

TWO-STORY  
ADJACENT BUILDING  
F.F.E.L. = 20.33'

COVERED

LOT 8, BLOCK 70

N90°00'00"W 131.50'

LOT 9,  
BLOCK 70

LOT 10,  
BLOCK 70

SE 2ND STREET

50' TOTAL R/W  
24' ASPHALT PAVEMENT

**SITE STATS:**  
Gross Site Area: 13,150.0 sf  
less 2'-6" Alley ROW Dedication: 250.5 sf  
New Total Site Area: 12,899.5 sf

Existing 1-story Residence: 1,317 sf  
Existing 1-story renovated back to original porch: 254 sf  
New 1-story Addition: 2,826 sf  
New Total Building Area: 4,397 sf

Max Lot Coverage Allowed: 5,159.80 sf (40.00%)

Existing Lot Coverage: 1,571.00 sf (12.18% of Site Area)  
Existing Total Impervious: 3,081.00 sf (23.88% of Site Area)

Proposed Lot Coverage: 4,397.00 sf (34.08% of Site Area)  
Proposed Walk/Curbs/Misc. Conc: 879.16 sf (6.81% of Site Area)  
**TOTAL Proposed Impervious Area: 5,276.16 sf (40.89% of Site Area)**

Min. Open (landscaped) Space Req'd: 3,224.87 sf (25.00%)

Existing Open (landscaped) Space: 9,818.50 sf (76.12%)

Proposed Open (landscaped) Space: 5,943.07 sf (46.07% of Site Area)  
Proposed Permeable Pavers: 1,680.27 sf (13.03% of Site Area)  
**TOTAL Proposed Pervious Area: 7,623.34 sf (59.10% of Site Area)**  
Water Bodies: Not Applicable

SETBACKS	EXISTING	REQUIRED	PROPOSED
Front -	30'-0"	25'-0"	30'-0" (Swinton)
Rear -	N/A	10'-0"	N/A
Interior side -	32'-8"	7'-6"	9'-1 1/2" (North)
Street Side -	29'-8"	15'-0"	22'-0" (SE 2nd St)
Street Side -	49'-9"	15'-0"	22'-0" (Alley - East)
Height -	17'-1 1/2"	35'-0"	17'-1 1/2" (exist. t.o. chimney measured from avg crown of Swinton)

MISCELLANEOUS DATA: Intended Use of Structure: Professional Offices

**PARKING STATISTICS:**  
Total Building Area: 4,397 sq ft  
- less exterior porch: 254 sq ft  
- less exterior walls: 256 sq ft  
- less mech. rooms: 102 sq ft  
- less common restrooms/hallways: 404 sq ft  
Net Bldg Area: 3,381 sq ft / 300 sq ft = 11.27 ≈ 11\*

Total Parking Required = \*10 Stalls (incl 1 HC)  
\* Per Section 4.4.24.C.6..... a one space exemption shall be allowed.  
Off-Street Parking Provided = 8 Stalls (incl 1 HC)  
On-Street Parking Provided = 1 Stalls (per LDR Sec 4.6.9(E)(3)(e)\*\*  
\*\* (3) On-Street Parking being proposed to be constructed  
Total Parking Provided = 9 Stalls (In-Lieu pking granted for (1) stall)

PROJECT RELIEF CHART

SYB.	REQUEST & LDR SECTION	REQ'D	PROPOSED
1	VARIANCE REQUEST-1: REDUCE LANDSCAPE ISLAND AT END OF PKNG ROW LDR SECTION 4.1.4.16(H)(3)(I)	9'-0"	5'-5 1/2" NORTH 6'-5" SOUTH

HATCH DENOTES NEW ASPHALT PAVEMENT W/ ALLEY ROW. FROM EXIST ALLEY'S WESTERMOST EDGE OF PAVEMENT TO NEW BURIED 8" CONCRETE CURB AS SHOWN

DENOTES ALLEY'S EDGE OF EXIST PAVEMENT

DENOTES PROPOSED LOCATION FOR REFUSE TOTES  
NOTE THESE ARE TO BE STORED INSIDE & PLACED HERE ON SCHEDULED COLLECTION DAYS & THIS IS THE APPROX LOCATION WHERE REFUSE TOTES HAVE BEEN PLACED ON THIS PROPERTY IN THE PAST

HATCH DENOTES AREA OF EXIST CONC DRIVE TO BE REMOVED & ABANDONED & REPLACED WITH SOD (REFER TO DEMO SITE PLAN)

- LEGEND:**
- UGE — UNDERGROUND ELECTRIC
  - FO — FIBER OPTIC
  - SAN — EXISTING SANITARY SEWER LINE
  - WM — EXISTING WATER MAIN LINE
  - OH — EXISTING OVERHEAD LINES
  - WP — WOOD POLE
  - (S) — MAN HOLE
  - (FO) — FIBER OPTIC VAULT
  - (WM) — WATER METER
  - (BP) — BACKFLOW PREVENTER
  - 8 — QUANTITY OF PARKING STALLS
  - — CENTER LINE OF STREET/ALLEY
  - 18.00' — EXISTING GRADE ELEVATION
  - 18.00 — PROPOSED GRADE ELEVATION
  - (A) — REVISION TRIANGLE SYMBOL

**NOTE:**  
- REFER TO CIVIL & LANDSCAPE DOCS FOR MORE INFORMATION  
- REFER TO A-03 FOR SITE DETAILS & A-02 FOR PHOTOMETRICS PLAN

2022-09-15 BLDG. DEPT. COMMENTS

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MICHAEL W. HANSON  
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270  
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER  
17-030

ISSUED DATE:  
2022-09-15

SCALE:  
1" = 10'-0"

