

CUSTOM RESIDENCE

Project Number:

23116

CUSTOM RESIDENCE

46 MARINE WAY,
DELRAY BEACH, FL, 33483



THIS RENDERING IS FOR REPRESENTATION PURPOSES ONLY. FINAL PRODUCT MAY DIFFER FROM RENDERING

GENERAL NOTES

GENERAL CONSTRUCTION NOTES (CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE- RESIDENTIAL 7TH EDITION (2020) INCLUDING ACCESSIBILITY, BUILDING, ENERGY CONSERVATION, EXIST. BUILDING, FUEL GAS, PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION.)

- GENERAL CONSTRUCTION NOTES (CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE - RESIDENTIAL TYPE 7TH EDITION (2003) INCLUDING ACCESSIBILITY, BUILDING, ENERGY CONSERVATION, EXIST. BUILDING, FUEL, GAS, PLUMBING, AND ELECTRICAL CODES)
1. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED OR NOT.
2. BIDDER SHALL COORDINATE THE WORK WITH ALL OTHER TRADES.
3. BIDDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY OR THE BIDDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. IF ADDITIONAL INFORMATION IS REQUIRED TO RECEIVE A BUILDING PERMIT, ARCHITECT SHALL HAVE A REASONABLE AMOUNT OF TIME TO FINALIZE A RESPONSE TO ADDITIONAL REQUESTED INFORMATION.
4. BUILT IN PLACE CONCRETE S/C DRAWINGS AS REQUIRED BELOW
5. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING DEVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL BE FAMILIAR WITH THE GOVERNING CODE, IN ITS ENTIRETY, AND SHALL BE RESPONSIBLE FOR ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
6. THE BIDDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEM SPECIFIED. ANY SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY ARCHITECT. ANY SUBSTITUTIONS REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL (SEE NOTE 39). BIDDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
7. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BIDDER.
8. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BIDDER.
9. WINDOW AND DOORS SHALL BE CALLED OUT BY NUMBER. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FLORIDA STATE ENERGY CODE SECTION 502.4.
10. ALL FINED GLASS, BUTT GLASS, AND GLASS BLOCK SHALL BE INSTALLED TO WITHSTAND THE DESIGNER WIND LOAD.
11. ALL GLASS SHALL BE SUPPLIED BY A FABRICATOR WHOSE DESIGNER HAS ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER OF THEIR FLOORFLOOR TRUSS DESIGN FOR REVIEW.
12. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC ATTIC AND MISCELLANEOUS EQUIPMENT. BIDDER SHALL PROVIDE TRUSS BRACING DRAWINGS.
13. PROVIDE GROUPEL CELL AT BEARING POINTS OF EACH GROSS TRUSS.
14. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH BRACING SLABS, TOP AND BOTTOM EACH SIDE.
15. CONCRETE SLAB SHALL CONFORM TO ASTM C94. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308 AND ACI 309. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 530/531.5 MORTAR SHALL MEET THE FOLLOWING:
16. FILLER CELLS - 3000 PSI COMPRESSIVE GRADE #8 TO 10" LONG
17. REINFORCED CONCRETE COLLARS, BEAMS, SLABS, & BALCONY SLABS - 3000 PSI UNLESS OTHERWISE NOTED ON PLANS
18. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE SLABS ON VAPOR BARRIER 3" / BEAMS AND COLUMNS 1" FORMED / CONCRETE BELOW GRADE 2" UNFORMED / CONCRETE BELOW GRADE 2"
19. PLACING DRAWINGS AND BAR LISTS SHALL CONFORM TO A.C.I.'S MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 308).
20. REINFORCED CONCRETE CONSTRUCTION, AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.
21. ALL VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
22. CONCRETE BEAM SIZES MAY BE INCREASED/REDUCED AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK OR BRICKWORK. BEAMS SHALL BE REINFORCED AT WINDOWS AND DOOR BEAMS 25% (MAX) AND 45% (MIN) BOTTOM / FLOOR EXCEP 25%.
23. DOWEL, COLUMN AND BEAMS AS REQUIRED TO FOOTING WITH SAME SIZE AND MEMBER OF DOWEL AND VERTICAL BAR.
24. VERTICAL CELLS FOR MASONRY TO BE GROUPEL SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR UNOBSTRUCTED CONTINUOUS CELL.
25. GROUPEL SHALL BE INSTALLED AT THE BOTTOM OF GROUPEL CELLS AT EACH FLOOR OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUPEL.
26. REINFORCING STEEL SHALL BE LAPPED AS BAR DIAMETERS MINIMUM WHERE SPICED, AND SHALL BE WROTE TOGETHER FOR BAR SIZES SAME SIZE AND NUMBER HORIZONTAL BEAM REINFORCING AT EACH FACE, LAP 48 BAR DIAMETERS MIN.
27. STRUCTURAL WOOD, TRIMMER FRAMING SHALL CONFORM TO THE TRIMMER CONSTRUCTION MANUAL, AS PUBLISHED BY THE TRIMMER MANUFACTURER.
28. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED OR PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CHEMICALS MATERIALS AND THE WOOD.
29. BIDDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF THE TRUSSES TO PREVENT COLLAPSE OR DAMAGE TO SAME.
30. ALL WOOD FRAMED OPENINGS GREATER THAN 4'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER.
31. ALL LEADERS OVER DOORS AND WINDOWS TO BE 2" OR 3/4" IN FOR WOOD FRAME CONSTRUCTION DEPENDING ON THE LEADER SIZE.
32. DIMENSION LAMINATE FOR LEADERS, COLLARS, AND BEARING WALLS SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER OR SHALL PROVIDE ALLOWABLE STRESS VALUES OF 100 PSI IN BENDING FOR SINGLE MEMBERS, 90 PSI IN BENDING FOR DOUBLE MEMBERS. PROVIDE A MODULUS OF ELASTICITY OF 1400 KSI OR BETTER AS DETERMINED BY AN APPROVED LAMINATE GRADING AGENCY.
33. STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STEEL BUILDINGS. ALL STEEL SHALL BE SUPPLIED BY A FABRICATOR WHOSE DESIGNER HAS ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER OF THEIR FLOORFLOOR TRUSS DESIGN FOR REVIEW.
34. WELDED CONNECTIONS SHALL CONFORM TO THE AMERICAN WELDS' A 325 / TUBULAR STEEL - 5000 LB/INCH KSI.
35. SEE FOUNDATION NOTES FOR ALL FRAMING NOTES FOR MORE INFO ON THESE ITEMS.
36. TOPICAL CURING REQUIRED FOR ALL SLABS AND FLAT WORK UNLESS NOTED OTHERWISE.

39. ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR THE OWNER TO THE ARCHITECT. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE TO THE ARCHITECT (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE ARCHITECT FROM ANY AND ALL RESPONSIBILITY, CLAIMS, AGAINST THE ARCHITECT FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON PLANS ORIGIN UNTIL THE END OF TIME.
40. ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED TO MANUFACTURERS

FOUNDATION NOTES: (SEE FOUNDATION PLANS FOR ADDITIONAL NOTES)

1. FOUNDATION NOTES: (SEE FOUNDATION PLANS FOR ADDITIONAL NOTES)
FLOOR SLAB SHALL BE MIN. 4" THICK POLURED CONCRETE SLAB WITH 6X6 LAMIN W/FF. ON 6 MIL VULCISEAL VAPOR BARRIER. REINFORCING BARS SHALL BE C-10 EXTENDING TO EXTERIOR WALLS. SEE ELEVATION PLAN.
2. FOOTINGS AND SLAB CONCRETE SHALL CONFORM TO ACI 301 AND SHALL HAVE 2500 PSI COMPRESSIVE STRENGTH IN 28 DAYS. MAXIMUM SLAB: 4" THICK.
3. ALL FOOTINGS SHALL BE GRAD ON SLO. PREPARED AS RECOMMENDED BY A FLORIDA CERTIFIED GEOTECHNICAL ENGINEER AND SUBMITTED TO BUILDING DEPT.
4. REINFORCING STEEL SHALL BE ASTM #5, GRADE 60.
5. ALL EXTERIOR WALLS SHALL BE FROM EXTERIOR TERMINAL WALLS AND WELL GRADED AND COMPACTED MIN. 95% PER CODE (SEE GEOTECHNICAL REPORT)
6. VERIFICATION OF TEST FOR MODIFIED PROCTOR ASTM D5581 SHALL BE FILED WITH BUILDING OFFICIAL.
7. FILL SHALL HAVE BEEN TESTED TO 2500 PCF SOIL BEARING CAPACITY. CONTRACTOR SHALL SUBMIT SOIL BEARING REPORT. PRIOR TO DOING ANY WORK.
8. GRANITE TEST SOIL AS PER CODE.
9. SEE SECTIONS AND/OR DETAILS FOR CONNECTION REQUIREMENTS FOR PAD BEARING WALLS AND PARTITIONS.
10. DOUBLE REIN. AT PERIMETER OF MONOLITHIC FOOTINGS SHALL BE 30" MIN. BEYOND EDGE OF FOOTINGS. DOUBLE REIN. AT MID-SPAN OF FOOTINGS SHALL EXTEND 30" EACH SIDE OF FOOTING EDGE. (SEE FOUNDATION PLAN IF NECESSARY).
11. SEE FOUNDATION PLAN FOR PAD DEPTH LOCATIONS OF PAD TYPE FOOTINGS.
12. ALL WALLS SHALL BE C-10 EXTENDING TO EXTERIOR WALLS AND WELL GRADED AND COMPACTED MIN. 95% PER CODE. COLUMN AND FOOTING CENTERSLINES SHALL CONCORD UNLESS DIMENSIONED OTHERWISE.
13. REFERENCE ELEVATION -0'-0" (SEE SURVEY REPORT FOR NAVD.)
14. ALL JOINTS BETWEEN INTERIOR AND EXTERIOR WALLS SHALL BE ON GRADE.
15. COORDINATE SLAB ELEVATIONS, STEPS, AND SLOPES WITH ARCHITECTURAL DRAWINGS.
16. PROVIDE SLOPE TO DRAINAGE.
17. SEE ARCHITECTURAL DRAWINGS FOR THE ORIENTATION OF THE BUILDING.
18. MANUFACTURER'S DATA SHEETS SHALL BE PROVIDED BY MANUFACTURER/SUPPLIER PRIOR TO FABRICATION.
19. SEE ARCHITECTURAL DRAWINGS FOR WALKWAY SLAB LAYOUT.
20. REINFORCING BARS SHALL BE C-10 EXTENDING TO EXTERIOR WALLS AND WELL GRADED AND COMPACTED MIN. 95% PER CODE.
21. SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS (45 - 30", 47 - 42", AND REINFORCING SHALL BE CONTINUOUS).
22. REINFORCING BARS SHALL BE CONTINUOUS AROUND CORNERS AND CHANGES OF DIRECTION WITH THE ADDITION OF A CORNER BAR 48 BAR DIAMETERS ALONG EACH LEG. FOR EACH BAR IN FOUNDATION.
23. PROTECT REINFORCING BARS FROM CORROSION BY APPLICATION OF AN ANTI-CORROSION TREATMENT. TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE'S CONSUMER SERVICES.
24. SEE ARCHITECTURAL DRAWINGS FOR WALKWAY SLAB LAYOUT.

- THE TRUSS LAYOUT SHOWN ON THIS SET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL. FINAL TRUSS MFG. LAYOUT, THIS FRAMING SCHEME DIRECTION OF TRUSSES, MAJOR G.C., BEARING POINTS, ETC) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERED TRUSS DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO POURING OF FOUNDATION AS PER GENERAL NOTES.

2. ROOF SHEATHING SHALL BE 19/32" EXTERIOR PLYWOOD, APA EXTERIOR EXPOSURE I, C-D GRADE, INSTALLED PER MANUFACTURER RECOMMENDATION & INSTALLED OVER ROOF TRUSSES PERPENDICULAR TO ROOF FRAMING & PANEL END JOINTS STAGGERED. SHEATHING SHALL BE NAILLED WITH 8D, GALV. RING-SHANKED NAILS AT 6" O.C. IN FIELD, 4" O.C. @ EDGES & 4" O.C. DIAPHRAGM BOUNDARY @ RSRS-03, 2-1/2" X 0.131" THICK ZONES 2 E, 2 R, 3 L.
3. REFER TO ARCHITECTURAL FLOOR PLAN DRAWING FOR ALL ROOM VAULTS, TIE BEAM HEIGHTS, SIZE, AND REINFORCING.

4. CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL COORDINATION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO POURING OF FLOOR SLAB.
5. ALL CONNECTOR STRAPS SHALL BE OF GALVANIZED SHEET STEEL, ASTM A446-75 GRADE A (FY-33,000 PSI).
6. ALL STEEL SEAT DETAILS SUPPORTING GIRDER TRUSSES SHALL BE COORDINATED WITH THE TRUSS MANUFACTURER FOR SIZE AND BOLT REQUIREMENTS (SEE PLANS).
7. ALL STEEL SEAT DETAILS SUPPORTING GIRDER TRUSSES SHALL BE COORDINATED WITH THE TRUSS MANUFACTURER FOR SIZE AND BOLT REQUIREMENTS (SEE PLANS).

7. ALL PLANT ROOF AREAS SHALL HAVE A MIN. SLOPE OF 1/4" PER FOOT.
8. ALL CONNECTIONS INDICATED ARE MINIMUM REQUIREMENTS AND ARE SUBJECT TO FINAL REVIEW UPON ROOF TRUSS SHOP DRAWINGS SUBMITTAL TO ARCHITECT'S OFFICE.
9. SUBMIT THREE (3) COPIES OF THE TRUSS LAYOUT TO ARCHITECT FOR APPROVAL.
10. BRACING OF TRUSSES BY TRUSS ENGINEER (TYP)
11. ALL GIRDER BEARING SEATS TO BE VERIFIED BY TRUSS ENGINEERING (WIDTH PER ENGINEERING.)

12. ALL UPLIFTS & REACTIONS IN EXCESS OF 3000# SHALL BE NOTED ON ALL SUBMITTALS AS REQUIRED FOR DEEM TO COMPLY OF LOCAL GOVERNING AGENCY
13. GALVANIZED FLASHING FOR VALLEYS SHALL BE 26 MIN. GAUGE (SEE WALL SECTION)
14. GALVANIZED DROP EDGE SHALL BE 26 MIN. GAUGE (SEE WALL SECTION)
15. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR CHECKING CEILING HEIGHTS WITH GIRDER & TRUSS BOTTOM CHORD HEIGHTS.

16. ALL PLYWOOD FOR WALL AND ROOF SHEATHING IS TO BE 1937' APA RATED STRUCTURAL SHEATHING, 40/20,
EXPOSURE 1 NAILED WITH 8D GALV. RING-SHANK • 6"/4" LGA.
17. THE BEAM DEPTHS HAVE BEEN SET ACCORDING TO THE ARCHITECTURAL REQUIREMENTS FOR WINDOW/DOOR HEAD
HEIGHTS. CONTRACTOR TO VERIFY DEPTHS AND REPORT DISCREPANCIES TO THIS ENGINEER IMMEDIATELY.
18. ALL CONCRETE BEAMS DEEPER THAN 12" SHALL HAVE NOMINAL 8" BEARING ON SUPPORTING MASONRY.

