

GENERAL NOTES

- 1. TYPE OF CONSTRUCTION: CLASS V, UNPROTECTED, GROUP R3 OCCUPANCY PREPARED USING THE FLORIDA BUILDING CODE 2020 EDITION.
2. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.
3. BUILDER SHALL COORDINATE ALL THE WORK OF ALL TRADES.
4. BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.
5. SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
6. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF F.B.C. CHAPTER 13 ENERGY EFFICIENCY. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
7. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
8. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
9. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWING TO BUILDER.
10. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE F.B.C. ENERGY CONSERVATION CODE.
11. ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.

SITE PLAN NOTES

- 1. THE ARCHITECTURAL SITE PLAN, IF PROVIDED IN THESE DOCUMENTS IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVEWAYS AND SITE FEATURES ONLY. THE G.C. OR OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50 PERCENT COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SET BACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS LAYOUT THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THESE CONFLICTS.

CONCRETE NOTES

- 1. CONCRETE SHALL CONFORM TO ASTM C94/C 94M-15A, SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.65 AND SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS NOTED OTHERWISE) ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH TMS 403-2017.
2. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VAPOR BARRIER - 3/4" BEAMS AND COLUMNS - 1 1/2" FORMED CONCRETE BELOW GRADE-2" UNFORMED CONCRETE BELOW GRADE-3"
3. REINFORCING STEEL: GRADE 60 (FY=60,000) ASTM A615/A 615M-15sel.
4. DETAIL OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.
5. ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
6. DOWELS COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWELS AS VERTICAL BARS ABOVE.
7. REINFORCING STEEL SHALL BE LAPPED 48 BAR DIA. MIN. WHERE SPLICED AND SHALL BE WIRED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HOZ. BEAM REINFORCING AT EACH FACE. LAP 48 BAR DIA. MIN.
8. PLACING DRAWINGS ON BAR LISTS SHALL CONFORM TO ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE CONSTRUCTION AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.

FOUNDATION NOTES

- 1. FLOOR SLAB TO BE 4" THICK POURED CONCRETE SLAB WITH 6" X 6" X W1.4XW1.4 W.W.M. ON 6 MIL VISQUEEN (OR EQUAL) ON CLEAN WELL COMPACTED FILL PRE TREATED FOR TERMITES. WMM SHALL BE LOCATED IN THE MIDDLE TO UPPER HALF OF THE SLAB DEPTH AND MUST BE SUPPORTED AT 3"-0" O/C EACH WAY WITH APPROVED MATERIALS.
2. ALL REINFORCING STEEL TO BE GRADE 60.
3. COLUMN AND WALL CENTERLINES SHALL CONVIDE WITH FOOTING CENTERLINES UNLESS OTHERWISE NOTED.
4. FOOTING DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 P.S.F., CONTRACTOR TO SUBMIT SOIL BEARING TEST RESULTS OR SOIL BEARING CAPACITY REPORT BY A FLORIDA REGISTERED ENGINEER.
5. ALL SITE PREPARATIONS & DRAINAGE RECOMMENDATIONS MADE IN THE SITE SPECIFIC GEOTECHNICAL REPORT MUST BE STRICTLY ADHERED TO.
6. FILL PLACED WITHIN 5'-0" OF THE CONSTRUCTION PERIMETER SHALL CONSIST OF CLEAN WELL GRADED SAND IN 12" LFTS(MAX.) AND VIBRATORY COMPACTED TO ACHIEVE A MINIMUM OF 95% MODIFIED PROCTOR ASTM D 1557-12E1.
7. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES TO THE EXISTING GROUND.
8. SLABS SHALL NOT BE LOADED UNTIL 12 HOURS HAS ELAPSED.
9. SPLICES SHALL BE 48 BAR DIAMETERS AND CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CORNER BARS SHALL BE 48 BAR DIAMETERS EACH WAY.
10. ALL MONOLITHIC FOOTINGS HAVE BEEN CHECKED FOR THE USE OF TRANSFER REINFORCEMENT AT THE PERMETER. RATIONAL ANALYSIS SHALL BE SUBMITTED, BUT ONLY IF REQUESTED BY THE BUILDING OFFICIAL.
11. CONCRETE FOR FOUNDATIONS AND FOOTINGS SHALL BE 2500 PSI MIN. MAXIMUM WATER/CEMENT RATIO MUST NOT EXCEED 0.65.

BEAM SCHEDULE NOTES

- 1. SCHEDULED HOOPS AND STIRRUPS SHALL BE PLACED AT EACH END (E.E.) OF BEAM OR THROUGHOUT (I.O.) BEAM AS INDICATED ON BEAM SCHEDULE. STIRRUPS SHALL BE TYPE 5-6 AND HOOPS SHALL BE TYPE 1-2 TYPICAL CRSI BAR BENDS UNLESS OTHERWISE NOTED.
2. ALL BEAM (MARK "B") TOP BARS SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED
3. ALL THE BEAMS (MARK "TB") REINFORCING SHALL BE CONTINUOUS THROUGH THE BEAMS ONLY. ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
4. BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORTS WITH TOP BARS FROM ADJACENT BEAMS. (UNO.)
5. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW & DOOR HEADS (28" MAX.) ADD 2-#5 BOTTOM IF DROP EXCEEDS 8".
6. THE BEAM SCHEDULE DEPTHS ARE MINIMUM AND MAY BE INCREASED 8" TO FIT BLOCK WORK.
7. ALL ADDED LOGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS OTHERWISE NOTED.
8. REFER TO CONCRETE NOTES FOR INFORMATION ON CONCRETE AND STEEL SPECIFICATIONS.
9. ONE-QUARTER OF MAXIMUM BOTTOM REINFORCING STEEL AREA OF EITHER ADJACENT BEAM SHALL EXTEND THRU SUPPORT AND LAP WITH A CLASS "A" TENSION LAP SPLICE ON EITHER SIDE OF SUPPORT.
10. MARK "C" IN REINFORCING COLUMN BETWEEN TWO BEAMS INDICATES THAT REINFORCING SHALL BE CONTINUOUS THRU THESE TWO BEAMS.

STEEL NOTES

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: W SHAPES - A992/A 991M-06a, OTHER SHAPES - A36/A 36M-14, PLATES A36/A 36M-14, BOLTS - A 307-14 TUBULAR - ASTM A500/A500M-13 GRADE B (46 KSI)
2. WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE". ELECTRODES FOR FIELD AND SHOP WELDS SHALL BE A.I.W.S. A5.1 E70XX.

MASONRY NOTES

- 1. CONCRETE UNITS TO BE ASTM C 90-14. ASTM GRADES NI OR NII. PROVIDE PRECAST LINTELS AS NECESSARY. (fm = 1500 PS)
2. MORTAR TYPE M PER ASTM C 270-14a.
3. CONCRETE FILL
A. CELLS LINTELS AND BOND BEAMS WHERE SPECIFIED SHALL BE FILLED W/ 3000 PSI PEA GRAVEL CONCRETE.
B. THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
C. ALL CONCRETE SHALL BE OF A FLUID CONSISTENCY WITH A SLUMP OF 9"-11" MAX., WHICH MEANS THAT THE CONSISTENCY SHALL BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS.
D. THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
4. REINFORCING:
VERTICAL:
A. ASTM A615/A 615M-15sel. PER REINFORCING SECTION (GRADE 60).
B. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
C. VERTICAL REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
D. VERTICAL REINFORCING SHALL BE AS LOCATED ON THE PLAN AND AS INDICATED IN THE COLUMN SCHEDULE.
E. VERTICAL REINFORCING EACH SIDE OF ANY OPENING, IF REQUIRED, SHALL BE CONTINUOUS TO THE TOP BEAM. PRECAST LINTELS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.
HORIZONTAL:
A. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SCHEDULED IN THE BEAM SCHEDULE.
B. HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST 9 GAGE LADDER TYPE REINFORCEMENT SPACED NOT MORE THAN 16" O/C VERT. REINFORCEMENT SHALL ALSO BE PROVIDED AT THE BOTTOM AND TOP OF ALL OPENINGS AND EXTEND NOT LESS THEN 24" BEYOND THE OPENING. PROVIDE 8" MIN EMBEDMENT INTO CONCRETE COLUMNS AND BEAMS AND FULL DEPTH LAPS AT ALL MASONRY "L" AND "T" INTERSECTIONS.
5. GENERAL:
A. STRUCTURAL DESIGN IS IN ACCORDANCE WITH T.M.S. 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
B. CONSTRUCTION SHALL BE IN ACCORDANCE WITH T.M.S. 602-16, SPECIFICATIONS FOR MASONRY STRUCTURES AND THE COMMENTARY ON SPECIFICATIONS FOR MASONRY STRUCTURES.
C. IN HVHZ AREAS THE BUILDER SHALL EMPLOY A SPECIAL INSPECTOR APPROVED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS IN ACCORDANCE WITH SECTION 2122.2.4 F.B.C.
6. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONT. CELL.
7. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.

PLAN NOTES

- 1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RENSPECTION AND TREATMENT CONTRACT RECORD SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
2. PROVIDE 3" STEEL POST OR BOLLARD OR TIRE BUMPER IN FRONT OF ALL EQUIPMENT (HVAC, EHW, WASHER/DRYER) LOCATED IN THE GARAGE AT FLOOR LEVEL PER F.B.C. MECHANICAL CODE.
3. PROVIDE 1x2 P.T. FIRESTOP VERTICALLY AT THE CEILING AND FLOOR LEVELS. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0", AND ALL OTHER LOCATIONS PER F.B.C. SECTION R302.11.
4. ALL GLAZING WITHIN 24"(48" IN HVHZ) AND PARALLEL TO A DOOR SHALL BE TEMPERED. ALL WINDOWS OR GLASS ENCLOSURES AT OR WITHIN 36" OF TUBS AND SHOWERS WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN SLEDGLITS, SLIDING GLASS DOORS AND FRENCH DOORS SHALL BE TEMPERED.
5. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. EGRESS WINDOWS SHALL HAVE A MINIMAL NET OPENING OF 24" HIGH, 20" WIDE, AND MIN. NET AREA OF 5.7 S.F. FOR 2nd FLOOR WINDOWS AND 5.0 S.F. FOR 1st FLOOR WINDOWS. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR, LATCH AT 54" A.F.F. MAX. IN HVHZ AREAS WHERE THERE IS MORE THAN A 4'-0" DROP, THE SILL SHALL BE NO LESS THAN 36" A.F.F. OR PROVIDE AN APPROVED SAFEGUARD.
6. ALL BATHROOM FLOORS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.
7. IN AREAS OTHER THAN HVHZ FIXED GLASS THICKNESS SHALL BE DETERMINED USING TABLE 2405.3 & .3A OF F.B.C. AS THE MINIMUM THICKNESS ALLOWED.
8. IN HVHZ AREAS PROVIDE HURRICANE SHUTTERS AS PER F.B.C. SECTION 24-13 UNLESS THE EXTERIOR WALL COMPONENTS OF THE ENCLOSED BUILDING HAS SPECIFIC PRODUCT APPROVAL TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST IMPACT LOADS AS SET FORTH IN CHAPTER 16.
9. PICKETS AT STAIRS, LANDINGS & BALCONIES SHALL BE SPACED TO PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
10. PROVIDE A MINIMUM OF 4" CLEAR ALL AROUND AIR HANDLER UNITS.
11. IN ZERO LOT LINE HOMES: DRYER VENTS, EXHAUST FANS & KITCHEN HOODS SHALL NOT VENT THROUGH THE SIDE WALL AND MUST MAINTAIN A 10'-0" SETBACK.
FRAMING NOTES
1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. ALL TRUSS CONNECTIONS SHALL BE AS SHOWN ON THE TRUSS CONNECTIONS SHEET.
3. FINAL SIGNING AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR: REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONFLICT.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH STUD.

CODES USED:

- FLORIDA BUILDING CODE 7TH EDITION (2020)
- NEC 2017
- A.S.C.E. - 7-16

PLAN NOTES

- 1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RENSPECTION AND TREATMENT CONTRACT RECORD SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
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6. ALL BATHROOM FLOORS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.
7. IN AREAS OTHER THAN HVHZ FIXED GLASS THICKNESS SHALL BE DETERMINED USING TABLE 2405.3 & .3A OF F.B.C. AS THE MINIMUM THICKNESS ALLOWED.
8. IN HVHZ AREAS PROVIDE HURRICANE SHUTTERS AS PER F.B.C. SECTION 24-13 UNLESS THE EXTERIOR WALL COMPONENTS OF THE ENCLOSED BUILDING HAS SPECIFIC PRODUCT APPROVAL TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST IMPACT LOADS AS SET FORTH IN CHAPTER 16.
9. PICKETS AT STAIRS, LANDINGS & BALCONIES SHALL BE SPACED TO PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
10. PROVIDE A MINIMUM OF 4" CLEAR ALL AROUND AIR HANDLER UNITS.
11. IN ZERO LOT LINE HOMES: DRYER VENTS, EXHAUST FANS & KITCHEN HOODS SHALL NOT VENT THROUGH THE SIDE WALL AND MUST MAINTAIN A 10'-0" SETBACK.
FRAMING NOTES
1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. ALL TRUSS CONNECTIONS SHALL BE AS SHOWN ON THE TRUSS CONNECTIONS SHEET.
3. FINAL SIGNING AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR: REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONFLICT.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH STUD.

(CONTD)

- 8. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
9. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTIOUS MATERIALS AND THE WOOD AS PER CODE.
10. BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF TRUSSES AND STRUCTURAL SLABS TO PREVENT COLLAPSE OR DAMAGE.
11. HEADERS FOR FRAMED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER. (UNLESS NOTED OTHERWISE)
12. ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12'S UNLESS OTHERWISE NOTED. (FOR WOOD FRAME CONSTRUCTION DEPENDING ON ALL WALL THICKNESS).
13. DIMENSIONAL LUMBER SHALL BE SOUTHERN PINE. NO. 2 OR BETTER AND SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR A SINGLE MEMBER USE. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULE OF ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
14. NON-BEARING INTERIOR PARTITIONS MAY BE CONSTRUCTED OF 25 GAUGE CEE CHANNEL TYPE STUDS AT 24" O/C WITH MATCHING TRACKS TOP AND BOTTOM, WITH 1/2" GYPSUM DRYWALL EACH SIDE. ATTACH DRYWALL WITH 1" LONG BULGE HEAD DRYWALL SCREWS AT 12" O/C MAX.
15. METAL LATH OVER SHEATHING SHALL BE 3/8" V-GROOVE OR DIMPLED. CEILINGS AND SOFFITS SHALL BE HIGH RIB TYPE. FASTEN TO SUBSTRATE AT 4" O/C AS FOLLOWS: CONCRETE: 3/4" LONG STUB NAILS W/ 3/8" HEAD. HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS W/ NAILS OR STAPLES TO PROVIDE AT LEAST 1-3/4" PENETRATION INTO HORIZONTAL WOOD FRAMING MEMBERS, AND 3/4" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS. ON VERTICAL WOOD FRAMING MEMBERS, COMMON NAILS SHALL BE BENT OVER TO ENGAGE AT LEAST THREE STRANDS OF LATH, OR BE BENT OVER A RIB WHEN RIB LATH IS INSTALLED. SHEATHING: 14 GAUGE STAPLES 1" LEG, 7/16" CROWN METAL MTL. FRAMING. SELF TAPPING SCREWS #12 X 1/2" WASHER HEAD STAPLES SHALL NOT BE USED FOR SOFFITS OR CEILINGS.
16. WHERE GEMENT PLASTER IS APPLIED TO LATH OVER FRAME CONSTRUCTION, BONDING OF THE PLASTER TO THE WATER BARRIER SHALL BE PREVENTED BY PROVIDING A DBL. LAYER OF WATER BARRIER OR BY INSTALLING A HOUSE WRAP BENEATH THE WATER BARRIER.
17. PNEUMATIC FASTENERS SYSTEM TO BE HLT-COIL NAIL PROGRAM. TYPE TO BE CRF 112G 1-1/2" LONG AND .120" DIAMETER U.N.O.
18. WHEN WOOD POSTS ARE NOT IN A FIBERATED WALL, FIRE RATE POST AS FOLLOWS: WRAP POST ON ALL SIDES FROM BASE OF POST TO UNDERSIDE OF BEARING WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD. THIS WILL PROVIDE A ONE HOUR RATING FOR THE POST.
19. TRUSS MANUFACTURER SHALL DESIGN TRUSSES TO COMPLY WITH ALL SUPERIMPOSED WIND LOADS PER F.B.C. 2020.
MECHANICAL NOTES
1. ALL HEATING, AIR CONDITIONING, REFRIGERATION AND VENTILATION EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA BUILDING CODE MECHANICAL" AND FLORIDA BUILDING CODE ENERGY CONSERVATION .
2. A 4" CLEARANCE IS TO BE MAINTAINED AROUND ALL AIR HANDLING UNITS.
3. PROVIDE FIRE DAMPERS AT SUPPLY AND RETURNS WHICH PASS THROUGH RATED ASSEMBLIES IF ANY.
4. ALL DWELLING ROOMS MUST HAVE HVAC RETURNS. RETURNS MAY BE DUCTED, JUMPERS OR TRANSFER GRILLES.
5. A/C UNITS MAY HAVE CONC. PAD OR OTHER APPROVED MATERIAL EXTENDING ABV. ADJOINING GRADE OR SHALL BE SUSPENDED A MIN. OF 6" ABV. ADJOINING GRADE. PADS SHALL BE A MINIMUM 4'-0"x9'-0" PAD FOR DOUBLE UNIT.

LOAD SCHEDULE

Table with columns: LOCATION, LIVE, DEAD, TOTAL. Rows include Ground Floor, Second Floor, Top Chord, Bottom Chord, Roof, etc. Includes notes on rain intensity and wind speed.

ELECTRICAL NOTES

- 1. CONTRACTOR SHALL VERIFY WITH F.P.&L. THE LOCATION OF SERVICE AND SHALL LOCATE METER & PANELS AS REQUIRED.
2. ALL WIRE SHALL BE THHN COPPER, UNLESS NOTED OTHERWISE.
3. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
4. ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
5. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
6. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
7. PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
8. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIP. AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER. RECOMMENDATIONS.
9. PROVIDE GFCI PROTECTION FOR ALL BATHROOM, GARAGE, EXTERIOR, KITCHEN, LAUNDRY AND WET BAR OUTLETS PER NEC 210.8(A).
10. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
11. PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLAN.
12. PROVIDE PRE-WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
13. DEDICATED CIRCUITS SHALL HAVE NO MORE THEN 6 DUPLEX RECEPTACLES.
14. ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
15. THE BRANCH CIRCUITS CONTAINING SMOKE DETECTORS SHALL HAVE ARC-FAULT PROTECTION PER NEC SEC. 210.12 SMOKE DETECTORS SHALL BE CONNECTED TO ARC-FAULT CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTER BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
16. PREMIRE FOR GARAGE DOOR OPENER SENSOR.
17. PROVIDE ARC-FAULT CIRCUIT INTERRUPTOR PROTECTION IN DWELLING UNIT LIVING, DINING, FAMILY ROOMS, DEN/S LIBRARIES, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS OR SM. ROOMS PER NEC 210-12 (B).
18. SMOKE DETECTORS REQUIRED ON ALL HVAC UNITS WITH 2001 CFM OR MORE.
19. CEILING AREA 110 V. SMOKE DETECTORS SHALL NOT BE CLOSER THAN 3 FT. FROM THE DOOR TO BATHROOMS, WASHER/DRYERS, A/C SUPPLY AND RETURNS, & KITCHENS. SMOKE DETECTORS MAY BE WITHIN 2 FT. OF A COOKING APPLIANCE IF THEY ARE OF THE PHOTOELECTRIC TYPE.
20. CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 10' OF A ROOM USED FOR SLEEPING PURPOSES WHEN THE BUILDING HAS A FOSSIL BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE. PRIMARY POWER SHALL COME FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED BY THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP.
21. IF USED, A COMBINATION SMOKE/ CARBON MONOXIDE ALARM SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
22. TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN DWELLING UNITS IN ALL AREAS SPECIFIED IN NEC 210.52 FOR 125 VOLT, 15 & 20A RECEPTACLES PER NEC 406.11
23. INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING AND GROUNDING CONDUCTORS SHALL BE PROVIDED FOR TV, COMMUNICATIONS, RADIO, CATV, ETC. PER NEC 250.94.

DRAWING INDEX

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EX-1 EXISTING FLOOR PLANS
D-1 DEMOLITION PLAN
A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN
RENDERED ELEVATION
A-3 FRONT ELEVATIONS (NEW & EXIST.)
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A-6 LEFT SIDE ELEVATIONS (NEW & EXIST.)
A-7 BLDG. SECTION & DETAILS
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E-1 ELECTRICAL PLANS
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MECHANICAL PLAN (SHOP DWG.)

Table with columns: revisions no., date, designed, drawn, checked, date, scale, job no.

Shawn M. Stambaugh, PE
FL. LIC. #1850 - CA. 26210

PUCCI RESIDENCE ADDITION
303 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project

QEA
QUANTUM ENGINEERING ASSOCIATES INC.

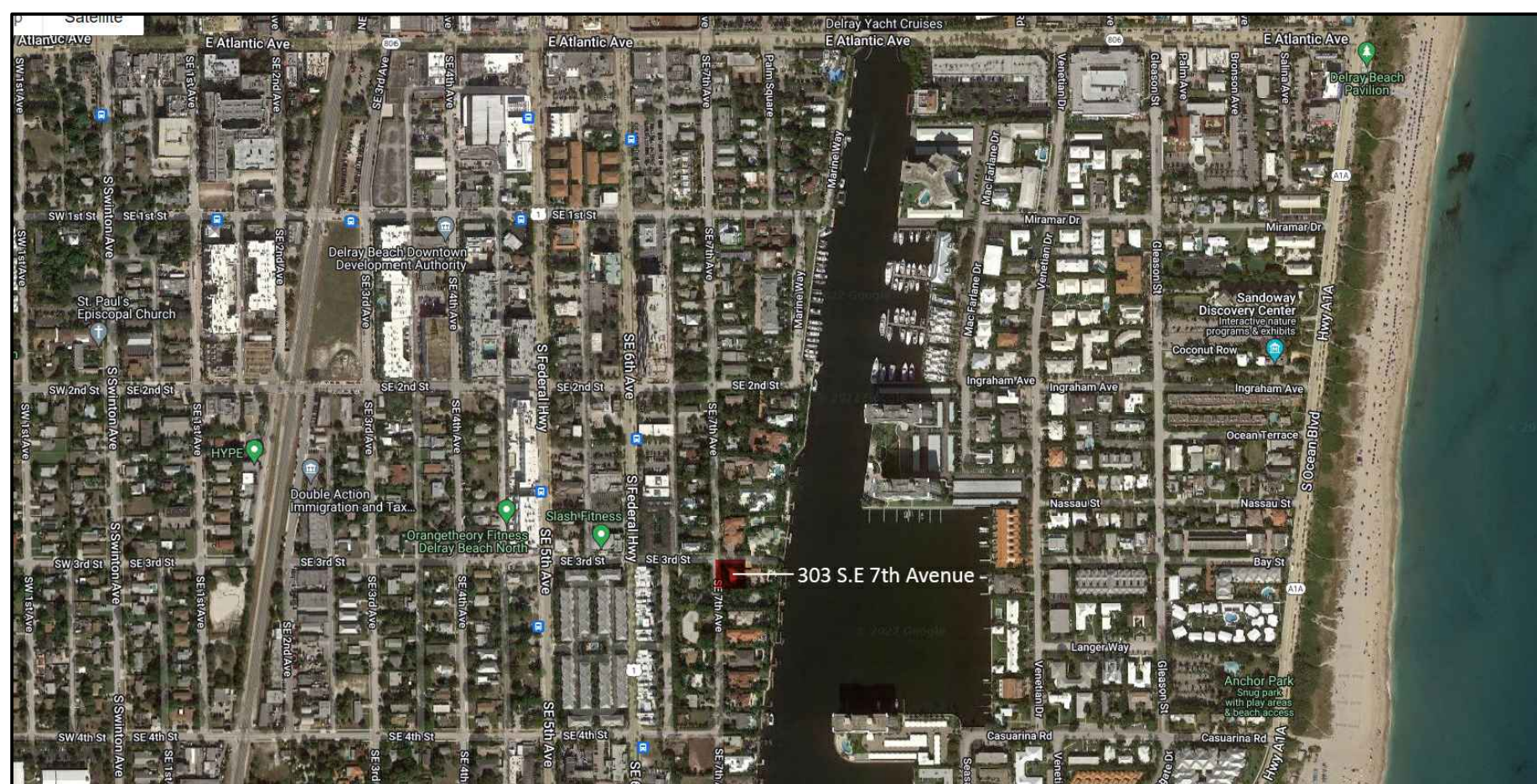
Structural Engineering
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
GREENACRES, FL 33463
561.202.6994
WWW.QEASSOCIATES.COM

