPACE IS ADJACENT TO LANDSCAPE ISLAND, SPACE MAY BE REDUCED TO 20' FROM THE STANDARD 22' LENGTH.

THE LOCATION OF THE BICYCLE RACK SHOULD BE SUCH THAT IT IS VISIBLE AND IS COMPLIANT WITH "ADA" STANDARDS, PREFERABLY ON THE APPROACH SIDE OF THE BUILDING OR STRUCTURE PARKING IS EXPECTED, AT LEAST 50% OF THE BICYCLE PARKING SPOTS SHOULD BE COVERED BY AN OVERHANG OR ACTUAL STORAGE FACILITY. UPPER ELEMENTS OF THE BICYCLE RACK SHOULD NOT PROTRUDE, CREATING AN OBSTACLE FOR A BLIND TRAVELER.

SURFACE MOUNTED INVERTED "U" BIKE RACK. 1-1/2" ALUMINUM PIPE PAINTED BLACK  
 16" LONG, #4 DOWELS @ 24" O/C DRILL & EPOXY W/ MIN. 3" EMBED INTO EXIST. CONCRETE SLAB  
 EXIST. CONCRETE SLAB  
 4" THICK CONCRETE SLAB (3,000 PSI MIN.) W 6X6, 1 OX 10 WELDED WIRE MESH ON COMPACTED SOIL



**NOTE:** ALL IMPERVIOUS TO BE LIGHT COLOR CONCRETE.

**DRAWING ABBREVIATIONS**

|              |                            |
|--------------|----------------------------|
| U.E.         | UTILITY EASEMENT           |
| D.E.         | DRAINAGE EASEMENT          |
| L.A.E.       | LIMITED ACCESS EASEMENT    |
| L.M.E.       | LAKE MAINTENANCE EASEMENT  |
| S.B.         | SETBACK                    |
| B.S.B        | BUILDING SETBACK           |
| PROP. B.S.B. | PROPOSED BUILDING SET BACK |
| E.O.W.       | EDGE OF WATER              |
| L.B.E.       | LANDSCAPE BUFFER EASEMENT  |
| R.O.W        | RIGHT OF WAY               |
| CB.          | CATCH BASIN                |

**NOTE:** ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/CIVIL WORK AND/OR ANY SUCH DRAWINGS THAT ARE INSERTED INTO THIS SET AND/OR LACK THERE OF. THIS INCLUDES BUT IS NOT LIMITED TO THE PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE ADJUDICATING CITY OR A LICENSED CIVIL ENGINEER.

**PROJECT DATA:**

**PROJECT DESCRIPTION:**  
 THIS PROJECT IS AN INTERIOR REMODELING OF AN EXISTING VACANT SPACE IN THE ARTS DISTRICT OF DELRAY BEACH FLORIDA. WORK WILL INCLUDE A NEW INTERIOR LAYOUT FOR A NEW RESTAURANT, THE ADDITION OF A SECOND STORY WITH SAME ACTIVITIES, AND A FACADE RENOVATION.

**PROJECT INFORMATION:**  
 OWNER: BIG B INVESTMENTS LLC  
 ADDRESS: 319 NE 3RD AVE DELRAY BEACH, 33483  
 FOLIO: 12-43-46-16-01-089-0030  
 LEGAL: TOWN OF DELRAY LT 3 BLK 89  
 FLOOD: X

**ZONING AND CODE INFORMATION:**  
 ZONING: CBD-CENTRAL BUSINESS  
 OCCUPANCY: ASSEMBLY GROUP A-2  
 CONSTRUCTION TYPE: III B  
 CURRENT USE: 1700-OFFICE BLDG-NON MEDICAL 1 TO 3 STORIES  
 PROPOSED USE: BUSINESS-RESTAURANT

**FLORIDA BUILDING CODE:**  
 FBC-2020 BUILDING CODE, EX. BUILDINGS  
 FBC EC= FLORIDA BUILDING CODE ENERGY CONSERVATION 2020  
 NEC= NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE  
 F5= FLORIDA STATUTES  
 FLORIDA FIRE PREVENTION CODE, 6TH EDITION  
 NFPA 101: LIFE SAFETY CODE 2018  
 ACCESSIBILITY CODE: 2018 FLORIDA ACCESSIBILITY CODE

**BUILDING DATA:**

|                          |          |
|--------------------------|----------|
| BUILDING GROUND FLOOR:   | 1,832 SF |
| PROPOSED OCC. ROOF DECK: | 850 SF   |
| PROPOSED TOTAL SF:       | 2,682 SF |

**SITE/LAND DATA:**

|  | REQUIRED | EXISTING       | PROPOSED       |
|--|----------|----------------|----------------|
| TOTAL GROSS SITE AREA (2,827 SF (0.0648 ACRE)) |          |                |                |
| FAR CALC.:                                     | 3.0 MAX  | .63            | .94            |
| MAX. NO. OF STORIES:                           | 4        | 1              | 2              |
| MAX. SITE COVERAGE(BLDG.):                     | N/A      | 64% (1,808 SF) | 65% (1,832 SF) |
| HARDSCAPE (IMPERMEABLE W/ BLDG):               | N/A      | 87% (2,450 SF) | 84% (2,389 SF) |
| GREEN SPACE (PERMEABLE):                       | N/A      | 13% (377 SF)   | 16% (438 SF)   |

**SETBACKS:**

|                       | REQUIRED               | EXISTING | PROPOSED   |
|-----------------------|------------------------|----------|------------|
| FRONT: (WEST)         | 10'-0" MIN / 5'-0" MAX | 10'      | 5'         |
| REAR: (EAST)          | 10'-0" MIN             | 10'      | 10'        |
| SIDE: (NORTH)         | 0'-0"                  | 0'-0"    | 0'         |
| SIDE: (SOUTH):        | 0'-0"                  | 0'-0"    | 0'         |
| MAX. BUILDING HEIGHT: | 54'-0"                 | 12'-0"   | 24'-9 1/4" |

\* DUE TO 5' RIGHT OF WAY DEDICATION

**PARKING DATA:**

|   | REQUIRED                  | EXISTING   | PROPOSED                  |
|---|---------------------------|------------|---------------------------|
| RESTAURANT:                             |                           |            |                           |
| FIRST FLOOR                             | 1,832 SF (6 SP/1000 sf) = | 11 SPACES  | 5 SPACES                  |
| SECOND FLOOR                            | 850 SF (6 SP/1000 sf) =   | 5 SPACES   | 16 SPACES                 |
| (4) SPACES PROVIDED / EXISTING-CREDIT = |                           | - 4 SPACES | 12 SPACES REQUEST IN-LIEU |

**IN-LIEU ALLOWANCE:**  
 100% FOR CHANGE OF USE () = 11 SPACES (IN-LIEU)  
 30% FOR NEW AREA = 1 SPACE (IN-LIEU)  
 TOTAL = 12 SPACES MAX (IN-LIEU)

**BICYCLE PARKING DATA:**

|              | REQUIRED | EXISTING | PROPOSED |
|--------------|----------|----------|----------|
| 1 SP/2500 sf | 1        | 0        | 2        |

**WAIVER(\*):**

| REAR SETBACK: (EAST) | REQUIREMENT                           | REQUIRED | PROPOSED |
|----------------------|---------------------------------------|----------|----------|
|                      | Section 4.4.13(D)(2), Table 4.4.13(C) | 10'      | 5'       |

**DEVELOPMENT STANDARDS PER LDR TABLE 4.4.13**

| ZONE     | MIN. LOT SIZE (SF) | MIN LOT WIDTH (FT) | MIN LOT DEPTH (FT) | MAX LOT COVER (%) | MIN PERIMETER BUFFER (FT) | MIN OPEN SPACE (%) | (WEST)                 |                      |                     | (NORTH # SOUTH)       |                          |                       | (EAST)                   |  |
|----------|--------------------|--------------------|--------------------|-------------------|---------------------------|--------------------|------------------------|----------------------|---------------------|-----------------------|--------------------------|-----------------------|--------------------------|--|
|          |                    |                    |                    |                   |                           |                    | MIN FRONT SETBACK (FT) | MIN SIDE STREET (FT) | MIN SIDE INTR. (FT) | MIN REAR SETBACK (FT) | MAX BUILDING HEIGHT (FT) | MIN REAR SETBACK (FT) | MAX BUILDING HEIGHT (FT) |  |
| REQUIRED | 2,000              | 20'                | NA                 | NA                | NA                        | N/A                | 10'-0"                 | 0'-0"                | 0'-0"               | 10'-0"                | 54'-0"                   |                       |                          |  |
| PROVIDED | 2,827              | 42' EX             | 67'-3" EX.         | 72%               | 0                         | N/A                | 5'-0" PROPOSED         | N/A                  | 0'-0" EXIST.        | (1)5'-0" PROPOSED     | 29'-10"                  |                       |                          |  |

**STEVE SIEBERT ARCHITECTURE**  
 1010 GATEWAY BLVD, SUIT 103  
 BOYNTON BEACH, FL 33426  
 PH. 561.880.7894  
 Steve@stevesiebert.com  
 www.stevesiebert.com

SEAL

STEVEN W. SIEBERT  
 FLORIDA AR0017834  
 NEW JERSEY 21A101517500  
 TEXAS 26934

INTERIOR TENANT BUILD-OUT

# 319 RESTAURANT

319 NE 3RD AVE  
 DELRAY BEACH, FL 33483

**CONSTRUCTION DOCUMENTS**

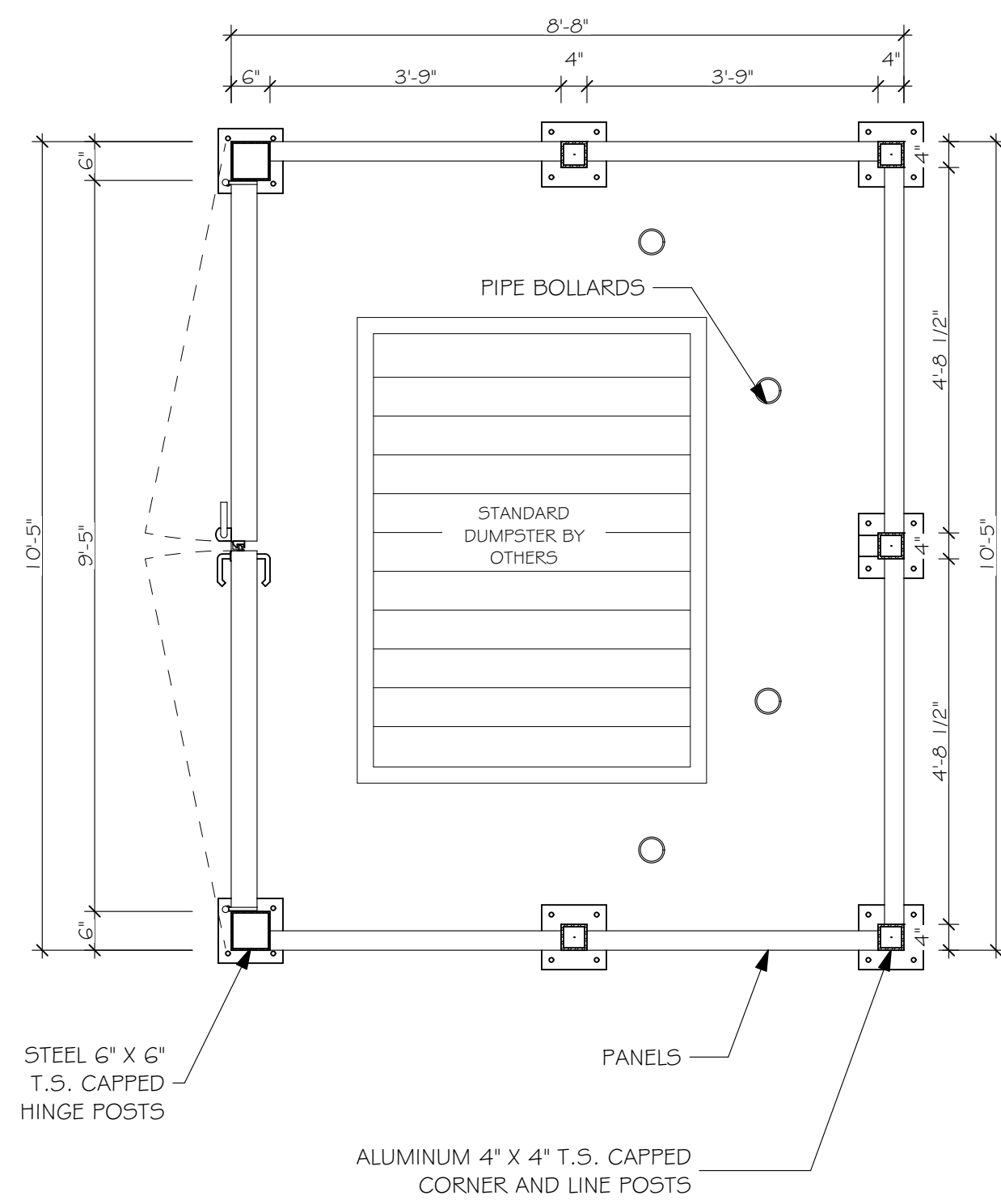
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 DATE: 9.29.23  
 DRAWN BY: BT/JC  
 CHECKED BY: SS  
 REVISIONS:

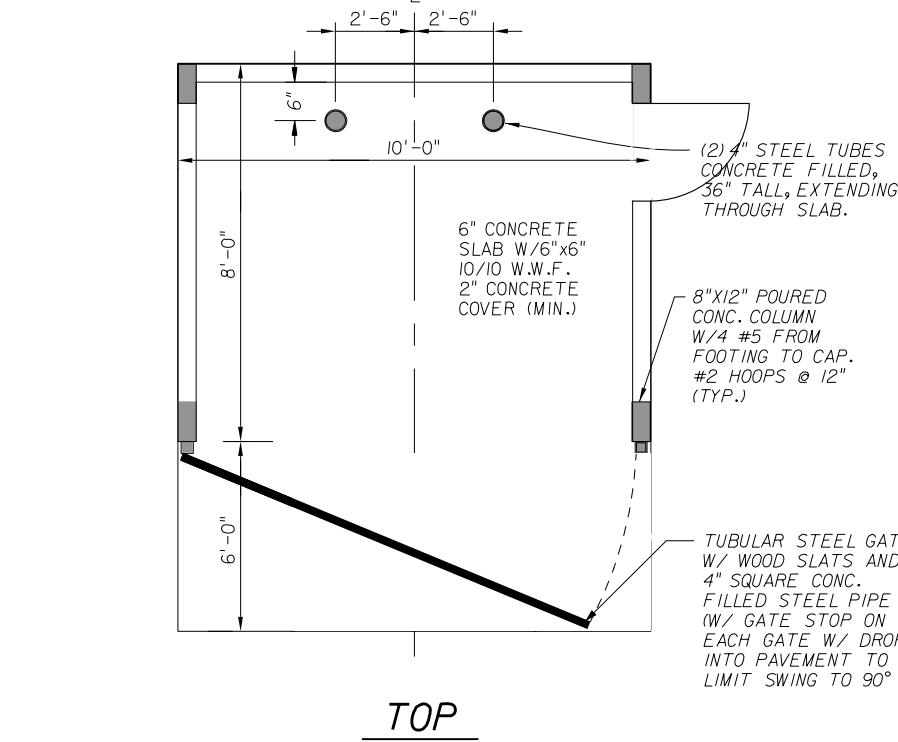
SITE PLAN

# SP1.1

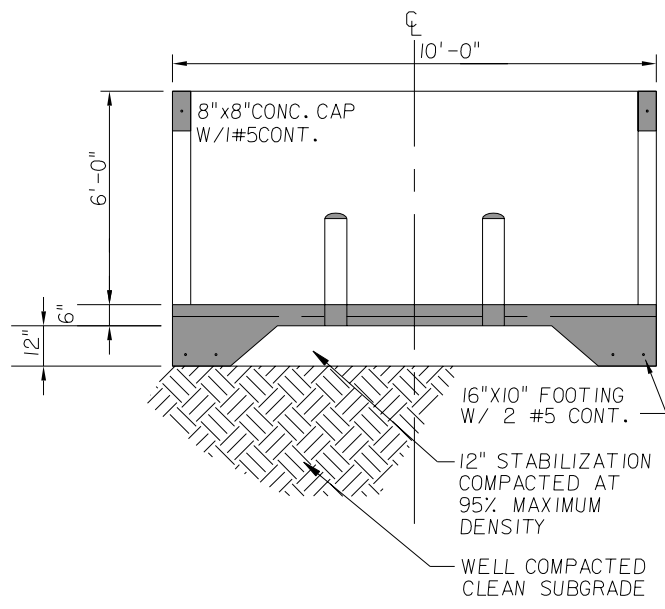
**SITE PLAN**  
 SCALE: 1" = 10'



