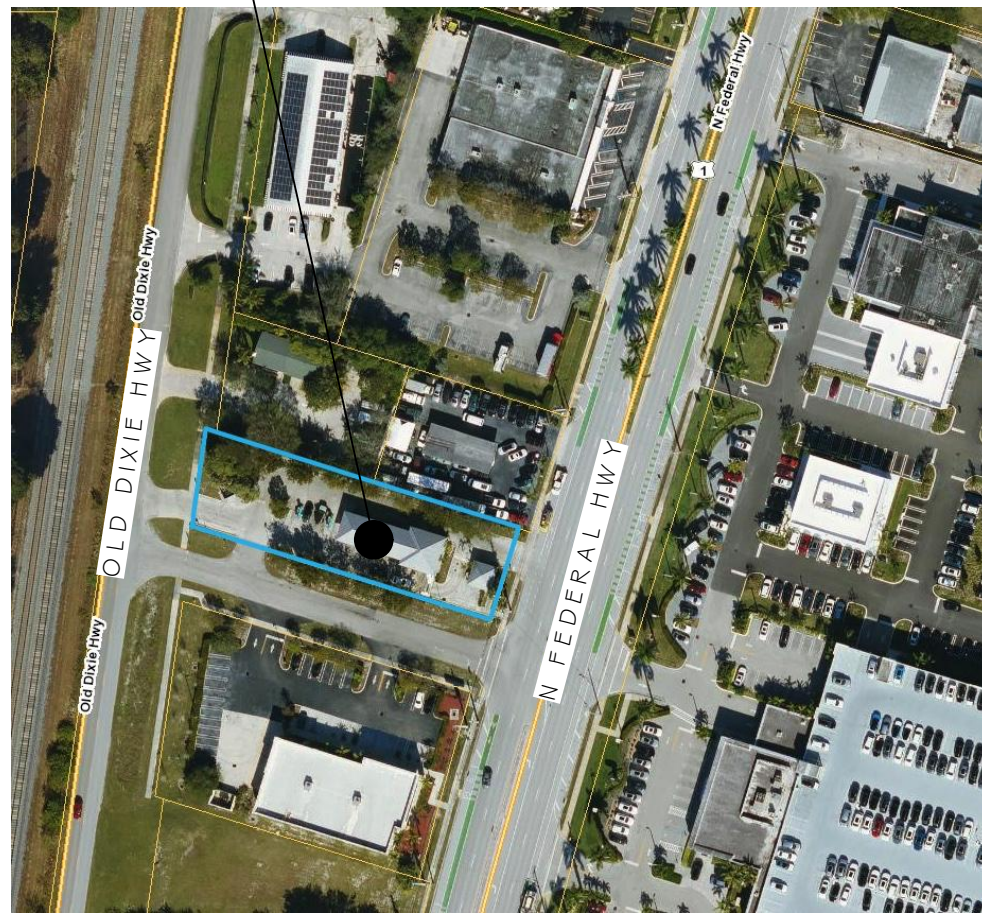


LOCATION MAP:

PROJECT LOCATION



LENNY'S CARWASH

2210 N FEDERAL HWY

DELRAY BEACH, Florida 33483

ARCHITECTURAL RENDERING:



LIST OF DRAWINGS:

CS.1	COVER SHEET
SP1.0	DEMOLITION SITE PLAN
SP1.1	SITE PLAN
SP1.2	SITE PLAN DETAILS
LS1.1	LIFE SAFETY PLAN
A1.1	GROUND FLOOR PLAN
A4.2	ELEVATIONS
SL1.0	SITE LIGHTING
ST1.1	PRELIM. STAGING PLAN

GENERAL NOTES:

- ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. ONLY REQUESTED SHOP DRAWINGS AND SUBMITTALS TO BE PROVIDED TO ARCHITECT FOR REVIEW, ALL OTHERS TO BE APPROVED AND REVIEWED BY G.C.
- ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.
- ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY LOCAL MUNICIPALITY OR A LICENSED CIVIL ENGINEER OR LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT AND ENGINEER OF RECORD BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK. THE CIVIL ENGINEER OF RECORD SHALL ESTABLISH THE "+0.0" FINISHED FLOOR BASE ELEVATION - REFERENCE CIVIL ENGINEERING PLANS FOR THE HEIGHT.

ABBREVIATIONS:

@	AT	H.C.	HOLLOE CORE
ACT	ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJ.	ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION. & AIR CONDITIONING
A.B.	ANCHOR BOLT		
A.C.	AIR CONDITIONING	INSUL.	INSULATION
AFF	ABOVE FINISH FLOOR	INV.	INVERT
ALUM.	ALUMINUM	LAM.	LAMINATED
ALT.	ALTERNATE	MAT.	MATERIAL
BD.	BOARD	M.C.	MECHANICAL CONTRACTOR
BLDG.	BUILDING	M.H.	MAN HOLE
B.M.	BENCH MARK	MLDG.	MOLDING
B.O.	BOTTOM OF	MTL. MET.	METAL
BRG.	BRIDGING OR BEARING	MIN.	MINIMUM
C/C	CENTER TO CENTER	M.T.	METAL THRESHOLD
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.B.	CATCH BASIN	NOM.	NOMINAL
C.I.	CAST IRON	O.C.	ON CENTER
CER.	CERAMIC	OPG.	OPENING
CLG.	CEILING	O.W.	OPEN WEB
C.O.	CLEAN OUT	P.C.	PLUMBING CONTRACTOR
CONC.	CONCRETE	PL	PLATE
COORD.	COORDINATE	PT.	PRESSURE TREADED
COL.	COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONT.	CONTINUOUS	R.A.	RETURN AIR
DET.	DETAIL	RM.	ROOM
DN.	DOWN	REQ'D	REQUIRED
DK.	DECK	REIN.	REINFORCING
D.S.	DOWN SPOUT	S.B.	SPALSH BLOCK
D.W.	DRY WALL	SCH.	SCHEDULE
DWG.	DRAWING	SEC.	SECTION
E.C.	ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
EL. ELEV.	ELEVATION	SIM.	SIMILAR
ELEC.	ELECTRICAL	S.S.	STAINLESS STEEL
EX./EXIST	EXISTING	S.V.B.	STRAIGHT VINYL BASE
EXP.	EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
F.E.	FIRE EXTINGUISHER	T.O.	TOP OF
F.F.	FINISHED FLOOR	T.O.F.	TOP OF FOOTING
FIN.	FINISH	T.O.P.	TOP OF PLATE
FLR.	FLOOR	T.O.S.	TOP OF STEEL
F.S.	FULL SIZE	TYP.	TYPICAL
F.T	FOOT OR FEET	THK.	THICK OR THICKNESS
FTG.	FOOTING	T&G	TONGUE AND GROOVE
G.C.	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GL.	GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
G.PT.	GLAZED PAINT	V.C.B.	VINYL COVE BASE
GYP.	GYP SUM	VIF	VERIFY IN FIELD
GWB	GYP SUM WALL BOARD	W/	WITH
H.B.	HOSE BIB	W.I.	WROUGHT IRON
HGT.	HEIGHT	WD.	WOOD
HRDR	HARDENER	W.W.F.	WELDED WIRE FABRIC

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1 x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2 x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8\"
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8\"
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING, (5FAB) & 5/8\"
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER
	ELEVATION MARK
	ROOM NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE
	WINDOW TAG- REFER TO WINDOW SCHEDULE
	WALL DETAIL, REFER TO PARTITION DETAILS
	FIXTURE TAG
	SECTION LETTER
	WALL SECTION
	BUILDING SECTION
	DETAIL

PROJECT DATA:

PROJECT DESCRIPTION:

NEW FREESTANDING 1 STORY CARWASH BUILDING (AUTOMATED) ON AN EXISTING SELF SERVICE CAR WASH.

PROJECT INFORMATION:

OWNER: EQUITABLE REOF LLC
ADDRESS: 2210 N FEDERAL HWY
DELRAY BEACH, 33483

FOLIO: 12-43-46-04-35-000-0010

LEGAL: NORTH FEDERAL HIGHWAY REPL LT 1

ZONING AND CODE INFORMATION:

ZONING: GC - GENERAL COMMERCIAL
CONSTRUCTION TYPE: II-B
ALTERATION LEVEL: NEW CONSTRUCTION
CURRENT USE: CARWASH
PROPOSED USE: CARWASH

FLORIDA BUILDING CODE:
FBC-2023 8th EDITION BUILDING CODE
FBC EC= FLORIDA BUILDING CODE ENERGY CONSERVATION 2023
NEC= NFPA 70 2020 EDITION, NATIONAL ELECTRICAL CODE
FS= FLORIDA STATUTES
FLORIDA FIRE PREVENTION CODE, 8TH EDITION
NFPA 101: LIFE SAFETY CODE 2021 EDITION
ACCESSIBILITY CODE: 2023 FLORIDA ACCESSIBILITY CODE



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PROJECT NO: 25-665

DATE: 2/8/2026

DRAWN BY: SK

CHECKED BY: S.S.

DELTA	REV #	REVISION	DATE
	1	SPA COMMENTS	3/22/2026
	2	SPA COMMENTS	5/21/26
	3	SPA COMMENTS	6/24/26
	4	SPA COMMENTS	7/28/26

COVER SHEET

CS.1

DESIGN TEAM:

OWNER:
EQUITABLE REOF LLC

LANDSCAPE:
THOMAS WHITE, ASLA-ISA 110
2600 NE 27TH AVE,
FT. LAUDERDALE, FL 33306
(954) 253-2265
tcawhite@bellsouth.net

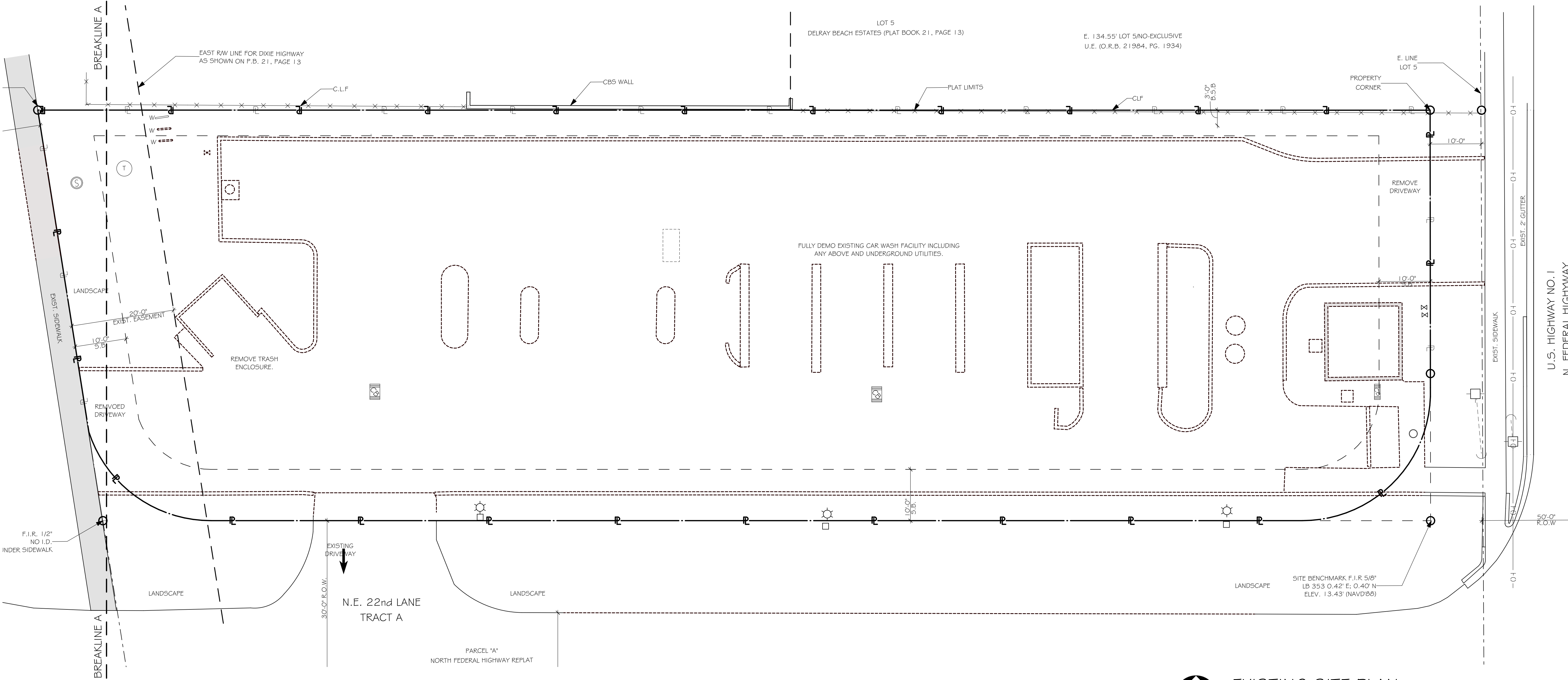
MEP ENGINEER:
ITN'L CONSULTING ENGR & DESIGN
4310 W. BROWARD BLVD,
PLANTATION, FL 33317
(561) 707-6795
joe@icedengineering.com