drawing COVER SHEET

sheet C-1

of



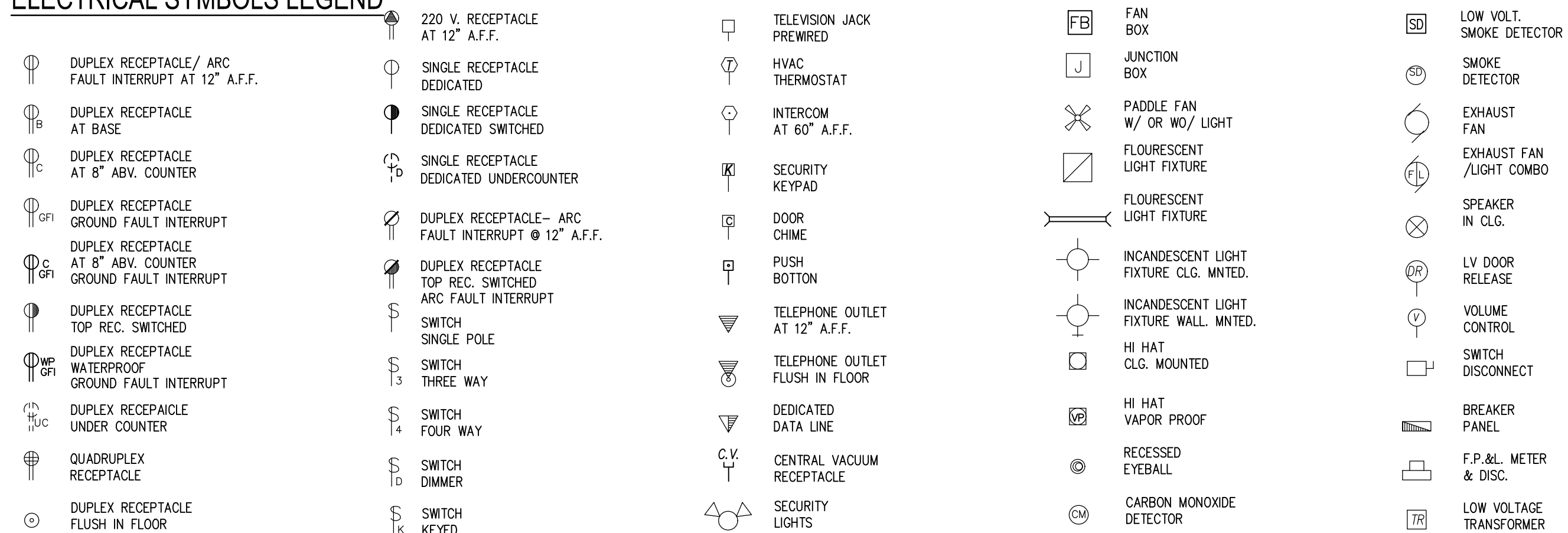
LOCATION MAP

PROPOSED MULTI-FAMILY RESIDENCE ADDITION

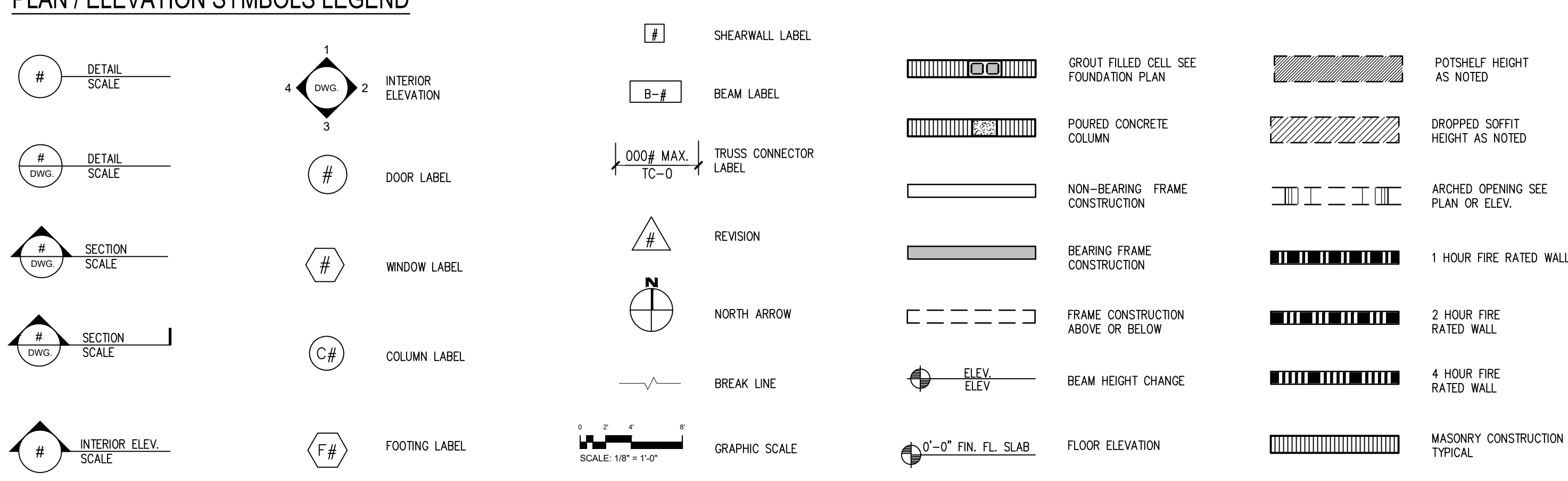
PUCCI RESIDENCE
303 SE 7TH AVENUE
CITY OF DELRAY BEACH
FLORIDA

THESE PLANS WERE PREPARED USING THE 2020 FLORIDA BUILDING CODE, 7TH ED. - BUILDING AND ASCE 7-16.

ELECTRICAL SYMBOLS LEGEND



PLAN / ELEVATION SYMBOLS LEGEND



GENERAL NOTES

- TYPE OF CONSTRUCTION: CLASS V, UNPROTECTED, GROUP R3 OCCUPANCY PREPARED USING THE FLORIDA BUILDING CODE 2020 EDITION.
- CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.
- BUILDER SHALL COORDINATE ALL THE WORK OF ALL TRADES.
- BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.
- SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF F.B.C. CHAPTER 13 ENERGY EFFICIENCY. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
- BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
- CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWING TO BUILDER.
- ALL WINDOW AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE F.B.C. ENERGY CONSERVATION CODE.
- ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.

SITE PLAN NOTES

- THE ARCHITECTURAL SITE PLAN, IF PROVIDED IN THESE DOCUMENTS IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVEWAYS AND SITE FEATURES ONLY. THE G.C. OR OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50 PERCENT COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SET BACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS LAYOUT THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THESE CONFLICTS.

CONCRETE NOTES

- CONCRETE SHALL CONFORM TO ASTM C94/C 94M-15a, SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.65 AND SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS NOTED OTHERWISE) ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH TMS 403-2017.
- MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VAPOR BARRIER - 3/4" BEAMS AND COLUMNS - 1 1/2" FORMED CONCRETE BELOW GRADE-2" UNFORMED CONCRETE BELOW GRADE-3"
- REINFORCING STEEL: GRADE 60 (Fy=60,000) ASTM A615/A 615M-15ae1.
- DETAIL OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.
- ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
- DOWELS COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWELS AS VERTICAL BARS ABOVE.
- REINFORCING STEEL SHALL BE LAPPED 48 BAR DIA. MIN. WHERE SPLICED AND SHALL BE WIRED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HOZ. BEAM REINFORCING AT EACH FACE. LAP 48 BAR DIA. MIN.
- PLACING DRAWINGS ON BAR LISTS SHALL CONFORM TO ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.

FOUNDATION NOTES

- FLOOR SLAB TO BE 4" THICK POURED CONCRETE SLAB WITH 6" X 6" X W1.4XW1.4 W.W.M. ON 6 MIL VISQUEEN (OR EQUAL) ON CLEAN WELL COMPACTED FILL PRE TREATED FOR TERMITES. W.M. SHALL BE LOCATED IN THE MIDDLE TO UPPER HALF OF THE SLAB DEPTH AND MUST BE SUPPORTED AT 3"-0" O/C EACH WAY WITH APPROVED MATERIALS.
- ALL REINFORCING STEEL TO BE GRADE 60.
- COLUMN AND WALL CENTERLINES SHALL COINCIDE WITH FOOTING CENTERLINES UNLESS OTHERWISE NOTED.
- FOOTING DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 P.S.F., CONTRACTOR TO SUBMIT SOIL BEARING TEST RESULTS OR SOIL BEARING CAPACITY REPORT BY A FLORIDA REGISTERED ENGINEER.
- ALL SITE PREPARATIONS & DRAINAGE RECOMMENDATIONS MADE IN THE SITE SPECIFIC GEOTECHNICAL REPORT MUST BE STRICTLY ADHERED TO.
- FILL PLACED WITHIN 5'-0" OF THE CONSTRUCTION PERIMETER SHALL CONSIST OF CLEAN WELL GRADED SAND IN 12" LIFTS(MAX.) AND VIBRATORY COMPACTED TO ACHIEVE A MINIMUM OF 95% MODIFIED PROCTOR ASTM D 1557-12E1.
- AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES TO THE EXISTING GROUND.
- SLABS SHALL NOT BE LOADED UNTIL 12 HOURS HAS ELAPSED.
- SPLICES SHALL BE 48 BAR DIAMETERS AND CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CORNER BARS SHALL BE 48 BAR DIAMETERS EACH WAY.
- ALL MONOLITHIC FOOTINGS HAVE BEEN CHECKED FOR THE USE OF TRANSFER REINFORCEMENT AT THE PERIMETER. RATIONAL ANALYSIS SHALL BE SUBMITTED, BUT ONLY IF REQUESTED BY THE BUILDING OFFICIAL.
- CONCRETE FOR FOUNDATIONS AND FOOTINGS SHALL BE 2500 PSI MIN. MAXIMUM WATER/CEMENT RATIO MUST NOT EXCEED 0.65.

BEAM SCHEDULE NOTES

- SCHEDULED HOOPS AND STIRRUPS SHALL BE PLACED AT EACH END (E.E.) OF BEAM OR THROUGHOUT (T.O.) BEAM AS INDICATED ON BEAM SCHEDULE. STIRRUPS SHALL BE TYPE 5-6 AND HOOPS SHALL BE TYPE 1-2 TYPICAL CRSI BAR BENDS UNLESS OTHERWISE NOTED.
- ALL BEAM (MARK "B") TOP BARS SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED
- ALL THE BEAMS (MARK "IB") REINFORCING SHALL BE CONTINUOUS THROUGH THE BEAMS ONLY. ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
- BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORTS WITH TOP BARS FROM ADJACENT BEAMS. (UNO.)
- DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW & DOOR HEADS (28" MAX.) ADD 2"-#5 BOTTOM IF DROP EXCEEDS 8".
- THE BEAM SCHEDULE DEPTHS ARE MINIMUM AND MAY BE INCREASED 8" TO FIT BLOCK WORK.
- ALL ADDED LOGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS OTHERWISE NOTED.
- REFER TO CONCRETE NOTES FOR INFORMATION ON CONCRETE AND STEEL SPECIFICATIONS.
- ONE-QUARTER OF MAXIMUM BOTTOM REINFORCING STEEL AREA OF EITHER ADJACENT BEAM SHALL EXTEND THRU SUPPORT AND LAP WITH A CLASS "A" TENSION LAP SPLICE ON EITHER SIDE OF SUPPORT.
- MARK "C" IN REINFORCING COLUMN BETWEEN TWO BEAMS INDICATES THAT REINFORCING SHALL BE CONTINUOUS THRU THESE TWO BEAMS.

STEEL NOTES

- STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: W SHAPES - A992/A 991M-06a, OTHER SHAPES - A36/A 36M-14, PLATES A36/A 36M-14, BOLTS - A 307-14 TUBULAR - ASTM A500/A500M-13 GRADE B (46 KSI)
- WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE". ELECTRODES FOR FIELD AND SHOP WELDS SHALL BE A.I.W.S. A5.1 E70XX.

MASONRY NOTES

- CONCRETE UNITS TO BE ASTM C 90-14. ASTM GRADES NI OR NII. PROVIDE PRECAST LINTELS AS NECESSARY. (fm = 1500 PSI)
- MORTAR TYPE M PER ASTM C 270-14a.
- CONCRETE FILL
- CELLS LINTELS AND BOND BEAMS WHERE SPECIFIED SHALL BE FILLED W/ 3000 PSI PEA GRAVEL CONCRETE.
- THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
- ALL CONCRETE SHALL BE OF A FLUID CONSISTENCY WITH A SLUMP OF 9"-11" MAX., WHICH MEANS THAT THE CONSISTENCY SHALL BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS.
- THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
- REINFORCING:
- VERTICAL:
- ASTM A615/A 615M-15ae1. PER REINFORCING SECTION (GRADE 60).
- WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
- VERTICAL REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
- VERTICAL REINFORCING SHALL BE AS LOCATED ON THE PLAN AND AS INDICATED IN THE COLUMN SCHEDULE.
- VERTICAL REINFORCING EACH SIDE OF ANY OPENING, IF REQUIRED, SHALL BE CONTINUOUS TO THE TOP BEAM. PRECAST LINTELS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.
- HORIZONTAL:
- HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SCHEDULED IN THE BEAM SCHEDULE.
- HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST 9 GAGE LADDER TYPE REINFORCEMENT SPACED NOT MORE THAN 16" O/C VERT. REINFORCEMENT SHALL ALSO BE PROVIDED AT THE BOTTOM AND TOP OF ALL OPENINGS AND EXTEND NOT LESS THAN 24" BEYOND THE OPENING. PROVIDE 8" MIN EMBEDMENT INTO CONCRETE COLUMNS AND BEAMS AND FULL DEPTH LAPS AT ALL MASONRY "L" AND "T" INTERSECTIONS.
- GENERAL:
- STRUCTURAL DESIGN IS IN ACCORDANCE WITH T.M.S. 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH T.M.S. 602-16, SPECIFICATIONS FOR MASONRY STRUCTURES AND THE COMMENTARY ON SPECIFICATIONS FOR MASONRY STRUCTURES.
- IN HVHZ AREAS THE BUILDER SHALL EMPLOY A SPECIAL INSPECTOR APPROVED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS IN ACCORDANCE WITH SECTION 2122.2.4 F.B.C.
- VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONT. CELL.
- CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.

- TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONFLICT.
- TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
- ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
- ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH SID.

CODES USED:

- FLORIDA BUILDING CODE 7TH EDITION (2020)
- NEC 2017
- A.S.C.E. - 7-16

PLAN NOTES

- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RENSPECTION AND TREATMENT CONTRACT REFERENCE SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
- PROVIDE 3" STEEL POST OR BOLLARD OR TIRE BUMPER IN FRONT OF ALL EQUIPMENT (HVAC, HWK, WASHER/DRYER) LOCATED IN THE GARAGE AT FLOOR LEVEL PER F.B.C. MECHANICAL CODE.
- PROVIDE 1x2 P.T. FIRESTOP VERTICALLY AT THE CEILING AND FLOOR LEVELS. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0", AND ALL OTHER LOCATIONS PER F.B.C. SECTION R302.11.
- ALL GLAZING WITHIN 24"(48" IN HVHZ) AND PARALLEL TO A DOOR SHALL BE TEMPERED. ALL WINDOWS OR GLASS ENCLOSURES AT OR WITHIN 36" OF TUBS AND SHOWERS WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN SLEDLIGHTS, SLIDING GLASS DOORS AND FRENCH DOORS SHALL BE TEMPERED.
- EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. EGRESS WINDOWS SHALL HAVE A MINIMAL NET OPENING OF 24" HIGH, 20" WIDE, AND MIN. NET AREA OF 5.7 S.F. FOR 2nd FLOOR WINDOWS AND 5.0 S.F. FOR 1st FLOOR WINDOWS. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR, LATCH AT 54" A.F.F. MAX. IN HVHZ AREAS WHERE THERE IS MORE THAN A 4'-0" DROP, THE SILL SHALL BE NO LESS THAN 36" A.F.F. OR PROVIDE AN APPROVED SAFEGUARD.
- ALL BATHROOM FLOORS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.
- IN AREAS OTHER THAN HVHZ FIXED GLASS THICKNESS SHALL BE DETERMINED USING TABLE 2405.3 & .3A OF F.B.C. AS THE MINIMUM THICKNESS ALLOWED.
- IN HVHZ AREAS PROVIDE HURRICANE SHUTTERS AS PER F.B.C. SECTION 24-13 UNLESS THE EXTERIOR WALL COMPONENTS OF THE ENCLOSED BUILDING HAS SPECIFIC PRODUCT APPROVAL TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST IMPACT LOADS AS SET FORTH IN CHAPTER 16.
- PICKETS AT STAIRS, LANDINGS & BALCONIES SHALL BE SPACED TO PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
- PROVIDE A MINIMUM OF 4" CLEAR ALL AROUND AIR HANDLER UNITS.
- IN ZERO LOT LINE HOMES: DRYER VENTS, EXHAUST FANS & KITCHEN HOODS SHALL NOT VENT THROUGH THE SIDE WALL AND MUST MAINTAIN A 10'-0" SETBACK.

FRAMING NOTES

- THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
- FINAL SIGNING AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
- TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONFLICT.
- TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
- ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
- ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH SID.

(CONTD)

- STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS PER CODE.
- BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF TRUSSES AND STRUCTURAL SLABS TO PREVENT COLLAPSE OR DAMAGE.
- HEADERS FOR FRAMED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER. (UNLESS NOTED OTHERWISE)
- ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12'S UNLESS OTHERWISE NOTED. (FOR WOOD FRAME CONSTRUCTION DEPENDING ON ALL WALL THICKNESS).
- DIMENSIONAL LUMBER SHALL BE SOUTHERN PINE. NO. 2 OR BETTER AND SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR A SINGLE MEMBER USE. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULES ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
- NON-BEARING INTERIOR PARTITIONS MAY BE CONSTRUCTED OF 25 GAUGE CEE CHANNEL TYPE STUDS AT 24" O/C WITH MATCHING TRACKS TOP AND BOTTOM, WITH 1/2" GYPSUM DRYWALL EACH SIDE. ATTACH DRYWALL WITH 1" LONG BULGE HEAD DRYWALL SCREWS AT 12" O/C MAX.
- METAL LATH OVER SHEATHING SHALL BE 3/8" V-GROOVE OR DIMPLED. CEILING AND SOFFITS SHALL BE HIGH RIB TYPE. FASTEN TO SUBSTRATE AT 4" O/C AS FOLLOWS: CONCRETE: 3/4" LONG STUB NAILS W/ 3/8" HEAD. HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS W/ NAILS OR STAPLES TO PROVIDE AT LEAST 1-3/4" PENETRATION INTO HORIZONTAL WOOD FRAMING MEMBERS, AND 3/4" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS. ON VERTICAL WOOD FRAMING MEMBERS, COMMON NAILS SHALL BE BENT OVER TO ENGAGE AT LEAST THREE STRANDS OF LATH, OR BE BENT OVER A RIB WHEN RIB LATH IS INSTALLED. SHEATHING: 14 GAUGE STAPLES 1" LEG, 7/16" CROWN METAL MTL. FRAMING. SELF TAPPING SCREWS #12 X 1/2" WASHER HEAD STAPLES SHALL NOT BE USED FOR SOFFITS OR CEILING.
- WHERE GEMENT PLASTER IS APPLIED TO LATH OVER FRAME CONSTRUCTION, BONDING OF THE PLASTER TO THE WATER BARRIER SHALL BE PREVENTED BY PROVIDING A DBL. LAYER OF WATER BARRIER OR BY INSTALLING A HOUSE WRAP BENEATH THE WATER BARRIER.
- PNEUMATIC FASTENERS SYSTEM TO BE HLT-COIL NAIL PROGRAM. TYPE TO BE CRF 112G 1-1/2" LONG AND .120" DIAMETER U.N.O.
- WHEN WOOD POSTS ARE NOT IN A FIBERATED WALL, FIRE RATE POST AS FOLLOWS: WRAP POST ON ALL SIDES FROM BASE OF POST TO UNDERSIDE OF BEARING WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD. THIS WILL PROVIDE A ONE HOUR RATING FOR THE POST.
- TRUSS MANUFACTURER SHALL DESIGN TRUSSES TO COMPLY WITH ALL SUPERIMPOSED WIND LOADS PER F.B.C. 2020.

MECHANICAL NOTES

- ALL HEATING, AIR CONDITIONING, REFRIGERATION AND VENTILATION EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA BUILDING CODE MECHANICAL" AND FLORIDA BUILDING CODE ENERGY CONSERVATION .
- A 4" CLEARANCE IS TO BE MAINTAINED AROUND ALL AIR HANDLING UNITS.
- PROVIDE FIRE DAMPERS AT SUPPLY AND RETURNS WHICH PASS THROUGH RATED ASSEMBLIES IF ANY.
- ALL DWELLING ROOMS MUST HAVE HVAC RETURNS. RETURNS MAY BE DUCTED, JUMPERS OR TRANSFER GRILLES.
- A/C UNITS MAY HAVE CONC. PAD OR OTHER APPROVED MATERIAL EXTENDING ABV. ADJOINING GRADE OR SHALL BE SUSPENDED A MIN. OF 6" ABV. ADJOINING GRADE. PADS SHALL BE A MINIMUM 4'-0"x9'-0" PAD FOR DOUBLE UNIT.

LOAD SCHEDULE

LOCATION	LVIVE	DEAD	TOTAL
GROUND FLOOR	40	60	100
SECOND FLOOR	40	25	65
TOP CHORD	40	20	60
BOTTOM CHORD	0	5	5
BALCONIES	60	25	85
ROOF	30	25	55
TOP CHORD	30	15	45
BOTTOM CHORD	0	10	10
BTM. CHORD-ATTIC	10	0	10
NO STORAGE (NON-CONCURRENT)	20	0	20
BTM. CHORD-ATTIC STORAGE (CONCURRENT)	20	0	20
RAIN:			
ADD'L TOP CHORD INTENSITY	4.5 in/yr	0	
* - N/A (IF SLOPE > 1:5.12 OR HP ROOF OR NO OBSTRUCTION FOR RAIN WATER DRAINAGE)			
WIND:			
ULTIMATE WIND SPEED = 170 m.p.h.			
NOMINAL WIND SPEED = 132 m.p.h.			
RISK CATEGORY = II			
BUILDING DESIGN AS ENCLOSED			
INTERNAL PRESSURE COEFFICIENT = +/- 0.18			
EXPOSURE CATEGORY = C			
MEAN ROOF HEIGHT = 19'-1"			
ROOF SLOPE = 3:12			
ROOF DEAD LOAD FOR WIND DESIGN TAKEN AT 10 p.s.f.			
NOTE: THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH CHAPTER 16 OF THE 2020 FLORIDA BUILDING CODE AND ASCE 7-16.			

ELECTRICAL NOTES

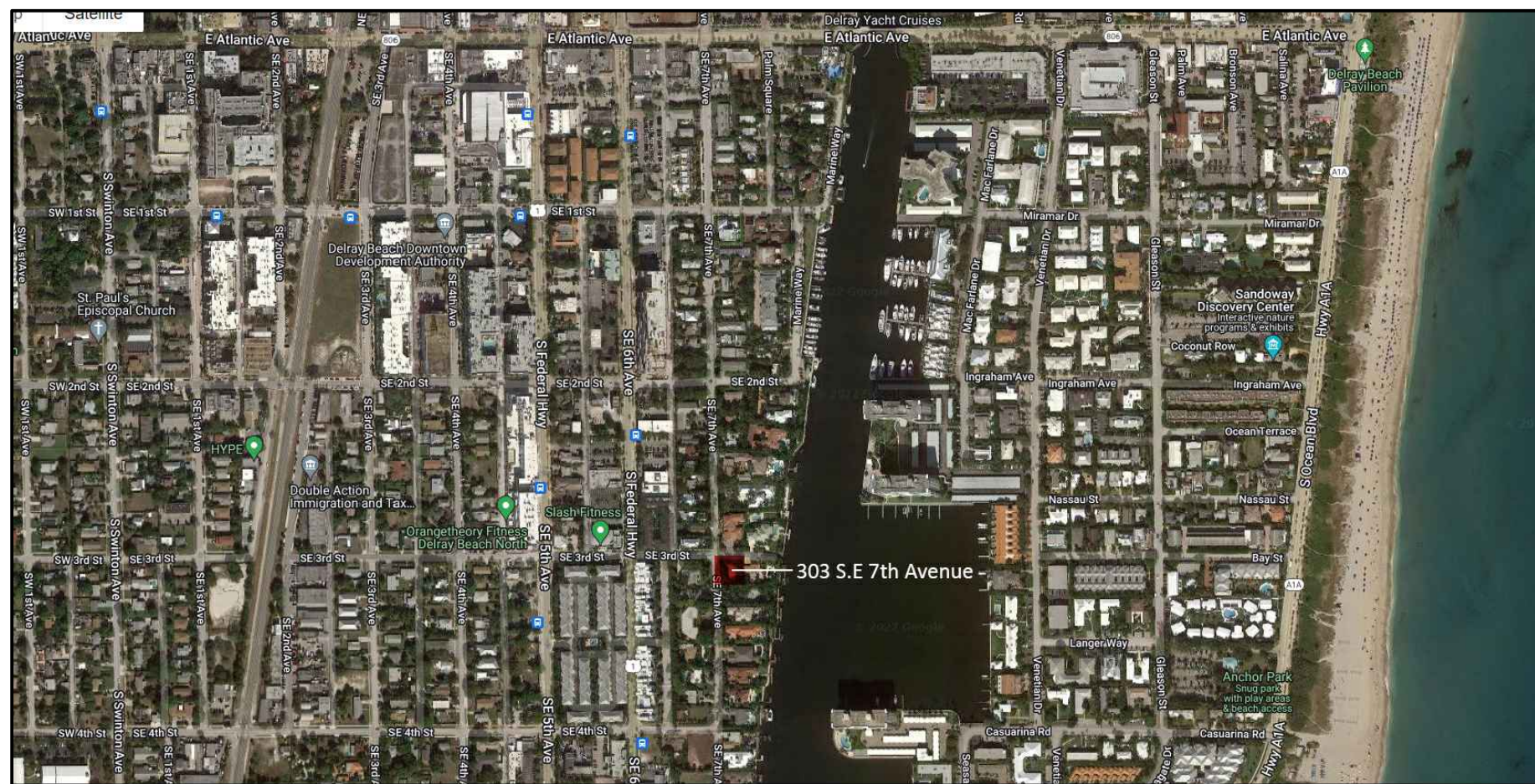
- CONTRACTOR SHALL VERIFY WITH F.P.&L. THE LOCATION OF SERVICE AND SHALL LOCATE METER & PANELS AS REQUIRED.
- ALL WIRE SHALL BE THIN COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIP. AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER. RECOMMENDATIONS.
- PROVIDE GFCI PROTECTION FOR ALL BATHROOM, GARAGE, EXTERIOR, KITCHEN, LAUNDRY AND WET BAR OUTLETS PER NEC 210.8(A).
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
- PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLAN.
- PROVIDE PRE-WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
- DEDICATED CIRCUITS SHALL HAVE NO MORE THEN 6 DUPLEX RECEPTACLES.
- ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
- THE BRANCH CIRCUITS CONTAINING SMOKE DETECTORS SHALL HAVE ARC-FAULT PROTECTION PER NEC SEC. 210.12 SMOKE DETECTORS SHALL BE CONNECTED TO ARC-FAULT CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTER BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- PREMIRE FOR GARAGE DOOR OPENER SENSOR.
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTOR PROTECTION IN DWELLING UNIT LIVING, DINING, FAMILY ROOMS, DEN/S LIBRARIES, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS OR SWM. ROOMS PER NEC 210-12 (B).
- SMOKE DETECTORS REQUIRED ON ALL HVAC UNITS WITH 2001 CFM OR MORE.
- CEILING AREA 110 V. SMOKE DETECTORS SHALL NOT BE CLOSER THAN 3 FT. FROM THE DOOR TO BATHROOMS, WASHER/DRYERS, A/C SUPPLY AND RETURNS & KITCHENS. SMOKE DETECTORS MAY BE WITHIN 2 FT. OF A COOKING APPLIANCE IF THEY ARE OF THE PHOTOELECTRIC TYPE.
- CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 10' OF A ROOM USED FOR SLEEPING PURPOSES WHEN THE BUILDING HAS A FOSSIL BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE. PRIMARY POWER SHALL COME FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED BY THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP.
- IF USED, A COMBINATION SMOKE/ CARBON MONOXIDE ALARM SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN DWELLING UNITS IN ALL AREAS SPECIFIED IN NEC 210.52 FOR 125 VOLT, 15 & 20A RECEPTACLES PER NEC 406.11
- INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING AND GROUNDING CONDUCTORS SHALL BE PROVIDED FOR TV, COMMUNICATIONS, RADIO, CATV, ETC. PER NEC 250.94.

