



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Taquiza

Project Location: 166 SE 2nd Avenue

Request: Class III Site Plan Application

Board: Site Plan Review and Appearance Board

Meeting Date: March 11, 2020

PCN: 12-43-46-16-01-078-0131

Board Vote: Approved on a 5-0 vote (Roger Cope and John Brewer absent)

Board Action:

Approved (5 to 0 Roger Cope and John Brewer), the Class III Site Plan, Landscape Plan, and Architectural Elevations for the Taquiza project located at 166 SE 2nd Avenue.

Project Description:

The subject project is zoned CBD (Central Business District) Railroad Corridor. The 0.178-acre site is located at 166 SE 2nd Avenue, on the westside of SE 2nd Avenue between SE 1st Street and SE 2nd Street and across from the Florida East Coast Railroad. The proposed Class III Site Plan Modification is associated with a change of use from standalone bar to a restaurant. A building addition for indoor seating and kitchen of approximately 1,029 square feet is proposed between the existing standalone bar and warehouse which is being converted into the kitchen facilities, new restrooms and storage area. Lastly, 2,663 SF of outdoor dining area is being created on the south side.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

The Board conditioned and allowed for the existing nonconformity to remain on the storefront as opposed to adding a window to decrease the nonconformity.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: March 11, 2020

File No.: 2020-024 SPF-SPR-CL3

Application Type: Class III Site Plan Modification

General Data:

Applicant: Brian Rosen

Agent: Currie Sowards Aguila Architects

Location: 166 SE 2nd Avenue

PCN: 12-43-46-16-01-078-0131

Property Size: 0.178 Acres

FLUM: CC (Commercial Core)

Zoning: CBD (Central Business District)

Adjacent Zoning:

- North: CBD
- South: CBD
- East: FEC Railroad
- West: CBD

Existing Land Use: Standalone Bar

Proposed Land Use: Restaurant



Item before the Board:

Consideration of a Class III Site Plan Modification for **Taquiza Restaurant** located at **166 SE 2nd Avenue** pursuant to LDR Section 2.4.5 (G)(1)(c) and section 3.1.1, including the following:

- Site Plan
- Landscape Plan
- Architectural Elevations

Optional Board Motions for Action Items:

Move to continue with direction.

Move approval of the Class III (2020-024) Site Plan Modification, Landscape Plan, Architectural Elevations for Taquiza located at 166 SE 2nd Avenue, as amended, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

Move denial of the Class III (2020-024) Site Plan Modification, Landscape Plan, Architectural Elevations for Taquiza located at 166 SE 2nd Avenue, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.

Project Planner:

Jennifer Buce
buce@mydelraybeach.com
561-243-7138

Review Dates:

March 11, 2020

Attachments:

1. Site Plans
2. Elevations
3. Landscape Plan



Notes:

1. A sidewalk easement, in a form acceptable to the City Attorney, over any portion of the pedestrian clear zone located within the front setback of 3 ft. shall be accepted by the City Commission prior to permit issuance.
2. A landscape maintenance agreement for the proposed trees within the Curb Zone in a form acceptable to the City Attorney shall be accepted by the City Commission prior to permit issuance.
3. The CO on the building permit will not be granted until the completion and operation of the FEC Railway Parking lot.

Project Summary:

The subject project is zoned CBD (Central Business District) Railroad Corridor. The 0.178-acre site is located at 166 SE 2nd Avenue, on the westside of SE 2nd Avenue between SE 1st Street and SE 2nd Street and across from the Florida East Coast Railroad. The proposed Class III Site Plan Modification is associated with a change of use from standalone bar to a restaurant. A building addition for indoor seating and kitchen of approximately 1,029 square feet is proposed between the existing standalone bar and warehouse which is being converted into the kitchen facilities, new restrooms and storage area. Lastly, 2,663 SF of outdoor dining area is being created on the south side.

Background:

The 0.178-acre site is situated on TOWN OF DELRAY S 39.5 FT OF LT 13 & N 18.5 FT OF LT 14 BLK 78. Historically known as Kevro's Bar, the Site Plan Review and Appearance Board approved a Class I Site Plan Modification for murals in 2010.

In 2018, the Development Services Department approved a request to establish a "Standalone Bar". Pursuant to LDR 4.3.3(V)(c)(2), "If locational requirements allow for a standalone bar to be established, a person or entity that has filed a submission as set forth above at the earliest time and date will be notified that the use may be established. If the stand-alone bar use is not legally established pursuant to LDR Section 2.4.4(D) within 60 days after notification, the person or entity who filed a submission next in time and date shall have an opportunity to establish a standalone bar use. That person or entity and subsequent persons or entities that have a submission on file must also comply with the 60-day establishment requirement. Persons or entities that fail to establish the stand alone bar use in accordance with LDR Section 2.4.4(D) within the 60-day period shall not have any further priority to establish the stand alone bar use and the submission shall be deemed void unless no other persons or entities have filed a submission wherein a longer time to establish the use may be permitted upon request." Since Kevro's had been closed for more than 60 days it allowed "The OG" to establish standalone status in accordance with this Land Development Regulation Section.

At its meeting of October 16, 2019, the Site Plan Review and Appearance Board approved a Class I Site Plan Modification for the approval of a mural on the south elevation of this subject building.

Now before the board is a Class III Site Plan Modification which includes a change of use from the standalone bar to a restaurant, a new addition and outdoor seating.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub District

Zoning	Allowed	Provided
Central Business District –Railroad Corridor		
Building Frontage	N/A	N/A
Lot Width (Min.)	20'	58'
Lot Area (Min.)	2,000 sf	7,712
Open Space (Min.)	0%	0%
Height (Max.)	54'	14'
Stories (Max.)	4	1
Setbacks (Min.):		
Front (East)	10' (min) / 15' (max)	11'4"
Side Interior abutting Residential (North)	0'	0'
Side Interior (South)	0'	0'
Rear (West)	10'	9" (after 2 ft alley dedication) *

*existing nonconformity



Streetscape Standards:

Pursuant to LDR Section 4.4.13(E)(2)(a), the combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than 15 ft. in width, measured from the back of curb. The streetscape area is comprised of a curb zone, a pedestrian clear zone, and any remaining front setback area. The curb zone is at least four feet wide, measured from the back of curb, and accommodates street trees and public infrastructure needs such as utility poles, streetlights, street signs, parking meters, etc. The pedestrian clear zone is at least six feet wide. The code requires that any portion of the pedestrian clear zone located within the front setback area it shall be designed as an extension of the public sidewalk and shall match the public sidewalk in design and hardscape material, providing a seamless transition. Landscaping comprised of plants in removable planters, palms, and/or ground planting may be installed in the area adjacent to the building provided it does not obstruct views into storefront windows.

4.4.13 (E)(2) Minimum Streetscape Standards

	Required	Provided
Curb Zone	4 Feet	5 Feet
Pedestrian Clear Zone	6 Feet	6 Feet (3-foot dedication)
Remaining Front Setback		8 feet
Total		19 Feet

A sidewalk easement, in a form acceptable to the City Attorney, over any portion of the pedestrian clear zone located within the front setback shall be granted to the City. The property owner shall also be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any improvements made or installed by the owner to meet the requirements of this section. A sidewalk easement is required along SE 2nd Avenue of 3 feet prior to issuance of building permit. A note has been added requiring a pedestrian clear zone easement prior to building permit issuance.

Storefront and Glazing Area:

Pursuant to LDR Section 4.4.13(E)(4)(e) the storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefront Dimensions Table 4.4.13(l) provides the dimensional requirements for all elements contained in a storefront as indicated in the chart below:

	Minimum	Maximum	Provided
Building Setback	10'	15'	11'3"
Store Width	N/A	75' on Req. Retail Streets	N/A
Storefront Base	9"	3'	3'
Glazing Height	8'	-	7'3" (existing)
Required Openings	80%	-	*58% with new recess opening (46% existing)
Awning Projection	5'	-	3-foot existing concrete eyebrow

*existing nonconformity

Pursuant to LDR 4.4.13(E)(4)(e)(1)(d) transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade adjacent to the building. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.

Parking:

Pursuant to LDR 4.4.13(l)(2)(a) identifies the minimum number of off-street parking spaces required per use and location as specified in the CBD Table 4.4.13(L); the requirement for a restaurant NOT in the Atlantic Avenue Parking District is 6 spaces per 1,000 sf. of gross floor area. Below is a chart with the parking calculation for the proposed restaurant with indoor and outdoor seating:



Parking Data Chart			
Warehouse	3/1,000	988	3
Standalone Bar	6/1,000	975	6
Total On Site			6
Vested			3*

*They are legally allowed to operate at a 3-space deficit.

Parking Data Chart			
Restaurant Indoors	6/1000	2,992	18
Restaurant Outdoor Seating	6/1,000	2,663	16
Total Spaces Required			34
Vested			3
Total Needed			31
On-Site			2
Off-Site Parking Agreement			29
Total Provided			31

If the parking requirement has not been met on site, the applicant may provide the parking requirement through the in-lieu process or an off-site parking agreement.

The applicant has secured a Parking Space Agreement with the CDR Delray FEC LLC, a Florida limited liability company and the City of Delray Beach. The agreement states that the applicant at the sole cost and expense, desires to construct and install sixty-one parking spaces along the FEC Real Property and use the 29 spaces needed for their parking requirement to fulfill their parking condition. This agreement was adopted by the City Commission by Resolution No. 208-19 on November 19, 2019. If at any time, the FEC terminates the lease the applicant no longer has the right to use the FEC Real Property to satisfy the parking condition, the applicant will be required to pay to the City the In lieu parking fee for twenty nine parking spaces to satisfy the parking condition no less than ten days prior to the effective date of the FEC lease termination. If the applicant, fails to do so, the City's approval of the application will automatically be revoked, and the applicant will be in violation of the City's Code of Ordinances.

Bicycle Parking:

Pursuant to LDR Section 4.4.13(I)(4), bicycle parking is required. The requirement is 1 space per 1,000 gross square feet. Therefore, a total of 6 bicycle parking spaces are required (5,655 SF/1,000 x 1 = 6). The site plan indicates six spaces are proposed.

Solid Waste Disposal:

The trash and recycling must be screened from the public right of way. The plans show that the trash and recycling containers will be located to the rear of the building on the southwest corner in a wood fence enclosure.

Roof Mounted Equipment

Pursuant to 4.4.13(F)(6)(c) flat roofs shall be screened from adjacent properties and streets with decorative parapets. The maximum height of the parapet wall shall be six feet in height or enough height to screen all roof mounted equipment, whichever is greater, measured from the top of the roof deck to the top of the parapet wall. Roof mounted equipment will be screened by 3'0 high a clear anodized mill finished mechanical screen.

Lighting:

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The photometric plan meets the minimum and maximum foot candle allowances required for building entrance (1.0 – 10.0) and accent pathway 0.5 – 5.0).

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to



comply. The new landscaping will be introduced on the south side of the building and compliment the outdoor dining area with a variety of plantings of Green Buttonwood, Desert Cassia, Simpon’s Stopper, a variety of Palms including Ponytail, Coconut and Montgomery. There are large shrubs of Spanish Stopper, Jamacian Caper, Wild Coffee and small leaf Cusia. The smaller shrubs include Dwarf Cusia, ZZ plant, Snake Plant, and White African Iris and a Bougainville Pink Pixie Vine. As stated above a Landscape Maintenance Agreement will need to be executed for the two proposed trees along the curb zone prior to issuance of a building permit.

Architectural Elevations Analysis:

Pursuant to LDR Section 4.4.13(F), the CBD has seven permitted architectural styles, which are described and illustrated in the Central Business District Architectural Design Guidelines. Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed additions and alterations to the existing 1967 building are in conformity with good taste and design and will contribute to an upcoming area off Atlantic Avenue on SE 2nd Avenue, which is a secondary street in the downtown Central Business District (CBD). The surrounding area, which includes SOFA, 111 First Delray, the Caspian and Aloft Hotel which is near the restaurant and will benefit from the proposed improvements by offering a “neighborhood” restaurant in their back yard.

The exterior of the building includes a new subtle look to the front elevation with the addition of a new opening to decrease the existing nonconformity of the storefront requirement for required openings. A three-foot-high street wall with a swing wood gate will open into the outside seating area. The proposed handicap parking is parallel in the front with a proposed ramp and new street trees and a bicycle rack. The new addition is proposed on the north elevation between the existing warehouse and standalone bar. The south elevation proposes a new impact overhead counter door in powder coat red, two new hollow metal doors, new impact resistant sliding glass doors, and a new impact window with clear anodized finish. There is an existing mural which was approved on the south elevation that will remain. The proposed canopies are black. There will be a 6 ft dark mahogany wood fence on the south and west side of the property. The remaining walls will be a white stucco finish in Greek Villa. The new proposed restaurant will add to the evolving environment of the growing downtown area.

Review by Others:

- At the meeting of March 10, 2020, the **DDA (Downtown Development Authority)** reviewed the development proposal.

Courtesy Notices were sent to:

- Osceola Park



Appendix "A" – Concurrency Findings

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water and sewer service will be provided to the site through an existing 8" water main that runs along SE 2nd Avenue and an 8" sewer main along the alley. The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted level of service standard at the City's build-out population based on the current FLUM.

Streets and Traffic: The subject property is located within the City's Transportation concurrency Exception Area (TCEA) which encompasses the CBD, CBD-RC, OSSHAD, and West Atlantic Business Corridor. The TCEA exempts the above-described areas from complying with the Palm Beach County Traffic Performance Standards Ordinance. A traffic impact analysis was conducted by JMD Engineering, Inc. the conclusion from the statement for the proposed project development is this is a high turnover restaurant and will generate 122 new daily trips. The proposed project meets the requirements of the Countywide Traffic Performance Standards of Palm Beach County.

Solid Waste: The subject property will consist of a new addition and a conversion of a standalone bar to a restaurant. The current square footage is 1,963 SF to 5,655 SF. Based on a waste generation rate of 24.9 tons per year for a restaurant, the new restaurant will generate an additional 70.40 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have enough capacity to handle all development proposals till the year 2048.

Drainage: Preliminary engineering and drainage plans have been submitted with the proposed development. Drainage will be accommodated via an exfiltration trench system. Therefore, there appears to be no problems anticipated in accommodating on-site drainage.

APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.

- Not applicable
- Meets intent of standard
- Does not meet intent

B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

- Not applicable
- Meets intent of standard
- Does not meet intent

C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

- Not applicable
- Meets intent of standard
- Does not meet intent

D. The City shall evaluate the effect that any street widening, or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.



- Not applicable
- Meets intent of standard
- Does not meet intent

E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

- Not applicable
- Meets intent of standard
- Does not meet intent

F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

- Not applicable
- Meets intent of standard
- Does not meet intent

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

- Not applicable
- Meets intent of standard
- Does not meet intent

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

- Not applicable
- Meets intent of standard
- Does not meet intent

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

- Not applicable
- Meets intent of standard
- Does not meet intent

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

- Not applicable
- Meets intent of standard
- Does not meet intent

Number	Date	Description

TAQUIZA #4

166 SE 2ND AVE. DELRAY BEACH, FL. 33444



ARCHITECT

CURRIE SOWARDS AGUILA ARCHITECTS

185 NE 4th Avenue
Delray Beach, FL 33483
TEL: 561-276-4951
FAX: 561-243-8184

STRUCTURAL ENGINEER :

MCCARTHY AND ASSOCIATES

601 North Congress Avenue
Suite 106A
Delray Beach, Florida 33483
TEL: 561 921-0338
FAX: 561 921-0340

M.E.P. ENGINEER:

THOMPSON AND YOUNGROSS ENGINEERING DCES CONSULTANTS

112 S.E. 10TH STREET
DELRAY BEACH, FLORIDA 33483
TEL: 561 274-0200
FAX: 561 274-0222

CIVIL ENGINEER:

CHRIS CABEZAS LANDSCAPE ARCHITECTURE, INC

2295 NW Corporate Boulevard, Suite 125
Boca Raton, Florida 33431
TEL: 561-750-3717
Fax: 561-750-3686

LANDSCAPE ARCHITECT:

CHRIS CABEZAS LANDSCAPE ARCHITECTURE, INC

80 NE 5TH AVE.
Delray Beach, Florida 33483
TEL: 561-596-6771

ARCHITECTURE	
LS1.01	LIFE SAFETY PLAN
A1.00	COMPOSITE PLAN
A1.01	SITE PLAN
A1.01A	SITE PLAN-STREETScape DESIGN
A2.01	FIRST FLOOR PLAN
A2.02	ROOF PLAN
A3.01	ELEVATIONS

SURVEY	
SURVEY	SURVEY

CIVIL	
C-1	DEMOLITION PLAN
C-2	SITE ENGINEERING PLAN
C-3	STANDARD DETAILS

LANDSCAPE	
LR-1	LANDSCAPE PLAN
LP-1	TREE DISPOSITION
IR-1	IRRIGATION PLAN

ELECTRICAL	
ES-1	PHOTOMETRIC PLAN



CURRIE SOWARDS AGUILA architects

Architecture, Planning, Interiors, & Sustainable Design

AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS

PERMIT

CONSTRUCTION

SEAL

PROJECT TITLE

TAQUIZA #4

166 SE 2ND AVE. DELRAY BEACH, FL. 33444

REVISIONS

NUM.	DESCRIPTION	DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.

