

**SITE PLAN REVIEW AND APPEARANCE BOARD
MEMORANDUM STAFF REPORT**

Applicant: Delray Beach Holdings

Project Name: Martini Property

Project Location: The request is in conjunction with the construction of a parking area and cross access to the north-south public alley from SE 4th Avenue (approximately 0.14 acres) at 59 SE 4th Avenue.

ITEM BEFORE THE BOARD

The action before the Board is to consider the Class V Site Plan and Landscape Plan for a parking area and cross access easement for the Martini Property associated with the Fourth and Fifth Delray (iPic Movie Theater) project.

BACKGROUND/DESCRIPTION

At its meeting of December 16, 2015, the SPRAB considered and postponed action on the site plan and landscape plan mentioned above.

The site plan has been revised per the SPRAB direction given for the Fourth and Fifth Delray project. The changes include the elimination of the parallel parking spaces and replacing them with a loading zone. This loading zone will also serve as a parking area for emergency vehicles accessing the Fourth and Fifth Delray project.

Turning Template:

The site plan has been revised to depict the turning movement for emergency vehicles. The vehicles will have adequate turning radii to maneuver through the property, which will in part utilize the loading area.

Photometric Plan:

A photometric plan has been provided for the Martini property. The photometric plan complies with the maximum illumination level of 12 foot candles (8.2 foot candles proposed) and the minimum illumination level of 1 foot candles (1 foot candle proposed).

RECOMMENDATION

By separate motion:

Site Plan:

Approve the request for a Class V site plan for the **Martini Property**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations, subject to the following conditions:

1. That a public access easement be recorded in a form approved by the City Attorney, on this property to provide cross access in perpetuity prior to certification of the site plan.
2. That a recorded deed be provided for the 2-foot alley dedication prior to certification of the site plan.

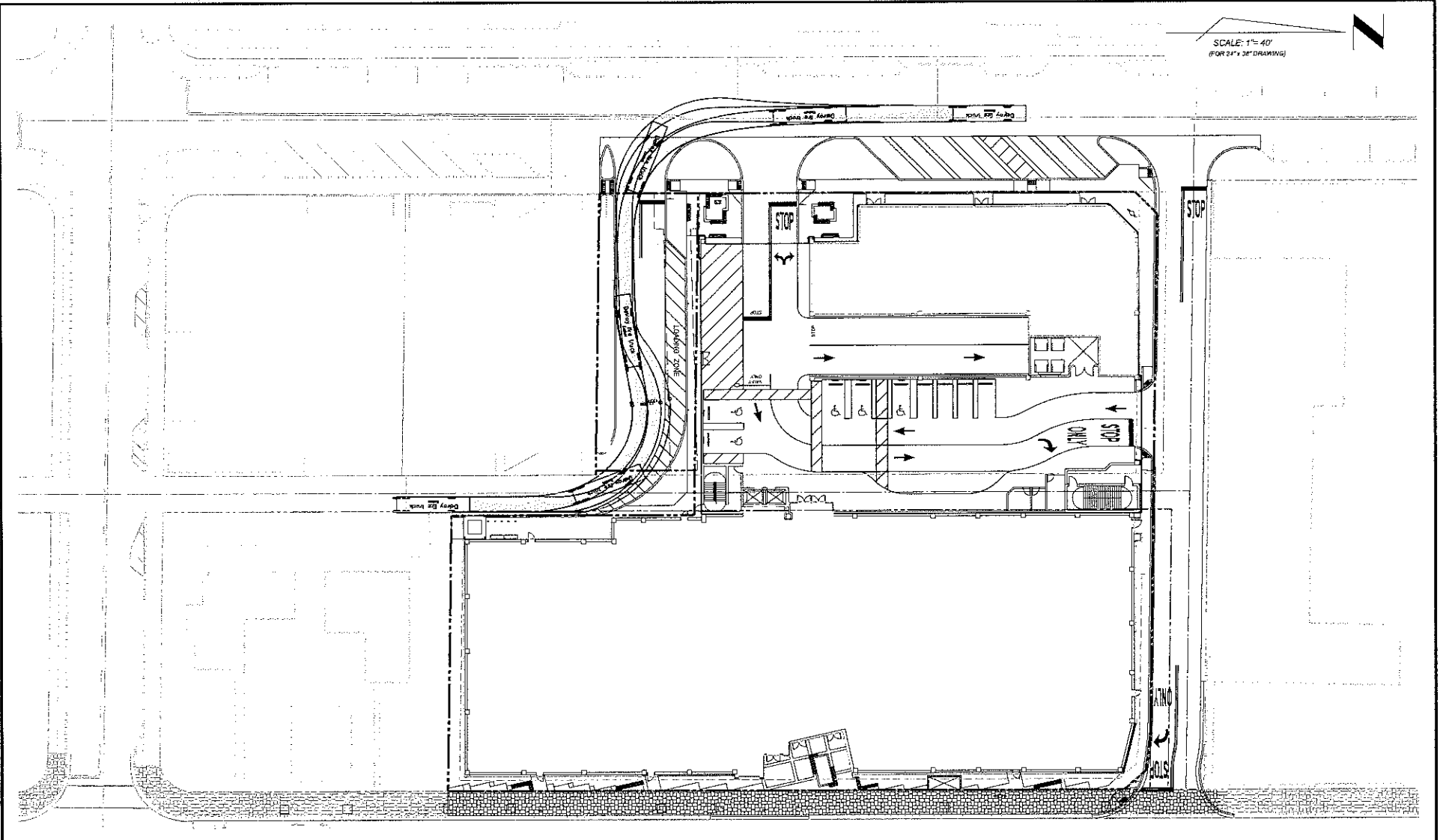
Landscape Plan:


Approve the landscape plan for the **Martini Property** based on positive findings with respect to Section 4.6.16 of the Land Development Regulations, subject to the condition that all that all Landscape Technical Items are addressed and three (3) copies of the revised plans are submitted.