SURVEYOR:
ACCURATE LAND SURVEYORS, INC
1150 E. ATLANTIC BLVD.
POMPANO BEACH, FL 33060
(954) 782-1441
EMAIL@EMAIL.COM

ARCHITECT:
STEVE SIEBERT ARCHITECTURE
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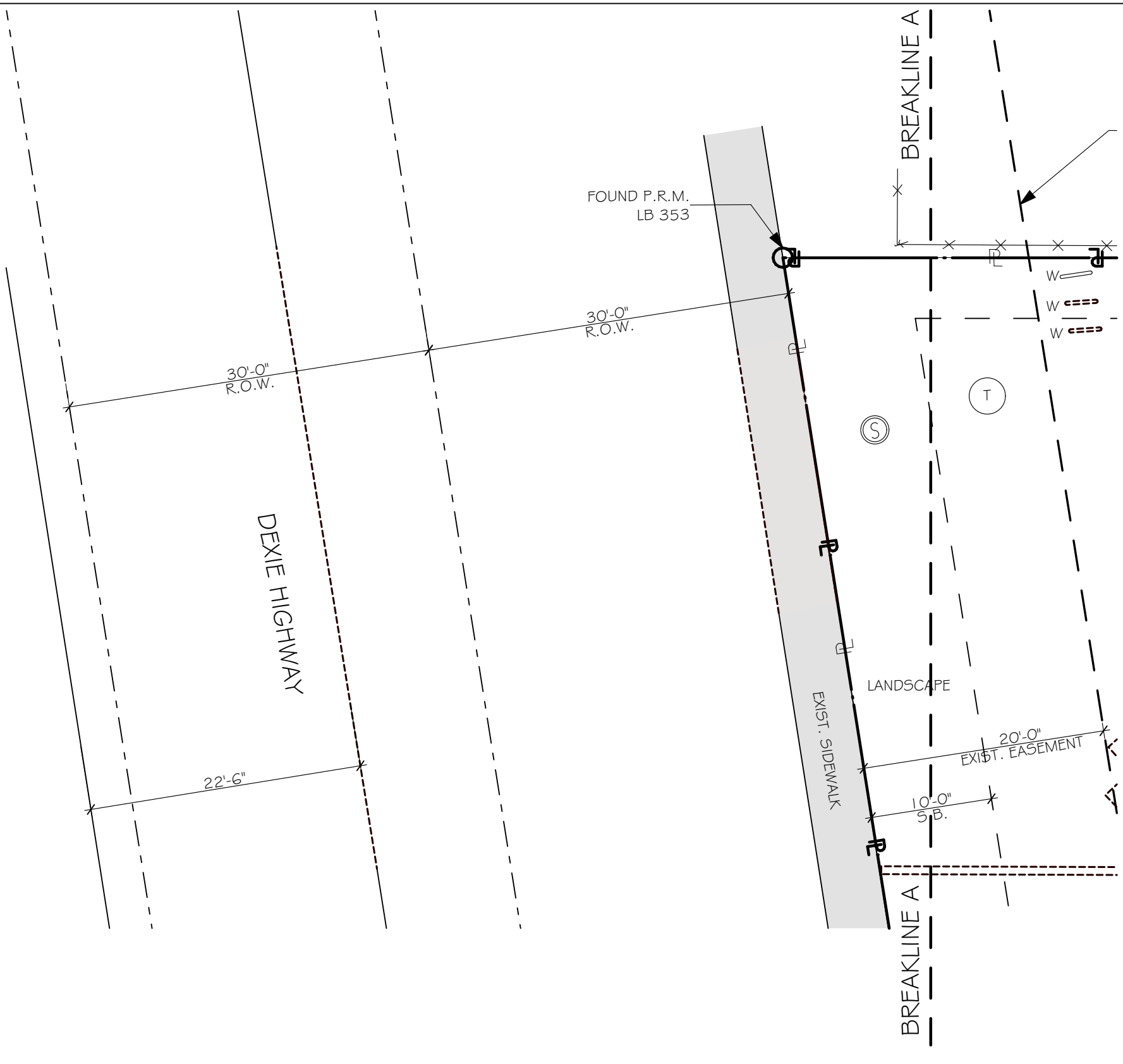
CIVIL:
CIVIL DESIGN INC.
1400 CENTREPARK
BOULEVARD, SUITE 905,
WEST PALM BEACH, FL 33401
(561) 659-5760 x8006
j.trompeter@civil-design.com

STRUCTURAL ENGINEER:
VASQUEZ STRUCTURAL ENGINEERS
6635 W COMMERCIAL BLVD.
TAMARAC, FL 33319
(954) 726-7501
alvaro@vasquezstructural.com



EXISTING SITE PLAN

SCALE: 1" = 10'



DRAWING ABBREVIATIONS		
U.E.	UTILITY EASEMENT	
D.E.	DRAINAGE EASEMENT	
L.A.E.	LIMITED ACCESS EASEMENT	
L.M.E.	LAKE MAINTENANCE EASEMENT	
S.B.	SETBACK	
B.S.B.	BUILDING SETBACK	
PROP. B.S.B.	PROPOSED BUILDING SET BACK	
E.O.W.	EDGE OF WATER	
L.B.E.	LANDSCAPE BUFFER EASEMENT	
R.O.W.	RIGHT OF WAY	
CB.	CATCH BASIN	

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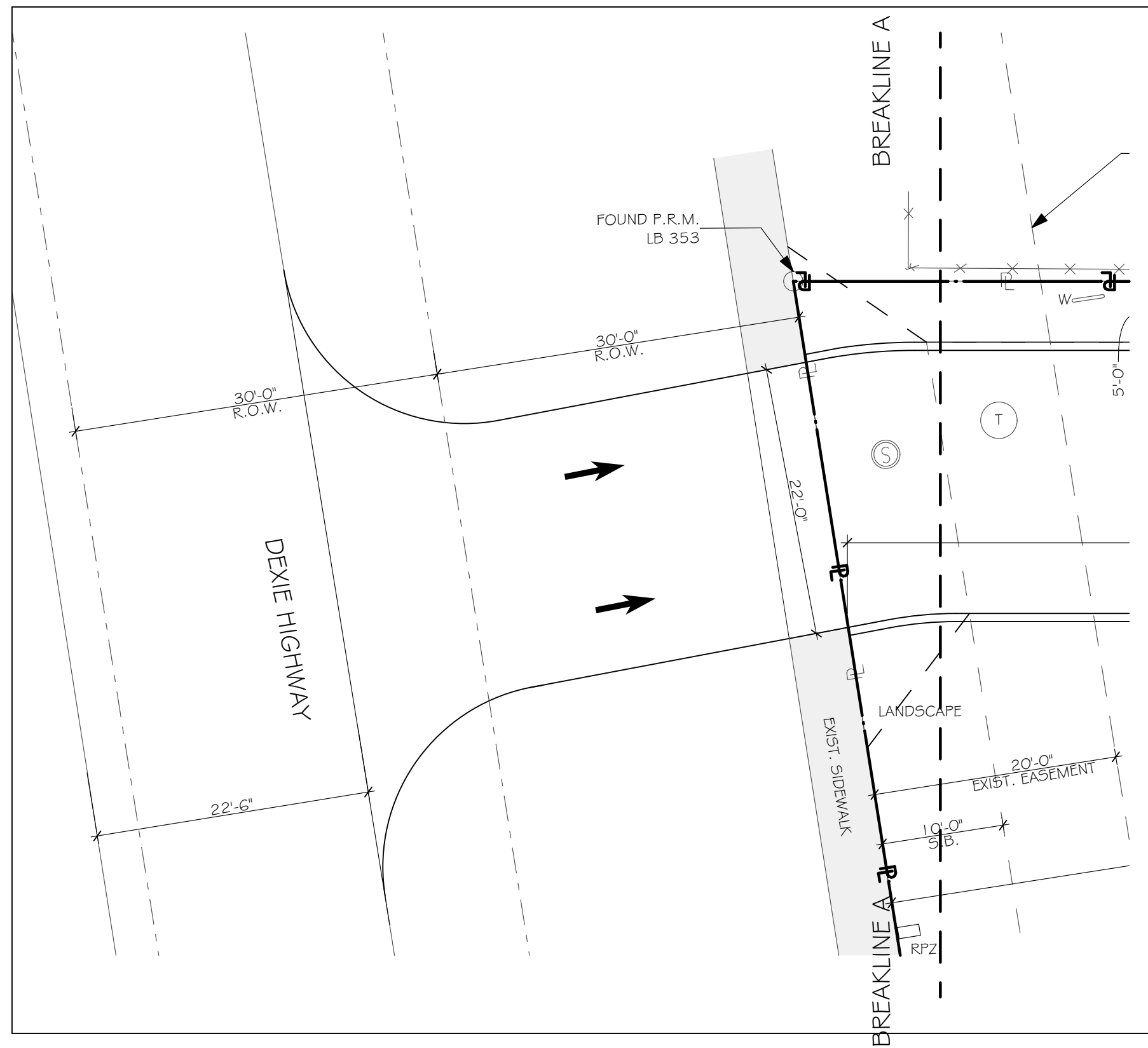
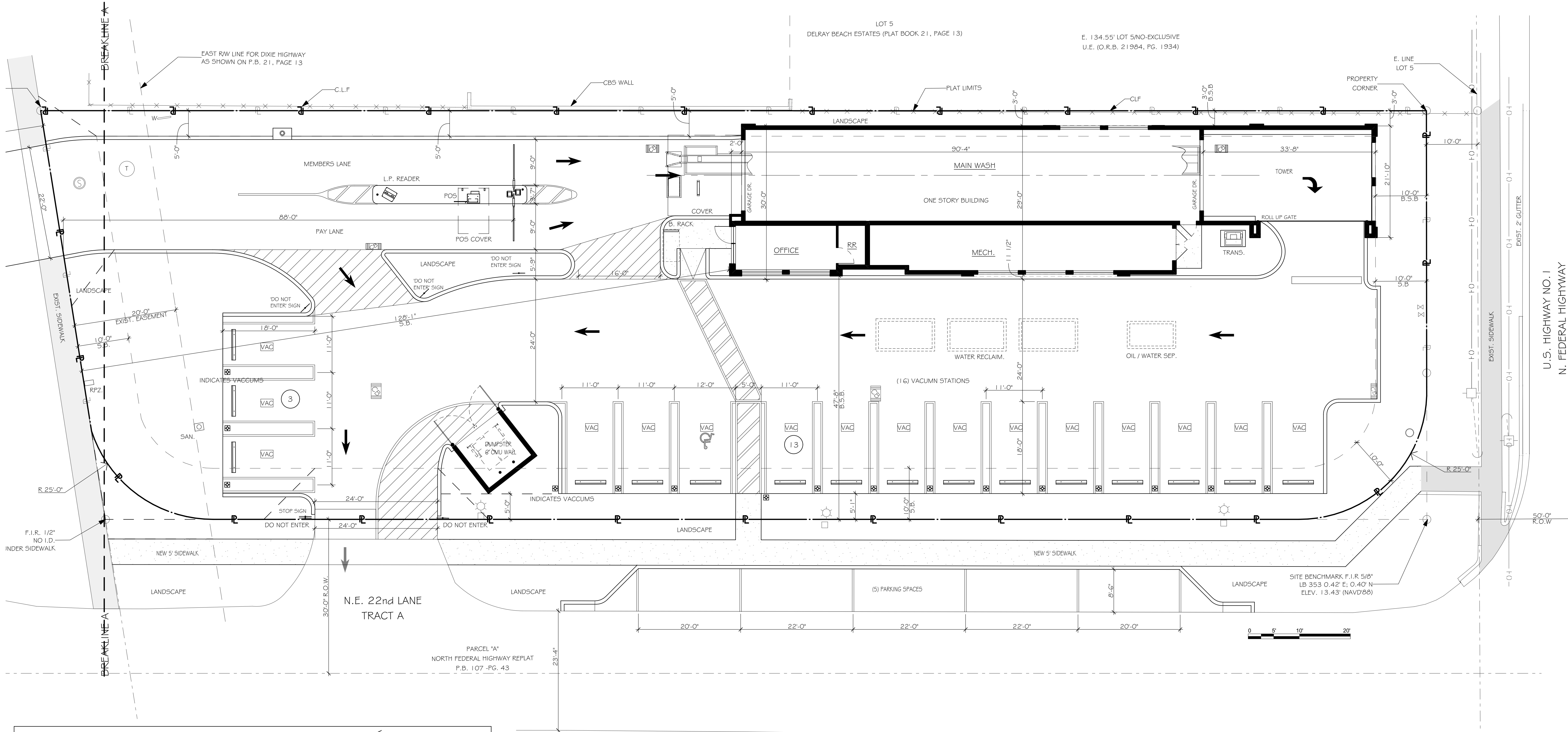
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DELTA	REV. #	REVISION	DATE
1	1	SPA COMMENTS	3/22/26
2	2	SPA COMMENTS	5/21/26
3	3	SPA COMMENTS	6/24/26
4	4	SPA COMMENTS	7/28/26