DATE: 1/15/2020

DRAWN BY: Author

JOB NUMBER: 180204

DRAWING NUMBER: LS1.01

SPRAB SUBMITTAL 1/17/2020

LIFE SAFETY PLAN

LS1.01

LIFE SAFETY KEY

- NUMBER OF PERSONS EXITING
- EGRESS CAPACITY OF DOOR/STAIR
- 52' - MAXIMUM PATH OF EGRESS
- START POINT
- OCCUPANCY TYPE
- OCCUPANT LOAD
- SQUARE FOOTAGE/1004.11 REQ'D SF. PER OCC.=OCCUPANT LOAD FOR AREA
- FIRE EXTINGUISHER (WALL MOUNTED)
- SEMI RECESSED FIRE EXTINGUISHER CABINET
- DOOR EQUIPPED WITH PANIC HARDWARE
- DOOR EQUIPPED WITH FIRE EXIT HARDWARE
- EXIT SIGN

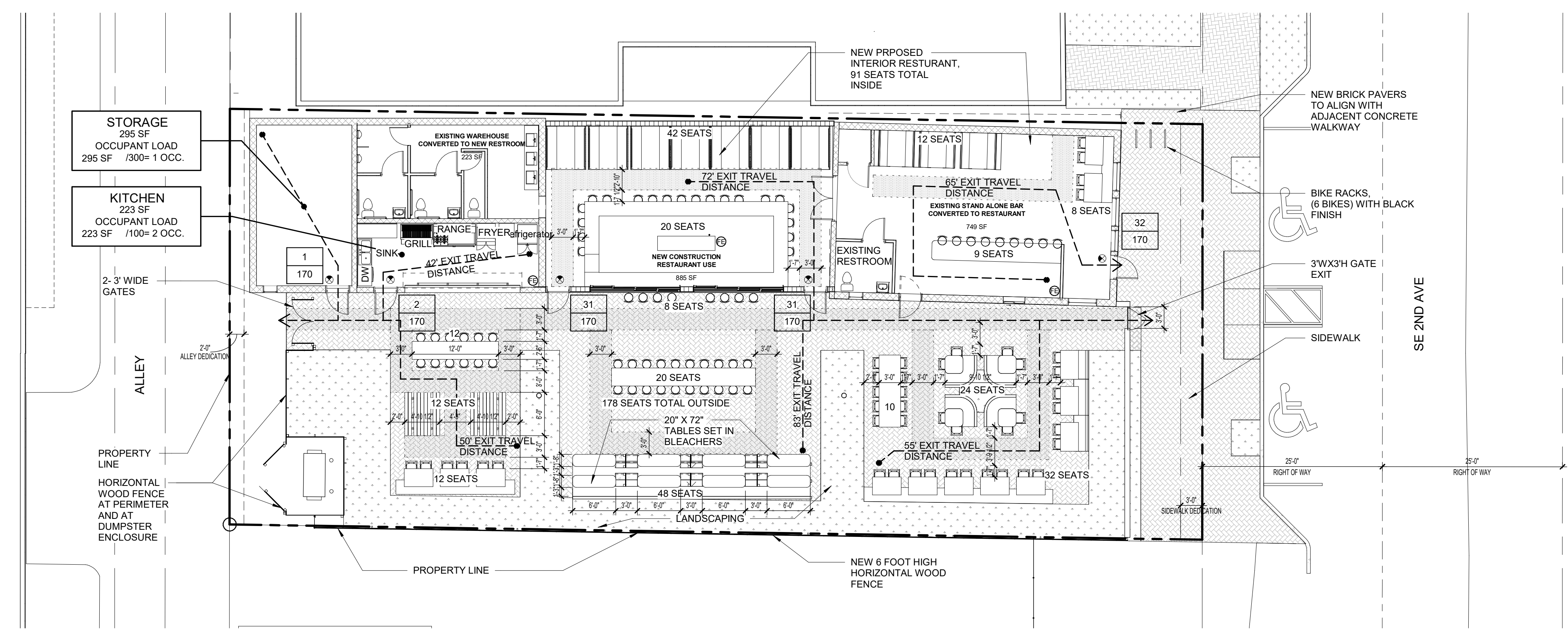
EGRESS DATA FL. BC. 2017

OCCUPANT LOAD:
 RESTAURANT: 1,368 SF/ 15
 NET=91 OCC
 OUTDOOR DINING: 2,663 SF/15
 NET= 178 OCC
 STORAGE: 295 SF/300 = 1 OCC
 KITCHEN: 222 SF/ 100= 2 OCC
TOTAL OCCUPANT LOAD: 272 OCC.
 OCCUPANT LOAD IS BASED ON THE 2017 FLORIDA BUILDING CODE

OCCUPANCY- ASSEMBLY (A-2)

FL. BC. 2017	MIN/MAX
TRAVEL DISTANCE	200'
COMMON PATH OF TRAVEL	75'
MAX. DEAD END	20'
EGRESS WIDTH	REQ. PROV.
STAIR WIDTH	44" MIN. N/A
DOORS	32" MIN. 32"
MIN. CORRIDOR WIDTH	44" MIN. SEE PLAN

ACCESS AISLE MINIMUM WIDTH 36"



1 LIFE SAFETY PLAN
 LS1.01 1" = 10'-0"

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED. 2/18/2020 5:55:39 PM



**CURRIE
SOWARDS
AGUILA**
architects

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY
BEACH, FL. 33444

NUM.	DESCRIPTION	DATE

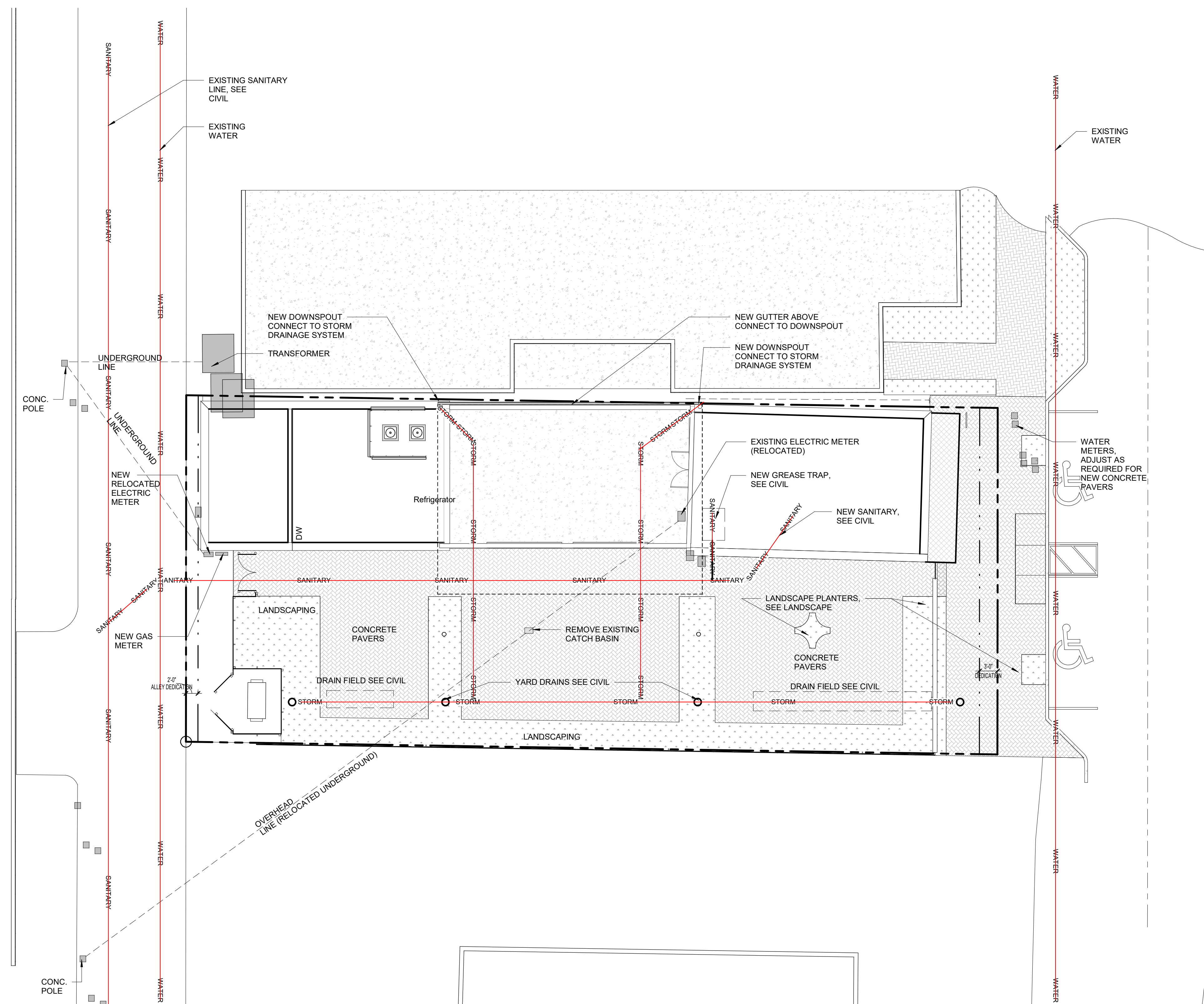
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.
DATE: 1/15/2020
DRAWN BY: IRG
JOB NUMBER: 180204
DRAWING NUMBER: A1.00

COMPOSITE PLAN

SPRAB SUBMITTAL 1/17/2020

DATE: 1/15/2020 | DRAWN BY: IRG
JOB NUMBER: 180204
DRAWING NUMBER: A1.00

A1.00



1 COMPOSITE SITE PLAN
A1.00 1" = 10'-0"

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED.
2/18/2020 5:55:10 PM



CURRIE SOWARDS AGUILA architects
 Architecture, Planning, Interiors, & Sustainable Design

AA26001584
 185 NE 4TH AVENUE SUITE 101
 DELRAY BEACH, FL 33483
 T: (561) 276-4951 F: (561) 243-8184
 E-MAIL: office@csa-architects.com

ISSUED FOR :
 BIDS
 PERMIT
 CONSTRUCTION
 SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY BEACH, FL. 33444

REVISIONS
 NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.
 DATE: 1/15/2020
 DRAWN BY: IRG

SITE PLAN

DATE: 1/15/2020
 DRAWN BY: IRG
 JOB NUMBER: 180204
 DRAWING NUMBER:

A1.01

GENERAL PROJECT DATA:

PROJECT LOCATION: 166 SE 2nd AVE. DELRAY BEACH FLORIDA 33444
 PROJECT SUMMARY: CONVERSION OF EXISTING BAR AND WAREHOUSE BUILDINGS INTO A NEW RESTAURANT WITH OUTDOOR SEATING.

PARKING REQUIREMENTS

PARKING REQUIREMENTS:
 6 SPACES PER 1,000 SF GROSS
 INDOOR RESTAURANT GROSS SQUARE FEET- 2,992/1000= 2.992 X 6= 17.9 (18 SPACES)
 OUTDOOR DINING -GROSS SQUARE FEET- 2,663/ 1000= 2.663 X 6= 15.9 (16 SPACES)
 34 PARKING SPACES REQUIRED

REQUIRED PARKING 34 SPACES
 EXISTING PARKING 3 SPACES
 TOTAL REQUIRED 31 SPACES

ON SITE 2 SPACES (ADA PARALLEL)
 OFF SITE PER AGREEMENT 29 SPACES
 TOTAL PROVIDED 31 SPACES

BICYCLE PARKING REQUIREMENTS

BICYCLE SPACES 1 PER 1,000 SF
 RESTAURANT- 2,992/1000= 2.992 X 1 = 3
 OUTDOOR DINING- 2,663/ 1000= 2.663 X 1 = 3
 6 BIKES REQUIRED

SITE DATA

ZONING CLASSIFICATIONS: CBD CENTRAL CORE SUB DISTRICT FLUM CLASSIFICATION: CC- COMMERCIAL CORE
 OCCUPANT LOAD: RESTAURANT: 1,368 SF/ 15 NET=91 OCC
 OUTDOOR DINING: 2,663 SF/15 NET= 178 OCC
 STORAGE: 295 SF/300 = 1 OCC
 KITCHEN: 222 SF/ 100= 2 OCC
 TOTAL OCCUPANT LOAD: 272 OCC.
 OCCUPANT LOAD IS BASED ON THE 2017 FLORIDA BUILDING CODE

EXISTING BAR: 975 S.F.
 EXISTING WAREHOUSE: 988 SF
 TOTAL EXISTING: 1,963 SF

GROSS: 7,830 S.F. NET: 7,712 S.F.

PERVIOUS AREA: 1,251 SF
 IMPERVIOUS AREA: 6,461 SF
 VEHICULAR USE AREA/SIDEWALKS/ COVER AREAS: 3,600 SF

LOT SIZE- CBD CENTRAL CORE SUB DISTRICT		
	REQUIRED	PROVIDED
LOT WIDTH	20'-0" MIN.	58'-0"
LOT AREA	2,000 SF MIN.	7,712 SF

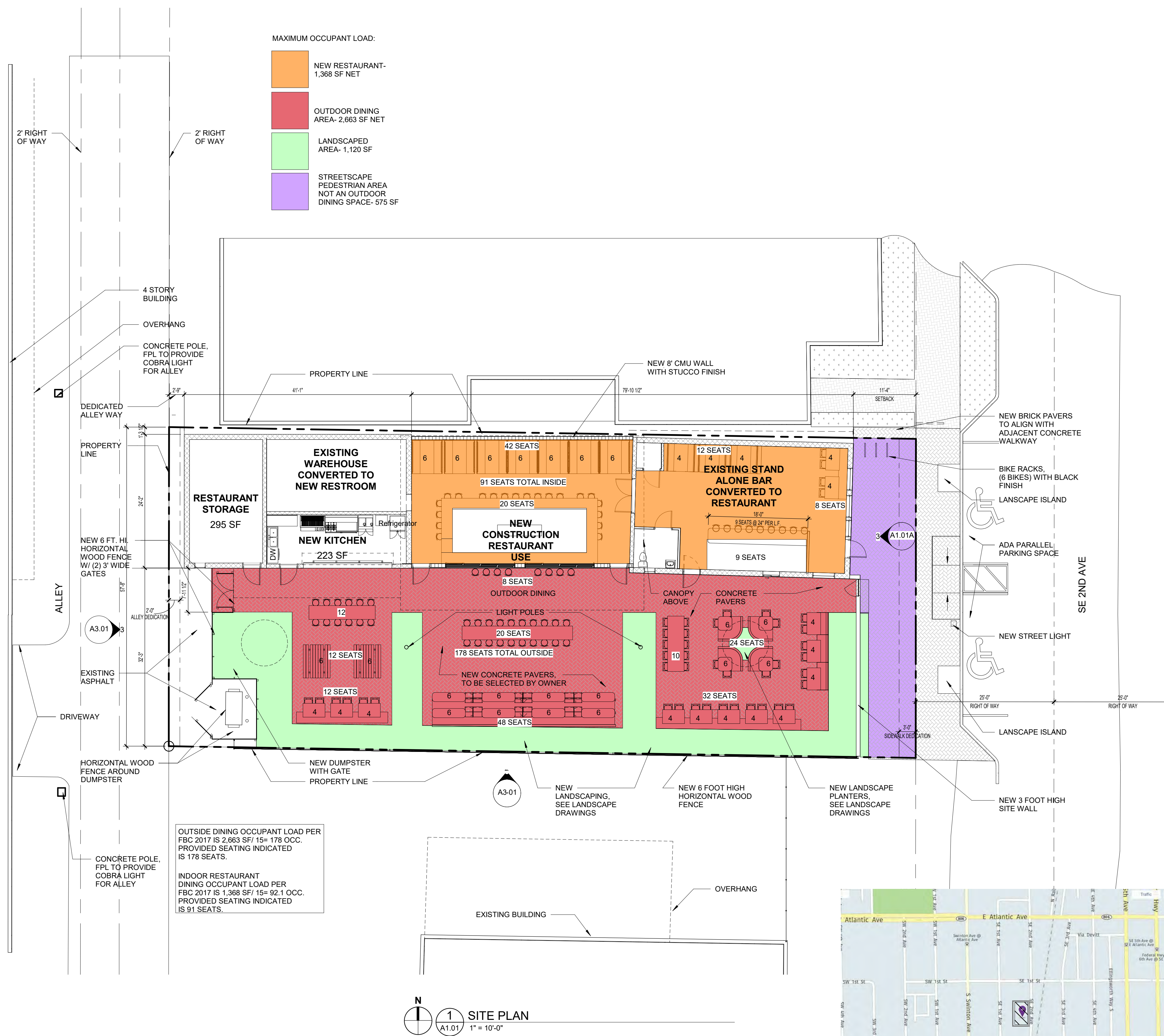
BUILDING PLACEMENT- CBD CENTRAL CORE SUB DISTRICT		
	REQUIRED	PROVIDED
A FRONT SETBACK	10 FT. MIN. / 15 FT MAX	11'-4"
B SIDE SETBACK	0 FT	0 FT
C REAR SETBACK	10 FT	9" (AFTER 2'-0" ALLEY DEDICATION)
B SIDE SETBACK ABUTTING RES. DISTRICT; 1ST TO 3RD STORY	10 FT.	N/A
B SIDE SETBACK ABUTTING RES. DISTRICT ABOVE 3RD STORY	30 FT.	N/A
D FRONT SETBACK ABOVE 3RD STORY	20'-0"	N/A
E BUILDING FRONTAGE REQUIRED ON PRIMARY STREETS	75% MIN./ 100% MAX	NOT APPLICABLE RESTAURANT FACES A SECONDARY STREET

BUILDING HEIGHT- CBD CENTRAL CORE SUB DISTRICT		
	REQUIRED	PROVIDED
MIN. BUILDING HEIGHT ON PRIMARY STREETS	1 STORY AND 18 FT	NOT APPLICABLE RESTAURANT FACES SECONDARY STREET
MAX. BUILDING HEIGHT IN ATLANTIC AVENUE LIMITED HEIGHT AREA	3 STORIES AND 38 FT	N/A
MAX. HEIGHT OUTSIDE OF THE ATLANTIC HEIGHT AREA	4 STORIES AND 54 FT.	1 STORY 14 FEET HIGH

DENSITY- CBD CENTRAL CORE SUB DISTRICT		
	REQUIRED	PROVIDED
DENSITY	30 DU/AC	N/A

CIVIC OPEN SPACE REQUIREMENT- CBD CENTRAL CORE SUB DISTRICT		
	REQUIRED	PROVIDED
SITES SMALLER THAN 20,000 SF	0%	CIVIC OPEN SPACE IS NOT REQUIRED, THE SITE IS 7,712 SF < 20,000 SF

BUILDING CODE: FBC 2017
 CONSTRUCTION: TYPE V
 OCCUPANCY- A-2 (RESTAURANT)



1 SITE PLAN
 A1.01 1" = 10'-0"

Vicinity Map
 1/8" = 1'-0"



THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED. 2/18/2020 5:55:14 PM

SPRAB SUBMITTAL 1/17/2020



**CURRIE
SOWARDS
AGUILU**
architects

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483
T:(561) 276-4951 F:(561) 243-8184
E-MAIL: office@csoa-architects.com

ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY
BEACH, FL. 33444

REVISIONS	NUM.	DESCRIPTION	DATE

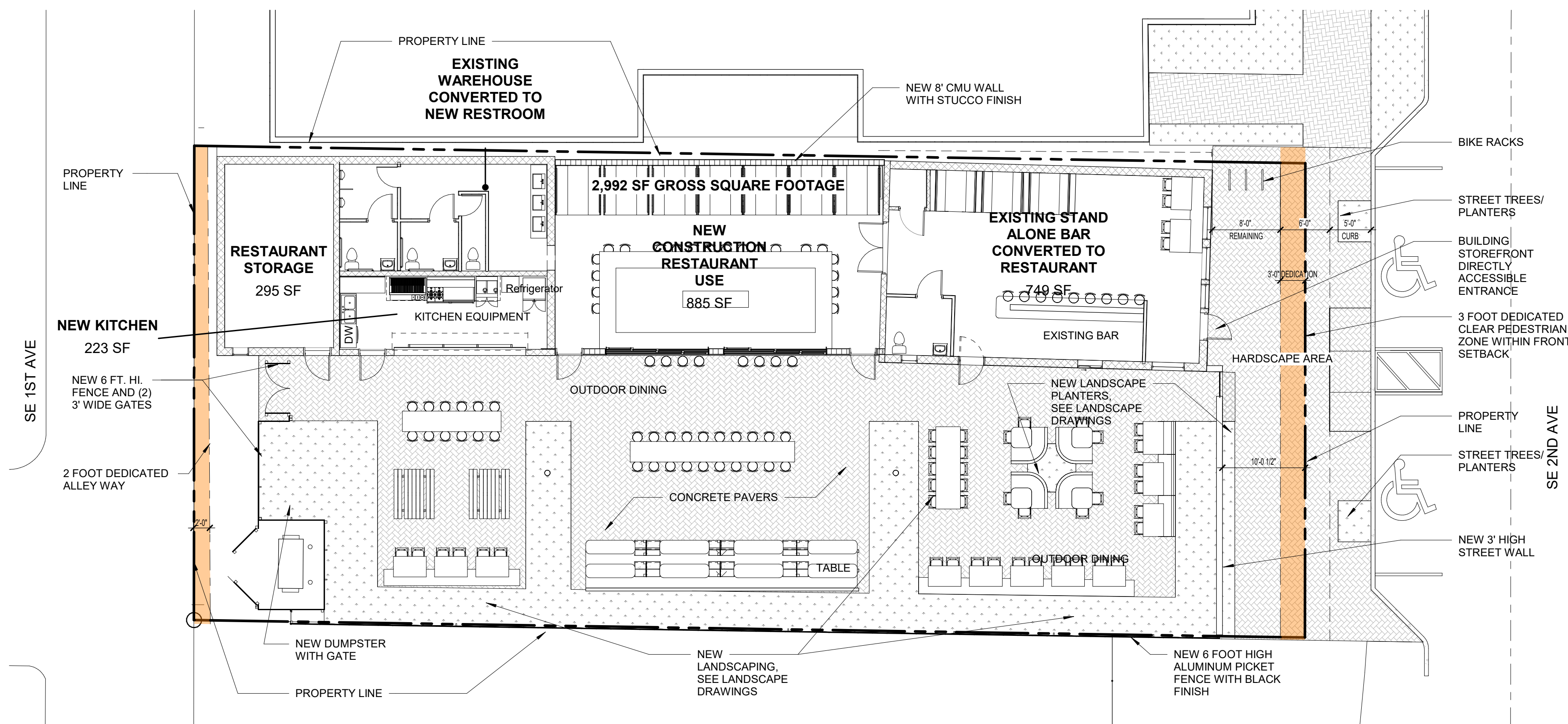
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.
DATE: 1/15/2020
DRAWN BY: Author

SPRAB SUBMITTAL 1/17/2020

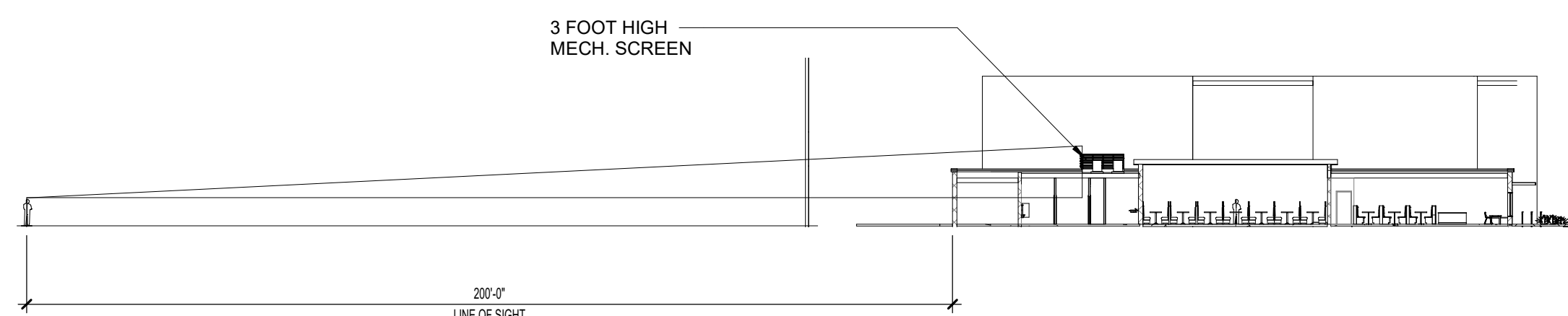
**SITE
PLAN-STREETSCAPE
DESIGN**

DATE: 1/15/2020 | DRAWN BY: Author
JOB NUMBER: 180204
DRAWING NUMBER:

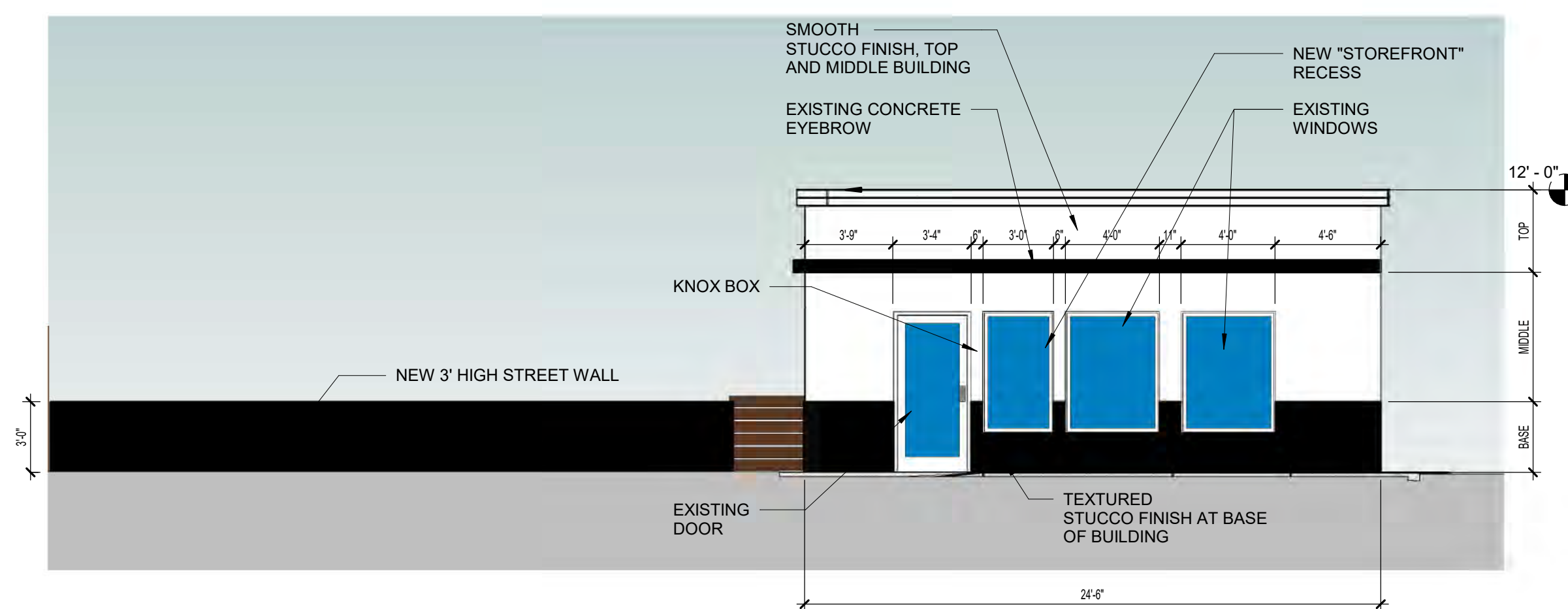
A1.01A



1 SITE PLAN-STREETSCAPE AND FURNITURE LAYOUT
A1.01A 1" = 10'-0"



2 LINE OF SIGHT
A1.01A 1" = 30'-0"



3 EAST ELEVATION- MAIN STREET VERNACULAR
A1.01A 3/16" = 1'-0"

FRONTAGE STANDARDS

ALLOWABLE USES-		
COMMERCIAL (RESTAURANT)		
MINIMUM STREETSCAPE WIDTH		
	REQUIRED	PROVIDED
CURB ZONE	4 FEET	5 FEET
PEDESTRIAN CLEAR ZONE	6 FEET	6 FEET (3 FOOT DEDICATION)
REMAINING	REMAINING SETBACK AREA	8 FEET (HARDSCAPE DESIGN TO BE SELECTED BY OWNER)
TOTAL		19 FEET
STREET TREES- SEE LANDSCAPE DRAWINGS		
FRONTAGE TYPES PER USE		
COMMERCIAL (RESTAURANT) WITH STOREFRONT FRONTAGE TYPE		
	REQUIRED	PROVIDED
BUILDING SETBACK	10 FEET MIN/ 15 FEET MAX	11'-3"
STORE WIDTH	75 FEET ON REQUIRED RETAIL STREETS	N/A
STOREFRONT BASE	9" MIN./ 3' MAX	3'-0"
GLAZING HEIGHT	8 FT	7'-2" (EXISTING)
REQUIRED OPENINGS	80%	62% WITH NEW RECESS OPENING (58% EXISTING)
AWNING PROJECTION	3 FEET	3 FOOT EXISTING CONCRETE EYEBROW
PROJECTING SIGN	3 FEET	N/A

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILU ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILU ARCHITECTS INC., IS PROHIBITED.
2/18/2020 5:55:18 PM



CURRIE SOWARDS AGUILU architects

Architecture, Planning, Interiors, & Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY BEACH, FL. 33444

REVISIONS	NUM.	DESCRIPTION	DATE

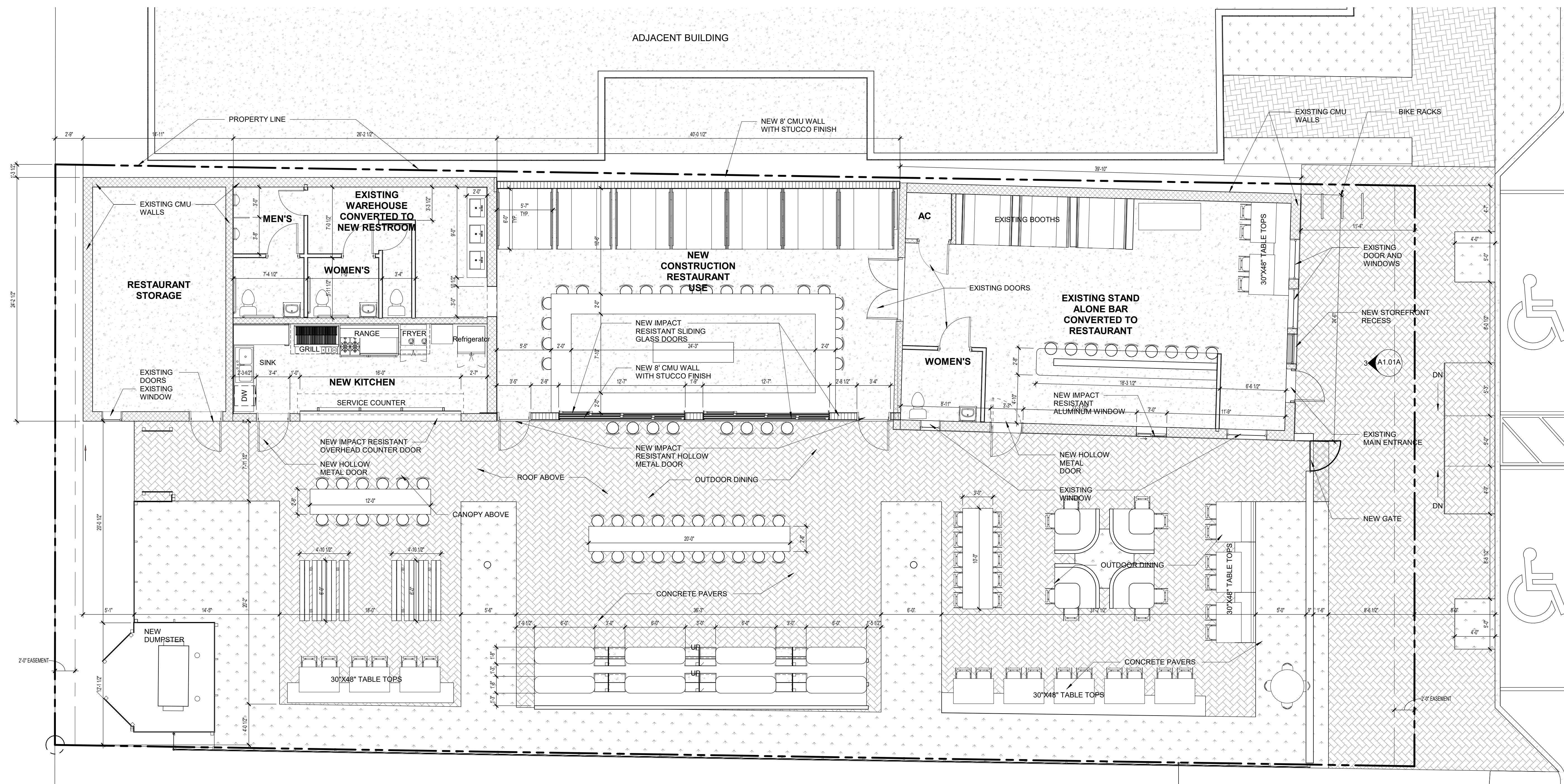
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON DRAWING OR NOT.
DATE: 1/15/2020
DRAWN BY: Author

FIRST FLOOR PLAN

DATE: 1/15/2020
DRAWN BY: Author
JOB NUMBER: 180204
DRAWING NUMBER:

A2.01

SPRAB SUBMITTAL 1/17/2020



1 FIRST FLOOR PLAN
A2.01 3/16" = 1'-0"

A3.01 3

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILU ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILU ARCHITECTS INC. IS PROHIBITED.
2/18/2020 5:55:25 PM



**CURRIE
SOWARDS
AGUILA**
architects

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY
BEACH, FL. 33444

REVISIONS		
NUM.	DESCRIPTION	DATE

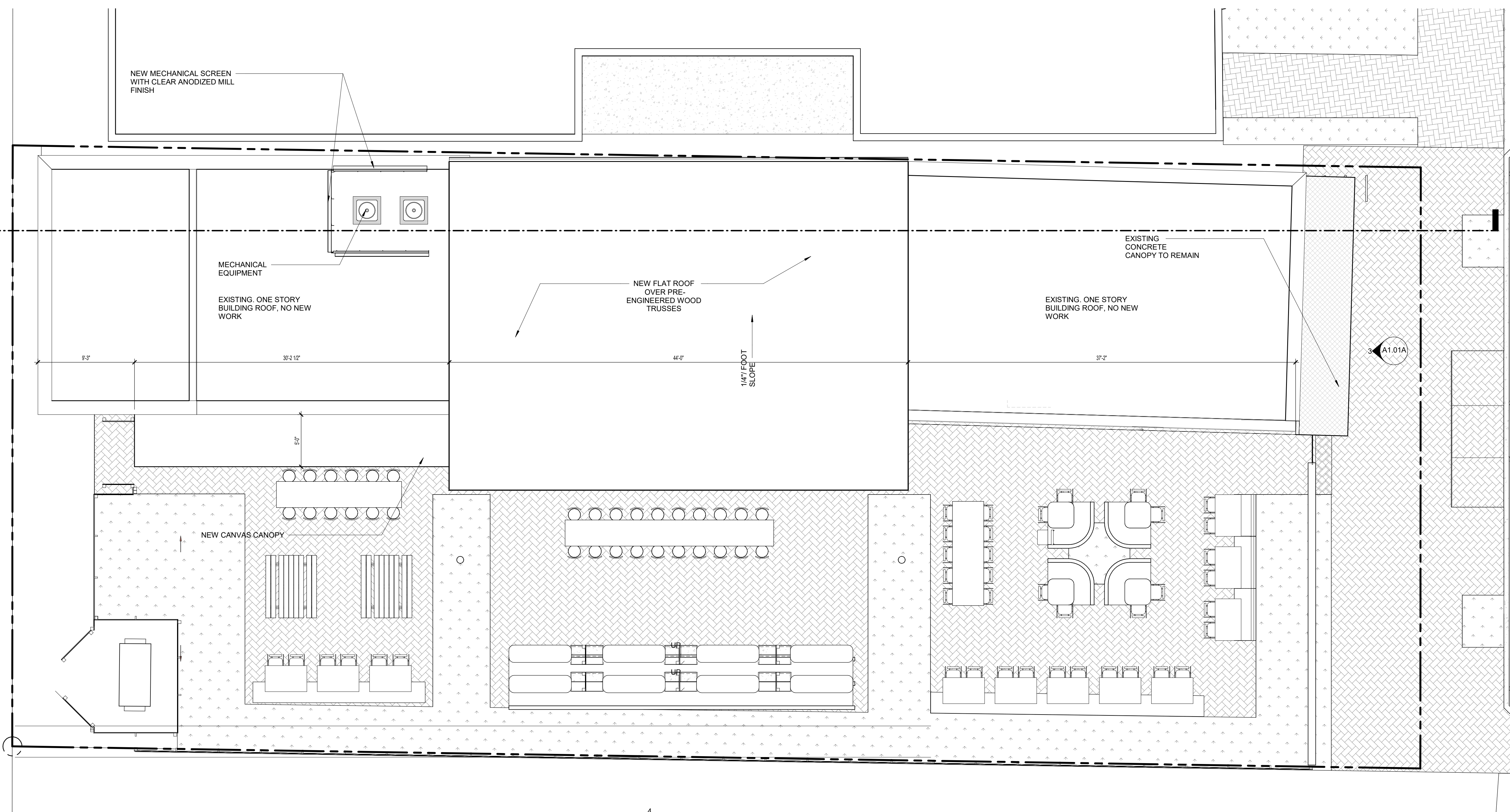
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.
DATE: 1/15/2020
DRAWN BY: KWH
JOB NUMBER: 180204
DRAWING NUMBER: A2.02

ROOF PLAN

DATE: 1/15/2020 | DRAWN BY: KWH
JOB NUMBER: 180204
DRAWING NUMBER: A2.02

A2.02

SPRAB SUBMITTAL 1/17/2020



1 ROOF PLAN
A2.02 3/16" = 1'-0"

4
A3.01

2
A1.01A

A3.01



**CURRIE
SOWARDS
AGUILÁ**
architects

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR:

BIDS

PERMIT

CONSTRUCTION

SEAL

PROJECT TITLE
TAQUIZA #4

166 SE 2ND AVE. DELRAY
BEACH, FL. 33444

REVISIONS

NUM.	DESCRIPTION	DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THESE DRAWINGS OR NOT.
DATE: 1/15/2020
DRAWN BY: JC