19. BCLB - 2 X 4 BOTTOM CHORD LATERAL BRACING @ 8'-0"
20. BCBH - 2 X 4 BOTTOM CHORD DIAGONAL BRACING AS SHOWN (20'-0" MAX)
21. VXB - VERTICAL X-BRACING AS SOWN (SEE DETAIL)
22. GRAVITY LOADING ROOF - NON CONCENTRIC
DEAD LOAD = .25 PSF (5 PSF TC / 10 PSF BC) LIVE LOAD = 30 PSF (60 PSF BC FOR ATTIC SPACES)
FOR A.H.L. 200 LBS POINT LOAD TC STORAGE DL = 20 PSF BC

FLOOR FRAMING NOTES:

1. FLOOR FRAMING NOTES:
 - a. THE STRUCTURAL FRAMING SHOWN IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING STRUCTURE HAS BEEN ASSUMED TO BE THE EXISTING PORTION. THE FRAMING SCHEME SHOWN WILL, CLOSELY PARALLEL, FINAL FLOOR DESIGNERS LAYOUT. PROVIDED SIGNED AND SEALED SHOP DRAWINGS AND CALCULATIONS FOR APPROVAL. FLOOR TOP PROVIDE SHOP DRAWINGS MAY RESULT IN ADDITIONAL ENGINEERING.
 - b. FLOOR PLYWOOD WHEN APPLICABLE SHALL BE 23/32" APA RATED STRUCTURAL SHEATHING. EXPOSURE 1 OR EXPOSURE 2 OR 3 OR 4 OR 5 OR 6 OR 7 OR 8 OR 9 OR 10 OR 11 OR 12 OR 13 OR 14 OR 15 OR 16 OR 17 OR 18 OR 19 OR 20 OR 21 OR 22 OR 23 OR 24 OR 25 OR 26 OR 27 OR 28 OR 29 OR 30 OR 31 OR 32 OR 33 OR 34 OR 35 OR 36 OR 37 OR 38 OR 39 OR 40 OR 41 OR 42 OR 43 OR 44 OR 45 OR 46 OR 47 OR 48 OR 49 OR 50 OR 51 OR 52 OR 53 OR 54 OR 55 OR 56 OR 57 OR 58 OR 59 OR 60 OR 61 OR 62 OR 63 OR 64 OR 65 OR 66 OR 67 OR 68 OR 69 OR 70 OR 71 OR 72 OR 73 OR 74 OR 75 OR 76 OR 77 OR 78 OR 79 OR 80 OR 81 OR 82 OR 83 OR 84 OR 85 OR 86 OR 87 OR 88 OR 89 OR 90 OR 91 OR 92 OR 93 OR 94 OR 95 OR 96 OR 97 OR 98 OR 99 OR 100 OR 101 OR 102 OR 103 OR 104 OR 105 OR 106 OR 107 OR 108 OR 109 OR 110 OR 111 OR 112 OR 113 OR 114 OR 115 OR 116 OR 117 OR 118 OR 119 OR 120 OR 121 OR 122 OR 123 OR 124 OR 125 OR 126 OR 127 OR 128 OR 129 OR 130 OR 131 OR 132 OR 133 OR 134 OR 135 OR 136 OR 137 OR 138 OR 139 OR 140 OR 141 OR 142 OR 143 OR 144 OR 145 OR 146 OR 147 OR 148 OR 149 OR 150 OR 151 OR 152 OR 153 OR 154 OR 155 OR 156 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OR 443 OR 444 OR 445 OR 446 OR 447 OR 448 OR 449 OR 450 OR 451 OR 452 OR 453 OR 454 OR 455 OR 456 OR 457 OR 458 OR 459 OR 460 OR 461 OR 462 OR 463 OR 464 OR 465 OR 466 OR 467 OR 468 OR 469 OR 470 OR 471 OR 472 OR 473 OR 474 OR 475 OR 476 OR 477 OR 478 OR 479 OR 480 OR 481 OR 482 OR 483 OR 484 OR 485 OR 486 OR 487 OR 488 OR 489 OR 490 OR 491 OR 492 OR 493 OR 494 OR 495 OR 496 OR 497 OR 498 OR 499 OR 500 OR 501 OR 502 OR 503 OR 504 OR 505 OR 506 OR 507 OR 508 OR 509 OR 510 OR 511 OR 512 OR 513 OR 514 OR 515 OR 516 OR 517 OR 518 OR 519 OR 520 OR 521 OR 522 OR 523 OR 524 OR 525 OR 526 OR 527 OR 528 OR 529 OR 530 OR 531 OR 532 OR 533 OR 534 OR 535 OR 536 OR 537 OR 538 OR 539 OR 540 OR 541 OR 542 OR 543 OR 544 OR 545 OR 546 OR 547 OR 548 OR 549 OR 550 OR 551 OR 552 OR 553 OR 554 OR 555 OR 556 OR 557 OR 558 OR 559 OR 560 OR 561 OR 562 OR 563 OR 564 OR 565 OR 566 OR 567 OR 568 OR 569 OR 570 OR 571 OR 572 OR 573 OR 574 OR 575 OR 576 OR 577 OR 578 OR 579 OR 580 OR 581 OR 582 OR 583 OR 584 OR 585 OR 586 OR 587 OR 588 OR 589 OR 590 OR 591 OR 592 OR 593 OR 594 OR 595 OR 596 OR 597 OR 598 OR 599 OR 600 OR 601 OR 602 OR 603 OR 604 OR 605 OR 606 OR 607 OR 608 OR 609 OR 610 OR 611 OR 612 OR 613 OR 614 OR 615 OR 616 OR 617 OR 618 OR 619 OR 620 OR 621 OR 622 OR 623 OR 624 OR 625 OR 626 OR 627 OR 628 OR 629 OR 630 OR 631 OR 632 OR 633 OR 634 OR 635 OR 636 OR 637 OR 638 OR 639 OR 640 OR 641 OR 642 OR 643 OR 644 OR 645 OR 646 OR 647 OR 648 OR 649 OR 650 OR 651 OR 652 OR 653 OR 654 OR 655 OR 656 OR 657 OR 658 OR 659 OR 660 OR 661 OR 662 OR 663 OR 664 OR 665 OR 666 OR 667 OR 668 OR 669 OR 670 OR 671 OR 672 OR 673 OR 674 OR 675 OR 676 OR 677 OR 678 OR 679 OR 680 OR 681 OR 682 OR 683 OR 684 OR 685 OR 686 OR 687 OR 688 OR 689 OR 690 OR 691 OR 692 OR 693 OR 694 OR 695 OR 696 OR 697 OR 698 OR 699 OR 700 OR 701 OR 702 OR 703 OR 704 OR 705 OR 706 OR 707 OR 708 OR 709 OR 710 OR 711 OR 712 OR 713 OR 714 OR 715 OR 716 OR 717 OR 718 OR 719 OR 720 OR 721 OR 722 OR 723 OR 724 OR 725 OR 726 OR 727 OR 728 OR 729 OR 730 OR 731 OR 732 OR 733 OR 734 OR 735 OR 736 OR 737 OR 738 OR 739 OR 740 OR 741 OR 742 OR 743 OR 744 OR 745 OR 746 OR 747 OR 748 OR 749 OR 750 OR 751 OR 752 OR 753 OR 754 OR 755 OR 756 OR 757 OR 758 OR 759 OR 760 OR 761 OR 762 OR 763 OR 764 OR 765 OR 766 OR 767 OR 768 OR 769 OR 770 OR 771 OR 772 OR 773 OR 774 OR 775 OR 776 OR 777 OR 778 OR 779 OR 780 OR 781 OR 782 OR 783 OR 784 OR 785 OR 786 OR 787 OR 788 OR 789 OR 790 OR 791 OR 792 OR 793 OR 794 OR 795 OR 796 OR 797 OR 798 OR 799 OR 800 OR 801 OR 802 OR 803 OR 804 OR 805 OR 806 OR 807 OR 808

1. COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES, REGISTERS IN THE FIELD, WITH ELECTRICAL, LIGHTING, AND ARCHITECTURAL ELEMENTS.
2. COORDINATE LOCATION OF A/C UNITS AND FANS WITH BUILDING STRUCTURE SO THAT NO INTERFERENCES OCCUR.
3. BUILDUP TO COORDINATE ALL DUCT LOCATIONS WITH ALL TRADES SO THAT NO INTERFERENCES OCCUR.
4. FURNISH AND INSTALL DISCONNECTED SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING AS REQUIRED.
5. SEAL ALL DUCTS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.

6. PROVIDE AND INSTALL FLEXIBLE CONNECTIONS OF APPROVED TYPE AT ALL A/C UNIT SUPPLY AND RETURN DUCT CONNECTIONS AND AT ALL FAN CONNECTIONS AT THE INDIVIDUAL PHASES OF EQUIPMENT, WHERE APPLICABLE. RUN CONDENSATE DRAIN TO NEAREST INDIRECT WASTE TRAP.
7. THERMOSTAT LOCATION SHALL BE APPROVED BY THE BUILDER AND OWNER BEFORE INSTALLATION.
8. ALL EXHAUST FANS SHALL DISCHARGE THROUGH ROOF A MINIMUM OF 10'-0" FROM ALL A/C UNIT FRESH AIR INTAKES.
9. SWITCH TOU F1 EXHAUST FAN SPRING 1 FROM BATT. POWER LIGHT FIXTURE ON FSS OTHERWISE NOTED.

11. AIR CONDITIONING CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL EQUIPMENT AND DUCT WORK. A/C CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A/C EQUIPMENT SPECIFIED ON THE ENERGY CALCULATIONS/AIR SYSTEM SUMMARY.
12. MECHANICAL A/C SYSTEM TO BE DESIGNED TO MAINTAIN A RELATIVE HUMIDITY LEVEL OF LESS THAN 50% TO MINIMIZE THE POTENTIAL FOR ALLERGENS.

13. IF GAS BURN IS INSTALLED IN TO AN ENCLOSED CABINET, A LOUVERED SCREENED VENT MUST BE PROVIDED.
14. PROVIDE SAFE WASTE FOR AIR CONDITIONING UNIT W/ TRAP. SEE A/C SHOP DRAWING FOR LOCATION OF UNITS AND DRAINS.
15. ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION.
- PLUMBING NOTES:
1. ALL SHOWER HEADS SHALL BE EQUIPPED WITH ANTI-SCALDING PROTECTION PER CODE.

2. PLUMBING CONTRACTOR SHALL VERIFY CENTERLINE DIMENSIONS OF FIXTURE AS PER OWNERS SELECTION.
ARCHITECTS STATUS
1. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE

2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS, SHOULD

- PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN. NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT, SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS. COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.

3. THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETE SYSTEMS AND A COMPLETE JOB AS INDICATED IN THE CONTRACT DOCUMENTS.
4. ALL BIDDERS SHALL BE FAMILIAR WITH THE CONTRACT DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES

5. ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS PRIOR TO PERFORMANCE OF THE WORK, AND DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- FIRE BLOCKING AND DRAFTSTOPPING:**
 1. DRAFTSTOPPING IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1000 SF. IN ATTICS FOR AREAS OVER

2. INSTALL FIREBLOCKING IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOTH) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.
- ELECTRICAL NOTES: ELECTRICAL SHALL FOLLOW THE NATIONAL ELECTRICAL CODE LATEST ADOPTED EDITION (SEE ELECTRICAL BIDDING FOR ADDITIONAL NOTES).

- _____

ABBREVIATIONS

ACCUS.	ACQUISIT.	MTD.	MOUNTED
ADJ.	ADJUSTABLE	MUL.	MULLION
AL.	ALUMINUM	N/C.	NOT IN CONTRACT
BLDG.	BUILDING	N.O.	NUMBER
BLK.	BLOCK	N.T.S.	NOT TO SCALE
BOT.	BOTTOM	O.A.	OVERALL
CAB.	CABINET	OB.S.	OBSCURE
CLR.	CLEAR	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OPNG.	OPENING
CONN.	CONNECTION	OPP.	OPPOSITE
CONT.	CONTINUOUS	PL.	PLATE
CTSK.	COUNTERSINK	PLAS.	PLASTER
DEC.	DECORATIVE	PR.	PAIR
DET.	DETAIL	PRCST.	PRECAST
D.F.	DOUGLAS FIR	P.T.D.F.	PRESSURE TREATED
DIA.	DIAMETER	PTN.	PARTITION
DN.	DOWN	PTQ.	QUARRY TILE
D.S.	DOWN SPOUT	RAD.	RADIUS
DWG.	DRAWING	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
EL.	ELEVATION	R.W.D.	REDWOOD
ELEC.	ELECTRICAL	R.W.L.	RAIN WATER LEADER
EQ.	EQUAL	S.C.	SOLID CORE
EXH.	EXHAUST	SCHED.	SCHEDULE
EXP.	EXPANSION	S-HT.	SH-ELT
EXT.	EXTERIOR	SIM.	SIMILAR
EXST.	EXISTING	SQ.	SQUARE
F.F.	FINISH FLOOR	STD.	STANDARD STEEL
F.L.S.	FLASHING	STT.	STANDARD
FLUOR.	FLUORESCENT	STL.	STEEL
F.T.	FOOT/FEET	STR.	STORAGE
FTG.	FOOTING	STRUC.	STRUCTURAL
GA.	GAUGE	SUSP.	SUSPENDED
GLV.	GALVANIZED	T.C.	TOP OF CURB
GL.	GLASS	T.E.	TELEPHONE
GR.	GRADE	T.G.	TONGUE AND GROOVE
GTP.	GUTTER	T.K.	TACK
H.B.	JOSE BEBB	T.O.C.	TOP OF CHIMNEY
H.C.	HOLLOW CORE	T.O.F.R.	TOP OF FRAMING
H.W.D.	HARDWOOD	T.O.L.	TOP OF LEDGER
H.W.E.	HARDWARE	T.O.P.L.	TOP OF PLATE
HT.	HEIGHT	TYP.	TYPICAL
HOR.	HORIZONTAL	UNP.	UNLESS NOTED OTHERWISE
ID.	INCHES DIAMETER	UNON	UNLESS OTHERWISE NOTED
INCAND.	INCANDESCENT	VEST.	VESTIBULE
INSUL.	INSULATION	W/	WITH
INT.	INTERIOR	W/O	WITHOUT
LAM.	LAMINATE	W.C.	WATER CLOSET
LAV.	LAVATORY	W.D.	WOOD
LOC.	LOCATION	WH.	WATER HEATER
MAX.	MAXIMUM	WH.	WHEAT
MECH.	MECHANICAL	°	AND
MET.	METAL	-	ANGLE
MFR.	MANUFACTURER	°	AT
MIN.	MINIMUM	CL.	CENTER LINE
MISC.	MISCELLANEOUS	±	POUND OR NUMBER
MO.	MASONRY OPENING		

PROJECT CLASSIFICATION

OCCUPANCY CLASSIFICATION:
GROUP R3
TYPE OF CONSTRUCTION CLASSIFICATION:
TYPE VB CONSTRUCTION
SPRINKLED
TWO STORY - SINGLE FAMILY RESIDENCE

SHEET INDEX

[illegible]

Revisions

- | | |
|---|--------------------------------|
| 1 | 11.26.24 REV, PER TAC COMMENTS |
| 2 | 02.05.25 REV, PER TAC COMMENTS |