DEMOLITION SITE PLAN

SP1.0



BUILDING INFORMATION			
PROPOSED BUILDING	3,290 SF		
PROPOSED DUMPSTER	136 SF		
TOTAL	3,426 SF		

BUILDING BREAKDOWN			
OFFICE	261 SF		
MECHANICAL AREA	597 SF		
WASH AREA	2,432 SF		
TOTAL	3,290 SF		

PARKING DATA:			
	EXISTING	REQUIRED	PROPOSED
GENERAL COMMERCIAL: 4.55P/1,000 SF (3.314 SF)		14.9	16
ON-STREET PARKING TOTAL SPACES		-	5
			21
*TOTAL ADA SPACES			
*INCLUDED IN OVERALL PARKING SPACE COUNT			

AREA CALCULATIONS			
TOTAL SITE EXISTING	Site Area	21,195	
TOTAL SITE EXISTING	Site Area POST-DED.	20,968	

BUILDING BREAKDOWN			
BUILDING (IMPERVIOUS)	Building Area	3,426	16.2%
HARDSCAPE (IMPERVIOUS)	Landscaped Areas	12,449	58.7%
LANDSCAPE (PERVIOUS)	Landscaped Areas	5,320	25.1%
TOTAL SITE PROPOSED	Site Area	21,195	100%

OPEN SPACE			
	Outdoor Space	5,320	25.1%

BICYCLE PARKING DATA:		
	REQUIRED	PROVIDED
2 SPACES PER 10,000SF	2	2



PROPOSED SITE PLAN

SCALE: 1" = 10'



DRAWING ABBREVIATIONS			
U.E.	UTILITY EASEMENT		
D.E.	DRAINAGE EASEMENT		
L.A.E.	LIMITED ACCESS EASEMENT		
L.M.E.	LAKE MAINTENANCE EASEMENT		
S.B.	SETBACK		
B.S.B.	BUILDING SETBACK		
PROP. B.S.B.	PROPOSED BUILDING SET BACK		
E.O.W.	EDGE OF WATER		
L.B.E.	LANDSCAPE BUFFER EASEMENT		
R.O.W.	RIGHT OF WAY		
C.B.	CATCH BASIN		

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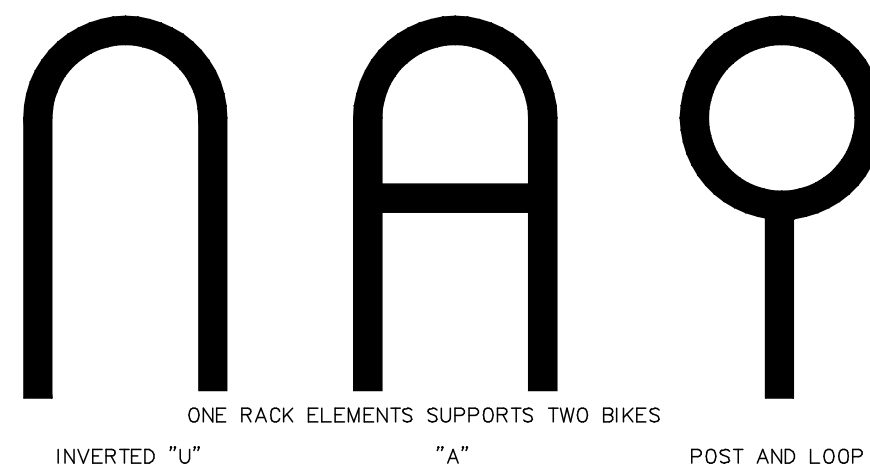
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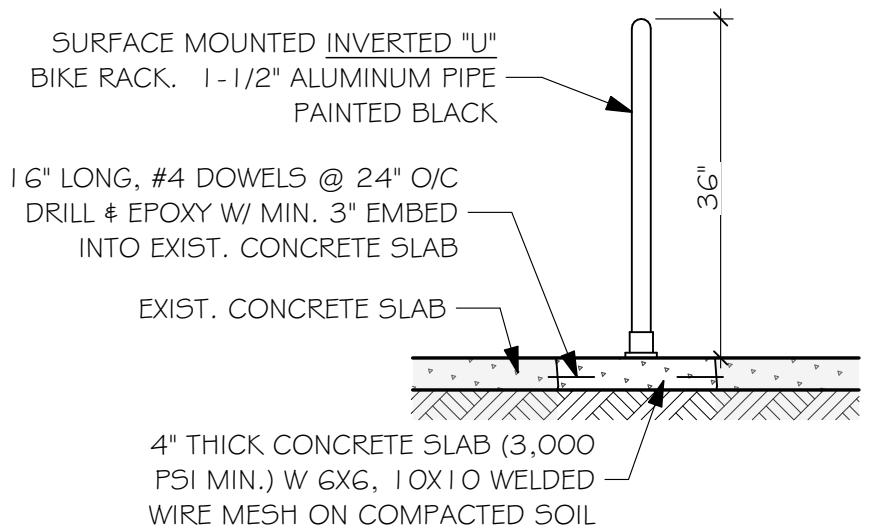
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3	3	SPA COMMENTS	6/24/26
4	4	SPA COMMENTS	7/28/26