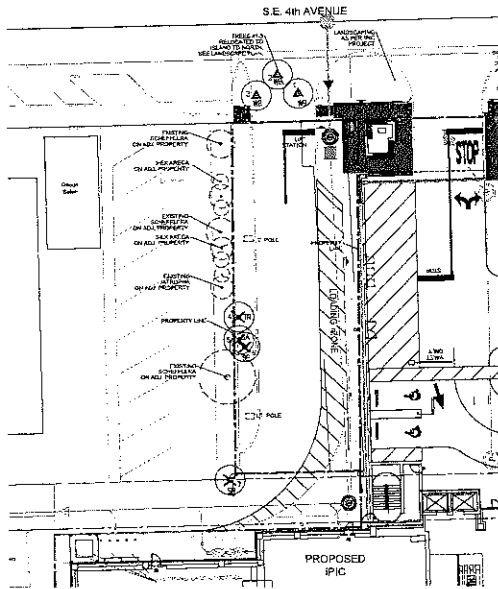
Attachments:

- Revised site plan and landscape plan
- SPRAB Staff Report December 16, 2015

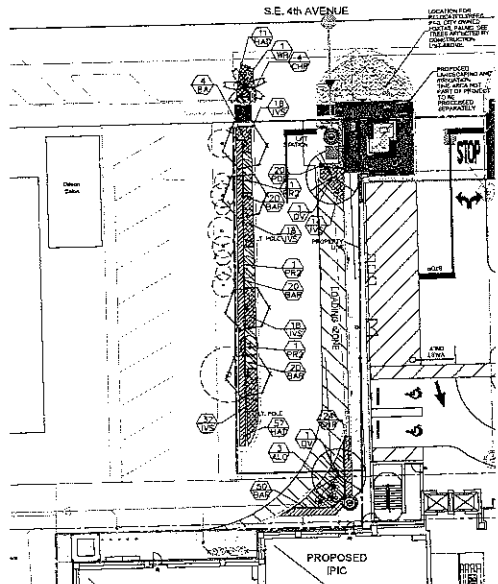
SCALE: 1" = 40'
(FOR 24" x 36" DRAWING)



		DESIGNED: AMF	 WINNINGHAM & FRADLEY, INC. ENGINEERS • PLANNERS • SURVEYORS <small>111 N.E. 4th STREET, DELRAY BEACH, FL 33444 TEL: 561.321.5200 FAX: 561.321.5201 WWW: WWW.WF.COM</small>	4TH & 5TH DELRAY DELRAY BEACH HOLDINGS, LLC	VEHICULAR MOVEMENT EXHIBIT	PROJECT NUMBER: 14007
REVISIONS		DRAWN: AMF				EX-0002994
DATE		CHECKED:				LIB-0002995
						SHEET: EXH



TREE REMOVAL PLAN
SCALE: 1" = 20'-0"



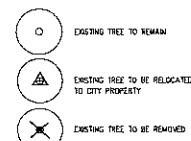
LANDSCAPE PLAN
SCALE: 1" = 20'-0"

TREES AFFECTED BY CONSTRUCTION

KEY	COMMON NAME	LATIN NAME	REMOVE	HT. AND SPAN	CONDITION	PROPOSED ACTION
1	WB	MOYETA BURGATA	FORTAL PALMS	22' H, 15' SPAN	FAIR	TO BE RELOCATED TO ISLAND BY FRONT OF THE SIDE PROPERTY
2	WB	MOYETA BURGATA	FORTAL PALMS	22' H, 15' SPAN	FAIR	TO BE RELOCATED TO ISLAND BY FRONT OF THE SIDE PROPERTY
3	WB	MOYETA BURGATA	FORTAL PALMS	22' H, 15' SPAN	FAIR	TO BE RELOCATED TO ISLAND BY FRONT OF THE SIDE PROPERTY
4	WB	SHIMAN BURGATA	THAIAT PALM	12' H, 10' SPAN	GOOD	REMOVE
5	SA	SCHETFLERA	SCHETFLERA SPP.	12' H, 10' SPAN	FAIR	TO BE RELOCATED OFF-SITE TO LOCATION COORDINATED WITH PETER ANJAL AT 200
6	SA	SABAL PALM	SABAL PALMETTO	14' H, 14' SPAN	FAIR	TO BE RELOCATED OFF-SITE TO LOCATION COORDINATED WITH PETER ANJAL AT 200
7	SA	SABAL PALM	SABAL PALMETTO	14' H, 14' SPAN	FAIR	TO BE RELOCATED OFF-SITE TO LOCATION COORDINATED WITH PETER ANJAL AT 200

"ALL TREES TO BE RELOCATED OFF-SITE SHALL BE COORDINATED WITH THE CITY OF DELRAY BEACH A MIN OF SIX (6) WEEKS PRIOR TO RELOCATION. CALL PETER ANJAL, SENIOR LANDSCAPE PLANNER, AT 561-243-7228 FOR COORDINATION"

TREE KEY

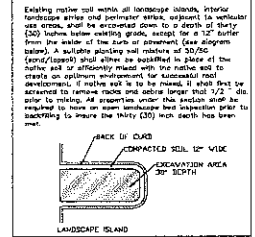


TREE RELOCATION AND PROTECTION NOTES

- All trees to be relocated shall be inspected by contractor with City of Delray Beach to be relocated to city property.
- Trees to be relocated shall be inspected by contractor with City of Delray Beach to be relocated to city property.
- Tree ID (Forest Plans) to be inspected to determine species type (2) Same Plans to be tagged and relocated on site.
- If species of relocation is to be same as 10' tree species. If relocation of tree species is not same, then tree tagging will be required.
- Tree relocation to be coordinated with general contractor on site to determine relocation.
- Use of temporary retaining walls to be installed by contractor.
- Use of existing lines and grade to remain in place and be protected from damage by contractor. Temporary retaining walls and shoring shall be installed on site. Suitable tree protection methods shall be specified by contractor.
- Trees over four inches in caliper that are to be relocated will be root planted at same depth.