PLUMBING NOTES

- ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 405, F.B.C.
- ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE 604.3, F.B.C.
- DISPOSITION OF RAIN WATER SHALL COMPLY WITH F.B.C. PLUMBING CODE CHAPTER 11.
- ALL PLUMBING PENETRATIONS MUST BE A MINIMUM 10'-0" FROM ROOF JACKS.
- CONDENSATE DRAINS MUST BE A MINIMUM OF 12" OFF THE BUILDING.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH , NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.

DRAWING INDEX

C-1 COVER SHEET	AS-1 OVERALL SITE PLAN
AS-2 SITE CITY DETAILS	EX-1 EXISTING FLOOR PLANS
D-1 DEMOLITION PLAN	A-1 FIRST FLOOR PLAN
A-1 FIRST FLOOR PLAN	A-2 SECOND FLOOR PLAN
A-2 SECOND FLOOR PLAN	- RENDERED ELEVATION
A-3 FRONT ELEVATIONS (NEW & EXIST.)	A-4 REAR ELEVATIONS (NEW & EXIST.)
A-5 RIGHT SIDE ELEVATIONS (NEW & EXIST.)	A-6 LEFT SIDE ELEVATIONS (NEW & EXIST.)
A-7 BLDG. SECTION & DETAILS	A-8 TYPICAL WALL SECTIONS
S-0 SITE WALLS & DETAILS	S-1 FOUNDATION PLAN
S-2 FLOOR & LOWER ROOF FRAMING PLAN	S-3 ROOF FRAMING PLAN
S-4 FLOOR & LOWER ROOF BRACING PLAN	S-5 ROOF BRACING PLAN
E-1 ELECTRICAL PLANS	E-2 ELECT. SCHEDULES & PLUMBING ISOMETRIC DIAGRAM
- MECHANICAL PLAN (SHOP DWG.)	



LOCATION MAP

PROPOSED MULTI-FAMILY RESIDENCE ADDITION

PUCCI RESIDENCE 303 SE 7TH AVENUE CITY OF DELRAY BEACH FLORIDA

THESE PLANS WERE PREPARED USING THE 2020 FLORIDA BUILDING CODE, 7TH ED. - BUILDING AND ASCE 7-16.

ELECTRICAL SYMBOLS LEGEND

	220 V. RECEPTACLE AT 12" A.F.F.		TELEVISION JACK PREWIRED		FAN BOX
	SINGLE RECEPTACLE DEDICATED		HVAC THERMOSTAT		JUNCTION BOX
	DUPLEX RECEPTACLE AT BASE		INTERCOM AT 60" A.F.F.		PADDLE FAN W/ OR W/ LIGHT
	DUPLEX RECEPTACLE AT 8" ABV. COUNTER		SECURITY KEYPAD		FLUORESCENT LIGHT FIXTURE
	DUPLEX RECEPTACLE GROUND FAULT INTERRUPT		DOOR CHIME		FLUORESCENT LIGHT FIXTURE
	DUPLEX RECEPTACLE AT 8" ABV. COUNTER GROUND FAULT INTERRUPT		PUSH BOTTON		INCANDESCENT LIGHT FIXTURE CLG. MNTED.
	DUPLEX RECEPTACLE TOP REC. SWITCHED		TELEPHONE OUTLET AT 12" A.F.F.		INCANDESCENT LIGHT FIXTURE WALL. MNTED.
	DUPLEX RECEPTACLE WATERPROOF GROUND FAULT INTERRUPT		TELEPHONE OUTLET FLUSH IN FLOOR		HI HAT CLG. MOUNTED
	DUPLEX RECEPTACLE UNDER COUNTER		DEDICATED DATA LINE		HI HAT VAPOR PROOF
	SWITCH SINGLE POLE		CENTRAL VACUUM RECEPTACLE		RECESSED EYEBALL
	SWITCH THREE WAY		SECURITY LIGHTS		CARBON MONOXIDE DETECTOR
	SWITCH FOUR WAY				F.P.&L. METER & DISC.
	SWITCH DIMMER				LOW VOLTAGE TRANSFORMER
	SWITCH KEYED				

PLAN / ELEVATION SYMBOLS LEGEND

	DETAIL SCALE		INTERIOR ELEVATION		SHEARWALL LABEL
	DETAIL SCALE		DOOR LABEL		BEAM LABEL
	SECTION SCALE		WINDOW LABEL		TRUSS CONNECTOR LABEL
	SECTION SCALE		COLUMN LABEL		REVISION
	INTERIOR ELEV. SCALE		NORTH ARROW		BREAK LINE
			GRAPHIC SCALE		FLOOR ELEVATION
					GROUT FILLED CELL SEE FOUNDATION PLAN
					POURED CONCRETE COLUMN

SITE DATA: CITY OF DELRAY BEACH BLDG.
DEPT.
ZONING: R-1-AA
MARINA HISTORIC DISTRICT

FRONT SETBACK: 30'-0"
REAR SETBACK: 10'-0"
SIDE STREET SETBACK: 15'-0"
SIDE SETBACK: 10'-0"

- ALLOWED LOT COVERAGE: N/A
ACTUAL: LOT COVERAGE / LOT AREA
2,971 SF / 7,794 SF = 38.12%

MAXIMUM HGHT.: 35 FEET

MAXIMUM PARKING: 3 VEHICLES, INCL. 1 VEHICLE INSIDE THE GARAGE

RENOV./ADDITION DATA:

EXISTING TOTAL RESID.: 1,876 SF.
NEW TOTAL RESID.: 3,724 SF.
LOT SIZE: 7,794 SF.

FLOOD ZONE DATA:

CURRENT FLOOD ZONE AE (EL. 7'-0")
FUTURE FLOOD ZONE AE (EL. 8'-0")

EXISTING AREA

A/C FIRST FLOOR	1,848 S.F.
COV'D. ENTRY	28 S.F.
OPEN TERRACE	362 S.F.
TOTAL SQUARE FEET	2,238 S.F.

NEW AREA CALCS.

A/C FIRST FLOOR	2,606 S.F.
A/C SECOND FLOOR	509 S.F.
TOTAL SQUARE FEET	3,115 S.F.
ONE CAR GARAGE	285 S.F.
COV'D. ENTRY	140 S.F.
COV'D. PATIO	46 S.F.
WEST OPEN BALCONY	70 S.F.
EAST OPEN BALCONY	68 S.F.
TOTAL SQUARE FEET	3,724 S.F.

(#237)
EXIST. 1-STORY
SINGLE-FAMILY STRUCTURE
(FIN. FLR. SLAB ELEV. = 6'-0" [NAVD])

PLEASE NOTE:
BUILDING PLACEMENT SHOWN IS FOR ARCHITECTURAL AND
DIAGRAMMATICAL PURPOSES ONLY. CONTRACTOR TO FIELD
VERIFY AND COORDINATE BUILDING PLACEMENT WITH
SURVEYOR PLANS.

revisions

no.	date
(1) BLDG. DEPT. COMMENTS	08/14/2023
(2) BLDG. REQ'D. REV'S.	09/20/2023
(3) BLDG. REQ'D. REV'S.	11/30/2023
- HISTORICAL DEMO CDA	12/22/2023
- DEMO/FOUNDATION REV.	01/19/2024
- SITE FIRE PIT REV.	02/09/2024
- HISTORICAL DEMO CDA	03/22/2024

designed GTD/SMS
drawn GTD
checked SMS
date 06/12/2023
scale 1/4" = 1'-0"
job no. 23-1105.ARC

Shawn M. Stambaugh, PE
FL. LIC. 61850 - CA. 26210

PUCCI RESIDENCE
ADDITION
303 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project



Structural Engineering
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
GREENACRES, FL 33463
561.202.6994
WWW.QEASSOCIATES.COM

drawing
OVERALL
SITE PLAN
1" = 10'-0"

sheet
AS-1

of

CITY OF DELRAY BEACH DEVELOPMENT SERVICES DEPARTMENT
SUPPLEMENTAL FORMS

PROJECT DATA

The following information must be provided in the spaces below and must be shown on the Site Plan.

	REQUIRED/PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	30 FT	28 FT 7 INCHES	23 FT. 7 IN. (EX.) + 35 FT 10 IN. (NEW)
SIDE INTERIOR SETBACK	10 FT (SOUTH)	29 FT 11 INCHES (SOUTH)	10 FT (SOUTH)
SIDE STREET SETBACK	15 FT (NORTH)	15 FT 3 INCHES (NORTH)	15 FT 3 INCHES (NORTH)
REAR SETBACK	10 FT	9 FT 7 INCHES	6 FT 7 INCHES (W/ SFT VARIANCE)
HEIGHT/FLOORS	MAX. 35 FT.	11 FT 4 INCHES (1ST FLR.) FROM A.C.R.	15 FT 3 INCHES (1ST FLR.) FROM A.C.R. 23 FT 3.5 INCHES (2ND FLR.) FROM A.C.R.
WIDTH OF SITE	75 LF - 95 LF	100 LF	100 LF
DEPTH OF SITE	100 LF	83 FT 1 INCH	78 FT 1 IN (D.R.O.W.)
FRONTAGE	75 LF - 95 LF	100 LF	100 LF
TOTAL SITE AREA	9,500 SF	8,294 SF	7,794 SF (D.R.O.W.)
PERVIOUS/IMPERVIOUS AREA	N/A	2,238 SF / 6,056 SF	2,978 SF / 4,816 SF
OPEN SPACE (LANDSCAPED)	MIN. 25 %	3,522 SF (42.5%)	3,054 SF (39.2%)
WATER BODIES	MIN. 10 FT. SETBACK	11 FT. (SIDE) 22 FT 7 IN. (FRONT)	10 FT (SIDE) 10 FT 1-1/2 IN. (FRONT)
GROUND FLOOR AREA	1,500 SF	1,876 SF	3,039 SF
TOTAL FLOOR AREA	N/A	1,876 SF	3,724 SF
LOT COVERAGE	N/A	22.6%	38.12%
FLOOR AREA RATIO	N/A	N/A	N/A
NUMBER OF DWELLING UNITS	1	1	1
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A

DWELLING UNITS

	NUMBER OF UNITS	A/C SQ. FT.	TOTAL SQ. FT.
EFFICIENCY			
1 BEDROOM			
2 BEDROOM			
3 BEDROOM			
4 BEDROOM	1	3,106 SF	3,724 SF

PARKING SPACES REQUIRED

USE	CALCULATED AT #SPACES PER	REQUIRED	EXISTING	PROPOSED
RESIDENTIAL	BEDRM.	(1) PER ROOM	2	3 INCL. GARAGE

REGULAR SPACES
COMPACT SPACES (30% max. of required may be compact)
HANDICAPPED SPACES
TOTALS

USE	CALCULATED AT #SPACES PER	REQUIRED	EXISTING	PROPOSED
RESIDENTIAL	BEDRM.	(1) PER ROOM	2	3 INCL. GARAGE

Number of bike racks required: _____ Number of bike racks proposed: _____

Projects within the Central Business District (CBD) - LDR Section 4.4.13 Site not located in the CBD

Subdistrict: Central Core West Atlantic Neighborhood Railroad Corridor Beach

Street Designation: Primary Street Secondary Street Both

Limited Height Area: Atlantic Avenue West Atlantic Neighborhood N/A

Required Retail Frontage: Yes No Proposed Architectural Style: _____

Building Frontage %: _____ Proposed Frontage Type: _____

Proposed Building Composition: _____ Green Building Practices Required: Yes No

Civic Open Space Type: _____ Civic Open Space Size: _____

Provide a separate narrative addressing the appropriateness of the proposed design.

EXISTING DRIVEWAY TO THE WEST LOCATED AT REAR OF PROPERTY

(#300)
EXIST. 1-STORY
SINGLE-FAMILY STRUCTURE
(FIN. FLR. SLAB ELEV. = 5'-5" [NAVD])

PROPERTY WALKWAY ENTRANCE

EX. RESIDENT D'WAY

(#310)

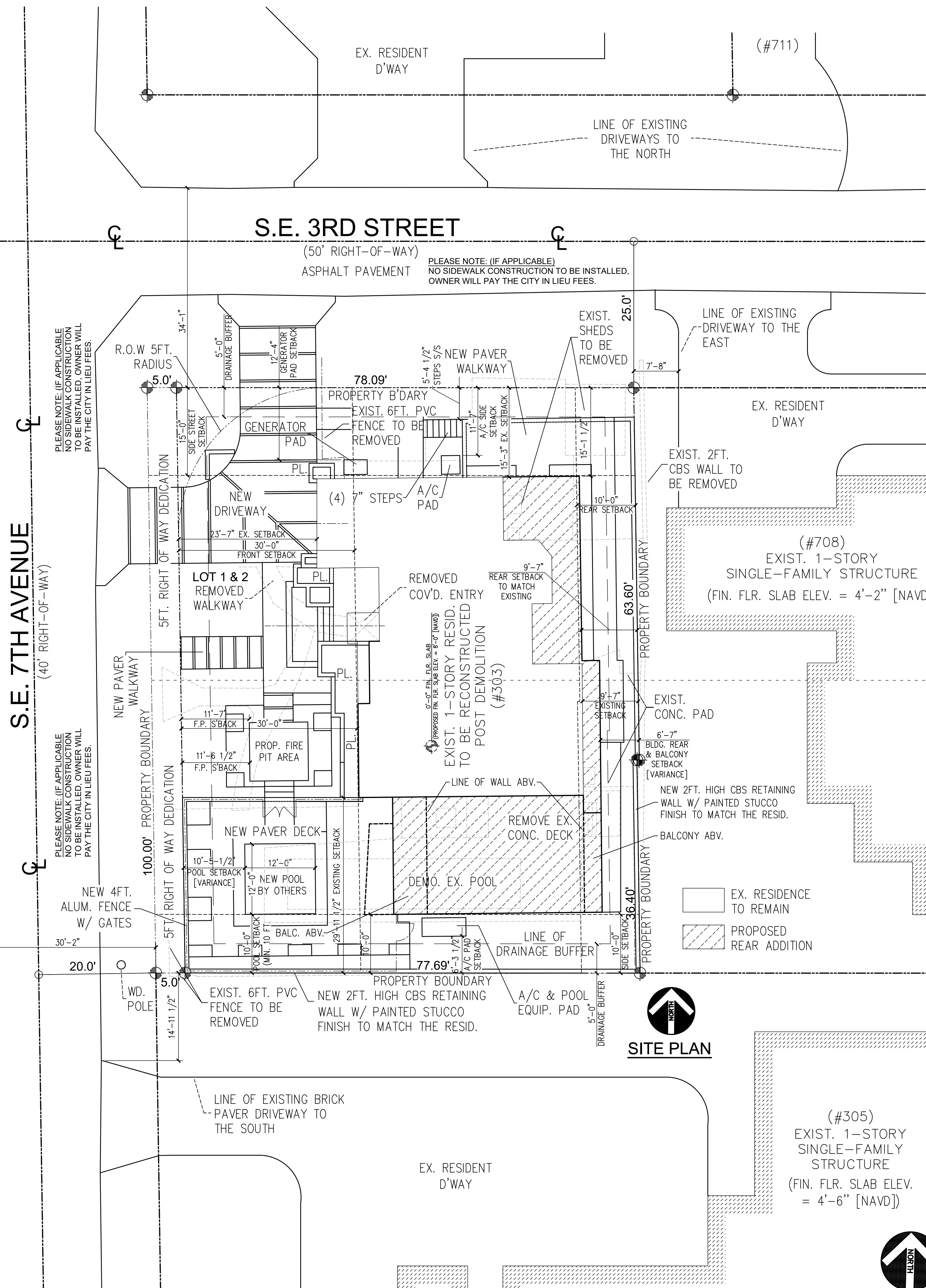
S.E. 7TH AVENUE
(40' RIGHT-OF-WAY)

S.E. 3RD STREET
(50' RIGHT-OF-WAY)
ASPHALT PAVEMENT

PLEASE NOTE: (IF APPLICABLE)
NO SIDEWALK CONSTRUCTION TO BE INSTALLED. OWNER WILL PAY THE CITY IN LIEU FEES.

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NO SIDEWALK CONSTRUCTION TO BE INSTALLED. OWNER WILL PAY THE CITY IN LIEU FEES.

PLEASE NOTE: (IF APPLICABLE)
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SITE PLAN

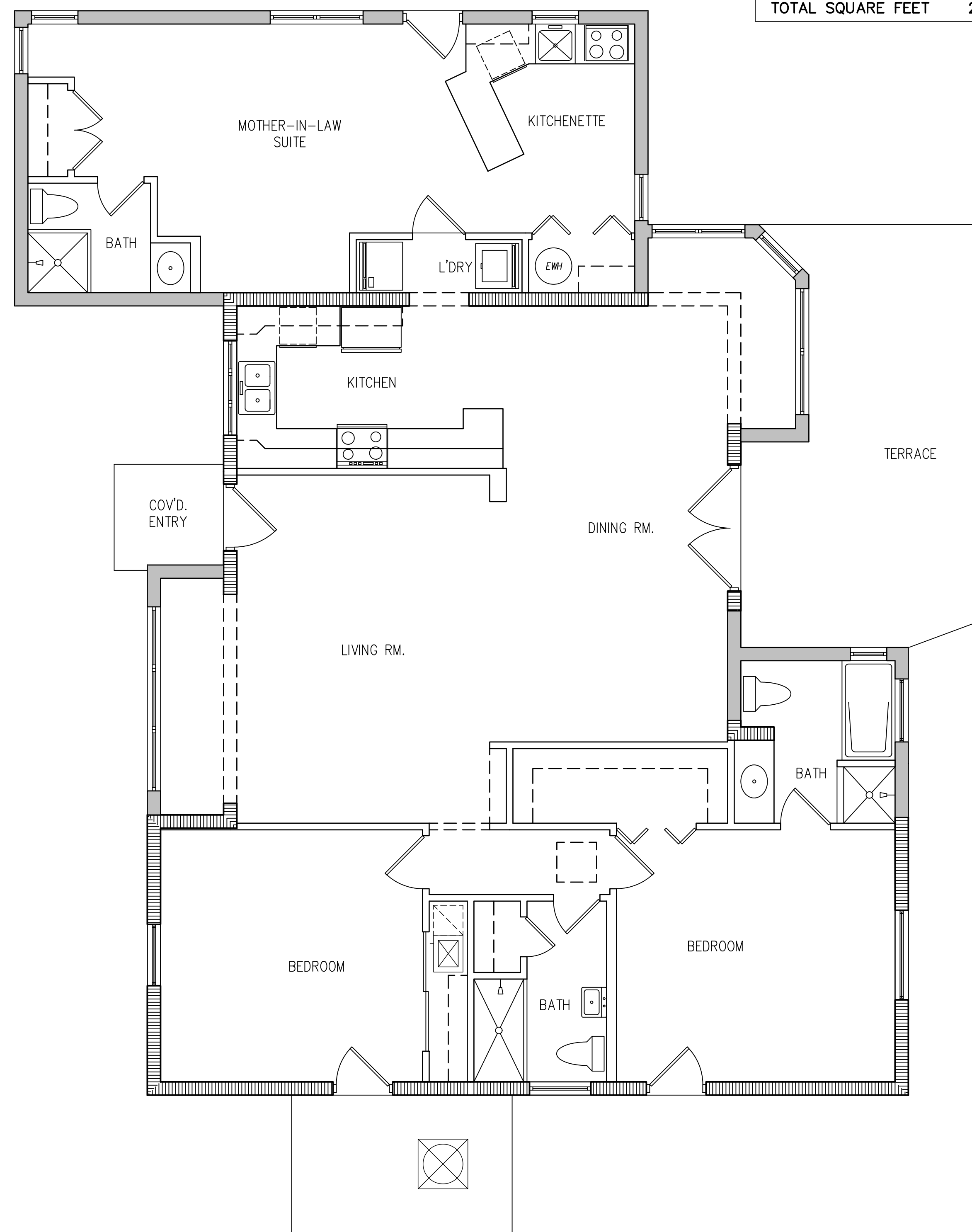
(#305)
EXIST. 1-STORY
SINGLE-FAMILY
STRUCTURE
(FIN. FLR. SLAB ELEV. = 4'-6" [NAVD])

revisions no.	date
(1) BLDG. DEPT. COMMENTS	08/14/2023
(2) BLDG. REQ'D. REV'S.	09/20/2023
(3) BLDG. REQ'D. REV'S.	11/30/2023
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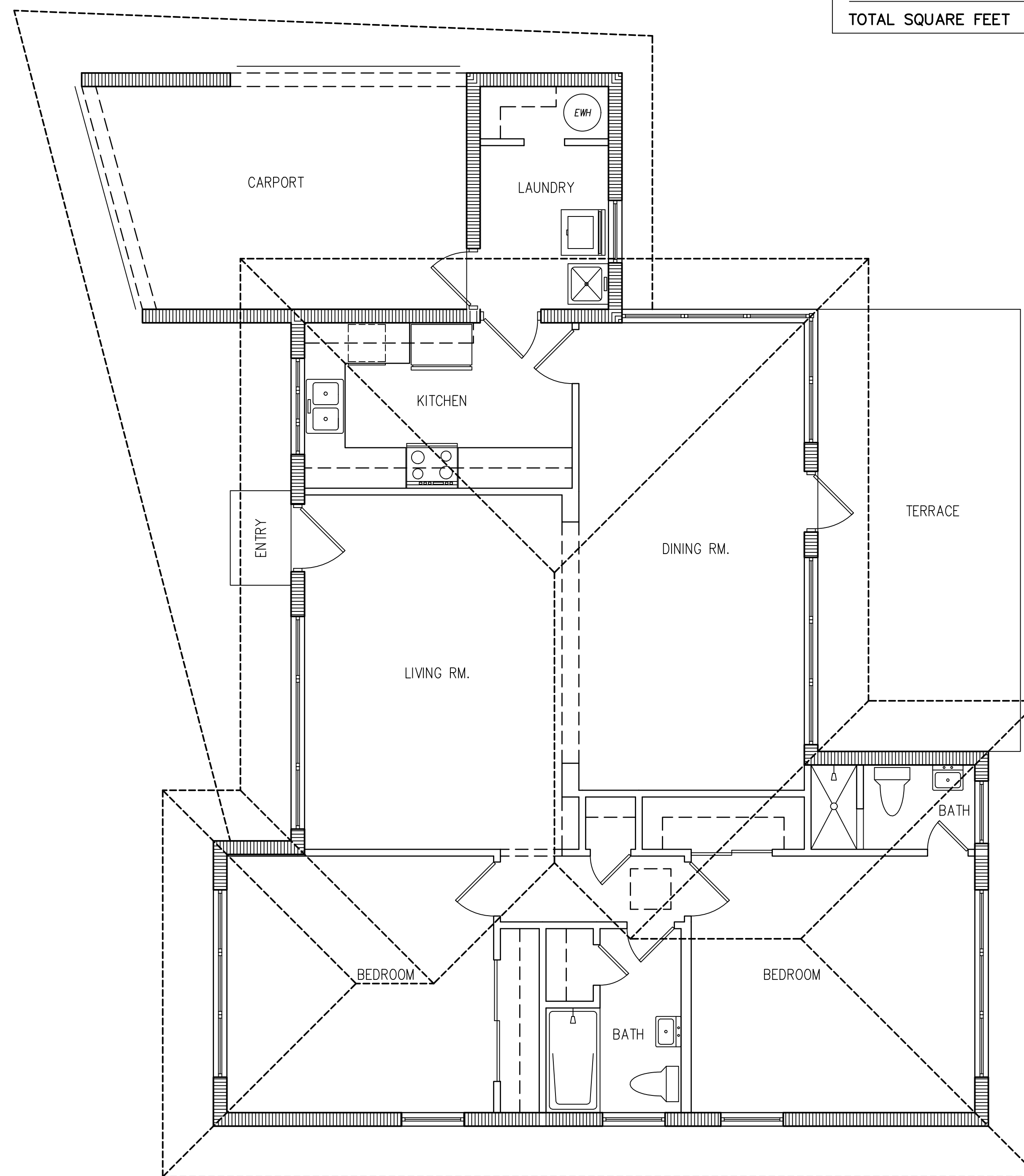
designed GTD/SMS
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 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

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OPEN TERRACE	362 S.F.
TOTAL SQUARE FEET	2,238 S.F.