SITE PLAN

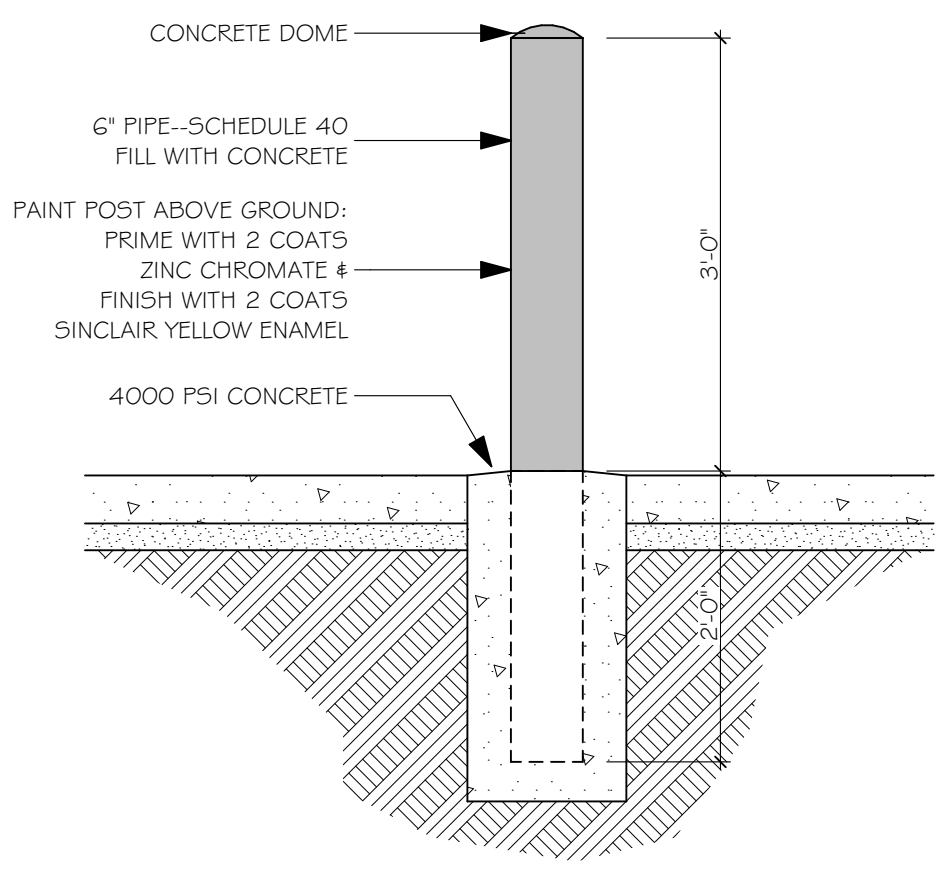
SP1.1



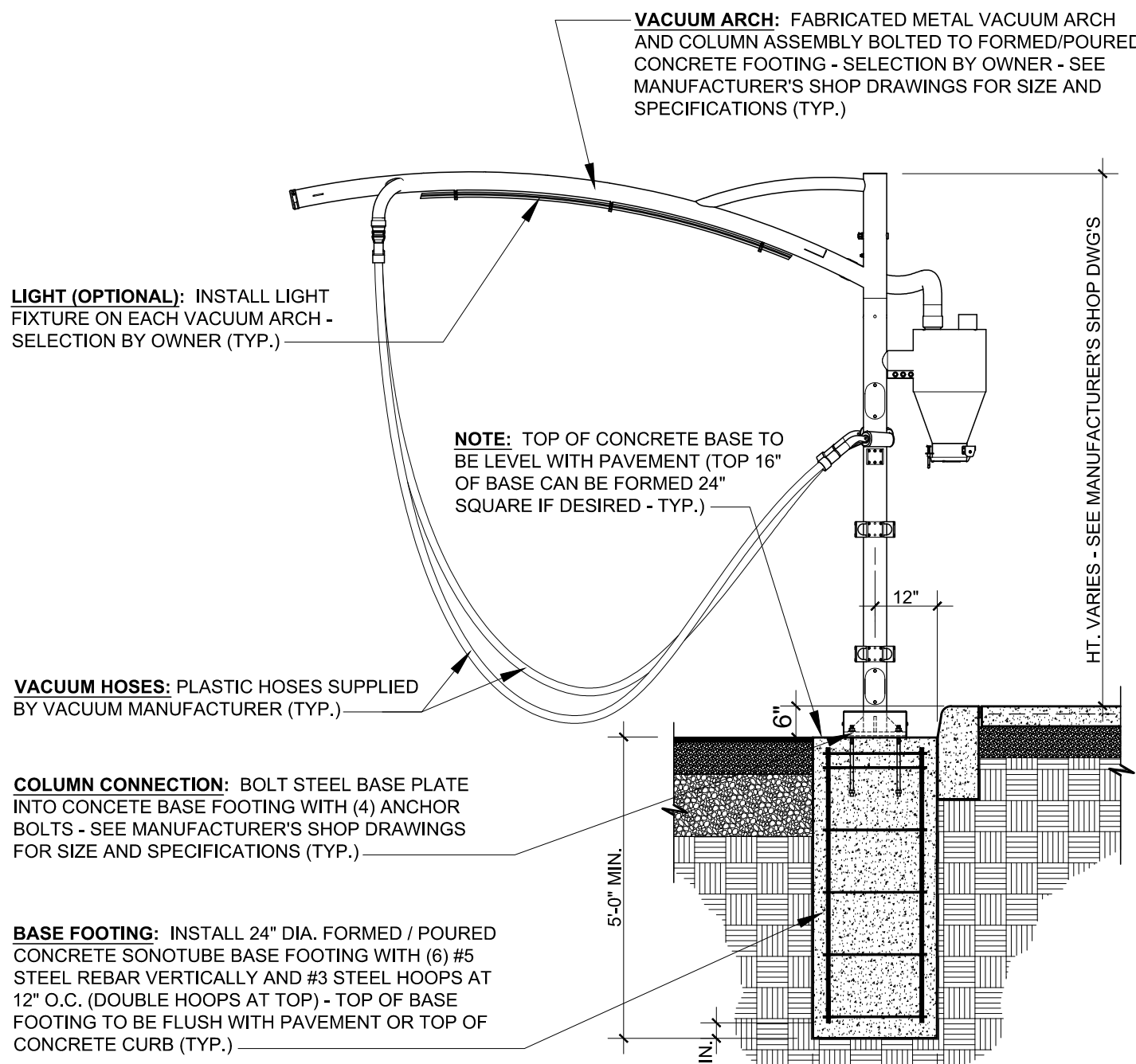
THE LOCATION OF THE BICYCLE RACK SHOULD BE SUCH THAT IT IS VISIBLE AND IS COMPLIANT WITH "ADA" STANDARDS. PREFERABLY ON THE APPROACH SIDE OF THE BUILDING OR STRUCTURE PARKING IS EXPECTED, AT LEAST 50% OF THE BICYCLE PARKING SPOTS SHOULD BE COVERED BY AN OVERHANG OR ACTUAL STORAGE FACILITY. UPPER ELEMENTS OF THE BICYCLE RACK SHOULD NOT PROTRUDE, CREATING AN OBSTACLE FOR A BLIND TRAVELER.



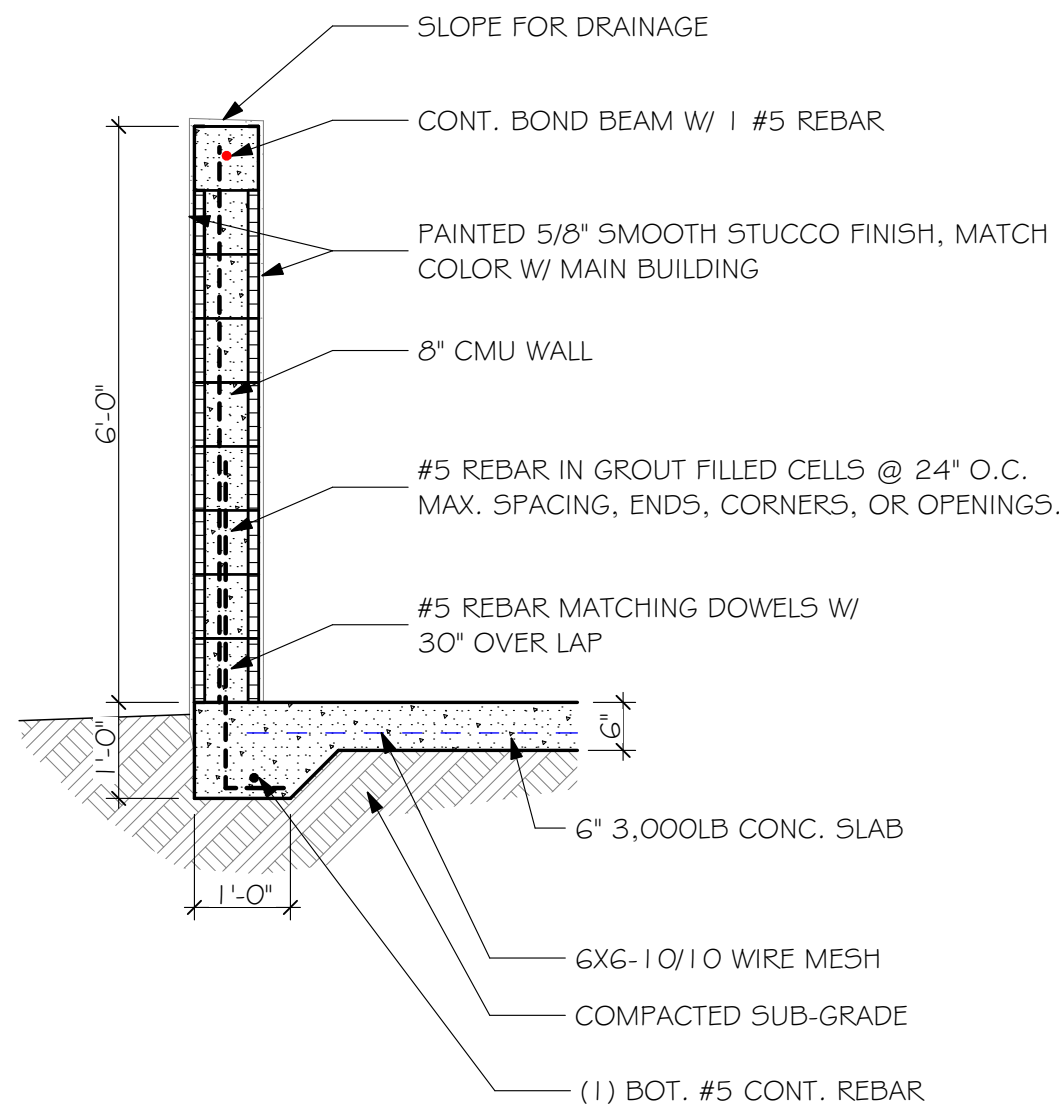
2 BIKE RACK DTL.
SCALE: 1/2" = 1'-0"



3 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"

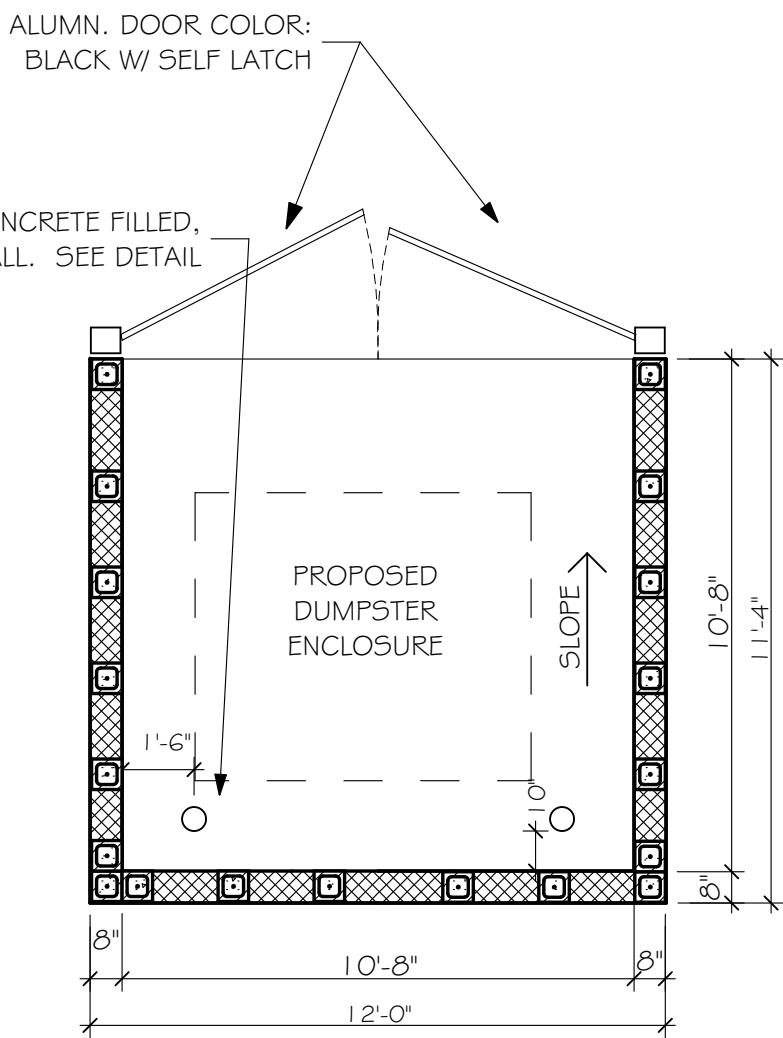


TYP. VACUUM BASE DETAIL (2.25)
SCALE: 1/2" = 1'-0"