CITY OF DELRAY BEACH STANDARD REQUIREMENTS

All plant material shall be grade #1 or better.
 Mulch shall be applied to a minimum depth of three (3) inches in all planting beds.
 All prohibited plant species shall be eradicated from site.
 All landscape areas shall be protected with an erosion control system, automatically operating, to provide complete coverage to all plant material and grass to be incorporated. System shall be equipped with proper drainage measures (soil / siltation system and a rain sensor / automatic control).
 Soil and irrigation shall be provided within the adjacent portion of the right-of-way adjacent to the Property Line.
 Reinstated immediate curbing at least six (6) inches in height shall be provided around all landscape islands and on a separator between all landscape areas (not on adjacent to adjacent use areas unless such curbing will interfere with drainage).
 No trees or shrubs shall be planted in Water, Sewer or Drainage Easements.
 Existing existing soil within all landscape islands, interior landscape areas and perimeter areas, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the water of the curb or sidewalk (see diagram below). A suitable planting soil mixture of 50/50 (topsoil/compost) shall either be installed in place of the existing soil or otherwise mixed with the existing soil to create an optimum environment for successful tree development. If existing soil is to be reused, it shall first be screened to remove rocks and debris larger than 3/4" in diameter to existing. All vegetation under this section shall be required to have an arbor treatment level inspection prior to planting to ensure the heavy (200) mesh depth has been met.
 BACK TO EXISTING COMPACTED SOIL, 12" WIDE EXCAVATION AREA 30" DEPTH LANDSCAPE ISLAND



PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION	
SA	4	Schoupsia arborescens (Yucca) 18" H, 7" Sp, 6" CA, 1/4" mesh, medium	
WB	1	Quercus virginiana 'Catalina' (Catalina Live Oak) 18" H, 10" Sp, 8" CA, 1/4" mesh, medium	
WB	1	Wrightia speciosa (Fountain Palm) 12" H, heavy, medium	
KEY QTY PLANT AND SPECIFICATION			
SHRUBS, BOUNDARIES AND ACCENTS			
ALO	3	Azalea spp. 'Parrot' (Bright Elephant Ear) 35" H, full, medium	
BAR	27	Conocarpus bonariensis (Pencil Cactus) 24" H, 24" Sp, 24" CA, full to ground	
BAR	110	Burleya repens (Coral Creeper)	
N	HAD	68	Hemelia patens 'Dwarf' (Dwarf Treebush) 24" H, 20" Sp, 24" CA, full to ground
N	IVS	100	Illex verticillata 'Smiling Dwarf' (Smiling Dwarf Holly) 12" H, 16" Sp, full, 1/4" mesh
PRD	3	Proscopium rubra (Dwarf Date Palm)	
PRD	20	Podocarpus macrophylla (Podocarpus Hedge) 36" H, 20" Sp, 20" CA	
SOD		St. Augustine sod-contractor to determine quantity	
MULCH		Black Mulch- Contractor to determine quantity, 3" depth	

NOTES

All plant material to be Grade #1 or better.
 Sod to be St. Augustine 'Parrot', contractor to determine quantity.
 All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.
 Contractor responsible for all conditions and landscape specifications attached to this plant list. Plant and specifications shall be considered Contract Documents.
 Mulch, topsoil, and fertilizer to be applied according to specifications.
 Benton according to south property line to be installed per FTL specifications and approved.
 City issued irrigation lines on SE 4th Avenue to be left intact and undisturbed for the duration of construction. Location to be field verified by contractor.
 City issued plant material damaged during construction shall be replaced with like plant material with the same specifications.

SPECIFICATIONS

TEMPERATURE: All plant material used shall be live in same and size in conformity with the Florida Nurseries' Grades and Standards, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.
PLANT SIZE: Quantities, sizes, and location of plants will be determined by plan and plant list. Size of plant shall take precedence over container size. Species of ground covers will be determined by plant list. Quantities shown on plant list are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Groundcover shall be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: No substitution shall be accepted without consent of Landscape Architect. Any proposed substitutions shall be defined on the list.
PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a mix of 50% topsoil/50% mesh. 50% mesh topsoil and bottom of root ball. Fertilizer shall be applied in beds with a mix of 4" of topsoil mixed into the top 12" of existing soil.
FERTILIZER: Foliage and fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturer's recommended application rates.
MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 1 foot dia circle. All shrub and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in 12" dia circles. Mulch should be Grade #1 unless otherwise specified.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Soil and hedge material shall be placed to a min. 2" away from walls or other obstructions. Material with a medium size particle shall be placed near firm containers or soil to improve the natural growth habit. Soil Pans are to be planted directly in soil. If necessary, erector through any connected building materials to be installed and level with planting soil.
WATERING: All plant material shall be watered in thoroughly after installation as to remove all air pockets. SOD material shall be watered every day for a minimum area each period and thereafter as to, in long container beds with full acceptance of the landscape installation. Contractor shall verify amount of other watering requirements after installation.
STAKING: All trees 8" or taller shall be staked to provide ample support each but the material shall be placed within 24 hours of planting. Stake shall be placed in the trunk of the tree and shall be straight and true through the planting period. Methods used will be such that no injury is caused to plants during the growing period.
CONTRACTOR: Contractor shall be responsible for all trees and plants remaining straight and true throughout the growing period.
SOIL: Soil shall be clean, grade and free of debris, rocks, objectionable grasses, clumps, or injurious weeds. A complete 6-3-6 fertilizer shall be applied at a rate of 3 lbs. per 1000 sq. ft. and shall be watered to a depth of 6" after laying. All work to be installed shall be noted on plan and all details necessary prior to installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Plants are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be covered by contractor.

