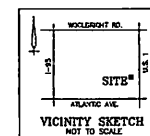


Boundary Survey



SURVEYOR'S NOTES

WARNINGS FOR UNDERGROUND WATER & SEWER WERE NOT FOUND.
BENCHMARK OF ORIGIN: U.S. COAST & GEODETIC SURVEY DISK 72 233 AS PUBLISHED. ELEVATION = 17.369 NOV 1929.
LEGAL DESCRIPTION PROVIDED BY CLIENT.
SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAY OF RECORD.
SURVEY IS NOT VALID WITHOUT A RAISED SEAL.
BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.
ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USNG FEET.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNED PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNED PARTY OR PARTIES.

LEGAL DESCRIPTION

THE EAST 133 FEET OF LOTS 1, 2 & 3, OF BLOCK 87, OF HIGHWAY PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 78, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE EAST 10.0 FEET OF SAID LOTS 1, 2 & 3, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS:
FROM A POINT ON THE NORTH LINE OF SAID LOT 1, LOCATED 10 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FEET TO THE POINT OF BEGINNING, THENCE SOUTHWESTERLY ALONG A CURVE, CHORD BEING 15 FEET FOR A DISTANCE OF 23.40 FEET, THROUGH A CENTRAL ANGLE OF 89°23' TO A POINT ON A LINE PARALLEL TO AND 10 FEET WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FEET TO THE POINT OF BEGINNING.
AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS:
FROM A POINT ON THE NORTH LINE OF SAID LOT 1, LOCATED 10 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FEET TO THE POINT OF BEGINNING, THENCE SOUTHWESTERLY ALONG A CURVE, CHORD BEING 15 FEET FOR A DISTANCE OF 23.40 FEET, THROUGH A CENTRAL ANGLE OF 89°23' TO A POINT ON A LINE PARALLEL TO AND 10 FEET WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FEET TO THE POINT OF BEGINNING.

LEGEND

- ① - STORM DRAIN
- ② - CONCRETE UTILITY POLE
- ③ - WOOD UTILITY POLE
- ④ - LAMP POST
- ⑤ - SANITARY SEWER MAN HOLE
- ⑥ - DRAINAGE MANHOLE
- ⑦ - MONITORING WELL
- ⑧ - FIRE HYDRANT
- ⑨ - GATE VALVE
- ⑩ - FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
- ⑪ - SPOT ELEVATION

AREA

AREA OF PROPOSED RIGHT OF WAY TAKING 744 SQUARE FEET.
AREA OF PROPERTY AS SHOWN 17,821 SQUARE FEET.

SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD.

PREPARED FOR
DAVID CHANDLER
8447 LAKE WORTH ROAD
LAKE WORTH, FL 33463

FLOOD ZONE
FLOOD ZONE "V"
PANEL NO. 125102 0002 D
DATED JAN. 5, 1989

PROPERTY ADDRESS
328 NE 8TH AVENUE
DELRAY BEACH, FL 33483

03/30/18 ACCEDED AREAS
1/20/17 - ADD OFFSITE UTILITIES
3/4/16 - UPDATE SURVEY

CERTIFICATION

I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Bob Buggeo
BY: *Bob Buggeo*
BOB A. BUGGEO, FLORIDA LAND SURVEYOR #3302
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA
DATE OF FIELD SURVEY: 1/21/18

PREPARED BY:
Bob Buggeo, Inc.
the "SURVEYOR"
P.O. BOX 3887
BOYNTON BEACH, FLORIDA, 33439
SURVEY & MAPPING BUSINESS #7890
361-702-7877

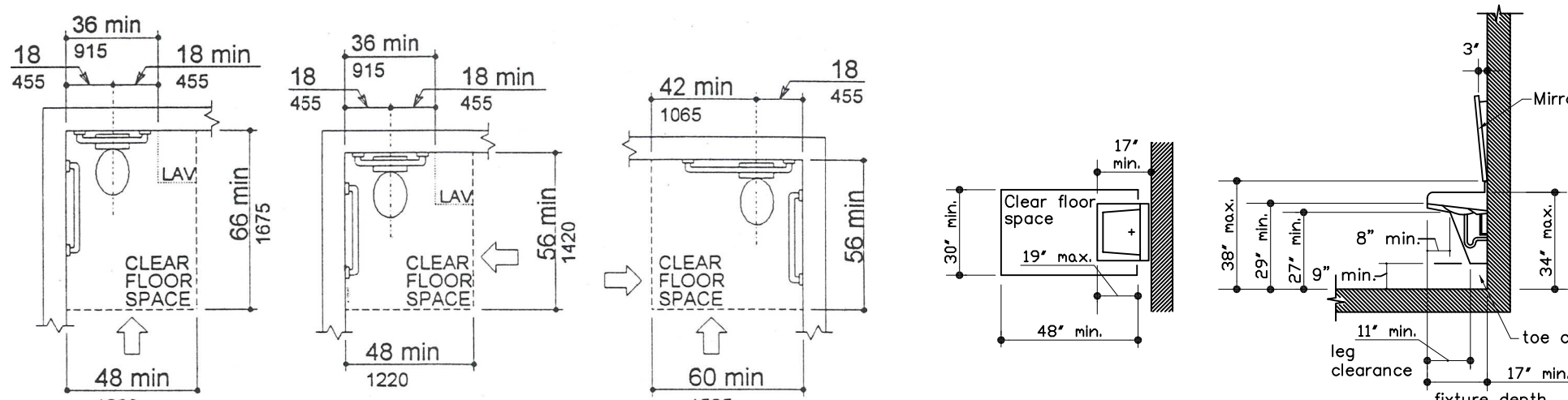


Fig 28
Clear Floor Space at Water Closets (not in stall)

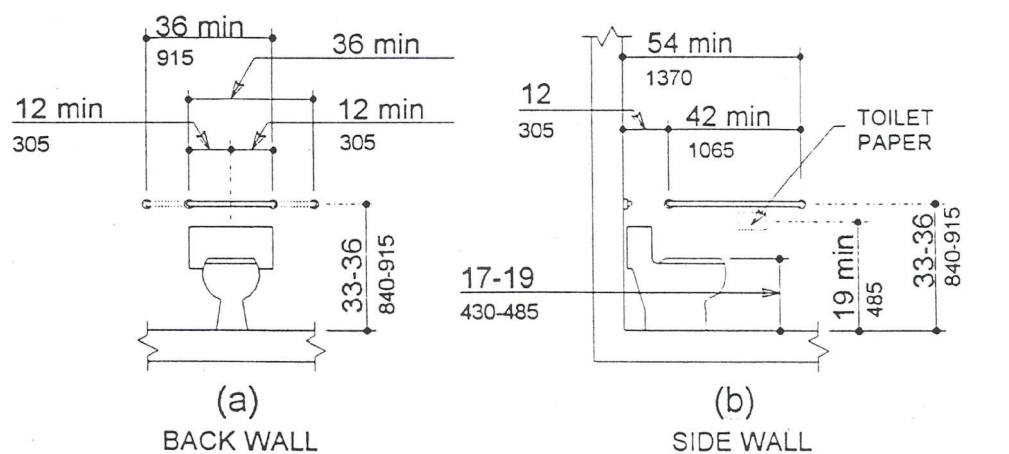
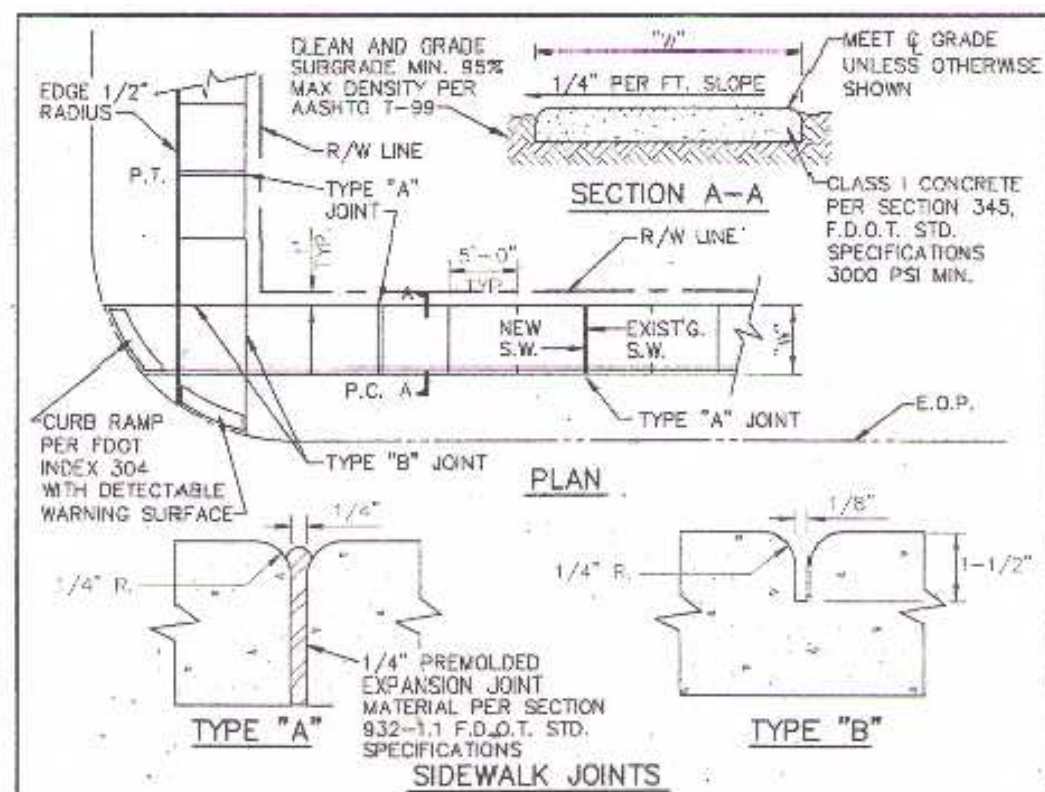