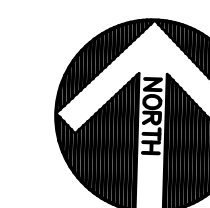
ORIGINAL AREA	
A/C FIRST FLOOR	1,348 S.F.
CARPORT	210 S.F.
ENTRY	14 S.F.
OPEN TERRACE	218 S.F.
TOTAL SQUARE FEET	1,790 S.F.



EXISTING HOUSE - PRE DEMOLITION



ORIGINAL HOUSE - 1950'S



Shawn M. Stambaugh, PE
FL. LIC. 61850 - CA. 26210

**PUCCI RESIDENCE
 ADDITION**
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



Structural Engineering
 •
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
 GREENACRES, FL 33463
 561.202.6994
 WWW.QEASSOCIATES.COM

drawing
**EXISTING
 FLOOR PLANS**

sheet
EX-1

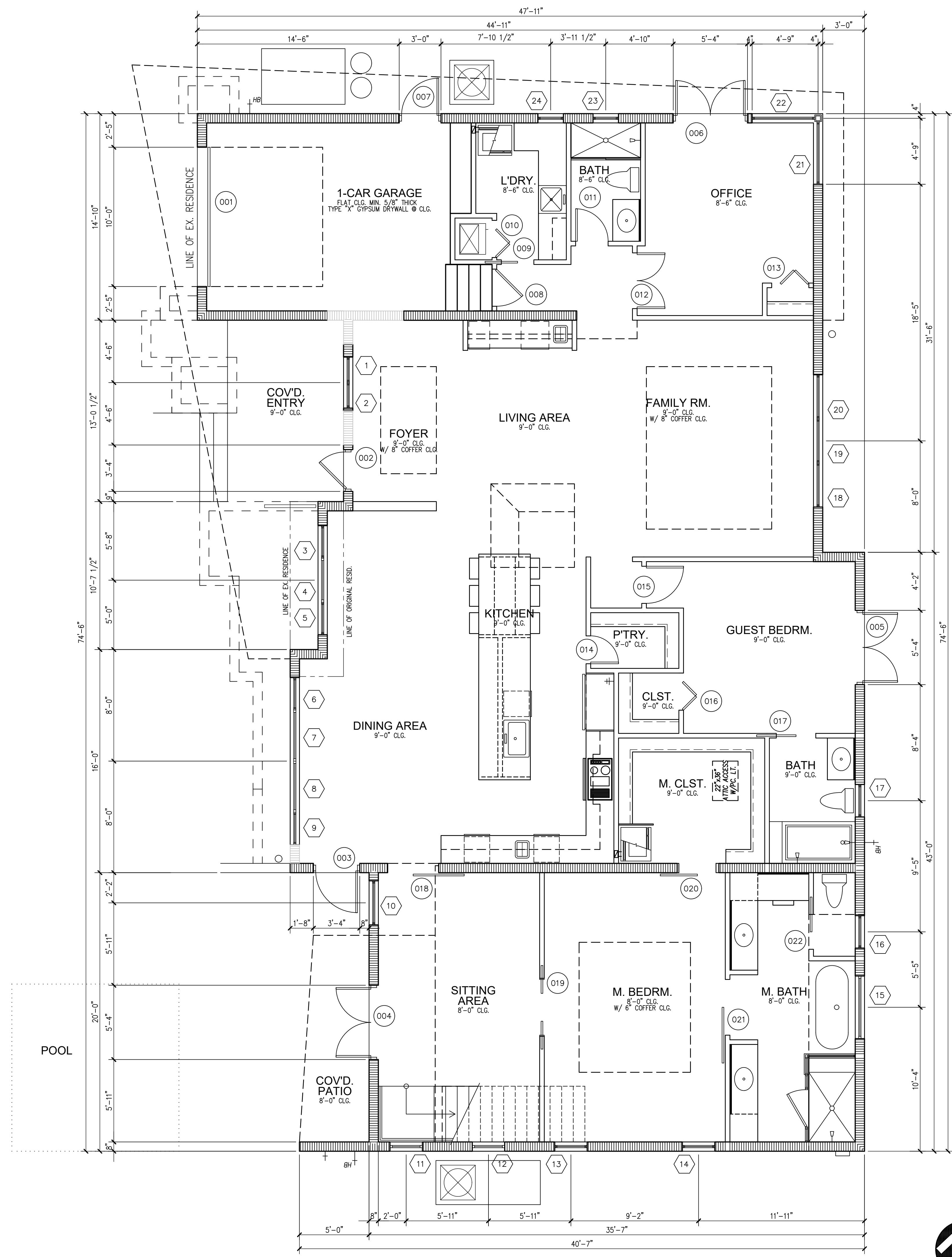
of

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COVD. PATIO	46 S.F.
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TOTAL SQUARE FEET	3,724 S.F.

DOOR SCHEDULE											
MARK	STYLE	DOOR		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
		WD	HGT	W	H	+	-				
001	OVERHEAD	10'-0"	8'-0"	120"	96"	32.73	40.44				
002	SINGLE EXTERIOR	2'-8"	6'-8"	40"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
003	SINGLE EXTERIOR	3'-0"	6'-8"	40"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
004	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
005	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
006	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
007	SINGLE EXTERIOR	2'-8"	6'-8"	36"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
008	SINGLE	2'-8"	6'-8"	-	-	-	-	W/ clsr.	-	-	-
009	POCKET	2'-4"	6'-8"	-	-	-	-	-	-	-	-
010	BIFOLD	2'-8"	6'-8"	-	-	-	-	Louvered	-	-	-
011	SINGLE	2'-4"	6'-8"	-	-	-	-	-	-	-	-
012	DOUBLE	4'-0"	6'-8"	-	-	-	-	-	-	-	-
013	BIFOLD	2'-8"	6'-8"	-	-	-	-	-	-	-	-
014	SINGLE	2'-0"	8'-0"	-	-	-	-	-	-	-	-
015	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-
016	BIFOLD	2'-8"	8'-0"	-	-	-	-	-	-	-	-
017	POCKET	2'-10"	8'-0"	-	-	-	-	-	-	-	-
018	POCKET	3'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
019	POCKET DOUBLE	4'-0"	6'-8"	-	-	-	-	-	-	-	-
020	POCKET	2'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
021	POCKET	4'-0"	6'-8"	-	-	-	-	Barn style	-	-	-
022	POCKET	2'-6"	6'-8"	-	-	-	-	-	-	-	-
023	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
024	SINGLE EXTERIOR	3'-0"	6'-8"	40"	82"	36.14	47.26	Sgl. Lite	ALUMINUM	WHITE	CLEAR
025	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-
026	BIFOLD DOUBLE	6'-0"	6'-8"	-	-	-	-	-	-	-	-
027	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-
028	POCKET	2'-8"	6'-8"	-	-	-	-	-	-	-	-
029	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-

WINDOW SCHEDULE												
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
			W	H	W	H	+	-				
001	(2) 14SH	SINGLE HUNG	1'-10"	4'-4"	37"	51"	36.85	40.05	Modified	ALUMINUM	WHITE	CLEAR
002	"	SINGLE HUNG	1'-10"	4'-4"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
003	H34SH	SINGLE HUNG	2'-4"	4'-4"	94"	51"	38.35	35.14	Modified	ALUMINUM	WHITE	CLEAR
004	FIXED	PICTURE	3'-2"	4'-4"	94"	51"	"	"	"	ALUMINUM	WHITE	CLEAR
005	H34SH	SINGLE HUNG	2'-4"	4'-4"	94"	51"	"	"	Modified	ALUMINUM	WHITE	CLEAR
006	H35SH	SINGLE HUNG	2'-4"	5'-5"	144"	63"	33.24	36.45	"	ALUMINUM	WHITE	CLEAR
007	FIXED	PICTURE	3'-8"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
008	FIXED	PICTURE	3'-8"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
009	H35SH	SINGLE HUNG	2'-4"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
010	25SH	SINGLE HUNG	3'-2"	5'-5"	38"	63"	36.85	40.05	"	ALUMINUM	WHITE	CLEAR
011	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
012	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
013	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
014	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
015	FIXED	PICTURE	4'-6"	4'-4"	54"	51"	36.85	40.05	"	ALUMINUM	WHITE	CLEAR
016	H33SH	SINGLE HUNG	2'-4"	4'-4"	28"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
017	H33SH	SINGLE HUNG	2'-4"	3'-4"	28"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
018	(3) 25SH	SINGLE HUNG	3'-2"	5'-5"	116"	63"	33.89	37.09	"	ALUMINUM	WHITE	CLEAR
019	"	SINGLE HUNG	3'-2"	5'-5"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
020	"	SINGLE HUNG	3'-2"	5'-5"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
021	35SH	SINGLE HUNG	4'-6"	5'-5"	54"	63"	36.14	47.26	"	ALUMINUM	WHITE	CLEAR
022	35SH	SINGLE HUNG	4'-6"	5'-5"	54"	63"	36.14	47.26	"	ALUMINUM	WHITE	CLEAR
023	13SH	SINGLE HUNG	1'-10"	3'-4"	22"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
024	13SH	SINGLE HUNG	1'-10"	3'-4"	22"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
025	24SH	SINGLE HUNG	3'-2"	4'-4"	38"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
026	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
027	H33SH	SINGLE HUNG	2'-4"	3'-4"	28"	39"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
028	H34SH	SINGLE HUNG	3'-2"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
029	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
030	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
031	24SH	SINGLE HUNG	3'-2"	4'-4"	38"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR

NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, CLEAR, NON-REFLECTIVE, LOW-UV & NON-INSULATED. ALL WINDOWS AND DOORS TO HAVE ALUMINUM FRAMES & TO BE OF WHITE COLOR.



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- DEMO/FOUNDATION REV.	01/19/2024
- SITE FIRE PIT REV.	02/09/2024
- HISTORICAL DEMO CDA	03/22/2024

designed GTD/SMS
 drawn GTD
 checked SMS
 date 06/12/2023
 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

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 FL. LIC. 61850 - CA. 26210

PUCCI RESIDENCE ADDITION
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
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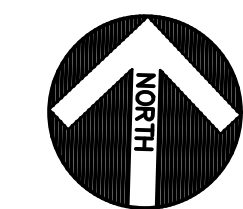
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revisions no.	date
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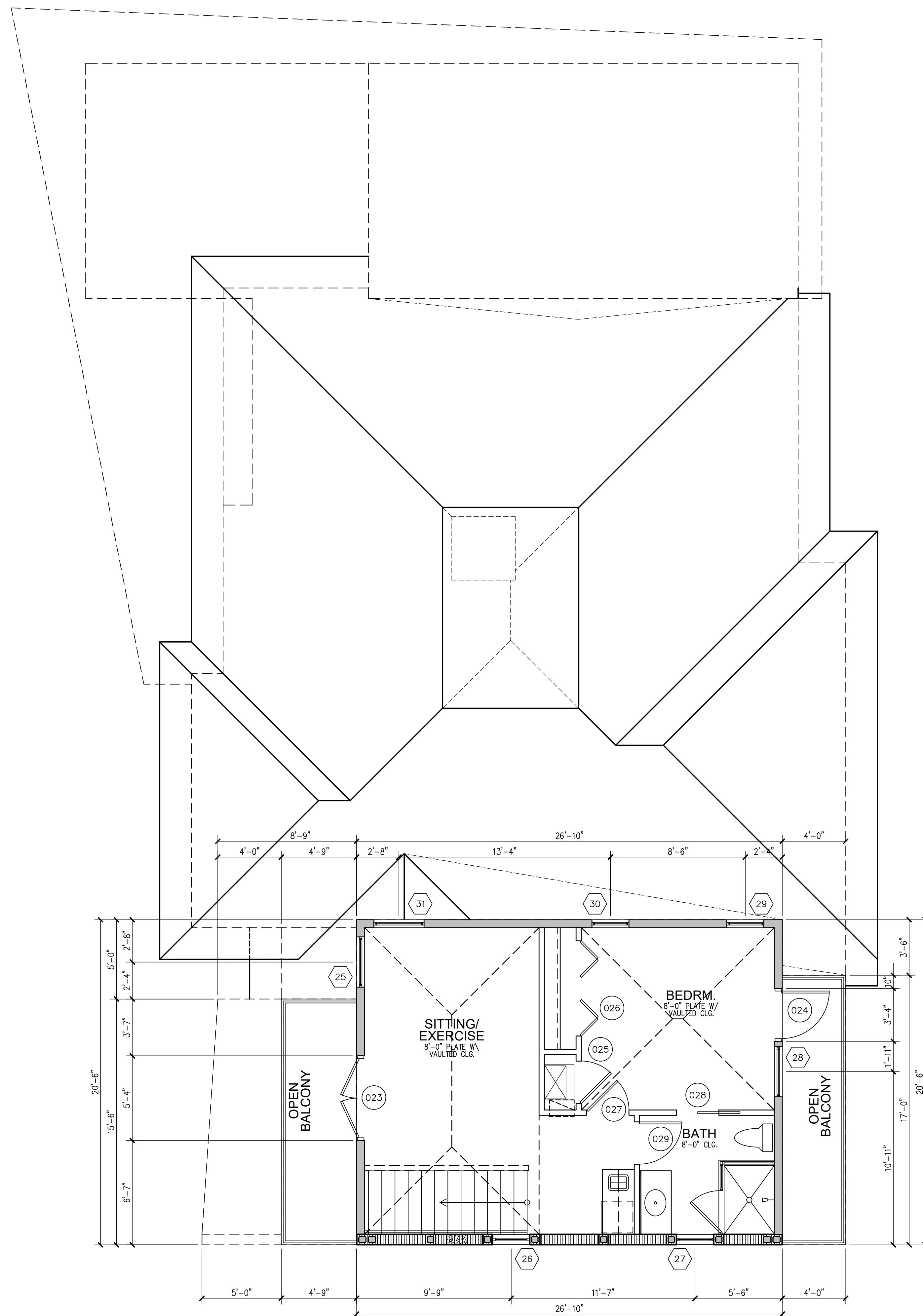
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DOOR SCHEDULE											
MARK	STYLE	DOOR		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
		WD	HGT	W	H	+	-				
001	OVERHEAD	10'-0"	8'-0"	120°	96°	32.73	40.44		-	-	-
002	SINGLE EXTERIOR	2'-8"	6'-8"	40°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
003	SINGLE EXTERIOR	3'-0"	6'-8"	40°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
004	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
005	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
006	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
007	SINGLE EXTERIOR	2'-8"	6'-8"	36°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
008	SINGLE	2'-8"	6'-8"	-	-	-	-	W/ clsr.	-	-	-
009	POCKET	2'-4"	6'-8"	-	-	-	-		-	-	-
010	BIFOLD	2'-8"	6'-8"	-	-	-	-	Louvered	-	-	-
011	SINGLE	2'-4"	6'-8"	-	-	-	-		-	-	-
012	DOUBLE	4'-0"	6'-8"	-	-	-	-		-	-	-
013	BIFOLD	2'-8"	6'-8"	-	-	-	-		-	-	-
014	SINGLE	2'-0"	8'-0"	-	-	-	-		-	-	-
015	SINGLE	2'-8"	8'-0"	-	-	-	-		-	-	-
016	BIFOLD	2'-8"	8'-0"	-	-	-	-		-	-	-
017	POCKET	2'-10"	8'-0"	-	-	-	-		-	-	-
018	POCKET	3'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
019	POCKET DOUBLE	4'-0"	6'-8"	-	-	-	-		-	-	-
020	POCKET	2'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
021	POCKET	4'-0"	6'-8"	-	-	-	-	Barn style	-	-	-
022	POCKET	2'-6"	6'-8"	-	-	-	-		-	-	-
023	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
024	SINGLE EXTERIOR	3'-0"	6'-8"	40°	82°	36.14	47.26	Sgl. Lite	ALUMINUM	WHITE	CLEAR
025	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-
026	BIFOLD DOUBLE	6'-0"	6'-8"	-	-	-	-		-	-	-
027	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-
028	POCKET	2'-8"	6'-8"	-	-	-	-		-	-	-
029	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-

WINDOW SCHEDULE												
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
			W	H	W	H	+	-				
001	(2) 14SH	SINGLE HUNG	1'-10"	4'-4"	37°	51°	36.85	40.05	Modified	ALUMINUM	WHITE	CLEAR
002	"	SINGLE HUNG	1'-10"	4'-4"	-	-	"	"	"	ALUMINUM	WHITE	CLEAR
003	H34SH	SINGLE HUNG	2'-4"	4'-4"	94°	51°	38.35	35.14	Modified	ALUMINUM	WHITE	CLEAR
004	FIXED	PICTURE	3'-2"	4'-4"	94°	51°	"	"	"	ALUMINUM	WHITE	CLEAR
005	H34SH	SINGLE HUNG	2'-4"	4'-4"	94°	51°	"	"	Modified	ALUMINUM	WHITE	CLEAR
006	H35SH	SINGLE HUNG	2'-4"	5'-5"	144°	63°	33.24	36.45		ALUMINUM	WHITE	CLEAR
007	FIXED	PICTURE	3'-8"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
008	FIXED	PICTURE	3'-8"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
009	H35SH	SINGLE HUNG	2'-4"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
010	25SH	SINGLE HUNG	3'-2"	5'-5"	38°	63°	36.85	40.05		ALUMINUM	WHITE	CLEAR
011	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
012	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
013	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
014	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
015	FIXED	PICTURE	4'-6"	4'-4"	54°	51°	36.85	40.05		ALUMINUM	WHITE	CLEAR
016	H33SH	SINGLE HUNG	2'-4"	4'-4"	28°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
017	H33SH	SINGLE HUNG	2'-4"	3'-4"	28°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
018	(3) 25SH	SINGLE HUNG	3'-2"	5'-5"	116°	63°	33.89	37.09		ALUMINUM	WHITE	CLEAR
019	"	SINGLE HUNG	3'-2"	5'-5"	-	-	"	"		ALUMINUM	WHITE	CLEAR
020	"	SINGLE HUNG	3'-2"	5'-5"	-	-	"	"		ALUMINUM	WHITE	CLEAR
021	35SH	SINGLE HUNG	4'-6"	5'-5"	54°	63°	36.14	47.26		ALUMINUM	WHITE	CLEAR
022	35SH	SINGLE HUNG	4'-6"	5'-5"	54°	63°	36.14	47.26		ALUMINUM	WHITE	CLEAR
023	13SH	SINGLE HUNG	1'-10"	3'-4"	22°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
024	13SH	SINGLE HUNG	1'-10"	3'-4"	22°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
025	24SH	SINGLE HUNG	3'-2"	4'-4"	38°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR
026	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
027	H33SH	SINGLE HUNG	2'-4"	3'-4"	28°	39°	37.84	50.67		ALUMINUM	WHITE	CLEAR
028	H34SH	SINGLE HUNG	3'-2"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
029	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR
030	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
031	24SH	SINGLE HUNG	3'-2"	4'-4"	38°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR

NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, CLEAR, NON-REFLECTIVE, LOW-UV & NON-INSULATED. ALL WINDOWS AND DOORS TO HAVE ALUMINUM FRAMES & TO BE OF WHITE COLOR.



PUCCI RESIDENCE
 ADDITION
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project

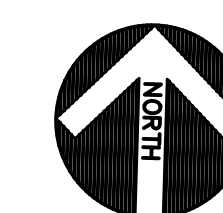


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 SECOND FLOOR PLAN

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 A-2



of



PHOTO REALISTIC RENDERING



Pucci Addition - 303 SE 7th Ave., Delray Beach

TWO DIMENSIONAL COLOR ELEVATION

revisions no.	date
(1) BLDG. DEPT. COMMENTS	08/14/2023
(2) BLDG. REQ'D. REV'S.	09/20/2023
(3) BLDG. REQ'D. REV'S.	11/30/2023
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 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

Shawn M. Stambaugh, PE
 FL. LIC. 61850 - CA. 26210

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 ADDITION**
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**RENDERED
 ELEVATIONS**

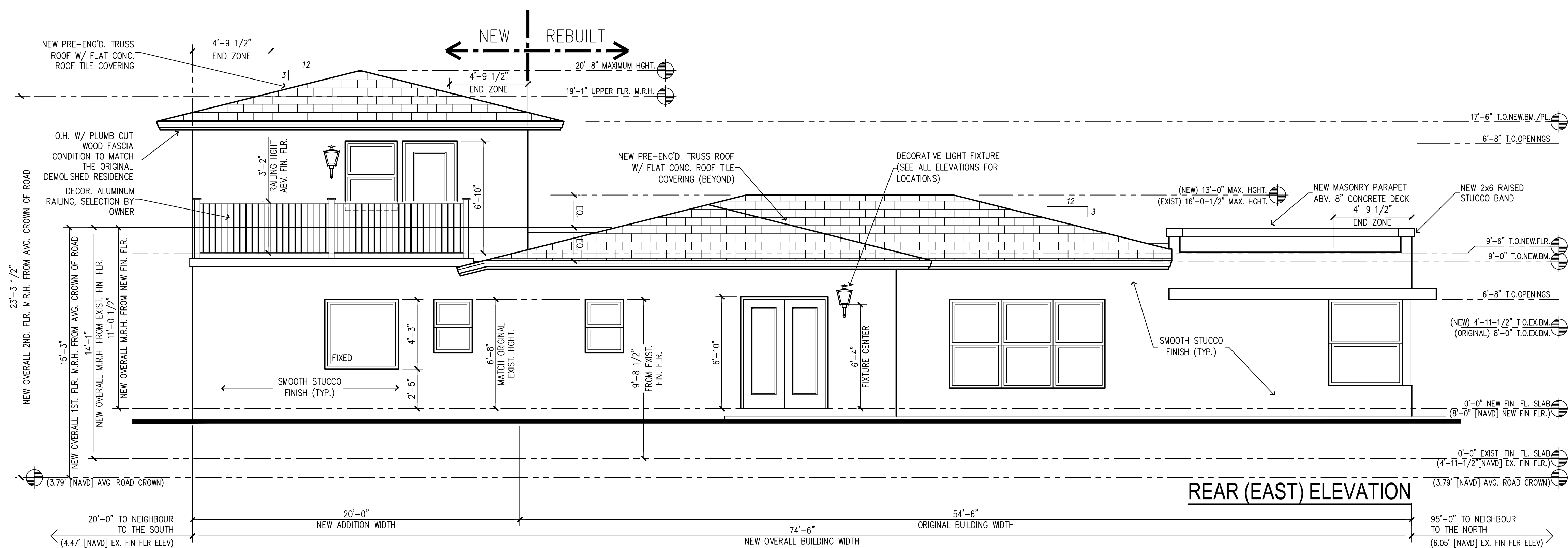
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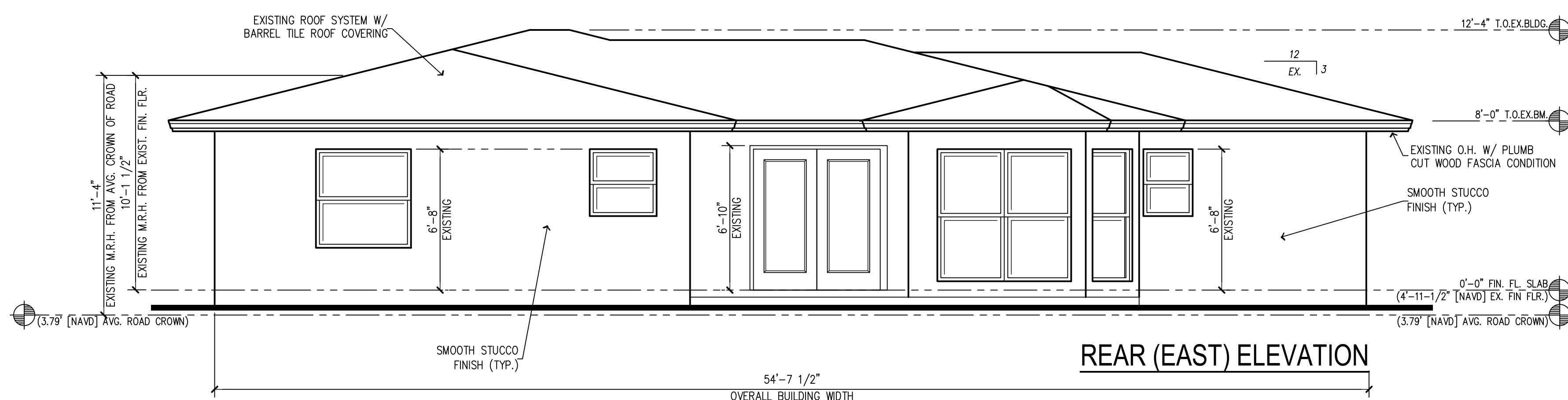
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NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