TITLE:  
SITE PLAN

DRAWING NUMBER

A0.1

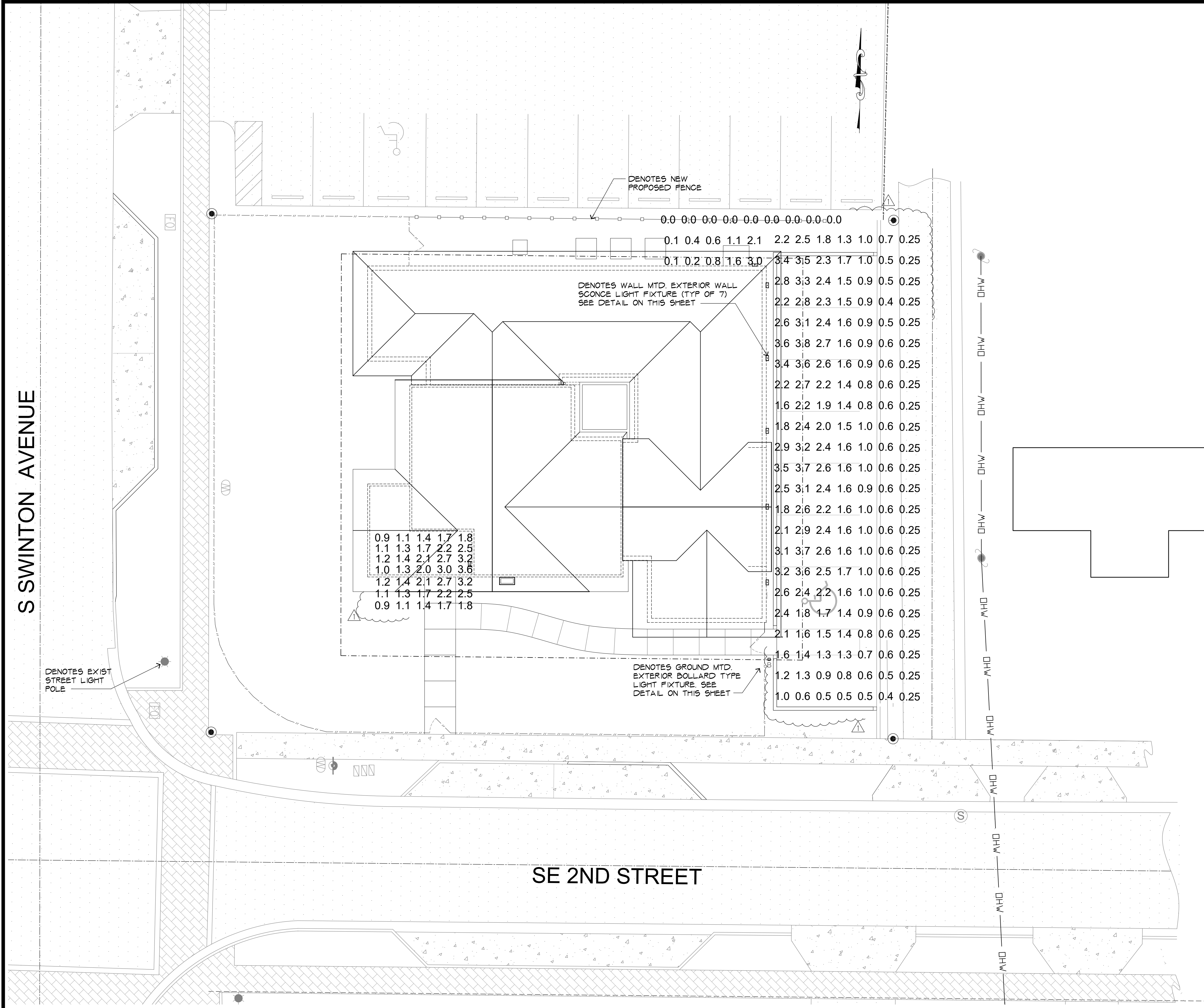
HNM ARCHITECTURE OFFICES

143 South Swinton  
Delray Beach, Florida

1 SITE PLAN  
1" = 10'-0"



S SWINTON AVENUE



LUMINAIRE SCHEDULE			LUMINAIRE		DIMENSIONS & FINISHES				MOUNTING HEIGHT
SYMBOL	QUANTITY	LABEL	DESCRIPTION (REFER TO LIGHT FIXTURE DETAILS ON THIS SHEET)	LUMENS	HEIGHT	WIDTH	EXTENSION	FINISH	
A	6		FEISS # OL1370ANBZ-L1 / CENTER OF FIXTURE MOUNTED AT 7'-0" ABOVE GRADE	1915	16-1/4"	10"	8"	ANTIQUE BRONZE	66" TO CL OF FIXTURE
B	1		HUBBELL (ARCHITECTURAL AREA LIGHTING) KB6-Y3-NONE-2050(5000K)-BPC-120-WDB	2163	42"	6"(SQUARE)	N/A	WEATHERED BRONZE	N/A

CALCULATION SUMMARY							
LABEL	CALCULATION TYPE	UNITS	AVG	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
EAST PARKING AREA	ILLUMINANCE	FC	0.3	4.3	0.0	N/A	N/A
SOUTH ENTRANCE (PARKING)	ILLUMINANCE	FC	0.4	2.5	0.0	N/A	N/A
SW CORNER (BLDG ENTRY)	ILLUMINANCE	FC	1.6	3.7	0.2	18.5:1	8.0:1

Collection: Urbandale  
 UPC #: 014817582352  
 Finish: Antique Bronze (ANBZ)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Glass	Glass	Undefined	1									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	10	9 1/2	1/2			8



**Dimensions:**  
 Width: 10"  
 Height: 16 1/4"  
 Weight: 11.88 lbs.  
 Extends: 8"  
 Wire: 8"  
 Mounting Proc.: Set Screw(s)  
 Connection: Mounted To Box  
 Bulb Type: Modules  
 Bulb Base: Integrated  
 Volts: 120  
 Watts: 26  
 Watts Consumed: 26  
 Watts Rated: 26  
 Hours Rated: 50000  
 Lumens: 1915  
 Bulb Temp: 2700 °K  
 CRI: 90

**Bulbs:**  
 1 - LED Integrated Array 26w 120v - included

**Features:**

- Advanced LED technology that warms in color when dimmed (2700K - 2200K).
- This advanced LED technology is carefully designed and selected to consist of the highest quality LED chipsets for superior performance and reliability.
- Meets Title 24 energy efficiency standards.