Fig 29
Grab Bars at Water Closets

2010 ADA STANDARDS HDCP DETAILS & ELEVATIONS

NOT TO SCALE



NOTE: 1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.

TABLE OF SIDEWALK THICKNESS - "T"		TABLE OF SIDEWALK JOINTS	
RESIDENTIAL AREAS	4"	TYPE	LOCATION
WITHIN 10' OF CROSS-STREETS, 6" OF DRIVEWAYS & OTHER AREAS	6"	"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
TABLE OF SIDEWALK WIDTHS - "W"		"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
SINGLE-FAMILY AREAS	5'	"A"	WHERE SIDEWALK ADJUTS CONCRETE, CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
MULTI-FAMILY AREAS	5'		

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
600 S.W. 14TH AVENUE, SUITE 200, DELRAY BEACH, FL 33444

SIDEWALK CONSTRUCTION RT 5.1

LAVATORY CLEARANCE

FIRE CODE INFORMATION:

FLORIDA FIRE PREVENTION CODE 2010 EDITION
NFPA 1, FIRE CODE, 2009 FLORIDA EDITION
NFPA 101, LIFE SAFETY CODE, 2009 FLORIDA EDITION

UNDER CANOPY LIGHTS NOTE:

BOTH EXISTING AND PROPOSED CANOPY LIGHTS NEED TO BE FLUSHED TO THE CEILING OF THE ROOF OR SHIELDED TO PREVENT ANY GLARE

FIRE NOTES:

POST SYMBOLS ON BUILDING FOR LIGHT FRAME TRUSS TYPE CONSTRUCTION SHOW ADDRESS NUMBERS, NOT LESS THAN 6 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.

SALES RESTRICTION NOTE:

NO SALE OF TIRES WILL BE ALLOWED ON THE PREMISES

OCCUPANT LOAD CALC

OCCUPANT MERCATILE = 1/60SF
1400 SF / 60 = 24 PERSONS

LEGEND:

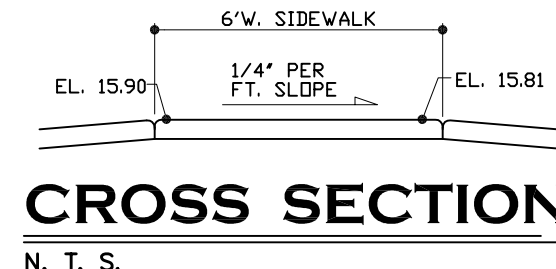
- STORM DRAIN
- CONC. UTIL. POLE
- CLEAN OUT
- AIR RELEASE VALVE
- MONITORING WELL
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
- SPOT ELEVATION
- 48" X 48" PLANTER

AREA CALC:

EXIST OFFICE: 68 S.F.
EXIST. RESTRMS: 78 S.F.
EXIST CASHIER: 32 S.F.
EXIST CONVENIENCE: 414 S.F.
NEW CONVENIENCE: 808 S.F.
TOTAL: 1400 S.F.

ZONING DATA			
	(MIN./MAX.) STANDARD	REQUIRED	PROPOSED
BUILDING HEIGHT	1 STORY / 18' MAX.		15'4"
LOT WIDTH	20' MIN.	20' MIN.	144.93'
LOT AREA	2000' S.F. MIN.	2000' S.F. MIN.	17,921 S.F.*
BLDG SETBACKS			
FRONT (EAST)	10' MIN. / 15' MAX.	15' MIN.	71'
REAR (WEST)	10' MIN.	10' MIN.	20.33'
SIDE INT. (SOUTH)	0' MIN.	0' MIN.	28.0'
SIDE ST. (NORTH)	0' MIN.	0' MIN.	65.75'
OPEN SPACE:	LESS THAN 20,000 S.F.	0%	25.8%

* INDICATE AS PRE-EXISTING NONCONFORMITY TO REMAIN



CROSS SECTION

N. T. S.

LEGAL DESCRIPTION:

THE EAST 135 FT. OF LOTS 1, 2 & 3 OF BLOCK 97 OF HIGHLAND PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 73, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LESS THE EAST 10.0 FT. OF THE SAID LOTS 1, 2 & 3, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS: FROM A POINT ON THE NORTH LINE OF SAID LOT 1, LOCATED 10 FT. WESTERLY FROM THE NORTHEAST CORNER OF THE SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FT. THENCE RUN SOUTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 15 FT. FOR A DISTANCE OF 23.40 FT. THROUGH A CENTRAL ANGLE OF 89.23° TO A POINT ON A LINE PARALLEL TO AND 10 FT. WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FT. TO THE POINT OF BEGINNING, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS: FROM A POINT OF THE NORTH LINE OF THE SAID LOT 1, LOCATED 10 FT. WESTERLY FROM THE NORTHEAST CORNER OF THE SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FT. TO THE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID NORTH LINE FOR A DISTANCE OF 10.17 FT. THENCE SOUTHERLY ALONG THE WEST LINE OF THE EAST 135 FT. OF THE SAID LOT 1, A DISTANCE OF 5.0 FT. THENCE EASTERLY ALONG A LINE PARALLEL TO AND 5.0 FT. SOUTH OF THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 105.22 FT. THENCE TURNING AN ANGLE FROM WEST TO SOUTHEAST OF 135.018°30", GO FOR A DISTANCE 28.13 FT. THENCE NORTHERLY ALONG A LINE PARALLEL TO AND 10 FT. WEST OF THE EAST LINE OF SAID LOT 1, A DISTANCE OF 9.95 FT. THENCE RUN NORTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 15 FT. FOR A DISTANCE OF 23.4 FT. THROUGH A CENTRAL ANGLE OF 83.023° TO THE POINT OF BEGINNING.