ELEVATIONS

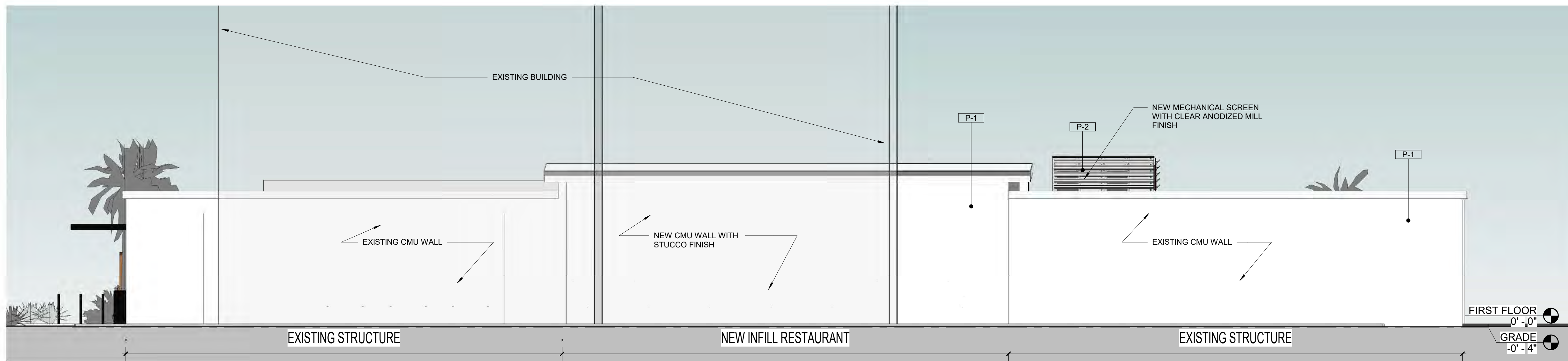
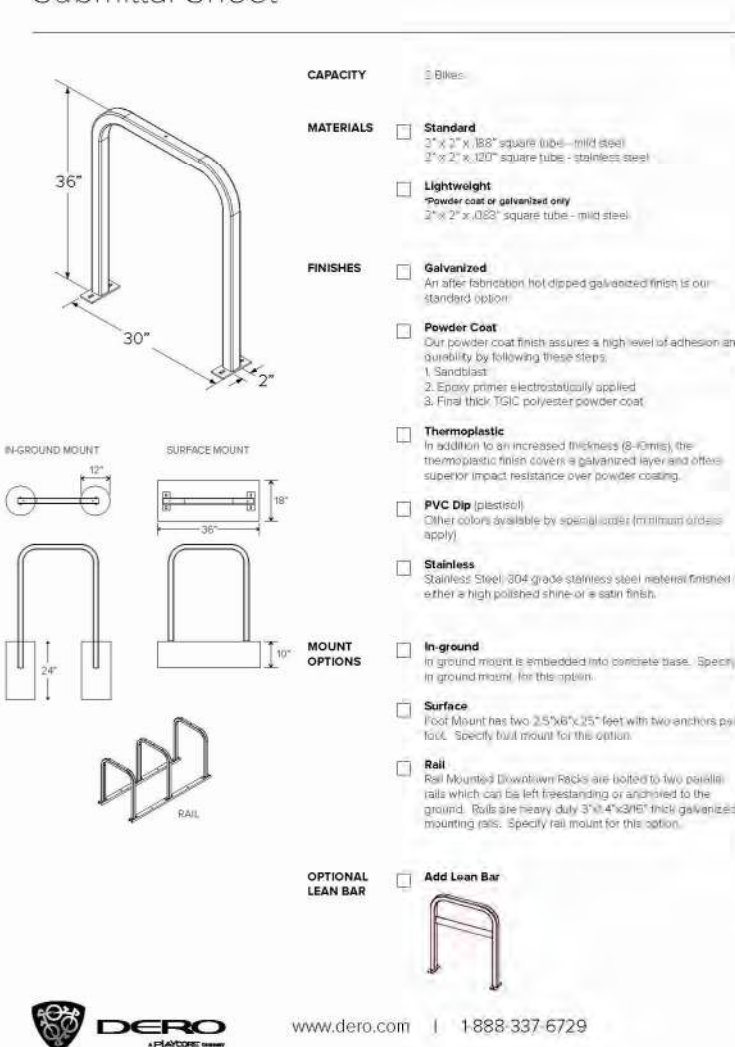
DATE: 1/15/2020 | DRAWN BY: JC

JOB NUMBER: 180204

DRAWING NUMBER

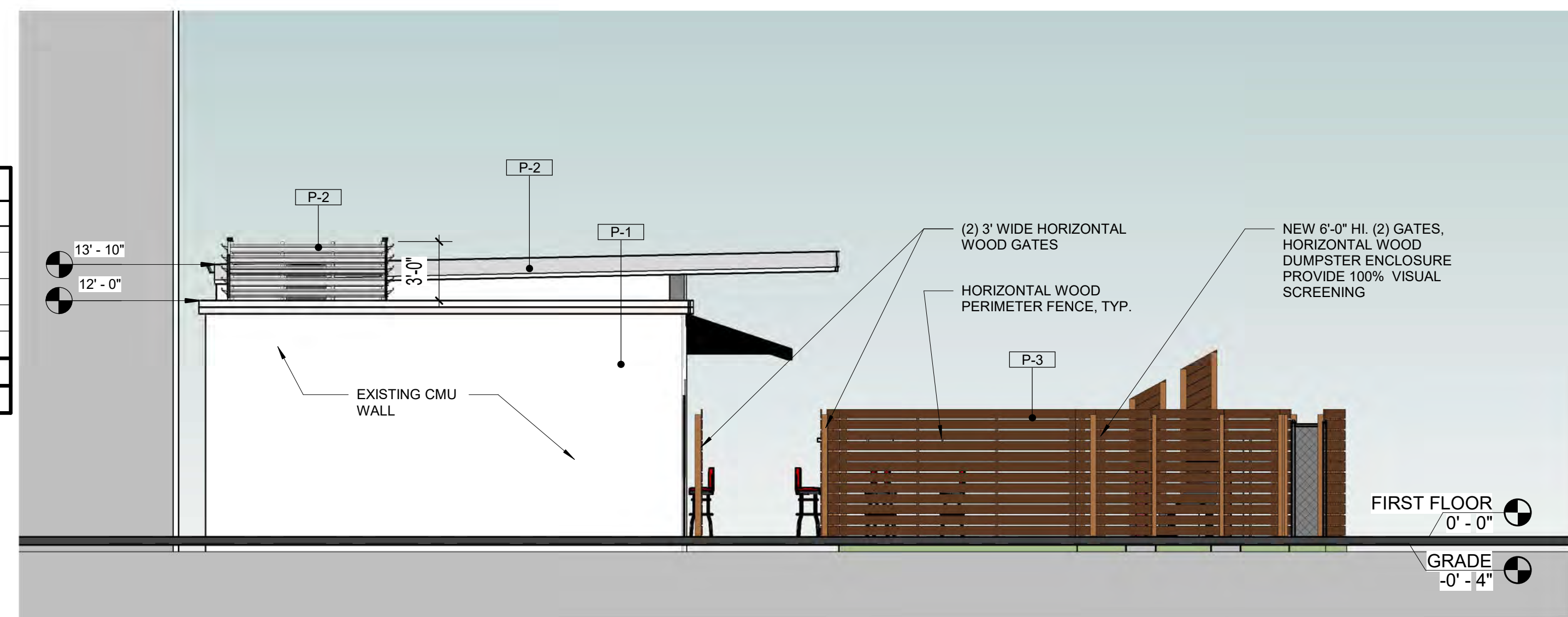
A3.01

DOWNTOWN RACK
Submittal Sheet

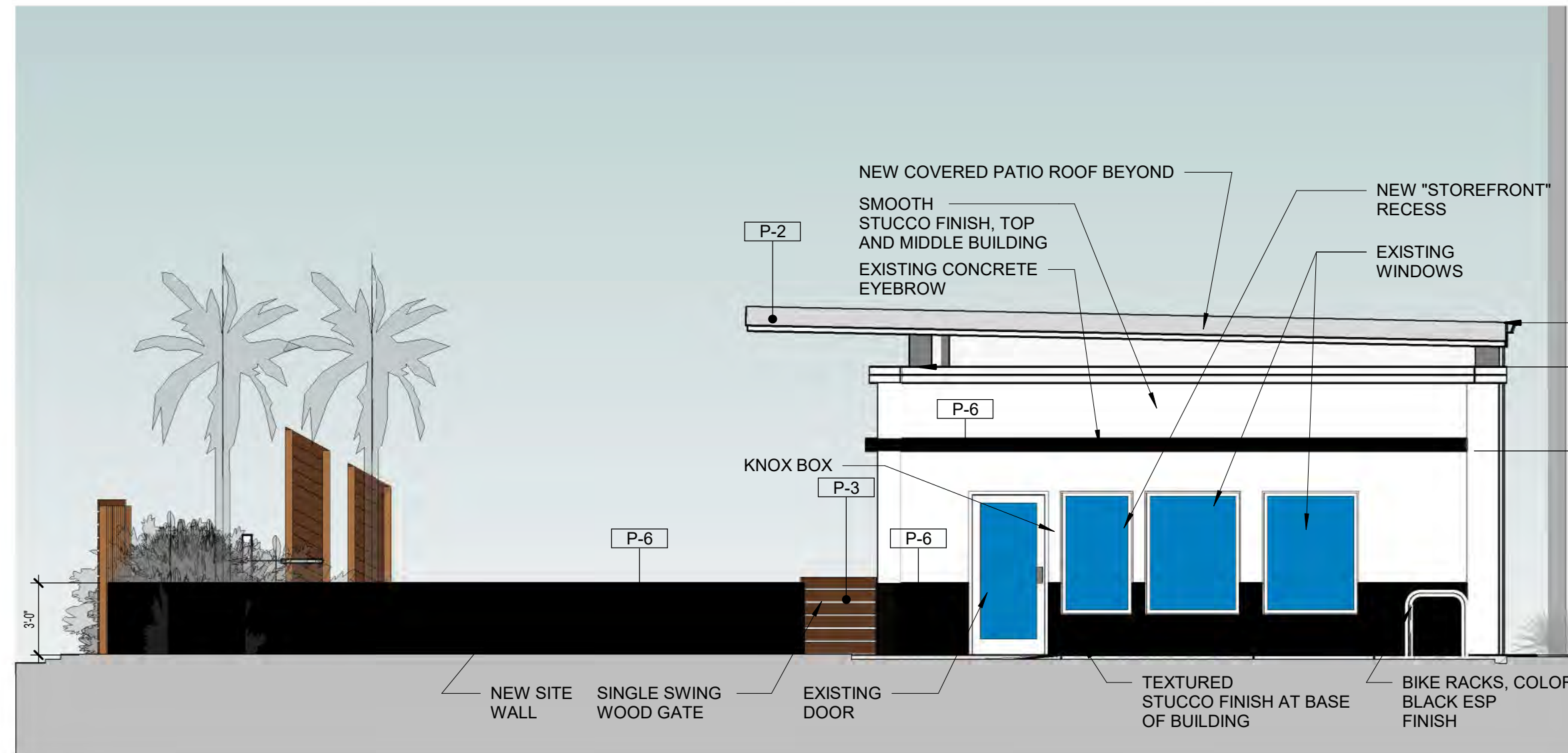


1 NORTH ELEVATION
A3.01 3/16" = 1'-0"

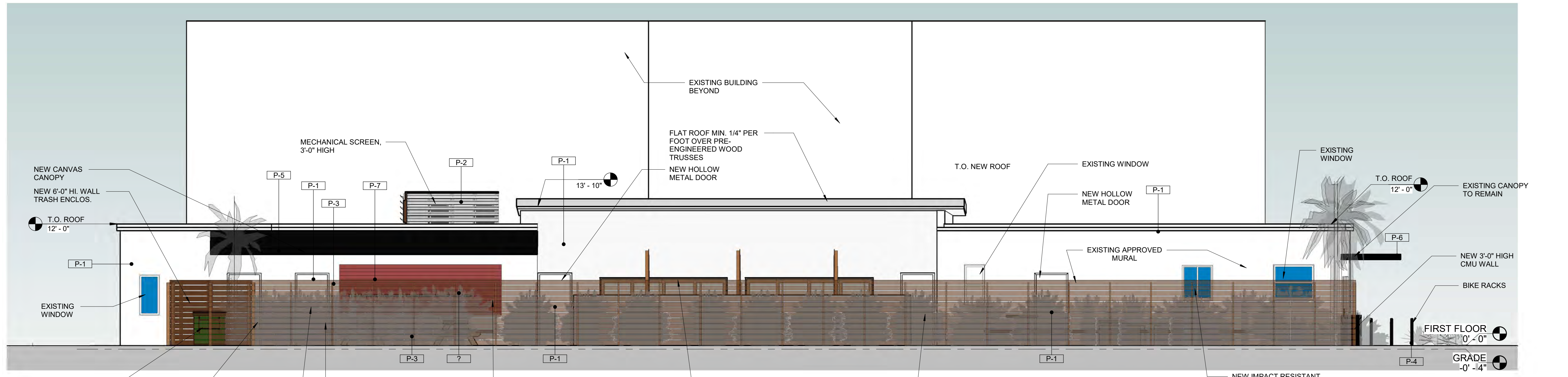
ITEM	EXTERIOR PAINT COLOR
P-1	SW 7551 GREEK VILLA
P-2	CLEAR ANODIZED MILL FINISH
P-3	WOOD FINISH- DARK MAHOGANY
P-4	BLACK ESP FINISH
P-5	CANOPY-BLACK
P-6	SW 6989 DOMINO
P-7	RAL 3001- POWDER COAT RED



3 WEST ELEVATION
A3.01 3/16" = 1'-0"

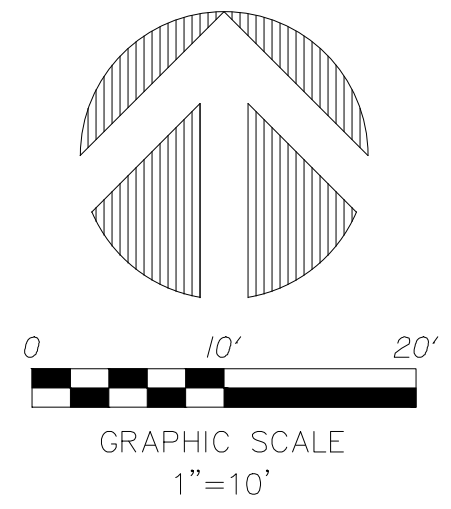


2 EAST ELEVATION
A3.01 3/16" = 1'-0"



4 SOUTH ELEVATION
A3.01 3/16" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED. 2/18/2020 5:55:33 PM



TRACT "A"
"SOFA DELRAY TWO"
(P.B. 118, PGS 104-105)

5' R/W
PB 118
PGS 104 & 105

LEGAL DESCRIPTION

THE SOUTH 39.5 FEET OF LOT 13 AND THE NORTH 18.5 FEET OF LOT 14, BLOCK 78, MAP OF THE TOWN OF LINTON (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE AREA OF THIS PROPERTY IS 7,764 SQ. FT. (0.18 ACRES), MORE OR LESS.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON SAID PLAT (MAP NO. 125102 0004 D) WHICH ARE RELATIVE TO THE PLAT AND ARE ASSUMED.
- RECORDING INFORMATION REFERS TO PALM BEACH COUNTY PUBLIC RECORDS UNLESS OTHERWISE INDICATED.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM PALM BEACH COUNTY ENGINEERING; BENCHMARK "SRD 17.16" HAVING AN ELEVATION OF 15.617. ALL ELEVATIONS ARE RELATIVE TO NAVD 1988.
- PROPERTY ADDRESS: 166 SE 2ND AVENUE, DELRAY BEACH, FL 33444
- FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER	: 125102
PANEL NUMBER	: 0979F
DATE OF FIRM INDEX	: 10-05-2017
ZONE	: X
BASE FLOOD ELEVATION	: N/D

ABBREVIATIONS

- A/C = AIR CONDITIONER
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK & STUCCO
- CONC. = CONCRETE
- D = DELTA (CENTRAL ANGLE)
- DE = DRAINAGE EASEMENT
- ELEV. = ELEVATION
- F.F. = FINISHED FLOOR
- FND. = FOUND
- GAR. = GARAGE
- IP. = IRON PIPE
- IR = IRON ROD
- IRC = IRON ROD & CAP
- L = ARC LENGTH
- L.M.E. = LAKE MAINTENANCE EASEMENT
- MON. = MONUMENT
- N/D = NAIL AND DISC
- P.B. = PLAT BOOK
- P.B.C.R. = PALM BEACH COUNTY RECORDS
- PG. = PAGE
- R = RADIUS
- R/W = RIGHT-OF-WAY
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT

TITLE INFORMATION

TITLE POLICY #0F6-84687185
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
DATE OF POLICY: MAY 12, 2017 @ 3:05 PM

NO	BOOK/PAGE	DESCRIPTION	APPLIES?	PLOTTED?
8	PB 173	PLAT	YES	YES
9	25732/649	EASEMENT	NO#	NO
9	26118/668	EASEMENT	NO#	NO
9	26401/1156	EASEMENT	NO#	NO
9	26497/1590	EASEMENT	NO#	NO
10	29082/1024	MORTGAGE	YES	NO

ENCUMBERED PROPERTIES ARE LISTED ALPHABETICALLY BY OWNER'S NAME. THE OWNER OF THIS PROPERTY AT THE TIME OF THESE DEEDS (CREATIVE INCUBATOR, LLC) IS NOT LISTED.