3 WALL SCONCE

**Kick™ - KB6 Bollard**

**FEATURES**

- Sensor and wireless operation
- Field rotatable optics and housing
- Customizable side panels
- 120-277, 347 and 480VAC input
- IDA Dark Sky Approved with clear lenses and 3000K
- True IES distributions
- 3000K, 4000K, 5000K CCT
- Uniformly diffused lens
- 20kV/10kA surge protection
- Integral thermal protection
- IP66

**DIMENSIONS**

MODEL	KB6
OVERALL HEIGHT	62" (1579mm)
OVERALL LENGTH	6" (152mm)
OVERALL WIDTH	6" (152mm)
WINDOW HEIGHT	10 1/2" (267mm)
WINDOW WIDTH	4" (102mm)
WEIGHT	30 lbs. (13.6kg)

**DISTRIBUTION OUTPUT\*** Street Side House Side

**SHIELDING SIDE** FRONT LEFT BACK RIGHT

**TYPE** A B C D

\*Housing and optical distribution are independently field rotatable in 90° increments. Default factory orientations shown above.



2 BOLLARD FIXTURE

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 Delray Beach, Florida

2022-09-15 BLDG. DEPT. COMMENTS

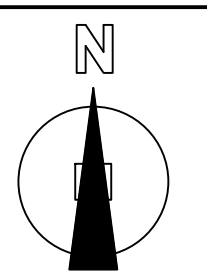
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MICHAEL W. HANLON  
 FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR009270  
 ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER: 17-030  
 ISSUED DATE: 2022-09-15  
 SCALE: AS NOTED



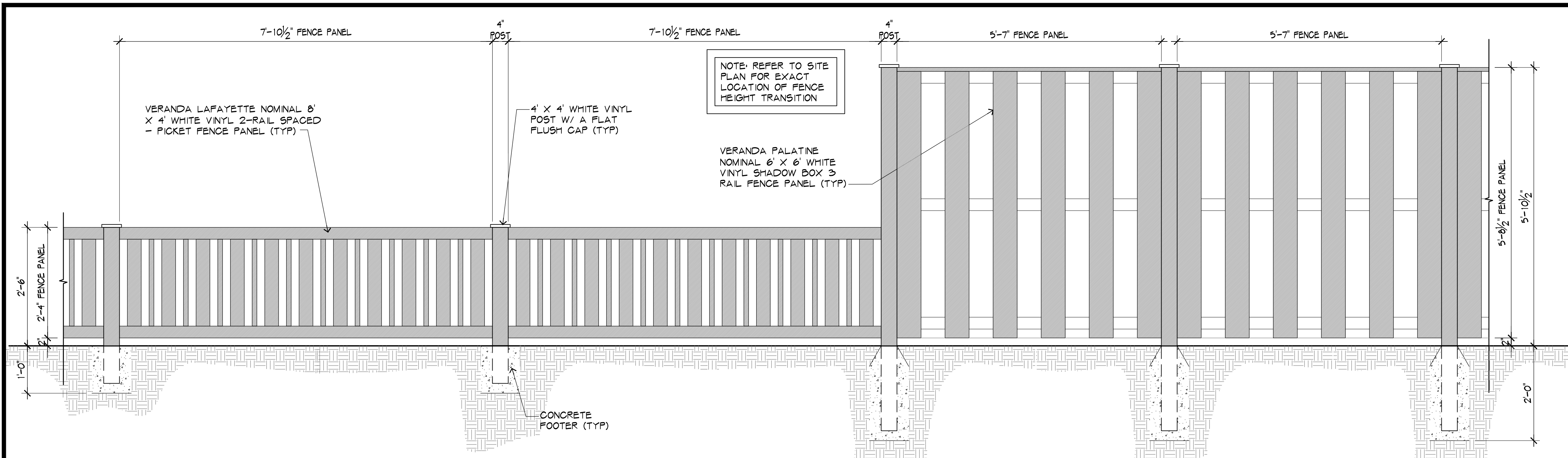
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DRAWING NUMBER: A0.2