BUILDING CODE INFORMATION:

ARCHITECT: JAMES E. GILGENBACH (FL 074757)
WIND DESIGN STANDARD: ASCE 7-16
BUILDING CODE: FLORIDA BUILDING CODE 2017, 6th ED
ELECTRICAL CODE: N.E.C. 2017, 9th ED
FLORIDA FIRE PREVENTION CODE, 6th EDITION
DESIGN WIND SPEED: 140 MPH
DESIGN WIND VELOCITY PRESSURE: 41.1 PSF
IMPORTANCE FACTOR: 1.0
BUILDING OCCUPANCY CATEGORY: I-1
BUILDING WIND EXPOSURE CLASS: 1
INTERNAL PRESSURE COEFFICIENT: +0.18
TOP OF ROOF HEIGHT: 12.5 FT
TYPE OF CONSTRUCTION: CONC. BLK
BUILDING DESIGNED: 2018
CLASSIFICATION OF WORK: LEVEL 2 ALTERATION
TOTAL # OF STORIES: 1 STORY

PROJECT SITE INFORMATION:

SITE ZONING: "CB" (CONDITIONAL USE)
CONSTRUCTION TYPE: "VI" UNPROTECTED
OCCUPANCY: BUSINESS
R.O.W. DEDICATION AREA: 744 S.F.
TOTAL SITE AREA: 17,921 S.F.
BUILDING COVERAGE: 1400 S.F.
EXISTING C-STORE AREA: 992 S.F.
NEW C-STORE EXPANSION: 808 S.F.
PAVED (HARDSCAPE) AREA: 11,902 S.F.
GREEN (LANDSCAPE) AREA: 4,619 S.F.
BUILDING HEIGHT: 16'-0" TOP OF PARAPET/CANOPY

GAS STATION RENOVATION SCOPE OF WORK:

RENOVATION WORK ON THE EXISTING GAS STATION WILL INCLUDE REPLACING THE EXISTING OVERHEAD GARAGE DRs WITH STOREFRONT FIXED GLASS WINDOWS. THE EXISTING SERVICE BAYS TO BE RENOVATED AND USED TO EXPAND THE EXISTING CONVENIENCE STORE.
EXISTING SITE WAS RECENTLY REPAVED AND RENOVATED SO NO NEW PAVING PROPOSED. NEW PARKING LAYOUT WILL BE MATTER OF RESTRIPPING THE EXISTING PAVEMENT. THE PROPOSED SITE & LANDSCAPING PLAN TO INCLUDE THE PROPOSED NEW PAVING, RESURFACING AND RESTRIPPING OF THE PARKING LOT & INSTALLATION OF NEW LANDSCAPING.

PROPERTY ADDRESS:

398 NORTHEAST 5TH AVENUE,
DELRAY BEACH, FLORIDA 33483

PROJECT INFO:

EMPLOYEES: 3
HOURS OF OPERATION: 6AM-12AM MON-SUN

PARKING CALCULATIONS:

TABLE 4.4.13(L)
REQUIRED PARKING: 1 SPACE PER 500 S.F.
1,400 S.F. / 500 = 3 SPACES REQUIRED
REQUIRED PARKING = 3 SPACES REQUIRED
PROVIDED PARKING = 3 SPACES PROVIDED
(HANDICAP PARKING = 1 SPACE INCLUDED)
(COMPACT PARKING = 1 SPACE INCLUDED)

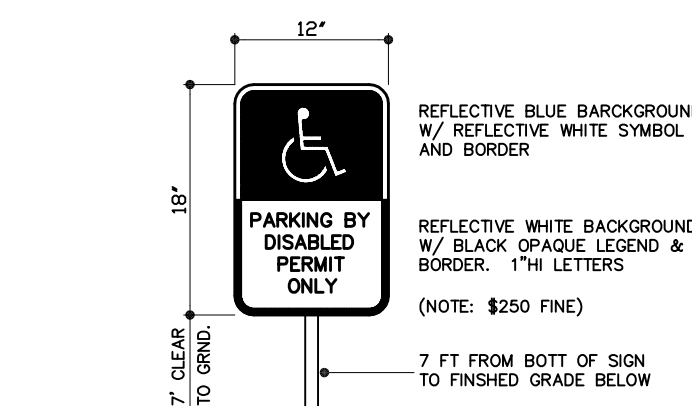
LOADING ZONE SIGN

SCALE: 2" = 1'-0"



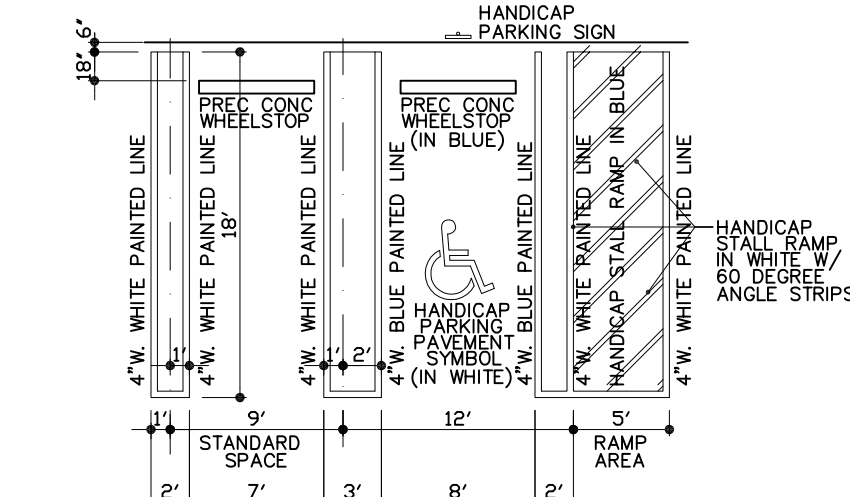
LOCATION MAP

N. T. S.



HANDICAP PARKING SIGN

SCALE: 2" = 1'-0"