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Revisions

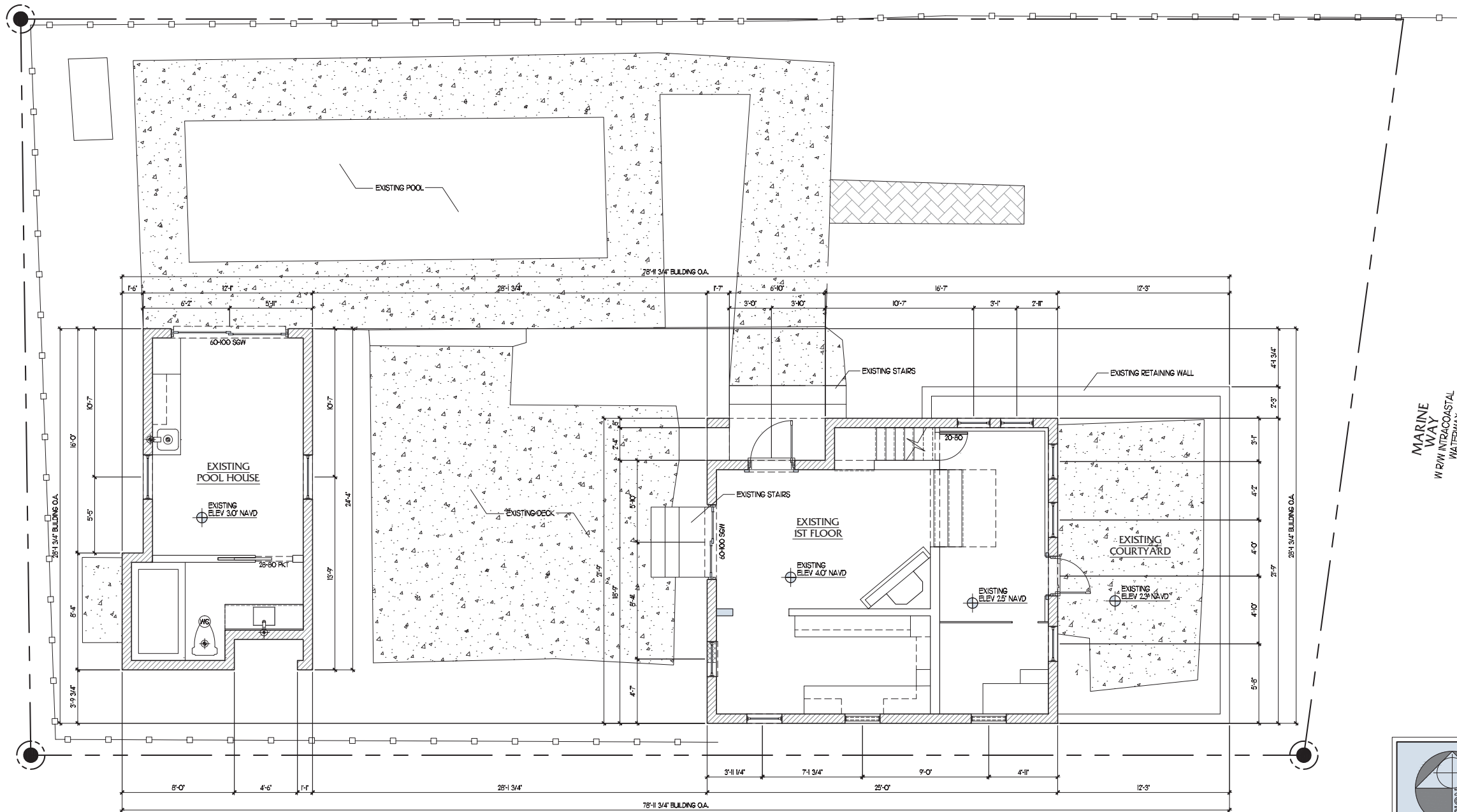
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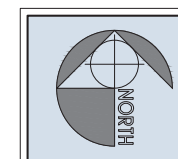
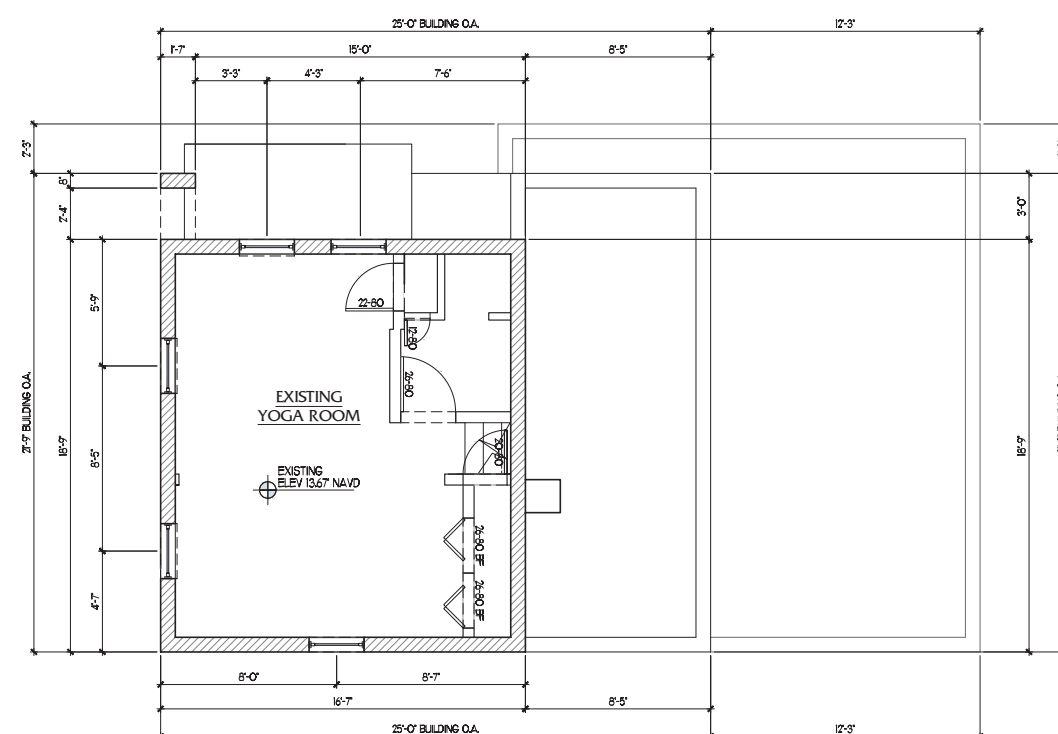
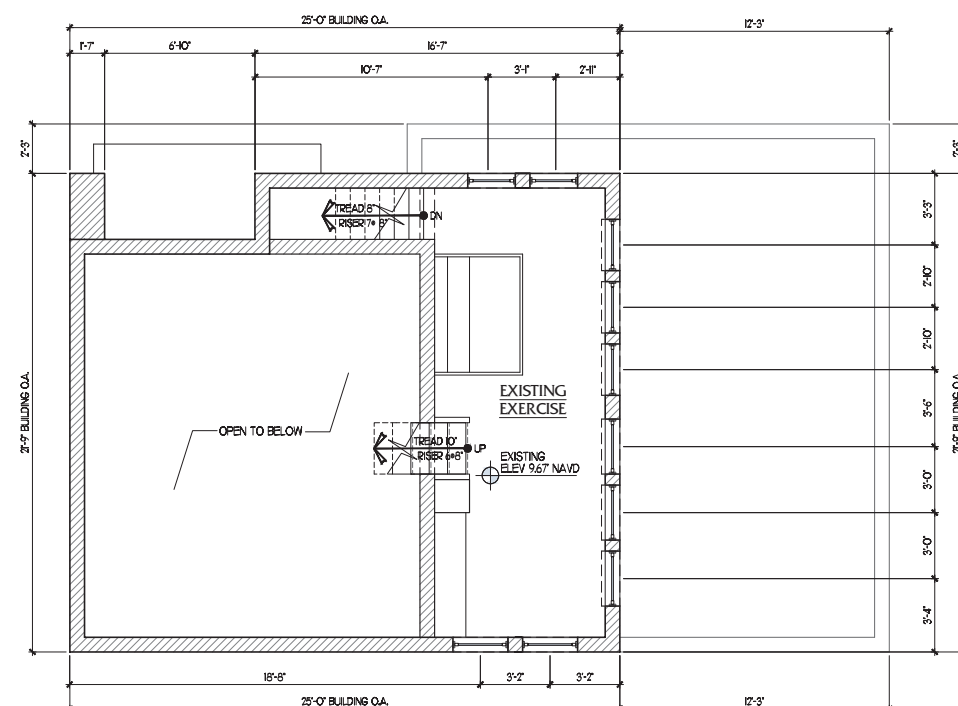
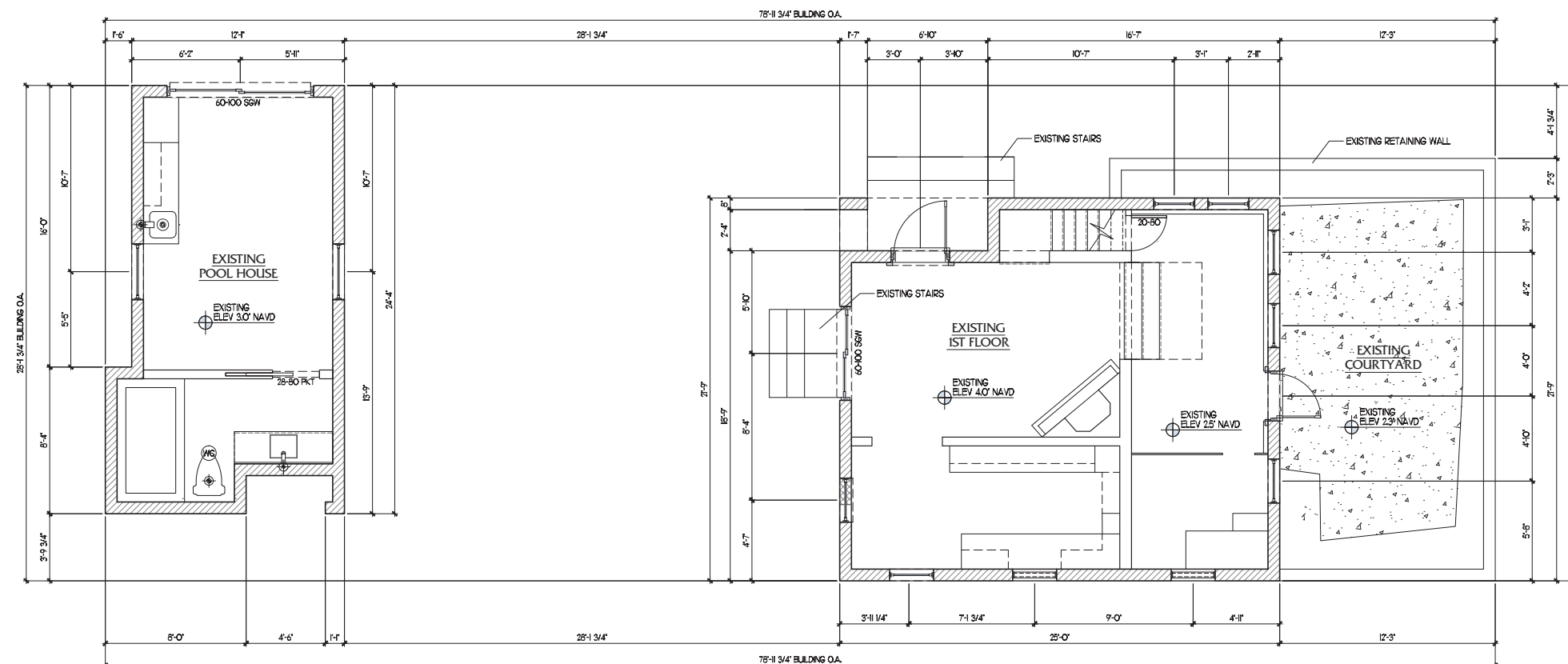


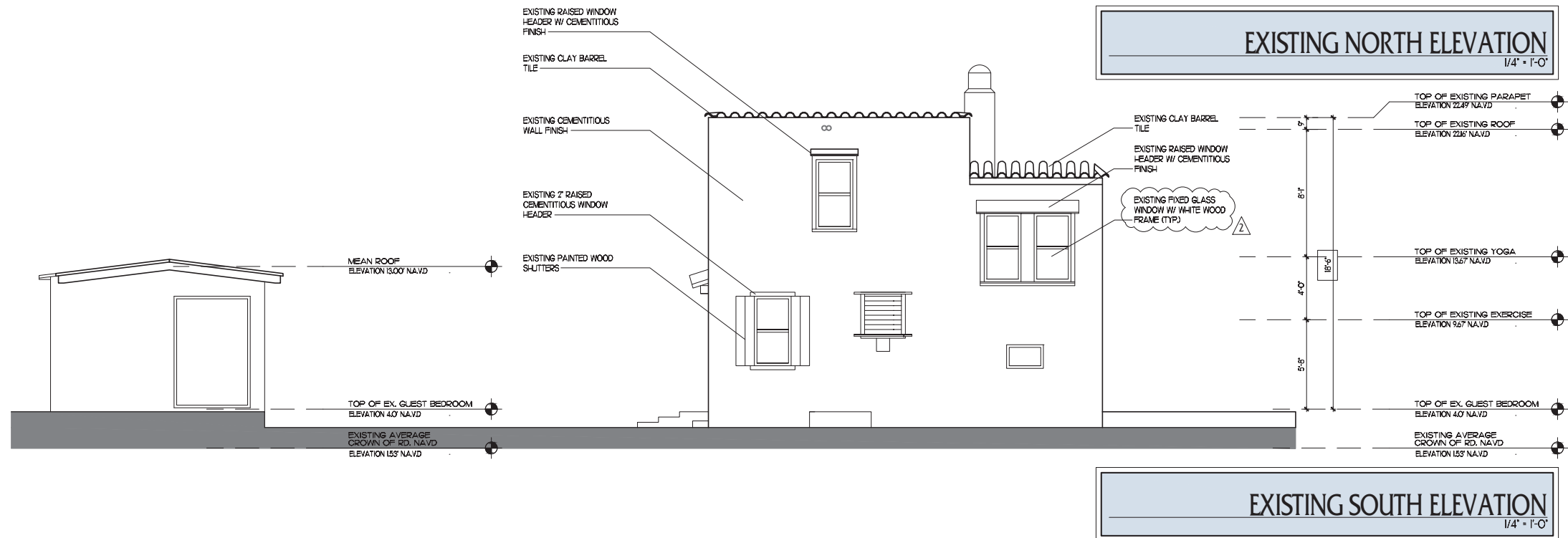
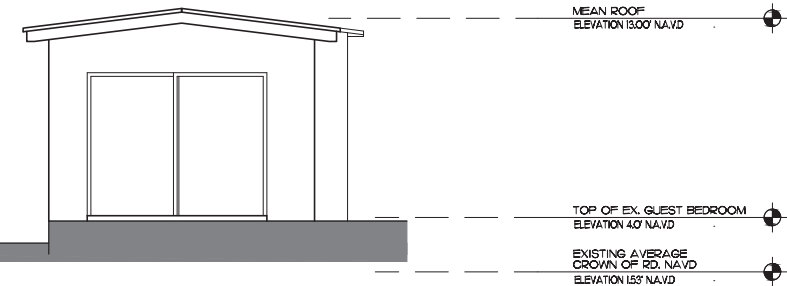
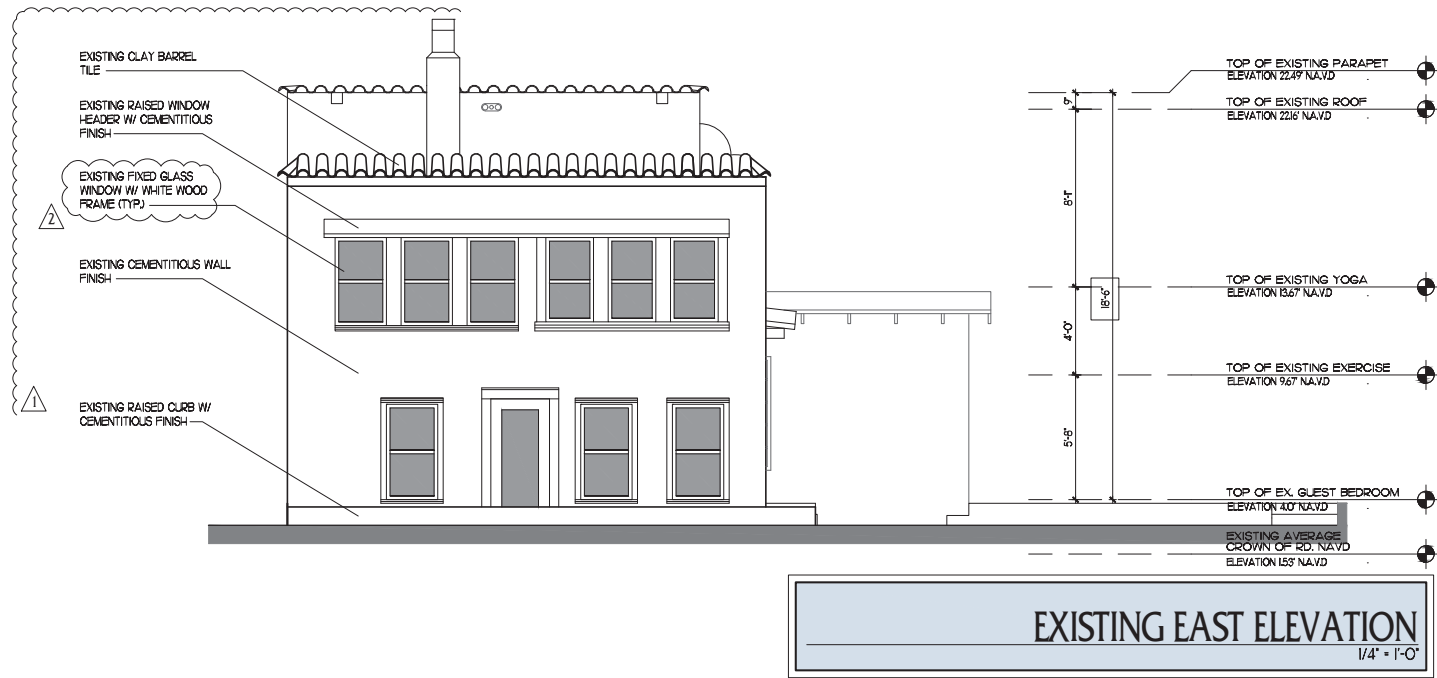
relocation/RENO LEGENDS

EXISTING WALLS

EXISTING SITE PLAN

1/4" = 1'-0"





Project Number:
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RELIEF REQUEST CHART					
VARIANCES	SETBACK	REQUIRED	EXISTING	PROPOSED	JUSTIFICATION
LDR SECTION 4.3.4(V) VARIANCE RELIEF	FRONT (EAST) SETBACK	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.3.4(V) VARIANCE RELIEF	SOUTH SIDE SETBACK	7'-6"	7'-3" / 6'-1"	7'-3"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.3.4(V) VARIANCE RELIEF	REAR (WEST) SETBACK	10'-0"	6'-8"	6'-8" (EXISTING STRUCTURE TO REMAIN) / 10'-0" (WHERE NEW STRUCTURE ADDITION WILL BE ON THE NW SIDE OF PROPERTY)	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.6.15 VARIANCE RELIEF	POOL SETBACK	10'-0"	7'-2"	7'-6"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.5.1(V)(7) WAIVER RELIEF	SECONDARY AND SUBORDINATE		CURRENTLY NOT COMPLIANT WITH THE VISUAL COMPATIBILITY STANDARDS	TO KEEP STRUCTURE NOT COMPLIANT	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.5.1(V)(7) WAIVER RELIEF	BUILDING HEIGHT PLANE		CURRENTLY NOT COMPLIANT WITH THE BUILDING HEIGHT PLANE	TO KEEP STRUCTURE NOT COMPLIANT	SEE PROPOSED APPLICATION FOR JUSTIFICATION.