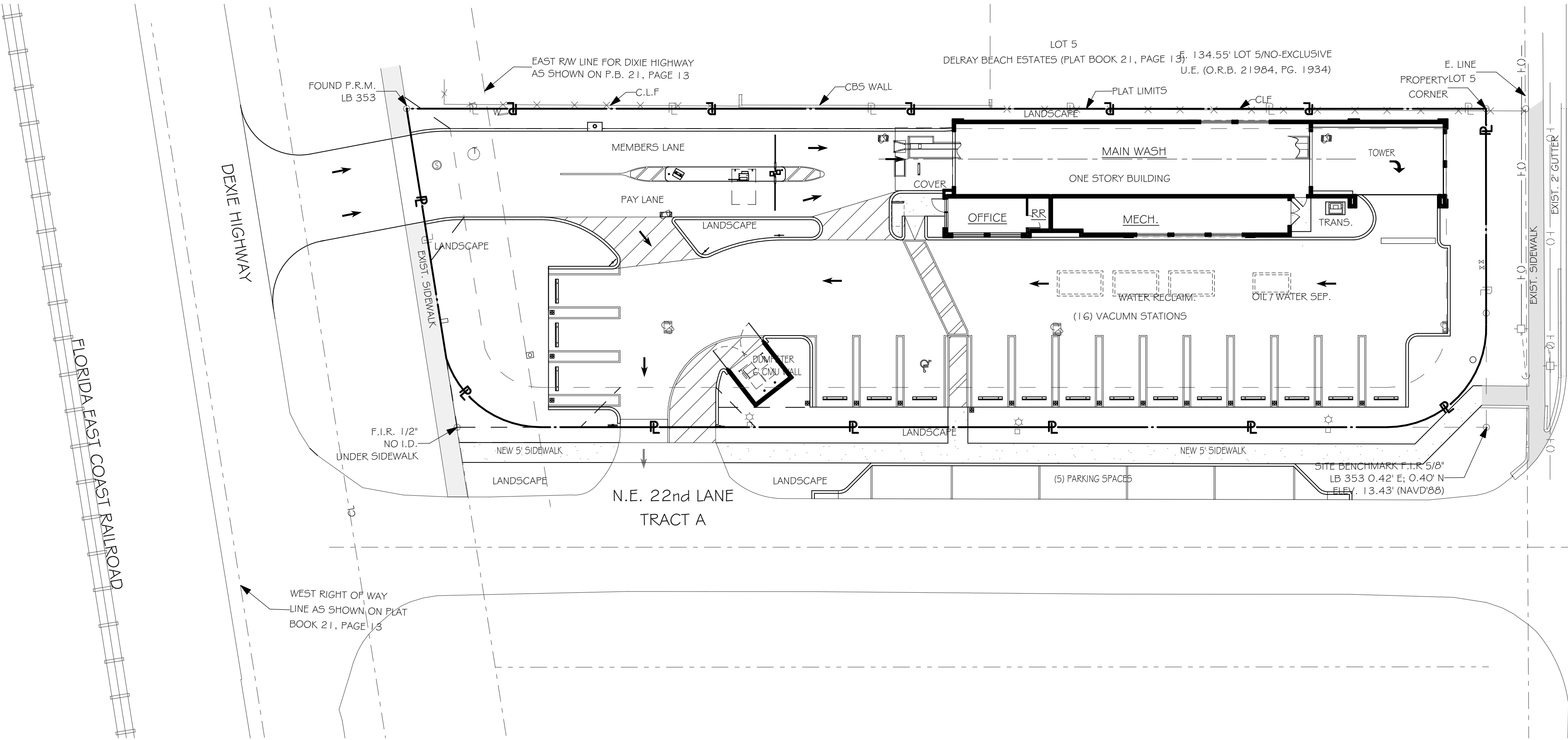


5 DUMPSTER ENCL. WALL SECTION
SCALE: 1/2" = 1'-0"

4 DUMPSTER FLOOR PLAN
SCALE: 1/4" = 1'-0"



- NOTES:
1. REFER TO APPROVED CIVIL DWGS. FOR PROPOSED DUMPSTER ENCLOSURE FOR FINAL DIMENSIONS
 2. ADDITIONAL CONC. SLAB ELEVATION & SLOPE SHALL MATCH WITH EXIST. CONC. DUMPSTER SLAB
 3. WHEN TYING NEW CMU WALL W/ EXIST. CORNER CMU WALL, PROVIDE AN EPOXY #4 REBAR W/ 4" EMBED INTO FILLED GROUT CELL @ 24" O.C.
 4. MATCH GATE STYLE & DESIGN TO EXIST. DUMPSTER
 5. #5 VERTICAL REBAR IN GROUT FILLED CELLS @ 24" O.C SPACING, @ WALL ENDS, CORNERS, OR OPENINGS.



PROPOSED FULL SITE PLAN
SCALE: 1" = 20'



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4	4	SPA COMMENTS	7/28/26

SITE PLAN DETAILS

SP1.2

- GENERAL LIFE SAFETY NOTES:
- ANY DOOR IN THE MEANS OF EGRESS SHALL MEET THE REQUIREMENTS UNDER NFPA 101 (SECTION 7.2.1). DOOR LEAVES SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED PER NFPA 101 (7.2.1.5.1). LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. PER NFPA 101 7.2.1.5.3 ALL INTERIOR WALLS AND CEILINGS FINISHES SHALL COMPLY W/ NFPA 101 & FBC TABLE 803.1.1 PER APPROPRIATE OCCUPANCY
 - 7.10.1.2.2* HORIZONTAL COMPONENTS OF THE EGRESS PATH WITHIN AN EXIT ENCLOSURE SHALL BE MARKED BY APPROVED EXIT OR DIRECTIONAL EXIT SIGNS WHERE THE CONTINUATION OF THE EGRESS PATH IS NOT OBVIOUS.
 - 7.10.1.3 EXIT DOOR TACTILE SIGNAGE. TACTILE SIGNAGE SHALL BE PROVIDED TO MEET ALL OF THE FOLLOWING CRITERIA, UNLESS OTHERWISE PROVIDED IN 7.10.1.4: (1) TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. (2) TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT. (3) TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
 - PROVIDE KNOX BOX AS REQUIRED, COORDINATE FINAL LOCATION W/ LOCAL FIRE MARSHALL. IF REQ. BY LOCAL BY FIRE MARSHALL CONNECT ALARM CABLE TO ALARM SYSTEM
 - ABRUPT CHANGES IN ELEVATION OF WALKING SURFACES SHALL NOT EXCEED 1/4". CHANGES IN ELEVATION BETWEEN 1/4" AND 1/2" SHALL BE LEVELED 1" TO 2"
 - GC SHALL WALK ALONG ANY AGRESS TO VERIFY ALL EGRESS DOORS HAVE A PANIC HARDWARE SET OR NON-LOCK ABLE LATCHES.
 - ANY LIFE SAFETY ELECTRICAL TO BE WIRED AHEAD OF ANY SWITCHES - TYPICAL
 - ALL SMOKE DETECTOR SHALL BE HARD WIRE PER CODE
 - (IF APPLICABLE) ALL EMERGENCY INCLOSED STAIR CASE SHALL BE AUTOMATIC VENTED, REFER TO MEP DWGS.
 - REFER TO ELECTRICAL ENGINEER'S DWGS. FOR EXIT SIGNAGE AND EMERGENCY LIGHTING INFORMATION
 - (IF APPLICABLE) ALL SOUND SYSTEMS SHALL TIE INTO THE FIRE ALARM AS-REQUIRED PER CODE
 - (IF APPLICABLE) FOR ANY FIRE RATED SOLID CONCRETE SLAB AND/OR WALL. REFER TO FBC TABLE 721.1(2) 4-1.1 SOLID CONCRETE. GC SHALL COORDINATE CONSTRUCTION MATERIAL SELECTION TO MEET THE REQUIRED FIRE RATING PER FBC, PRIOR TO ANY CONCRETE WORK.
 - (IF APPLICABLE) FOR ANY FIRE RATED CMU WALL. REFER TO FBC TABLE 721.1(2) #3 SOLID CONCRETE MASONRY UNITS. GC SHALL COORDINATE CONSTRUCTION MATERIAL SELECTION TO MEET THE REQUIRED FIRE RATING PER FBC, PRIOR TO ANY MASONRY WORK.
 - (IF APPLICABLE) EACH NEW FIRE WALL, FIRE BARRIER, FIRE PARTITION, SMOKE BARRIER, SMOKE PARTITION, OR ANY OTHER NEW WALL REQUIRED TO HAVE PROTECTED OPENING SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES WITH THE WORDING, FIRE AND SMOKE BARRIER PROTECT ALL OPENING, OR SIMILAR LANGUAGE. SUCH SIGNS OR STENCILING SHALL BE IN 4-INCH-HIGH LETTER, 1/2" INCH STROKE, AND NOT MORE THAN 15 FEET ON CENTER. (NFPA 101 CHAPTER 8 SECTION 8.3.2.4)
 - ANY LOCKS AND LATCHES SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. REFER TO NFPA 101 7.2.1.5
 - WHERE DINING SURFACES ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5 PERCENT OF THE SEATING SPACES AND STANDING SPACES AT THE DINING SURFACES SHALL COMPLY WITH 902. IN ADDITION, WHERE WORK SURFACES ARE PROVIDED FOR USE BY OTHER THAN EMPLOYEES, AT LEAST 5 PERCENT SHALL COMPLY WITH 902. PER FBC 226.1
 - FOR ANY STORAGE ROOMS W/ SPRINKLERS. PLEASE PROVIDE A MIN. 1" RED LINE ON STORAGE ROOM AREA WALLS 18" BELOW FIRE SPRINKLER HEAD LEVEL
 - EGRESS ILLUMINATION MIN. 1FC PER FBC 1006. LIGHTING SYSTEM CONTROL COMPLY W/ FBC EC 405

BUILDING INFORMATION	
NET OFFICE	216 SF
NET WASH DRIVE	1,690 SF
NET MECH. RM.	526 SF
** TOTAL AREA NET:	2,432 SF
** SEE SITE PLAN FOR GROSS BUILDING AREAS.	
OCCUPANCY CLASSIFICATION : BUSINESS	
CHAPTER 3; SECTION 302;	
CONSTRUCTION TYPE : II-B	
CHAPTER 6; TABLE 601	
AUTOMATIC SPRINKLER SYSTEM: PER SECTION 903.2.1.2	NOT REQUIRED NOT PROVIDED
AUTOMATIC FIRE-ALARM SYSTEM: PER SECTION 907.2	NOT REQUIRED NOT PROVIDED
TYPE OF ADJACENT OCCUPANCY: (INCLUDING FLOORS ABOVE AND BELOW)	N/A
SEPARATION NOTES: PER TABLE 6.1.1.4.4.1 (a & b). REQUIRED SEPARATION BETWEEN ASSEMBLY & BUSINESS 1HR REQUIRED SEPARATION BETWEEN ASSEMBLY & MERCANTILE 2HR	

NUMBER OF EXITS: PER FBC 1006.2.1	2 EXIT REQUIRED 2 EXITS PROVIDED
TOTAL EGRESS WIDTH: PER FBC 1005.1.15.2* PER OCCUP. 121 OCCUP. x .2=	XX REQUIRED XX PROVIDED

EXIT ACCESS TRAVEL DISTANCE: CHAPTER 10; TABLE 1017.2:	MAX ALLOWED 200' MAX DISTANCE = XX
MAX. COMMON PATH TRAVEL LENGTH: CHAPTER 10; TABLE 1006.2.1:	MAX ALLOWED 75' MAX DISTANCE = XX

DEAD END TRAVEL DISTANCE: FBC 1020.5	MAX ALLOWED 20' MAX DISTANCE = XX
MINIMUM CORRIDOR WIDTH: PER FBC SECTION 1020.2, TABLE 1020.3	MIN ALLOWED 44" MIN. MIN PROVIDED = XXX