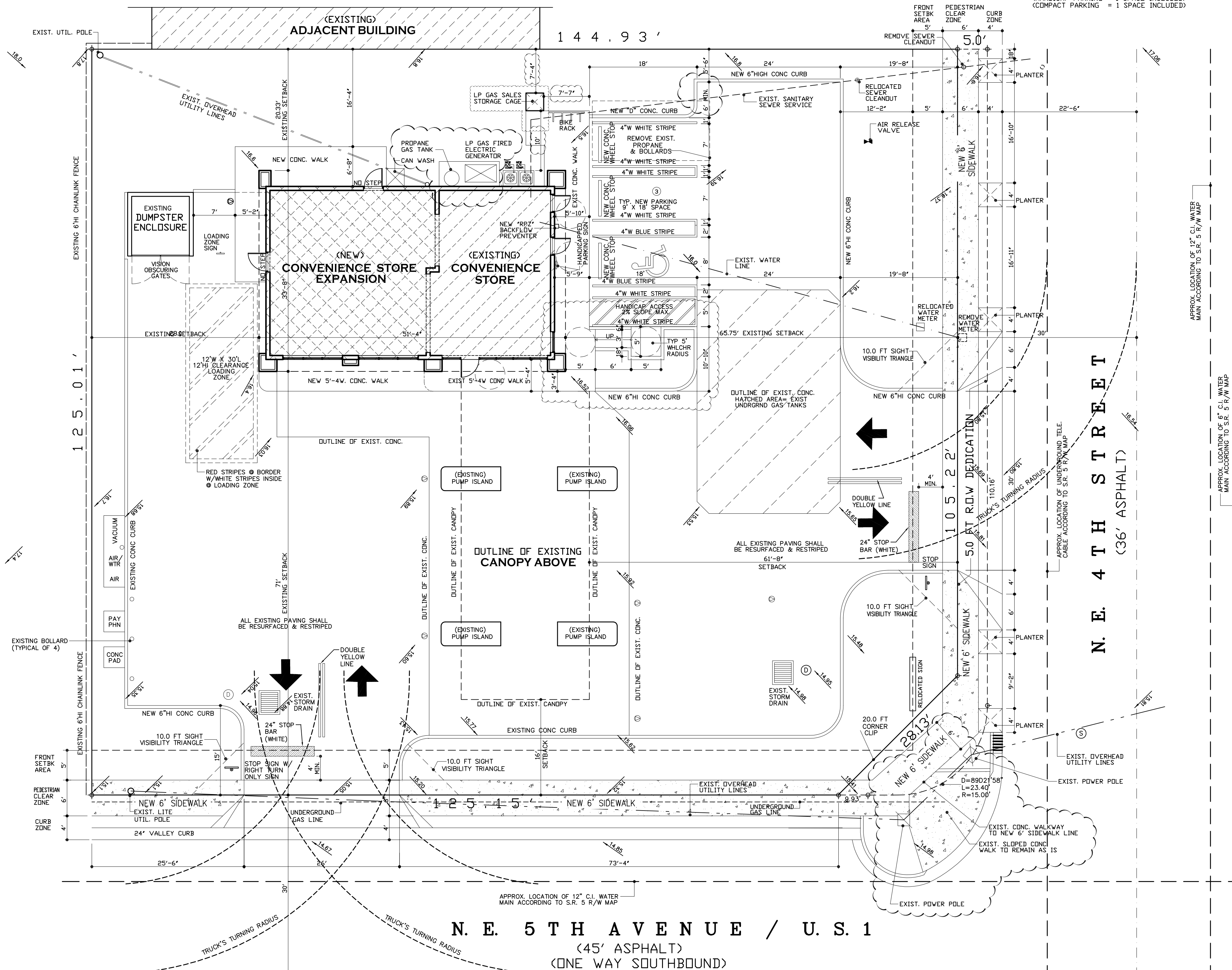
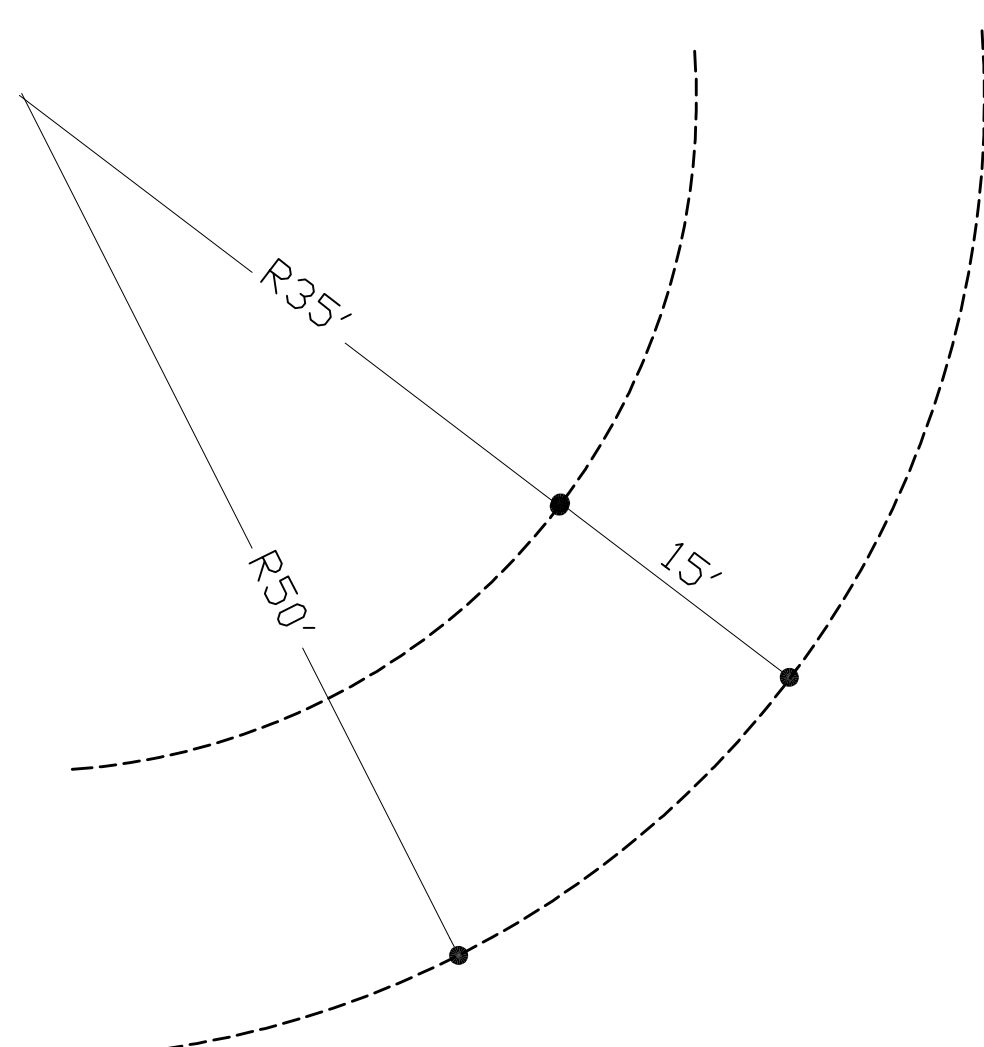


HNDP PARKING TYP PARKING PARKING STALL PLANS

SCALE: 1/4" = 1'-0"

TURNING RADIUS GAS DELIVERY TRUCK'S

SCALE: 1" = 10'-0"



N. E. 5TH AVENUE / U. S. 1
(45' ASPHALT)
(ONE WAY SOUTHBOUND)

SITE PLAN

SCALE: 1" = 10'-0"

JAMES E. GILGENBACH & ARCHITECTURE
9009 ONE PUTT PLACE
(561) 809 - 8491
PORT ST LUCE
FLORIDA 34986

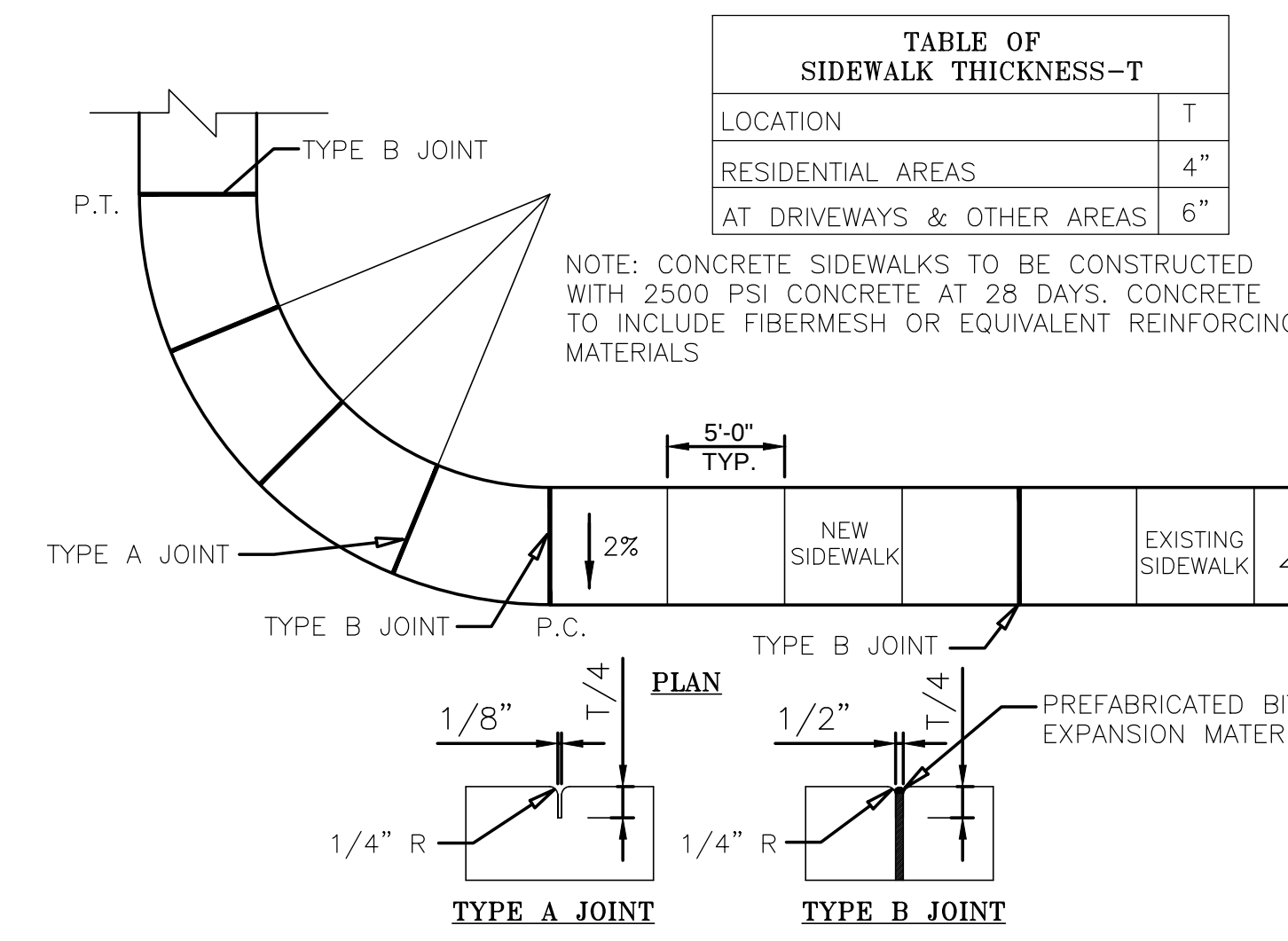
ARCHITECT
AR-7457

REVISIONS:
REV. 1, FEB. 3, 2017
AS PER BLDG DEPT
REV. 2, MAR. 6, 2018
AS PER P&Z DEPT
REV. 3, APR. 6, 2018
AS PER P&Z DEPT
REV. 4, JUL. 1, 2018
AS PER P&Z DEPT
REV. 5, DEC. 11, 2018
AS PER P&Z DEPT
REV. 6, MAR. 22, 2018
AS PER P&Z DEPT
REV. 7, APR. 2, 2019
AS PER P&Z DEPT
REV. 8, AUG. 12, 2019
AS PER P&Z DEPT