LEGEND

- WATER SERVICE
- ELECTRIC SERVICE
- TELEPHONE BOX
- CABLE TV BOX
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- SIGN
- FIRE HYDRANT
- CATCH BASIN
- LIGHT POLE
- WOOD UTILITY POLE
- CONCRETE UTILITY POLE
- CLEAN OUT
- CENTERLINE
- EXISTING ELEVATION

TREE LIST

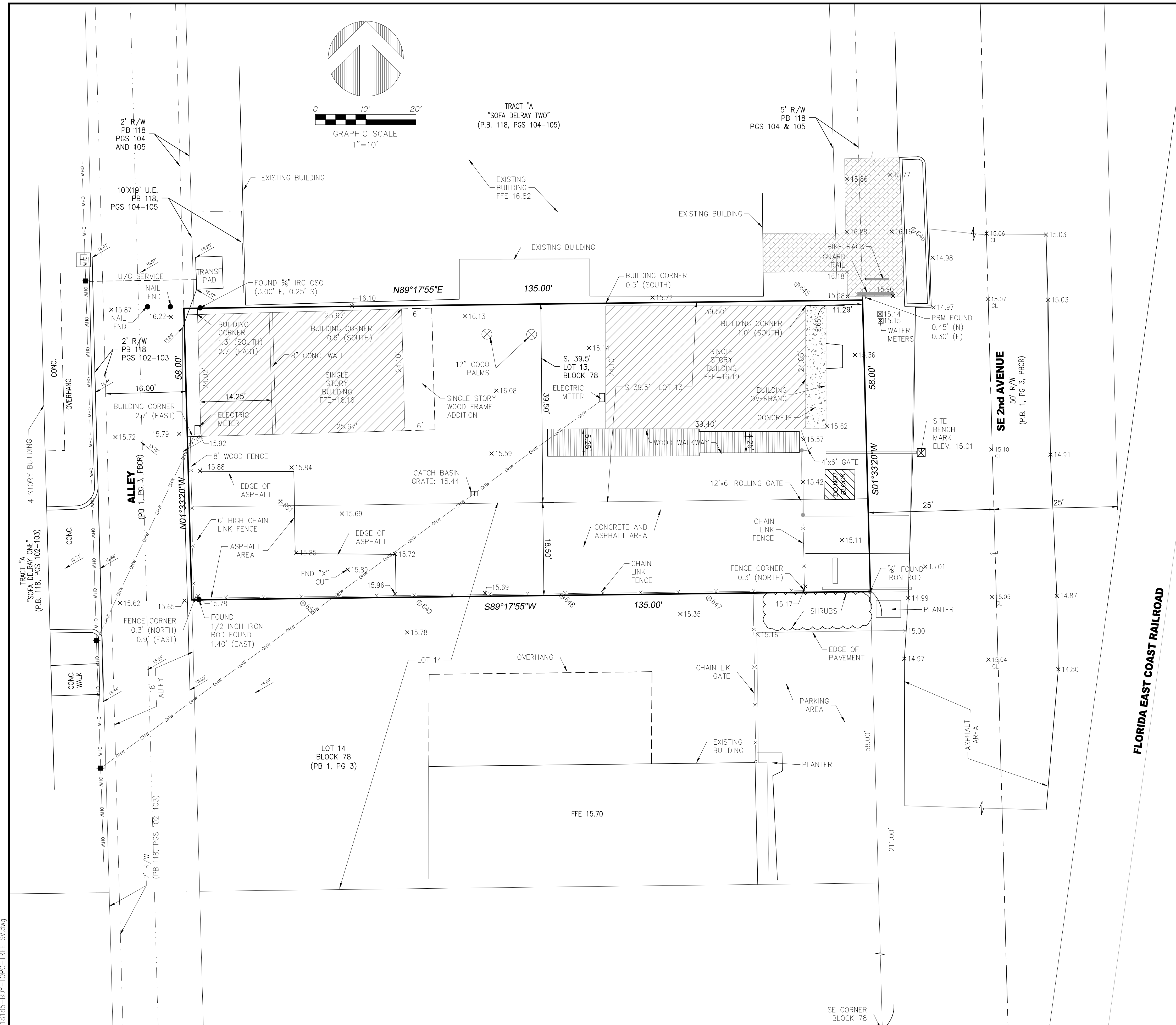
645	12"-SABAL PALM
646	4"-OAK
647	12"-OAK
648	12"-OAK
649	12"-OAK
650	12"-OAK
651	12"-GUMBO

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

DATE OF LAST FIELD WORK: OCTOBER 3, 2019



FLORIDA EAST COAST RAILROAD



947 Clint Moore Road
Boca Raton, FL 33487
Tel: (561) 241-9988
Fax: (561) 241-5182

**BOUNDARY SURVEY / UPDATE
166 SE 2ND AVENUE DELRAY BEACH**

NO.	DATE	BY	CK'D	REVISION
1	01/07/2018	JCV	JSH	ADDED BOUNDARY AND TREE INFORMATION
2	10/03/2019	AJR	JSH	SURVEY UPDATE

JOB NO.	18185
SCALE	1"=10'
DRAWN	AJR
CHECKED	JSH
SEAL	
SHEET	1 OF 1

5. RELOCATION SPECIFICATIONS

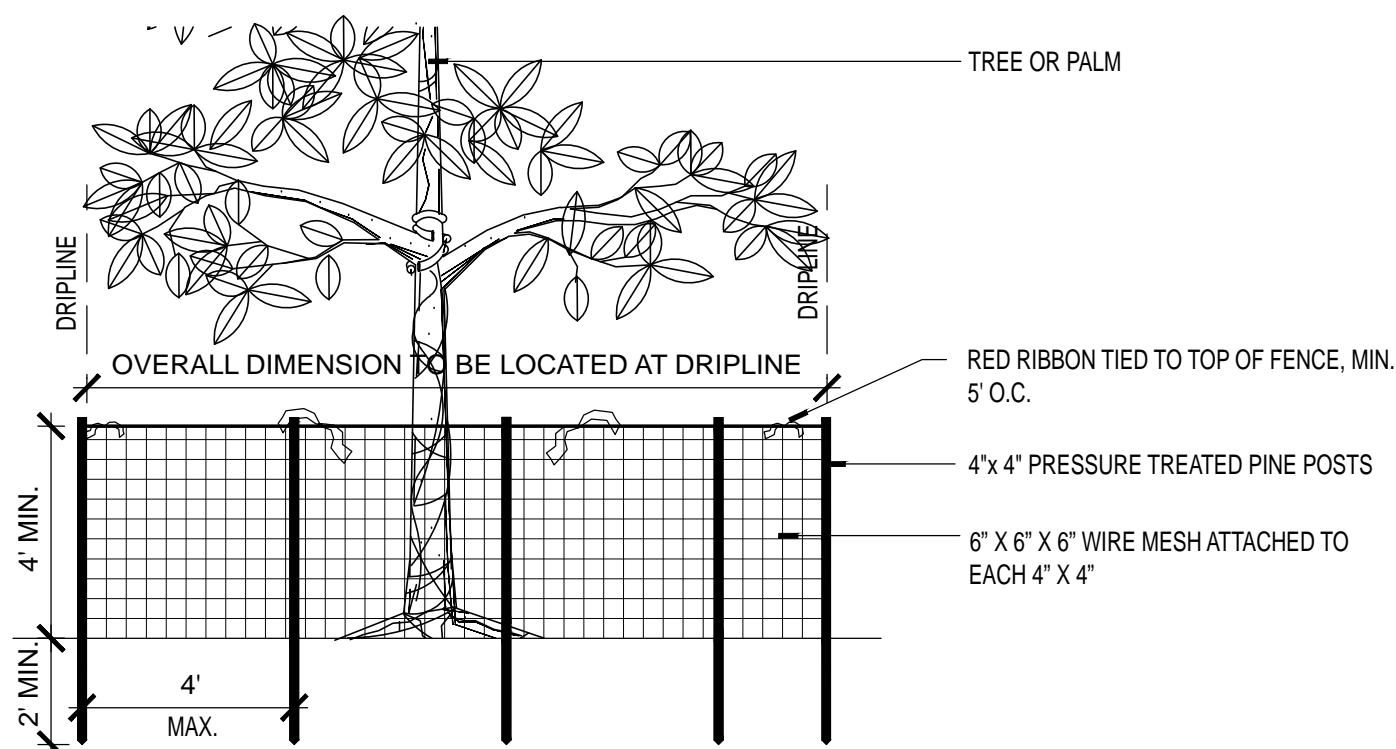
5.1. GENERAL

- 5.1.1. VERIFY AND ENSURE ALL TREES/PALM IDENTIFIED ON THE CONSTRUCTION DRAWINGS AND THOSE TAGGED IN THE FIELD CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARATION.
- 5.1.2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TREE/PALM PROTECTION OF ALL VERIFIED MATERIAL. INSTALL BARRICADE OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH TO ENCOMPASS THE DRIP LINE OF THE TREE PALM. BARRICADE TO BE REMOVED WHEN DIRECTED BY LANDSCAPE ARCHITECT.
- 5.1.3. TREE ROOT BALL SHALL BE: ROOT PRUNED 50% (EQUALLY AROUND TREE) 60 DAYS PRIOR TO TRANSPLANT, THE REMAINING 50% TO BE PRUNED 30 DAYS PRIOR TO TRANSPLANTING.
- 5.1.4. PALMS TO BE RELOCATED MAY BE IMMEDIATELY RELOCATED AFTER DIGGING. GUMBO LIMBO (BURSERA SIMARUBA) TREES MAY ALSO BE RELOCATED IMMEDIATELY AFTER DIGGING.
- 5.1.5. ROOT TO BE PRUNED WITH CLEAN, SHARP TOOLS. ROOTS 1 INCH AND LARGER IN DIAMETER SHALL BE NEATLY AND CLEANLY CUT WITH A HANDSAW OR OTHER APPROVED CUTTING IMPLEMENT AS DIRECTED BY AN ISA OR ASCA CERTIFIED ARBORIST.
- 5.1.6. LANDSCAPE CONTRACTOR TO APPLY MYCORRHIZA APPLICATION TO ROOTS DURING ROUTE PRUNING AND DIGGING OPERATIONS. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
- 5.1.7. DEADWOOD, CROSSING BRANCHES, AND GENERAL CANOPY PRUNING SHALL BE PERFORMED OR DIRECTED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION OF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES IMMEDIATELY AFTER COMPLETION OF ROOT PRUNING OF EACH SPECIMEN TO BE RELOCATED. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
- 5.1.8. ROOT BALL SIZE TABLE: (NOTE: ROOT BALL SIZES SHALL EXCEED MINIMUM STANDARDS SET FORTH IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART TWO, PALMS AND TREES, FLORIDA DEPARTMENT OF AGRICULTURE).

TREE/PALM CALIPER	MINIMUM ROOTBALL DIAMETER
1" - 1 1/2"	16"
1 1/2" - 2"	20"
2" - 2 1/2"	24"
2 1/2" - 3"	28"
3" - 3 1/2"	32"
3 1/2" - 4"	36"
4" - 4 1/2"	40"
4 1/2" - 5"	44"
5" - 5 1/2"	48"

THE ROOT BALL OF LARGER CALIPER SIZES SHALL BE INCREASED PROPORTIONALLY AT 3 INCHES OF ROOTBALL DIAMETER FOR EVERY INCREASE OF 1 INCH IN CALIPER OR FRACTION THERE OF.

- 5.1.9. MAINTAIN COMPACT ROOT BALLS. ROOT BALL SHALL BE COMPLETELY ENCLOSED WITHIN A BURLAP COVERING OR STRETCH WRAP AS COMMONLY USED WITHIN THE HORTICULTURAL INDUSTRY, INTO COMPLETE LAYERS.
- 5.1.10. ALL TREES TO BE FLOODED FOR FIVE DAYS PRIOR TO TRANSPLANT.
- 5.1.11. ALL PITS TO BE FILLED THE SAME DAY AND WITH CLEAN FILL AND 18 INCH LIFT/LAYERS. EACH THEN COMPACTED BEFORE A SUBSEQUENT 18 INCH LIFT/LAYER IS PLACED. REPEAT UNTIL BACKFILL IS FLUSH WITH SURROUNDING GRADE.
- 5.1.12. CORRECT ALL PROBLEMS RELATED TO SETTLEMENT, EROSION, OR OTHER DISTRESS OF EXCAVATED/BACKFILLED PIT FROM WHICH TREE/PALM HAS BEEN REMOVED, INCLUDING THE COMPLETE AND THOROUGH REMOVAL OF ALL RESIDUAL ROOTS, STUMPS AND PORTIONS AND PARTS THERE OF.
- 5.1.13. RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM ONE-YEAR WARRANTY ON SETTLING AND PLANT MATERIAL.
- 5.1.14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ROOT BALL BURLAP OR SHRINK WRAP.
- 5.1.15. ALL RELOCATED TREES AND PALMS MUST BE WATERED TWICE DAILY FOR 2 WEEKS AND DAILY FOR AN ADDITIONAL 2 WEEKS, BEGINNING IMMEDIATELY AFTER TRANSPLANTING HAS OCCURRED..



NOTE: BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN.

1 TREE PROTECTION DETAIL

ELEVATION

SCALE: N.T.S.

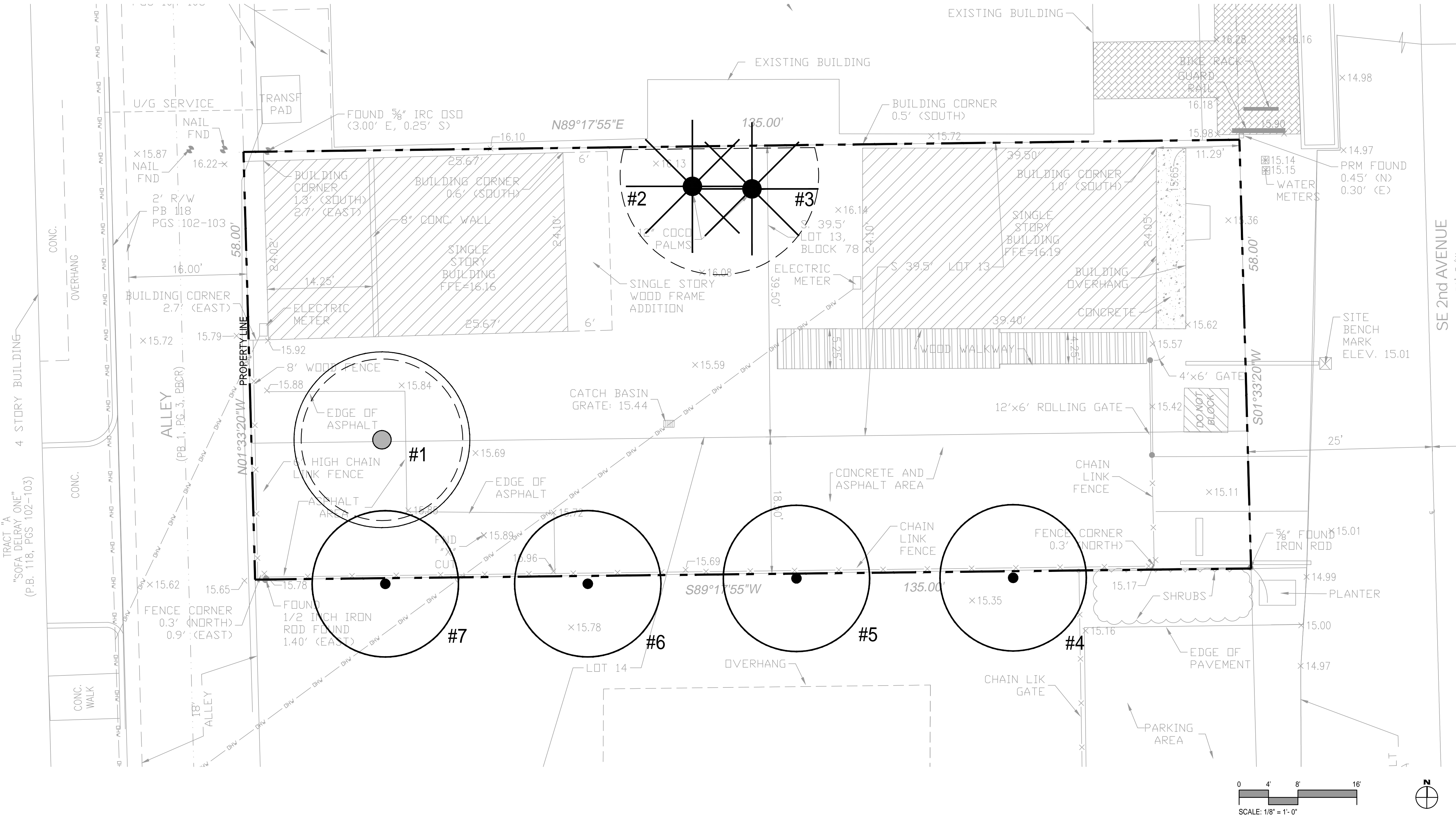
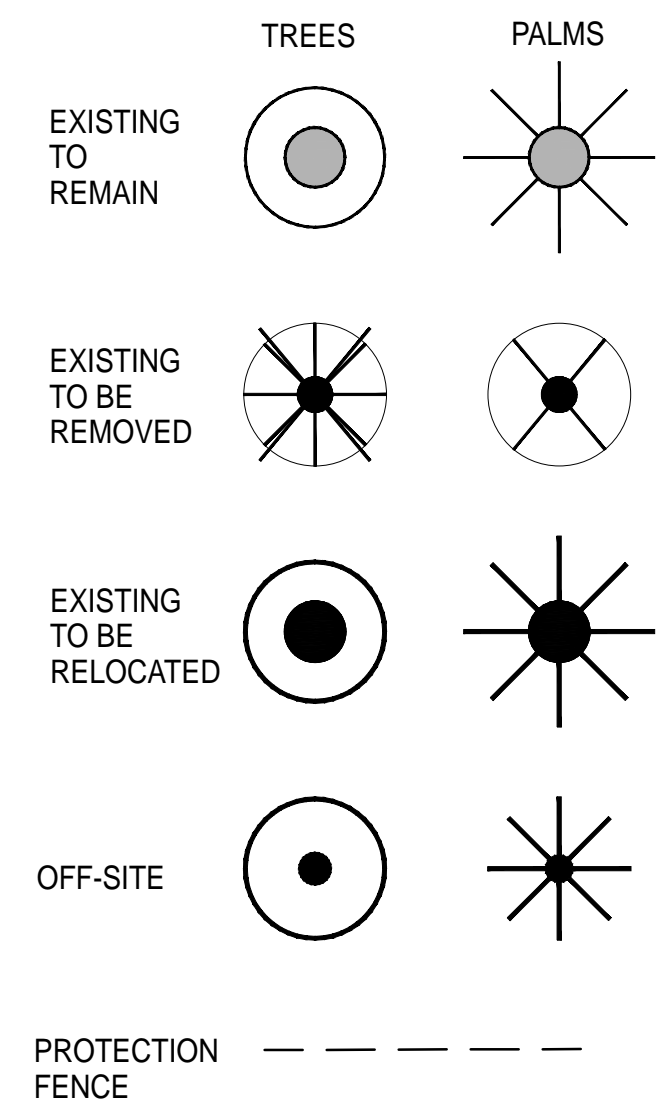
TREE PROTECTION NOTES

1. TREE SURVEY BASED ON ALL AVAILABLE INFORMATION. CONTRACTOR TO REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
2. TREES SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITY THROUGH THE USE OF PROTECTIVE BARRIERS (SEE PROVIDED DETAIL). TREES THAT ARE TO REMAIN SHALL BE CLEARLY IDENTIFIED WITH TAGS. TREE PROTECTION BARRIERS SHALL BE MAINTAINED AROUND THE TREES IN ACCORDANCE WITH THE TREE PROTECTION PLAN APPROVED BY THE DEPARTMENT.
3. PRIOR TO AND DURING DEMOLITION, DEVELOPMENT, OR CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF EACH TREE'S TPZ AND SHALL REMAIN IN PLACE IN ORDER TO PREVENT THE DESTRUCTION OR DAMAGING OF ROOTS, STEMS OR CROWNS OF SUCH TREES. THE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL APPROVED LANDSCAPE OPERATIONS BEGIN.
4. BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE CONSTRUCTION NEEDS, PROVIDED THAT THE MANNER AND PURPOSE FOR SUCH TEMPORARY REMOVAL WILL NOT HARM THE TREES.
5. THE TREES SHALL BE PROPERLY IRRIGATED THROUGHOUT THE BUILDING PROCESS.
6. NO PRUNING OF TREES SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
7. CONTRACTOR SHALL VERIFY ALL EXISTING ABOVE AND UNDERGROUND UTILITIES 48 HOURS PRIOR TO ANY ON-SITE EXCAVATION.
8. CONTRACTOR TO COORDINATE DEMOLITION PLAN WITH ARCHITECTS
9. ANY PLANT MATERIAL SCARRED OR DESTROYED THAT IS DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES AND QUALITY.