OFFICE	216 SF / 150 GRS	2 OCCUPANTS
MECHANICAL RM.	526 SF / 300 GRS	2 OCCUPANTS
WASH DRIVE	1690 SF / 300 GRS	6 OCCUPANTS
TOTAL:		10 OCCUPANTS

OFFICE	216 SF / 150 GRS	2 OCCUPANTS
MECHANICAL RM.	526 SF / 500 GRS	1 OCCUPANTS
WASH DRIVE	1690 SF / 500 GRS	3 OCCUPANTS
TOTAL:		6 OCCUPANTS

OFFICE	216 SF / 150 GRS	2 OCCUPANTS
MECHANICAL RM.	526 SF / 500 GRS	1 OCCUPANTS
WASH DRIVE	1690 SF / 500 GRS	3 OCCUPANTS
TOTAL:		6 OCCUPANTS

OFFICE	216 SF / 150 GRS	2 OCCUPANTS
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MECHANICAL RM.	526 SF / 500 GRS	1 OCCUPANTS
WASH DRIVE	1690 SF / 500 GRS	3 OCCUPANTS
TOTAL:		6 OCCUPANTS

TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
OCCUPANCY	WATER CLOSET LAVATORIES DRINKING FOUNTAIN SLOP SINK
BUSINESS (PER FBC 303.1.1)	MALE FEMALE MALE FEMALE 1 PER 100 1
PROVIDED:	1 1 NOTE #2 NOTE #1

NOTE:
1. FOR BUSINESS & MERCANTILE OCCUPANCIES W/ AN OCCUPANT LOAD OF 15 OR LESS, SERVICE SINK SHALL NOT BE REQUIRED. PER FBC TABLE 403.1 e
2. DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER. PER FBC 410.2

LEGEND

- EMERGENCY BATTERY WALL PACK W/ TWIN HEADS (MIN. 90 MINUTES BATTER LIFE)
- EXIT LIGHT FIXTURE, DIRECTION ARROWS AS SHOWN
- EXIT LIGHT FIXTURE AND EMERGENCY LIGHT COMBO (MIN. 90 MINUTES BATTER LIFE)
- FIRE EXTINGUISHER (3-PROVIDED) FBC WITH 5LB ABC, (1QLB IN KITCHENS) LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION. REFER TO NFPA 10
- DIRECTION OF EXIT OR EXIT ACCESS
- PATH OF TRAVEL

ROOM	
04	= ROOM NAME
I	= ROOM NUMBER
XX SF	= OCCUPANT LOAD
XXX GS/F	= ROOM AREA
XXX GS/F	= OCCUPANT LOAD FACTOR

EO#	= EXIT I.D. NUMBER
MAX	= MAX. OCCUPANT LOAD OF EXIT
OC	= OCCUPANTS SERVED BY EXIT

XX>EO1	= MAX. DISTANCE TO EXIT 1
XX>EO2	= MAX. DISTANCE TO EXIT 2
XX>CP	= COMMON PATH OF TRAVEL

H S	FIRE ALARM (HORN & STROBE)
-----	----------------------------

P	FIRE ALARM (PULL-STATION)
---	---------------------------

□	FIRE ALARM (HORN)
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PS	FIRE ALARM (STROBE)
----	---------------------

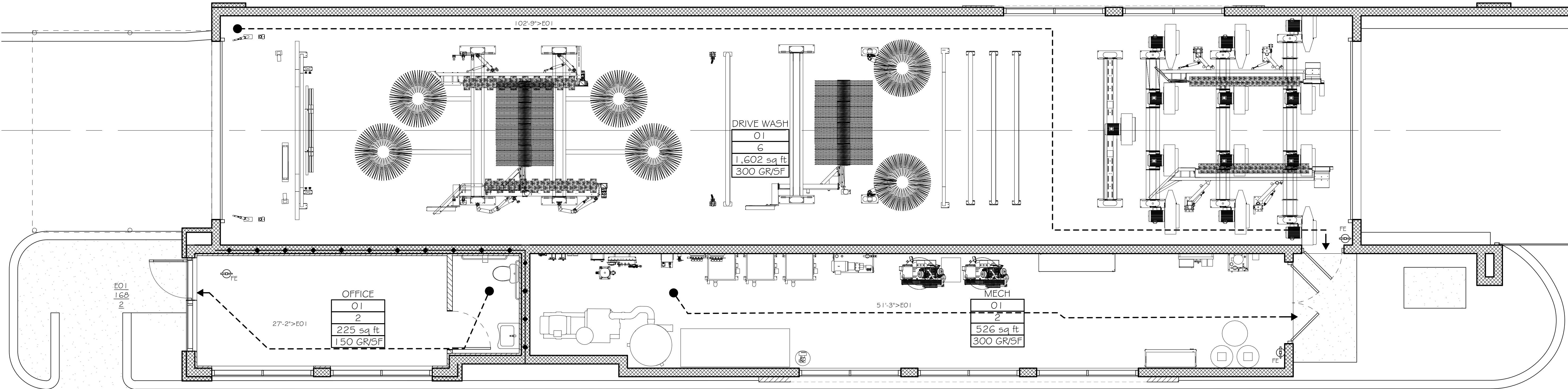
⊙	FIRE SPRINKLER HEAD
---	---------------------

SDD	SMOKE DUCT DETECTOR
-----	---------------------

◆◆	1-HR FIRE RATED PARTITION
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◆◆◆◆	3-HR FIRE RATED PARTITION
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◆◆◆◆◆◆	4-HR FIRE RATED PARTITION
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LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"



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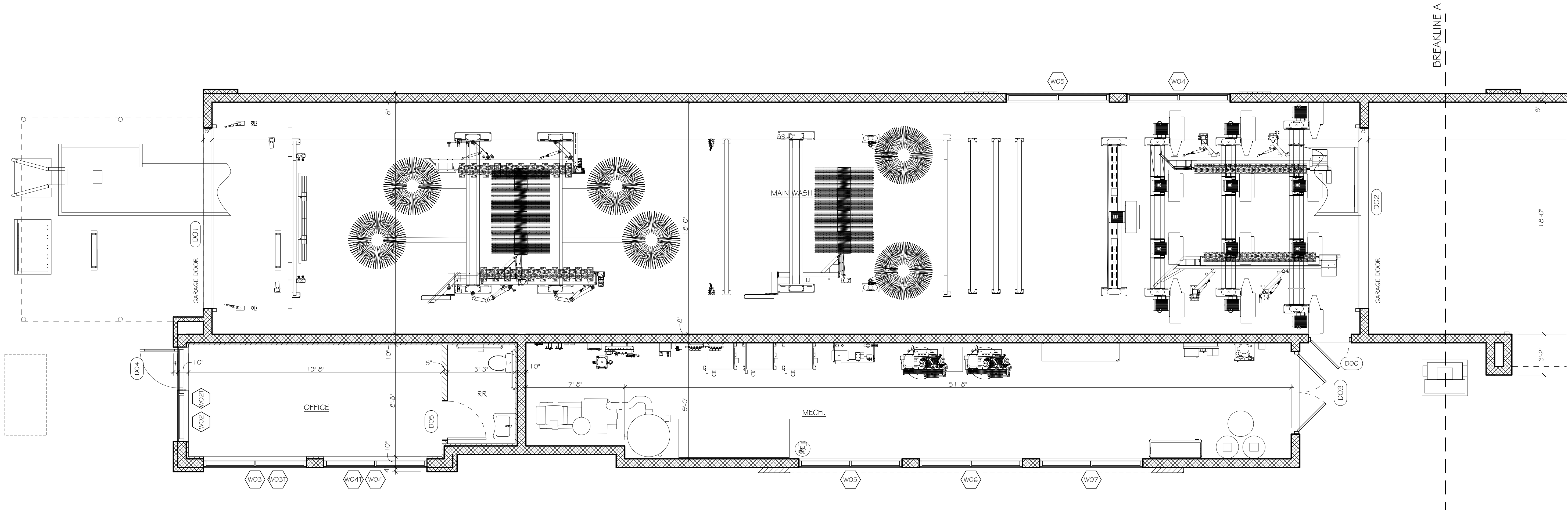
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LIFE SAFETY PLAN

LS1.1

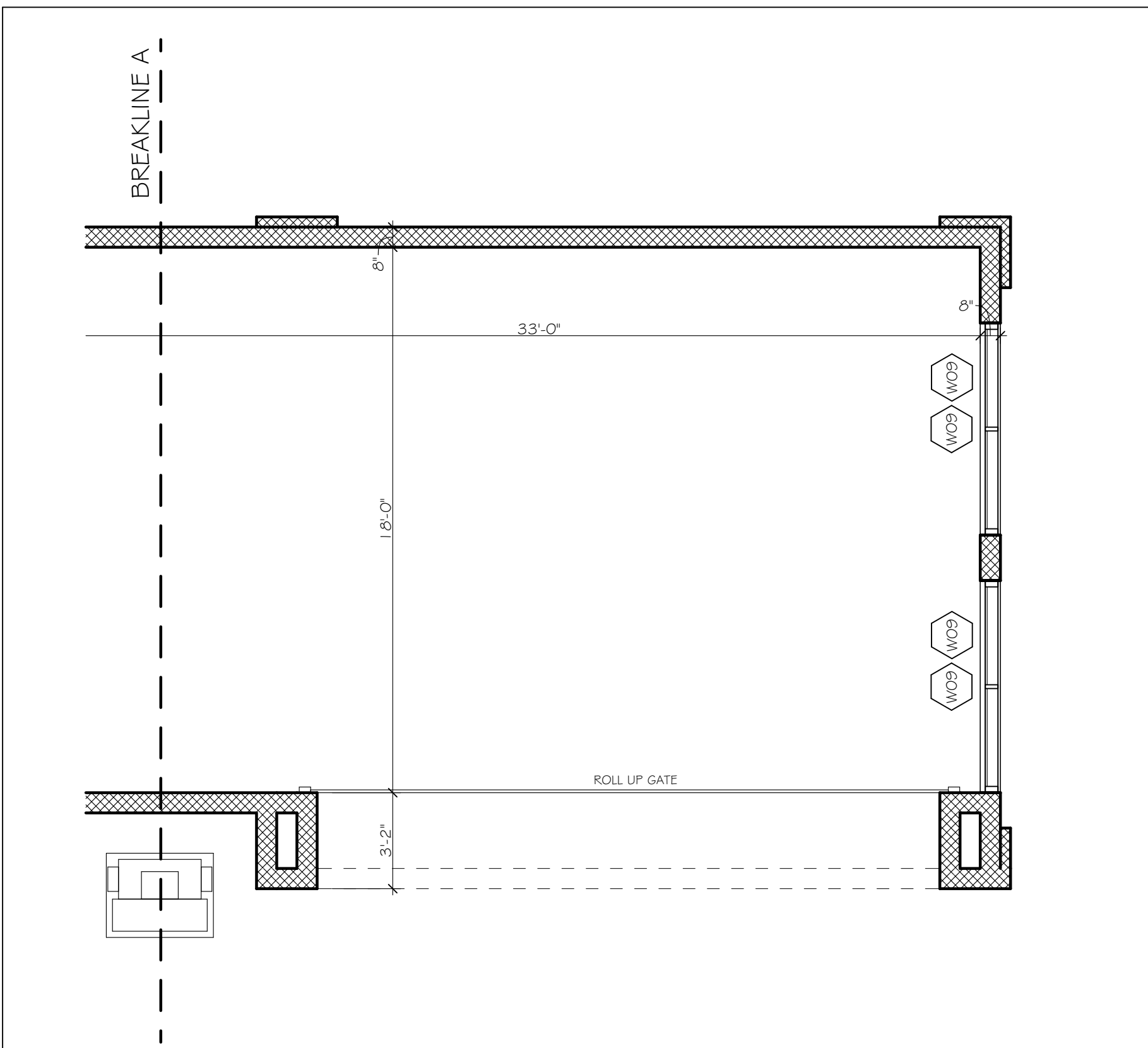


1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

BUILDING BREAKDOWN

OFFICE	310 SF
MECHANICAL AREA	624 SF
WASH AREA	2,388 SF
TOTAL	3,322 SF



1st FLOOR PLAN

SCALE: 1/4" = 1'-0"