SITE DATA			
ZONING DISTRICT: R-H-A			
	REQUIRED	EXISTING (10'-0")	PROPOSED (10'-0")
BUILDING HT:	35 FEET	18.5 FEET FROM REFERENCE SLAB - 2 STORIES	35 FEET FROM REFERENCE SLAB - 3 STORIES
LOT AREA:	7,500 SQ.FT	4,972 SQ.FT	--
LOT WIDTH:	MIN. 60'-0", MAX. 80'-0"	52'-11 3/4"	--
LOT DEPTH:	MIN. 100'-0"	90'-9 1/2"	--
LOT COVERAGE:	--	1313 SQ.FT	2274 SQ.FT
OPEN SPACE AREA:	--	3,659 SQ.FT (74%)	2,698 SQ.FT (54%)
BUILDING SETBACKS:			
FRONT (EAST) SETBACK:	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2" *VARIANCE REQUEST
REAR (WEST) SETBACK:	10'-0"	6'-8"	6'-8" / 10'-0" *VARIANCE REQUEST
SOUTH SIDE SETBACK:	7'-6"	7'-3" / 6'-1"	7'-3" *VARIANCE REQUEST
NORTH SIDE SETBACK:	7'-6"	22'-1"	7'-6"
POOL SETBACK:	10'-0"	7'-2"	7'-6" *VARIANCE REQUEST

AREA CALCULATION	
EXISTING 1ST FLOOR AC	518 SQ. FT.
EXISTING POOL HOUSE AC	296 SQ. FT.
EXISTING MEZZANINE AC	499 SQ. FT.
EXISTING 2ND FLOOR AC	311 SQ. FT.
TOTAL EXISTING AC	1624 SQ. FT.
EXISTING FRONT COURTYARD	316 SQ. FT.
TOTAL EXISTING SQ.FT.	1940 SQ. FT.
PROPOSED 1ST FLOOR AC	1108 SQ. FT.
PROPOSED 2ND FLOOR AC	1019 SQ. FT.
PROPOSED 3RD FLOOR AC	693 SQ. FT.
TOTAL PROPOSED AC	2820 SQ. FT.
PROPOSED COVD ENTRY	60 SQ. FT.
PROPOSED GARAGE	810 SQ. FT.
TOTAL A/C	4445 SQ. FT.
TOTAL AREA	5632 SQ. FT.
DATE: 11/26/2024	

SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION

VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY

SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION

SITE DRAINAGE BY CIVIL ENGINEER

LOCATION MAP

PARCEL I

A PARCEL OF LAND IN BLOCK 133, DELRAY BEACH, (FORMERLY TOWN OF LINTON) FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH-WEST CORNER OF BLOCK 125 OF SAID DELRAY BEACH, FLORIDA (FORMERLY TOWN OF LINTON), THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 311.2 FEET TO THE NORTH-WEST CORNER OF SAID BLOCK 133; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 133, A DISTANCE OF 338.60 FEET, THENCE EASTERLY PARALLEL WITH THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 515 FEET TO THE POINT OF BEGINNING AND THE NORTH-WESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE EASTERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 96.75 FEET, MORE OR LESS, TO THE WESTERLY RIGHT-OF-WAY LINE OF THE INTERCOASTAL WATERWAY, THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 40.36 FEET, THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 90.79 FEET TO A POINT IN A LINE PARALLEL TO AND 515 FEET EASTERLY OF, AS MEASURED ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, THENCE NORTHERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

PARCEL II

A PARCEL OF LAND IN BLOCK 133, DELRAY BEACH, (FORMERLY TOWN OF LINTON), FLORIDA ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK I, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH-WEST CORNER OF BLOCK 125 OF SAID DELRAY BEACH, FLORIDA, (FORMERLY TOWN OF LINTON), THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 311.2 FEET TO THE NORTH-WEST CORNER OF SAID BLOCK 133; THENCE SOUTHERLY, ALONG THE WEST LINE OF SAID BLOCK 133, A DISTANCE OF 338.60 FEET, THENCE EASTERLY, PARALLEL WITH THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 515 FEET TO THE POINT OF BEGINNING AND THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE EASTERLY, ALONG SAID PARALLEL LINE, A DISTANCE OF 96.75 FEET, MORE OR LESS, TO THE WESTERLY RIGHT-OF-WAY OF THE INTERCOASTAL WATERWAY, THENCE NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 12.61 FEET, THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 96.61 FEET TO A POINT IN A LINE, PARALLEL TO AND 515 FEET EASTERLY OF, AS MEASURED ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, THENCE SOUTHERLY, ALONG AND PARALLEL LINE A DISTANCE OF 125.0 FEET TO THE POINT OF BEGINNING.

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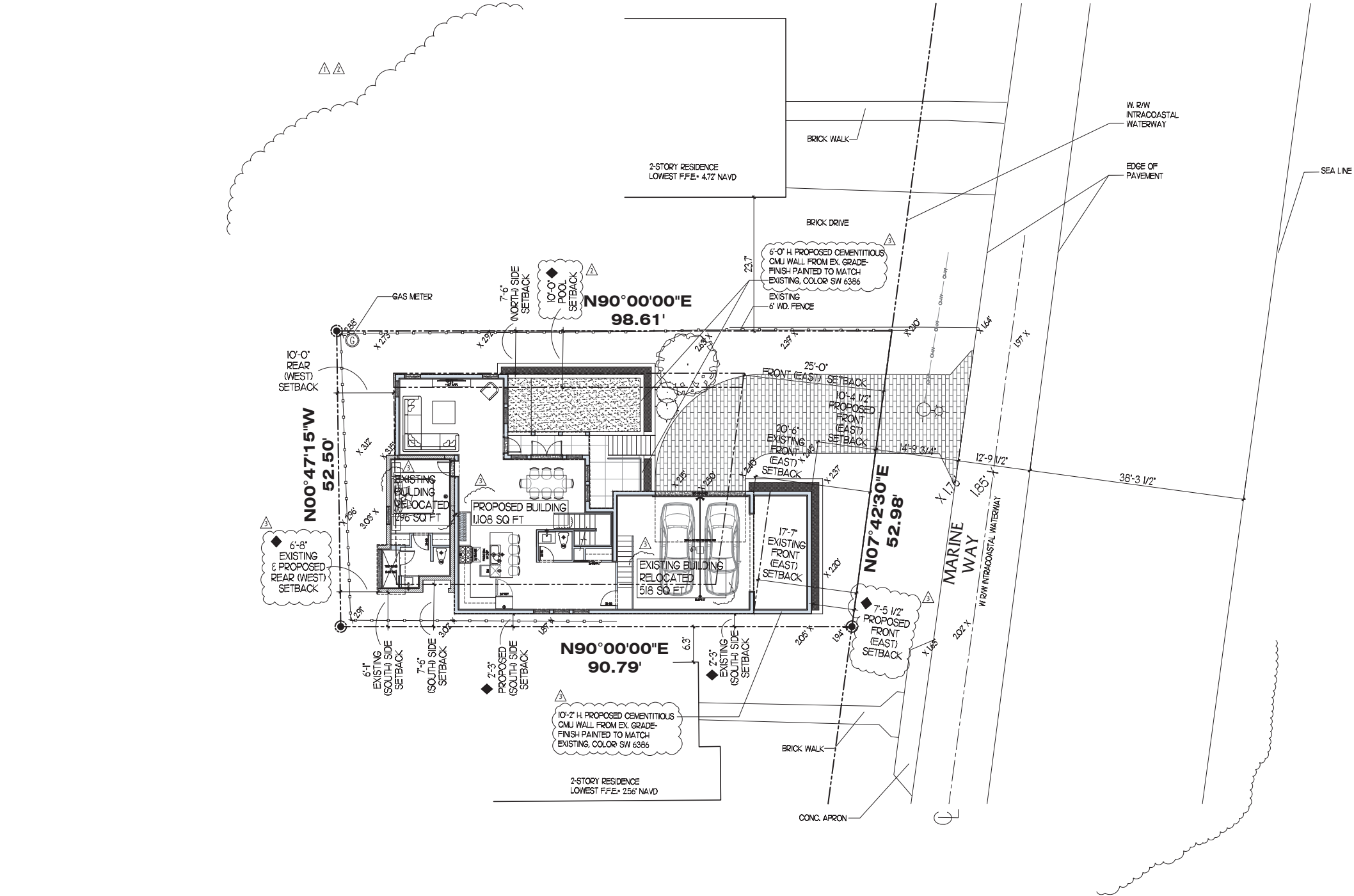
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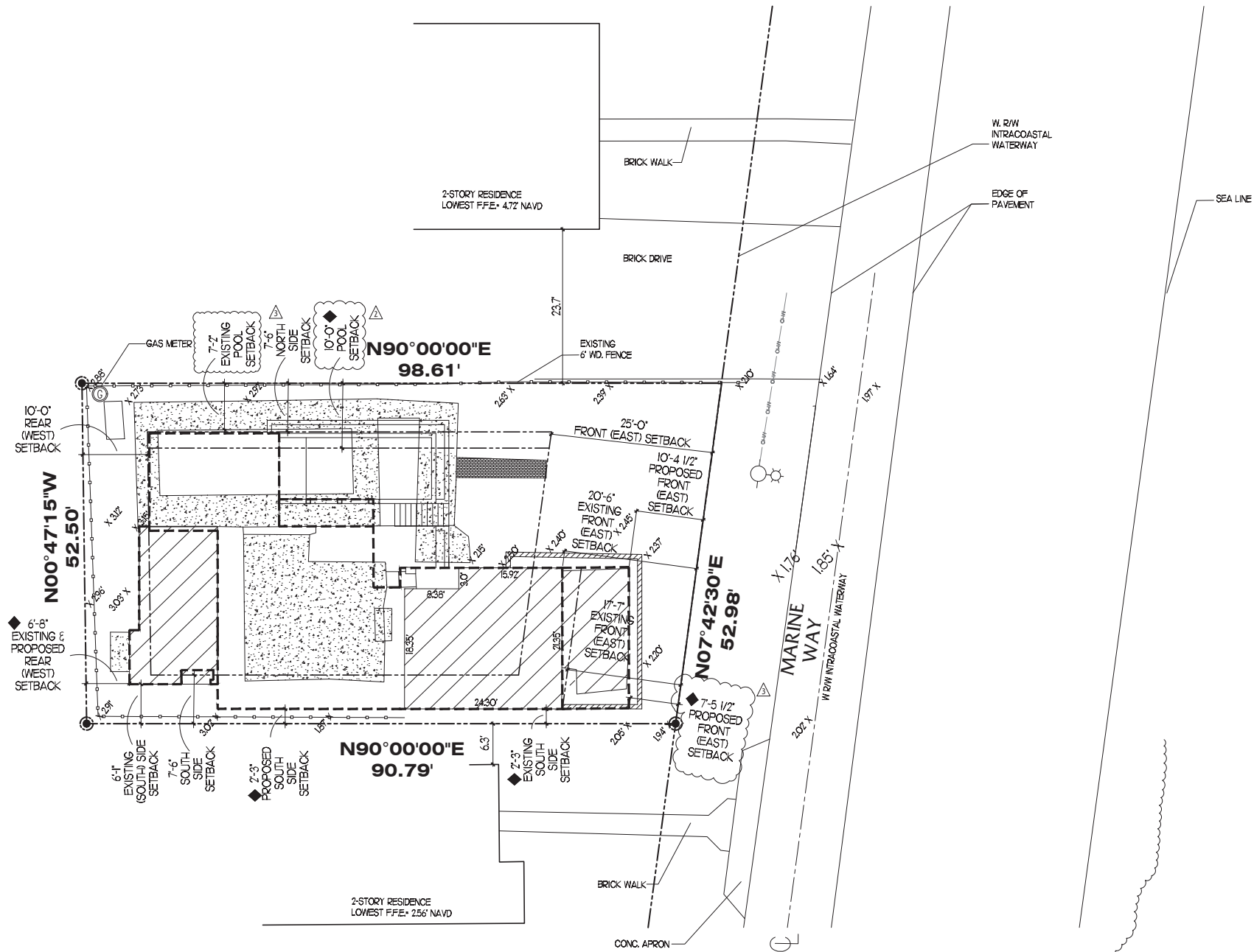
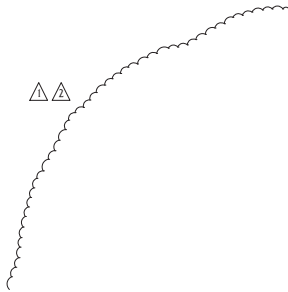
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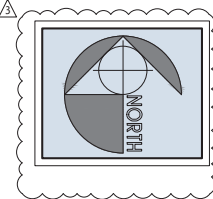
SITE PLAN LEGEND	
◆	VARIANCE REQUEST

SITE PLAN

1" = 10'-0"



COMPOSITE PLAN LEGEND	
	EXISTING RESIDENCE TO BE RELOCATED
	HARDSCAPE TO BE RELOCATED
	PROPOSED BUILDING



COMPOSITE OVERLAY PLAN

1" = 10'-0"