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
5. SHIP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

**CONVENIENCE STORE RENOVATION FOR THE
GASLAND SERVICE STATION**
398 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA
HIGHLAND PARK - DELRAY BEACH, FLORIDA

DATE: 29 FEB '18
PROJECT NO: 10 - 340
SHEET: 4 of 4
A1



NOTES:

CLEAR AND GRUB EXISTING GRADE; PLACE AND COMPACT SUBGRADE, BASE AND ASPHALT PER DETAILS AND SPECIFICATIONS.

CONSTRUCT (OVERLAY) NEW SIDEWALK PER DETAIL ; PROVIDE PERIMETER EDGE PER "D" CURB DETAIL EXCEPT MATCH DEPTH AND FORM OF EXISTING ADJACENT SIDEWALK AREA. PROVIDE TYPE "D" ISOLATION JOINT BETWEEN NEW AND EXISTING CONCRETE

PROPOSED DEVELOPED SITE AREAS:

Total Site Area	= 17,921 sf	= 0.411 acres	100.0%
Impervious Area (Roof)	= 1,400 sf	= 0.032 acres	7.8%
Impervious Area (Pavement/Walks)	= 11,902 sf	= 0.273 acres	66.4%
Pervious Area	= 4,619 sf	= 0.106 acres	25.8%

Refer to Drawing #C-1, "Paving & Striping Plan" by J-W Engineering, Inc. for site layout.

EXISTING DEVELOPED SITE AREAS:

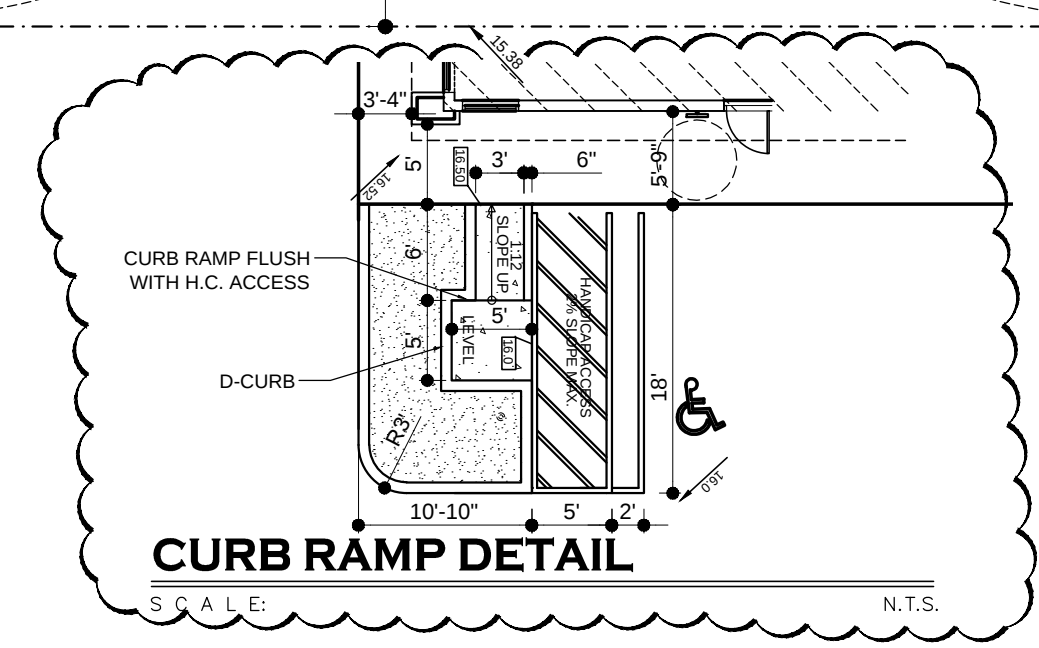
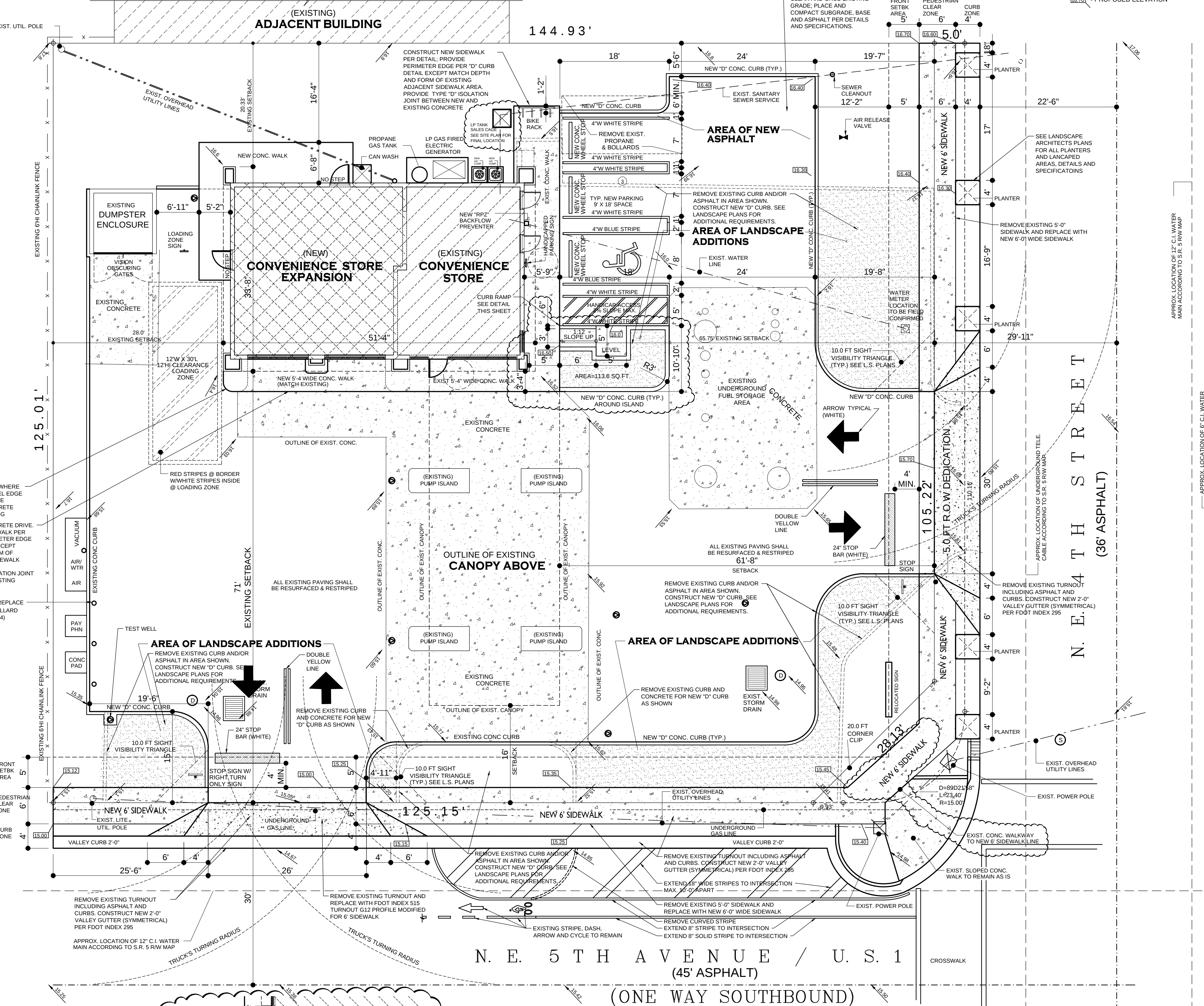
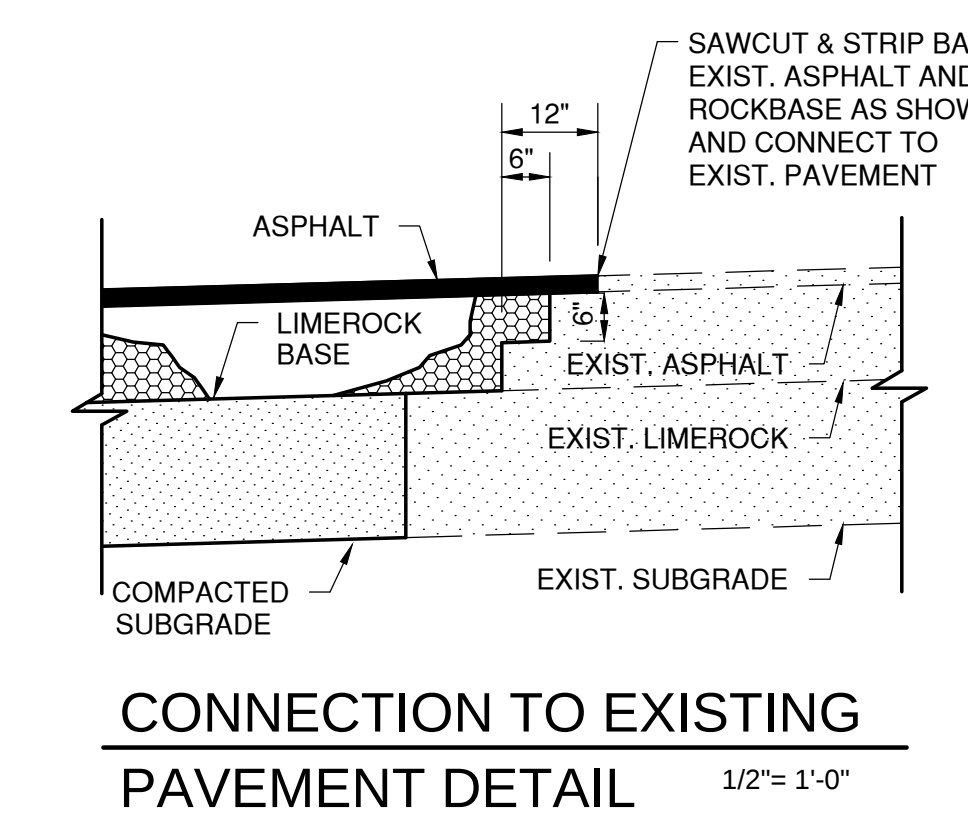
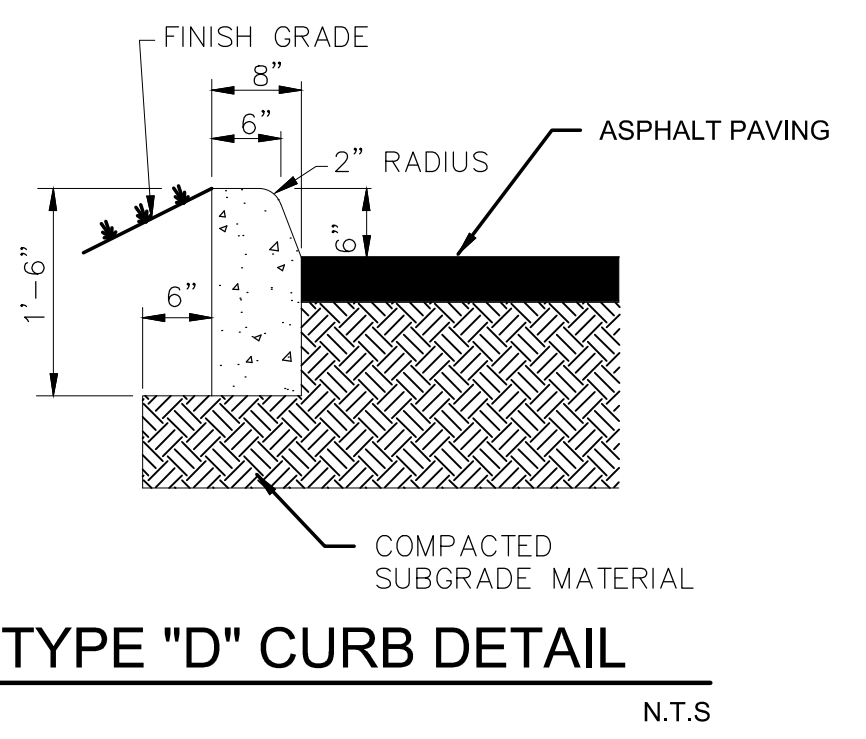
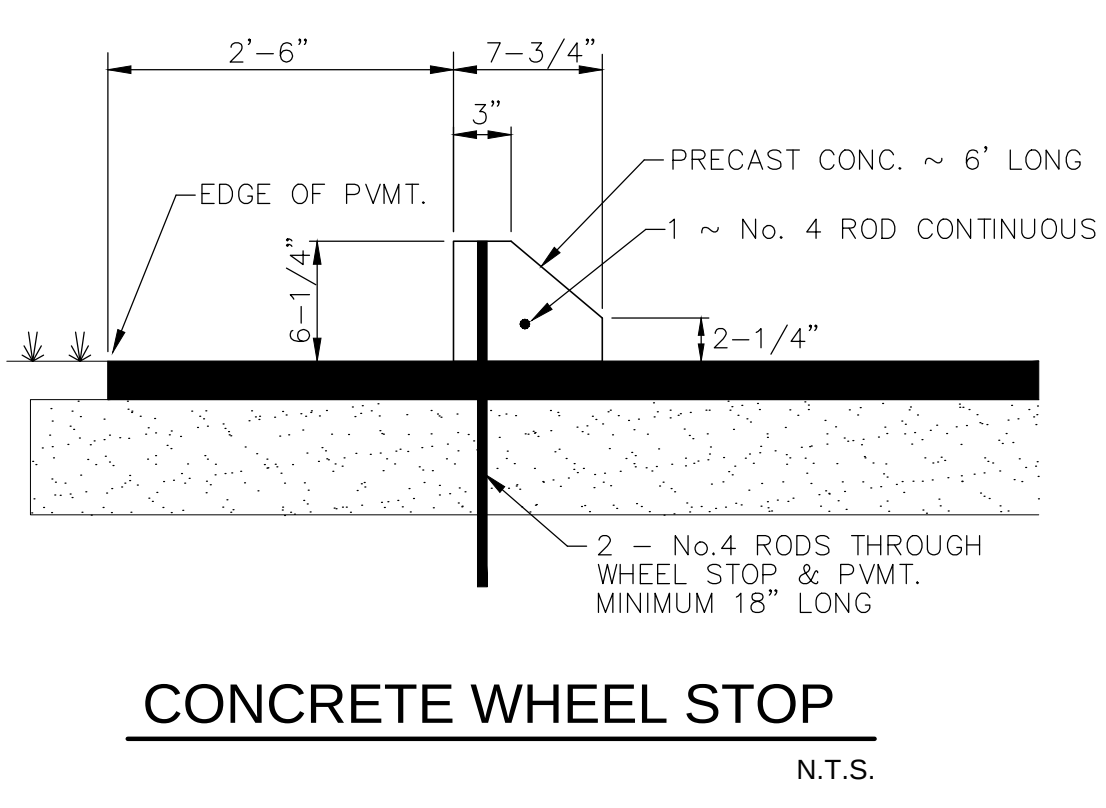
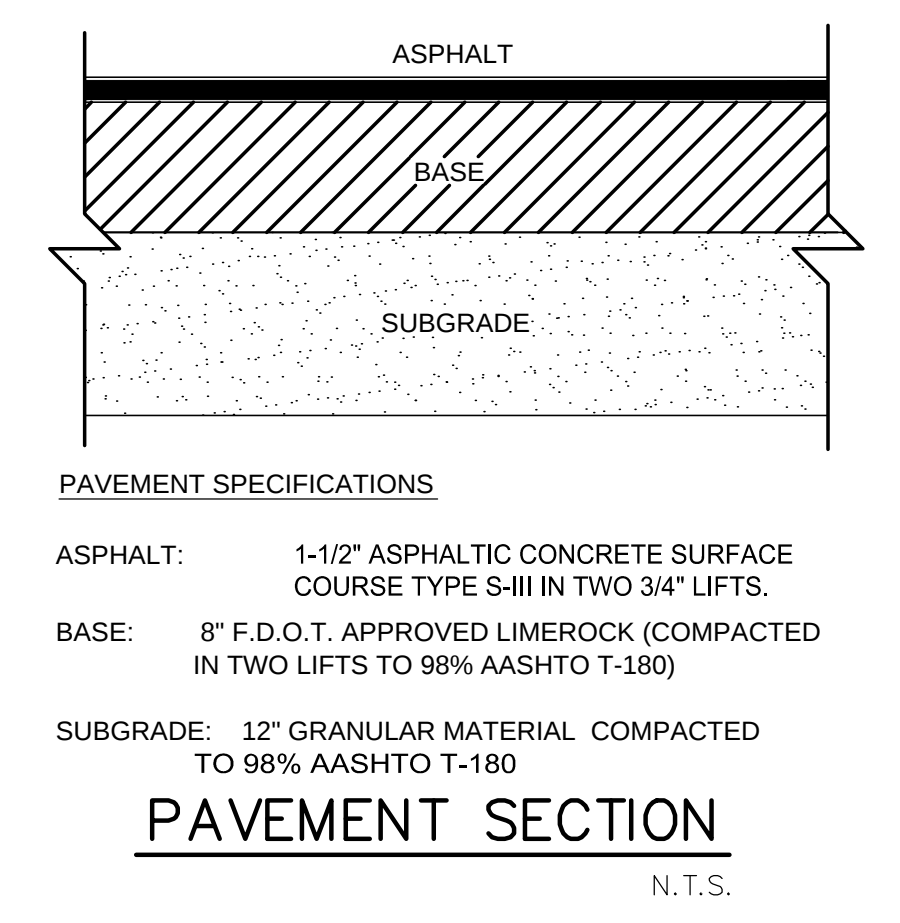