**1 DUMPSTER DETAIL**  
SCALE: 1/2" = 1'-0"  
319 NE 3rd AVENUE



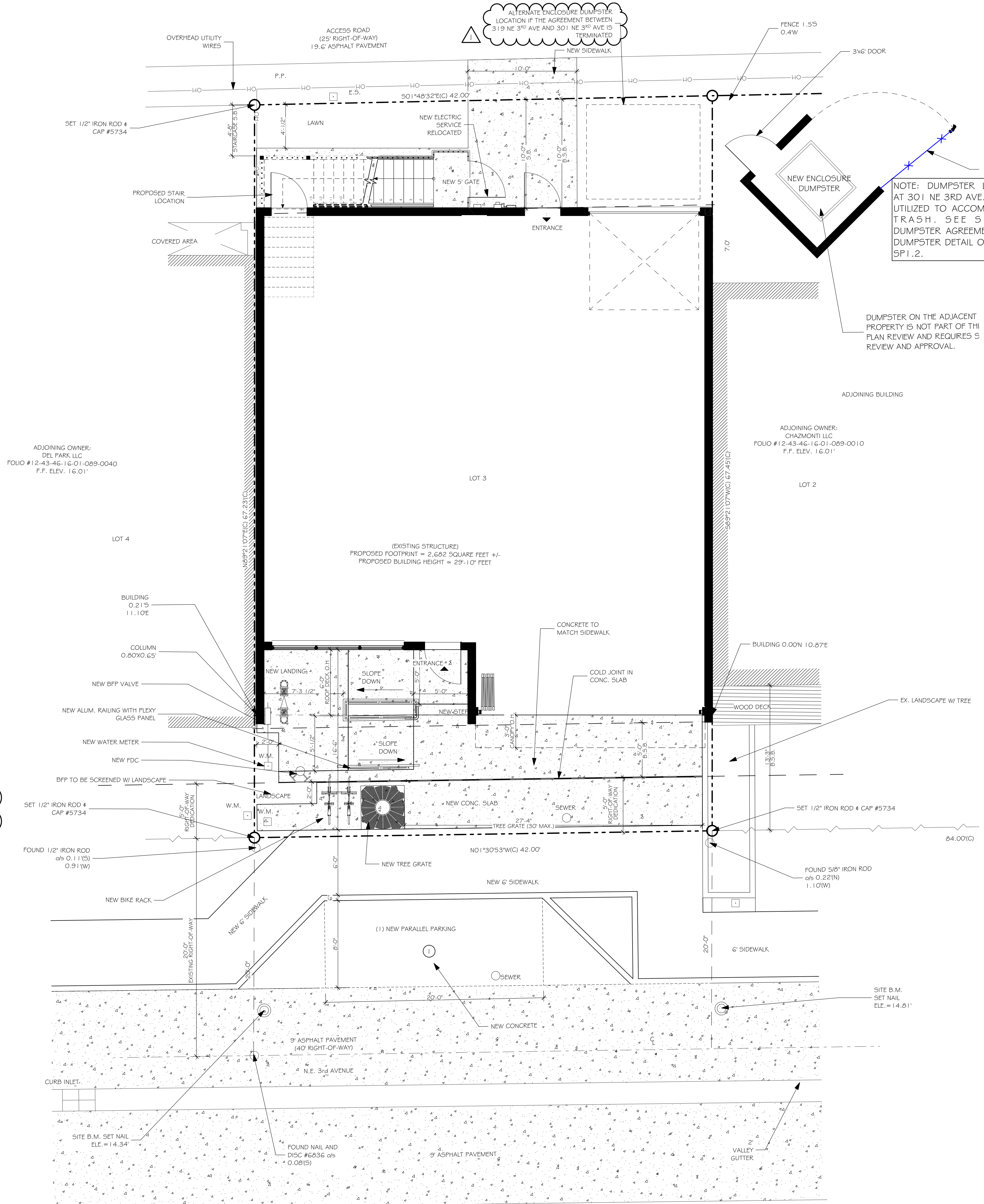
TOP



FRONT

- NOTES:
1. ALL REINFORCING STEEL SHALL BE GRADE 40 OR EQUAL.
  2. SLAB LOCATION SHALL MEET REQUIREMENTS OF CITY OF BOCA RATON SANITATION DIVISION.
  3. ENCLOSURE WALLS AND DOORS SHALL BE DESIGNED, CONSTRUCTED AND FINISHED PER C.A.B. CRITERIA.
  4. TRUCK APPROACH SHALL HAVE 60000 LB. G.V.W. CAPACITY (MIN.).
  5. WHEN THE DOORS ARE OPEN THE OBSTRUCTED ACCESS SHALL BE EQUAL TO THE INSIDE WIDTH OF THE ENCLOSURE. NO FRAMING, HINGES OR OTHER ITEMS SHALL ENCRUCH ON THIS OPENING.
  6. ACCESS DOORS SHALL BE HUNG ON ENDS OF ENCLOSURE WALLS.
  7. CONCRETE STOPS SHALL BE USED WITH CITY SERVICE AND APPROVED 2 C.Y.

**DUMPSTER ENCLOSURE**  
NOT TO SCALE 301 NE 3RD AVE. DUMPSTER ENCLOSURE



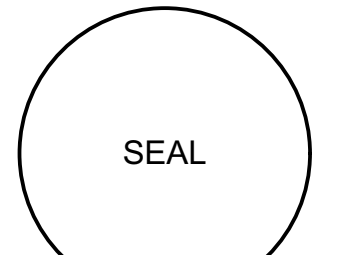
**SITE PLAN**  
SCALE: 1" = 5'

NOTE: DUMPSTER LOCATED AT 301 NE 3RD AVE. WILL BE UTILIZED TO ACCOMMODATE TRASH. SEE SHARED DUMPSTER AGREEMENT. SEE DUMPSTER DETAIL ON SHEET SP1.2.

DUMPSTER ON THE ADJACENT PROPERTY IS NOT PART OF THE PLAN REVIEW AND REQUIRES 5 REVIEW AND APPROVAL.



**STEVE SIEBERT ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

INTERIOR TENANT BUILD-OUT  
**319 RESTAURANT**  
319 NE 3RD AVE  
DELRAY BEACH, FL 33483

**CONSTRUCTION DOCUMENTS**

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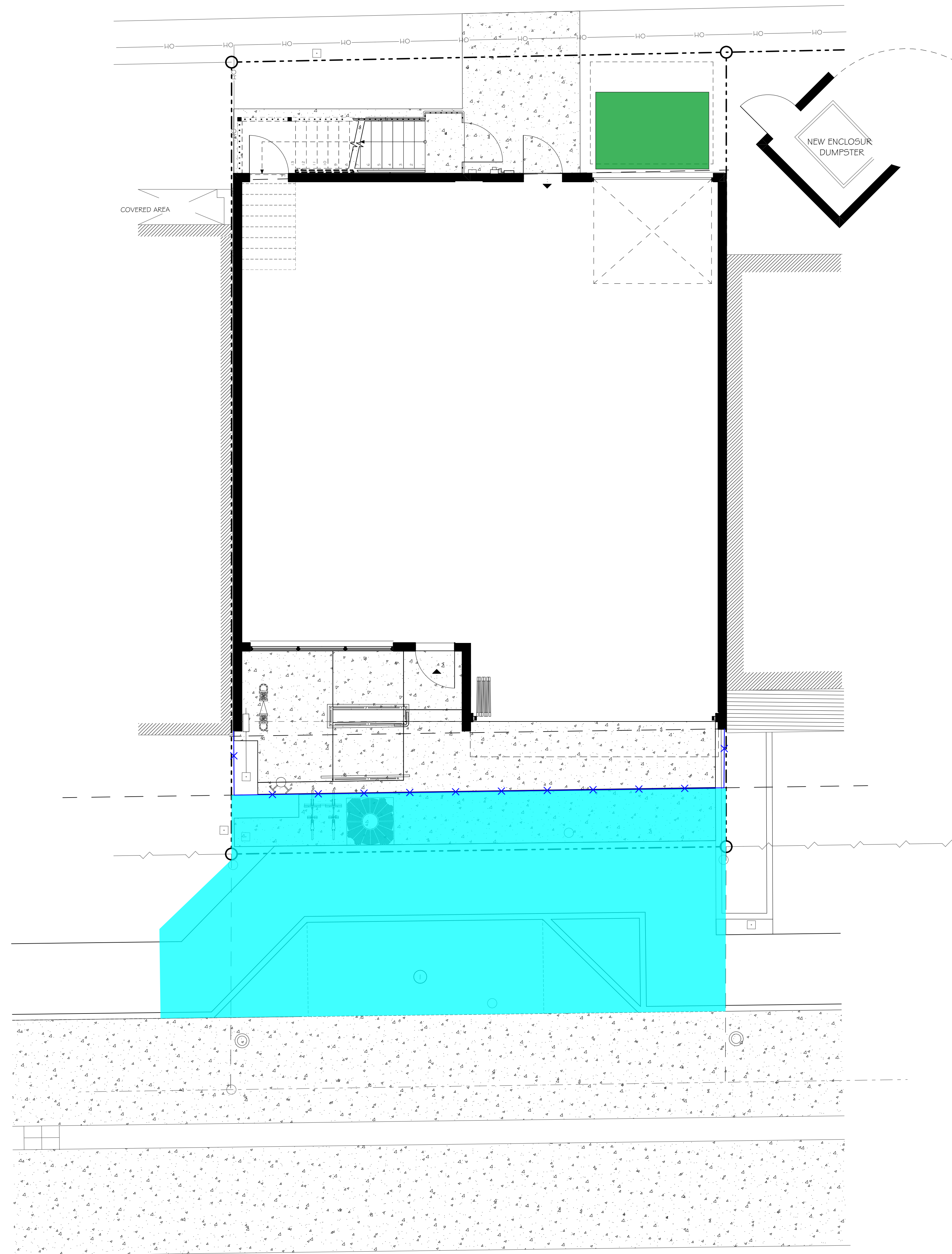
|             |         |
|-------------|---------|
| PROJECT NO: | 21-391  |
| DATE:       | 9.29.23 |
| DRAWN BY:   | BT/JC   |
| CHECKED BY: | SS      |
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**ENLARGED SITE PLAN**

**SP1.2**

Volumes/SSA Projects/Active Projects/21-391 319 NE 3rd Ave. Sushi bar restaurant/Sushi NE. 3rd Ave Delray.pln



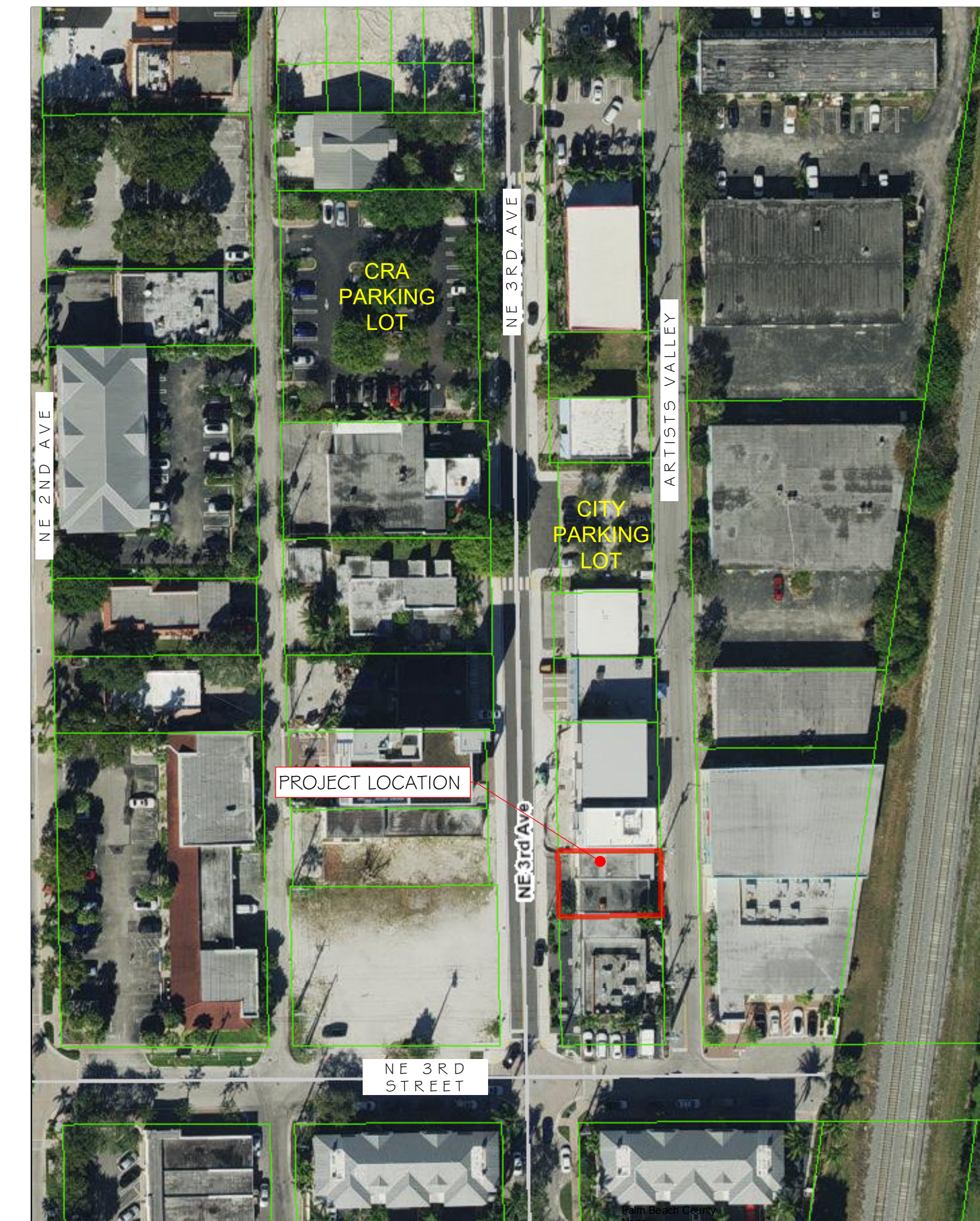


 **PRELIMINARY STAGING PLAN**  
SCALE: 1" = 5'

**PARKING LOCATION MAP:**

SCALE: NTS




319 NE 3rd Ave-12434616010890030



November 10, 2023



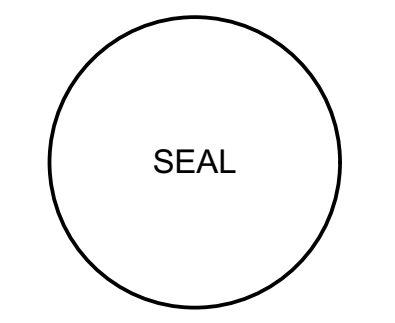
1:1,128  
0 0.0075 0.015 0.03 mi  
0 0.015 0.03 0.06 km

| LEGEND:   |   |
|---|---|
|  | CONSTRUCTION FENCE  |
|  | CONSTRUCTION DUMPSTER   |
|  | TEMPORARY ROW CONSTRUCTION OF PUBLIC IMPROVEMENTS- PARKING, SIDEWALK, CURB ZONE. ADDITIONAL DETAILS AND NOT TO BE PROVIDED WITH BUILDING PERMIT SUBMITTAL |

1. TEMPORARY CONSTRUCTION PARKING: CRA PARKING LOT (362 NE 3<sup>rd</sup> Ave) AND CITY PARKING LOT (353 NE 3<sup>rd</sup> Ave) JUST NORTH OF THE PROPERTY
2. CONSTRUCTION MATERIALS TO BE DELIVERED AS NEEDED AND STORED IN THE BUILDING IF NECESSARY



**STEVE SIEBERT ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21AIO1517500  
TEXAS 26934

**INTERIOR TENANT BUILD-OUT**  
**319 RESTAURANT**  
 319 NE 3RD AVE  
 DELRAY BEACH, FL 33483

**CONSTRUCTION DOCUMENTS**

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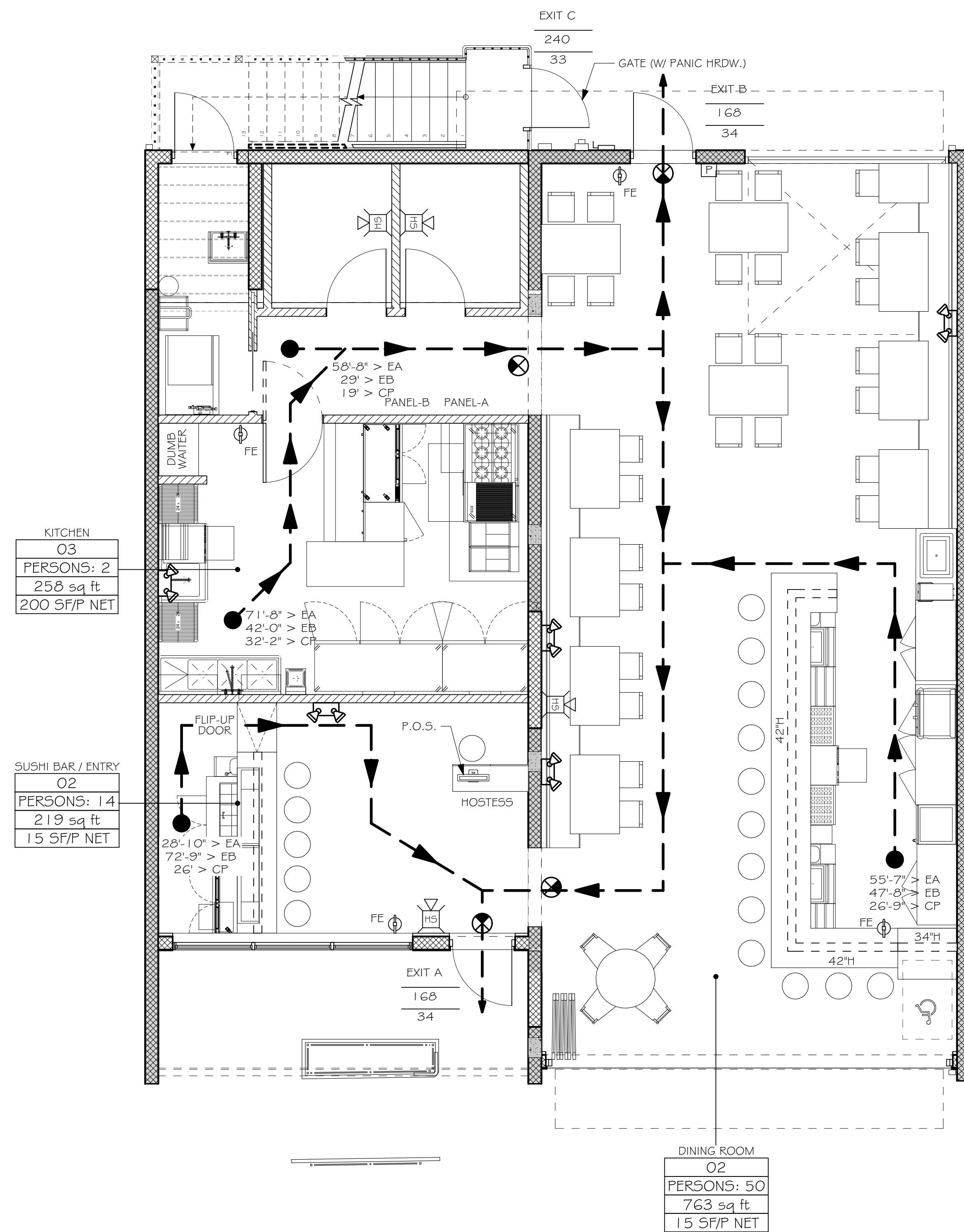
PROJECT NO: 21-391  
DATE: 9.29.23  
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REVISIONS:

**PRELIMINARY STAGING PLAN**  
**SP1.3**



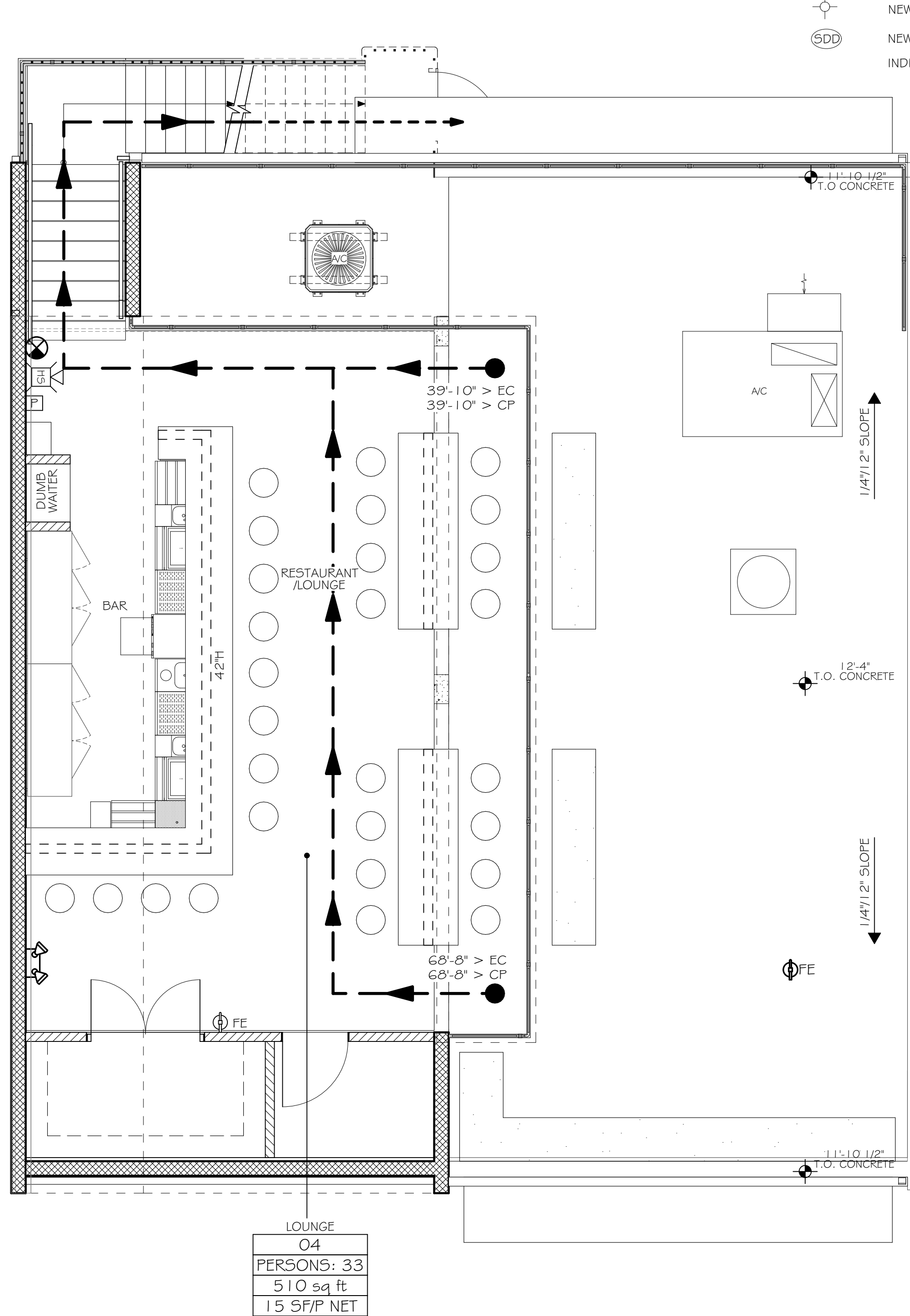
1st FLOOR LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"



2nd FLOOR LIFE SAFETY PLAN

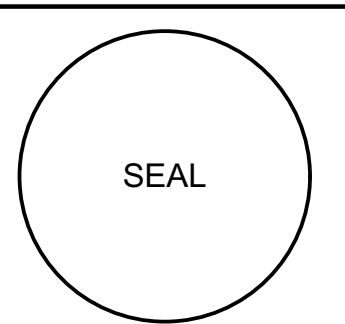
SCALE: 1/4" = 1'-0"



- LEGEND
- EMERGENCY BATTERY WALL PACK W/ TWIN HEADS (MIN. 90 MINUTES BATTER LIFE)
  - EXIT LIGHT FIXTURE, DIRECTION ARROWS AS SHOWN
  - EXIT LIGHT FIXTURE AND EMERGENCY LIGHT COMBO (MIN. 90 MINUTES BATTER LIFE)
  - FIRE EXTINGUISHER (3-PROVIDED) FEC WITH 5LB ABC. (1 OLB IN KITCHENS) LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION. REFER TO NFPA 10
  - DIRECTION OF EXIT OR EXIT ACCESS
  - PATH OF TRAVEL
- |           |                        |
|-----------|------------------------|
| ROOM      | = ROOM NAME            |
| 04        | = ROOM NUMBER          |
| I         | = OCCUPANT LOAD        |
| XX SF     | = ROOM AREA            |
| XXX GST/P | = OCCUPANT LOAD FACTOR |
- |     |                              |
|-----|------------------------------|
| EO# | = EXIT I.D. NUMBER           |
| MAX | = MAX. OCCUPANT LOAD OF EXIT |
| OC  | = OCCUPANTS SERVED BY EXIT   |
- XX>EO1 = MAX. DISTANCE TO EXIT 1
  - XX>EO2 = MAX. DISTANCE TO EXIT 2
  - XX>CP = COMMON PATH OF TRAVEL
- FIRE ALARM (HORN + STROBE)
  - FIRE ALARM (PULL-STATION)
  - FIRE ALARM (HORN)
  - FIRE ALARM (STROBE)
  - NEW FIRE SPRINKLER HEAD (TURNED DOWN)
  - NEW SMOKE DUCT DETECTOR
  - INDICATES EXISTING TO REMAIN



**STEVE SIEBERT ARCHITECTURE**  
 1010 GATEWAY BLVD, SUIT 103  
 BOYNTON BEACH, FL 33426  
 PH. 561.880.7894  
 Steve@stevesiebert.com  
 www.stevesiebert.com



STEVEN W. SIEBERT  
 FLORIDA AR0017834  
 NEW JERSEY 21A101517500  
 TEXAS 26934

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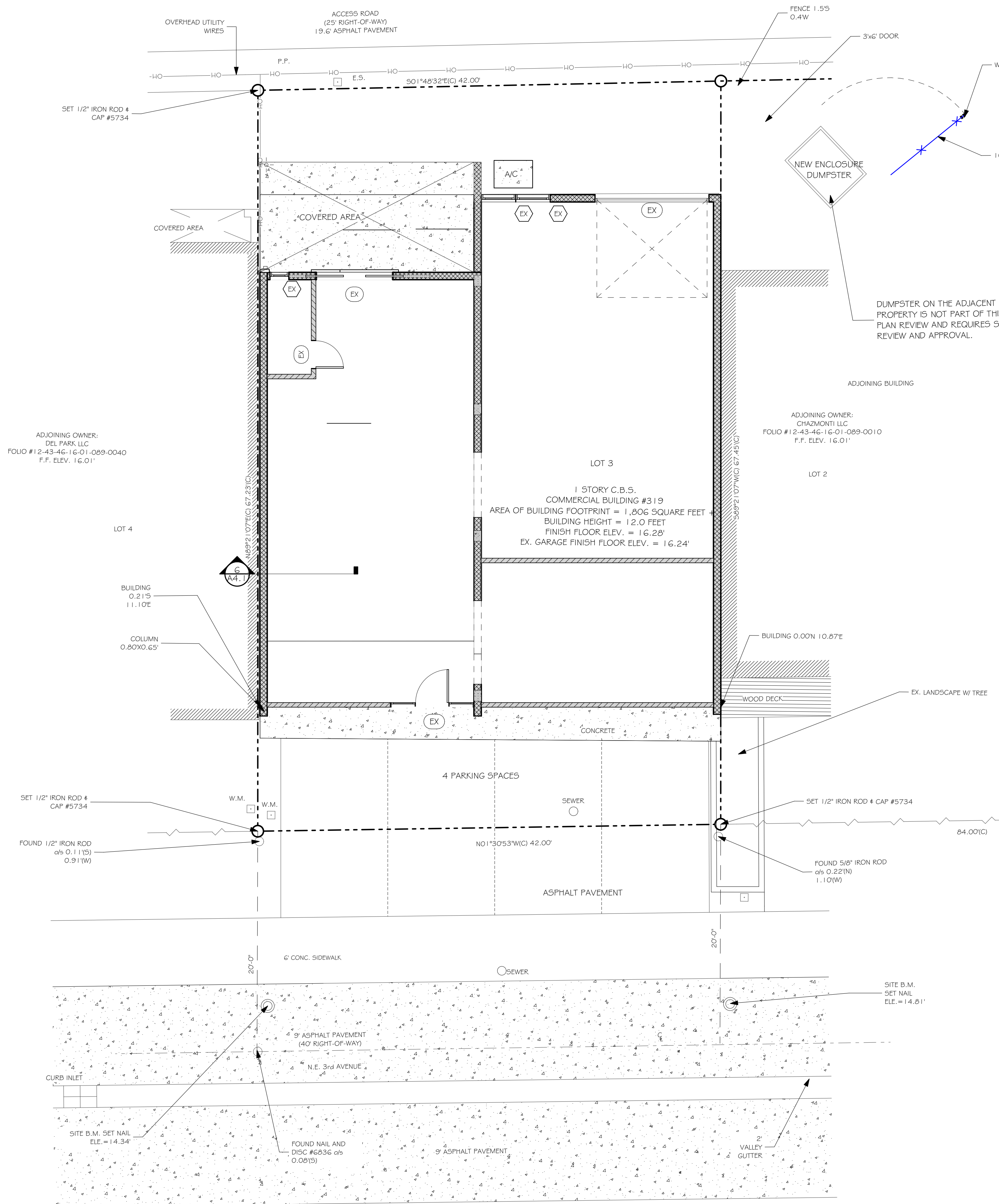
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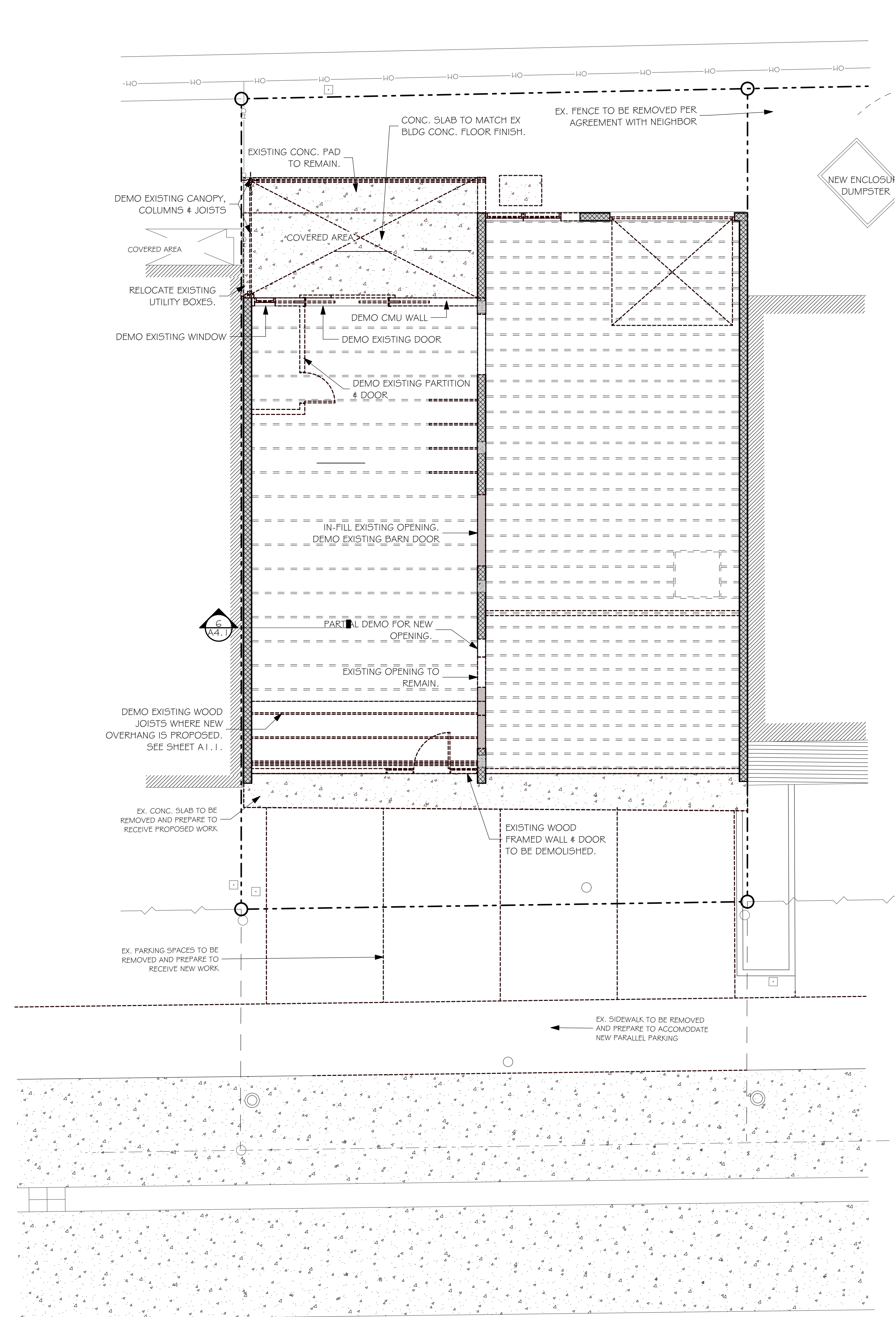
LIFE SAFETY PLAN

**LS1.1**

Volumes/SSA Projects/Active Projects/21-391 319 NE 3rd Ave. Sushi bar restaurant/Sushi NE - 3rd Ave Delray.pln



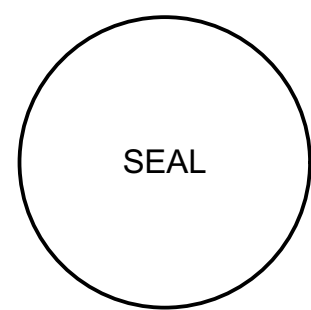
**AS-BUILT**  
SCALE: 3/16" = 1'-0"



**DEMOLITION PLAN**  
SCALE: 3/16" = 1'-0"



**STEVE SIEBERT ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

INTERIOR TENANT BUILD-OUT  
**319 RESTAURANT**  
319 NE 3RD AVE  
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AS-BUILT & DEMO PLAN

**A1.1**



EXISTING WEST SIDE

NOT TO SCALE



EXISTING WEST SIDE

NOT TO SCALE



EXISTING WEST SIDE

NOT TO SCALE

MAP VIEW:



1

NOT TO SCALE



4

NOT TO SCALE



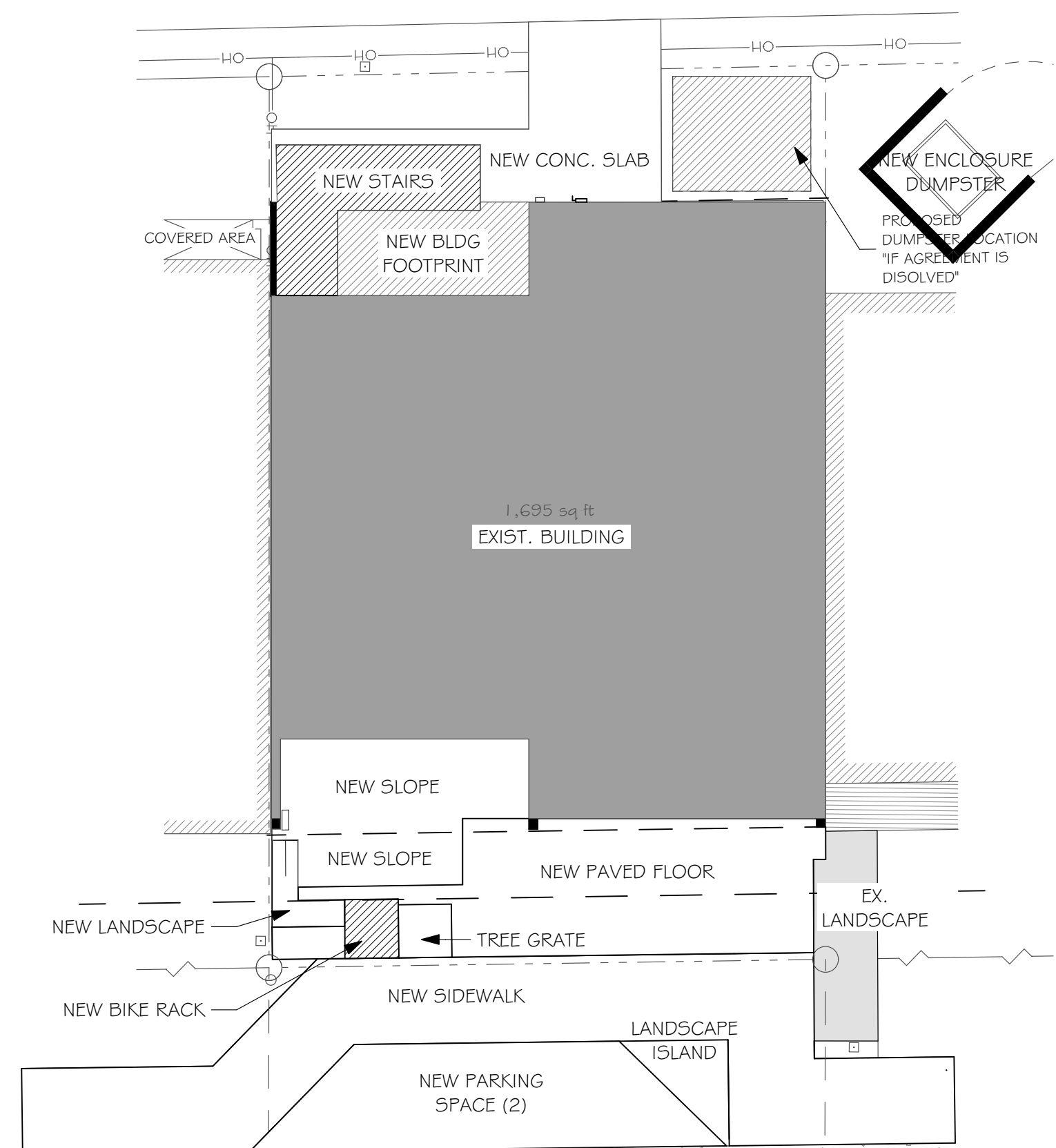
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NOT TO SCALE



3

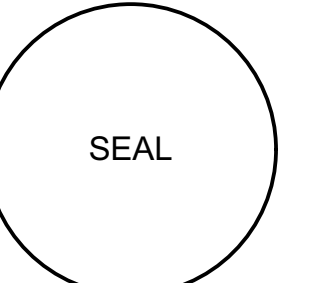
NOT TO SCALE



OVERLAY PLAN  
SCALE: 1" = 10'



STEVE SIEBERT  
ARCHITECTURE  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

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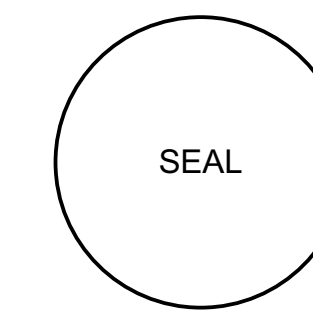
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DRAWN BY: BT/JC  
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REVISIONS:

OVERLAY PLAN &  
EXISTING VIEWS  
**A1.2**



**STEVE SIEBERT  
ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21AIO1517500  
TEXAS 26934

INTERIOR TENANT BUILD-OUT  
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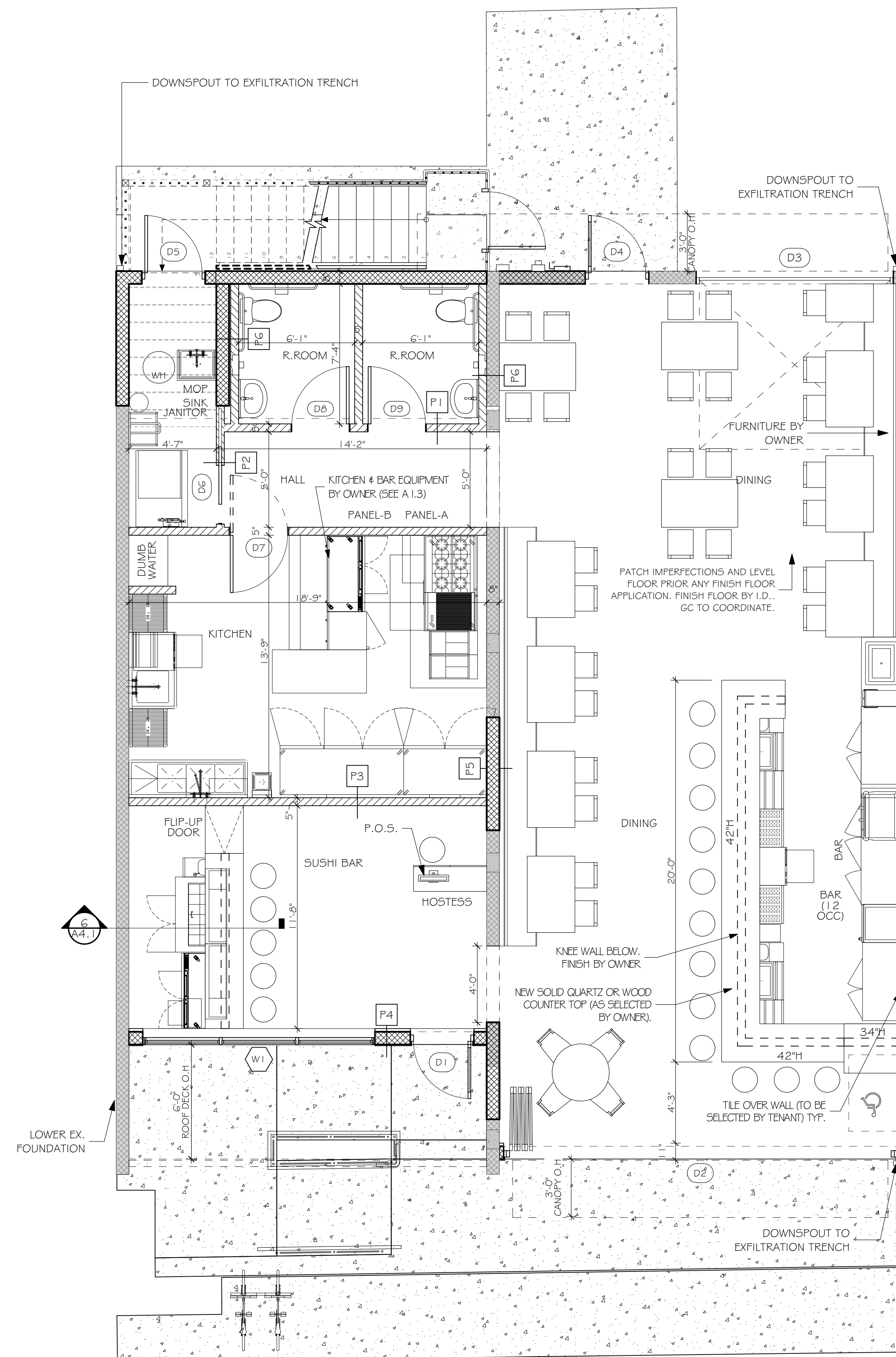
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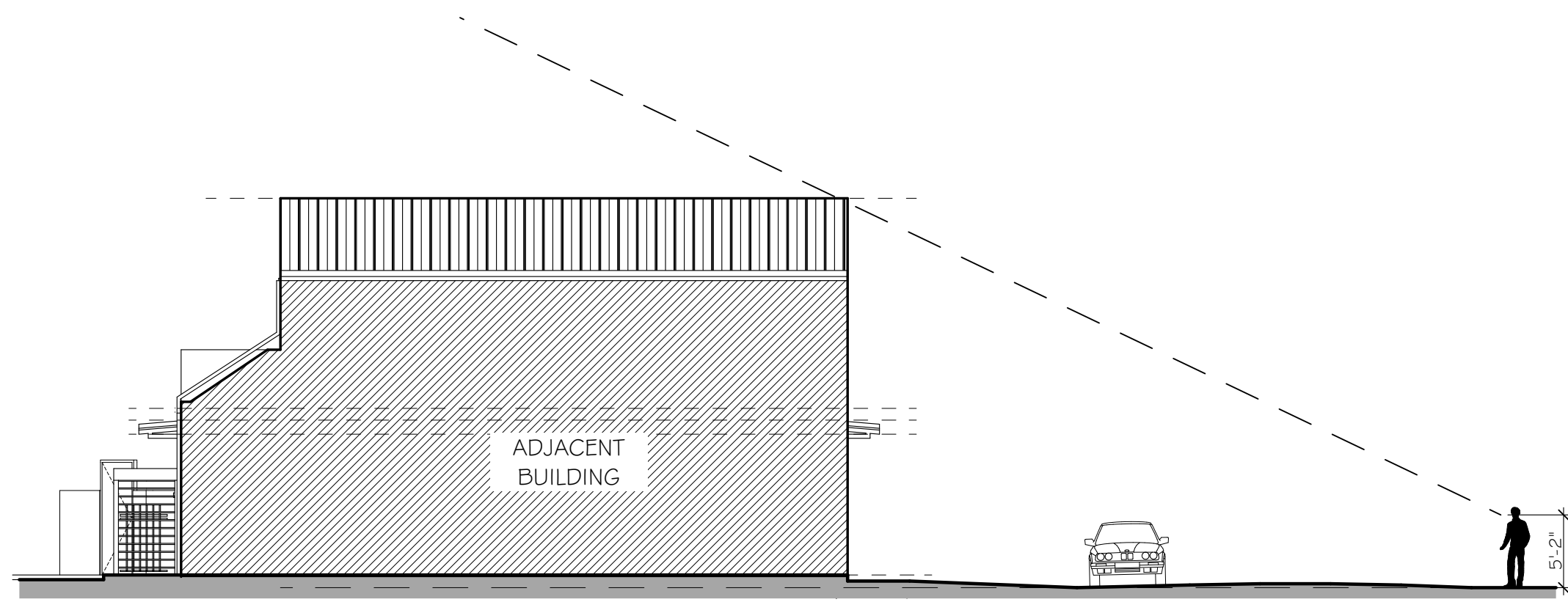
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FIRST FLOOR PLAN

**A1.3**

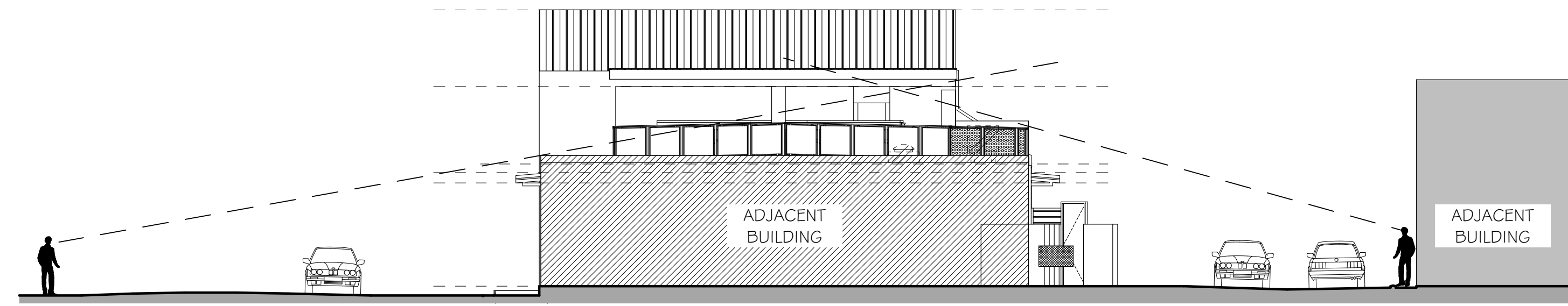


**1st FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



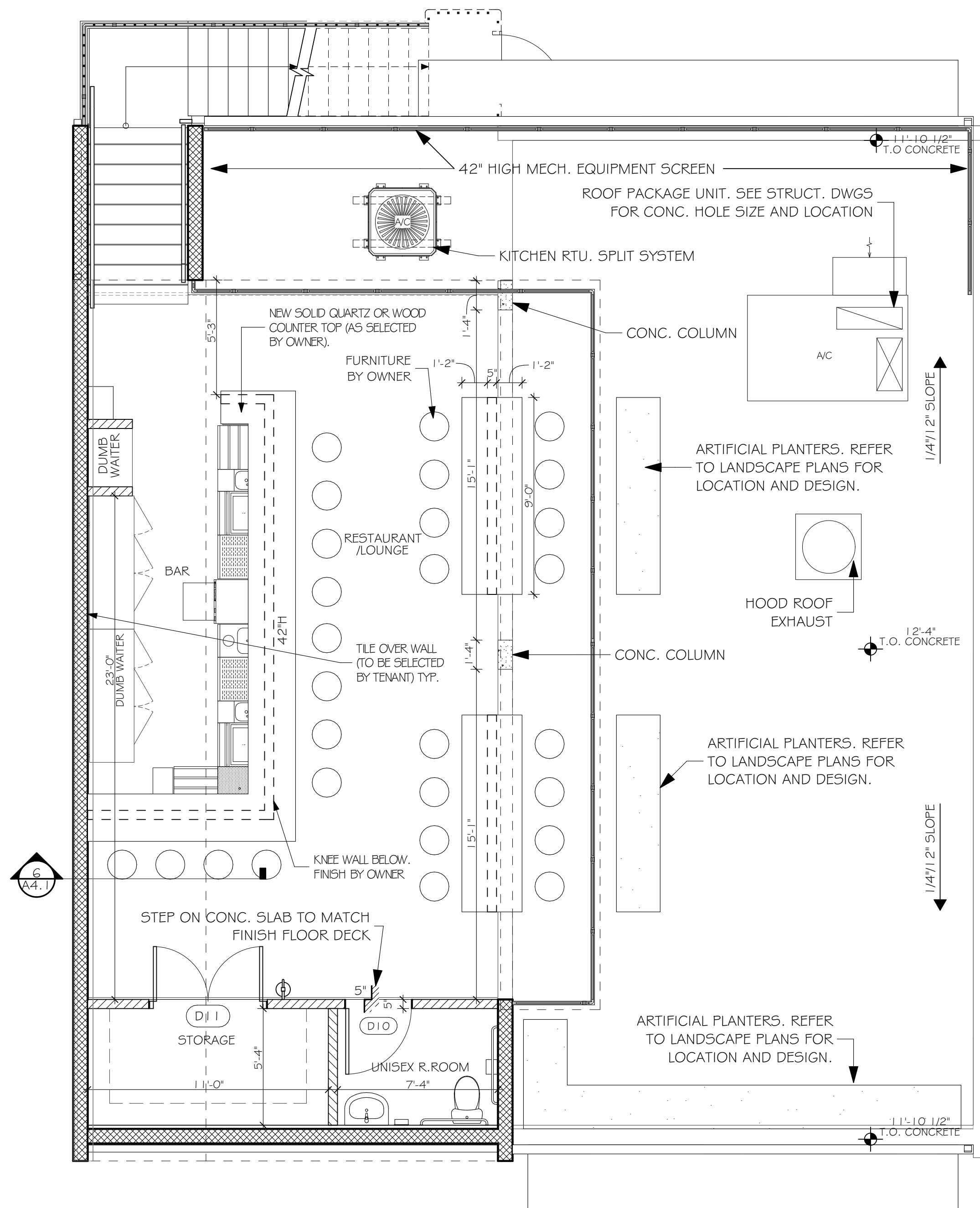
SIGHT STUDY NORTH

SCALE: 1" = 10'

