



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Lynn Townhomes

Project Location: 712 NE 8th Avenue

Request: Class V Site Plan Modification

PCN: 12-43-46-09-32-000-0230

Board: Site Plan Review and Appearance Board

Meeting Date: July 27, 2022

Board Action: 6 – 0 (Dana Post Adler absent)

Brief Description: Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 3-unit townhome development to be known as Lynn Townhomes and located at 712 NE 8th Avenue.

Board Action:

Approved (6-0 Dana Post Adler absent)

Project Description:

Class V Site Plan is associated with the construction of three, attached two-story single-family dwelling units in a townhome style, with garages (to provide required parking), individual swimming pools, and associated landscaping throughout the site. Access will be taken for two of the units from NE 7th Court and one unit will be accessed from NE 8th Avenue.

The Class V was before the SPRAB Board on March 2022 and was tabled as the Board has concerns with location of the sidewalk and street trees, the chain link fence at the rear of the property and the Visual appeal of units.

The applicant returned to the Board on April 27, 2022, and a continuance was requested again as the Board still had concerns with the lack of visual appeal due to the blank walls on the north and west elevations and the use of the accent color grey.

The applicant added additional windows on the north and west elevations to add more visual appeal and light to the units and the Board approved the project 6-0 at the July 27th meeting.

Board Comments:

N/A

Public Comments:

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

LYNN TOWNHOMES

Meeting	File No.	Application Type
July 27, 2022	2021-195-SPF-SPR-CL5	Class V Site Plan Modification
Property Owner	Applicant	Agent
Joseph Lynn	Eric Collin	Jared Collin

Request

Consideration of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 3-unit townhome development to be known as Lynn Townhomes and located at 712 NE 8th Avenue.

General Data

Location: 712 NE 8th Avenue

PCN: 12-43-46-09-32-000-0230

Property Size: 0.33 Acres

Land Use Designation: Medium Density (MD)

Zoning District: Medium Density Residential (RM)

Adjacent Zoning:

- **North:** GC (General Commercial)
- **East:** CF (Community Facilities)
- **South:** RM
- **West:** RM

Existing Land Use: Multi-family Residential (4 units)

Proposed Land Use: Multi-Family Residential (3 Townhouses)

Dwelling Units Per Acre:

Allowed (maximum): 3 units @ 12 du/ac

Proposed: 3 units



Background

The subject property, which consists of Lots 23, 24 and 25 of the McGinley and Gosman's Subdivision, is located on the southwest corner of NE 7th Court and NE 8th Avenue. The existing four units on the property consist of a single-family house and three individual units; a detached garage is also located on the property. The Palm Beach County Property Appraiser's Website notes a construction date of 1951.

At its meeting of October 5, 2021, the City Commission approved a five foot right of way dedication along NE 8th Avenue as the ultimate right-of-way is 50 feet per Table MBL-1 of the Always Delray Comprehensive Plan. The current survey indicates that there is only 20 feet of right-of-way provided on the development side, thus requiring the five-foot dedication.

Project Planner:

Jennifer Buce, Planner
buce@mydelraybeach.com
561.243.7138

Attachments:

- Application Justification Statement
- Site Plan
- Landscape Plan
- Architectural Elevations

Update

On April 27, 2022, the Site Plan Review and Appearance Board (SPRAB) considered the subject request and voted (7-0) to continue the request with direction based on the Board's discussion. Concerns were expressed regarding the lack of visual appeal due to the blank walls on the north and west elevations, the lack of natural light and the use of the accent color of Grey. The additional concerns of the location of the sidewalk, the street trees and the chain link fence in the rear were addressed from the March 23, 2022, SPRAB meeting.

The concerns raised during the March SPRAB meeting included the design of the sidewalk and location of the street trees; the proposed chain link fence in the rear of the property; and, the visual appeal of the middle unit and the accessibility. The applicant did not make any changes for the April meeting; rather, a statement justifying the original submittal was provided.

REVISIONS

The applicant has provided minor architectural elevation changes which include additional window openings on the north elevation and west elevation. The color palette, which remains with the walls in Smooth Stucco in Olympus White, the accent color in Earl Grey, and the railings in Green Black, has not been revised. The applicant indicated that additional colors were considered but the original color scheme was determined to be the most appealing for the architectural style.

The proposed additional window openings continue to add similar elements throughout the units to help unify the building and provide visual consistency throughout the design.