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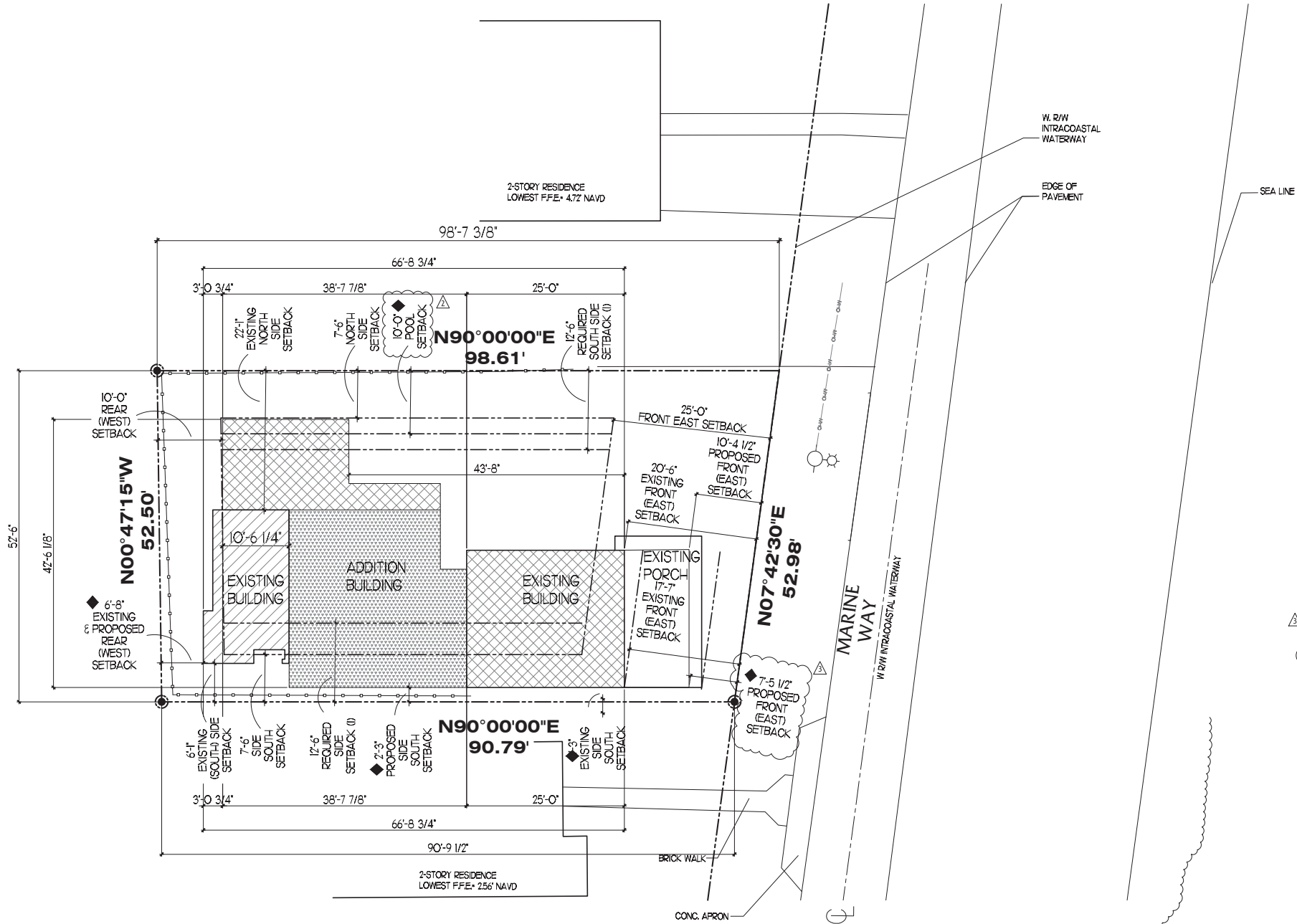
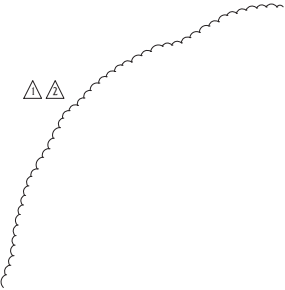
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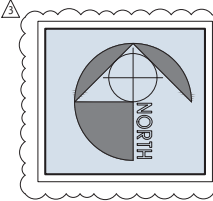
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SETBACK DATA			
	REQUIRED	EXISTING	PROPOSED
FRONT BLDG SETBACK (EAST)	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2" *VARIANCE REQUEST
REAR SETBACK (WEST)	10'-0"	6'-8" *VARIANCE REQUEST	10'-0"
SOUTH SIDE SETBACK	7'-6"	2'-3" / 6'-1"	2'-3" *VARIANCE REQUEST
NORTH SIDE SETBACK	7'-6"	22'-1"	7'-6"
POOL SETBACK	10'-0"	7'-2"	7'-6" *VARIANCE REQUEST

ADDITIONAL SETBACK DATA		
SIDE	RIGHT SIDE (NORTH)	LEFT SIDE (SOUTH)
LOT DEPTH	98.61'	90.79'
BUILDING DEPTH	66.73' (68% OF LOT DEPTH)	66.73' (73% OF LOT DEPTH)
PORTION OF BUILDING GREATER THAN 1 STORY THAT NEED AN ADDITIONAL 5' SETBACK	14.30' (14'-4")	10.40' (10'-5")
PORTION OF BUILDING GREATER THAN 1 STORY THAT HAVE AN ADDITIONAL 5' SETBACK	43.67' (43'-5")	10.52' (10'-6 1/4")

SETBACK PLAN LEGEND	
	1 STORY BUILDING
	2 STORY BUILDING
	3 STORY BUILDING
	VARIANCE REQUEST



NOTE:
(1) ADDITIONAL 5' SETBACK FOR BUILDINGS DEEPER THAN 50% OF THE LOT DEPTH (CHECK ADDITIONAL SETBACK DATA TABLE)

SETBACK PLAN

1" = 10'-0"

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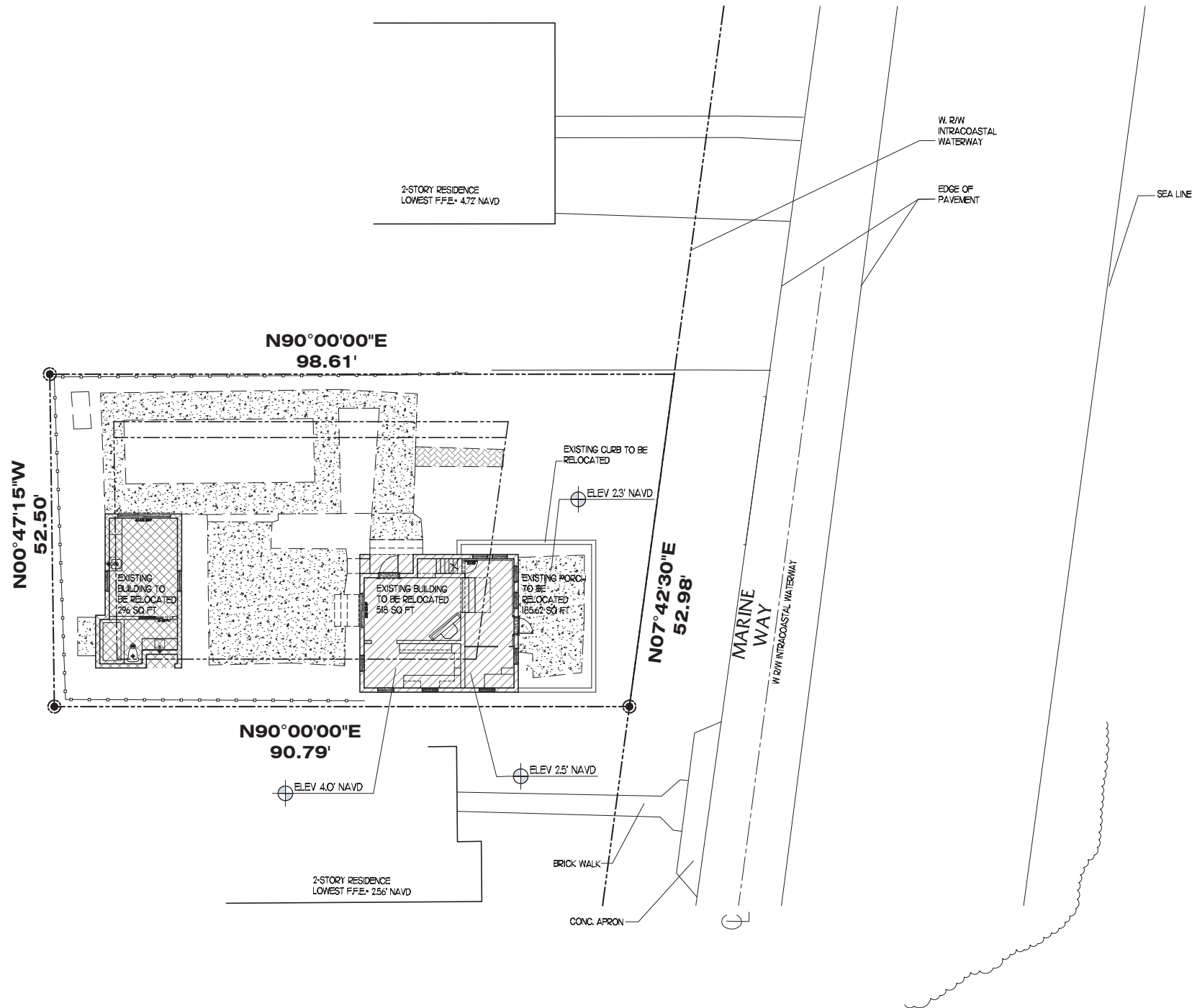
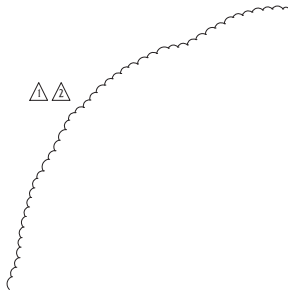
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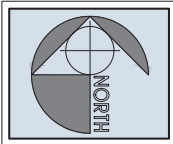
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RELOCATION DATA			
MAIN HOUSE		GUEST HOUSE	
EXISTING	RELOCATED	EXISTING	RELOCATED
518 SQ. FT.	518 SQ. FT. (000)	296 SQ. FT.	296 SQ. FT. (000)

LEGEND	
	EXISTING RESIDENCE TO BE RELOCATED (WILL BE RELOCATED AT 14' NAVD)
	EXISTING RESIDENCE TO BE RELOCATED (WILL BE RELOCATED AT 9' NAVD)
	HARDSCAPE TO BE REMOVED



RELOCATION PLAN

1" = 10'-0"

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1
2



IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4

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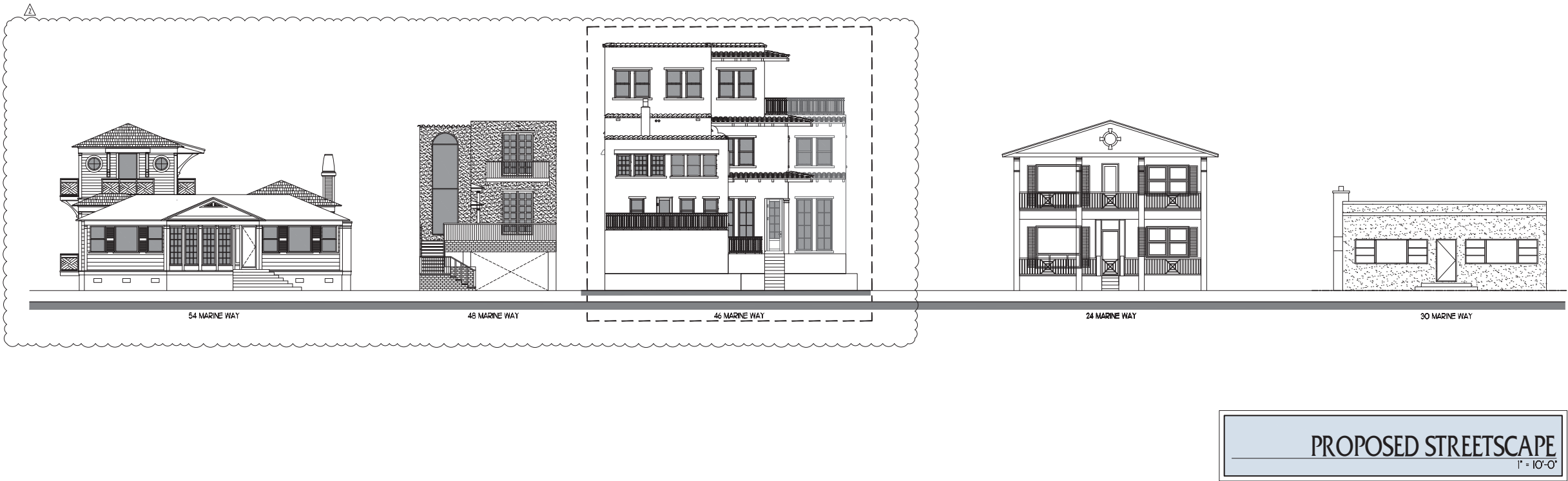
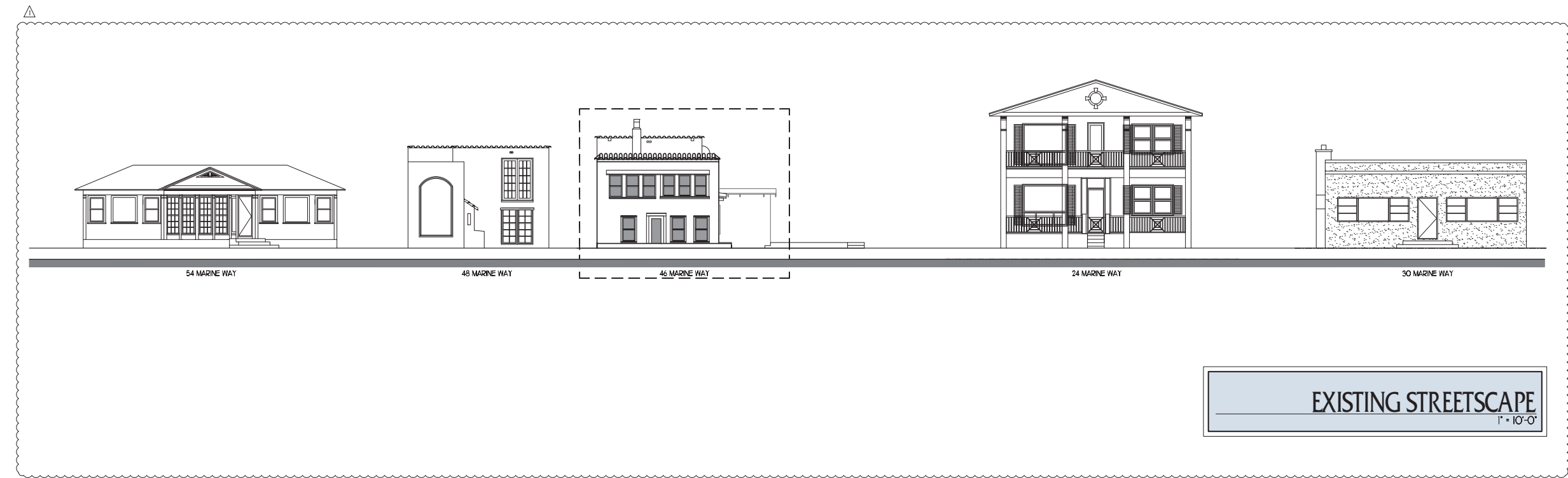
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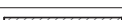
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NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINIUM/WOOD FRAMES TO MATCH EXISTING.

LEGENDS	
	EXISTING WALLS TO BE RELOCATED
	EXISTING WALLS TO BE INFILLED
	EXISTING HARDSCAPE TO BE REMOVED

EXISTING/RELOCATED 1ST FLOOR PLAN

$$1/4^* = 1'-C$$

LEGEND, SYMBOLS & ABBREVIATIONS	
	MASONRY CONST. TYPICAL
	EXISTING MASONRY CONST. TYPICAL
	NEW INTERIOR PARTITION
	FRAME CONSTRUCTION ABOVE OR BELOW
	2 — DETAIL NO. AB — SHEET NO.
	FEET INCHES
	DENOTES DOOR AND WINDOW SIZE (TYPICAL)

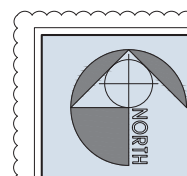
DOOR/FINISHES NOTES

NOTE:
ALL DOOR, CASEWORK, BUILT-INS, CABINETS, INTERIOR FINISHES & FIXTURE
SELECTION TO BE AS PER INTERIOR DESIGNER'S DWGS.

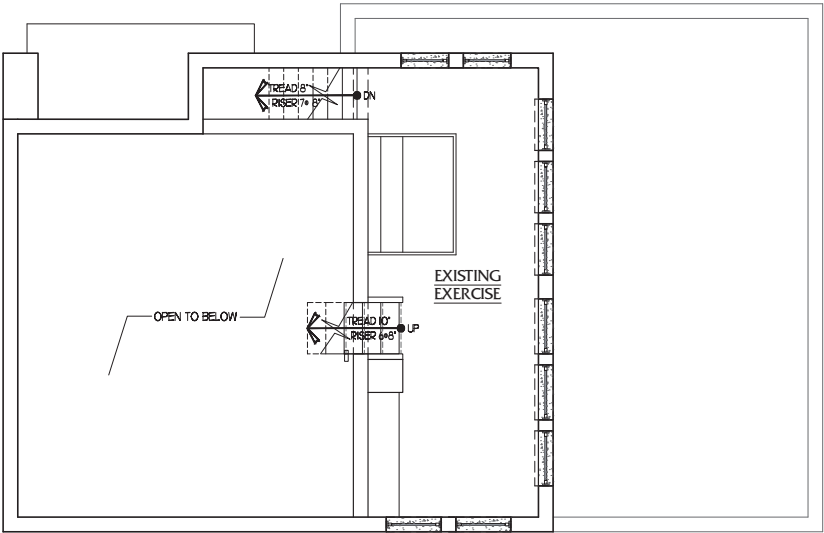
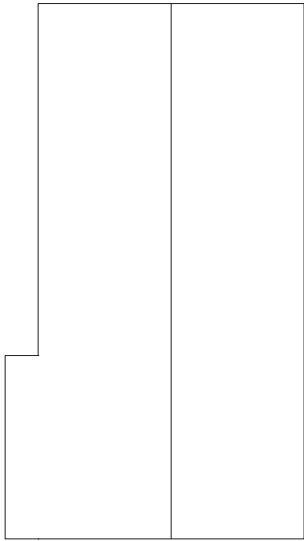
 - WINDOW DESIGNATION
 - DOOR DESIGNATION

DESIGNATIONS ARE FOR EXT. DOORS & WINDOWS (SEE WINDOW/ DOOR SCHEDULE - SHT A5 - FOR WINDOWS/ EXTERIOR DOOR SIZES & TYPES). FOR INTERIOR DOORS, SEE NOTATIONS ON FLOOR PLANS.