PUCCI RESIDENCE
 ADDITION
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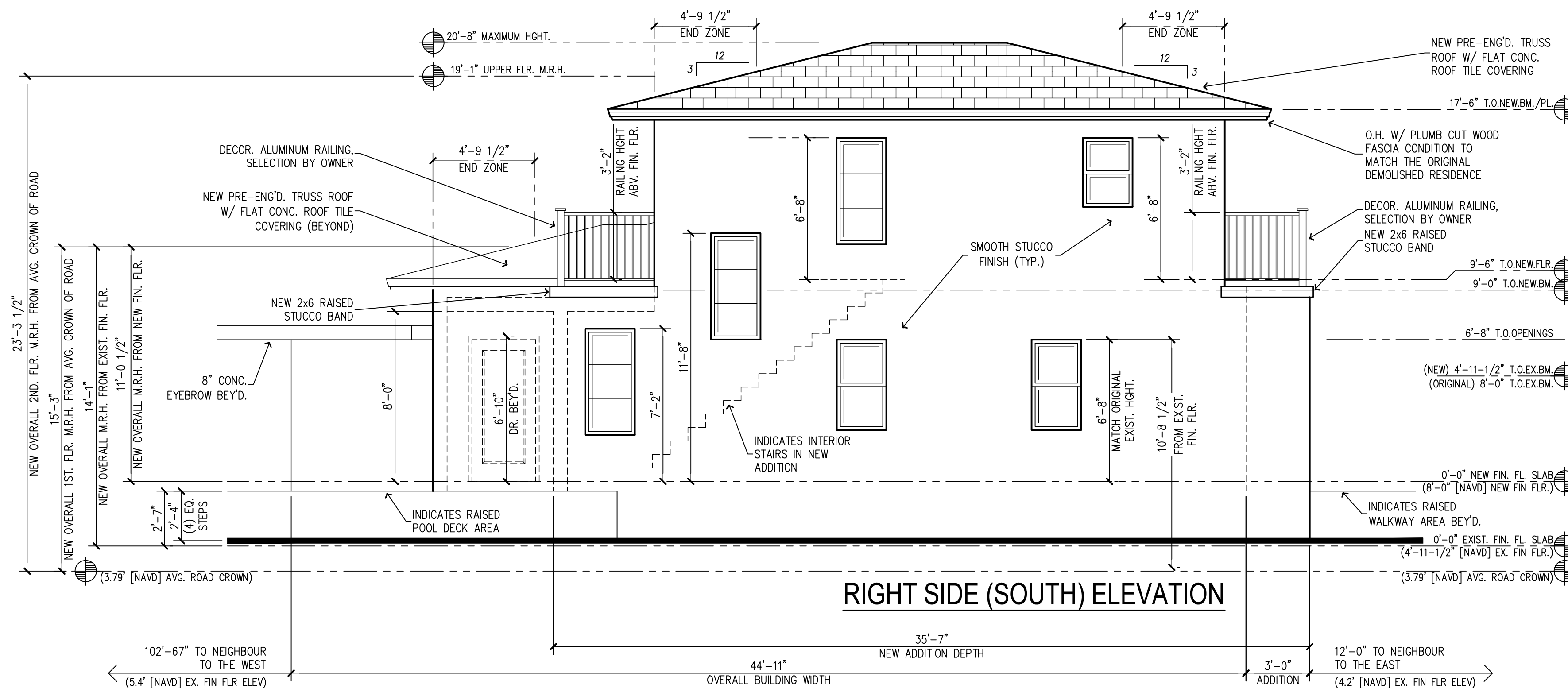
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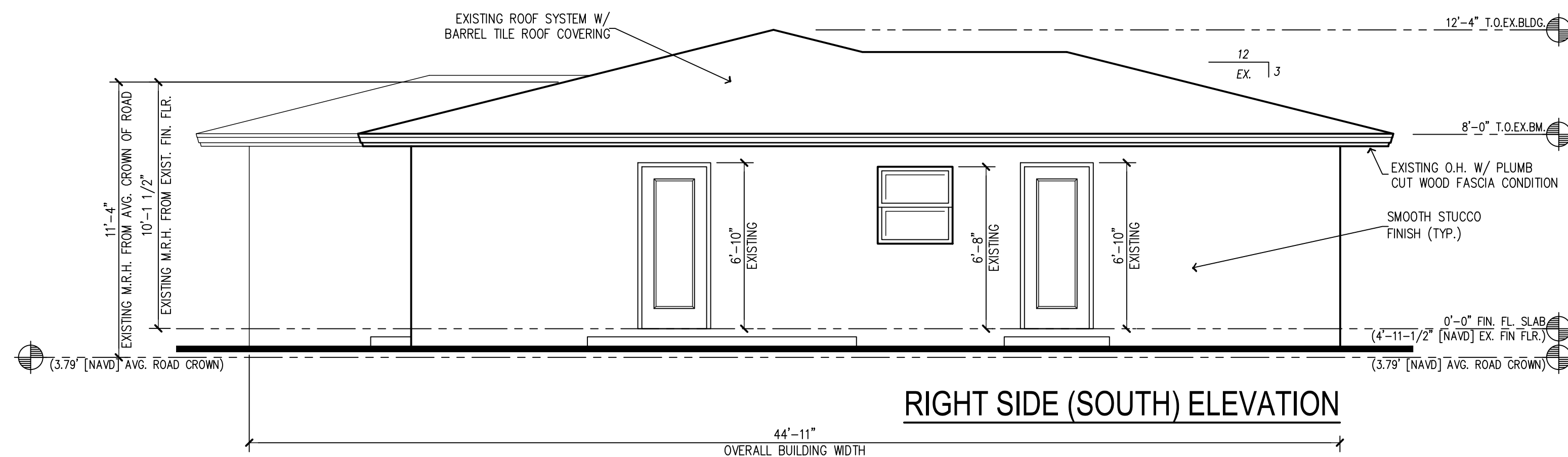
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NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

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drawing
 RIGHT SIDE
 ELEVATIONS

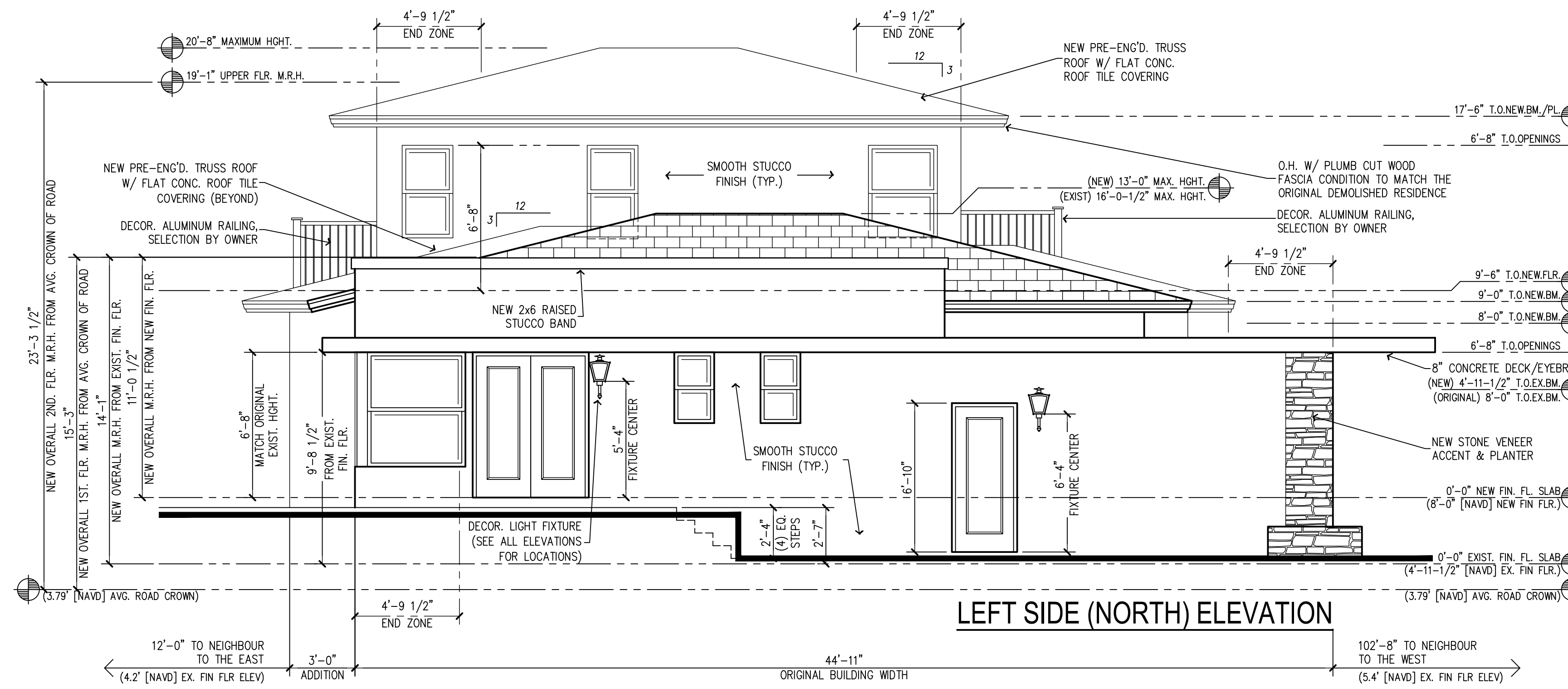
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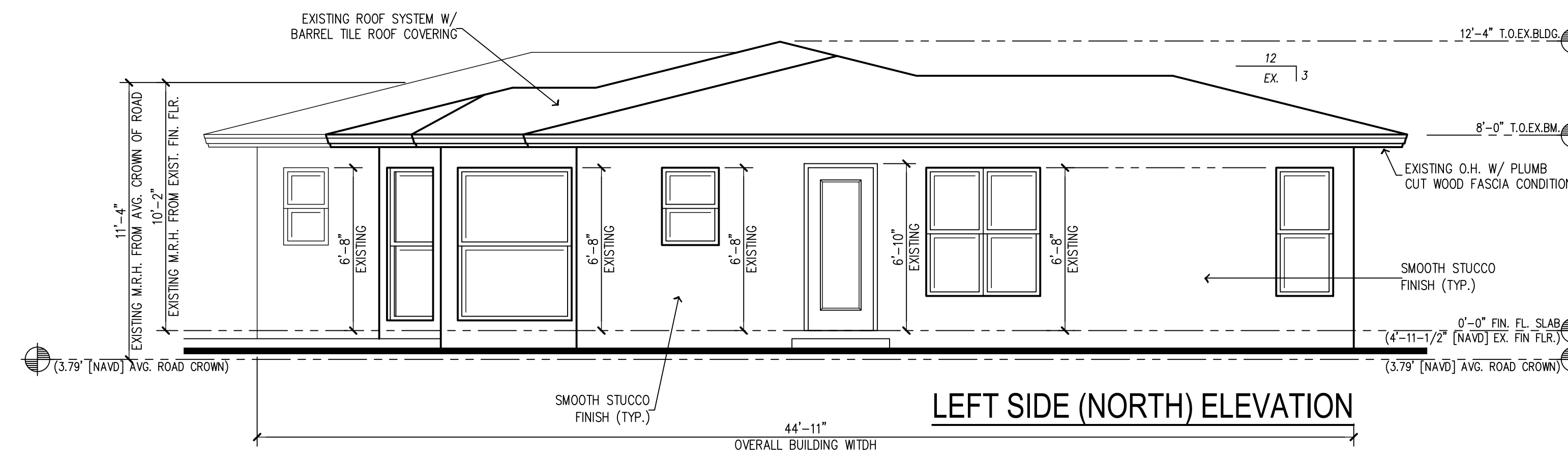
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NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

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 ADDITION
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 CITY OF DELRAY BEACH
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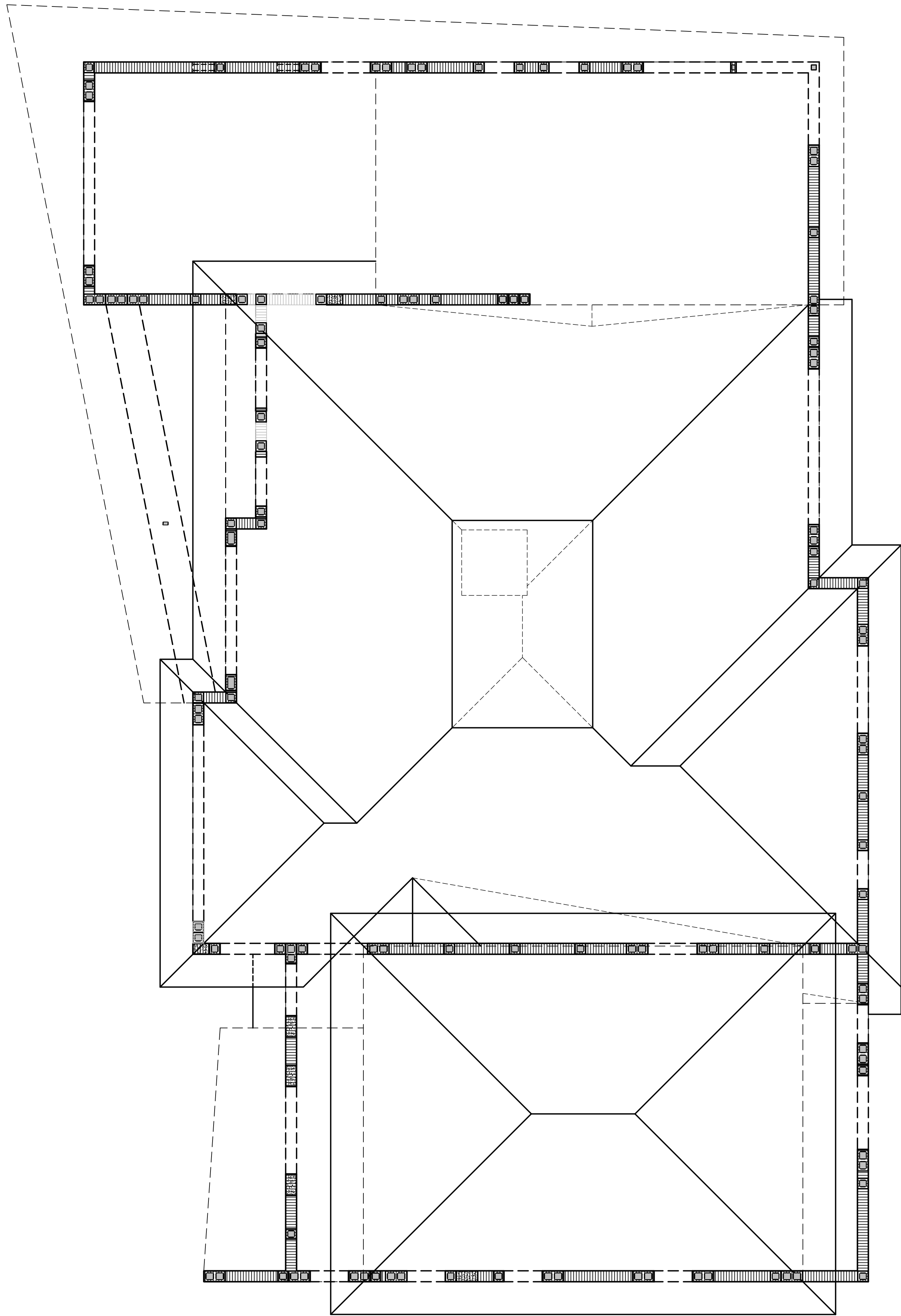
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 LEFT SIDE
 ELEVATIONS

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of



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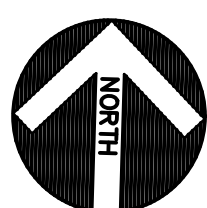
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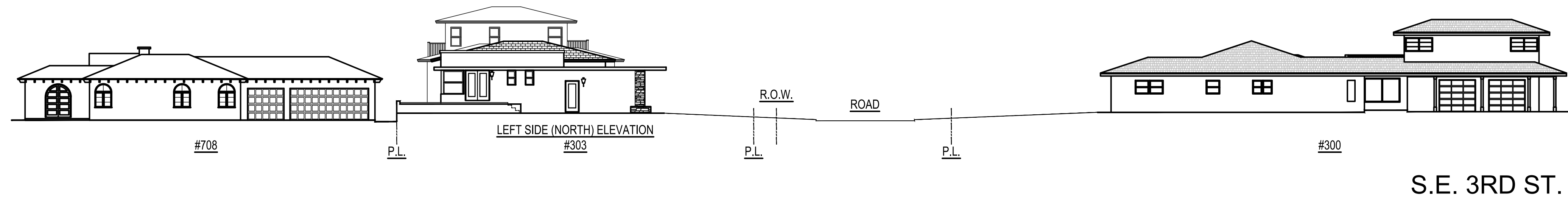
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Shawn M. Stambaugh, PE
 FL. LIC. 61850 - CA. 26210

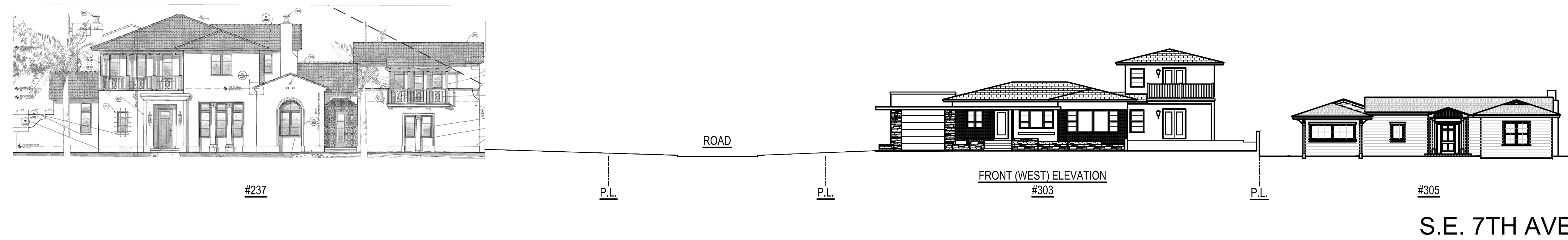


**PUCCI RESIDENCE
 ADDITION**
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



Structural Engineering
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
 GREENACRES, FL 33463
 561.202.6994
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drawing
**STREETSCAPE
 ELEVATIONS**
 SCALE: 1/16" = 1'-0"

sheet -

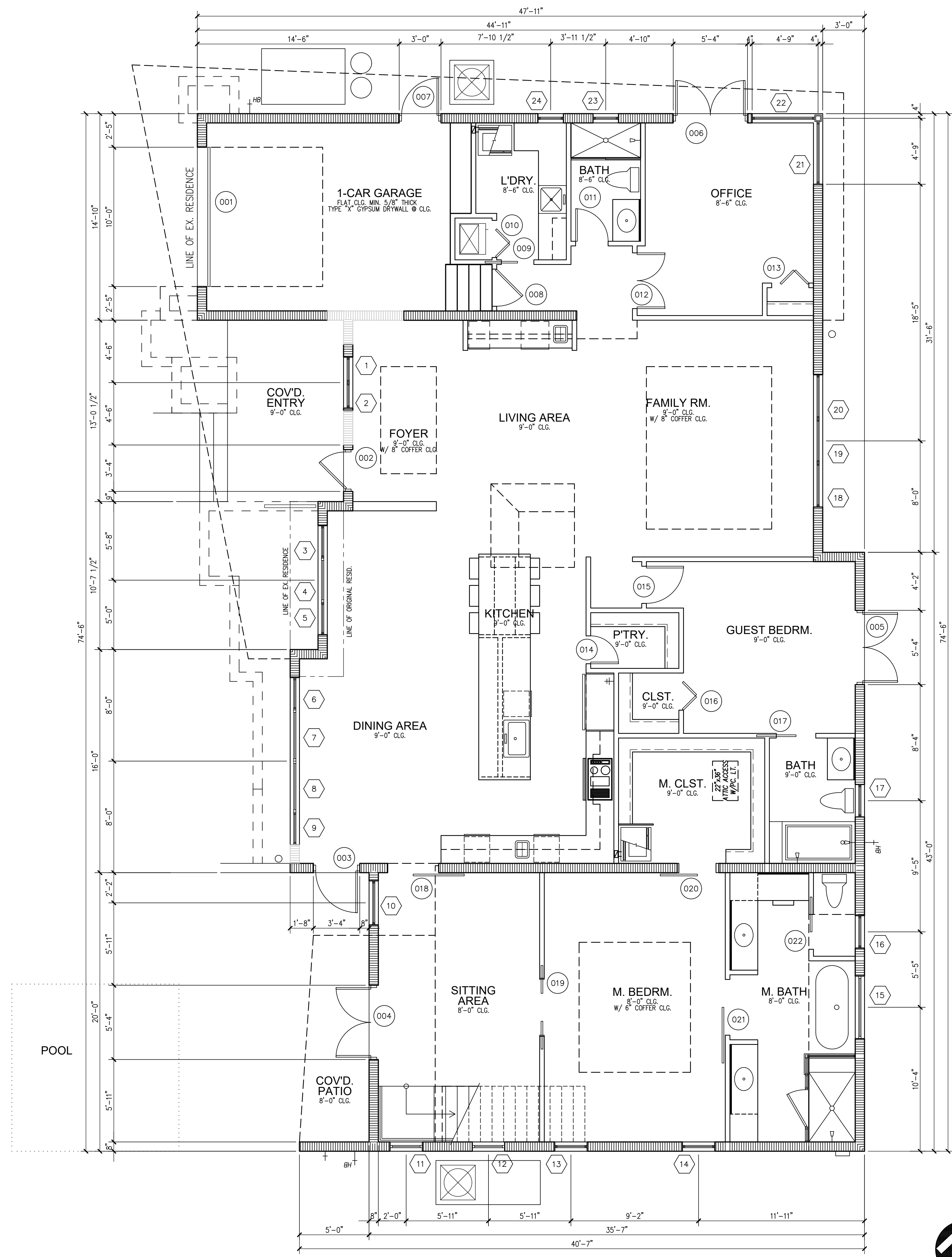
of

NEW AREA CALCS.	
A/C FIRST FLOOR	2,606 S.F.
A/C SECOND FLOOR	509 S.F.
TOTAL SQUARE FEET	3,115 S.F.
ONE CAR GARAGE	285 S.F.
COVD. ENTRY	140 S.F.
COVD. PATIO	46 S.F.
WEST OPEN BALCONY	70 S.F.
EAST OPEN BALCONY	68 S.F.
TOTAL SQUARE FEET	3,724 S.F.