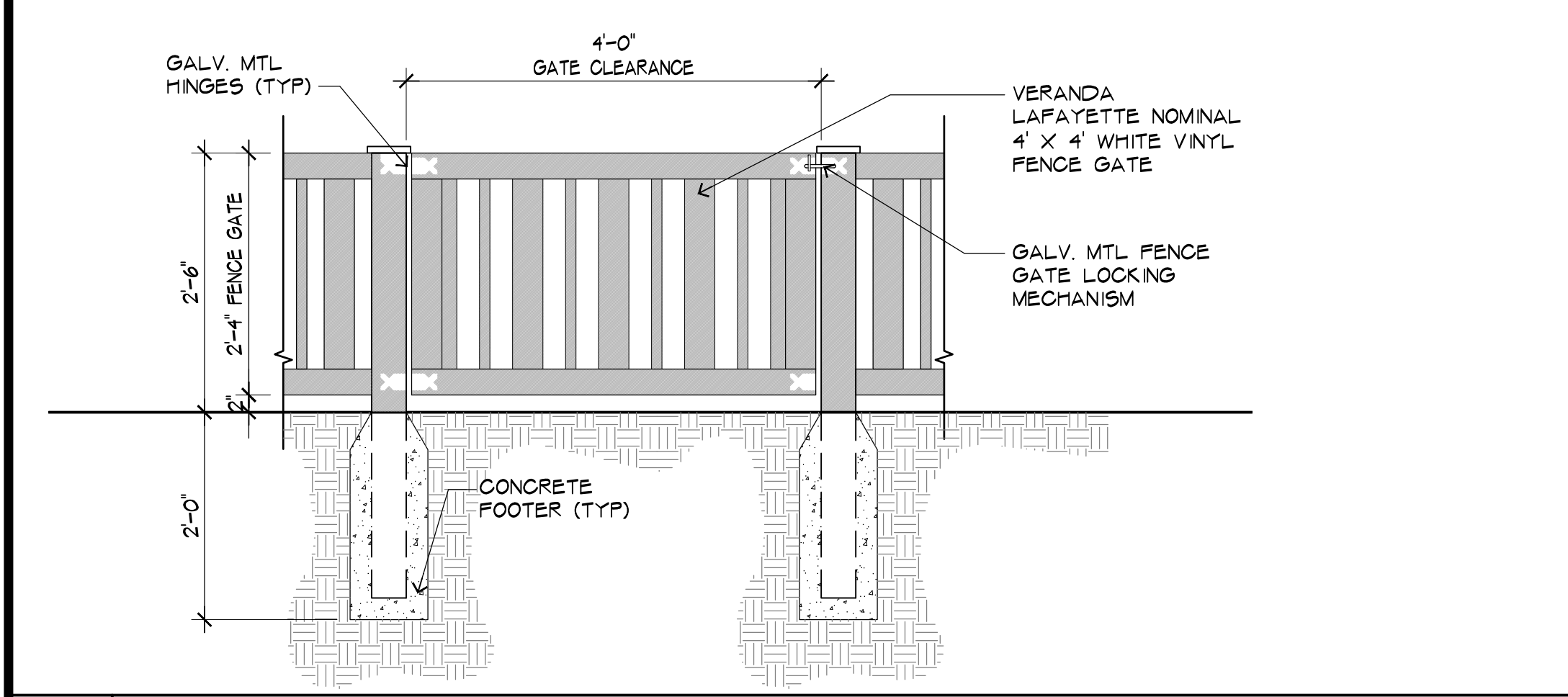
1 PHOTOMETRIC SITE PLAN

1" = 10'-0"

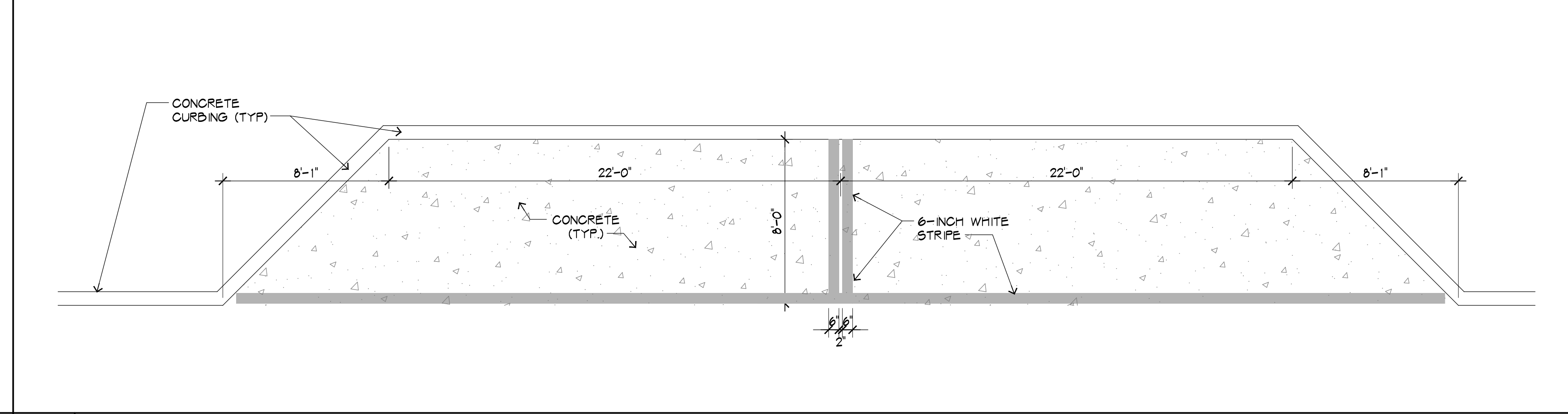




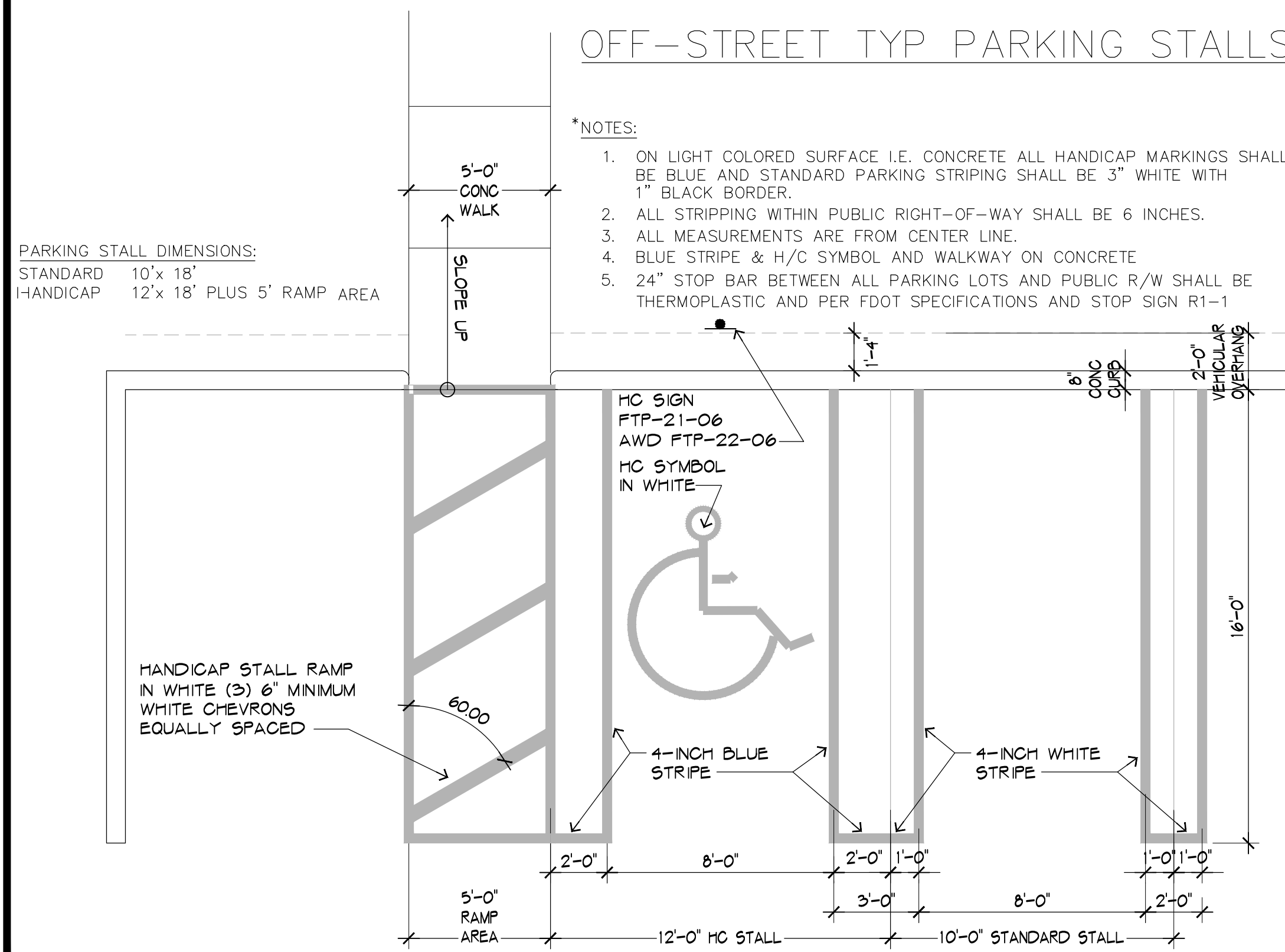
1 FENCE - HEIGHT TRANSITION ELEVATION  
3/4"=1'-0"