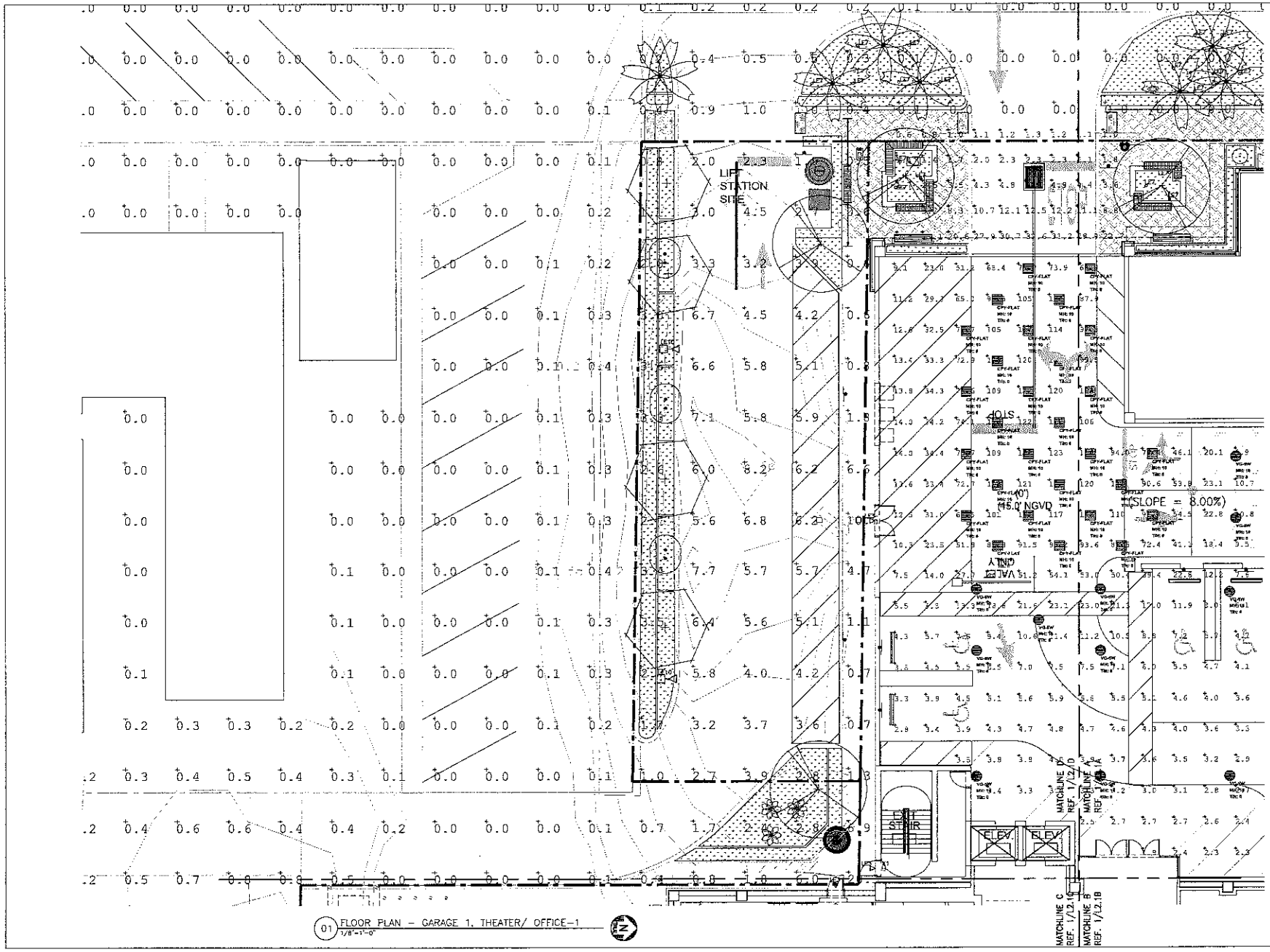


PROJECT
 DELRAY BEACH HOLDINGS

59 S.E. 4th AVENUE
 DELRAY BEACH, FL
 TITLE
 TREE REMOVAL PLAN & LANDSCAPE PLAN

PROJ. NO.	FILE NAME
LP-1	FILE NAME
CDP	DRAMIN
10-12-15	DATE
11-25-15	REV.
1-6-16	REV.
1-12-16	REV.

SHEET
 LP-1
 OF



01 FLOOR PLAN - GARAGE 1, THEATER/ OFFICE-1
1/8"=1'-0"

4th & 5th DELRAY

MIXED-USE DEVELOPMENT
 PROPOSAL BY DELRAY BEACH HOLDINGS, LLC
 CITY OF DELRAY BEACH
 PALM BEACH COUNTY, FLORIDA

HODGES
 Architecture

www.hodgesusa.com 972.387.1000
 13642 Omega, Dallas, TX 75244

Project Number: 13326

Drawn By: OOC Checked By: OOC

No.	Description	Date
1	SPRAB APPROVAL	10/28/15
1	SPRAB APPROVAL	12/28/15
2	SPRAB APPROVAL	01/06/16