TREE DISPOSITION

Tree Number	Botanical Name	Common Name	DBH (Inches)	Height (FT)	Canopy (FT)	Disposition	Condition
1	Bursera simaruba	Gumbo Limbo	16"	20'	25'	Remain	Good
2	Cocos nucifera	Coconut Palm	12"	25'	25'	Relocate	Good
3	Cocos nucifera	Coconut Palm	12"	25'	25'	Relocate	Good
4	Quercus virginiana	Live Oak	16"	25'	25'	-	Offsite
5	Quercus virginiana	Live Oak	16"	25'	25'	-	Offsite
6	Quercus virginiana	Live Oak	16"	25'	25'	-	Offsite
7	Quercus virginiana	Live Oak	12"	20'	20'	-	Offsite

PLANT SYMBOLS



CHRIS CABEZAS
LANDSCAPE ARCHITECTURE, INC.
80 NE 5TH AVENUE
DELRAY BEACH, FL 33483
561.596.6771 | chris@cabezas.com
www.chriscabezaslandscape.com

PROJECT:
166 SE 2ND AVE, DELRAY BEACH, FL 33444
LANDSCAPE PERMIT DRAWINGS
CLIENT:
TAQUIZA

REVISIONS:

No.	Date	Description

SEAL:
LANDSCAPE ARCHITECT: Christopher Cabezas

REGISTRATION NO. RL4 6667347
SHEET TITLE:

TREE DISPOSITION

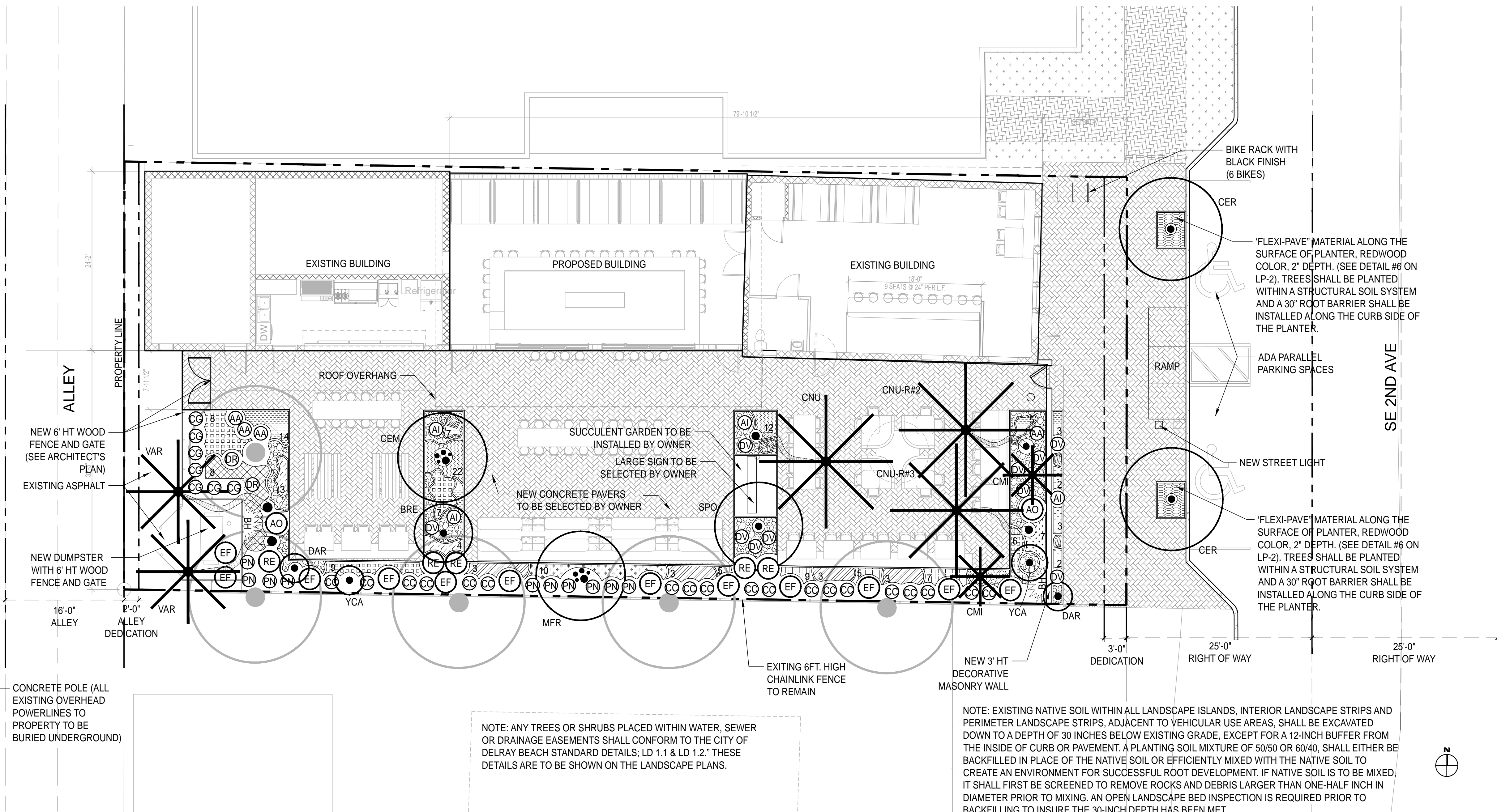
Scale: 1/8" = 1' - 0"
Drawn By: CC
Checked By: CC
Date: 01/15/2020
SHEET NUMBER:

LR-1



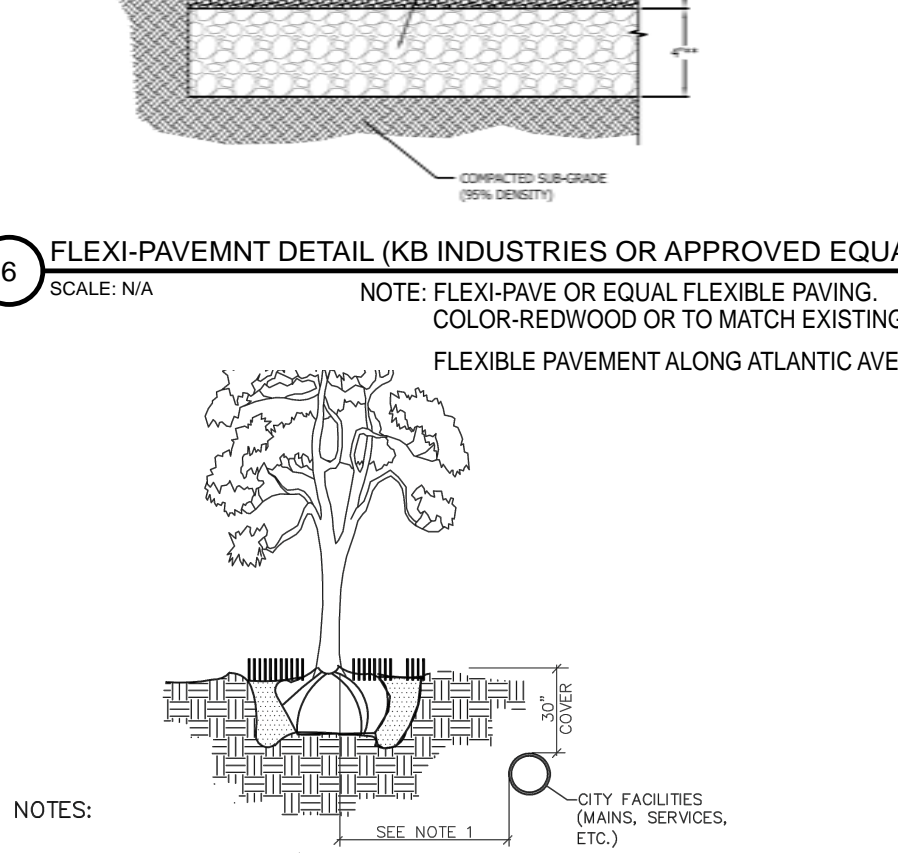
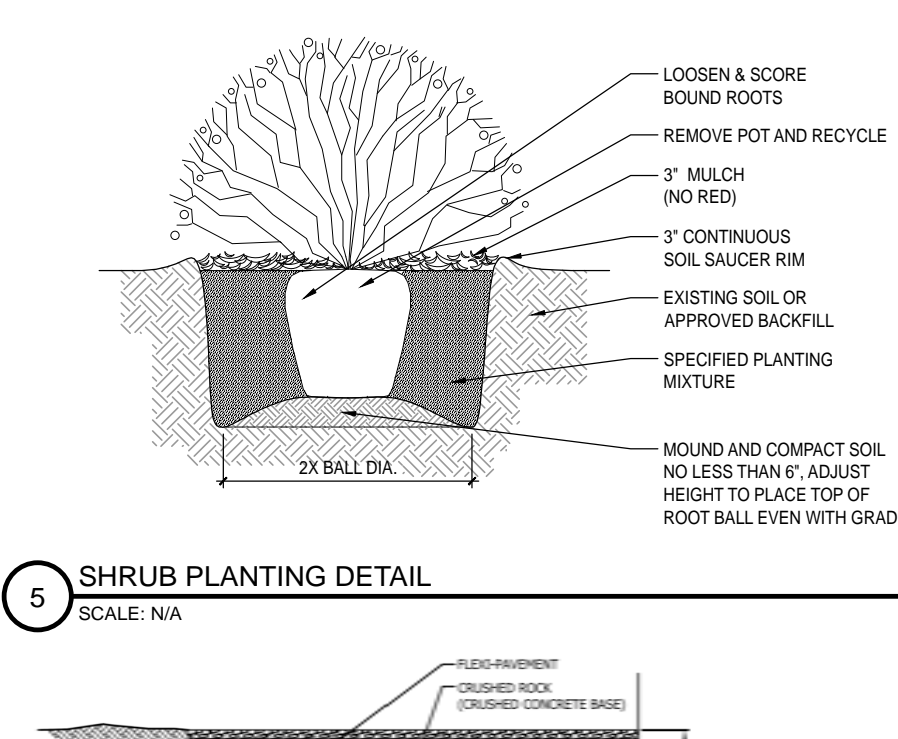
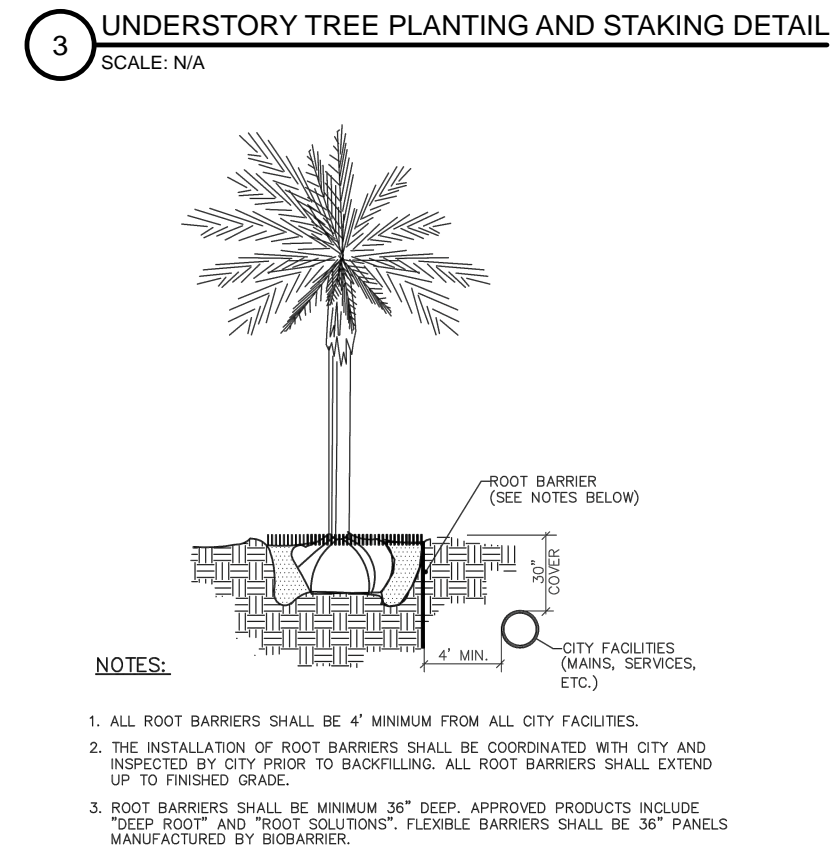
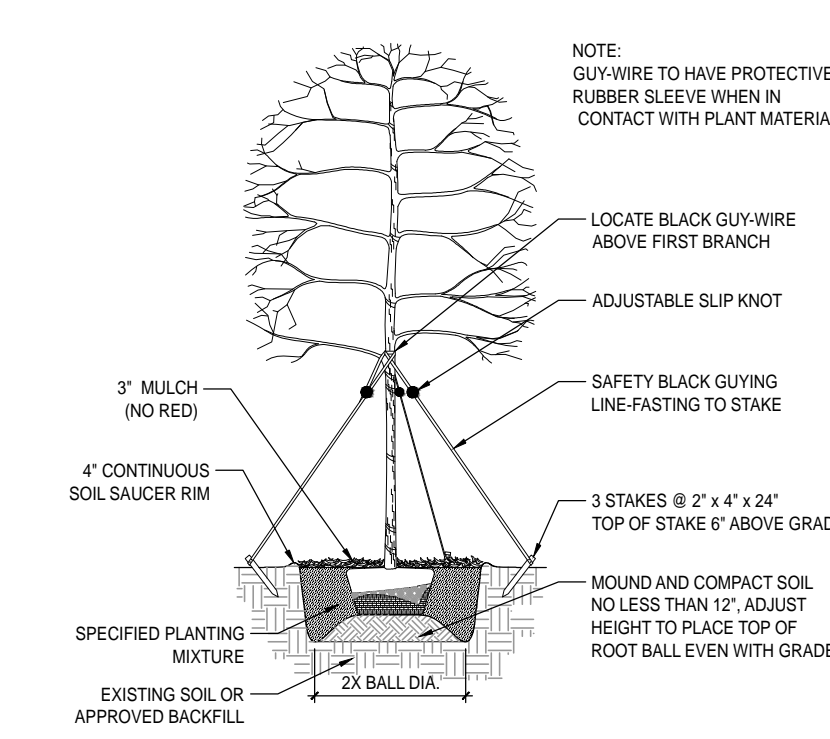
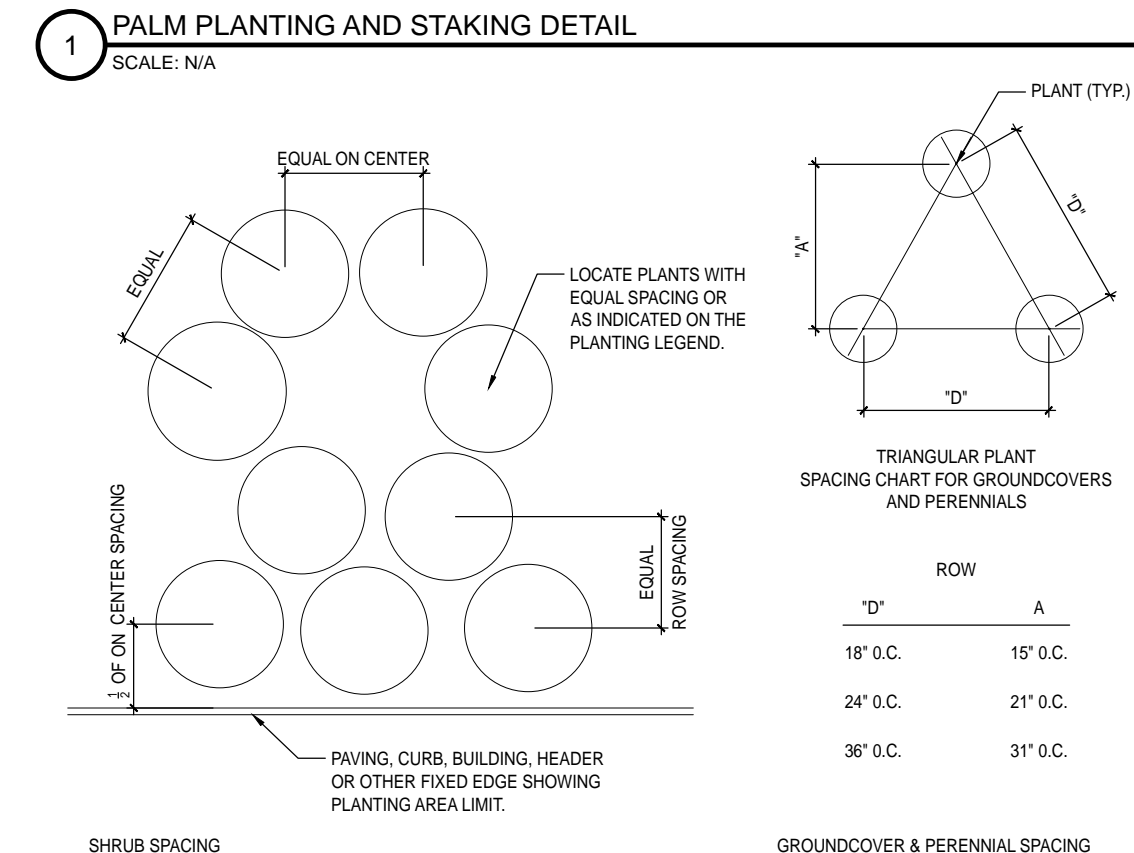
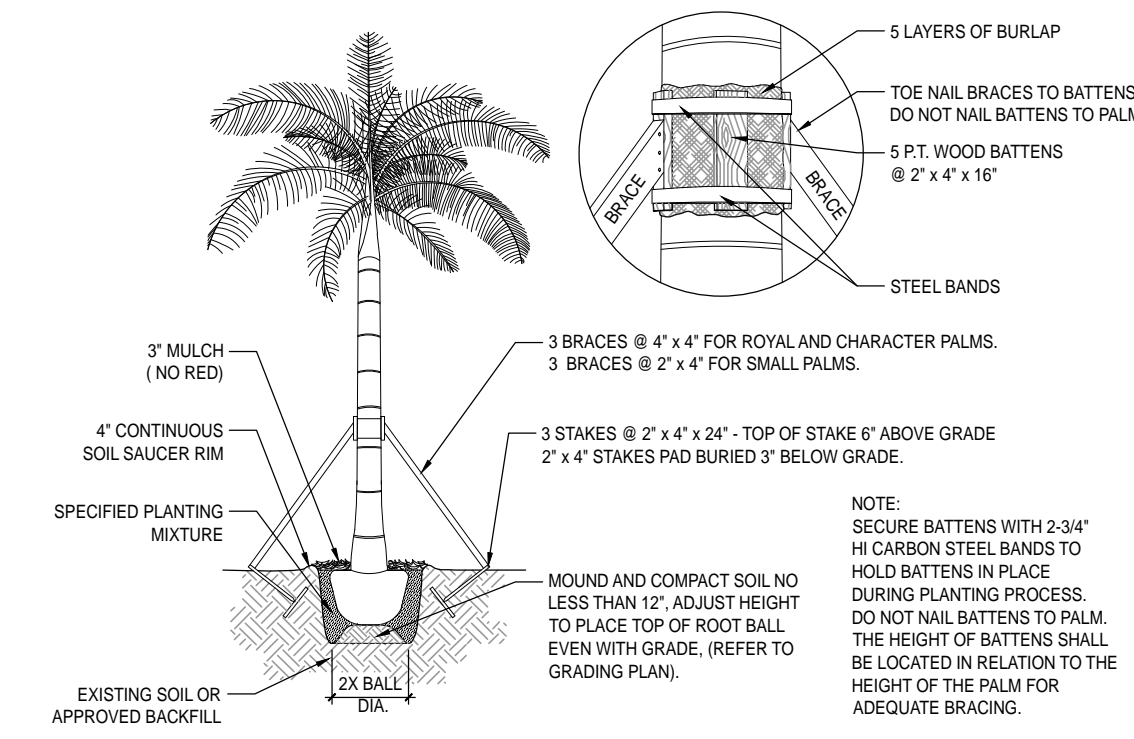
GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO SUBMITTING A BID.
- LANDSCAPE CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- PLANT LIST SHALL TAKE PRECEDENCE OVER PLANTING PLAN IN CASE OF DISCREPANCIES.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLANS SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS.
- ALL SIZES SPECIFIED FOR PLANT MATERIAL ON THE PLAN AND PLANT LIST SHALL BE CONSIDERED MINIMUM.
- ALL PLANT MATERIAL MUST MEET OR EXCEED THE SPECIFIED MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION.
- ALL TREES, PALMS, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF 6 MONTHS FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, THE REMOVAL OF ALL BUILDING CONSTRUCTION DEBRIS AND FOREIGN MATERIAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- SITE PREPARATION SHOULD INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS OR GRASS. REMOVAL AND CLEAN UP OF ANY DEAD MATERIAL AND ROUGH AND FINISH GRADING PER SPECS AND OR LANDSCAPE PLANS.
- FOR PLANT MATERIAL DESIGNATED TO BE REMOVED, THE ENTIRE ROOT SYSTEM SHALL BE DUG AND REMOVED FROM THE SITE.
- ALL PLANTING AREAS SHOULD RECEIVE AN 80/20 MIX FILL SOIL. SAND USED IN PLANTING SOIL MIX SHALL BE SILICA SAND.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRASSES AND STANDARDS FOR NURSERY PLANTS' SECOND EDITION FEB. 1998 INCLUDING REVISIONS AND WHICH MEET OR EXCEED THE SIZES INDICATED IN THE PLANTING SCHEDULE AND DETAILS.
- ALL TREES SHALL BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO BRACING NOTES AND PLANTING DETAILS).
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, ALL REMAINING HOLES SHALL BE BACK FILLED AROUND AND UNDER ROOT BALL.
- ALL EXISTING PLANT MATERIAL TO REMAIN, SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY PLANT MATERIAL SCARRED OR DESTROYED DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES SIZE AND QUALITY.
- ALL TREES AND ALL PLANTING BEDS TO BE TOPPED WITH 3" MIN. "GRADE A" ORGANIC MULCH (MELALEUCA IS PREFERRED, UNLESS OTHERWISE NOTED). (CYPRESS MULCH AND RED MULCH SHALL NOT BE USED).
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 12' HEIGHT TREE, UNLESS NOTED OTHERWISE.
- ALL 1 GALLON MATERIAL SHALL HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 18-24" SPREAD MINIMUM.
- ALL PLANTING AREAS WITHIN THE LIMITS OF WORK SHALL RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECTED BY OWNER. SEE IRRIGATION PLANS FOR ADDITIONAL SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARDED UPON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR SHALL HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER APPROPRIATE CONTRACTORS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- THESE DRAWINGS, DOCUMENTS, AND ALL CONTENTS ARE THE PROPERTY OF CHRIS CABEZAS LANDSCAPE ARCHITECTURE, INC. ALL RIGHTS ARE RESERVED. UNAUTHORIZED USE OR PRODUCTION, IN PART OR WHOLE, FOR ANY PURPOSE IS UNLAWFUL AND PROHIBITED EXCEPT BY EXPRESS WRITTEN CONSENT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS OR APPROVALS FROM THE FEDERAL, STATE OR LOCAL GOVERNMENT REQUIRED FOR THE WORK INCLUDED IN THIS CONTRACT AND ON THESE DRAWINGS.
- NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY UNFORESEEN CONDITIONS, I.E., COMPACTED SOIL/SUBGRADE, POOR DRAINAGE, UNCONSOLIDATED SOIL, EROSION, UTILITY CONFLICTS, EXCESSIVE SUN OR SHADE, ETC., PRIOR TO PROCEEDING WITH LANDSCAPE INSTALLATION.
- ALL PLANTS, MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.



NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2. THESE DETAILS ARE TO BE SHOWN ON THE LANDSCAPE PLANS.

NOTE: EXISTING NATIVE SOIL WITHIN ALL LANDSCAPE ISLANDS, INTERIOR LANDSCAPE STRIPS AND PERIMETER LANDSCAPE STRIPS, ADJACENT TO VEHICULAR USE AREAS, SHALL BE EXCAVATED DOWN TO A DEPTH OF 30 INCHES BELOW EXISTING GRADE, EXCEPT FOR A 12-INCH BUFFER FROM THE INSIDE OF CURB OR PAVEMENT. A PLANTING SOIL MIXTURE OF 50/50 OR 60/40, SHALL EITHER BE BACKFILLED IN PLACE OF THE NATIVE SOIL OR EFFICIENTLY MIXED WITH THE NATIVE SOIL TO CREATE AN ENVIRONMENT FOR SUCCESSFUL ROOT DEVELOPMENT. IF NATIVE SOIL IS TO BE MIXED, IT SHALL FIRST BE SCREENED TO REMOVE ROCKS AND DEBRIS LARGER THAN ONE-HALF INCH IN DIAMETER PRIOR TO MIXING. AN OPEN LANDSCAPE BED INSPECTION IS REQUIRED PRIOR TO BACKFILLING TO INSURE THE 30-INCH DEPTH HAS BEEN MET.



AREA CALCULATIONS

Total Site Area	7,712 S.F.
Total Vehicular Use Area	3,600 S.F.
Total Impervious Area	6,461 S.F.
Total Pervious Area	1,251 S.F.
Total Landscape Area	1,091 S.F.
Street Frontage	58 L.F.

LANDSCAPE REQUIREMENTS - COMMERCIAL

DESCRIPTION	Required/Allowed	Provided
Street Trees 1 Tree / 30 L.F.	2	2
Interior Landscape Area (15% of VUA)	360 S.F.	1,051 S.F.
Total Shrubs / Groundcover (30% of total interior landscape area)	315 S.F.	1051 S.F.
Native Vegetation (25% of total shrub area provided)	90 S.F.	+/- 260 S.F.
Interior Trees 1 Tree / 125 S.F. of Required Interior Landscaping	3	7
Native Trees	50%	77%

PLANT SCHEDULE

TREES	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
CEM	1	Conocarpus erectus	Green Buttonwood	✓	✓	16' HT, 8 CT, 7 SPR	Multi-trunk with Character
CER	2	Conocarpus erectus	Green Buttonwood	✓	✓	16' HT, 8 CT, 7 SPR	Standard; 6' Straight Trunk
SPO	1	Senna polyphylla	Desert Cassia			10' HT, 4' SPR	Standard; 6' Straight Trunk
MFR	2	Myrsine fragrans	Simpson's Stopper	✓	✓	10-12' HT, 5 CT, 5' SPR	Multi-trunk with Character

PALMS	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
BRE	1	Beaucarnea recurvata	Ponytail Palm			6-8' HT	With Character
CMI	2	Coccothrinax miraguama	Same			6-8' HT, 4-5' CT	
CNU	1	Cocos nucifera	Coconut Palm	✓	✓	16-18' HT Min.	To Match Existing Coconuts
CNU-R	2	Cocos nucifera	Coconut Palm	✓	✓	18' HT	Relocated From Onsite
VAR	2	Veitchia arecina	Montgomery Palm			16-18' HT Min.	Single

LARGE SHRUBS

EF	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
EF	12	Eugenia foetida	Spanish Stopper	✓	✓	6-8' HT, Full to Bottom	
CC	19	Capparis cynophallophora	Jamaican Caper	✓	✓	3-4' HT, Full to Bottom	
PN	10	Psychotria nervosa	Wild Coffee	✓	✓	3-4' HT, Full to Bottom	
CG	7	Clusia guttifera	Small Leaf Clusia	✓	✓	4-5' HT, Full to Bottom	
RE	5	Rhapis excelsa	Lady Palm			3-4' HT, Full to Bottom	

VINES

BH	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
BH	2	Bougainvillea 'Hawaiian Torch'	Bougainvillea 'Pink Pixie'		✓	3-4' HT, Full to Bottom	

SHRUBS

CN	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
CN	30	Clusia rosea 'Nana'	Dwarf Clusia	✓	✓	3 Gallon, Full	24" O.C.
ZZ	7	Zamia ocazamlia	ZZ Plant	✓	✓	3 Gallon, Full	24" O.C.
PB	10	Philodendron 'Burle Marx'	Same			3 Gallon, Full	24" O.C.
SC	7	Sansevieria cylindrica	Snake Plant	✓	✓	3 Gallon, Full	24" O.C.
TF	8	Tripsacum floridanum	Dwarf Fakahatchee	✓	✓	3 Gallon, Full	24" O.C.
DV	10	Dietes vegeta	White African Iris	✓	✓	3 Gallon, Full	24" O.C.
DR	2	Dracaena reflexa 'Variegata'	Song of India'	✓	✓	3 Gallon, Full	24" O.C.

GROUND COVERS

LM	QTY	Scientific Name	Common Name	Native	Drought Tolerant	Specs	Notes
LM	26	Liriope muscari 'Super Blue'	Lilyturf	✓	✓	1 Gallon, Full	12" O.C.
BF	29	Bulbine frutescens 'Orange'	Desert Candies	✓	✓	1 Gallon, Full	12" O.C.
NF	34	Neoregelia 'Fireball'	Bromeliad	✓	✓	1 Gallon, Full	12" O.C.

PLANTING AND MATERIALS LEGEND

PORTEA 'JUNGLES'		TRIPSACUM FLORIDANA	
LIRIOPE 'SUPER BLUE'		BULBINE FRUTSCENS	
PHILODENDRON 'BURLE MARX'		CLUSIA ROSEA 'NANA'	
SANSEVERIA CYLINDRICA		NEOREGELIA 'FIREBALL'	
TAN GRAVEL (VARIED SIZES)		ZZ PLANT	
FLEXI-PAD		LARGE TAN BOULDER	

PROPOSED:

TREE		CHARACTER PALM	
PALM		SHRUB / ACCENT PLANT	

EXISTING:

EXISTING TREE		EXISTING PALM	
---------------	--	---------------	--

CHRIS CABEZAS
LANDSCAPE ARCHITECTURE, INC.
80 NE 5TH AVENUE
DELRAY BEACH, FL 33483
561.596.6771 | chris@chriscabezas.com
www.chriscabezaslandscape.com

PROJECT: 166 SE 2ND AVE, DELRAY BEACH, FL 33444
LANDSCAPE PERMIT DRAWINGS
CLIENT: TAOQUA

REVISIONS:

No.	Date	Description

REGISTRATION NO. RL 6667347
SHEET TITLE: LANDSCAPE PLAN
Scale: 1/8" = 1' - 0"
Drawn By: CC
Checked By: CC
Date: 01/15/2020
SHEET NUMBER: LP-1



CHRIS CABEZAS
LANDSCAPE ARCHITECTURE, INC.
80 NE 5TH AVENUE
DELRAY BEACH, FL 33483
561.596.6771 | chris@cabezas.com
www.chriscabezaslandscape.com

PROJECT:
166 SE 21NS AVE, DELRAY BEACH, FL 33444
LANDSCAPE PERMIT DRAWINGS
CLIENT:
TAOUIZA

REVISIONS:

No.	Date	Description

SEAL:
LANDSCAPE ARCHITECT Christopher Cabezas

REGISTRATION NO. RL6667347

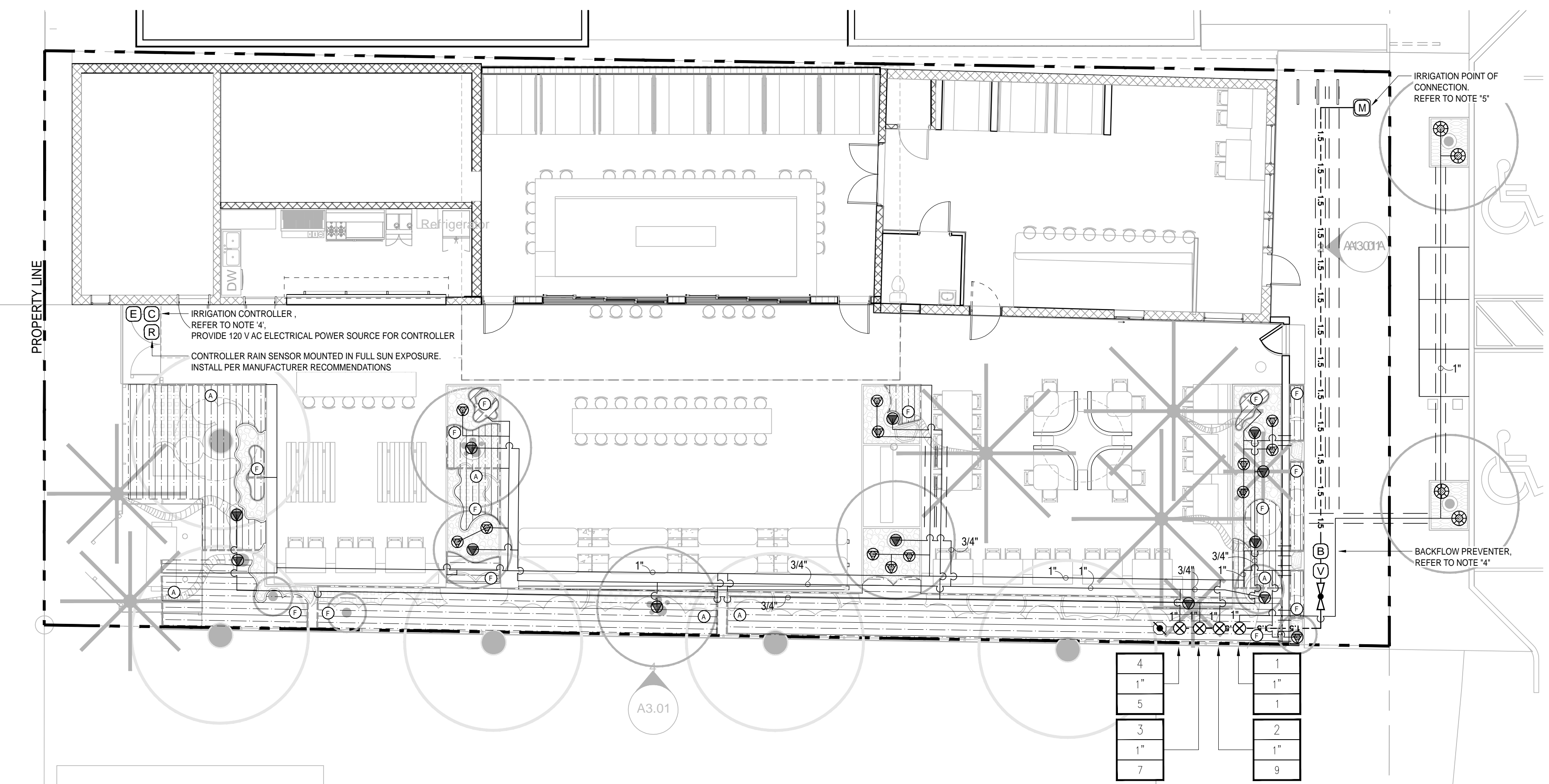
SHEET TITLE:

IRRIGATION PLAN,
NOTES AND DETAILS

Scale: 1/8" = 1'-0"
Drawn By: JS
Checked By: CC
Date: 01/17/2020

SHEET NUMBER:

IR-1



IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION
	HUNTER	PROS-06-PRS30-CV POP-UP BUBBLER HEAD W/ MSBN-500 BUBBLE NOZZLE (0.50 GPM EA. AT 30 PSI), EACH SYMBOL REPRESENTS TWO BUBBLERS PER TREE, PLACE BUBBLERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE TYPICAL.
	RAINBIRD	RWS-M-B-C-1401: MINI ROOT WATERING SYSTEM WITH 18" (45.7 CM) TUBE, 0.25 GPM (0.95 L/M) BUBBLER & CHECK VALVE ON RISER, 4" (10.2 CM) GRATE, 1/2" (15.21) M NPT INLET SPIRAL BARB ELBOW
	HUNTER	PLD-06-12 DRIP TUBING WITH 0.60 GPH EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. EMITTERS SHALL BE PRESSURE COMPENSATING AND EQUIPPED WITH AN INTERNAL CHECK VALVE. USE PLD-06-12 TUBING IN SHRUB AND GROUND COVER AREAS 4" BELOW FINISHED SOIL GRADE AND AT A MAXIMUM TUBING SPACING OF 16" ON CENTER. INSTALL THE ROW ADJACENT TO PAVING OR CURB EDGE A MAXIMUM OF 4" OFF OF THE EDGE. INSTALL 6" GALVANIZED STEEL JUTE WIRE STAPLES A MAXIMUM OF FIVE FEET ON CENTER ALONG THE LENGTH OF THE TUBING.
	HUNTER	SD-T SOLO-DRIP W/ 10-32 THREADS, 360°
	HUNTER	PLD 17mm BARBED FITTINGS FOR ALL CONNECTIONS BETWEEN DRIP TUBING
	HUNTER	PLD-050 17mm BARB X 1/2" MIPT MALE ADAPTERS WITH PVC TEE OR ELL FITTINGS FOR CONNECTION BETWEEN PVC LINES AND DRIP TUBING
	HUNTER	PLD-AVR AIR/VACUUM RELIEF VALVE INSTALLED WITH PLD075BTBEE BARB X 3/4" FIPT TEE FITTING AND A 3/4" X 1/2" PVC REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY AT THE HIGH POINT OF EACH PLANTER. INSTALL A MINIMUM OF ONE (1) ARV FOR EVERY 500 FEET OF DRIP TUBING IN ANY GIVEN DRIP ZONE. USING AN AIR RELIEF LATERAL, CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA. MULTIPLE ARV'S SHALL BE REQUIRED PER RCV WITHIN UNDULATING AREAS, VERIFY QUANTITY PRIOR TO STARTING WORK.
	HUNTER	GDFN DRIP FLUSH / INDICATOR NOZZLE. ORANGE IN COLOR, INSTALLED ONTO A HUNTER PROS-12 12" POP-UP SPRINKLER BODY. THE FLUSH NOZZLE SHALL BE ORIENTED TO SEND FLUSH WATER INTO THE PLANTER AREA AND CLOSED FOR NORMAL OPERATION OF THE DRIP SYSTEM.
	P.O.C.	1-1/2" POTABLE SUB-METER WITH 1-1/2" SERVICE LINE, VERIFY SIZE, LOCATION, AND STATIC WATER PRESSURE IN FIELD
	WILKINS	975XLS, 1-1/2" R/P BACKFLOW PREVENTION DEVICE WITH 1-1/2" WYE STRAINER
	HUNTER	ICV-101G 1" NORMALLY CLOSED, PLASTIC MASTER CONTROL VALVE
	LASCO	SLO-CLOSE SCH. 80 PVC TRUE-UNION BALL VALVE WITH SOLVENT WELD CONNECTIONS, LINE SIZE
	HUNTER	HQ-33DLRC QUICK COUPLER VALVE, INSTALL WITHIN 10" ROUND VALVE BOX
	HUNTER/TORO	ICV-101G-FS (1") SERIES DRIP REMOTE CONTROL VALVE ASSEMBLY, INSTALL TORO T-ALFD75159-L, 3/4" DISC FILTER AND SENNINGER PRESSURE REGULATOR PMR-MF-40. INSTALL BOTH ON THE DOWNSTREAM SIDE OF EACH DRIP REMOTE CONTROL VALVE
	RAIN BIRD	CONTROLLER SHALL BE A ESP-36LXMEF SERIES, 12-STATION BASE CONTROLLER WITH FLOW SMART MODULE AND 2x ESPLXMSM12 12-STATION MODULES FOR TOTAL CAPACITY OF 36-STATIONS. CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN ON PLANS, APPROXIMATELY 4'-6" ABOVE FINISH GRADE. COORDINATE FINAL LOCATION WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
	RAIN BIRD	RSD-BEX SERIES RAIN SENSOR WITH METAL BRACKET, MOUNT TO TOP OF WALL IN FULL SUN EXPOSURE AND WIRE TO CONTROLLER
	N/A	120 VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD
	AS APPROVED	PVC PIPE 3/4" - 1-1/4" SCH. 40 AS LATERAL LINES 12" BELOW GRADE
	AS APPROVED	PVC PIPE 1-1/2" SCH. 40 SOLVENT WELD AS MAINLINES 18" BELOW GRADE, ALL FITTINGS SHALL RECEIVE THRUST BLOCKING
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED PLACE BELOW ALL PAVING, HARDSCAPE ETC. AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.
	LASCO	ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE WITH MOLDED THREADS.
	PAIGE ELECTRIC	P7079D POLYETHYLENE INSULATED, SOLID COPPER CONDUCTOR IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
	GPH IRRIGATION	GDBRY6 DIRECT BURIAL WIRE CONNECTORS FOR USE ON ALL WIRE SPLICES AND CONNECTIONS
	RAIN BIRD	VB SERIES VALVE BOXES, BLACK BOXES AND BLACK LIDS WITH PENTA HEAD BOLT, WASHER AND CLIP

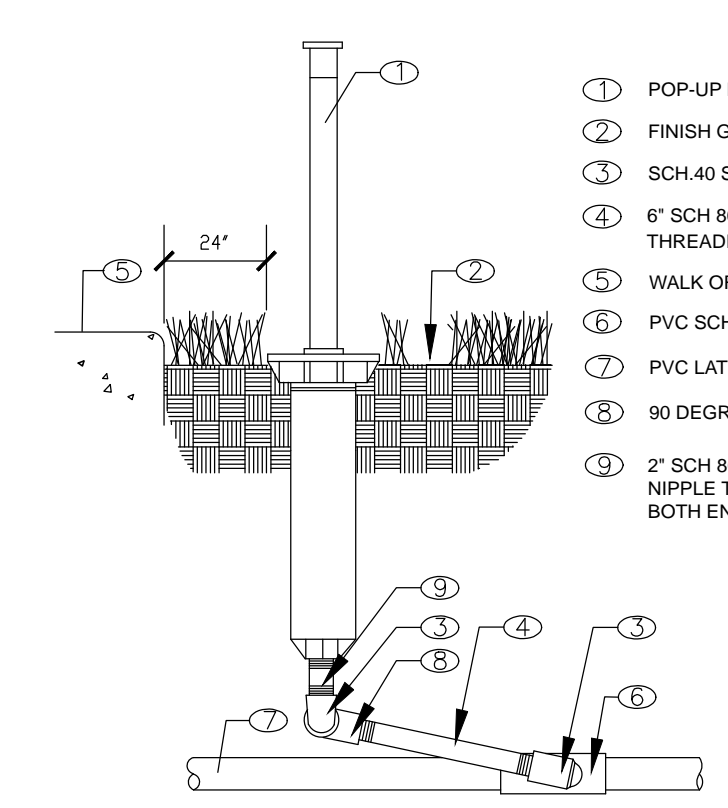
DESCRIPTION	(BLACK BOXES AND BLACK LIDS)
7" ROUND BOXES	VB-7RND (BOX) AND VB-7RNDL (LID)
10" ROUND BOXES	VB-10RND (BOX) AND VB-10RNDL (LID)
STANDARD RECTANGULAR BOXES	VB-STDB (BOX) AND VB-STDBL (LID)
JUMBO RECTANGULAR BOXES	VB-JMB (BOX) AND VB-JMBL (LID)

VALVE CALLOUT LEGEND

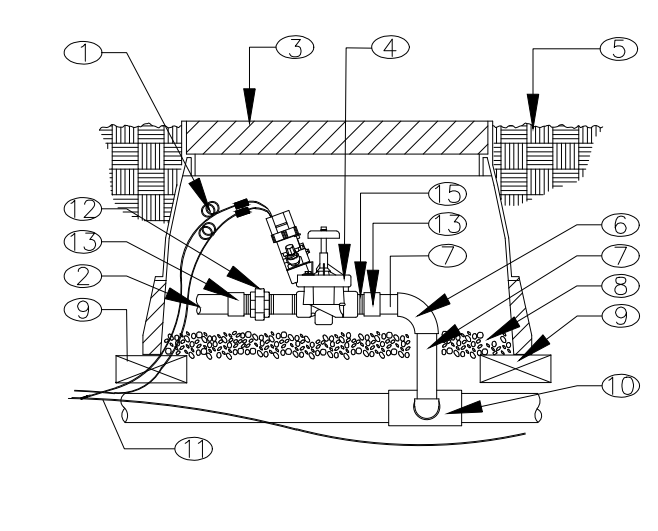
	STATION NUMBER
	VALVE SIZE IN INCHES
	FLOW RATE IN G.P.M.

IRRIGATION NOTES

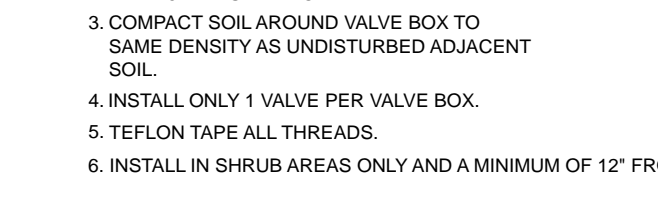
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- ALL MAINLINE, LATERAL LINE AND CONTROL WIRE CONDUIT UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED.
- INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES.
- FINAL LOCATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- VERIFY THE ACTUAL METER LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWINGS IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE ELECTRICAL CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM SPRAY WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- THIS DESIGN IS DIAGRAMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS WHERE POSSIBLE.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- DO NOT WILLINGLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL INSTALL CHECK VALVES ON ALL HEADS IN AREAS WHERE FINISH GRADE EXCEEDS 4'-1", WHERE POST VALVE SHUT-OFF DRAINING, OF THE IRRIGATION HEAD OCCURS OR AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE 1800 PCS (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY ONTO STREETS, WALKS OR OTHER AREAS AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL CONTROL WIRES SHALL BE INSTALLED IN PVC CONDUIT.
- ALL REMOTE CONTROL VALVES, GATE VALVES, QUICK COUPLERS, CONTROL WIRE AND COMPUTER CABLE PULL POINTS SHALL BE INSTALLED IN APPROVED VALVE BOXES WITH COVERS.
- LATERAL LINE AND MAINLINE PIPING WITHIN BUILDING SHALL BE TYPE B COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY PLUMBING ENGINEER AND INSTALLED BY PLUMBING CONTRACTOR. ALL PIPING THROUGH THE BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.



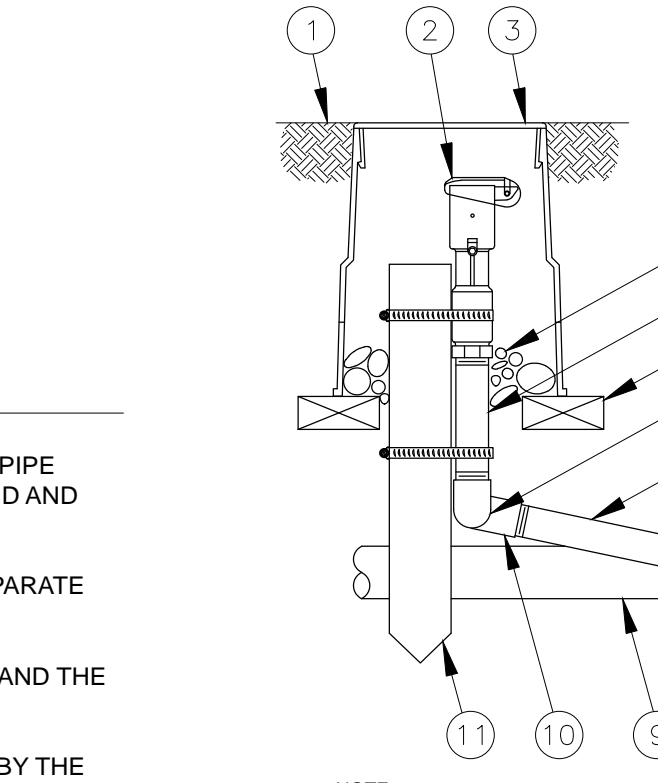
1 POP-UP SPRINKLER/TREE BUBBLER
N.T.S.



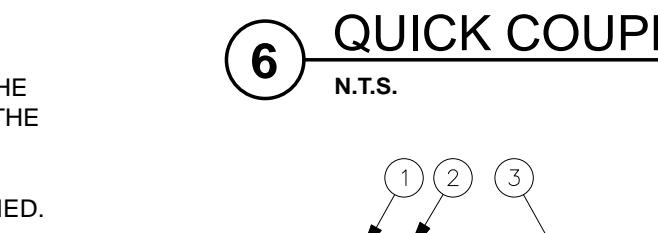
2 ROOT WATERING SYSTEM
N.T.S.



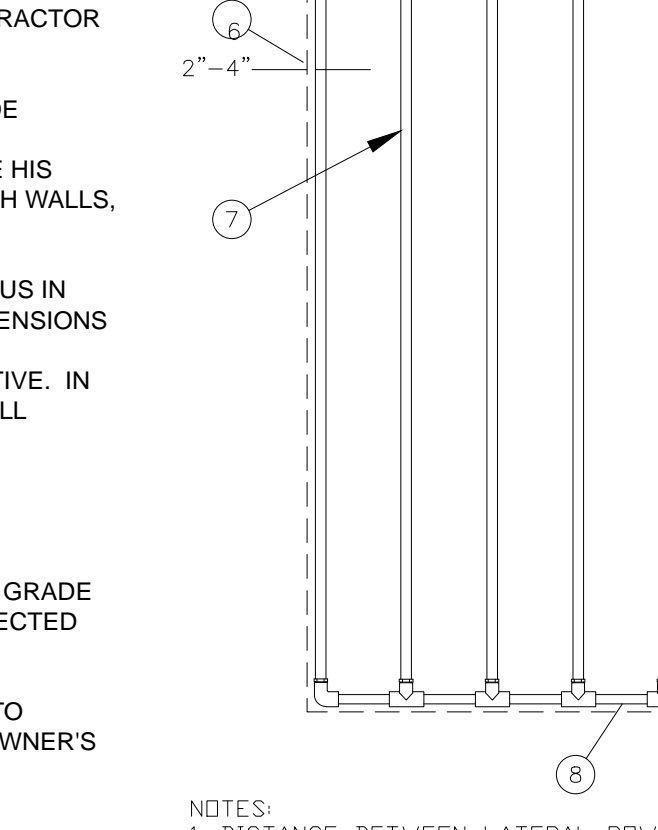
3 REMOTE CONTROL VALVE
N.T.S.



4 QUICK COUPLING VALVE
N.T.S.



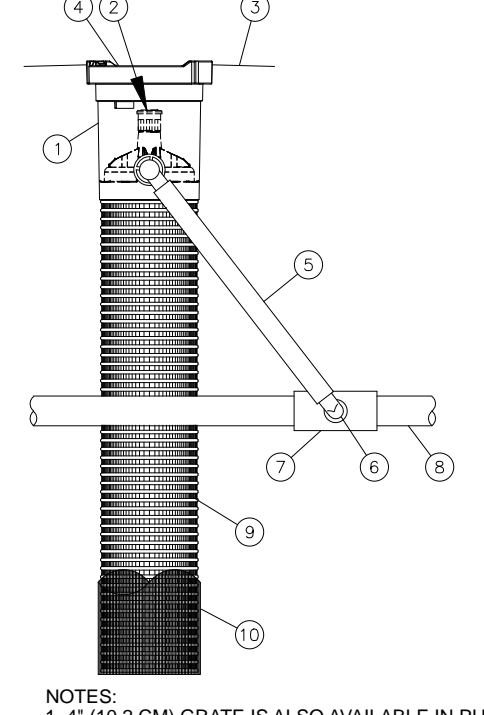
5 RAIN SENSOR (RSD-BEX)
N.T.S.



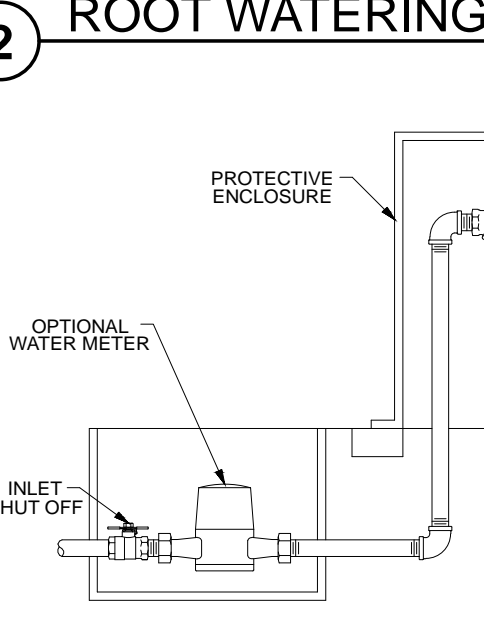
6 BALL VALVE
N.T.S.



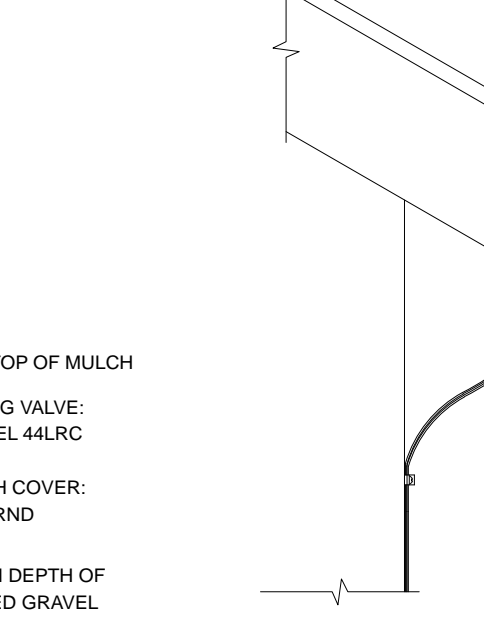
7 DRIP IRRIGATION
N.T.S.



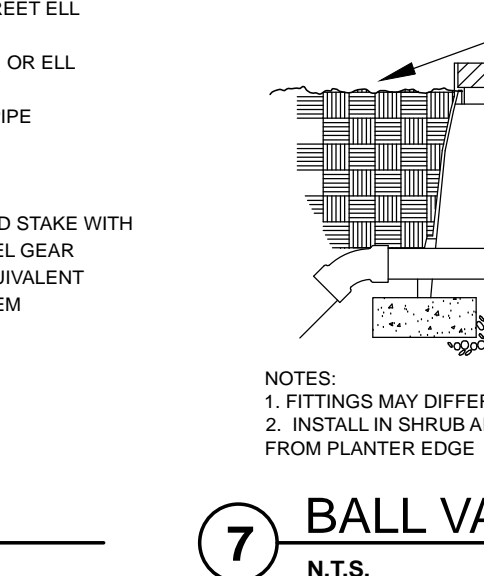
8 R/P BACKFLOW PREVENTER - HORIZONTAL
N.T.S.



9 FINISH GRADE/TOP OF MULCH
N.T.S.



10 FLORIDA BUILDING CODE - APPENDIX F PART V- A-6



11 FLORIDA BUILDING CODE - APPENDIX F PIPE INSTALLATION-DEPTH OF COVER

PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 2 1/2"	18" TO 24"
3" TO 5"	24" TO 30"
6" OR GREATER	30 TO 36"

FLORIDA BUILDING CODE - APPENDIX F PIPE INSTALLATION-DEPTH OF COVER

PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	6" TO 12"
1 1/2" TO 2"	12" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"

XFCV Dripline Maximum Lateral Lengths (Feet)

Inlet Pressure psi	12' Spacing		18' Spacing	
	Nominal Flow (gph)	Flow (gph)	Nominal Flow (gph)	Flow (gph)
20	0.6	0.9	0.6	0.9
30	1.92	1.36	2.54	2.15
40	2.89	2.05	4.02	3.37
50	3.97	2.81	5.73	4.77
60	4.36	3.09	6.37	5.29