DOOR SCHEDULE											
MARK	STYLE	DOOR		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
		WD	HGT	W	H	+	-				
001	OVERHEAD	10'-0"	8'-0"	120"	96"	32.73	40.44				
002	SINGLE EXTERIOR	2'-8"	6'-8"	40"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
003	SINGLE EXTERIOR	3'-0"	6'-8"	40"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
004	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
005	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
006	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
007	SINGLE EXTERIOR	2'-8"	6'-8"	36"	82"	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
008	SINGLE	2'-8"	6'-8"	-	-	-	-	W/ clsr.	-	-	-
009	POCKET	2'-4"	6'-8"	-	-	-	-	-	-	-	-
010	BIFOLD	2'-8"	6'-8"	-	-	-	-	Louvered	-	-	-
011	SINGLE	2'-4"	6'-8"	-	-	-	-	-	-	-	-
012	DOUBLE	4'-0"	6'-8"	-	-	-	-	-	-	-	-
013	BIFOLD	2'-8"	6'-8"	-	-	-	-	-	-	-	-
014	SINGLE	2'-0"	8'-0"	-	-	-	-	-	-	-	-
015	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-
016	BIFOLD	2'-8"	8'-0"	-	-	-	-	-	-	-	-
017	POCKET	2'-10"	8'-0"	-	-	-	-	-	-	-	-
018	POCKET	3'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
019	POCKET DOUBLE	4'-0"	6'-8"	-	-	-	-	-	-	-	-
020	POCKET	2'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
021	POCKET	4'-0"	6'-8"	-	-	-	-	Barn style	-	-	-
022	POCKET	2'-6"	6'-8"	-	-	-	-	-	-	-	-
023	DOUBLE EXTERIOR	5'-0"	6'-8"	64"	82"	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
024	SINGLE EXTERIOR	3'-0"	6'-8"	40"	82"	36.14	47.26	Sgl. Lite	ALUMINUM	WHITE	CLEAR
025	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-
026	BIFOLD DOUBLE	6'-0"	6'-8"	-	-	-	-	-	-	-	-
027	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-
028	POCKET	2'-8"	6'-8"	-	-	-	-	-	-	-	-
029	SINGLE	2'-8"	6'-8"	-	-	-	-	-	-	-	-

WINDOW SCHEDULE												
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
			W	H	W	H	+	-				
001	(2) 14SH	SINGLE HUNG	1'-10"	4'-4"	37"	51"	36.85	40.05	Modified	ALUMINUM	WHITE	CLEAR
002	"	SINGLE HUNG	1'-10"	4'-4"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
003	H34SH	SINGLE HUNG	2'-4"	4'-4"	94"	51"	38.35	35.14	Modified	ALUMINUM	WHITE	CLEAR
004	FIXED	PICTURE	3'-2"	4'-4"	94"	51"	"	"	"	ALUMINUM	WHITE	CLEAR
005	H34SH	SINGLE HUNG	2'-4"	4'-4"	94"	51"	"	"	Modified	ALUMINUM	WHITE	CLEAR
006	H35SH	SINGLE HUNG	2'-4"	5'-5"	144"	63"	33.24	36.45	"	ALUMINUM	WHITE	CLEAR
007	FIXED	PICTURE	3'-8"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
008	FIXED	PICTURE	3'-8"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
009	H35SH	SINGLE HUNG	2'-4"	5'-5"	144"	63"	"	"	"	ALUMINUM	WHITE	CLEAR
010	25SH	SINGLE HUNG	3'-2"	5'-5"	38"	63"	36.85	40.05	"	ALUMINUM	WHITE	CLEAR
011	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
012	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
013	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
014	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
015	FIXED	PICTURE	4'-6"	4'-4"	54"	51"	36.85	40.05	"	ALUMINUM	WHITE	CLEAR
016	H33SH	SINGLE HUNG	2'-4"	4'-4"	28"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
017	H33SH	SINGLE HUNG	2'-4"	3'-4"	28"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
018	(3) 25SH	SINGLE HUNG	3'-2"	5'-5"	116"	63"	33.89	37.09	"	ALUMINUM	WHITE	CLEAR
019	"	SINGLE HUNG	3'-2"	5'-5"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
020	"	SINGLE HUNG	3'-2"	5'-5"	-	-	-	-	"	ALUMINUM	WHITE	CLEAR
021	35SH	SINGLE HUNG	4'-6"	5'-5"	54"	63"	36.14	47.26	"	ALUMINUM	WHITE	CLEAR
022	35SH	SINGLE HUNG	4'-6"	5'-5"	54"	63"	36.14	47.26	"	ALUMINUM	WHITE	CLEAR
023	13SH	SINGLE HUNG	1'-10"	3'-4"	22"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
024	13SH	SINGLE HUNG	1'-10"	3'-4"	22"	39"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
025	24SH	SINGLE HUNG	3'-2"	4'-4"	38"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
026	FIXED	PICTURE	2'-4"	5'-0"	28"	60"	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
027	H33SH	SINGLE HUNG	2'-4"	3'-4"	28"	39"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
028	H34SH	SINGLE HUNG	3'-2"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
029	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR
030	H34SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	37.84	41.05	"	ALUMINUM	WHITE	CLEAR
031	24SH	SINGLE HUNG	3'-2"	4'-4"	38"	51"	37.84	50.67	"	ALUMINUM	WHITE	CLEAR

NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, CLEAR, NON-REFLECTIVE, LOW-UV & NON-INSULATED. ALL WINDOWS AND DOORS TO HAVE ALUMINUM FRAMES & TO BE OF WHITE COLOR.



revisions no.	date
(1) BLDG. DEPT. COMMENTS	08/14/2023
(2) BLDG. REQ'D. REV'S.	09/20/2023
(3) BLDG. REQ'D. REV'S.	11/30/2023
- HISTORICAL DEMO CDA	12/22/2023
- DEMO/FOUNDATION REV.	01/19/2024
- SITE FIRE PIT REV.	02/09/2024
- HISTORICAL DEMO CDA	03/22/2024

designed GTD/SMS
 drawn GTD
 checked SMS
 date 06/12/2023
 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

Shawn M. Stambaugh, PE
 FL. LIC. 61850 - CA. 26210

PUCCI RESIDENCE ADDITION
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



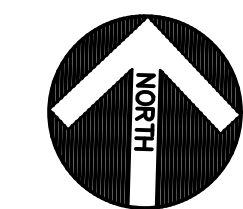
Structural Engineering
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drawing
FIRST FLOOR PLAN

sheet
A-1

of



revisions no.	date
(1) BLDG. DEPT. COMMENTS	08/14/2023
(2) BLDG. REQ'D. REV'S.	09/20/2023
(3) BLDG. REQ'D. REV'S.	11/30/2023
- HISTORICAL DEMO COA	12/22/2023
- DEMO/FOUNDATION REV.	01/19/2024
- SITE FIRE PIT REV.	02/09/2024
- HISTORICAL DEMO COA	03/22/2024

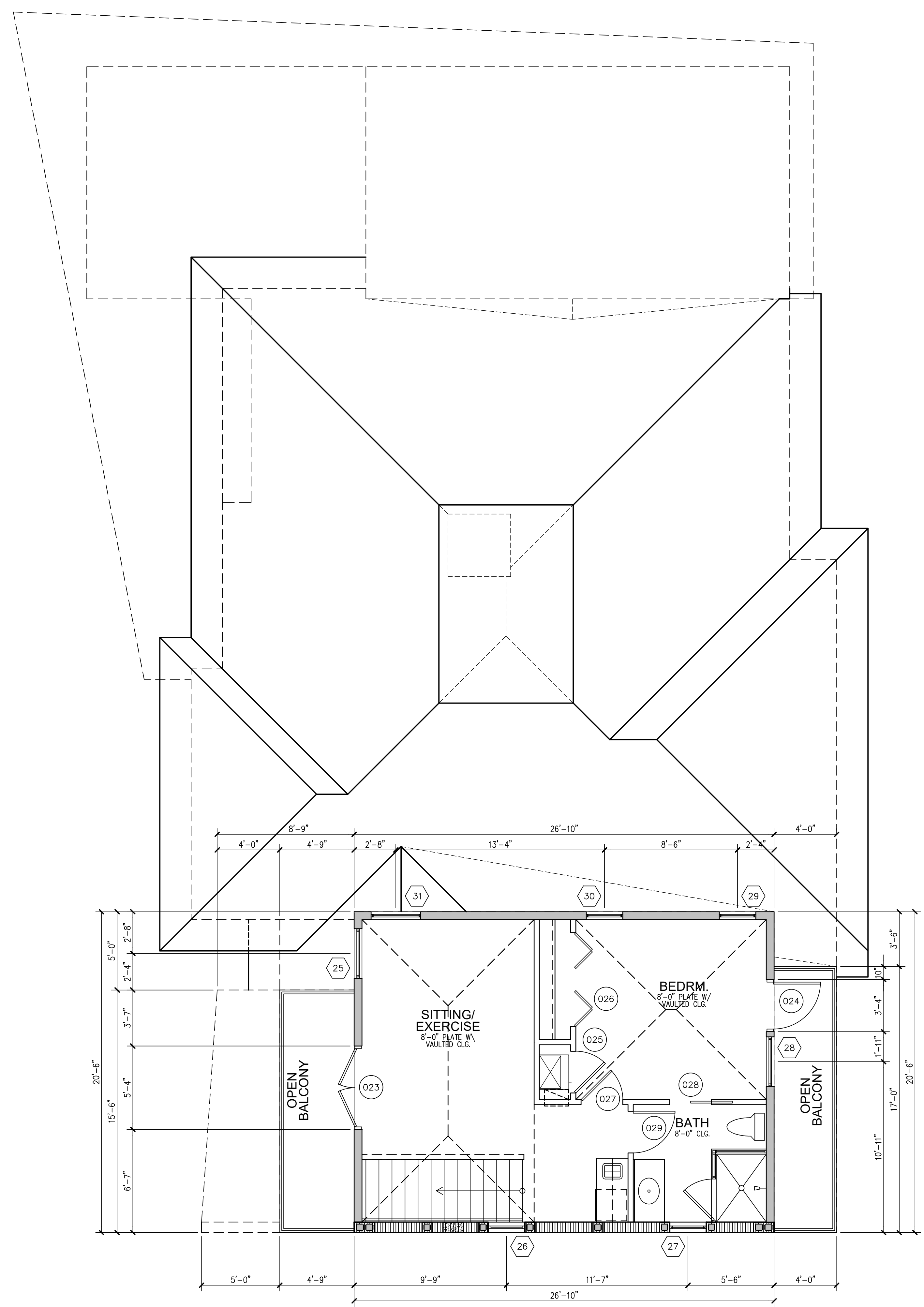
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 checked SMS
 date 06/12/2023
 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

Shawn M. Stambaugh, PE
 FL. LIC. 61850 - CA. 26210

DOOR SCHEDULE											
MARK	STYLE	DOOR		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
		WD	HGT	W	H	+	-				
001	OVERHEAD	10'-0"	8'-0"	120°	96°	32.73	40.44		-	-	-
002	SINGLE EXTERIOR	2'-8"	6'-8"	40°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
003	SINGLE EXTERIOR	3'-0"	6'-8"	40°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
004	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
005	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
006	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
007	SINGLE EXTERIOR	2'-8"	6'-8"	36°	82°	36.14	39.35	Sgl. Lite	ALUMINUM	WHITE	CLEAR
008	SINGLE	2'-8"	6'-8"	-	-	-	-	W/ clsr.	-	-	-
009	POCKET	2'-4"	6'-8"	-	-	-	-		-	-	-
010	BIFOLD	2'-8"	6'-8"	-	-	-	-	Louvered	-	-	-
011	SINGLE	2'-4"	6'-8"	-	-	-	-		-	-	-
012	DOUBLE	4'-0"	6'-8"	-	-	-	-		-	-	-
013	BIFOLD	2'-8"	6'-8"	-	-	-	-		-	-	-
014	SINGLE	2'-0"	8'-0"	-	-	-	-		-	-	-
015	SINGLE	2'-8"	8'-0"	-	-	-	-		-	-	-
016	BIFOLD	2'-8"	8'-0"	-	-	-	-		-	-	-
017	POCKET	2'-10"	8'-0"	-	-	-	-		-	-	-
018	POCKET	3'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
019	POCKET DOUBLE	4'-0"	6'-8"	-	-	-	-		-	-	-
020	POCKET	2'-8"	6'-8"	-	-	-	-	Barn style	-	-	-
021	POCKET	4'-0"	6'-8"	-	-	-	-	Barn style	-	-	-
022	POCKET	2'-6"	6'-8"	-	-	-	-		-	-	-
023	DOUBLE EXTERIOR	5'-0"	6'-8"	64°	82°	34.76	37.97	Sgl. Lite	ALUMINUM	WHITE	CLEAR
024	SINGLE EXTERIOR	3'-0"	6'-8"	40°	82°	36.14	47.26	Sgl. Lite	ALUMINUM	WHITE	CLEAR
025	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-
026	BIFOLD DOUBLE	6'-0"	6'-8"	-	-	-	-		-	-	-
027	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-
028	POCKET	2'-8"	6'-8"	-	-	-	-		-	-	-
029	SINGLE	2'-8"	6'-8"	-	-	-	-		-	-	-

WINDOW SCHEDULE												
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS COLOR
			W	H	W	H	+	-				
001	(2) 14SH	SINGLE HUNG	1'-10"	4'-4"	37°	51°	36.85	40.05	Modified	ALUMINUM	WHITE	CLEAR
002	"	SINGLE HUNG	1'-10"	4'-4"	-	-	"	"	"	ALUMINUM	WHITE	CLEAR
003	H34SH	SINGLE HUNG	2'-4"	4'-4"	94°	51°	38.35	35.14	Modified	ALUMINUM	WHITE	CLEAR
004	FIXED	PICTURE	3'-2"	4'-4"	94°	51°	"	"	"	ALUMINUM	WHITE	CLEAR
005	H34SH	SINGLE HUNG	2'-4"	4'-4"	94°	51°	"	"	Modified	ALUMINUM	WHITE	CLEAR
006	H35SH	SINGLE HUNG	2'-4"	5'-5"	144°	63°	33.24	36.45		ALUMINUM	WHITE	CLEAR
007	FIXED	PICTURE	3'-8"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
008	FIXED	PICTURE	3'-8"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
009	H35SH	SINGLE HUNG	2'-4"	5'-5"	144°	63°	"	"		ALUMINUM	WHITE	CLEAR
010	25SH	SINGLE HUNG	3'-2"	5'-5"	38°	63°	36.85	40.05		ALUMINUM	WHITE	CLEAR
011	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
012	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
013	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
014	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
015	FIXED	PICTURE	4'-6"	4'-4"	54°	51°	36.85	40.05		ALUMINUM	WHITE	CLEAR
016	H33SH	SINGLE HUNG	2'-4"	4'-4"	28°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
017	H33SH	SINGLE HUNG	2'-4"	3'-4"	28°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
018	(3) 25SH	SINGLE HUNG	3'-2"	5'-5"	116°	63°	33.89	37.09		ALUMINUM	WHITE	CLEAR
019	"	SINGLE HUNG	3'-2"	5'-5"	-	-	"	"		ALUMINUM	WHITE	CLEAR
020	"	SINGLE HUNG	3'-2"	5'-5"	-	-	"	"		ALUMINUM	WHITE	CLEAR
021	35SH	SINGLE HUNG	4'-6"	5'-5"	54°	63°	36.14	47.26		ALUMINUM	WHITE	CLEAR
022	35SH	SINGLE HUNG	4'-6"	5'-5"	54°	63°	36.14	47.26		ALUMINUM	WHITE	CLEAR
023	13SH	SINGLE HUNG	1'-10"	3'-4"	22°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
024	13SH	SINGLE HUNG	1'-10"	3'-4"	22°	39°	37.84	41.05		ALUMINUM	WHITE	CLEAR
025	24SH	SINGLE HUNG	3'-2"	4'-4"	38°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR
026	FIXED	PICTURE	2'-4"	5'-0"	28°	60°	37.84	41.05	Tempered	ALUMINUM	WHITE	CLEAR
027	H33SH	SINGLE HUNG	2'-4"	3'-4"	28°	39°	37.84	50.67		ALUMINUM	WHITE	CLEAR
028	H34SH	SINGLE HUNG	3'-2"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
029	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR
030	H34SH	SINGLE HUNG	2'-4"	4'-4"	28°	51°	37.84	41.05		ALUMINUM	WHITE	CLEAR
031	24SH	SINGLE HUNG	3'-2"	4'-4"	38°	51°	37.84	50.67		ALUMINUM	WHITE	CLEAR

NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, CLEAR, NON-REFLECTIVE, LOW-UV & NON-INSULATED. ALL WINDOWS AND DOORS TO HAVE ALUMINUM FRAMES & TO BE OF WHITE COLOR.



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 ADDITION
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 CITY OF DELRAY BEACH
 FLORIDA
 project



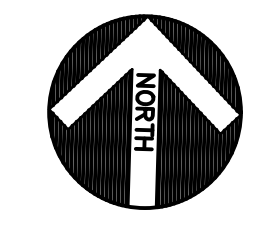
Structural Engineering
 Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
 GREENACRES, FL 33463
 561.202.6994
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drawing
 SECOND FLOOR PLAN

sheet
 A-2

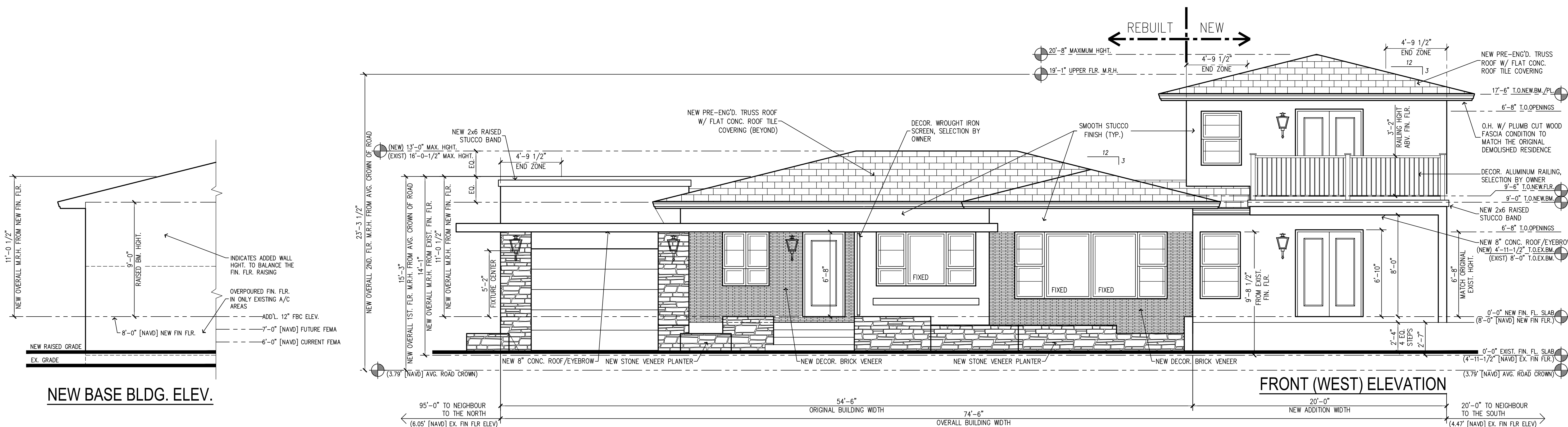
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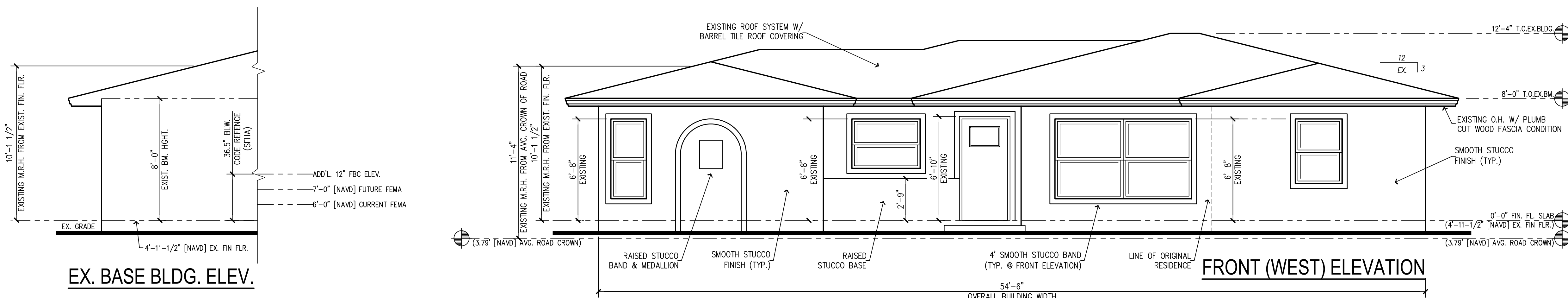
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(1) BLDG. DEPT. COMMENTS		08/14/2023
(2) BLDG. REQ'D. REV'S.		09/20/2023
(3) BLDG. REQ'D. REV'S.		11/30/2023
- HISTORICAL DEMO CDA		12/22/2023
- DEMO/FOUNDATION REV.		01/19/2024
- SITE FIRE PIT REV.		02/09/2024
- HISTORICAL DEMO CDA		03/22/2024

designed GTD/SMS
 drawn GTD
 checked SMS
 date 06/12/2023
 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

Shawn M. Stambaugh, PE
FL. LIC. 61850 - CA. 26210



NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

PUCCI RESIDENCE
ADDITION
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



Structural Engineering
Cost Segregation

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GREENACRES, FL 33463
561.202.6994
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drawing
FRONT ELEVATIONS

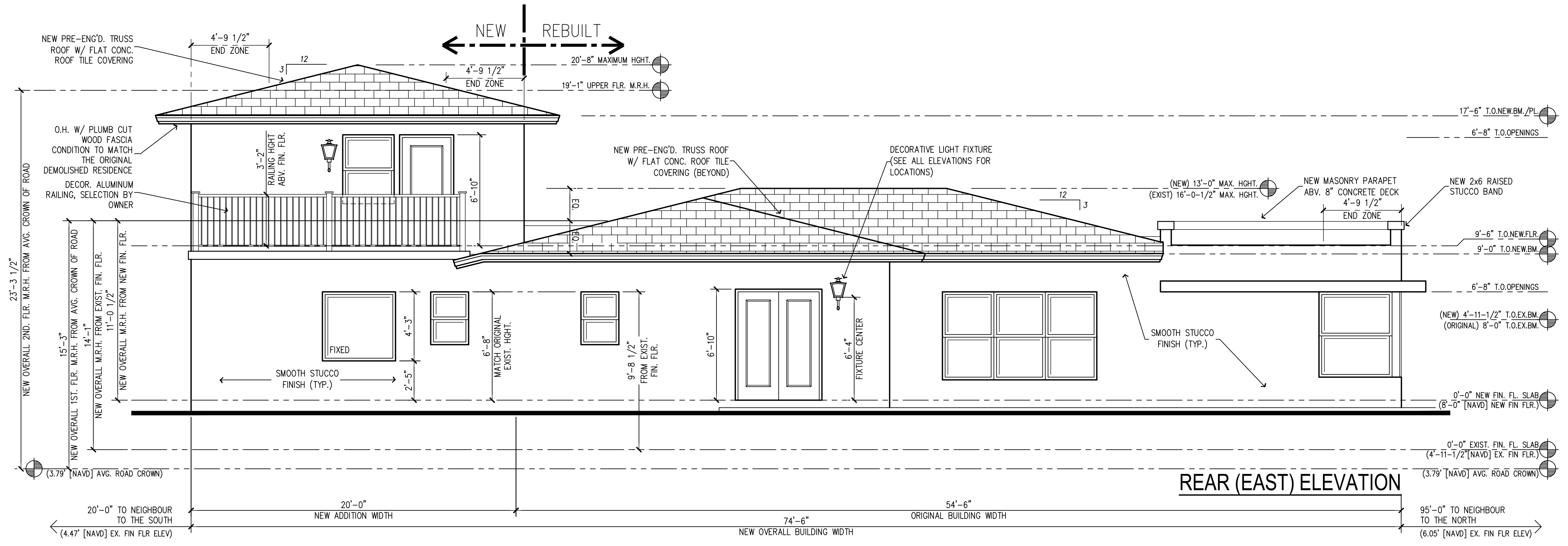
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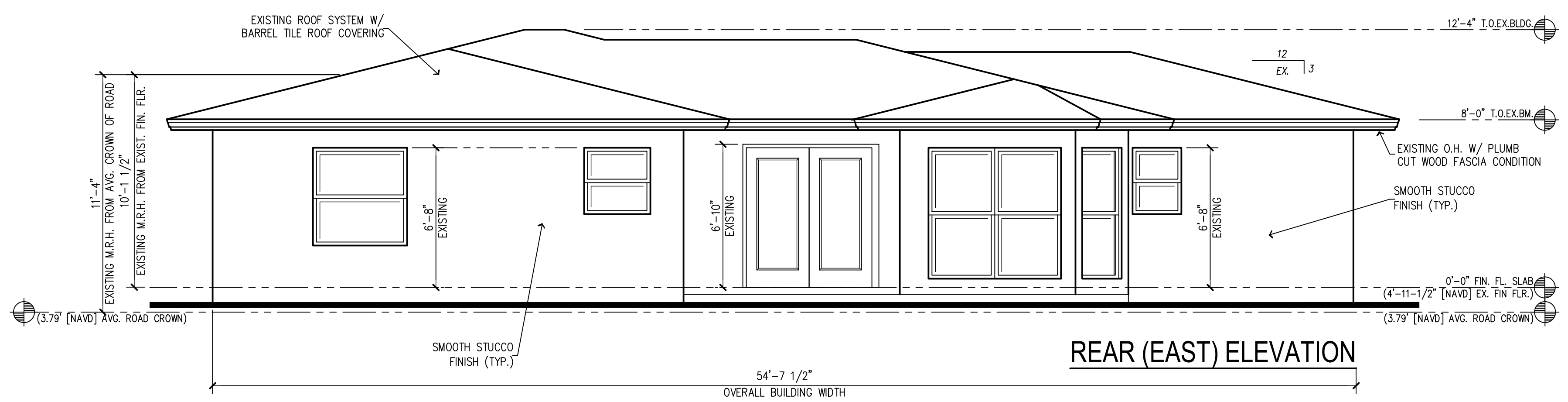
revisions	no.	date
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NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

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 CITY OF DELRAY BEACH
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 project