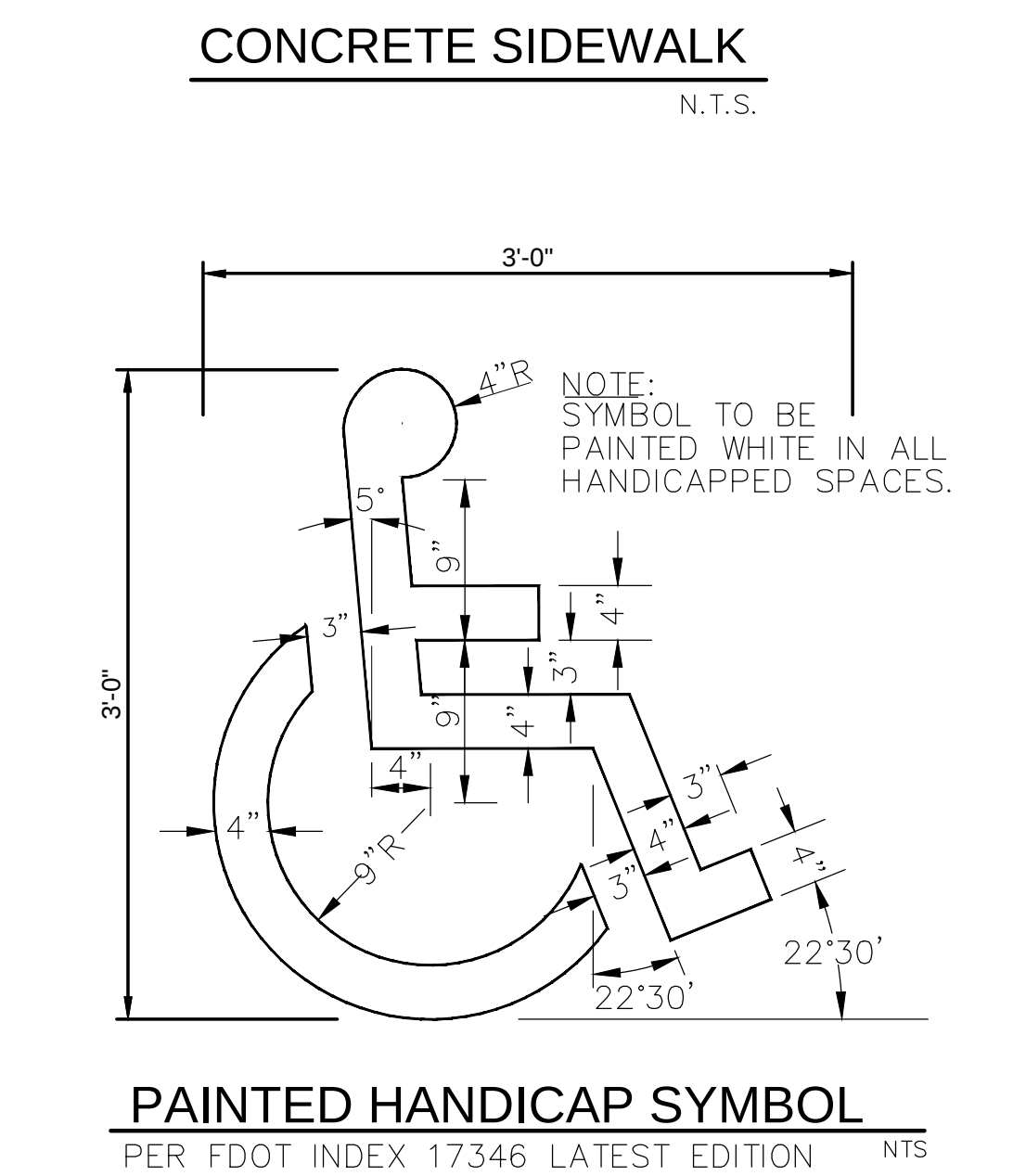
Total Site Area	= 17,921 sf	= 0.411 acres	100.0%
Impervious Area (Roof)	= 1,400 sf	= 0.032 acres	7.8%
Impervious Area (Pavement/Walks)	= 12,497 sf	= 0.287 acres	69.8%
Pervious Area	= 4,024 sf	= 0.092 acres	22.4%