The proposed style of architecture most closely relates to the Masonry Modern style. The Delray Beach CBD Architectural Design Guidelines defines the Masonry Modern style as expressing a *"rational load bearing construction technique"* through *"a system of punched openings (vs. large expansive walls of windows) and its limited ornament."* The Masonry Modern color palette is comprised of whites and creams, with sea greens and blue highlighting details. Darker hues may highlight the base of the building or emphasize the deeper recesses of the porches. Shading devices including louvers, cantilevered eyebrows, and vertical sunshades are elements of the architecture.

The design contains many elements of the Masonry Modern style of architecture with the flat roof, single and double transom windows, punched openings, and cantilevered eyebrows, as well as the color palette of white stucco with darker grays to accent certain elements, such as the garage door and upper-story balconies.

Staff Notes Regarding the Board's Concerns: The following was provided to the Board following the concerns expressed at the March 2022 meeting.

Sidewalk and Street Trees: The location of street trees is required pursuant to LDR Section 4.6.16(H)(6); Street trees for new residential developments. One street tree shall be required for every 40 linear feet of street frontage with a minimum of one tree per



April 27, 2022



Proposed July 27, 2022

property. Street trees shall be located between the inside edge of sidewalk and edge of road pavement. Street trees is defined as trees or palms on land lying within public rights-of-way or easement(s). Within sub-divisions, street trees may be planted on private property abutting the street, if utilities or easements restrict placement in the right-of-way. A street tree planting plan is required with all residential subdivision plats. The Senior Landscape Planner and the City Engineer designed the sidewalk in the curving manner to meet LDR Section 4.6.16(H)(6). The sidewalk could not be placed to the edge of road pavement as it would conflict with the city swale and drainage requirements.

Chain Link Fence: The six-foot chain-link fence, which will only be visible to the homeowners, is proposed in the rear of the property is screened by an existing 16- to 18-foot bamboo planting, Silver Buttonwood trees and Podocarpus hedge. The LDR requires that chain link fences either be screened or coated when located in the front or street side yard.

Visual Appeal: The proposed architectural design is consistent throughout the project with modern details commonly found in new construction. The design includes similar elements between the units to not only unify the building but provide visual consistency throughout the design including the window portions, boxed balcony, and awning overhangs above the garages and sliding doors.

Middle Unit Accessibility: The five-foot access easement in the rear of the property is required for the middle unit to provide for maintenance of the pool, landscaping, and utilities from the adjacent lots.

Description of Proposal

The proposed Class V Site Plan is associated with the construction of three, attached two-story single-family dwelling units in a townhome style, with garages (to provide required parking), individual swimming pools, and associated landscaping throughout the site. Access will be taken for two of the units from NE 7th Court and one unit will be accessed from NE 8th Avenue.

Review and Analysis

Pursuant to **LDR Section 4.4.6(B)(3)**, multiple family structures are an allowed use in the RM zoning district; the base density is six dwelling units per acre and the maximum density is 12 dwelling units per acre.

Pursuant to **LDR Section 4.4.6(E)(2)**; new multiple family uses, and structures must be approved by the Site Plan Review and Appearance Board pursuant to the provisions of Section 2.4.5(F), 2.4.5(H), and (I), unless the property is located within a designated historic district or is individually designated.

Base District Requirements:

The following matrix compares the project design to the minimum and maximum development standards for the RM zoning district set forth in LDR Section 4.3.4 (K).

	Required / Allowed	Provided
Lot Area (Min.)	8,000 SF	14,000 SF (0.33 acres)
Lot Width (Min.)	60 feet	140 feet
Lot Depth (Min.)	100 feet	100 feet
Lot Frontage (Min.)	60 feet	100 feet
Minimum Floor Area		
3-Bedroom Units (3 units)	1,250 SF	2,990-3,360 SF. (min.)
Maximum Lot Coverage	40%	36%
Open Space (Min.)	25%	30%
Height (Max.)	35 feet	24 feet 6 inches
Setbacks (Min.):		
Front/ East	25 feet	25 feet
Street Side / North	25 feet	25 feet
Side Interior/ South	15 feet	15 feet
Rear/ West	15 feet	25 feet
Density	6-12 du/ac	3 du/ac

Pursuant to LDR Section 4.4.6 (I) Performance Standards, in order to increase a project density beyond six units per acre, the approving body must make a finding that the development substantially complies with the performance standards listed in this section. It is acknowledged that some of the referenced standards below may not be entirely applicable to small, infill type residential projects. For those types of projects, the ultimate density should be based upon the attainment of those standards which are applicable, as well as the development's ability to meet or exceed other minimum code requirements.