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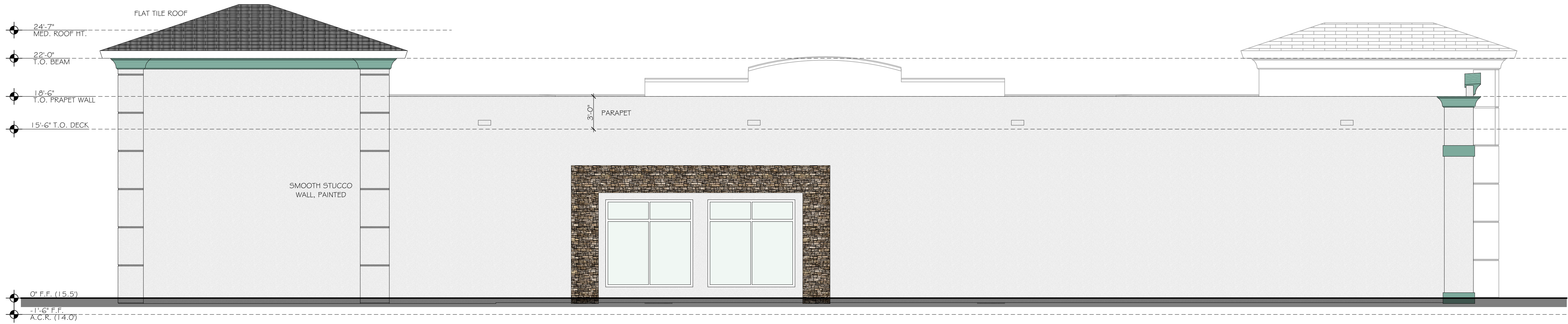
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GROUND FLOOR PLAN

A1.1

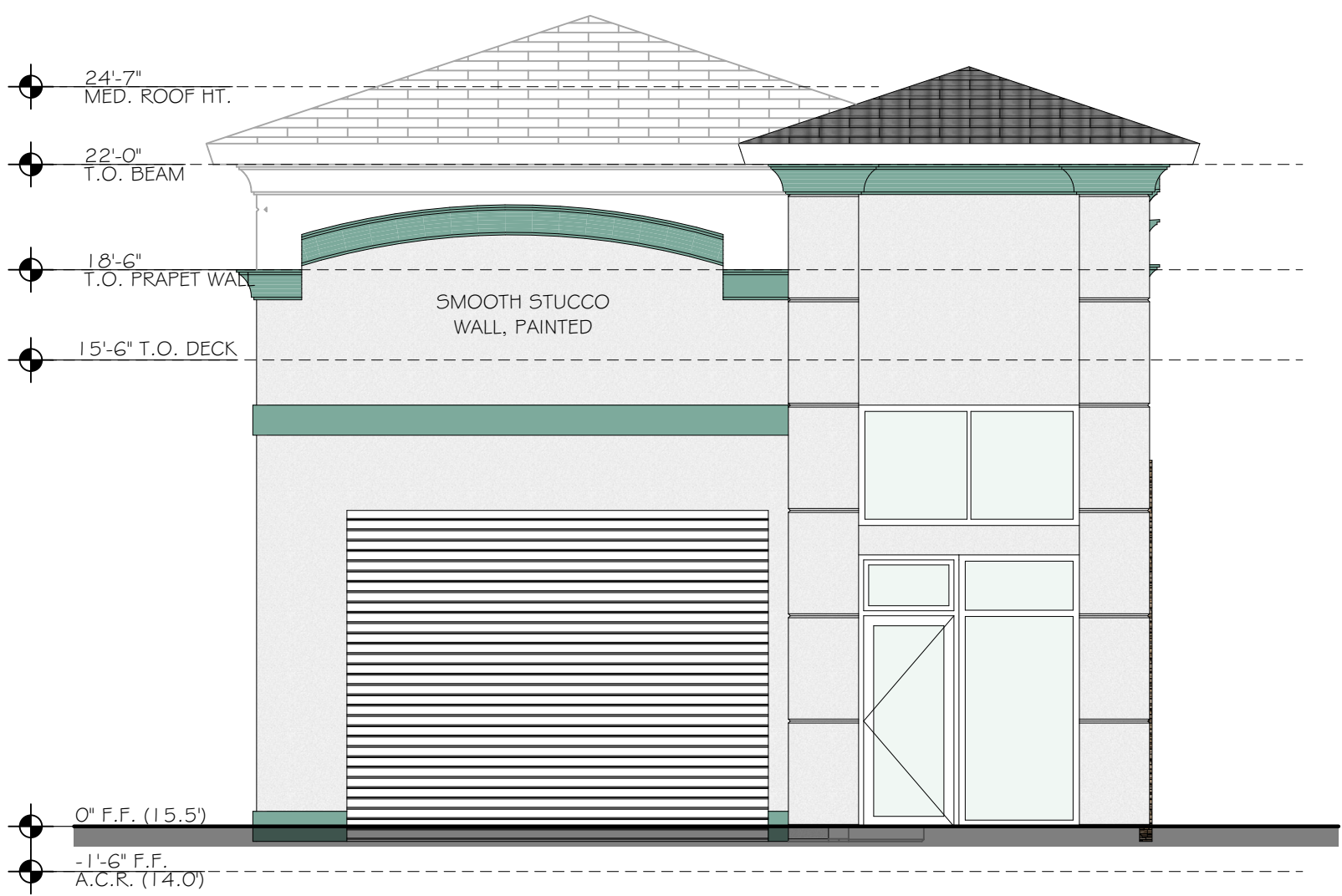
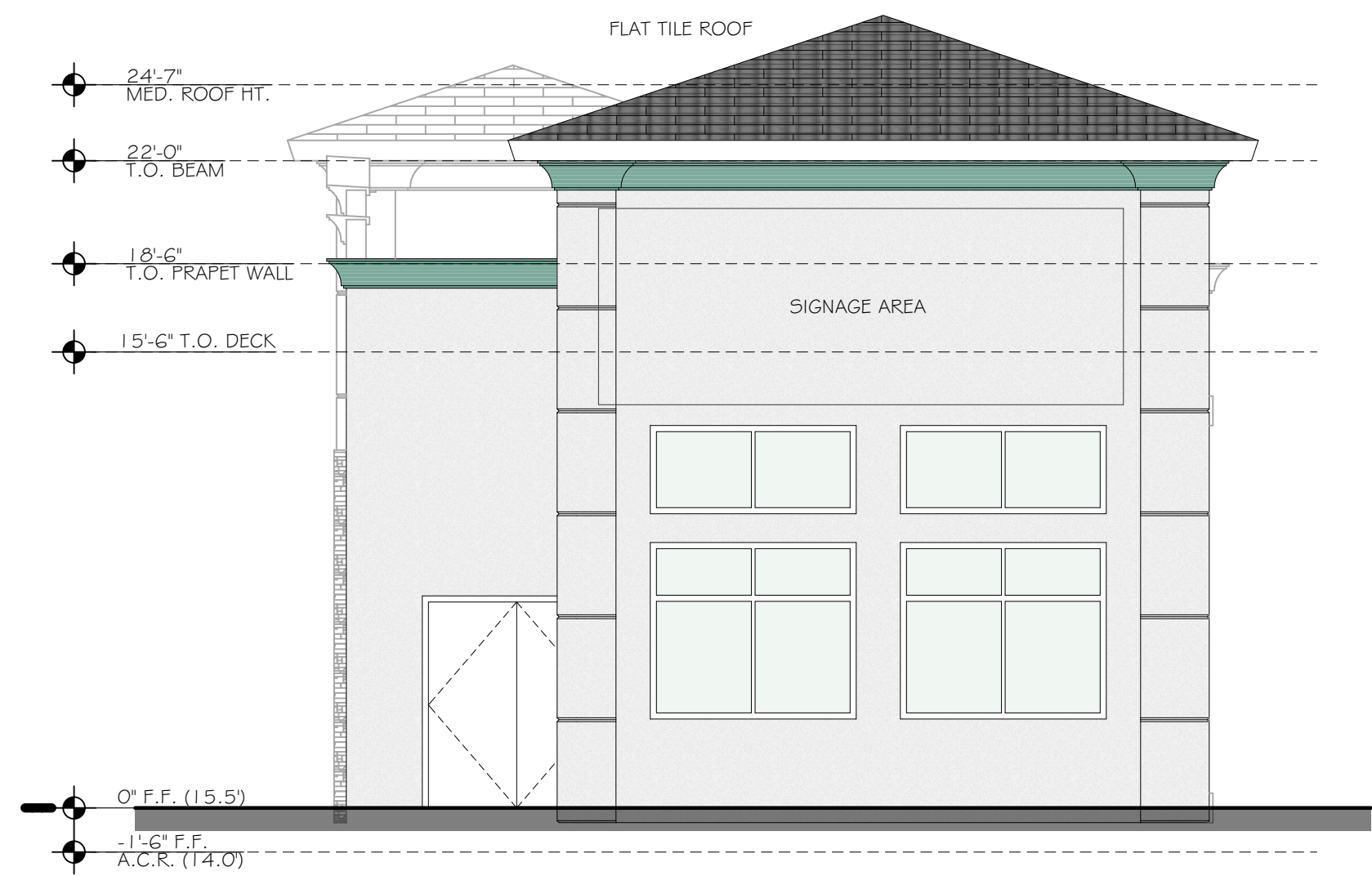


NOTES:
1. ALL GLASS TO BE CLEAR, NON-SOLAR, NON-MIRRORED, MAX. 20% GRAY TINT.
2. ALL WINDOW STOREFRONTS, AND FRAMES TO BE IN WHITE. INCLUDING ALL EXTERIOR DOORS.