Refer to the Boundary Survey prepared by Bob Buggee, Inc., licensed surveyor, for site layout.

NOTE: THE SITE PERVIOUS AREA WILL INCREASE BY 595 SF WITH THE DEVELOPMENT OF THE PROPOSED PROJECT.



- LEGEND:
- STORM DRAIN
 - CONCL. UTIL. POLE
 - CLEAN OUT
 - AIR RELEASE VALVE
 - MONITORING WELL
 - DRAINAGE MANHOLE
 - SANITARY SEWER MANHOLE
 - FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
 - SPOT ELEVATION
 - 48" X 48" PLANTER (CANOPY TREE 14HI, 6CLR, TRUNK & MIN. 8' SPREAD)
 - PROPOSED ELEVATION



REV.	DESCRIPTION	APRV	DATE
2	BLDG. DEPT. COMMENTS	JWW	7/23/19
1	BLDG. DEPT. COMMENTS	JWW	3/22/19

STATUS: REVIEW

GASLAND SERVICE STATION

PROJECT TITLE

398 NORTHEAST 5TH AVE.
DELRAY BEACH, FL

PAVING & STRIPING (CONCEPTUAL)

J-W Engineering, Inc.

Civil and Structural Engineering

C.O.A. #9937

20 Balfour Road West
Palm Beach Gardens, FL 33418
Tel: (561) 630-3550

JWWessonPE@aol.com

RITZ PETROLEUM LLC & JAVED

FAMILY LLP & SHAFIQUE AZRA

8934 WENDY LN W
ROYAL PALM BEACH FL 33411

JAMES W. WESSON, P.E.

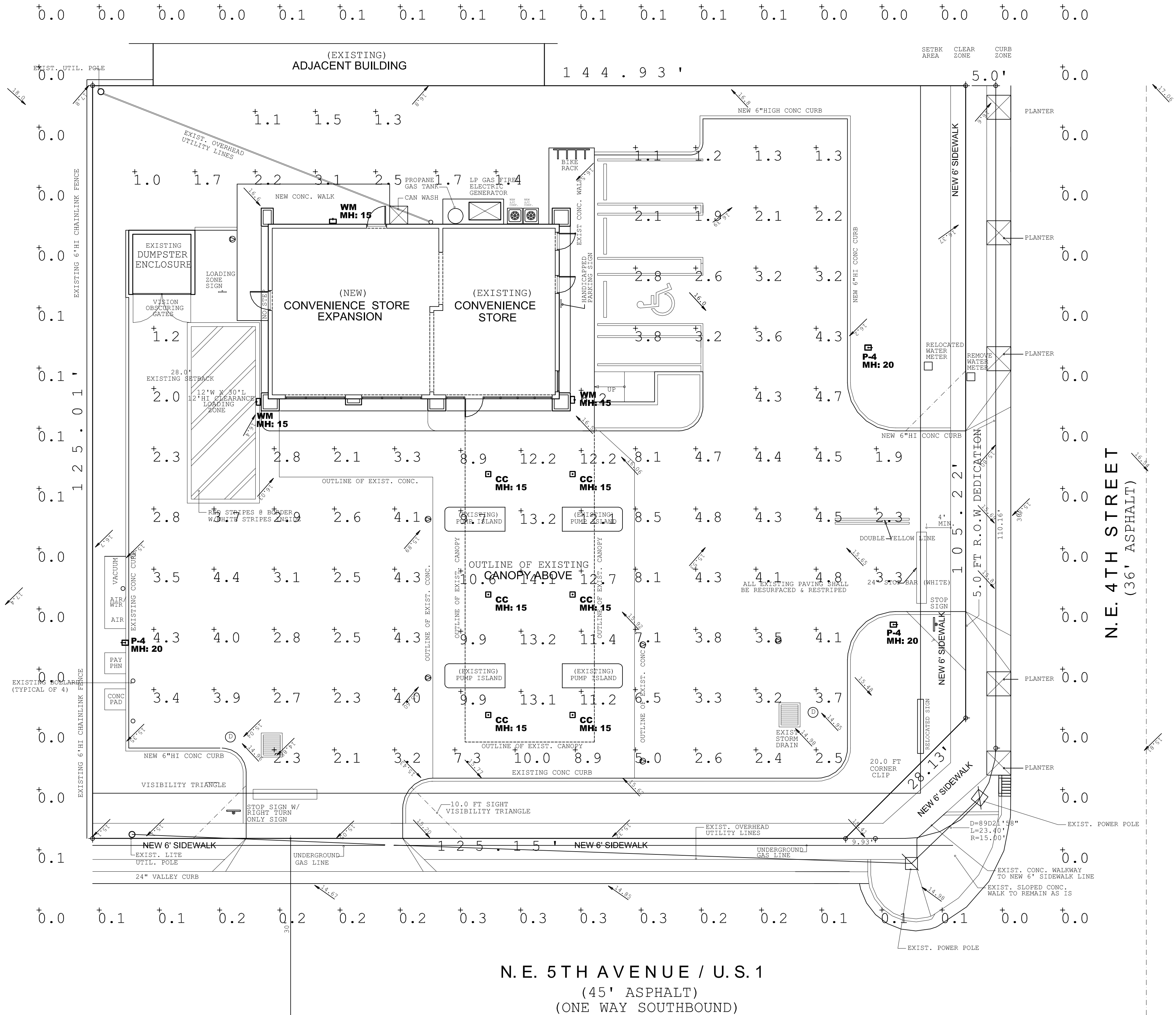
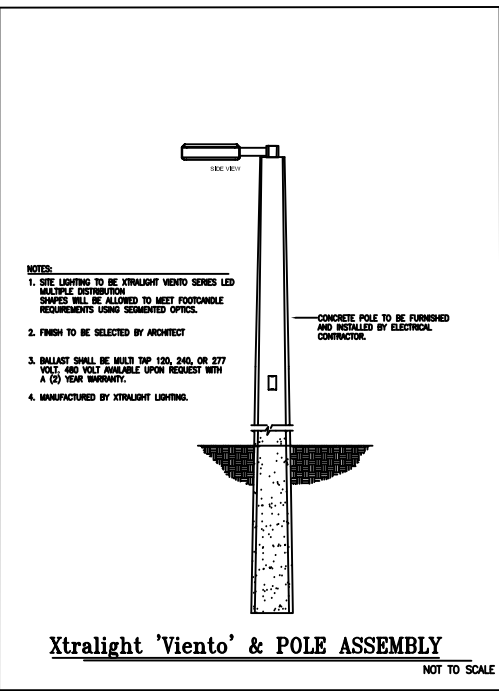
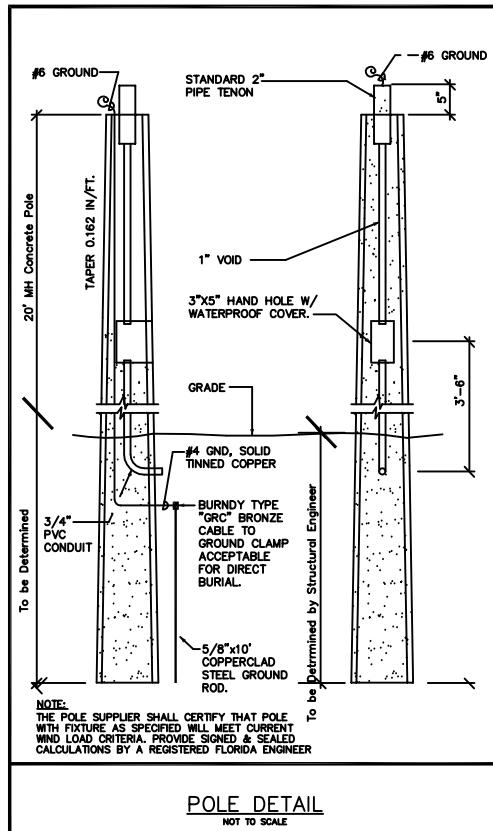
Florida Lic. No. 46487



Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Canopy	Illuminance	Fc	11.29	14.1	6.2	1.82	2.27	
Parking	Illuminance	Fc	3.70	10.0	1.1	3.36	9.09	
Property	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.	
Service Area	Illuminance	Fc	1.75	3.1	1.0	1.75	3.10	



Luminaire Schedule								
Symbol	Label	Qty	LLF	Description	Lum. Watts	Lum. Lumens	Tag	
[Symbol]	CC	6	0.900	SSCM-6000L-50K-UNV-PCP-WH	63.7	6483		
[Symbol]	WM	3	0.900	Xtralight # VNTW-3500L-50K-DIM-3M-BZ	27.9	3452	Wall Mtd @ 15' MH	
[Symbol]	P-4	3	0.900	VNTLEDS011004SNDIM510HSSXXBZHO	111.3	10821	Rear House Shield - 20' MH Pole	



PHOTOMETRIC
SITE PLAN

S C A L E : 1" = 10'-0"



PROPERTY ADDRESS:
398 NORTHEAST 5TH AVENUE,
DELRAY BEACH, FLORIDA 33483

CONVENIENCE STORE RENOVATION FOR THE
GASLAND SERVICE STATION

398 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA
HIGHLAND PARK - DELRAY BEACH, FLORIDA

DATE: 04 APR '19
PROJECT NO: 10 - H40
SHEET: PH
of 1

REVISIONS:
REV: 04 APR 2019
AS PER P&Z DEPT.

ARCHITECT
AR-7457

JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
9009 ONE PUTT PLACE
(561) 809 - 8491
PORT ST LUCE
FLORIDA 34986