The performance standards are summarized as follows, and compliance with these standards is discussed in detail below.

LDR Section	Performance Standard	Compliance
4.4.6(I)(1)(a)	Provides interior and exterior traffic circulation/traffic calming devices	N/A
4.4.6(I)(1)(b)	Provides building placement to reduce overall mass and increase the feeling of open space	Yes
4.4.6(I)(1)(c)	Provides increased landscape buffer and setback adjacent to a residential zoning district with lower density	N/A
4.4.6(I)(1)(d)	Provides varied streetscape and building design	Yes
4.4.6(I)(1)(e)	Provides a variety of unit types, sizes, and floor plans	Partially
4.4.6(I)(1)(f)	Provides preservation or enhancement of the natural area, open space or native habitat	N/A
4.4.6(I)(1)(g)	Provides a bike/ped network, and access to transit	N/A
4.4.6(I)(2)	Acknowledges that some of the performance standards may not be entirely applicable to small, infill type residential projects.	Yes
4.4.6(I)(3)	LUM analysis for vacant properties that are proposing a rezoning to RM with a density suffix	N/A

- LDR Section 4.4.6(I)(1)(a):** *The traffic circulation system is designed to control speed and reduce volumes on the interior and exterior street network. This can be accomplished through the use of traffic calming devices; street networks consisting of loops and short segments; multiple entrances and exits into the development; and similar measures that are intended to minimize through traffic and keep speeds within the development at or below 20 m.p.h.*

The three-unit townhome project is located on a corner lot and is of small scale and traffic calming devices are not feasible for the project. Each of the units provides private drives; two of driveways are located on NE 7th Court and one on NE 8th Avenue which helps eliminate all the traffic from one segment of the roadway.

- LDR Section 4.4.6(I)(1)(b):** *Buildings are placed throughout the development in a manner that reduces the overall massing and provides a feeling of open space.*

The proposed development consists of three townhomes. This performance measure is more for larger projects that have multiple buildings. However, there is proposed landscaping on the corner of NE 7th Court and NE 8th Avenue that helps with the overall massing of the units. In addition, not all units take access from NE 7th Court. Each unit has private entrances, garages, and individual swimming pools in the rear with additional landscaping, thus meeting this performance standard by reducing the overall massing.

- LDR Section 4.4.6(I)(1)(c):** *Where immediately adjacent to residential zoning districts having a lower density, building setbacks and landscape materials along those adjacent property lines are increased beyond the required minimums in order to provide a meaningful buffer to those lower density areas. Building setbacks are increased by at least 25 percent of the required minimum; at least one tree per 30 linear feet (or fraction thereof) is provided; trees exceed the required height at time of planting by 25 percent or more; and a hedge, wall or fence is provided as a visual buffer between the properties.*

This performance standard is not applicable for this project as it is surrounded by Community Facilities (CF) on the East, RM on the South and West and General Commercial (GC) on the North.

- LDR Section 4.4.6(I)(1)(d):** *The development offers a varied streetscape and building design. For example, setbacks are staggered and offset, with varying roof heights (for multi-family buildings, the planes of the facades are offset to add interest and distinguish individual units). Building elevations incorporate diversity in window and door shapes and locations; features such as balconies, arches, porches, courtyards; and design elements such as shutters, window mullions, quoins, decorative tiles, etc.*

The development offers a varied building design. For example, the middle unit entrance is setback four feet and is open to the sky to help offset the units. Building elevations incorporate vertical and horizontal windows with a variety of features such as balconies, canopies, courtyards; and design elements such as aluminum railings, decorative tiles, and wing walls.

- LDR Section 4.4.6(I)(1)(e):** *A number of different unit types, sizes and floor plans are available within the development in order to accommodate households of various ages and sizes. Multi-family housing will at a minimum have a mix of one-, two-, and three-bedroom units with varying floor plans. Single family housing (attached and detached) will at a minimum offer a mix of three- and four-bedroom units with varying floor plans.*

The intent of this performance standard pertains to development projects with multiple structures and is not applicable for this project. However, each unit is a different square footage ranging from 2,990 – 3,360.