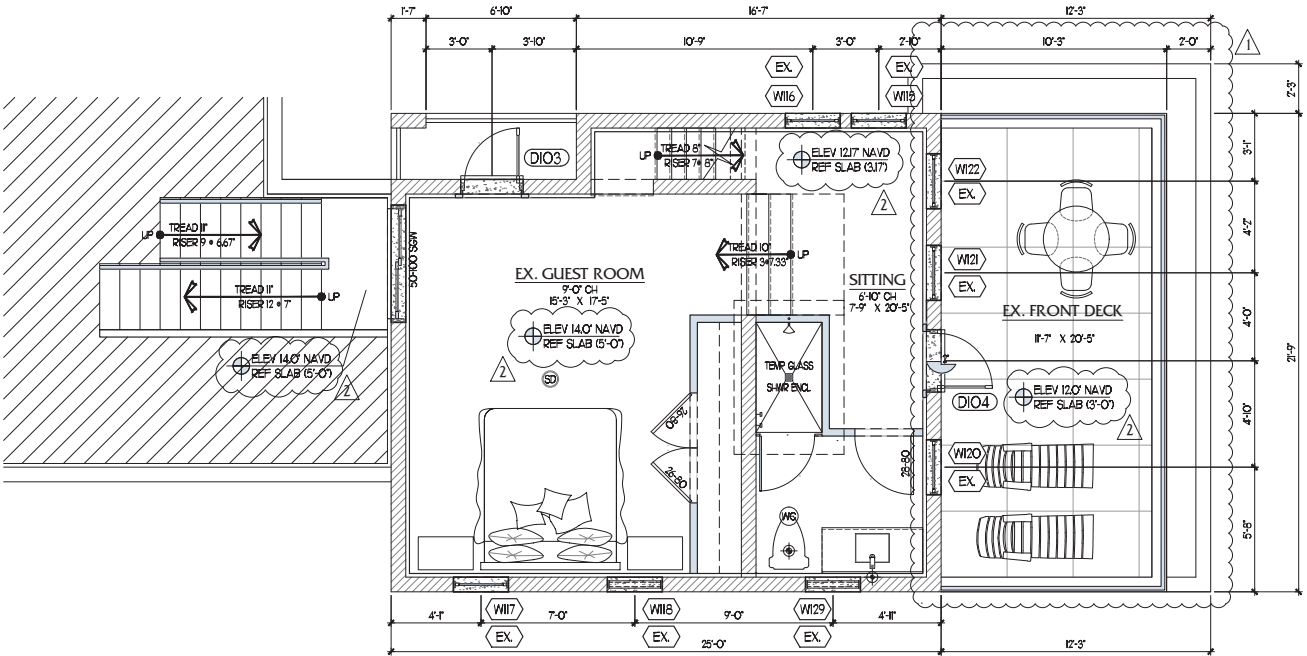
PROPOSED 1ST FLOOR PLAN

$$1/4^* = 1'-C$$


A3

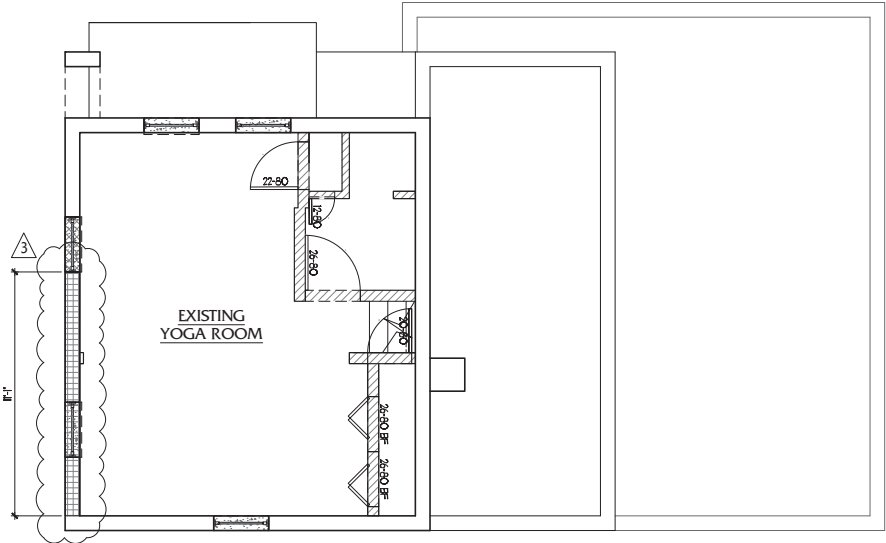
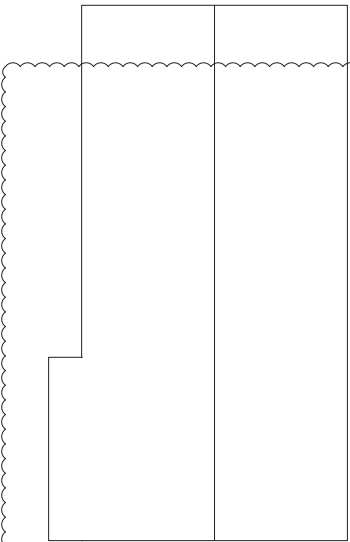


EXISTING/RELOCATED MEZZANINE FLOOR
1/4" = 1'-0"



LEGEND, SYMBOLS & ABBREVIATIONS	
	MASONRY CONST. TYPICAL
	EXISTING MASONRY CONST. TYPICAL
	NEW INTERIOR PARTITION
	FRAME CONSTRUCTION ABOVE OR BELOW
	DETAIL NO.
	DETAIL INDICATION
	FEET
	INCHES
	DENOTES DOOR AND WINDOW SIZE (TYPICAL)

PROPOSED MEZZANINE FLOOR PLAN
1/4" = 1'-0"



LEGENDS	
	EXISTING WALLS TO BE RELOCATED
	EXISTING WALLS TO BE INFILLED
	EXISTING WALLS TO BE REMOVED

EXISTING/RELOCATED 2ND FLOOR
1/4" = 1'-0"

NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING

Project Number:
23116

CUSTOM RESIDENCE
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DELRAY BEACH, FL, 33483

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Revisions
09/17/24 REV, PER TAC COMMENTS
11/26/24 REV, PER TAC COMMENTS
02/05/25 REV, PER TAC COMMENTS

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Date | Approval -
Date | Permit -
Date | Construction -
Seal:

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FLOOR PLAN NOTES

1. ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RESISTANT AND FULLY CALKED FOR A WEATHER TIGHT CONDITION.

2. VERIFY AND COORDINATE ALL MASONRY OPENINGS WITH THE WINDOW/DOOR MANUFACTURER/SUPPLIER PRIOR TO CONSTRUCTION.

3. ALL DOOR SILL-JAMBS WITHIN 2'4" OF DOOR TO BE TEMPERED. ALL WINDOWS, MIRRORS & GLASS ENCLOSURES WITH SILLS LESS THAN 60" ABOVE FLOOR AT TUBS AND SHOWERS SHALL BE TEMPERED.

4. ALL GLASS IN FRENCH DOORS TO BE TEMPERED.

5. CEILING AND WALLS UNDER STAIR MUST BE ONE (1) HOUR RATED CONSTRUCTION.

6. STAIR SHALL BE FIRESTOPPED.

7. POCKETS IN ALL BALUSTRADES MUST BE SPACED TO PREVENT PASSAGE OF A 4" OBJECT.

8. BATHROOM FLOORS AND BASES SHALL BE OF AN IMPERVIOUS MATERIAL.

9. INSULATE EXTERIOR BLOCK WALL WITH A MINIMUM OF R-4I AND ATTIC SPACES WITH A MINIMUM OF R-9. INSULATE EXTERIOR FRAME WALL WITH A MINIMUM OF R-11. ENERGY CALCULATIONS SHALL TAKE PRECEDENCE OVER THE MINIMUM REQUIRED ENERGY CODE.

10. STEEL COLUMNS SHALL BE WRAPPED W/ 2 LAYERS 1/2" TYPE "X" GYP. BO.

10. WALL SHEATHING & NAILING WHEN APPLICABLE SHALL BE 19/32" MINIMUM A.P.A. EXTERIOR EXPOSURE I, C-D GRADE PLYWOOD, INSTALLED PER MANF. RECOMMENDATION & NAILED WITH 8 D GALV. RING-SHANK NAILS @ 6" O.C. IN FIELD & 6" O.C. ON PANELS EDGES.

11. PROVIDE TREATED AND FIRESTOPPED 1X2 PT FLOORING HORIZONTAL @ CEILING/WALL INTERSECTION.

12. PROVIDE SCREENED VENTS @ FLOOR LEVEL 60 SQ. IN. PER CAR MINIMUM UNLESS NOTED OTHERWISE.

13. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE & 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR MAXIMUM.

14. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY CODE.

15. UL LISTED ZERO CLEARANCE GAS VENTED FIREPLACE W/ NON COMBUSTIBLE FINISH 1'-4" WIDE AROUND THE OPENING 1'-8" NON COMBUSTIBLE HEARTH.

16. UL LISTED ZERO CLEARANCE GAS VENTLESS FIREPLACE W/ NON COMBUSTIBLE FINISH 1'-4" WIDE AROUND THE OPENING 1'-8" NON COMBUSTIBLE HEARTH.

GARAGE NOTES

1. GARAGE DOOR OOR INTO HOUSE SHALL BE 1" LABEL SOLID CORE WITH A SELF CLOSING DEVICE.

2. GARAGE DIVISING WALL AND BEARING WALLS SHALL BE MINIMUM ONE (1) HOUR RATED CONSTRUCTION 5/8" TYPE "X" GYPSUM DRYWALL BOTH SIDES OF STUDS @ 16" O.C. WITH MINIMUM R-11 INSULATION.

3. GARAGE CEILING CONSTRUCTION SHALL BE AS FOLLOWS: (1) LAYER 5/8" TYPE "X" GYPSUM DRYWALL ON 1X3 WOOD FLOORING @ 16" O.C. ON PRE-ENGINEERED & APPROVED ROOF TRUSSES.

4. GARAGE CEILING CONSTRUCTION SHALL BE AS FOLLOWS: (1) LAYER 5/8" TYPE "X" GYPSUM DRYWALL ON 1/2" GWB ON 1X3 METAL FLOORING @ 16" O.C. ON PRE-ENGINEERED & APPROVED FLOOR SYSTEM WHEN LIVING AREA ABOVE.

5. GARAGE MAIN DOOR TO BE 1-3/4" THICK ONE HOUR RATED SOLID CORE WITH CLOSER IN SOLID 2 X 4 RABBEETED WOOD FRAME, PER FBC.

NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR, NO TINT & NON-REFLECTIVE GLASS AND WHITE ALUMINIUM/WOOD FRAMES TO MATCH EXISTING

LEGEND, SYMBOLS & ABBREVIATIONS	
	MASONRY CONST. TYPICAL
	EXISTING MASONRY CONST. TYPICAL
	NEW INTERIOR PARTITION
	FRAME CONSTRUCTION ABOVE OR BELOW
	DETAIL NO. / DETAIL INDICATION
	FEET / INCHES
	DOENOTES DOOR AND WINDOW SIZE (TYPICAL)

PROPOSED 3RD FLOOR PLAN
1/4" = 1'-0"

Project Number:
23116

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Revisions
09/17/24 REV. PER TAC COMMENTS

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NOTE:
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NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINIUM/WOOD FRAMES TO MATCH EXISTING

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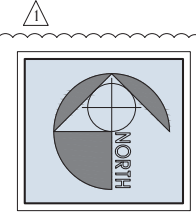
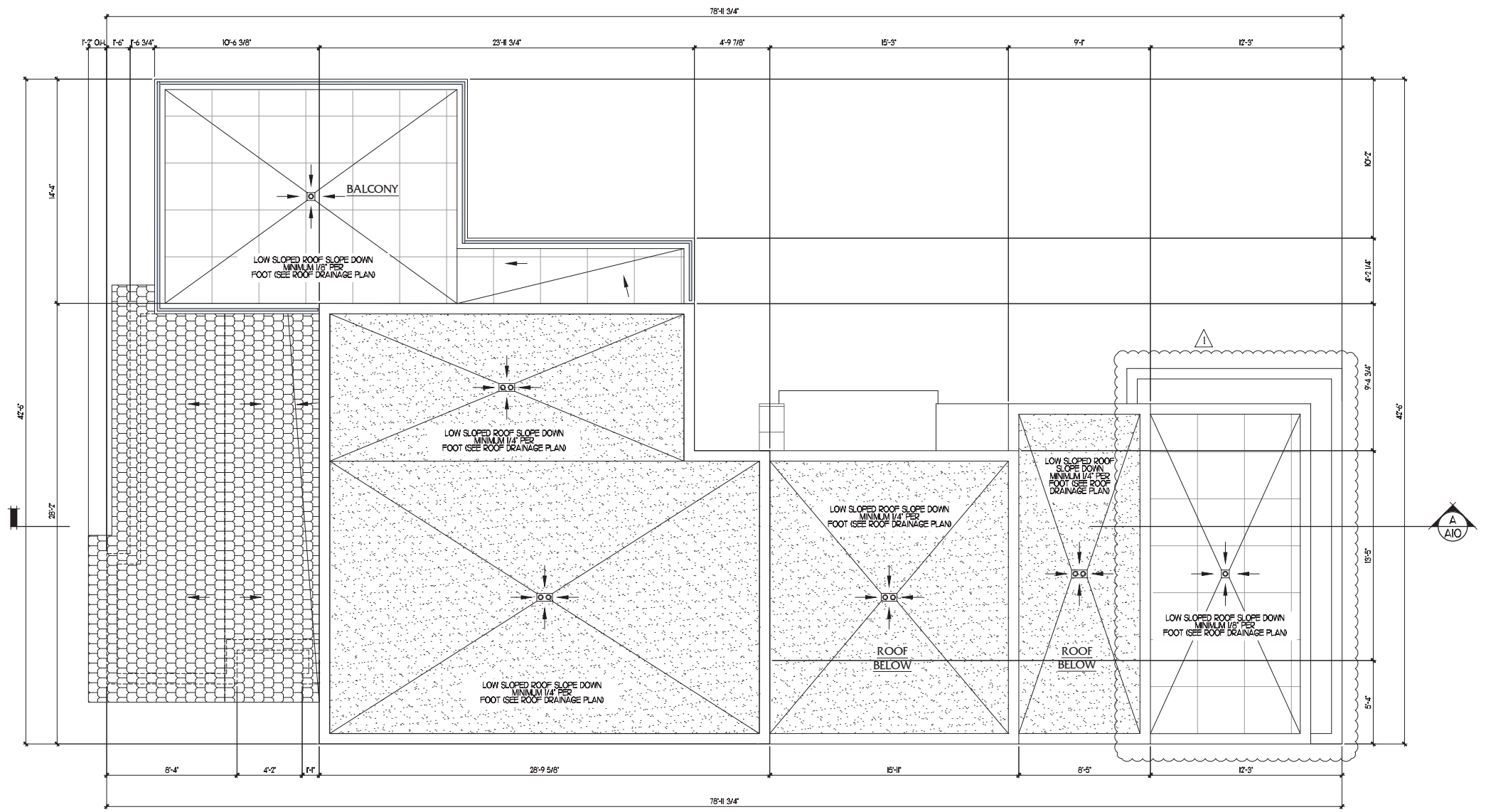
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Date | Approval -
Date | Permit -
Date | Construction -