L2.1D

LIGHTING FLOOR PLAN
 6-1 T-1

SITE PLAN REVIEW AND APPEARANCE BOARD

---STAFF REPORT---

CITY OF DELRAY BEACH

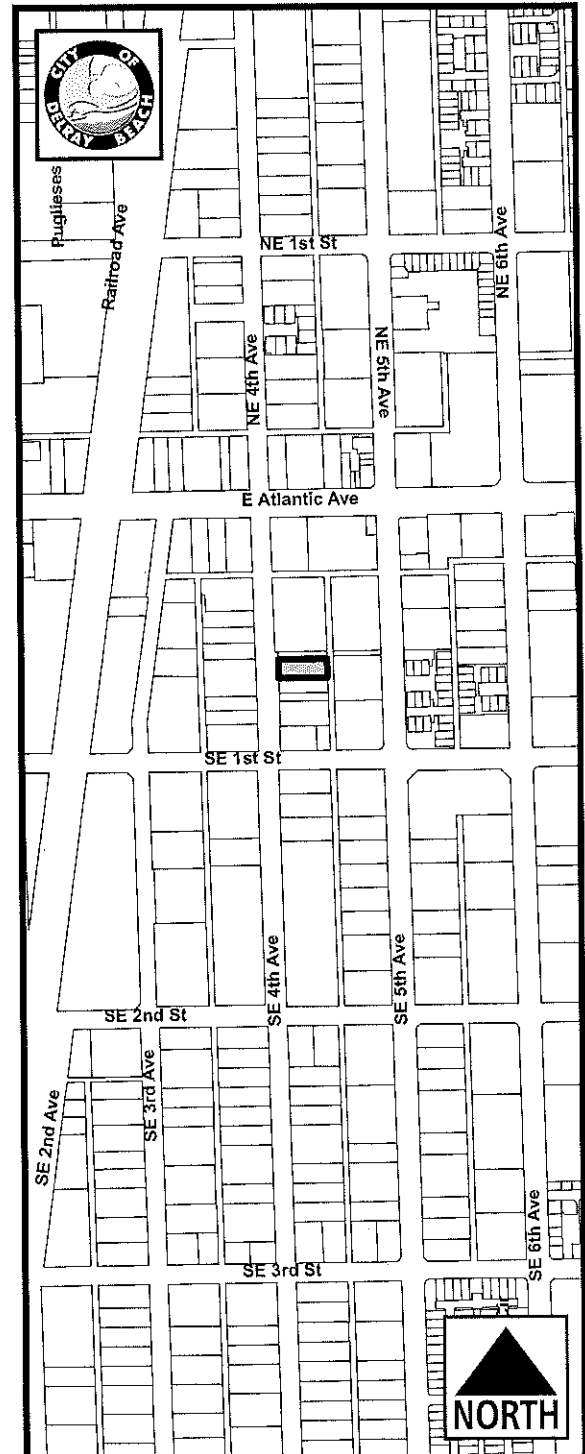
MEETING DATE: December 16, 2015

ITEM: **Martini Property** – Class V Site Plan and Landscape Plan With The Construction Of A Driveway and Parking at 59 SE 4th Avenue.

RECOMMENDATION: Approval with conditions

GENERAL DATA:

Applicant..... Delray Beach Holdings, Inc.
Agent..... Dunay, Miskel & Backman, LLP
Location..... 59 SE 4th Avenue
Property Size..... 0.14 Acres
Future Land Use Map... CC (Commercial Core)
Current Zoning..... CBD (Central Business District)
Adjacent Zoning..North: CBD
 East: CBD
 South: CBD
 West: CBD
Existing Land Use..... Commercial and Residential
Proposed Land Use..... Construction of a driveway and parking
Water Service..... Existing on site.
Sewer Service..... Existing on site.



ITEM BEFORE THE BOARD

The action before the Board is approval of a Class V site plan request for **Martini Property** pursuant to LDR Section 2.4.5(F). The request involves the following elements:

- Site Plan; and
- Landscape Plan.

The requests are in conjunction with the construction of a parking area and cross access to the public north-south alley from SE 4th Avenue (approximately 0.14 acres) at 59 SE 4th Avenue.

BACKGROUND

The project area consists of a portion of Lot 10, Block 101 Town of Linton. The property contains a mixed use building that was constructed in 1950.

At its meeting of August 18, 2015, the City Commission approved the abandonment application for a portion of the north/south alley and the conditional use applications for an increase in building height to 59.5 feet and for the movie theater use associated with the Fourth and Fifth Delray project.

The alley abandonment was approved subject to the following conditions:

1. That the Martini property (located to the south and west of the project) be acquired and redeveloped to provide vehicular access to SE 4th Avenue from the north-south alley prior to issuance of a building permit.
2. That the applicant resolves any concerns of the affected utility service providers prior to issuance of a building permit.

The action now before the Board is approval of the site plan and landscape plan.

PROJECT DESCRIPTION

The development proposal incorporates the following:

- Demolition of the existing improvements on the property.
- The construction of four parallel parking spaces and a cross access driveway that provides a public connection to the north-south alley.
- Installation of associated landscaping.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K) and Table 4.4.13(C):

	Standard	Provided
Open Space	0%	22.84%

Lighting:

Pursuant to LDR Section 4.6.8(A)(3), a photometric plan has been submitted that demonstrates compliance with the minimum illumination (1 fc) and the maximum (12 fc) illumination levels for a parking lot.

Right-of-Way Dedication:

Pursuant to Land Development Regulation (LDR) Section 5.3.1(D)(2), there are no rights-of-way dedication required for SE 4th Avenue. However, the required alley width is 20 feet and 16 feet exists. The existing north-south alley is 16 feet wide and 20 feet is required. The site plan includes the dedication of 2 feet to this alley.

Other Issues:

Alley Connection:

The City Commission approved the partial abandonment of the north/south alley and additional landscaping subject to the condition that the Martini property be acquired and redeveloped to provide vehicular access to SE 4th Avenue from the alley with additional landscape area prior to issuance of a building permit. The applicant has submitted the site plan application that provides the required vehicular access from the north/south alley to SE 4th Avenue. A public access easement will need to be provided on this property to ensure cross access and this attached as a condition of approval.

LANDSCAPE ANALYSIS

The Senior Landscape Planner has reviewed the proposed landscape plan and found that it substantially complies with LDR Section 4.6.16. The proposed landscaping consists of Verawood, Cathedral Live Oak, Foxtail Palms, Upright Elephant Ear, Redtip Cocoplum, Coral Creeper, Dwarf Firebush, Shilling's Dwarf Holly, Dwarf Date Palm, and Podocarpus. Based upon the above, the proposed landscape plan will comply with LDR Section 4.6.16.

Landscape Technical Items: The following Landscape Plan items remain outstanding, and will need to be addressed prior to certification of the site plan.

1. Tree #'s 1 -3 (city-owned Foxtail Palms) and #'s 6-7 (Sabal Palms) shall be saved either on-site or off-site. Update the Existing Tree Disposition plan to show final locations for all relocated trees. Provide a separate column entitled "Relocated To". Trees will either be relocated on-site or off-site. If off-site, provide an asterisk next to each tree with a note. The note shall read, "All trees to be relocated off-site shall be coordinated with the City of Delray

Beach a minimum of six (6) weeks prior to relocation. Call Peter Anuar, Senior Landscape Planner, at (561) 243-7226 for coordination."