3 30" (H) FENCE GATE  
3/4"=1'-0"



4 PARKING STALL DETAIL  
1/4" = 1'-0"



5 PARKING STALL DETAIL  
1/4"=1'-0"

**PAVEMENT MARKING SPECIFICATIONS RT 8.1a**

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

**PERMANENT MARKINGS**

Installation:

- All markings shall be installed by the extruded method.
- Markings shall be free of weaves, bows, drips, drags, and other degrading items.
- Chalk shall be used for all layout markings.

Materials:

- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.

Thickness:

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:

- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.

Alternate Material:

- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

Layout:

- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

**TEMPORARY MARKINGS**

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Surface:

- Only foil backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

Other Pavement Surfaces:

- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

**PAVEMENT MARKING SPECIFICATIONS RT 8.1b**

**ALL PAVEMENT MARKINGS**

All paved surfaces shall be properly marked prior to the hours of darkness.

**RAISED PAVEMENT MARKERS**

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

**OTHER NOTES**

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

6 PAVEMENT MARKING SPECIFICATIONS  
NTS

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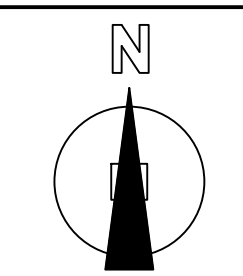
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ELECTRONIC SIGNATURE SERIAL NUMBER:

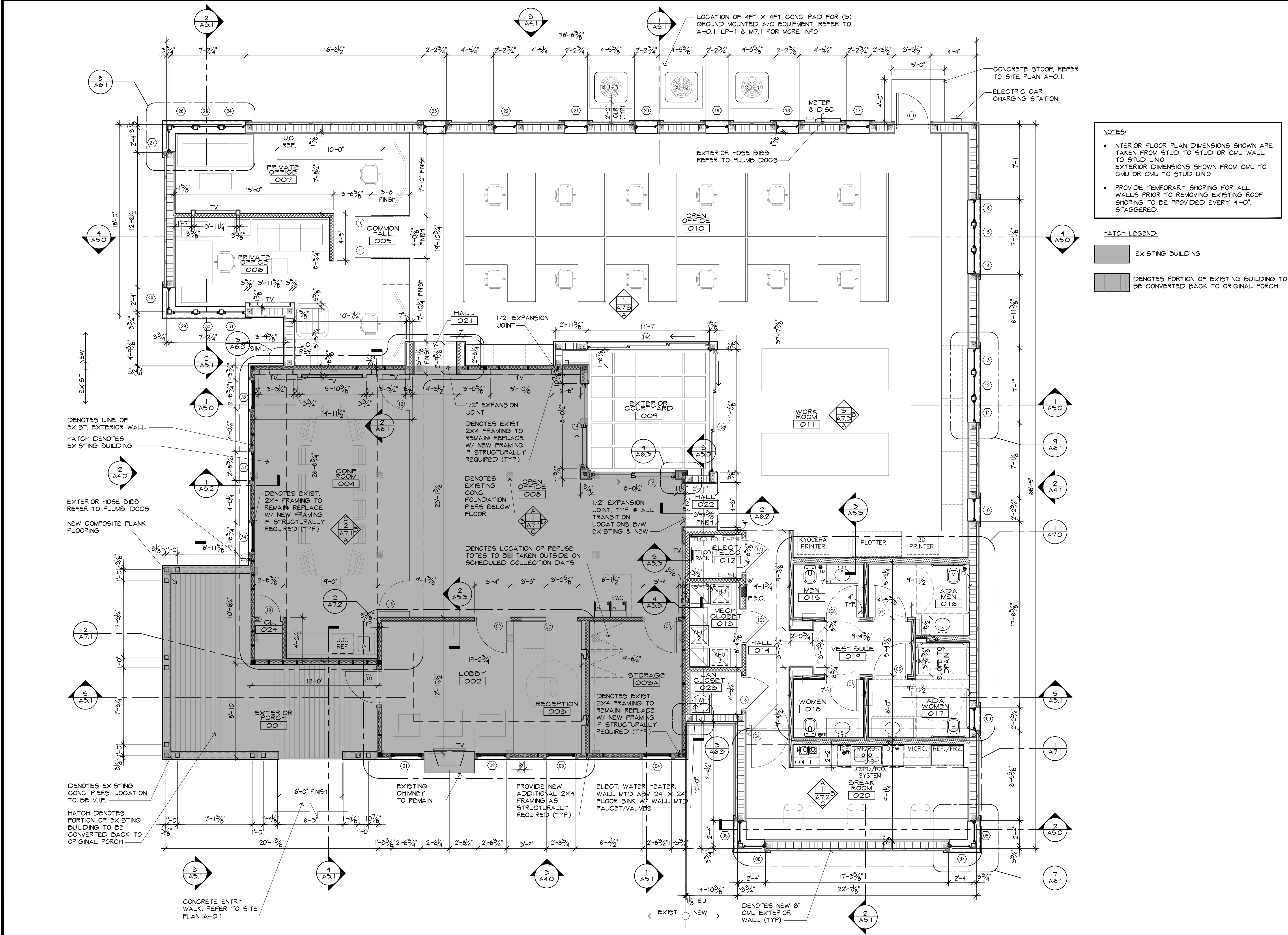
HNM PROJECT NUMBER: 17-030  
ISSUED DATE: 2022-02-10  
SCALE: AS NOTED



TITLE: SITE DETAILS

DRAWING NUMBER: A-0.3





**NOTES:**

- INTERIOR FLOOR PLAN DIMENSIONS SHOWN ARE TAKEN FROM STUD TO STUD OR CMU WALL TO STUD UNO. EXTERIOR DIMENSIONS SHOWN FROM CMU TO CMU OR CMU TO STUD UNO.
- PROVIDE TEMPORARY SHORING FOR ALL WALLS PRIOR TO REMOVING EXISTING ROOF. SHORING TO BE PROVIDED EVERY 4'-0", STAGGERED.

**HATCH LEGEND:**

- [Hatched Box] EXISTING BUILDING
- [Hatched Box] DENOTES PORTION OF EXISTING BUILDING TO BE CONVERTED BACK TO ORIGINAL PORCH

DENOTES LINE OF EXIST. EXTERIOR WALL

HATCH DENOTES EXISTING BUILDING

EXTERIOR HOSE BIBB REFER TO PLUMB. DOCS

NEW COMPOSITE PLANK FLOORING

DENOTES EXIST. 2X4 FRAMING TO REMAIN/ REPLACE W/ NEW FRAMING IF STRUCTURALLY REQUIRED (TYP)

DENOTES EXIST. CONC. PIERS, LOCATION TO BE V.I.F.

HATCH DENOTES PORTION OF EXISTING BUILDING TO BE CONVERTED BACK TO ORIGINAL PORCH

LOCATION OF 4FT X 4FT CONC. PAD FOR (3) GROUND MOUNTED A/C EQUIPMENT. REFER TO A-0.1, LP-1 & M7.1 FOR MORE INFO

CONCRETE STOOP REFER TO SITE PLAN A-0.1.

ELECTRIC CAR CHARGING STATION

EXTERIOR HOSE BIBB REFER TO PLUMB DOCS

MALL 021

1/2" EXPANSION JOINT

DENOTES EXIST. 2X4 FRAMING TO REMAIN/ REPLACE W/ NEW FRAMING IF STRUCTURALLY REQUIRED (TYP)

DENOTES EXISTING CONC. FOUNDATION PIERS BELOW FLOOR

1/2" EXPANSION JOINT, TYP @ ALL TRANSITION LOCATIONS B/W EXISTING & NEW

DENOTES LOCATION OF REFUSE TOTES TO BE TAKEN OUTSIDE ON SCHEDULED COLLECTION DAYS

DENOTES EXIST. 2X4 FRAMING TO REMAIN/ REPLACE W/ NEW FRAMING IF STRUCTURALLY REQUIRED (TYP)

PROVIDE NEW ADDITIONAL 2X4 FRAMING AS STRUCTURALLY REQUIRED (TYP)

ELECT. WATER HEATER. WALL MTD ABV 24" X 24" FLOOR SINK W/ WALL MTD FAUCET/VALVES

DENOTES NEW 8" CMU EXTERIOR WALL (TYP)

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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER  
**17-030**