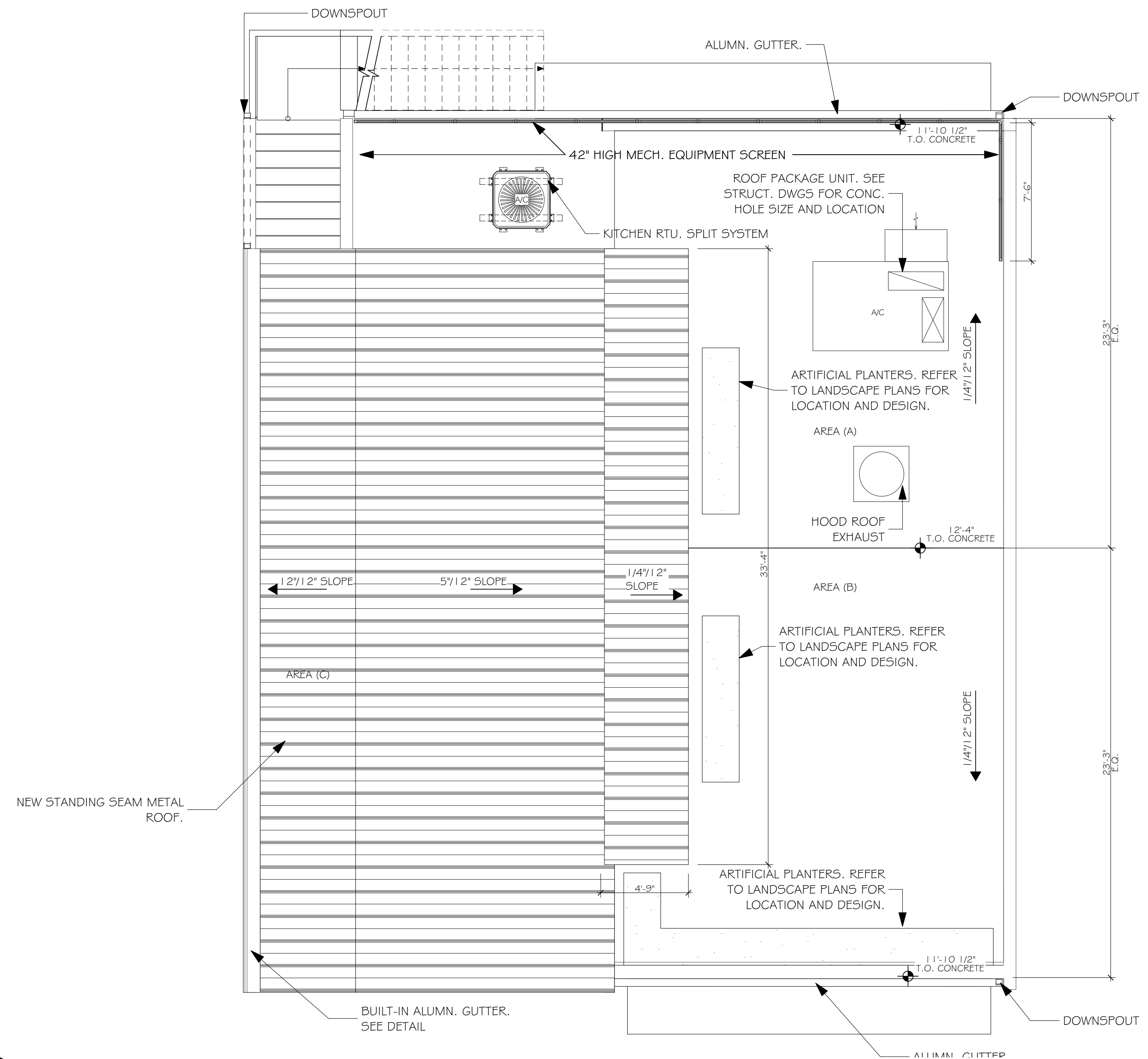


SIGHT STUDY SOUTH

SCALE: 1" = 10'



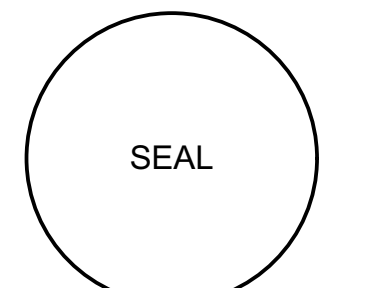
2nd FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ROOF PLAN  
SCALE: 1/4" = 1'-0"



STEVE SIEBERT  
ARCHITECTURE  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

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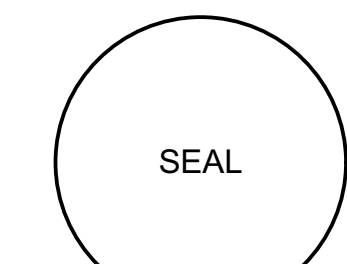
SECOND FLOOR & ROOF PLAN

A1.4

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**STEVE SIEBERT  
ARCHITECTURE**  
1010 GATEWAY BLVD, SUIT 103  
BOYNTON BEACH, FL 33426  
PH. 561.880.7894  
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FLORIDA AR0017834  
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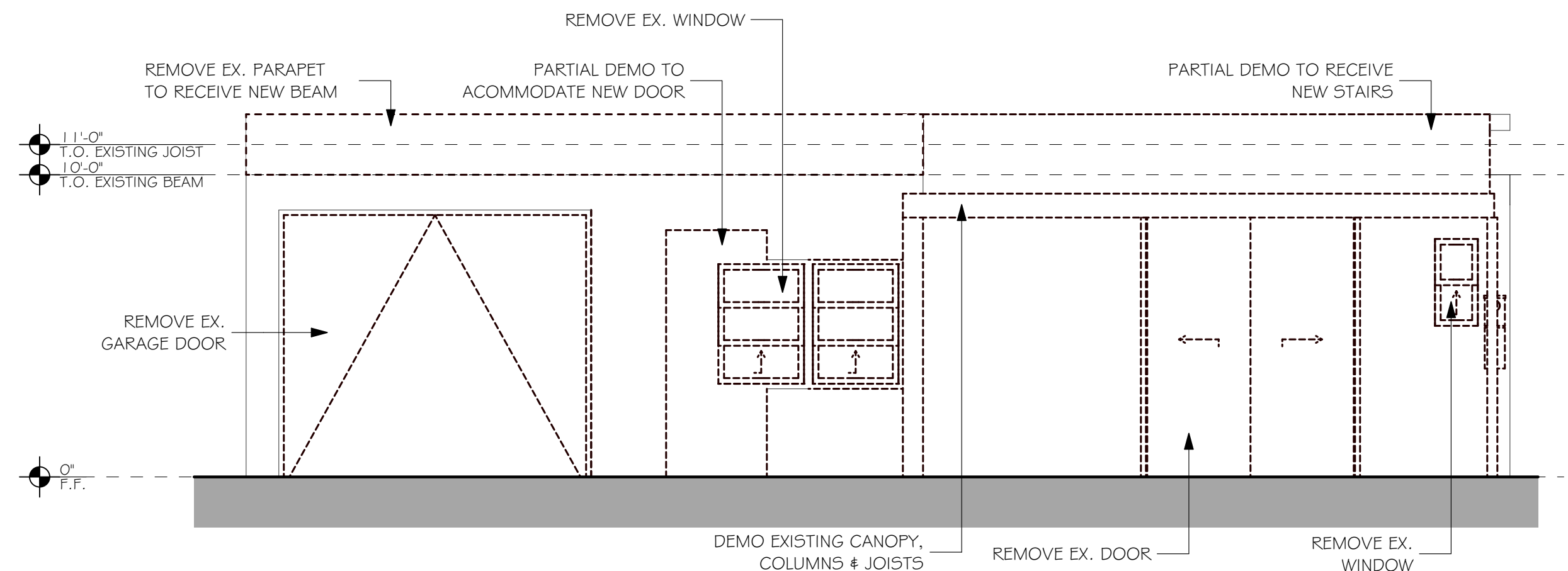
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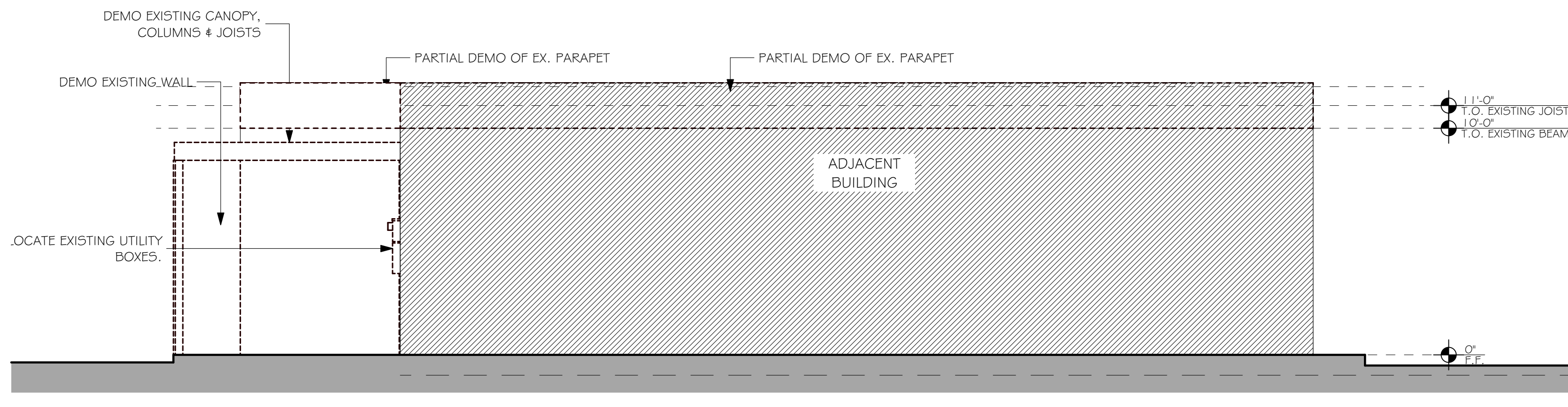
PROJECT NO: 21-391  
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DEMO ELEVATIONS

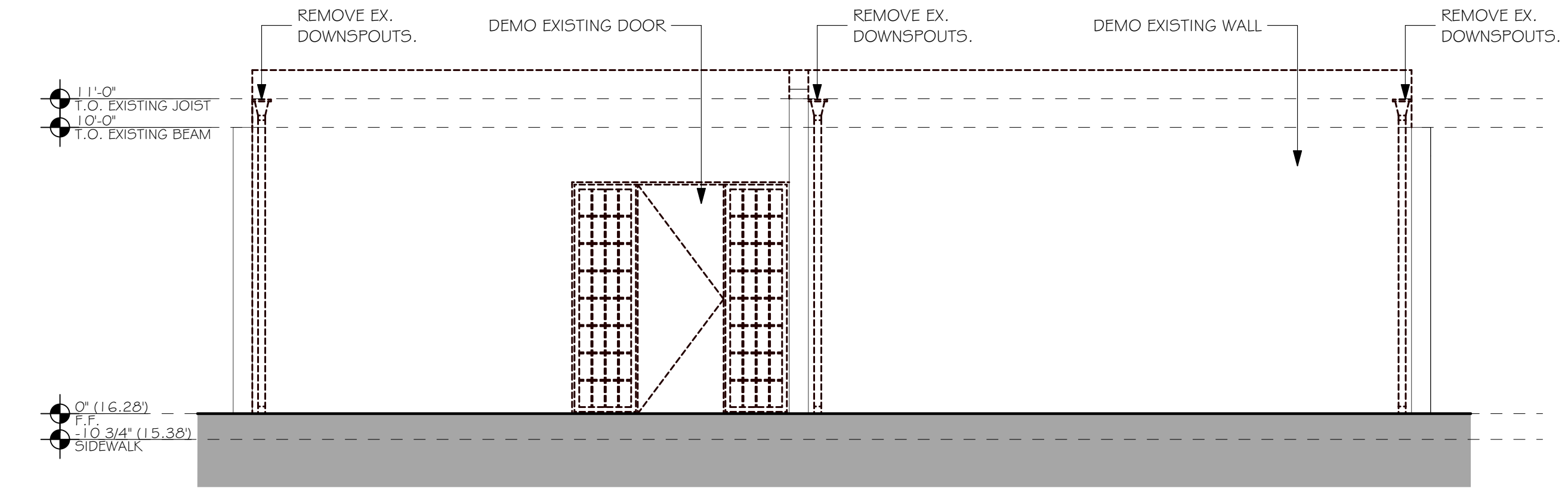
**A4.1**



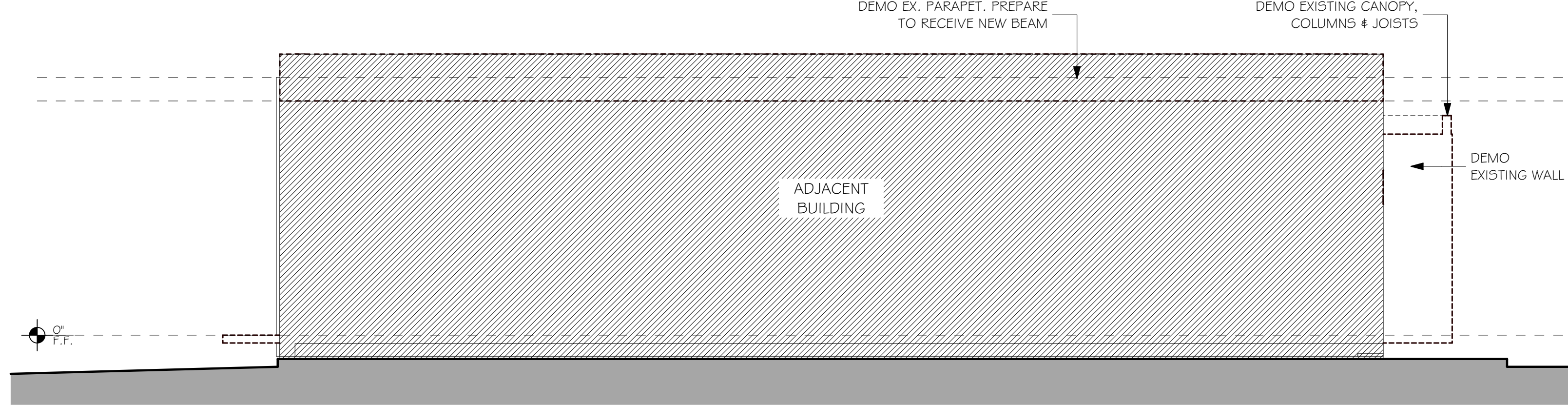
**EAST ELEVATION (DEMOLITION)**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION (DEMOLITION)**  
SCALE: 1/4" = 1'-0"