2. Per LDR 4.6.16(E)(5), all required trees are to be a minimum of sixteen feet (16') in height with a seven foot (7') spread and eight foot (8') of clear trunk. Revise specifications and species if this size cannot be found for the species that is currently being proposed.
3. Landscape Maintenance Agreement is required for the proposed plantings outside the property line. Submit the signed agreement with the supporting exhibits (as outlined in the agreement) as quickly as possible. This will need to be executed by City Commission.

REQUIRED FINDINGS

REQUIRED FINDINGS (Chapter 3):

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to Future Land Use Map Consistency, Concurrency, Comprehensive Plan Consistency and Compliance with the LDRs as noted below.

Section 3.1.1 (A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of CC (Commercial Core) and is zoned CBD (Central Business District). The CBD zoning district is consistent with the CC Future Land Use Map designation. Per LDR Section 4.4.13(B)(3)(b), commercial parking lots are a Principal Use in the CBD zoning district. Based upon the above, positive findings can be made with respect to consistency with the Future Land Use Map.

Section 3.1.1 (B) - Concurrency:

The proposed driveway and parking will have no impact on concurrency levels.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions):

As described in Appendix A, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

Section 3.1.1 (D) - Compliance With the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, when all outstanding items attached as conditions of approval are addressed.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted:

Future Land Use Element Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development. The surrounding uses are municipal library to the north, Chamber of Commerce to the east (both of which are planned to be demolished and replaced with the iPic movie theater mixed-use development), commercial to the south, and office to the west.

Section 2.4.5 (F)(5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The subject property is bordered to the north, south, east, and west by CBD. The surrounding uses are retail, restaurant and offices to the north, east and west, and residential to the south.

REVIEW BY OTHERS

Community Redevelopment Agency (CRA):

The CRA considered the site plan request at its meeting of November 19, 2015 and recommended approval.

Downtown Development Authority (DDA):

At its meeting of November 9, 2015, the DDA reviewed the site plan application and recommended approval.

Courtesy Notice:

Courtesy notices have been provided to the following homeowner's associations and interested parties, which have requested notice of developments in their areas:

- Delray Citizen's Coalition
- Chamber of Commerce
- Courtyards of Delray
- Alberta Beale, Inc.
- Mallory Square
- Town Square
- Village Grand of Delray Beach
- Downtown Development Authority
- Osceola Park

Any letters of concern and support will be presented to the SPRAB.

ASSESSMENT AND CONCLUSION

The proposed driveway and parking is a result of the Fourth and Fifth Delray alley abandonment, which required the applicant to obtain the subject property and provide cross access to the remainder of the north/south alley. The proposed development is consistent with the policies of the Comprehensive Plan and Chapter 3 of the Land Development Regulations. Positive findings can be made with respect to Section 2.4.7(B)(5)[Waiver Findings] and Section 2.4.5(F)(5) regarding compatibility of the proposed development with surrounding properties.

ALTERNATIVE ACTIONS

- A. Postpone with direction.
- B. Move approval of the request for Class V site plan and landscape plan for the **Martini Property**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.7(B)(5), Section 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations, subject to the attached conditions of approval.
- C. Move denial of the request for Class V site plan and landscape plan for the **Martini Property**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.7(B)(5), Section 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Approve the request for a Class V site plan for the **Martini Property**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations, subject to the following conditions:

1. That a public access easement be provided on this property to ensure cross access.
2. That a recorded deed be provided for the 2-foot alley dedication.

Landscape Plan:

Approve the landscape plan for the **Martini Property** based on positive findings with respect to Section 4.6.16 of the Land Development Regulations, subject to the condition that all that all Landscape Technical Items are addressed and three (3) copies of the revised plans are submitted.

Attachments:

- Appendix A
- Site Plan
- Landscape Plan

Report prepared by: Scott D. Pape, AICP, Principal Planner

**APPENDIX A
STANDARDS FOR SITE PLAN ACTIONS**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____
Meets intent of standard _____ **X** _____
Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____
Meets intent of standard _____ **X** _____
Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable _____ **X** _____
Meets intent of standard _____
Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____
Meets intent of standard _____ **X** _____
Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable _____ **X** _____
Meets intent of standard _____
Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent of standard _____ **X** _____
Does not meet intent _____