ISSUED DATE  
**2022-02-10**

SCALE  
**AS NOTED**

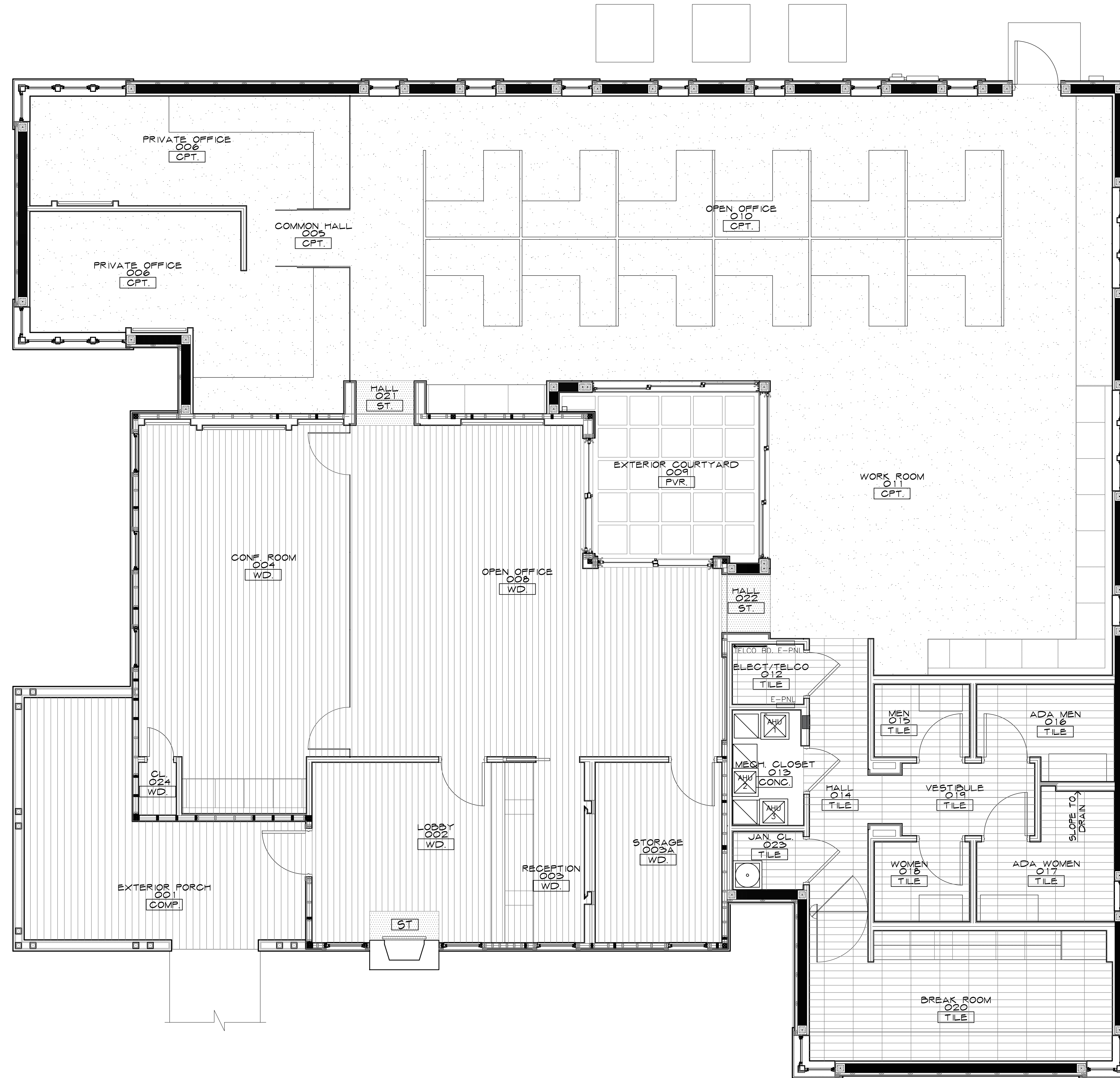
TITLE  
**FLOOR PLAN**

DRAWING NUMBER  
**A1.0**

**1 FLOOR PLAN**

1/4" = 1'-0"





FLOORING FINISH LEGEND:

- ST - STONE SLAB
- CPT - CARPET TILE
- TILE - PORCELAIN TILE (6X24)
- WD - HARDWOOD FLOORING
- CONC - SEALED CONCRETE
- PVR - CONCRETE PAVERS
- COMP - COMPOSITE BOARD

- ALL FINISHED FLOOR SURFACES TO BE FLUSH
- ALL CHANGES IN FINISH TO OCCUR @ CENTERLINE OF DOOR IN CLOSED POSITION (U.N.O)

NOTE:  
SLIP COEFFICIENT OF FRICTION AT 0.50 MIN.  
FOR ALL WET AREAS

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 ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER	17-030
ISSUE DATE	2022-02-10
SCALE	AS NOTED

TITLE:  
**FLOOR PATTERN PLAN**

DRAWING NUMBER:  
**A1.2**

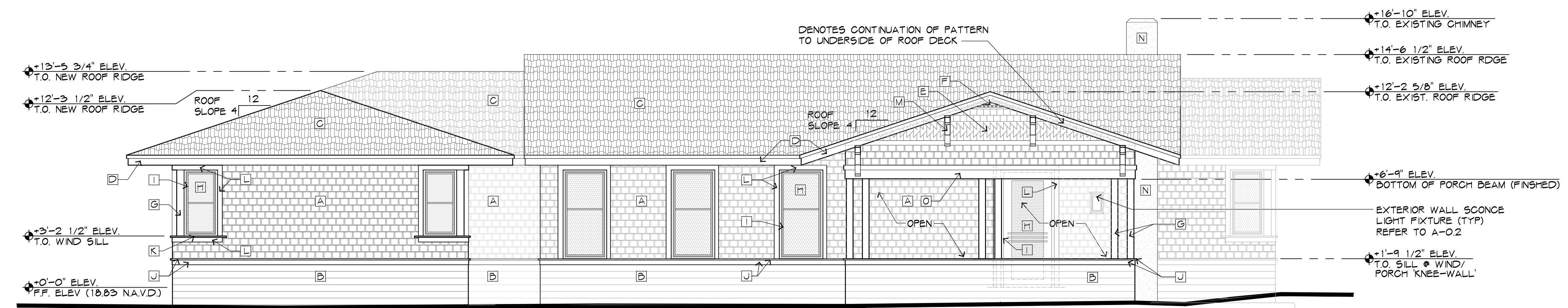


A	NATURAL CEDAR WOOD SHINGLE SIDING PATTERN - 1 (TO MATCH EXISTING)	J	(PAINTED WOOD) SILL 1 BANDING - EXTRA WHITE - SW 7006
B	HARDPLANK SIDING - IRON GRAY	K	(PAINTED WOOD) SILL 2 - GAUNLET GRAY - SW 7019
C	ASPHALT SHINGLES - SHADOW GRAY	L	1"x3"-1/2" (PAINTED WOOD) WINDOW/DOOR CASING - EXTRA WHITE - SW 7006
D	FASCIA - (PAINTED WOOD) - EXTRA WHITE - SW 7006	M	PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006 (TO BE SALVAGED AND REUSED)
E	NATURAL CEDAR WOOD SHINGLE SIDING PATTERN - 2 (TO MATCH EXISTING)	N	NEW SMOOTH STUCCO FINISH - SILVERPLATE - SW 7649
F	NATURAL CEDAR WOOD LATTICE GABLE VENT PATTERN - 3 (TO MATCH EXISTING)	O	(PAINTED WOOD) BEAM WITH TRIM - EXTRA WHITE - SW 7006
G	(PAINTED WOOD) - EXTRA WHITE - SW 7006		
H	GLASS - CLEAR IMPACT		
I	WINDOW/DOOR FRAME - WHITE ALUMINUM		