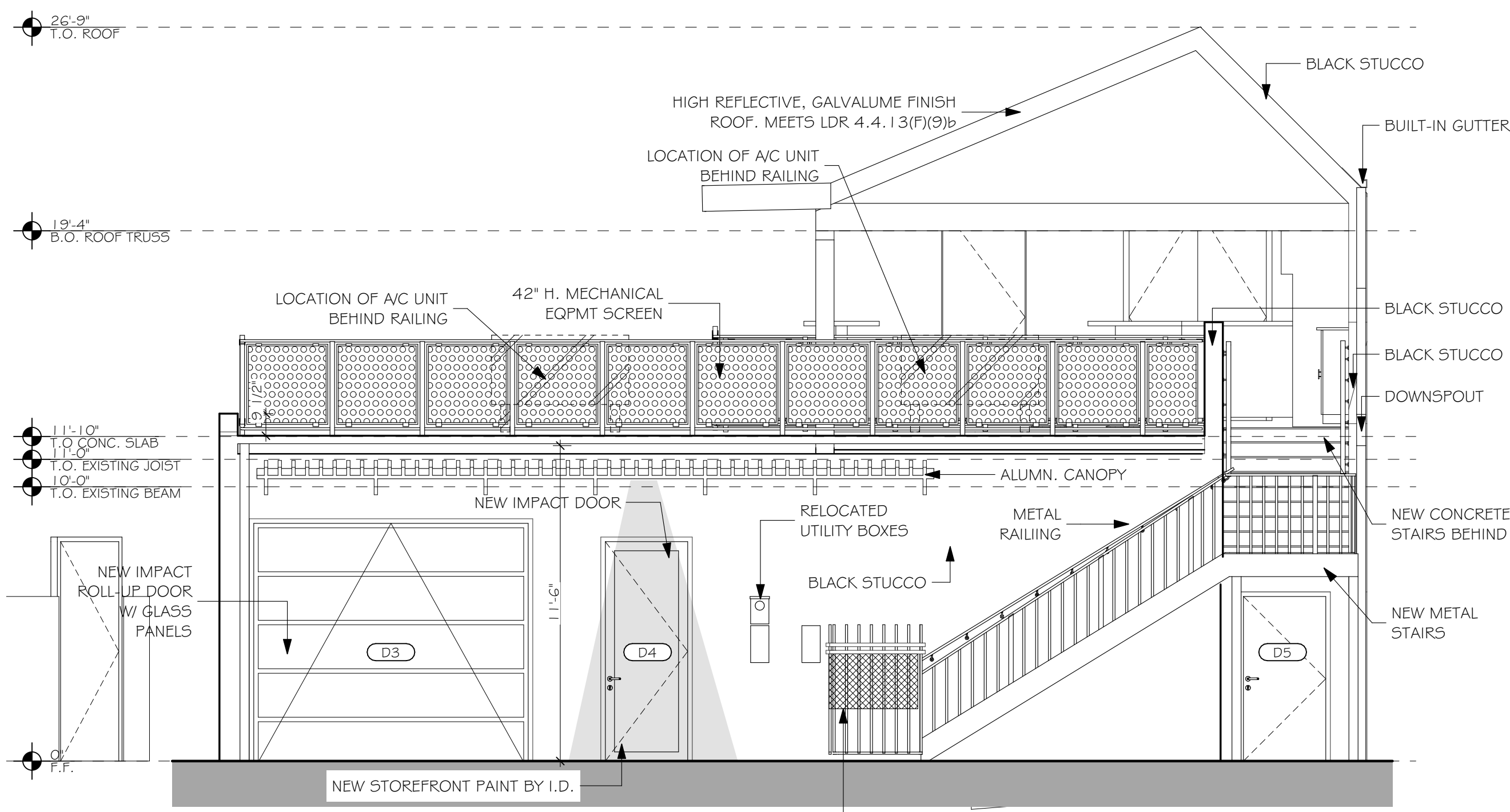


**WEST ELEVATION (DEMOLITION)**  
SCALE: 1/4" = 1'-0"



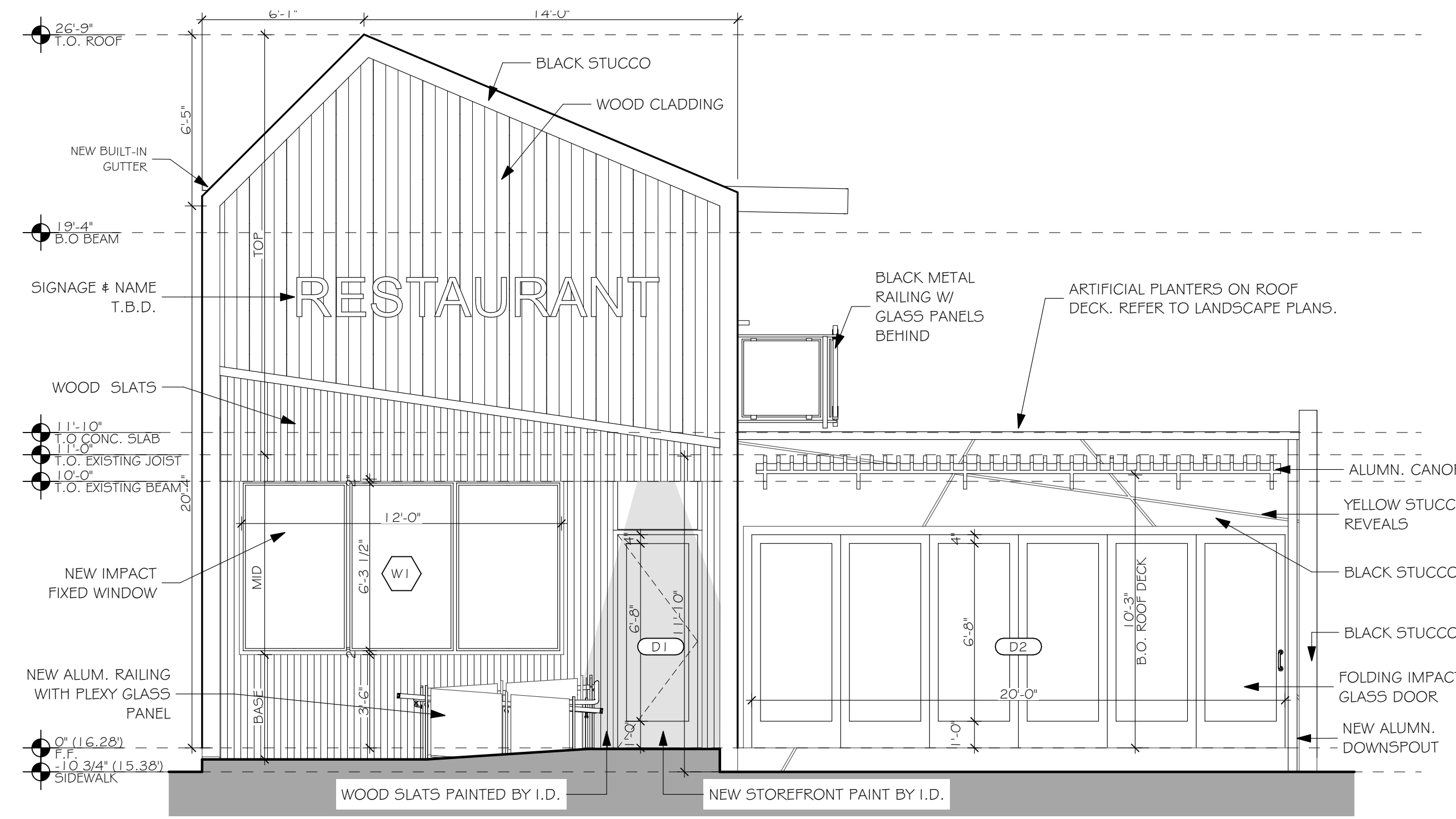
**SOUTH ELEVATION (DEMOLITION)**  
SCALE: 1/4" = 1'-0"

Volumes/SSA Projects/Active Projects/21-391 319 NE 3rd Ave. Sushi bar restaurant/Sushi NE. 3rd Ave Delray.pln



**EAST ELEVATION**

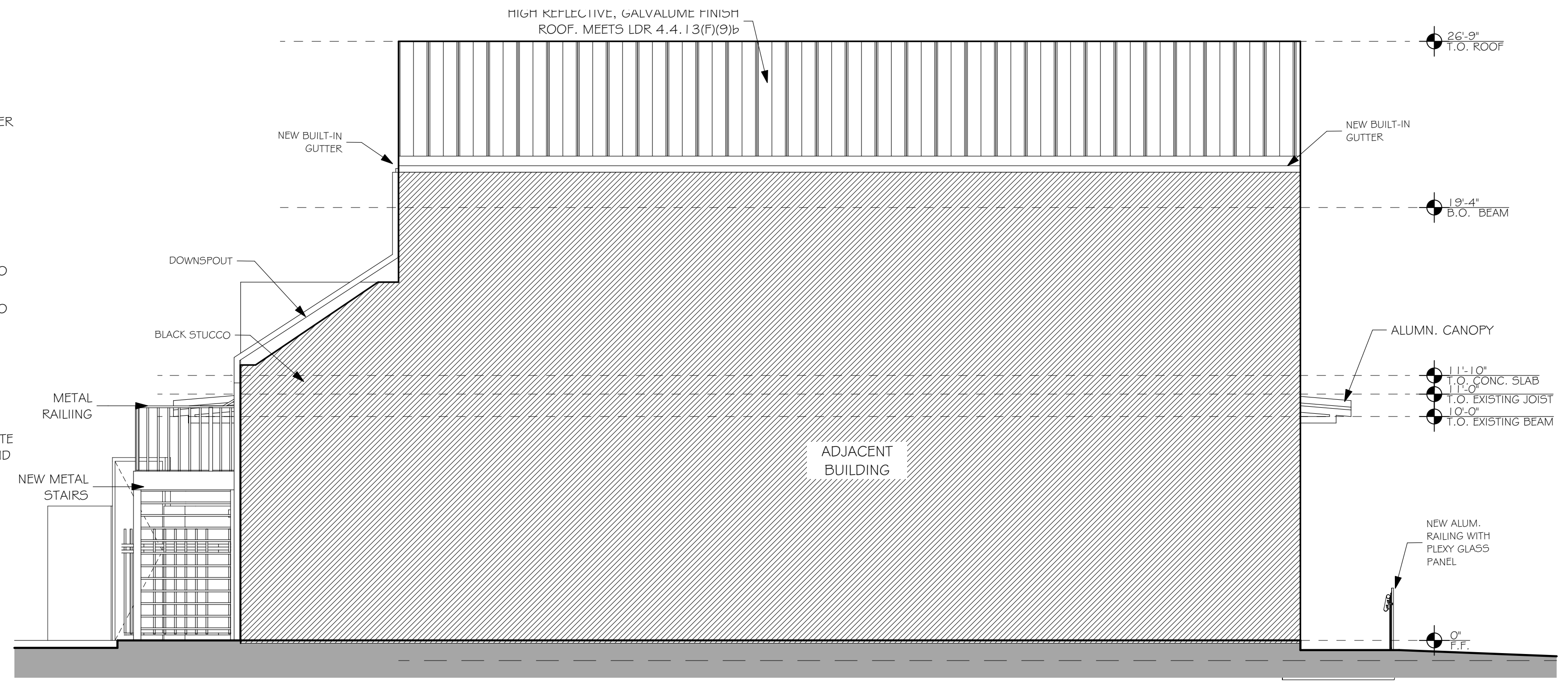
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

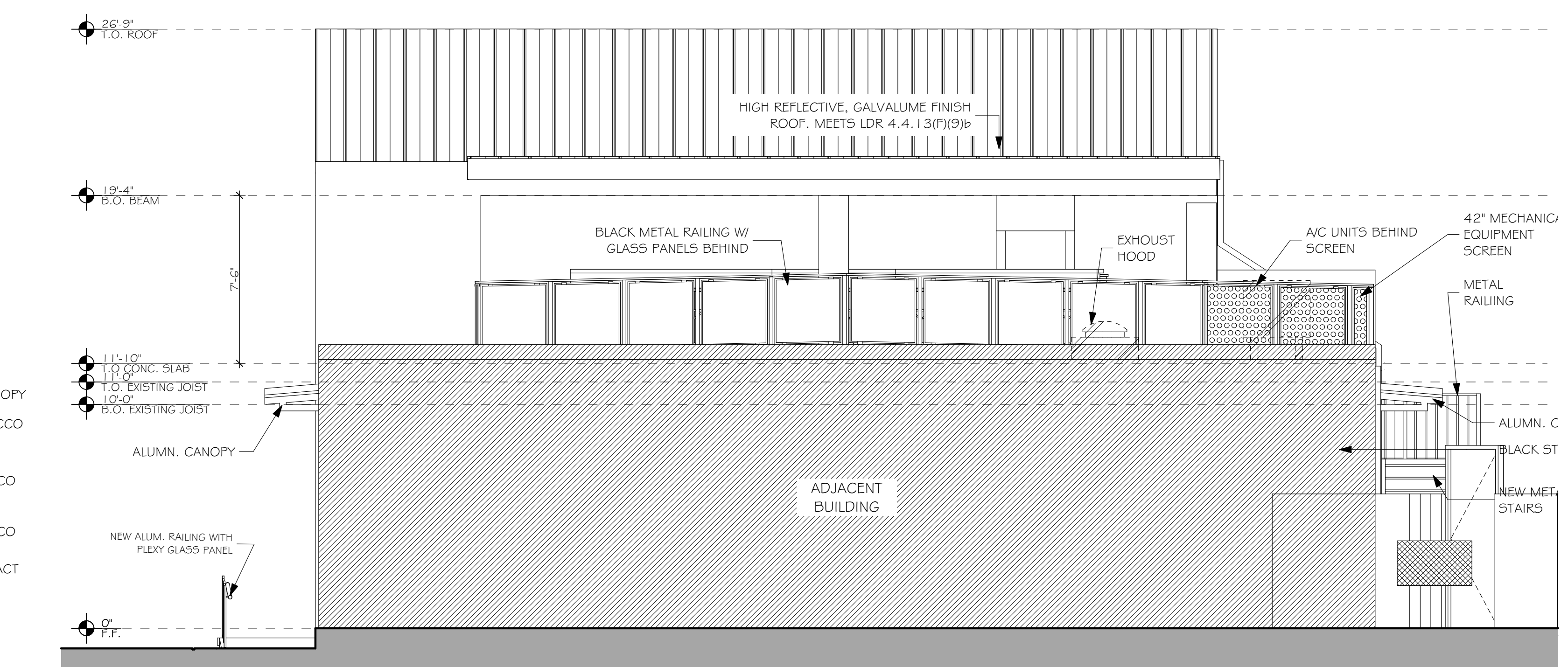
SCALE: 1/4" = 1'-0"

NOTE: WINDOWS TRANSPARENCY WILL COMPLY WITH THE MINIMUM REQUIRED BY CODE.



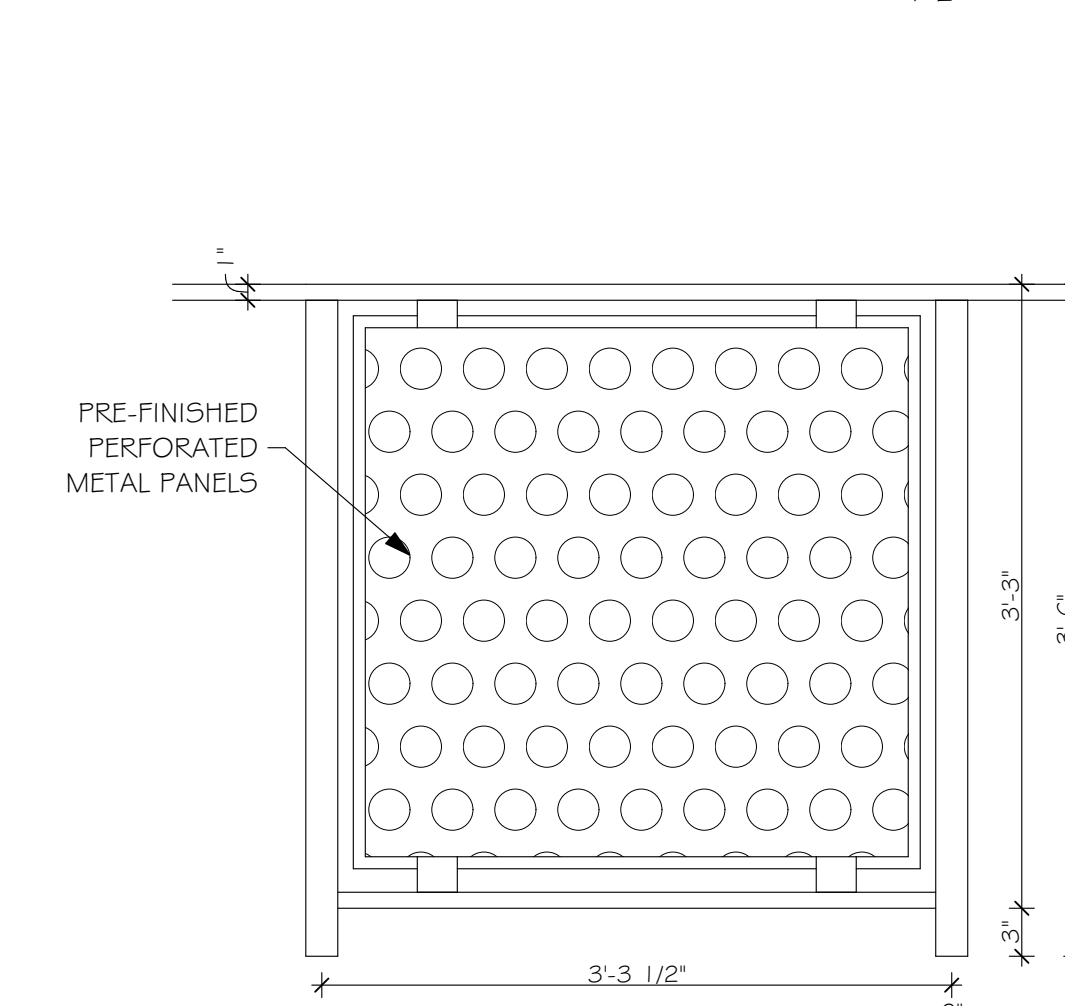
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



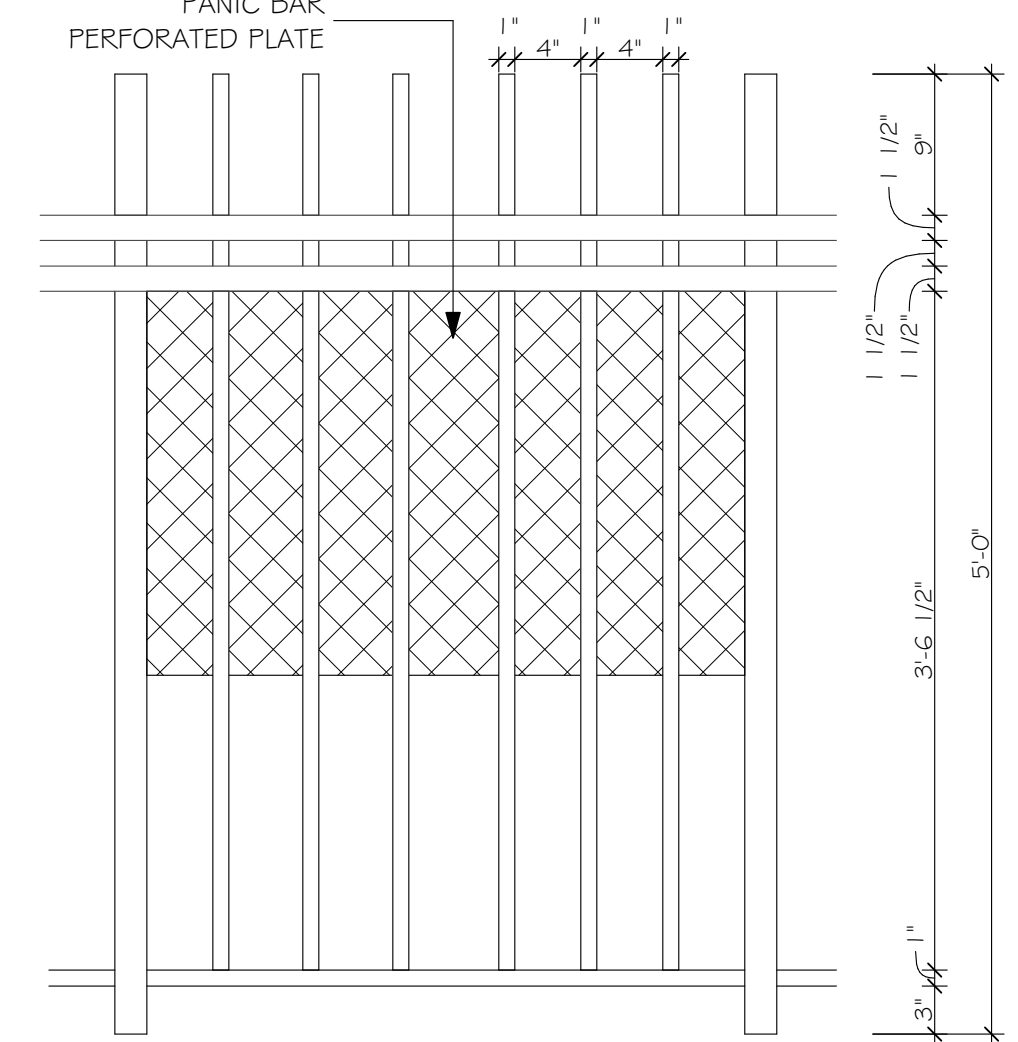
**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**1 MECHANICAL EQPMT SCREEN DETAIL**