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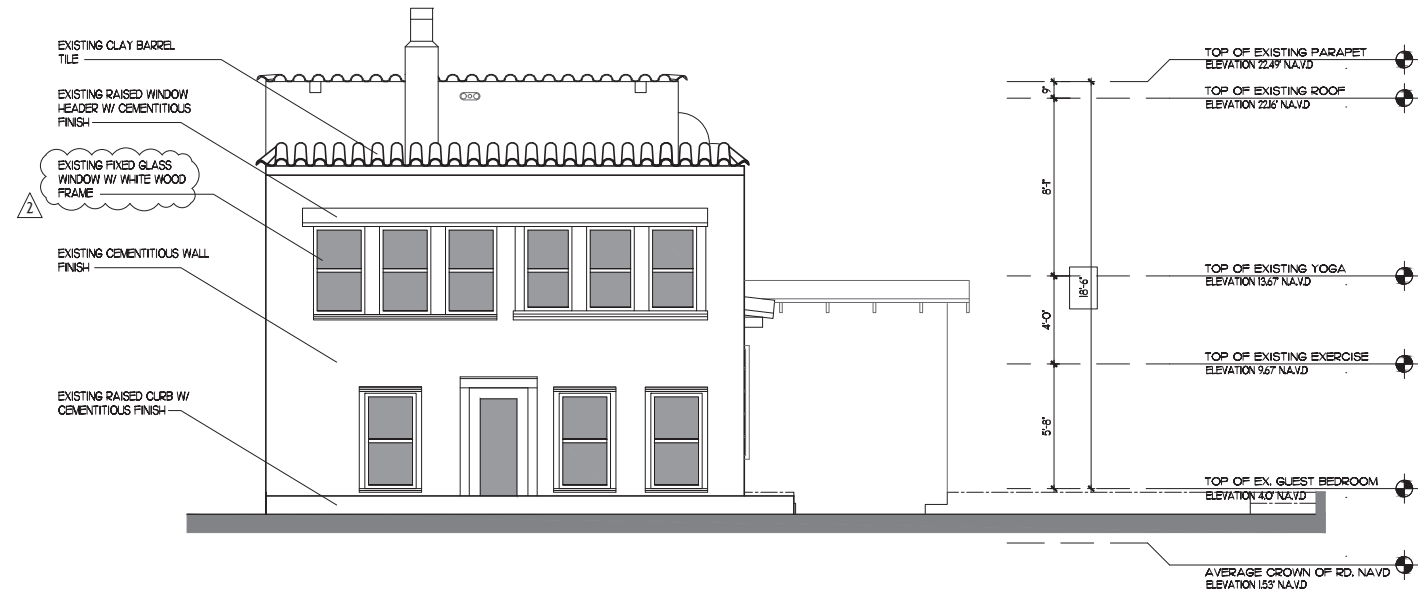
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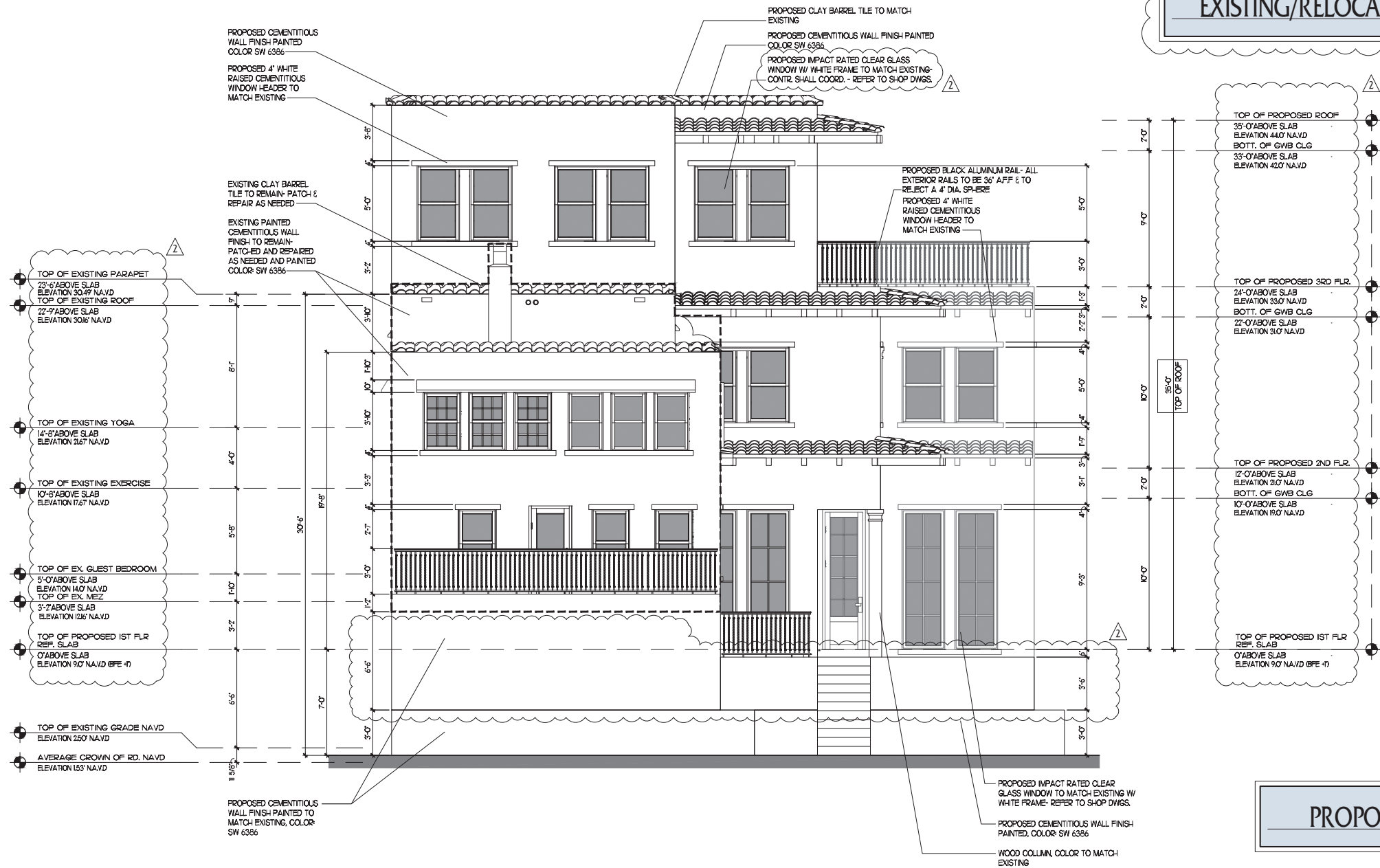


ROOF PLAN
1/4" = 1'-0"

WINDOWS AND DOORS NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING



EXISTING/RELOCATED EAST ELEVATION
1/4" = 1'-0"



PROPOSED EAST ELEVATION
1/4" = 1'-0"

Project Number:
23116

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△ 02/05/25 REV. PER TAC COMMENTS

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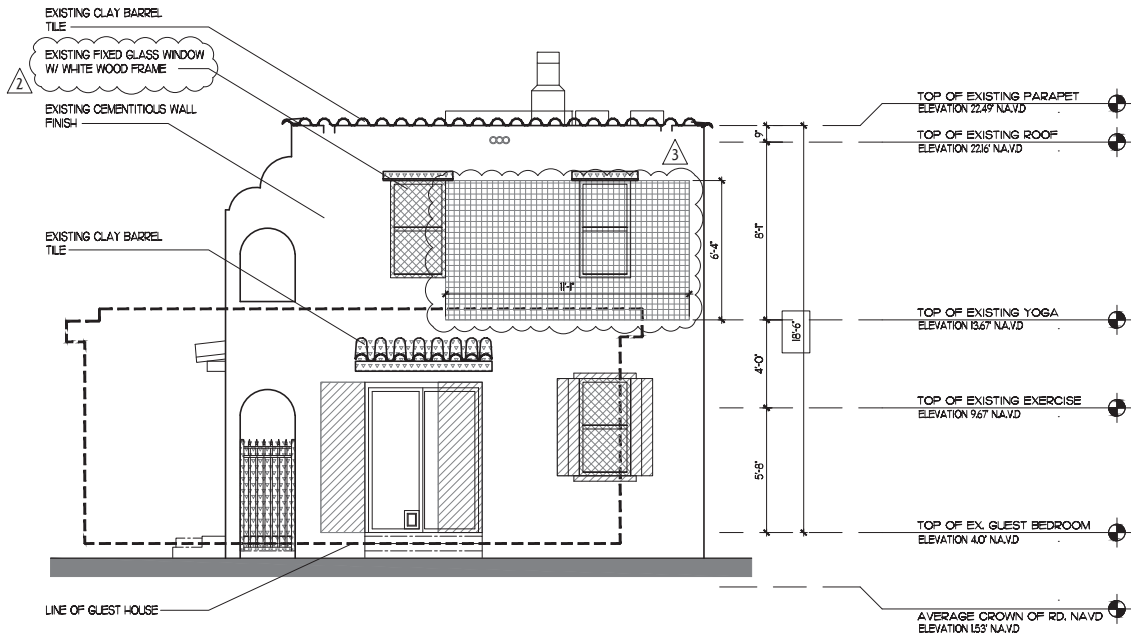
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Date | Permit -
Date | Construction -

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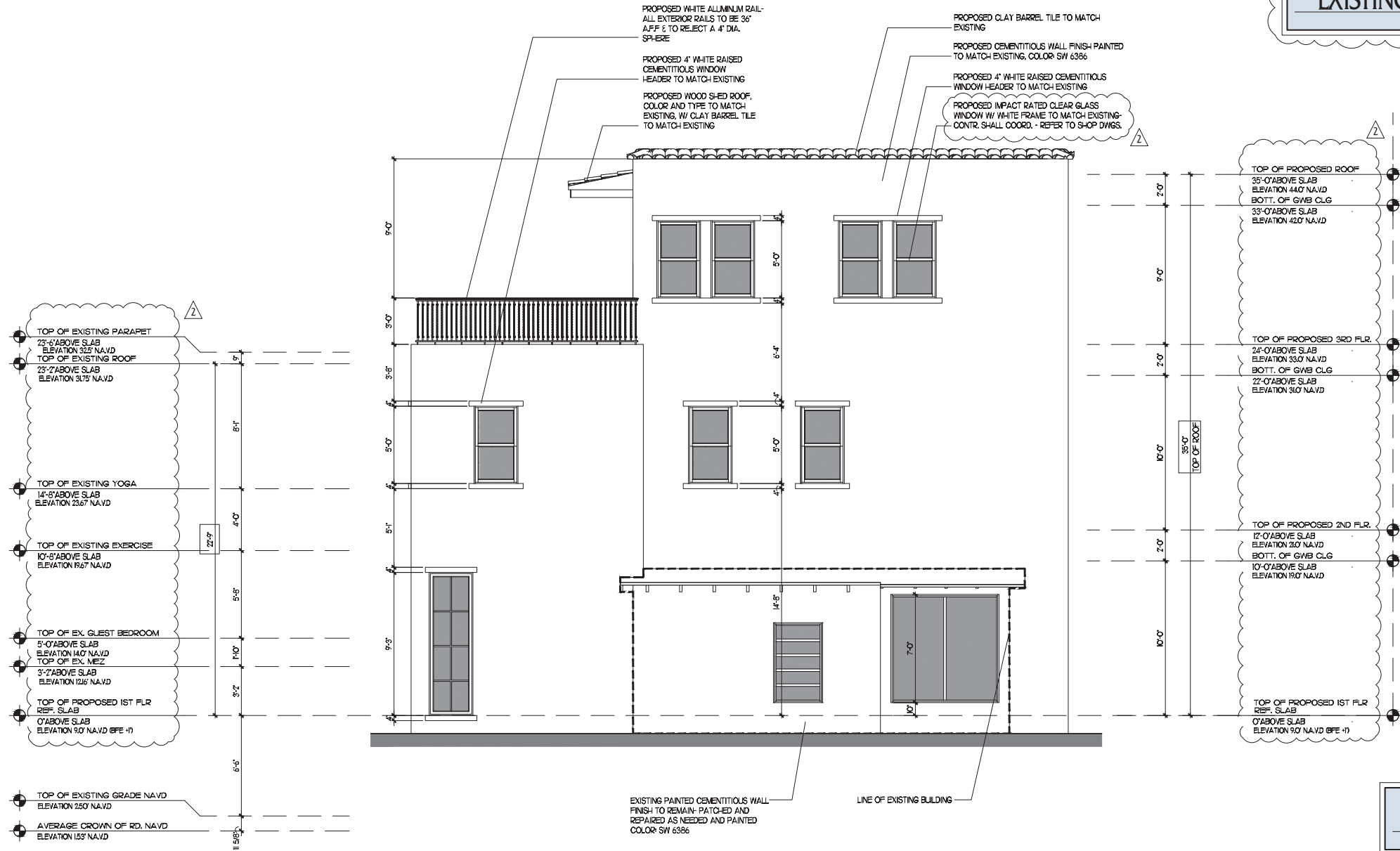
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NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING



LEGENDS	
	EXISTING WALLS TO BE RELOCATION
	EXISTING WALLS TO BE IN-FILLED
	EXISTING WALLS TO BE REMOVED
	EXISTING ELEMENTS TO BE REMOVED
	EXISTING HARDSCAPE TO BE REMOVED

EXISTING/RELOCATED WEST ELEVATION
1/4" = 1'-0"



PROPOSED WEST ELEVATION
1/4" = 1'-0"

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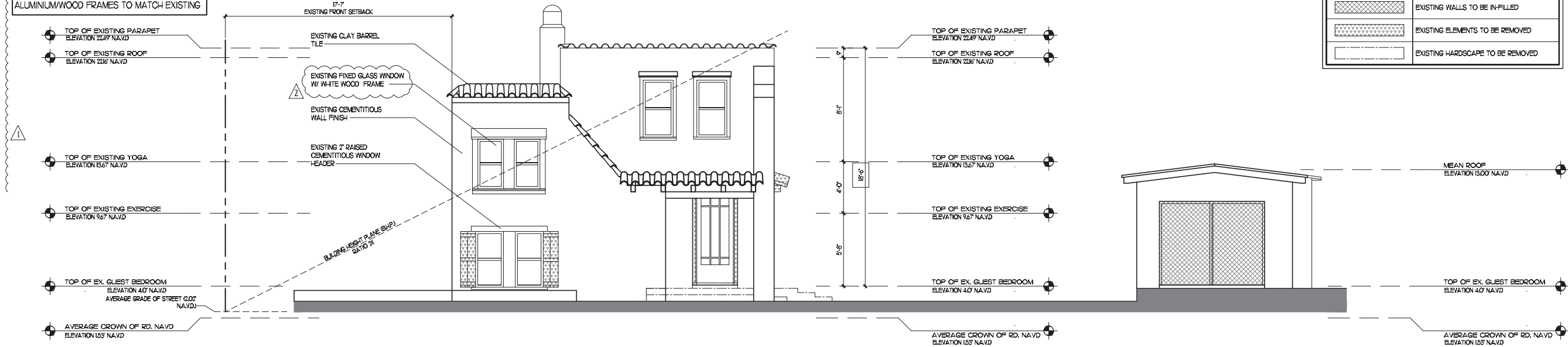
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Date | Permit ---
Date | Construction ---