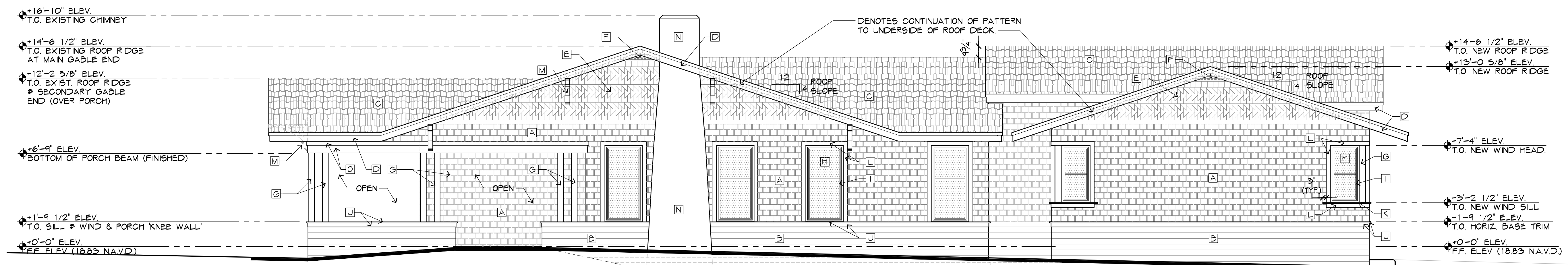
NOTE:

- CONTRACTOR TO PROVIDE PAINT SAMPLE/ MOCK-UP SECTION ON BUILDING FOR ARCHITECT APPROVAL PRIOR TO ORDERING PAINT FOR THE ENTIRE BUILDING.
- ALL OUTLOOKERS AND UNDERSIDE OF ROOF OVERHANG TO BE PAINTED EXTRA WHITE - SW 7006

1 FINISH LEGEND



2 WEST ELEVATION



3 SOUTH ELEVATION

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Delray Beach, Florida

2022-09-15	BLDG. DEPT. COMMENTS
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:	17-030
ISSUED DATE:	2022-09-15
SCALE:	1/4"=1'-0"

TITLE:  
WEST & SOUTH ELEVATION

DRAWING NUMBER:  
**A4.0**

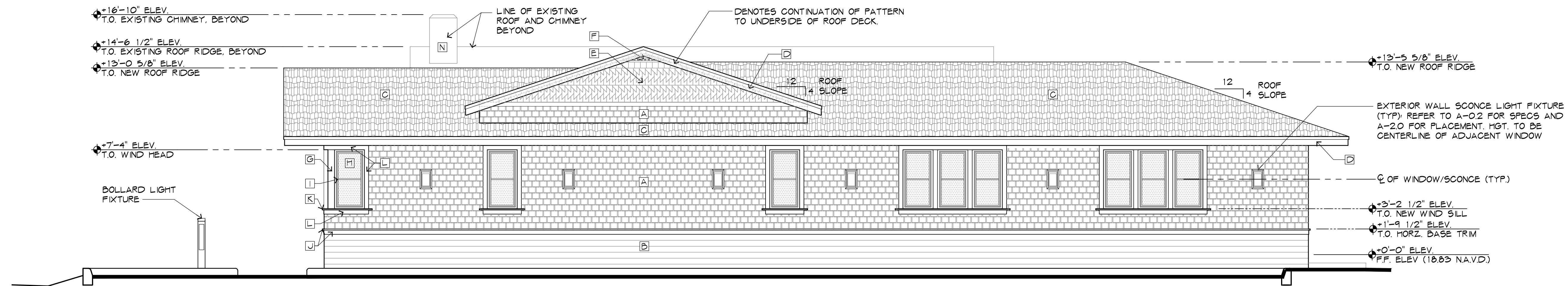


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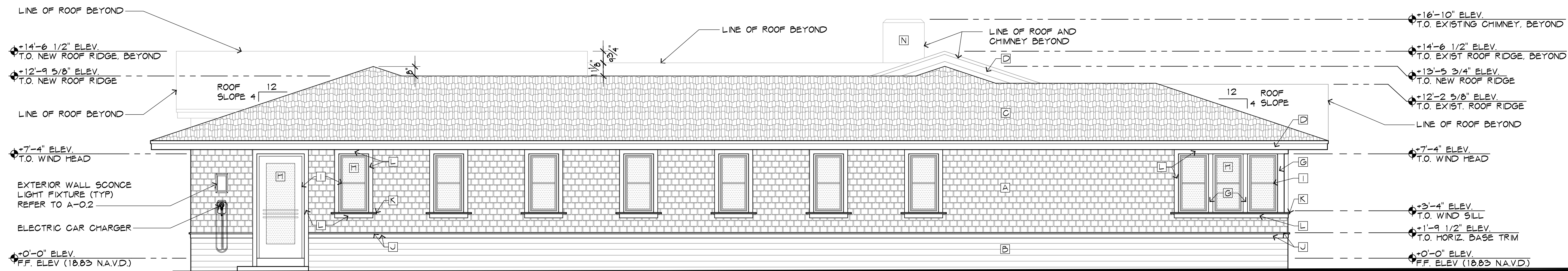
NOTE:

- CONTRACTOR TO PROVIDE PAINT SAMPLE/ MOCK-UP SECTION ON BUILDING FOR ARCHITECT APPROVAL PRIOR TO ORDERING PAINT FOR THE ENTIRE BUILDING.
- ALL OUTLOOKERS AND UNDERSIDE OF ROOF OVERHANG TO BE PAINTED EXTRA WHITE - SW 7006

1 FINISH LEGEND



2 EAST ELEVATION



3 NORTH ELEVATION

HNM ARCHITECTURE OFFICES  
143 South Swinton  
Delray Beach, Florida

2022-09-15  
BLDG. DEPT. COMMENTS

NO. DATE REVISION

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



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MICHAEL W. HANLON  
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AB001270  
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:  
17-030

ISSUED DATE:  
2022-09-15

SCALE:  
1/4"=1'-0"

TITLE:  
EAST & NORTH  
ELEVATION

DRAWING NUMBER:

A4.1