SCALE: 1" = 1'-0"

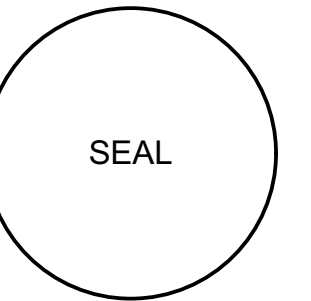


**2 GATE / FENCE DETAIL**

SCALE: 1" = 1'-0"



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PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A10157500  
TEXAS 26934

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319 NE 3RD AVE  
DELRAY BEACH, FL 33483

**CONSTRUCTION DOCUMENTS**

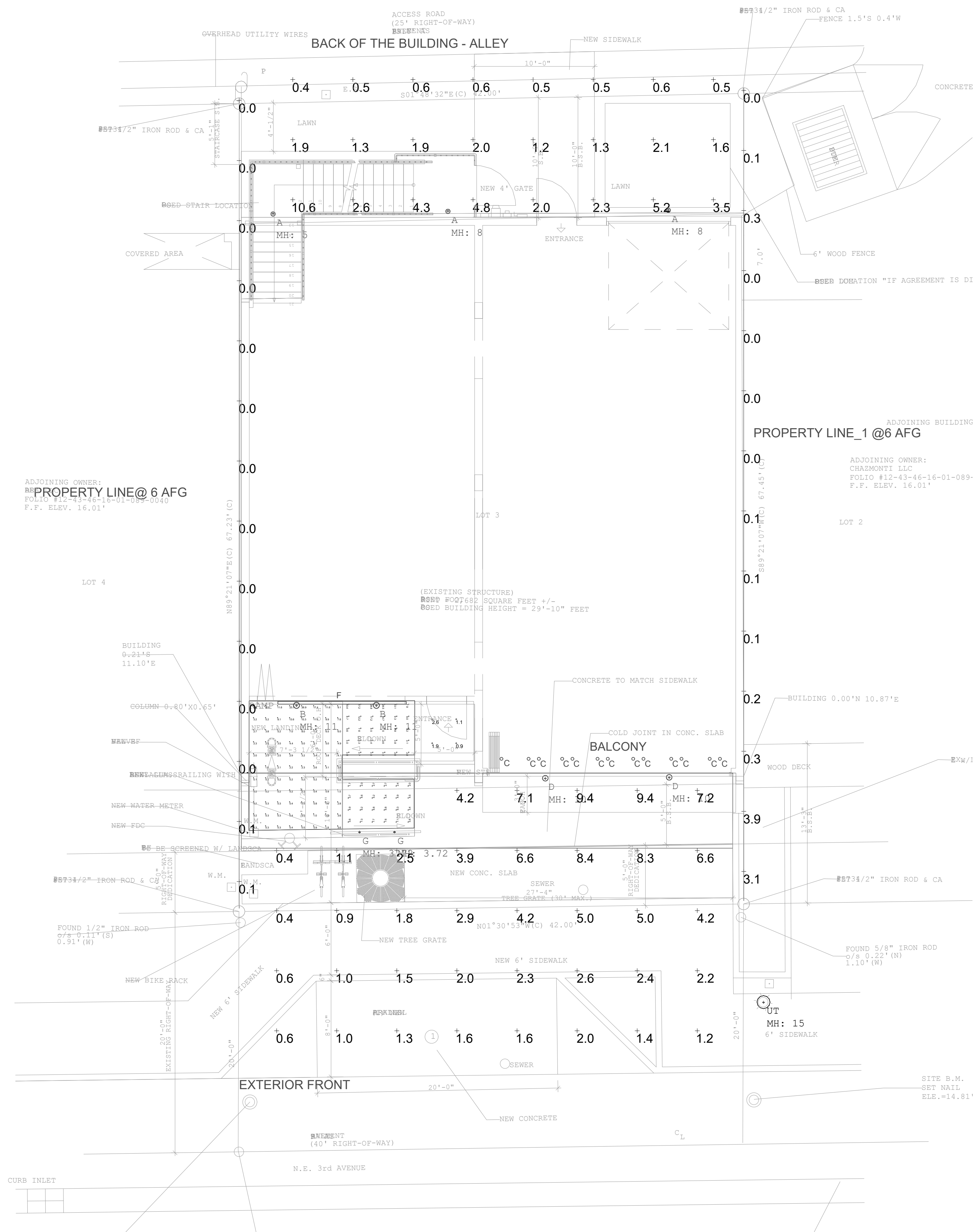
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PROJECT NO: 21-391  
DATE: 9.29.23  
DRAWN BY: BT/JC  
CHECKED BY: SS  
REVISIONS:

**ELEVATIONS**

**A4.2**





Photometrics Calculation Software Generated Luminaire Schedule

| Symbol | Qty | Label | Arrangement | Lum. Lumens | Arr. Lum. Lumens | LLF   | Lum. Watts | Arr. Watts |
|--------|-----|-------|-------------|-------------|------------------|-------|------------|------------|
| ⊙      | 1   | UT    | Single      | 8254        | 8254             | 0.900 | 61         | 61         |
| ⊙      | 3   | A     | Single      | 1022        | 1022             | 0.900 | 18.9       | 18.9       |
| ⊙      | 2   | B     | Single      | 747         | 747              | 0.900 | 11.2       | 11.2       |
| ⊙      | 2   | D     | Single      | 2160        | 2160             | 0.900 | 20         | 20         |
| ⊙      | 2   | G     | Single      | 101         | 101              | 0.900 | 1.4        | 1.4        |

Calculation Summary

| Label                        | CalcType    | Units | Avg  | Max  | Min | Avg/Min | Max/Min |
|------------------------------|-------------|-------|------|------|-----|---------|---------|
| BACK OF THE BUILDING - ALLEY | Illuminance | Fc    | 2.20 | 10.6 | 0.4 | 5.50    | 26.50   |
| ENTRANCE_Planar              | Illuminance | Fc    | 1.63 | 2.6  | 0.9 | 1.81    | 2.89    |
| EXTERIOR FRONT               | Illuminance | Fc    | 3.37 | 9.4  | 0.4 | 8.43    | 23.50   |
| PROPERTY LINE @ 6 AFG        | Illuminance | Fc    | 0.01 | 0.1  | 0.0 | N.A.    | N.A.    |
| PROPERTY LINE_1 @ 6 AFG      | Illuminance | Fc    | 0.59 | 3.9  | 0.0 | N.A.    | N.A.    |
| ENTRANCE SLOPE               | Illuminance | Fc    | 2.70 | 9.4  | 0.1 | 27.00   | 94.00   |
| RAMP                         | Illuminance | Fc    | 5.02 | 28.8 | 0.1 | 50.20   | 288.00  |

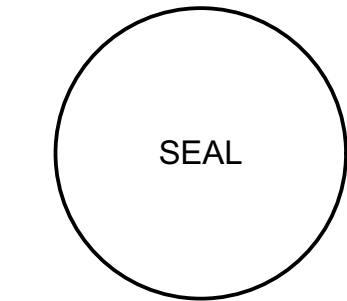
Sushi Bar - 319 NE 3rd Ave Delray

| TYPE | DESCRIPTION                 | MANUFACTURER       | CATALOG NUMBER                          | VOLT | LAMP COLOR | LUMENS | LAMP TYPE | DIM TYPE | WATTS  | MOUNTING | NOTES |
|------|-----------------------------|--------------------|---|------|------------|--------|-----------|----------|--------|----------|-------|
| A    | EXTERIOR SCENCE             | KUZOO              | EW18404-BK                              | 120  | 3000       | 1530   | LED       | PHASE    | 20     | SURFACE  |       |
| B    | EXTERIOR SCENCE             | KUZOO              | EW61806-BK                              | UNV  | 3000       | 741    | LED       | N/A      | 11     | SURFACE  |       |
| C    | EXTERIOR STEPLIGHTS         | BEACHSIDE LIGHTING | E3-M-3W-SP                              | 12   | 3000       | 15     | LED       | PHASE    | 3      | SURFACE  |       |
| D    | EXTERIOR CYLINDER DOWNLIGHT | LIGMAN             | UTA-80551-20W-T4-W30-FINISH-120/27V-DIM | UNV  | 3000       | 2234   | LED       | 0-10V    | 20     | SURFACE  |       |
| F    | EXTERIOR SIGN LIGHTING      | LUMINI             | LL42VET-T-SO-30K-XXXLENGTH              | 24   | 3000       | 120/FT | LED       | TBD      | 1.4/FT | SURFACE  |       |
| G    | LED HANDRAIL                | KLIK USA           | LP-40-30K-A-ANO                         | 24   | 3000       | 120    | LED       | 0-10V    | 1.4    | SURFACE  |       |

FIXTURE SCHEDULE NOTES  
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT MATTHEW MARSHALL @ LIGHTING DYNAMICS (954) 214-4296; MMARSHALL@LIGHTINGDYNAMICS.COM



**STEVE SIEBERT ARCHITECTURE**  
 1010 GATEWAY BLVD, SUIT 103  
 BOYNTON BEACH, FL 33426  
 PH. 561.880.7894  
 Steve@stevesiebert.com  
 www.stevesiebert.com



STEVEN W. SIEBERT  
 FLORIDA AR0017834  
 NEW JERSEY 21A101517500  
 TEXAS 26934

INTERIOR TENANT BUILD-OUT  
**319 RESTAURANT**  
 319 NE 3RD AVE  
 DELRAY BEACH, FL 33483

CONSTRUCTION DOCUMENTS

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PROJECT NO: 21-391  
 DATE: 9.29.23  
 DRAWN BY: BT/JC  
 CHECKED BY: SS  
 REVISIONS:

PHOTOMETRIC PLAN

L1.1

SW 6258  
Tricorn Black

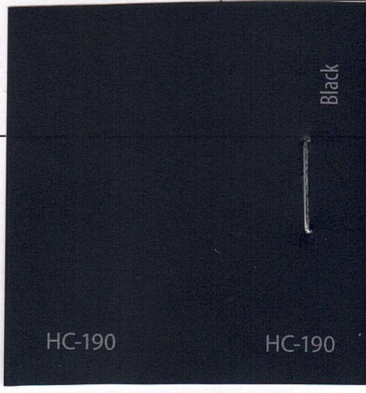
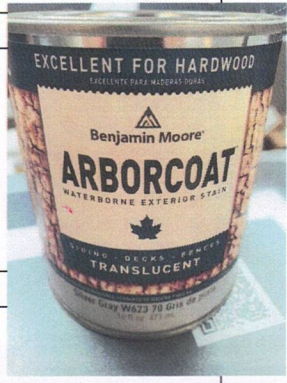
251-C1

CITY OF DELRAY BEACH DEVELOPMENT SERVICES DEPARTMENT  
SUPPLEMENTAL FORMS

**BUILDING MATERIALS AND COLOR SAMPLE FORM**

NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS. **ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER.**

| ROOF   | WALLS   |
|--|---|
| High Reflective, Galvalume finish metal roof<br>Per LDR Section 4.4.13(F)(9)   | Sherwin Williams<br>Tricorn Black - SW 6258<br><br>Benjamin Moore<br>Bright Yellow - 2022-30                        |
| FASCIA   | TRIM/OTHER  |
| Painted Stucco 2X Cedar<br>Fascia Board, Sherwin<br>Williams Tricorn Black - SW<br>6258  | Stucco - Sherwin Williams<br>Silverplate - SW 7649<br><br>Stucco Reveal - Benjamin Moore<br>Bright Yellow - 2022-30 |
| WINDOWS  | SHUTTERS/AWNING   |
| Folding Windows, Glass Block Windows, Bifold<br>Glass Door   |   |
| RAILINGS   | FENCE   |
| Front of Building - Painted Metal -<br>Sherwin Williams Tricorn Black - SW 6258<br><br>Rear of Building - Painted Metal -<br>Benjamin Moore Bright Yellow- 2022-30 |   |
| COLUMNS  | OTHER   |
|  | Wood Siding - Silver Gray- ES-70<br><br>Wood Siding - Black HC-190  |



Bright Yellow

Bright Yellow

Black

HC-190

HC-190

Volumes/SSA Projects/Active Projects/21-391 319 NE 3rd AVE. Sushi bar restaurant/Sushi NE. 3rd Ave Delray.pln



COLOR RENDERING A

NOT TO SCALE



BLACK HC-190.....



SILVER GRAY ES-70.....



BENJAMIN MOORE 2022-30.....



SHERWIN WILLIAMS TRICORN BLACK SW 6258.....

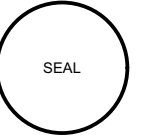


SHERWIN WILLIAMS SILVERPLATE SW 7649.....



STEVE SIEBERT ARCHITECTURE

1010 W. GATEWAY BLVD.  
BOYNTON BEACH, FL 33435  
PH. 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

319 RESTAURANT

319 NE 3RD AVE  
DELRAY BEACH, FL 33483

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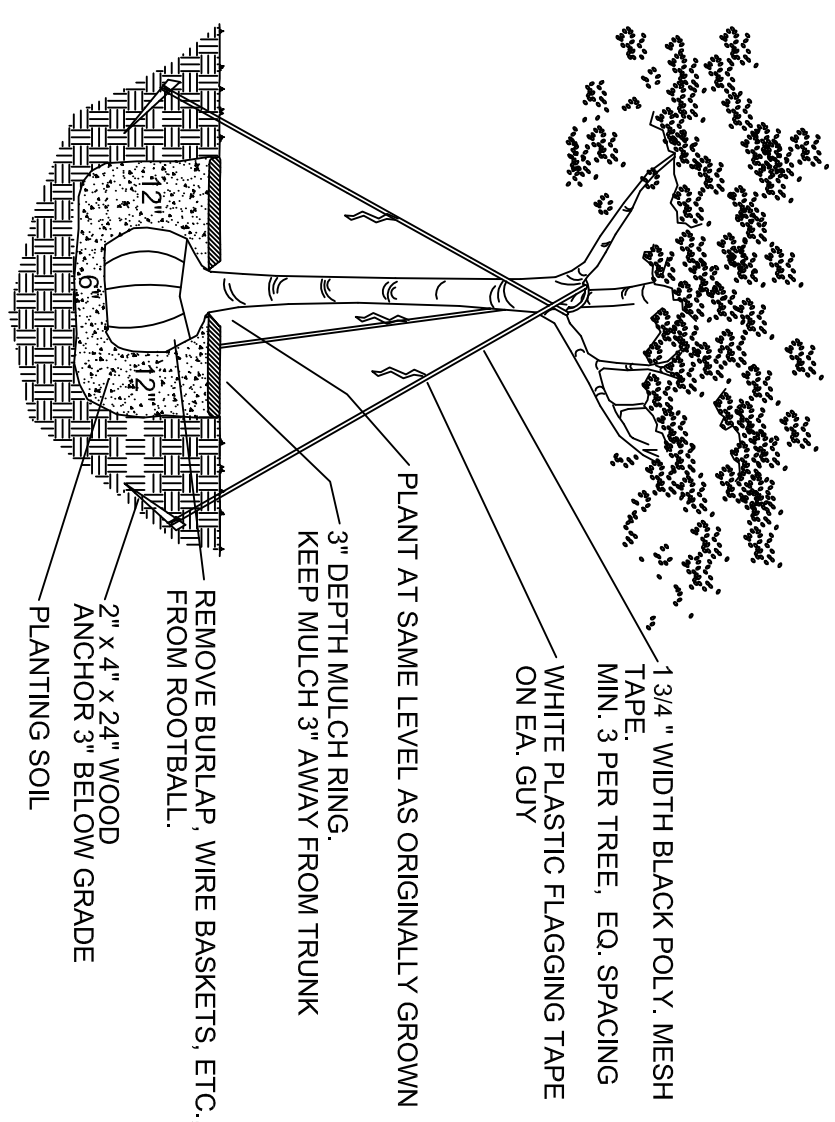
PROJECT NO: 21-391  
DATE: 9.29.23  
DRAWN BY: BTJC  
CHECKED BY: S.S.  
REVISIONS:

COLOR CHART

CO.1

# PLANTING DETAILS

NOT TO SCALE

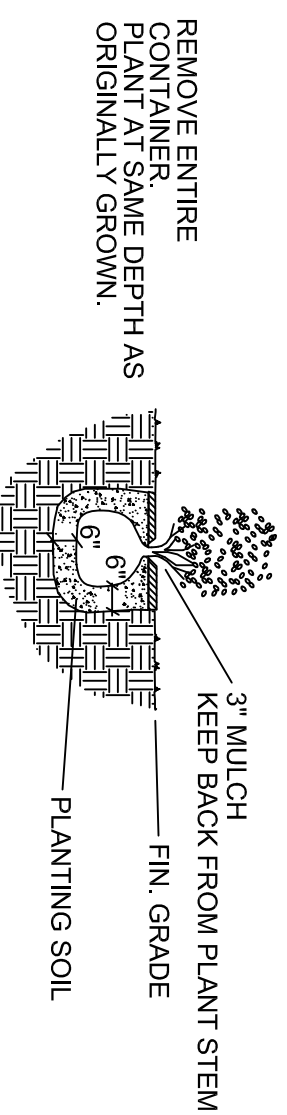


## TREE PLANTING DETAIL

NOTE: MULTI-TRUNK TREE PLANTING SIMILAR

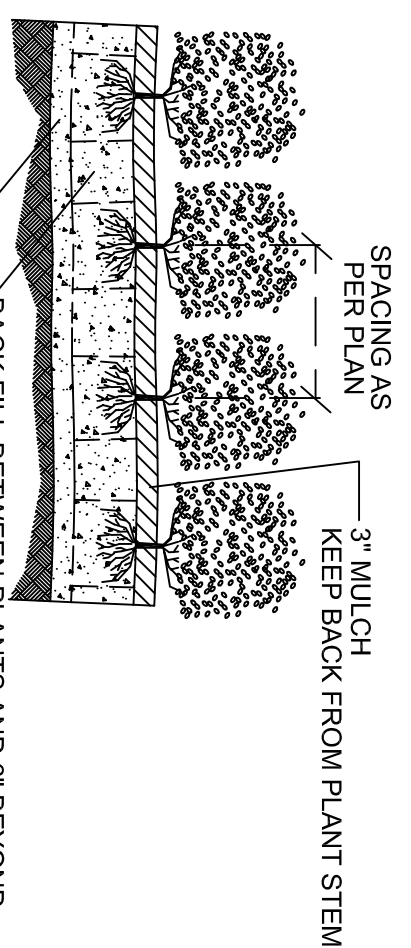
N.T.S.

NOTE:  
INSTALL PLANTS WITH ADEQUATE SETBACK TO ALLOW FOR MATURE GROWTH WITH PROPER PAVEMENT, SIDEWALK, AND CURB TYPES, AND WITHOUT OVERLAPPING PAVEMENT STRUCTURES, ETC.



## SHRUB PLANTING DETAIL

NOT TO SCALE



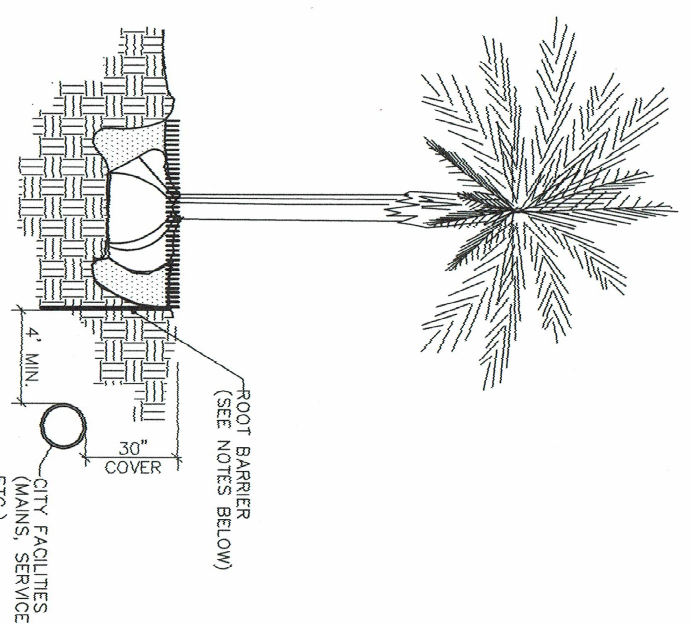
NOTE  
PLANT AT SAME DEPTH AS ORIGINALLY GROWN

## SHRUB MASS PLANTING

NOT TO SCALE

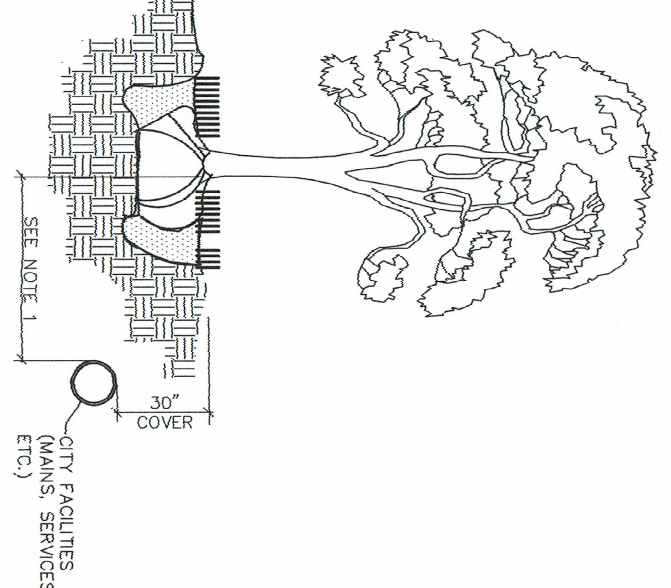
# GENERAL NOTES

1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
3. AN IRRIGATION SYSTEM EXISTS WITH 100% COVERAGE AND IS AUTOMATICALLY OPERATED.
4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. QUANTITIES IS TO BE DETERMINED BY THE CONTRACTOR WHEN DRIVEWAY ARE COMPLETED
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE.
6. LANDSCAPING MEETS P.L.S. LANDSCAPE PLANNING MANUAL, "PLANT THE RIGHT TREE IN THE RIGHT PLACE" REQUIREMENT. THERE ARE NO TREES TO BE PLANTED NEAR OVERHEAD UTILITIES.
7. ALL PLANTED AREAS ARE TO BE MULCHED WITH EUCALYPTUS MULCH, 50% SAND AND BE FERTILE, AND FRAGILE.
8. GROUND COVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
9. SHRUBS AND GROUNDCOVERS TO BE GUARANTEED FOR NINETY (90) DAYS AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
10. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 6' ABOVE FINISHED GRADE.
11. ALL NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.
12. ALL NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.



## NOTES:

1. ALL ROOT BARRIERS SHALL BE 2' MINIMUM FROM ALL CITY FACILITIES.
2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COMPLETED WITHIN CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND 3' DEEP FROM GRADE TO MINIMUM 30\"/>



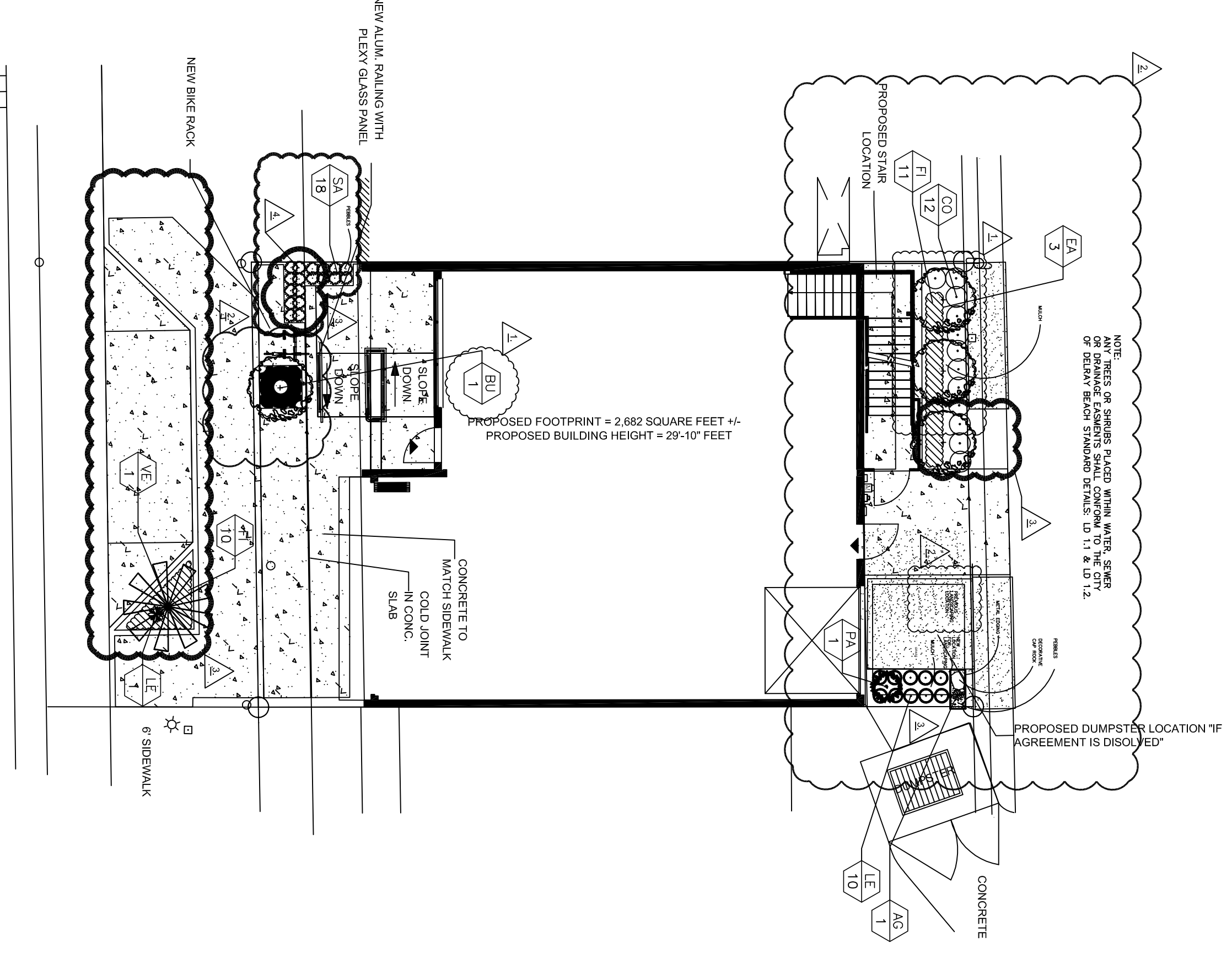
## NOTES:

1. THE EXISTING SHALL BE 12' MINIMUM FROM ALL CITY FACILITIES
2. NO ROOT BARRIERS SHALL BE USED.

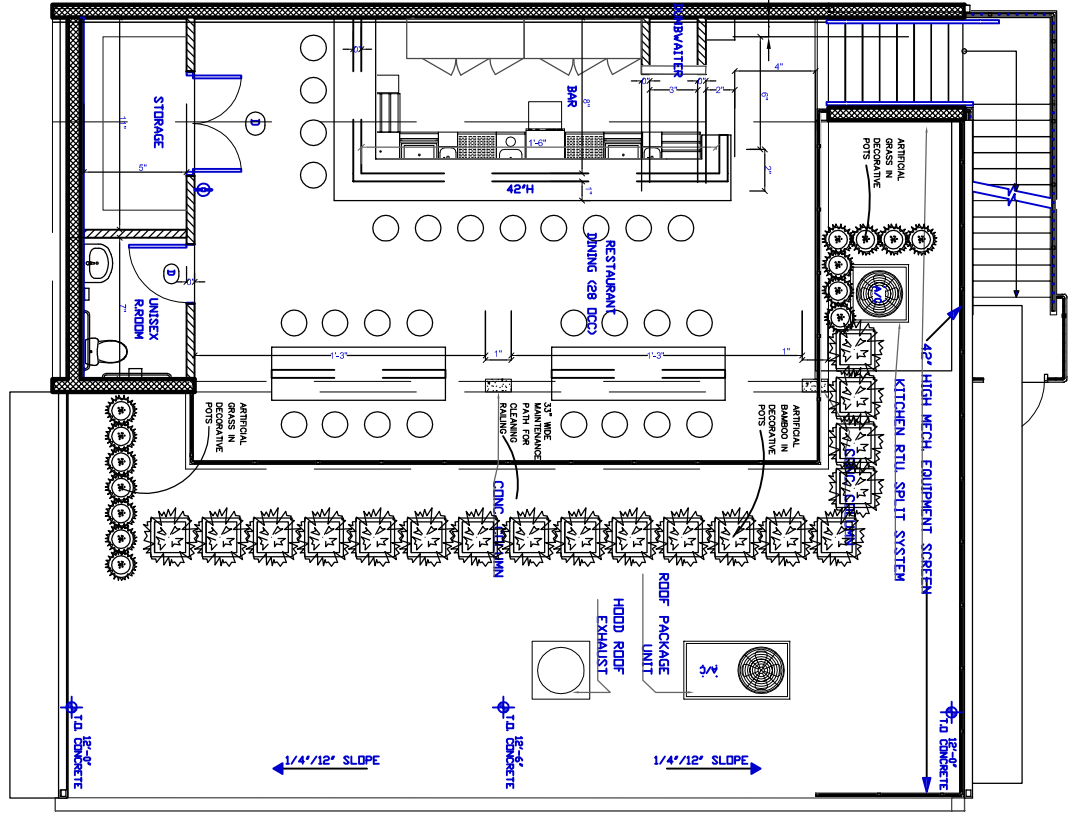
CITY OF DELRAY BEACH  
SOUTH BEACH DISTRICT  
TYPICAL TREE WITHOUT ROOT BARRIERS  
LD 1.2

CITY OF DELRAY BEACH  
SOUTH BEACH DISTRICT  
TYPICAL TREE WITH ROOT BARRIERS  
LD 1.1

## GROUND FLOOR



## SECOND FLOOR



# LANDSCAPE PLANS

SCALE - 1"=10'

## PLANT LIST

| KEY QTY. | DESCRIPTION                                      | SIZE                             | NATIVE | DROUGHT TOL. |
|----------|--|----------------------------------|--------|--------------|
| AG 1     | Agave "Blue Flame"                               | 3 gal, 10m off tips              |        | YES          |
| BU 1     | Veranwood / Bulnesia Albionia                    | 16H x 7' spr. Min. 8' c.t.       | YES    | YES          |
| CO 12    | Cocoplum "Red Tip" / Chrysobalanus icaco         | 3 gal., 24" o.c.                 | YES    | YES          |
| EA 3     | East Pakkia holy tree / Ilex attenuata           | 16 H.X.7' spr. min., 8' c.t.     | YES    | YES          |
| FI 21    | Ficus Green Island / Ficus microcarpa            | 3 gal., 18" o.c.                 | YES    | YES          |
| LE 11    | Lemon Grass / Cymbopogon citratus                | 3 gal., 18" H. min.              |        |              |
| PA 1     | Giant Papaya / Carica papaya                     | 7 gal.                           |        |              |
| PO 18    | Sansevieria "Laurentii" green with yellow edging | 3 gal., 12" H. min., full in pot |        |              |
| VE 14    | Yuccita palmier / Yuccita montoniana             | 14" o.c. single                  |        |              |

## MISCELLANEOUS:

1. WHERE LABELED "PEBBLES" USE MEXICAN BEACH PABBLES, MEDIUM SIZE OVER SOIL SEPARATOR FABRIC.

THERE ARE NO EXISTING TREES ON SITE

**DISCLAIMER**  
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS REQUESTED OR PRESENTED BY THE CLIENT ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT AND SHALL REMAIN HIS/HERS. THE LANDSCAPE ARCHITECT AND APPROVAL THEREOF DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED BY THE CLIENT. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS.

Project:  
**319 RESTAURANT**  
319 N.E. 3RD. AVENUE  
DELRAY BEACH, FLORIDA 33444

PREPARED FOR:  
BIG B INVESTMENTS, LLC.

**MAUREEN SMITH,**  
LANDSCAPE ARCHITECT  
968 DOGWOOD DRIVE  
DELRAY BEACH, FLORIDA 33483  
OFFICE: 561.279.4114  
CELL: 561.271.8933  
Florida registration #6667056  
www.maureensmithla.com

Revisions:

1. RESPONSE TO TAC COMMENTS DATED 10/7/2022
2. RESPONSE TAC COMMENTS DATED 2/6/2023
3. RESPONSE TO TAC COMMENTS DATED 5/22/2023
4. RESPONSE TO TAC COMMENTS DATED 8.23.23. 3rd SUBMITTAL

Scale: 1"=10'

Drawn by: M.R.S.

Sheet No.: **L-1**

\\p01\p01\Documents\CLIENTS\319 NE 3RD\_AVE\_LANDSCAPE PLAN 8.23.2023.dwg Aug 28, 2023