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

Not applicable X

Meets intent of standard _____

Does not meet intent _____

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

Not applicable _____

Meets intent of standard X

Does not meet intent _____

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

Not applicable _____

Meets intent of standard X

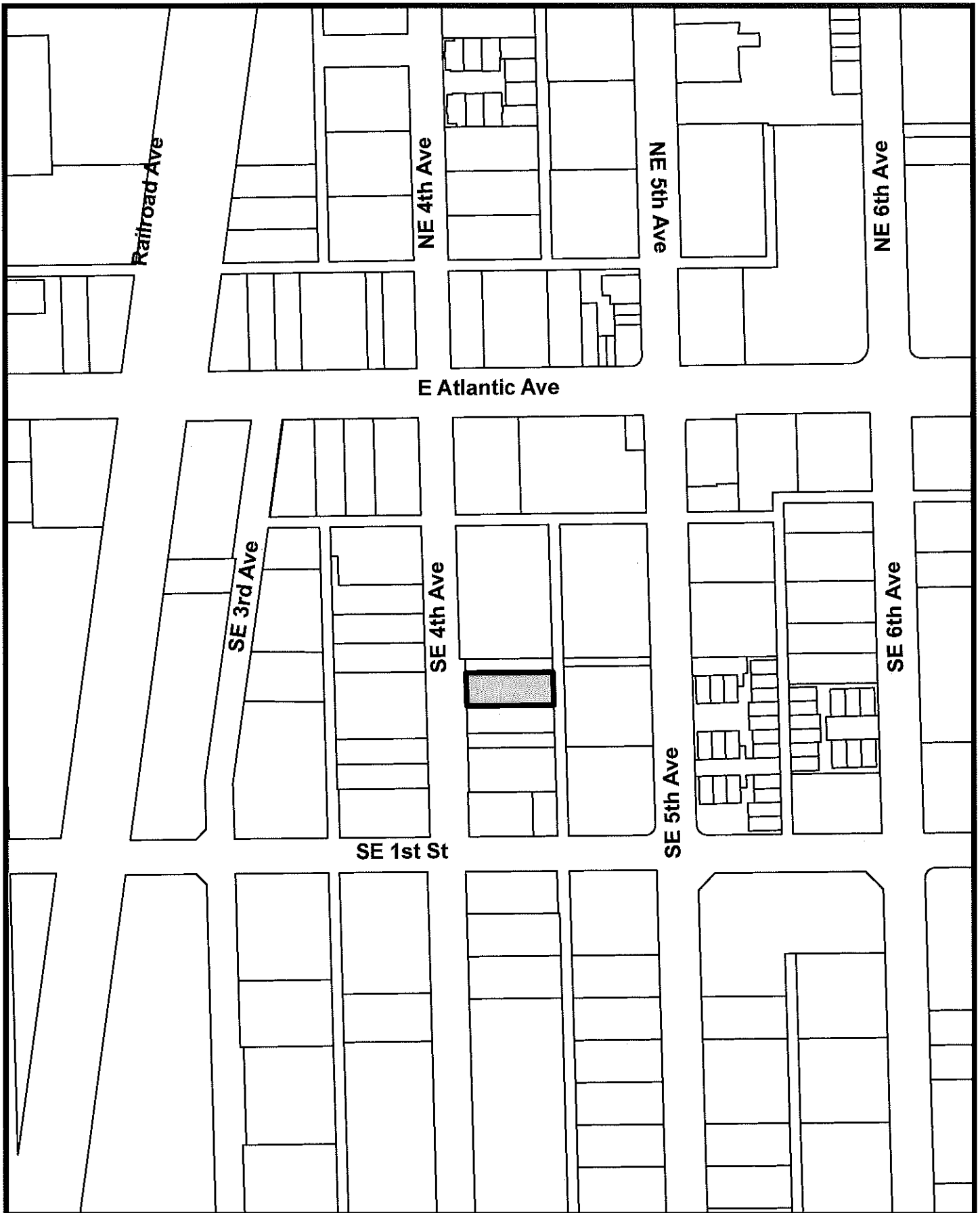
Does not meet intent _____

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable X

Meets intent of standard _____

Does not meet intent _____

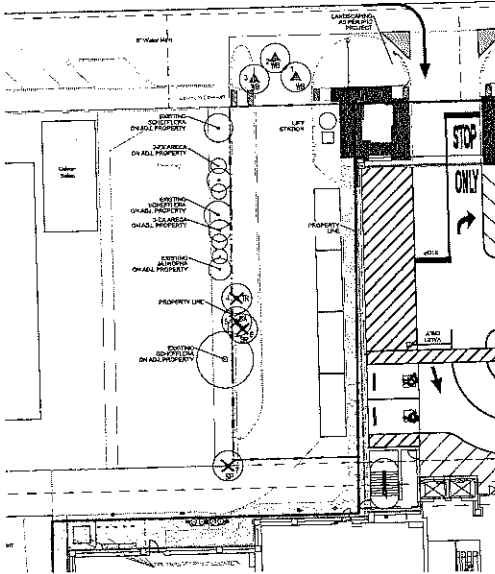


NORTH
 PLANNING & ZONING
 DEPARTMENT

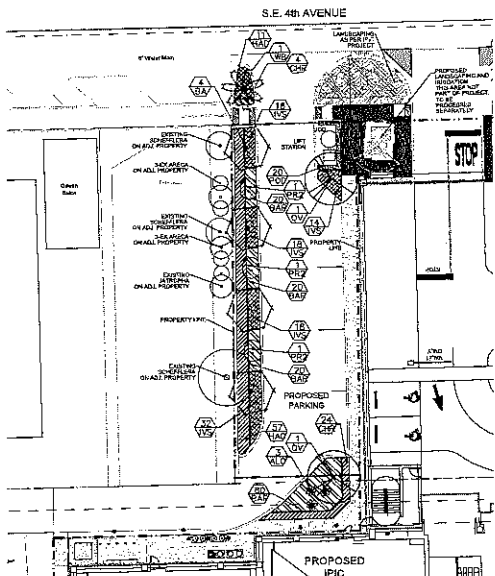
MARTINI PROPERTY

59 SE 4th Avenue
 LOCATION MAP

 Subject Property



TREE REMOVAL PLAN
SCALE: 1" = 20'-0"

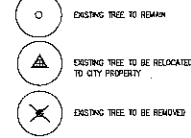


LANDSCAPE PLAN
SCALE: 1" = 20'-0"

TREES AFFECTED BY CONSTRUCTION

NO.	KEY	COMMON NAME	LATIN NAME	REMOVE	HT. AND DBH	CONDITION	PROPOSED ACTION
1	WE	MONYNETIA BIFURCATA	FORTAL PALM	-	22' Ht., 15" DBH	FAIR	TO BE REMOVED AND REPLACED WITH THE SAME SPECIES
2	WE	MONYNETIA BIFURCATA	FORTAL PALM	-	24' Ht., 15" DBH	FAIR	TO BE REMOVED AND REPLACED WITH THE SAME SPECIES
3	WE	MONYNETIA BIFURCATA	FORTAL PALM	-	22' Ht., 15" DBH	FAIR	TO BE REMOVED AND REPLACED WITH THE SAME SPECIES
4	TH	SHIRAZIA KAGIATA	SMITH PALM	3"	12' Ht., 8" DBH	GOOD	REMOVE
5	SA	SCHOFFLERA	SCHOFFLERA SPY.	12"	30' Ht., 14" DBH	INVASIVE	REMOVE
6	SP	SABAL PALM	SABAL PALMETTO	14"	14' Ht., 10" DBH	FAIR	REMOVE
7	SP	SABAL PALM	SABAL PALMETTO	14"	14' Ht., 10" DBH	FAIR	REMOVE

TREE KEY



TREE RELOCATION AND PROTECTION NOTES

- All trees to be relocated to be tagged in field with orange tree tags.
- Tags to be submitted to be submitted by contractor with City of Delray Beach to be retained in city property.
- The US Log Tag and tree (2) Fast Tag to be tagged and retained on tree.
- If possible, protection to be done by 60" tree wells. If relocation by tree wells is not feasible, then steel decking or be removed.
- Tree relocation to be completed with ground protection on site to maximum extent.
- Locally available mulch to be used for tree relocation.
- All watering of relocated trees at city property to be provided by others.
- All existing trees and shrubs to remain in place and be protected from damage by machinery or loading between tree protection fence and building or vehicle or pool. Support the protection materials and be approved by the City.
- Tree and shrub removal to be completed with the tree stump to be removed at least 48 hours in advance of the start of construction.

PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
BA	4	Bulbine arborescens (Veraweed) 14" Ht., 8" DBH, full, matched
OV	2	Quercus virginiana 'Cathartes' (Cathartes Oak) 10' Ht., 14" DBH, 5' c.u., 8' c.u., full, matched
WE	1	Wrightia lucida (Fossil Palm) 12' c.u., heavy, matched

KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		
ALD	3	Alseodora sp. 'Parsons' (Upright Elephant Ear) 36" Ht., full, matched
CHR	27	Chrysanthemum leucum (White Chrysanthemum) 24" Ht., 24" DBH, 24" c.u., full to ground
BAR	140	Bambusa nana (Coral Bamboo) 12" Ht., 12" DBH, 18" c.u., full
HAD	88	Hemelia patens 'Giant' (Dwarf Fraxinus) 24" Ht., 20" DBH, 24" c.u., full to ground
HVS	100	Hebe 'Dancing Queen' (Dancing Queen Hebe) 18" Ht., 18" DBH, full, 18" c.u.
PRZ	3	Phoradendron (Dwarf Date Palm) 8" Ht., double, matched
POD	20	Podocarpus neriifolia (Podocarpus Hedge) 42" Ht., 20" DBH, 20" c.u.
SOD		St. Augustine sod-contractor to determine quantity
MULCH		Black Mulch- Contractor to determine quantity, 2" depth

NOTES

All plant material to be healthy #1 or better.
Soil to be St. Augustine 'Fluorant', contractor to determine quantity.
All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.
Contractor responsible for all conditions and landscape specifications attached to this permit. Plans and specifications shall be completed Contract Documents.
Water, layout, and fertilizer to be applied according to specifications.
Bamboo screening on south property line to be installed per FR, specifications and approval.
City owned irrigation lines on SE 4th Avenue to be left intact and undisturbed for the duration of construction. Location to be field marked by contractor.
City owned plant material damaged during construction shall be replaced with like plant material with the same specifications.

SPECIFICATIONS

NOTIFICATION: All plant material used shall be true to name and size in conformity with the Florida Department of Agriculture and Forestry, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.
PLANT LOTS: Quantity, size, and location of plants will be determined by plan and plant list. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant list. Container sizes on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.
CONSTRUCTION: No installation shall be executed without consent of Landscape Architect. Any alternate substitutions shall be detailed on the bid.
PLANTING SOIL: Fertilizer shall be applied to plants, and tree of debris or other foreign matter. Trees and shrubs shall be planted with a min. of 6" topsoil (LOOS 200) and 100% sod on sides on bottom of root ball. Root ball shall be planted in beds with a min. of 4" of topsoil around the tree or shrub.
FERTILIZER: Fertilizer and liquid fertilizer (12-12-12) or approved wood shall be applied after planting and prior to mulching per manufacturer's recommended application rates.
MULCH: All trees shall be mulched with 1" of approved elevated mulch in a 3' dia. circle. All shrubs and groundcover beds shall be mulched with 2" of approved elevated mulch in beds shown on plan or as indicated on the bid. Mulch shall be applied in a 12" radius diameter approved.
PLANTING PROCEDURE: All plants shall be planted at well levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other structures. Material with a mature size greater than one year old shall be planted away from structures so as to respect the natural growth habit. Small plants are to be planted directly in sand. If necessary, excavate through and compacted bedding appropriate to established soil and backfill with planting soil.
WATERING: All plant material shall be watered in thoroughly after installation as to remove all of the products. B&B material shall be watered every day for a minimum one week period and thereafter to an in excess capacity until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.
GRUBS: All trees 8" or taller shall be grubbed or staked to provide single support such that the material will stay upright and true through the duration of the construction. Grubs shall be 3" deep by 3" wide by 3" deep in length. Grubbing shall be done in the option of the Contractor unless specifically requested by the Landscape Architect. However, Contractor shall still be responsible for all trees and plants remaining staked and true throughout the guarantee period.
SOD: Sod shall be done, stored, and well watered and free of debris, weeds, objectionable grasses, dyes, or injurious insects. A complete 4-5-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be installed shall be rolled smooth and debris removed prior to installation.
GUARANTEE: All plant material shall be guaranteed for 1 year after completion of project. Plants are to be guaranteed for 1 year duration option to herb, position, and size. Replacement cost will be waived by Contractor.

CITY OF DELRAY BEACH STANDARD REQUIREMENTS

All plant material shall be grade #1 or better.
Holes shall be applied to a maximum depth of three (3) inches in all planting beds.
All prohibited plant species shall be eradicated from site.
All landscape areas shall be protected with an irrigation system automatically operated, to provide complete coverage to all plant materials and grasses to be maintained. System shall be equipped with proper pressure regulator, valves / backflow system and a rain sensor / automatic control.
Soil and irrigation shall be provided within the improved portion of the right-of-way adjacent to the Property Line.
Reinforced concrete curbing at least six (6) inches in height shall be provided around all landscape islands and one (1) section between all landscape areas that are adjacent to the right-of-way unless such curbing will interfere with drainage.
No trees or shrubs shall be planted in water, sewer or drainage easements.
Existing mulch and within of landscape islands, whether landscape edges and perimeter strips, adjacent to buildings use areas shall be approved green to a depth of 100% (100) inches below existing grade, except for a 12" buffer from the back of the curb or pavement (see diagram below). A suitable planting soil mixture of 50/50 (sand/soil) shall water be installed in place of the native soil or effectively mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than 1/2" dia. prior to mixing. All preparation under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the utility (30) inch depth has been met.