BUILDING COLOR LEGEND

	SHERWIN WILLIAMS HIGH REFLECTIVE WHITE, SW7757		EAGLE ROOFING BEL AIRM, LIGHT GRAY
	SHERWIN WILLIAMS NIFTY TURQUOISE, SW694 I		GEMSTONE DESERT SUNRISE



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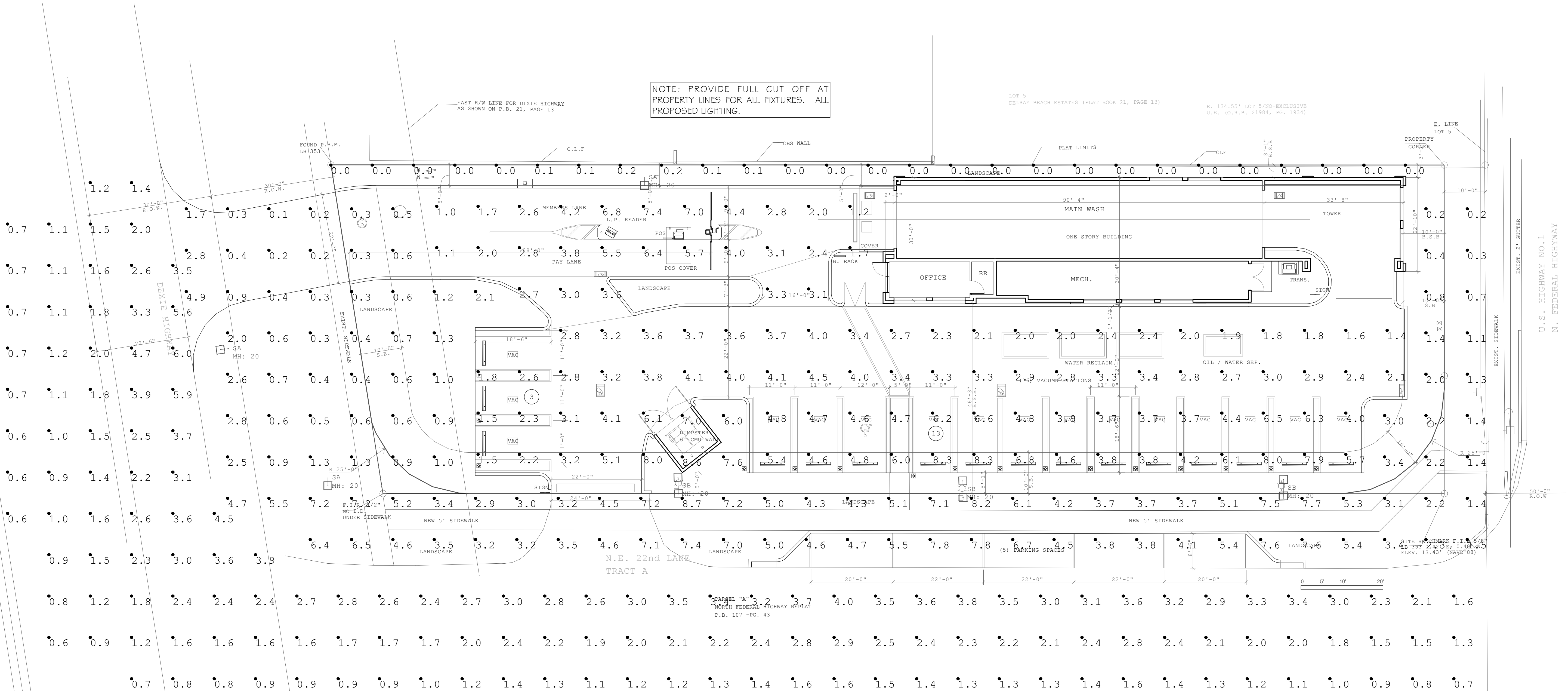
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ELEVATIONS

A4.2



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
	3	SA	Single	Xtra Light VNTM-25000L-40K-DIM-4M-N-XX-XX-HSS	0.900	16615	169	507	
	3	SB	Back-Back	Xtra Light VNTM-25000L-40K-DIM-4M-N-XX-XX-HSS, 2@180°	0.900	16615	169	1014	

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Parking and Drive Lane	Illuminance	Fc	3.81	8.3	1.0	3.81	8.30	
Property Line	Illuminance	Fc	0.14	0.2	0.0	N.A.	N.A.	
Roadway	Illuminance	Fc	2.06	6.0	0.6	3.43	10.00	



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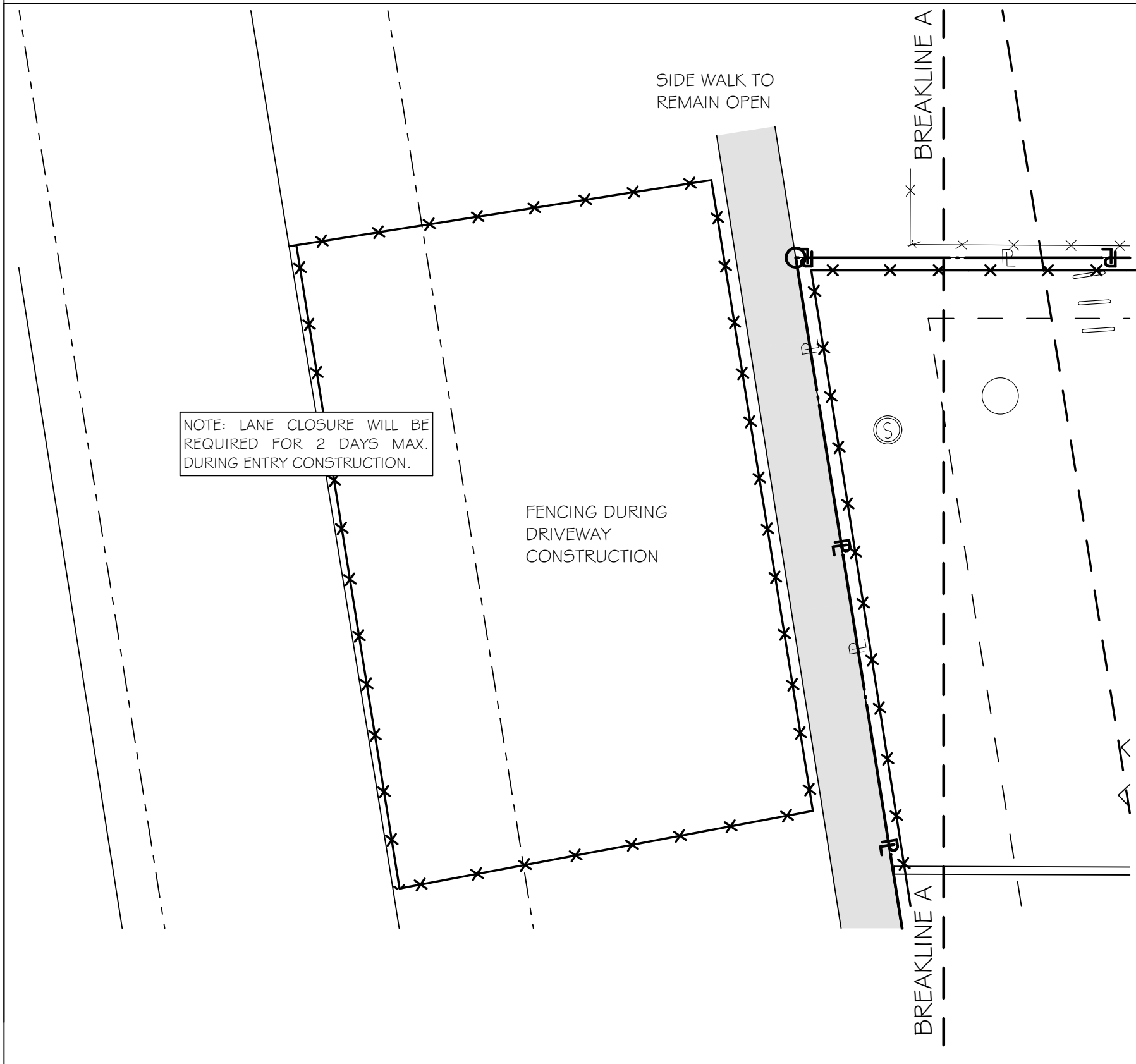
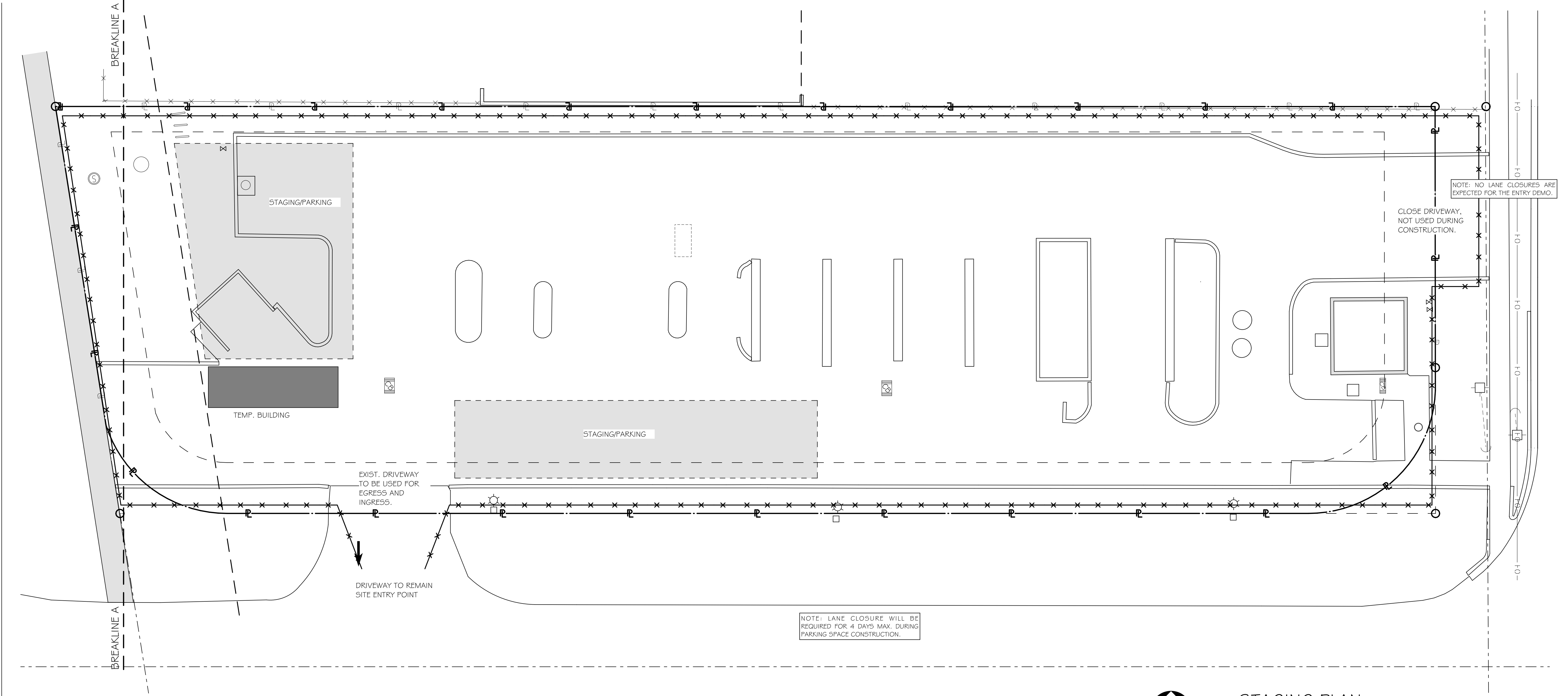
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SITE LIGHTING

SL1.0



STAGING PLAN
SCALE: 1" = 10'

DRAWING ABBREVIATIONS			
U.E.	UTILITY EASEMENT		
D.E.	DRAINAGE EASEMENT		
L.A.E.	LIMITED ACCESS EASEMENT		
L.M.E.	LAKE MAINTENANCE EASEMENT		
S.B.	SETBACK		
B.S.B.	BUILDING SETBACK		
PROP. B.S.B.	PROPOSED BUILDING SET BACK		
E.O.W.	EDGE OF WATER		
L.B.E.	LANDSCAPE BUFFER EASEMENT		
R.O.W.	RIGHT OF WAY		
CB.	CATCH BASIN		



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PRELIM. STAGING PLAN

ST1.1



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