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drawing
 REAR
 ELEVATIONS

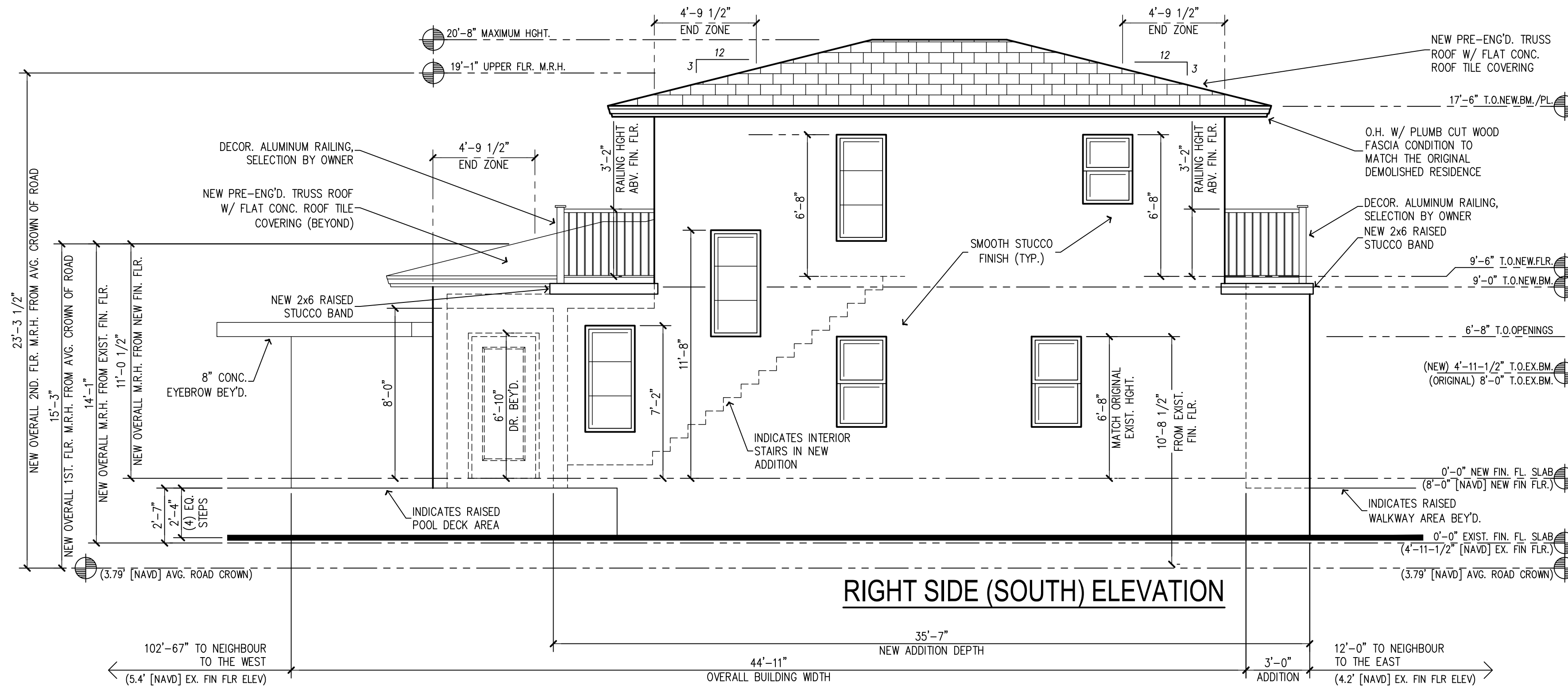
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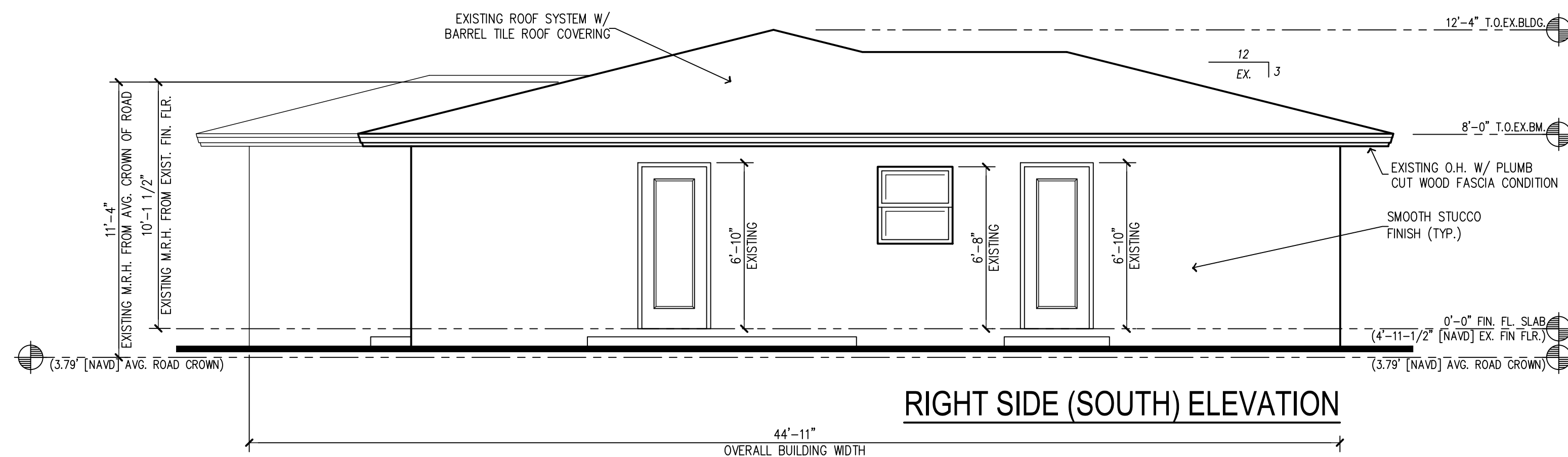
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designed GTD/SMS
 drawn GTD
 checked SMS
 date 06/12/2023
 scale 1/4" = 1'-0"
 job no. 23-1105.ARC

Shawn M. Stambaugh, PE
FL. LIC. 61850 - CA. 26210



NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

PUCCI RESIDENCE
 ADDITION
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



Structural Engineering
 Cost Segregation

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drawing
 RIGHT SIDE
 ELEVATIONS

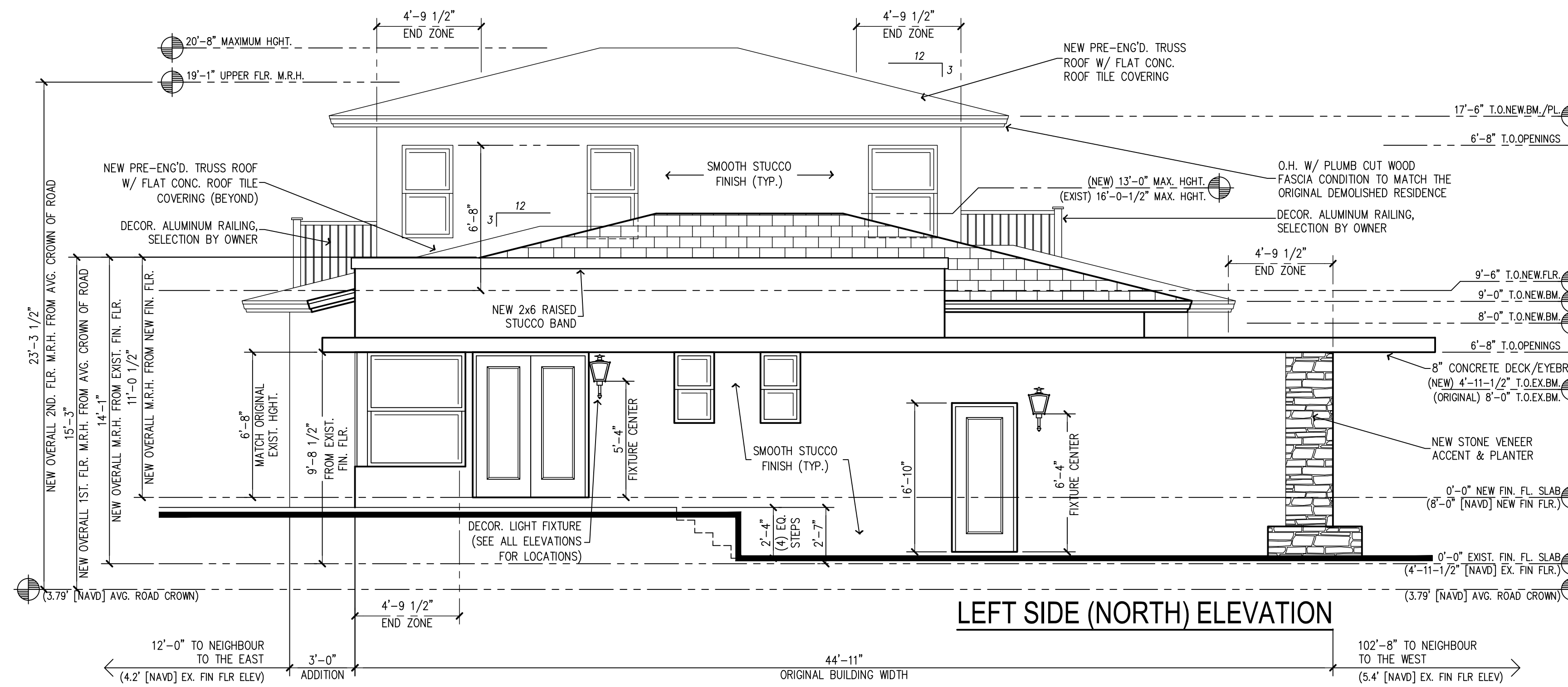
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of

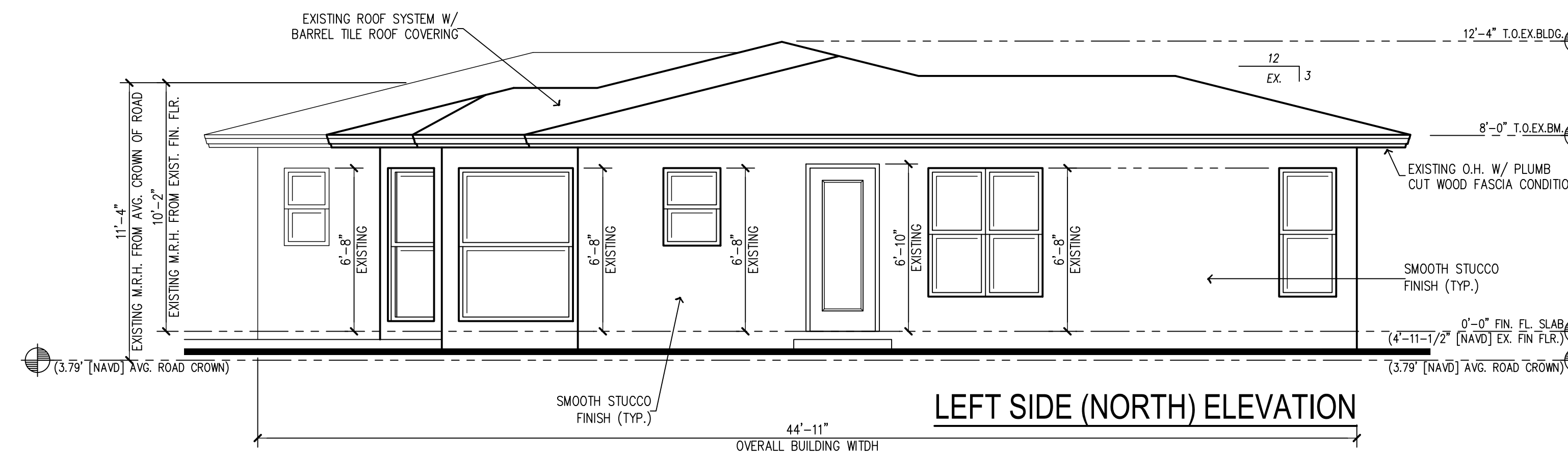
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NEW CONSTRUCTED ELEVATION



OLD EXISTING ELEVATION - PRE DEMO

**PUCCI RESIDENCE
ADDITION**
 303 S.E. 7th AVENUE
 CITY OF DELRAY BEACH
 FLORIDA
 project



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drawing
**LEFT SIDE
ELEVATIONS**

sheet
A-6

of

SITE DATA: CITY OF DELRAY BEACH BLDG.
DEPT.
ZONING: R-1-AA
MARINA HISTORIC DISTRICT

FRONT SETBACK: 30'-0"
REAR SETBACK: 10'-0"
SIDE STREET SETBACK: 15'-0"
SIDE SETBACK: 10'-0"

- ALLOWED LOT COVERAGE: N/A
ACTUAL: LOT COVERAGE / LOT AREA
2,971 SF / 7,794 SF = 38.12%

MAXIMUM HGHT.: 35 FEET

MAXIMUM PARKING: 3 VEHICLES, INCL. 1 VEHICLE INSIDE THE GARAGE

RENOV./ADDITION DATA:

EXISTING TOTAL RESID.: 1,876 SF.
NEW TOTAL RESID.: 3,724 SF.
LOT SIZE: 7,794 SF.

FLOOD ZONE DATA:

CURRENT FLOOD ZONE AE (EL. 7'-0")
FUTURE FLOOD ZONE AE (EL. 8'-0")

EXISTING AREA	
A/C FIRST FLOOR	1,848 S.F.
COV'D. ENTRY	28 S.F.
OPEN TERRACE	362 S.F.
TOTAL SQUARE FEET	2,238 S.F.

NEW AREA CALCS.	
A/C FIRST FLOOR	2,606 S.F.
A/C SECOND FLOOR	509 S.F.
TOTAL SQUARE FEET	3,115 S.F.
ONE CAR GARAGE	285 S.F.
COV'D. ENTRY	140 S.F.
COV'D. PATIO	46 S.F.
WEST OPEN BALCONY	70 S.F.
EAST OPEN BALCONY	68 S.F.
TOTAL SQUARE FEET	3,724 S.F.

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PUCCI RESIDENCE ADDITION
303 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
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drawing
OVERALL SITE PLAN
1" = 10'-0"

sheet
AS-1

of

CITY OF DELRAY BEACH DEVELOPMENT SERVICES DEPARTMENT
SUPPLEMENTAL FORMS

PROJECT DATA

The following information must be provided in the spaces below and must be shown on the Site Plan.

	REQUIRED/PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	30 FT	28 FT 7 INCHES	23 FT. 7 IN. (EX.) + 35 FT 10 IN. (NEW)
SIDE INTERIOR SETBACK	10 FT (SOUTH)	29 FT 11 INCHES (SOUTH)	10 FT (SOUTH)
SIDE STREET SETBACK	15 FT (NORTH)	15 FT 3 INCHES (NORTH)	15 FT 3 INCHES (NORTH)
REAR SETBACK	10 FT	9 FT 7 INCHES	6 FT 7 INCHES (W/ SFT VARIANCE)
HEIGHT/FLOORS	MAX. 35 FT.	11 FT 4 INCHES (1ST FLR.) FROM A.C.R.	15 FT 3 INCHES (1ST FLR.) FROM A.C.R. 23 FT 3.5 INCHES (2ND FLR.) FROM A.C.R.
WIDTH OF SITE	75 LF - 95 LF	100 LF	100 LF
DEPTH OF SITE	100 LF	83 FT 1 INCH	78 FT 1 IN (D.R.O.W.)
FRONTAGE	75 LF - 95 LF	100 LF	100 LF
TOTAL SITE AREA	9,500 SF	8,294 SF	7,794 SF (D.R.O.W.)
PERVIOUS/IMPERVIOUS AREA	N/A	2,238 SF / 6,056 SF	2,978 SF / 4,816 SF
OPEN SPACE (LANDSCAPED)	MIN. 25 %	3,522 SF (42.5%)	3,054 SF (39.2%)
WATER BODIES	MIN. 10 FT. SETBACK	11 FT. (SIDE) 22 FT 7 IN. (FRONT)	10 FT (SIDE) 10 FT 1-1/2 IN. (FRONT)
GROUND FLOOR AREA	1,500 SF	1,876 SF	3,039 SF
TOTAL FLOOR AREA	N/A	1,876 SF	3,724 SF
LOT COVERAGE	N/A	22.6%	38.12%
FLOOR AREA RATIO	N/A	N/A	N/A
NUMBER OF DWELLING UNITS	1	1	1
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A

DWELLING UNITS			
	NUMBER OF UNITS	A/C SQ. FT.	TOTAL SQ. FT.
EFFICIENCY			
1 BEDROOM			
2 BEDROOM			
3 BEDROOM			
4 BEDROOM	1	3,106 SF	3,724 SF

PARKING SPACES REQUIRED				
USE	CALCULATED AT #SPACES PER	REQUIRED	EXISTING	PROPOSED
RESIDENTIAL	BEDRM.	(1) PER ROOM	2	3 INCL. GARAGE
REGULAR SPACES				
COMPACT SPACES (30% max. of required may be compact)				
HANDICAPPED SPACES				
TOTALS				

Number of bike racks required: _____ Number of bike racks proposed: _____

Projects within the Central Business District (CBD) - LDR Section 4.4.13 **Site not located in the CBD**

Subdistrict: Central Core West Atlantic Neighborhood Railroad Corridor Beach

Street Designation: Primary Street Secondary Street Both

Limited Height Area: Atlantic Avenue West Atlantic Neighborhood N/A

Required Retail Frontage: Yes No Proposed Architectural Style: _____

Building Frontage %: _____ Proposed Frontage Type: _____

Proposed Building Composition: _____ Green Building Practices Required: Yes No

Civic Open Space Type: _____ Civic Open Space Size: _____

Provide a separate narrative addressing the appropriateness of the proposed design.

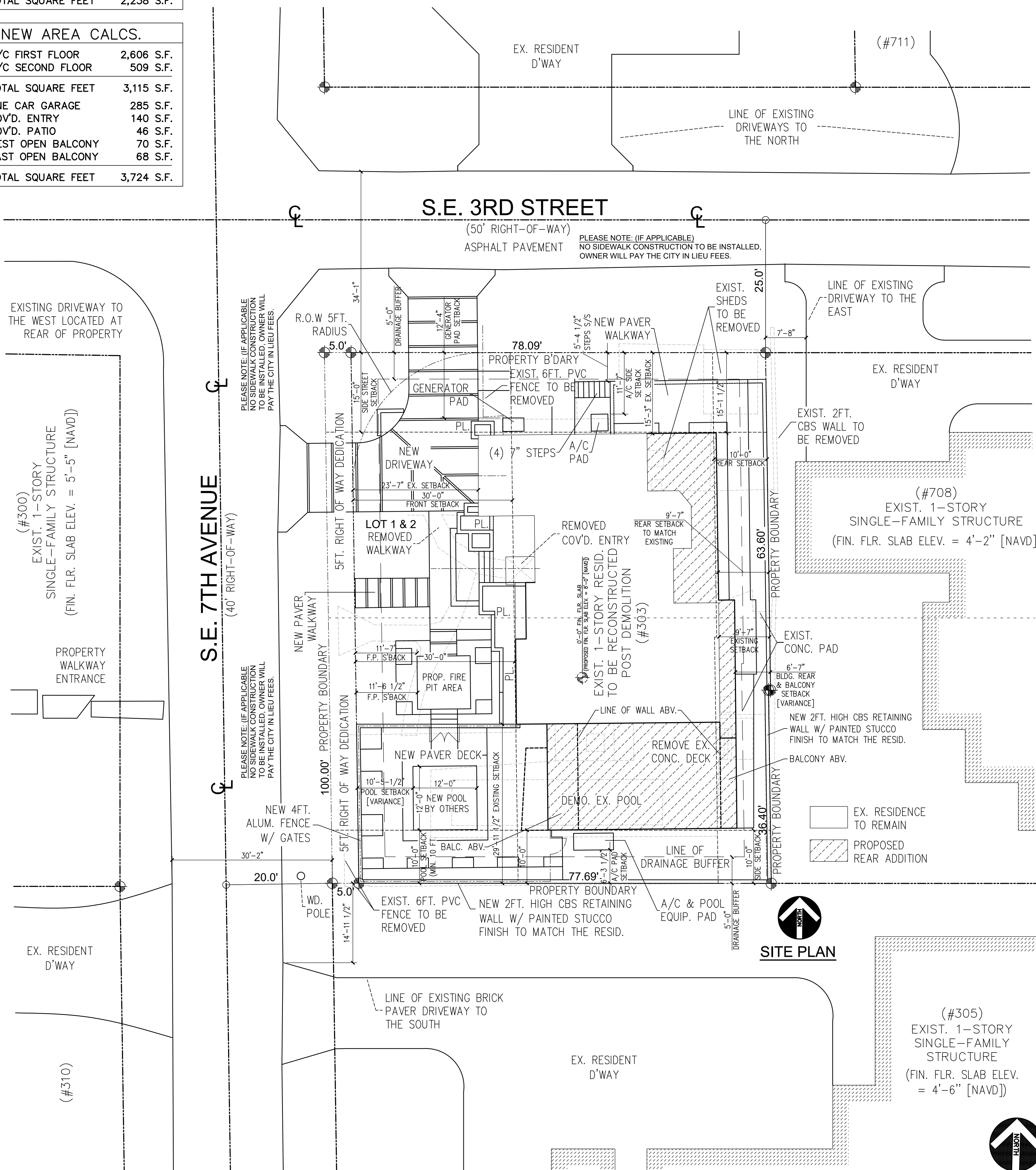
EXISTING DRIVEWAY TO THE WEST LOCATED AT REAR OF PROPERTY

(#300)
EXIST. 1-STORY SINGLE-FAMILY STRUCTURE (FIN. FLR. SLAB ELEV. = 5'-5" [NAVD])

PROPERTY WALKWAY ENTRANCE

EX. RESIDENT D'WAY

(#310)



SITE PLAN

(#305)
EXIST. 1-STORY SINGLE-FAMILY STRUCTURE (FIN. FLR. SLAB ELEV. = 4'-6" [NAVD])

PROPOSED DEMOLITION

PRESENT HOUSE 1848 sf (100%)

CBS/Framed Walls & Roof removed 1848 sf (100%)

Note: Masonry walls indicated on the demolition plan to remain along with the whole original slab and footings

PROPOSED NEW RESIDENCE

Square Footage reduction of post demolition residence
106 sf / 1848 sf = 5.74%

OWNER/CONTRACTOR NOTE:
PER FBCE-105.9 ASBESTOS.
THE ENFORCING AGENCY SHALL REQUIRE EACH BUILDING PERMIT FOR THE DEMOLITION OR RENOVATION OF AN EXISTING STRUCTURE TO CONTAIN AN ASBESTOS NOTIFICATION STATEMENT WHICH INDICATES THE OWNER'S OR OPERATOR'S RESPONSIBILITY TO COMPLY WITH THE PROVISIONS OF SECTION 469.003, FLORIDA STATUTES, AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF HIS OR HER INTENTIONS TO REMOVE ASBESTOS, WHEN APPLICABLE, IN ACCORDANCE WITH STATE AND FEDERAL LAW.

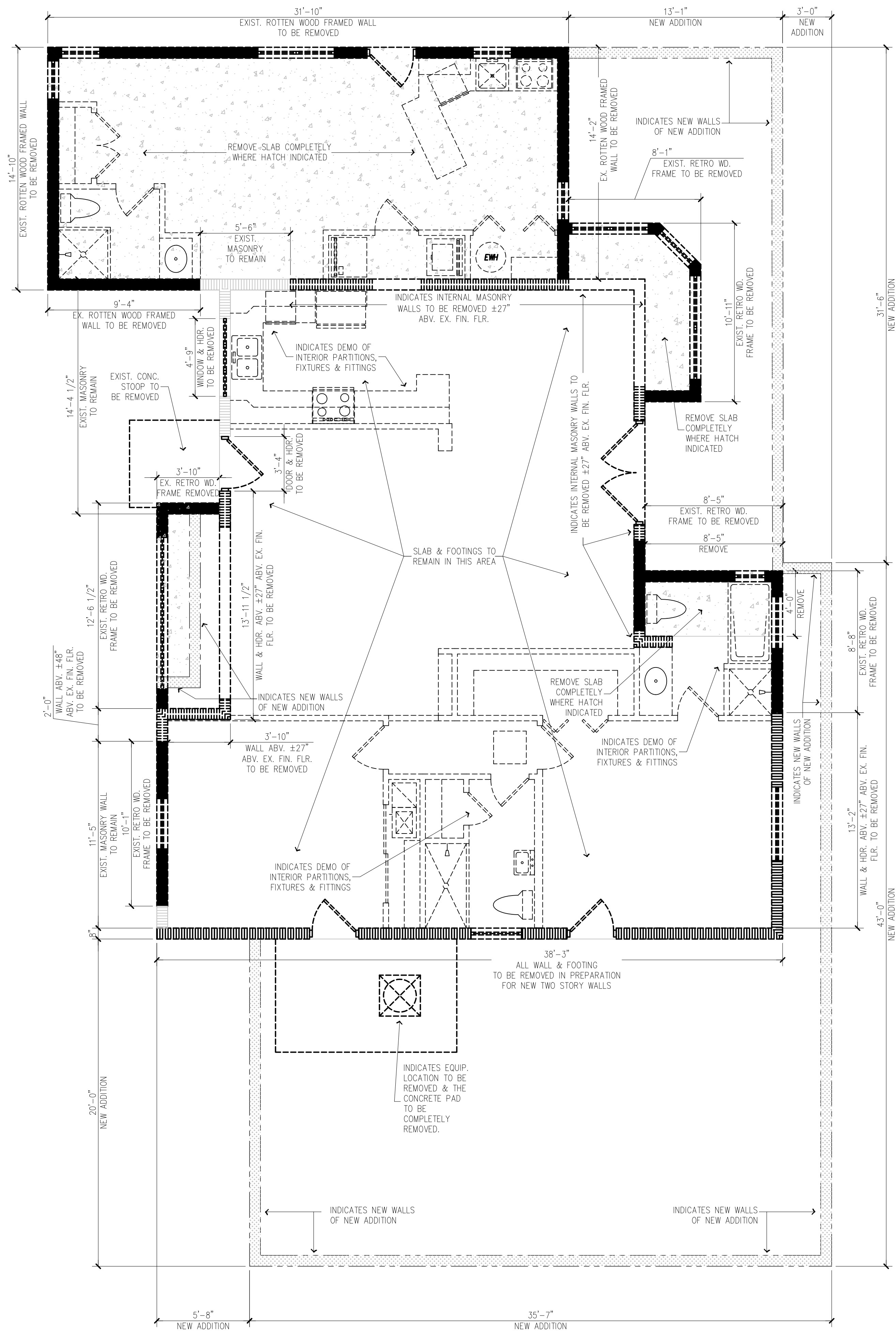
DEMOLITION GENERAL NOTES

1. THE EXTENT OF THE DEMOLITION WORK IS SHOWN ON THE DEMOLITION DRAWING AND REFERRED TO IN ALL DRAWINGS. DEMOLITION INCLUDES THE COMPLETE REMOVAL OF PORTIONS OF THE BUILDING AS INDICATED, AND ALL MISCELLANEOUS DAMAGED PORTIONS OF THE BUILDING AS REQUIRED TO MEET SPECIFICATIONS AND DRAWING REQUIREMENTS. EXISTING PLUMBING AND ELECTRICAL LINES TO BE REMOVED OR CONCEALED BY LICENSED PROFESSIONAL.
2. REMOVE ALL DEMOLITION MATERIALS AND DEBRIS FROM THE CONSTRUCTION SITE.
3. ALL EXISTING EXPOSED SURFACES THAT ARE TO REMAIN IN PLACE THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS REQUIRED TO MATCH EXISTING UNDAMAGED SURFACES.
4. ARRANGE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF SERVICES AND REMOVAL OF FITTINGS & FIXTURES BEFORE STARTING DEMOLITION WORK.
5. PROTECT PARTS OF THE EXISTING WORK SCHEDULED TO REMAIN. CUT AWAY CAREFULLY THE PARTS TO BE DEMOLISHED TO REDUCE THE AMOUNT OF NECESSARY REPAIRS.
6. SECURE OWNER'S EXISTING PROPERTY TO BE SALVAGED, COORDINATE THOSE ITEMS WITH THE OWNER.
7. SHORE, BRACE AND SECURE STRUCTURAL ITEMS TO REMAIN BEFORE DEMOLITION.
8. REMOVE ANY AND ALL NECESSARY EXISTING CONCRETE SLABS TO ACCOMMODATE NEW PLUMBING LINES, COLUMNS, FOUNDATIONS & OTHER STRUCTURAL ITEMS IN COORDINATION WITH THESE DRAWINGS.