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NOTE:
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NO TINT & NON-REFLECTIVE GLASS AND WHITE
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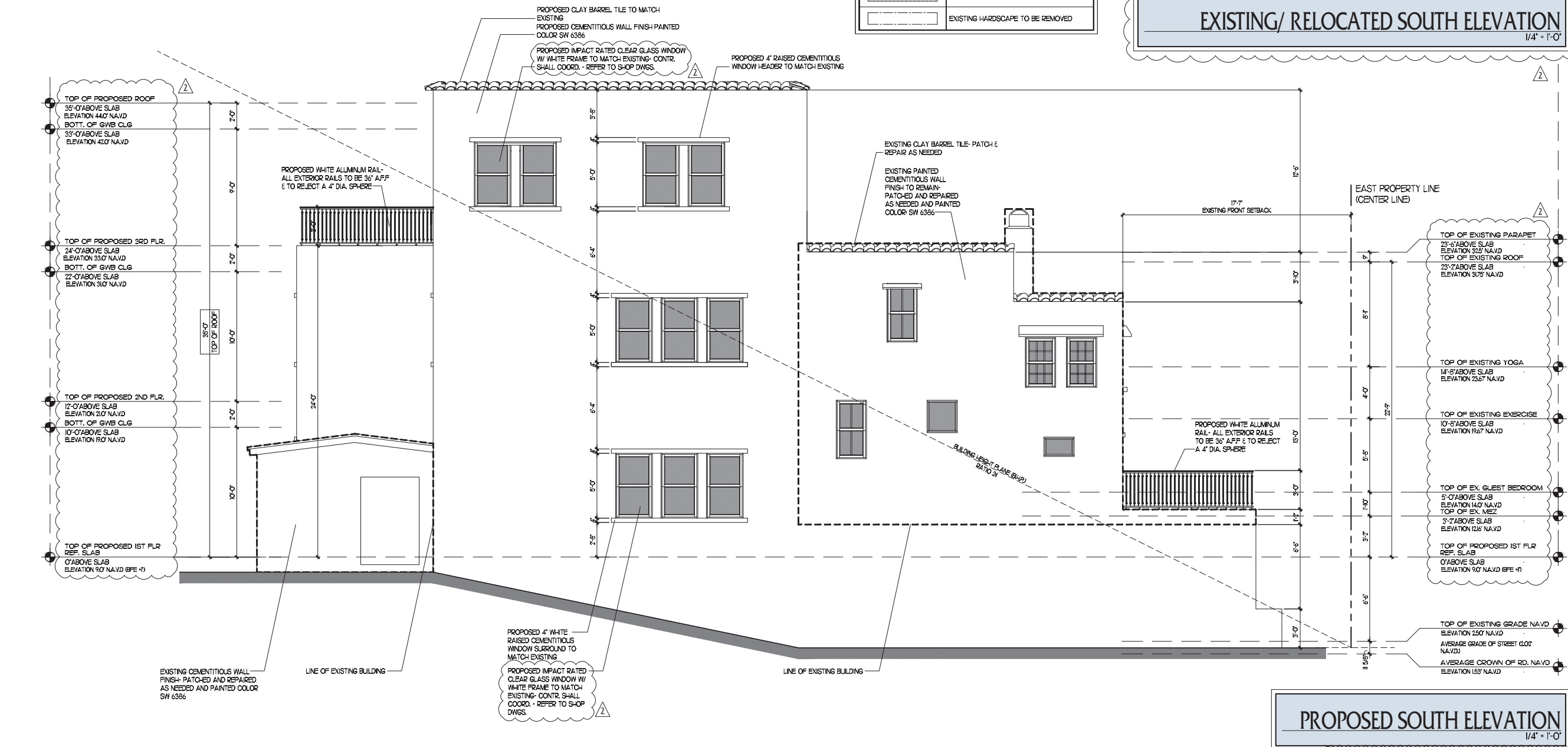
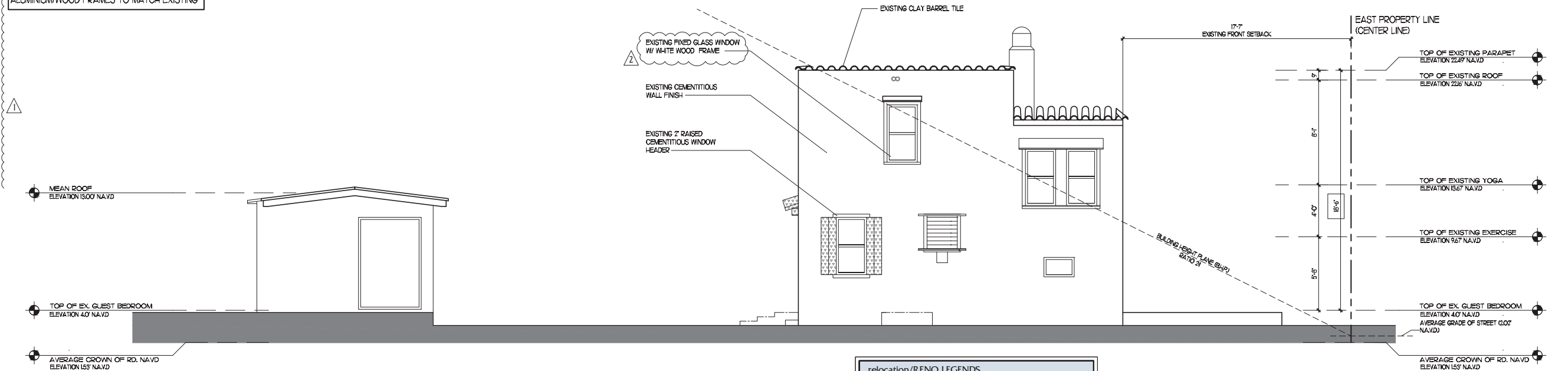
Date | Construction

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NOTE:
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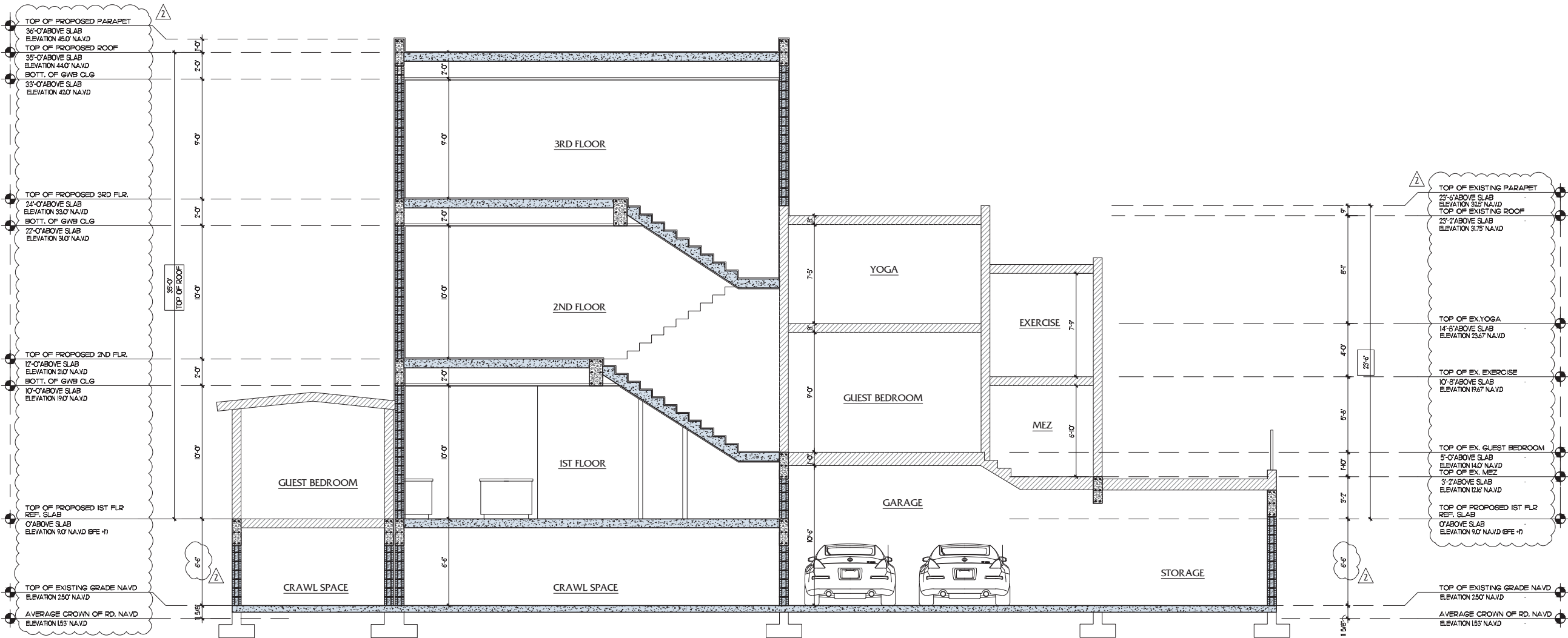
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Date | Approval -
Date | Permit -
Date | Construction -

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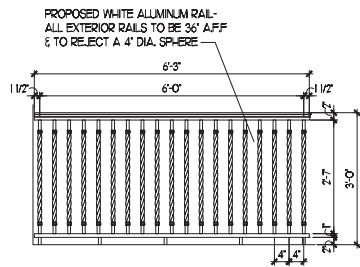
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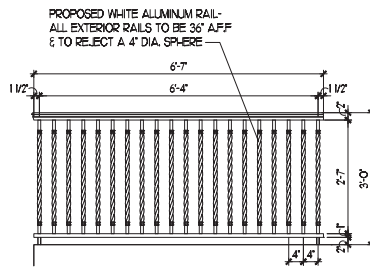
WALL LEGEND

EXISTING WALLS

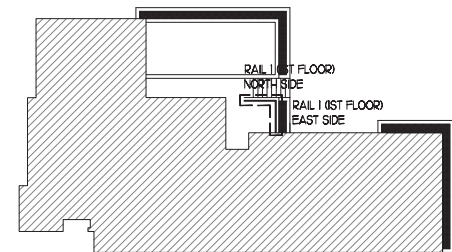
SECTION A
1/4" = 1'-0"



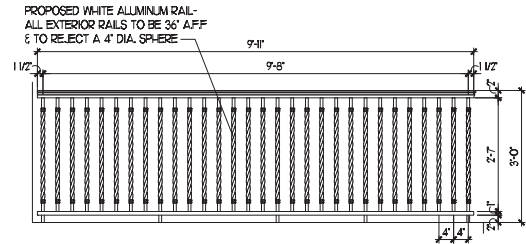
RAIL 1 (1ST FLOOR) EAST SIDE
1/2" = 1'-0"



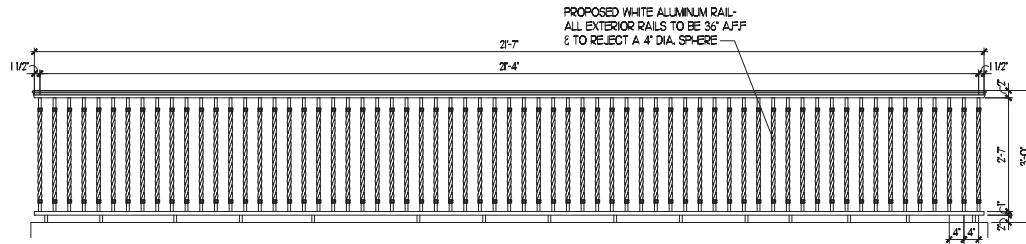
RAIL 1 (1ST FLOOR) NORTH SIDE
1/2" = 1'-0"



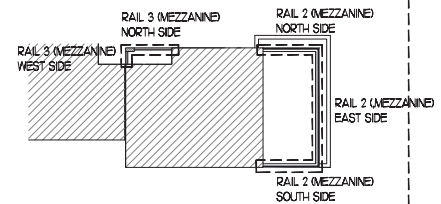
RAILING LOCATION PLAN - 1ST FLOOR
1/16" = 1'-0"



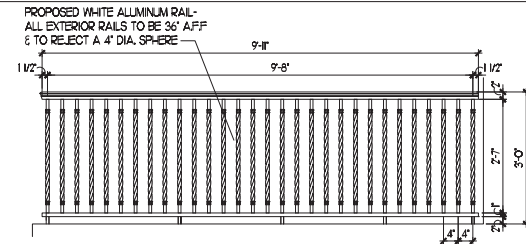
RAIL 2 (MEZZANINE) SOUTH SIDE
1/2" = 1'-0"



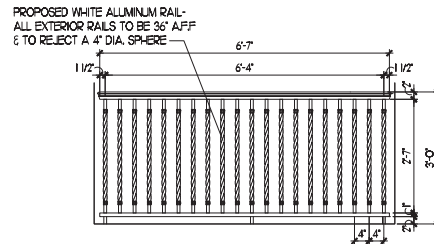
RAIL 2 (MEZZANINE) EAST SIDE
1/2" = 1'-0"



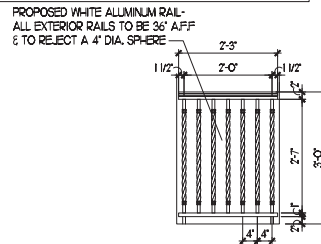
RAILING LOCATION PLAN - MEZZANINE
1/16" = 1'-0"



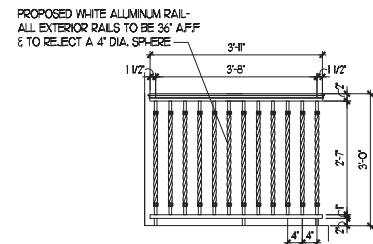
RAIL 2 (MEZZANINE) NORTH SIDE
1/2" = 1'-0"



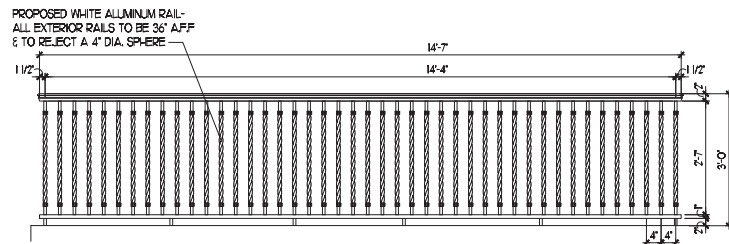
RAIL 3 (MEZZANINE) NORTH SIDE
1/2" = 1'-0"



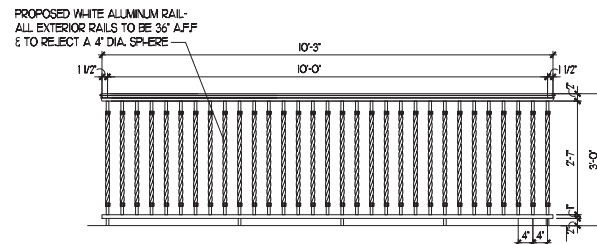
RAIL 3 (MEZZANINE) WEST SIDE
1/2" = 1'-0"



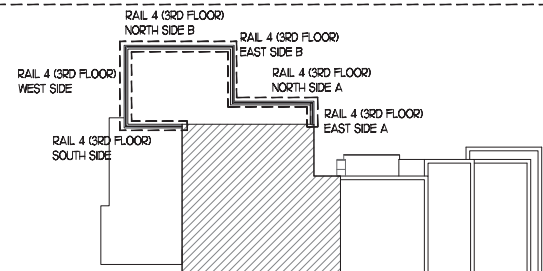
RAIL 4 (3RD FLOOR) EAST SIDE A
1/2" = 1'-0"



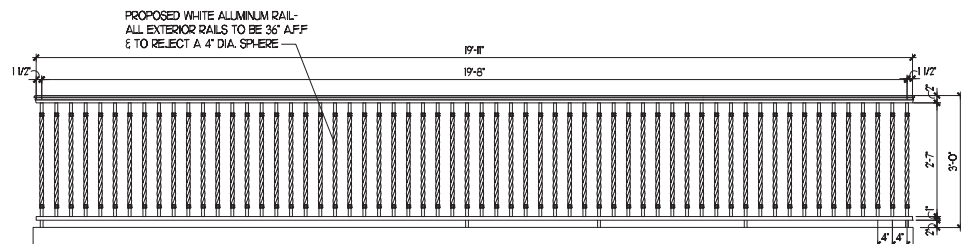
RAIL 4 (3RD FLOOR) NORTH SIDE A
1/2" = 1'-0"



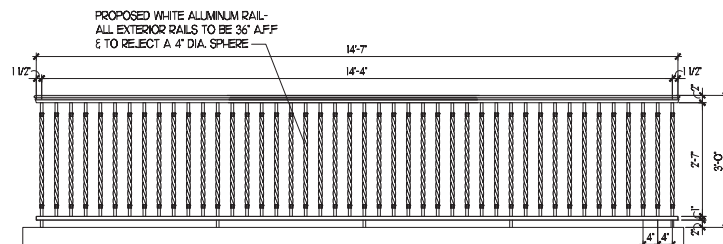
RAIL 4 (3RD FLOOR) EAST SIDE B
1/2" = 1'-0"



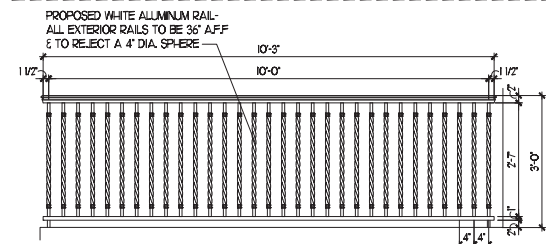
RAILING LOCATION PLAN - 3RD FLOOR
1/16" = 1'-0"



RAIL 4 (3RD FLOOR) NORTH SIDE B
1/2" = 1'-0"



RAIL 4 (3RD FLOOR) WEST SIDE
1/2" = 1'-0"



RAIL 4 (3RD FLOOR) SOUTH SIDE
1/2" = 1'-0"