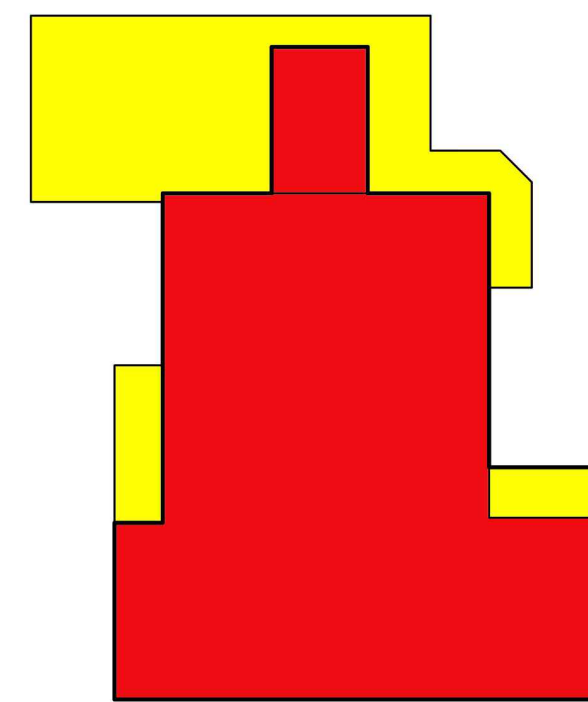
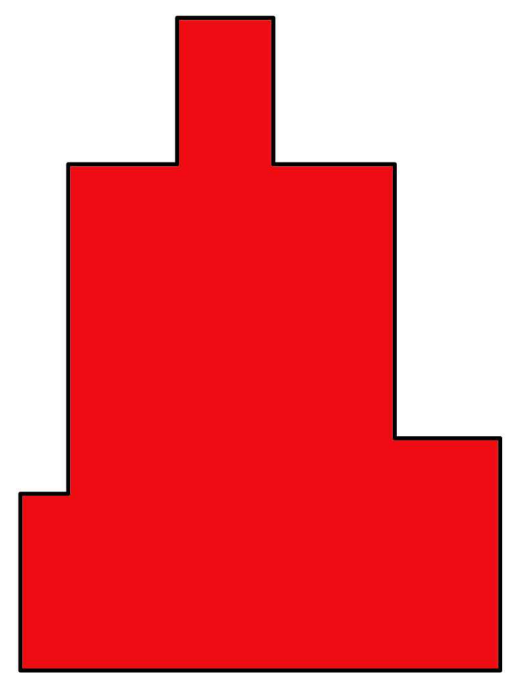
BEAM NOTE:
EXIST. CONCRETE TIE-BEAM TO REMAIN (UNLESS INDICATED OTHERWISE). CONTRACTOR TO NOTIFY ENGINEER OF RECORD OF DISCREPANCIES.

NOTE: ALL EXISTING PLUMBING (SUPPLY & SANITARY), HVAC & ELECTRICAL TO BE EITHER REMOVED COMPLETELY OR RESPONSIBLY ABANDONED IN AREAS THAT REMAIN.

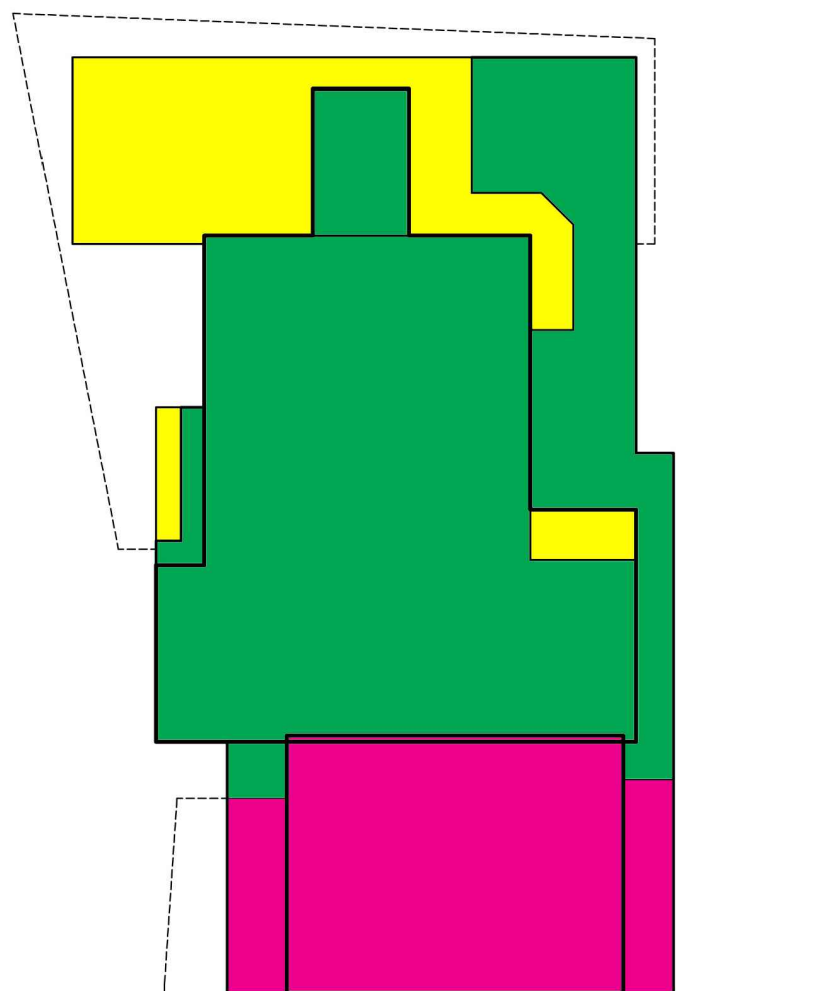
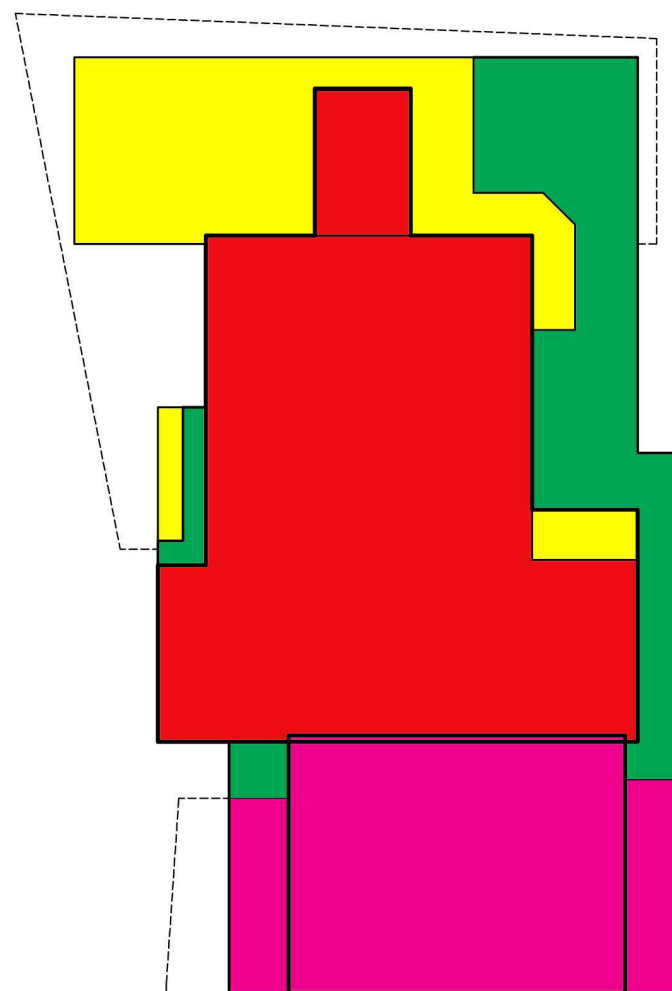
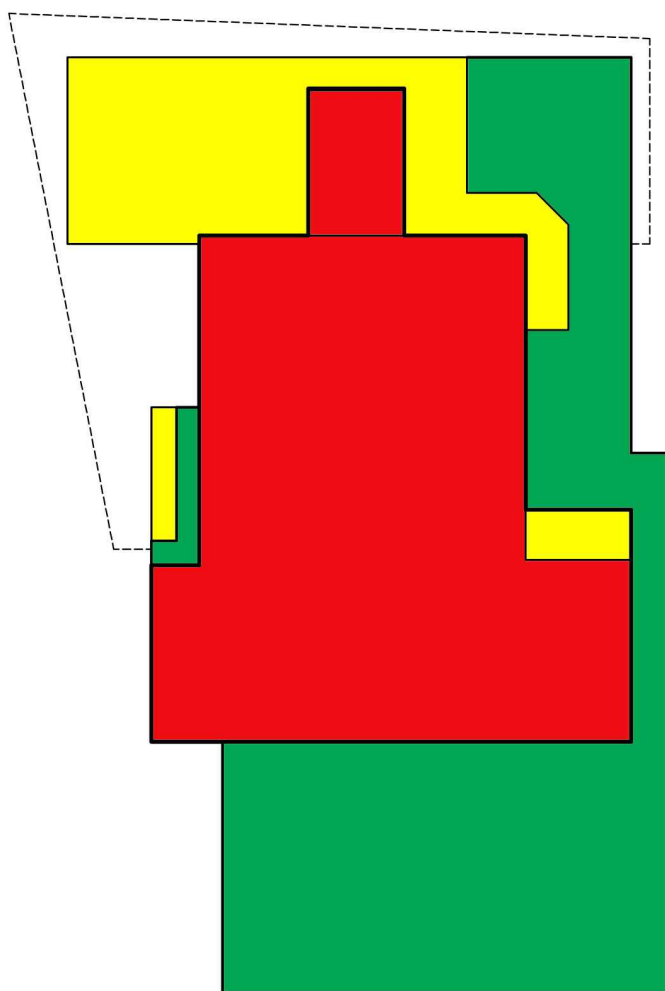
CONTRACTOR NOTE:
PROVIDE SHORING, BRACING AND SECURING FOR ALL STRUCTURAL ITEMS REQUIRED TO REMAIN BEFORE DEMOLITION.



- ORIGINAL FOOT PRINT
- WOOD FRAME ADDITIONS
- NEW 1ST FLR. ADDITION
- NEW 2ND FLR. ADDITION



COLOR OVERLAY DIAGRAM OF PROGRESSION



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Shawn M. Stambaugh, PE
FL. LIC. 61850 - CA. 26210

PUCCI RESIDENCE ADDITION
303 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project



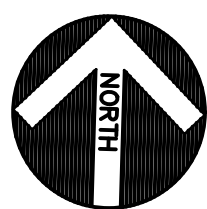
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drawing
PROPOSED DEMOLITION PLAN

sheet
D-2

of

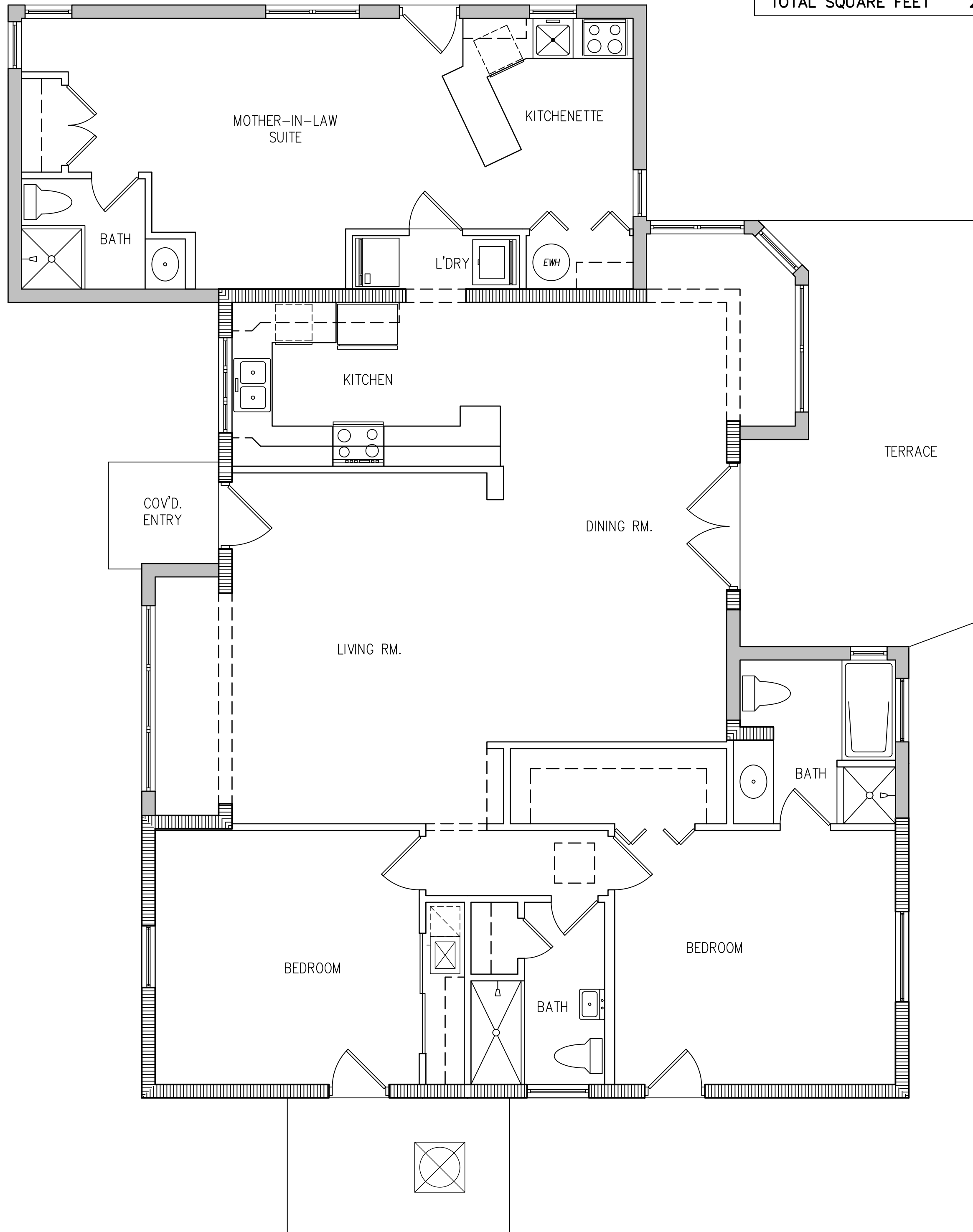


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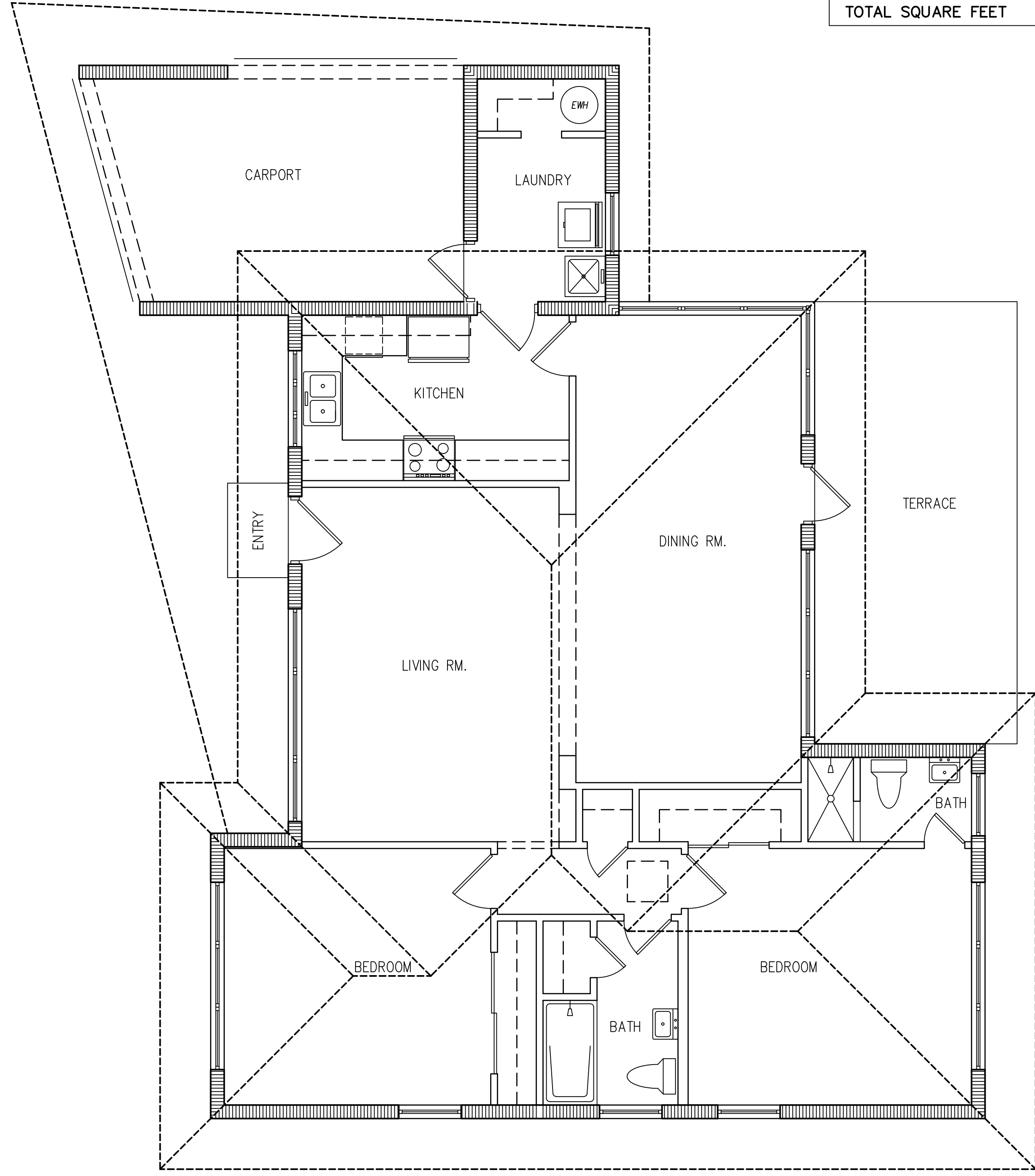
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COV'D. ENTRY	28 S.F.
OPEN TERRACE	362 S.F.
TOTAL SQUARE FEET	2,238 S.F.

ORIGINAL AREA	
A/C FIRST FLOOR	1,348 S.F.
CARPORT	210 S.F.
ENTRY	14 S.F.
OPEN TERRACE	218 S.F.
TOTAL SQUARE FEET	1,790 S.F.



EXISTING HOUSE - PRE DEMOLITION



ORIGINAL HOUSE - 1950'S

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FL. LIC. 61850 - CA. 26210

**PUCCI RESIDENCE
 ADDITION**
 303 S.E. 7th AVENUE
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drawing
**EXISTING
 FLOOR PLANS**

sheet
EX-1

of

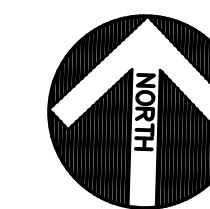
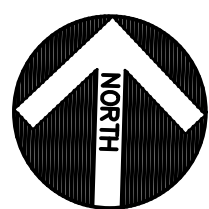




PHOTO REALISTIC RENDERING



TWO DIMENSIONAL COLOR ELEVATION

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QEA
 QUANTUM ENGINEERING ASSOCIATES INC.

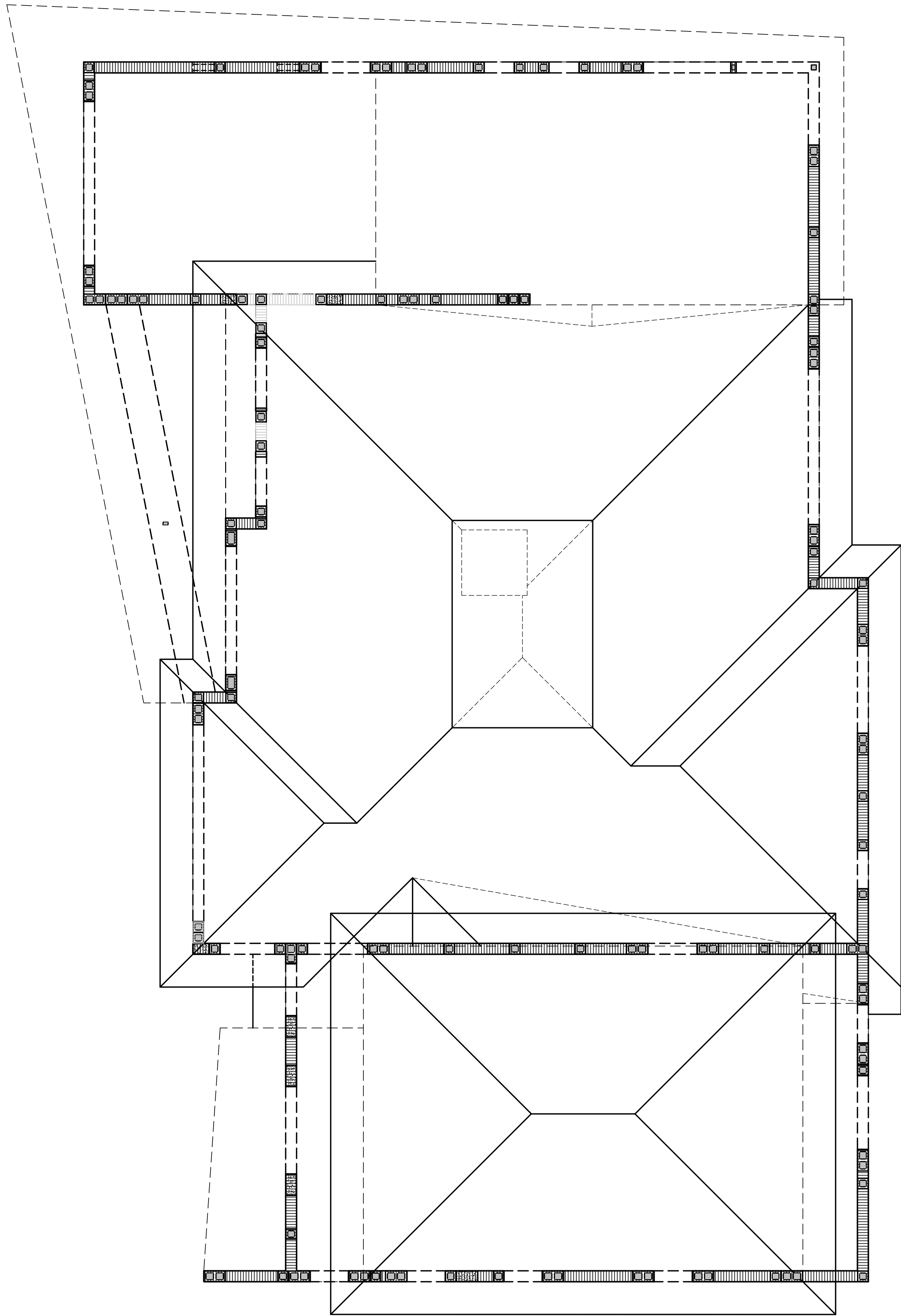
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 RENDERED
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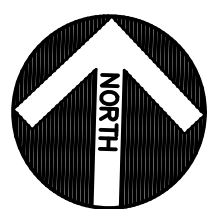
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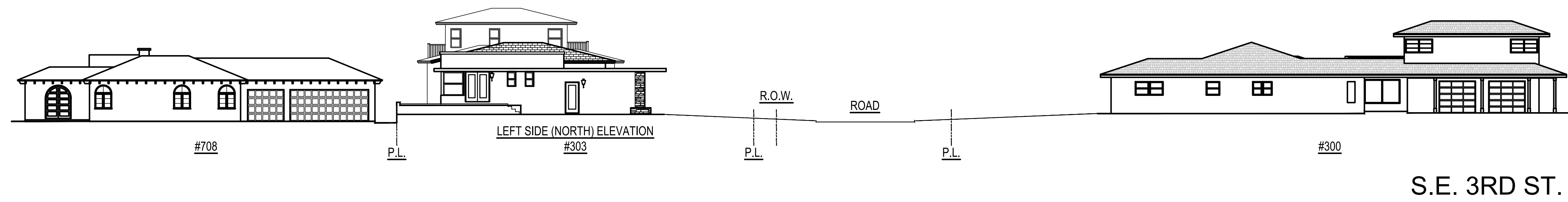
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**FLOOR &
 LOWER ROOF
 FRAMING
 PLAN**
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S-2
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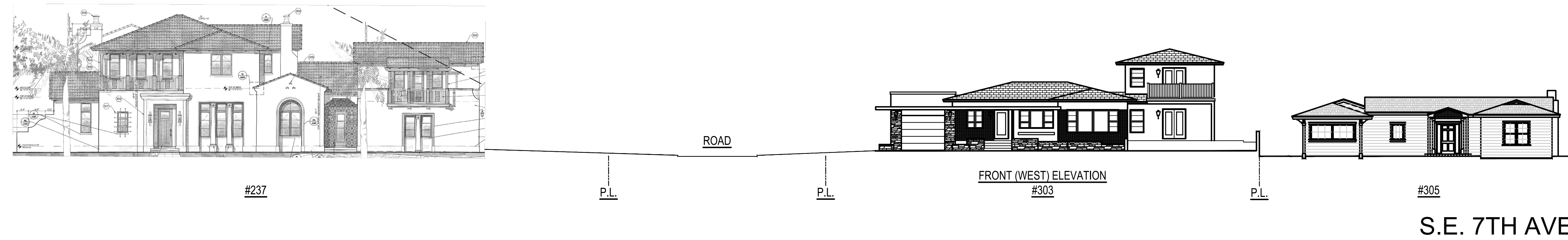


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drawing
**STREETSCAPE
 ELEVATIONS**
 SCALE: 1/16" = 1'-0"

sheet

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of