- LDR Section 4.4.6(I)(1)(f):** *The development is designed to preserve and enhance existing natural areas and/or water bodies. Where no such areas exist, new areas which provide open space and native habitat are created and incorporated into the project.*

This standard is for larger projects and does not apply to smaller in-fill developments.

- LDR Section 4.4.6(I)(1)(g):** *The project provides a convenient and extensive bicycle/pedestrian network, and access to available transit*

The project is proposing new sidewalks on NE 7th Court and NE 8th Avenue; this adds to the bicycle/pedestrian network of the area and enhances the walkability of the neighborhood and the access to George Bush Blvd and Federal Hwy. However, this standard pertains to larger developments and not in-fill projects. Therefore, this performance standard is not applicable.

- LDR Section 4.4.6(I)(2):** *It is acknowledged that some of the above referenced standards may not be entirely applicable to small, infill type residential projects. For those types of projects, the ultimate density should be based upon the attainment of those standards which are applicable, as well as the development's ability to meet or exceed other minimum code requirements.*

The proposed project is considered a small infill residential development. The aforementioned LDR Section mentions, “the ultimate density should be based upon the attainment of those standards which are applicable.” As such, two of the seven performance standards apply to this project, and one is partial met.

- LDR Section 4.4.6(I)(3):** *For vacant property that is proposed for rezoning to RM with a density suffix, the approving body must make a finding that the proposed density is appropriate based upon the future land use map designations of surrounding property as well as the prevailing development pattern of the surrounding area.*

The property is zoned (RM) with a LUM designation of (MD) medium Density; thus, it is appropriate for the surrounding area and is applicable.

Standards for Specific Areas or Purposes:

Pursuant to **LDR Section 4.3.3(O), Special requirements for specific Uses; Townhouses and townhouse type of development:** **(1) Application.** *These special requirements apply to townhome or townhouse development and to apartment complexes which are designed in the style of a townhome, except projects located within the Central Business District and Central Business District - Railroad Corridor, which shall comply with the applicable district regulations.*

The proposed three-unit townhouse development is in the (RM) Medium Density Residential zoning district, thus subject to the special requirements for townhomes.

Pursuant to **LDR Section 4.3.3(O)(2) Plat required;** *Each townhouse, or townhouse type, development shall be planted with a minimum designation of the interior street system as a tract. When the dwelling units are to be sold, each such unit must be shown on the plat.*

At its meeting of October 5, 2021, the City Commission approved a five-foot right-of-way dedication along NE 8th Avenue and a 25' radi along the intersection of NE 7th Court and NE 8th Avenue. A plat will be required to be recorded at the Palm Beach County Clerk of Court prior to building permit issuance.

LDR Sections 4.3.3(O)(4)(a) through (d):

- a) No more than two (2) townhouses may be constructed without providing a front setback of no less than four feet (4') offset front to rear.

The purpose of this requirement is to prevent a long linear appearance. The proposed development contains one single building. The middle unit has a four-foot recessed opening to the second floor at the entrance to the home. Two of the entrances are on NE 7th Court, while the third entrance is on NE 8th Avenue, thus meeting this requirement.

- b) No townhouse row shall consist of more than 8 units or a length of 200'.

The proposed townhomes consist of three townhomes with a length of 120 feet. Thus, the proposed development meets this code requirement.

- c) Service features, garages, parking areas, and entrances to dwelling units shall, whenever possible, be located on a side of the individual lot having access to the interior street. Walkways should be designed to connect dwelling units with each other and connect each dwelling unit with common open space.

This standard applies to large townhouse developments, and it does not apply in this situation as the proposal is an infill development with the fronts of the units oriented towards the street. A 5' sidewalk is proposed along NE 8th Avenue and NE 7th Court. Paved walkways are proposed from individual unit entries to the respective driveways.

- d) Not less than 25% of the total area, less water bodies, shall be usable open space, either for recreational or some other suitable purpose, public or private.

The basis for this standard is to assure that larger residential developments provide adequate recreational amenities. With smaller developments, the provision of these amenities is not considered financially feasible, and the required contribution of \$500.00 per unit (park impact fee) is considered adequate. It is noted, however, that 30% of the site will be landscape/open space.

Lighting

The new street lighting poles shall be installed by FPL and modify the City's existing lighting contract to include the two new poles. This shall be done prior to building permit issuance. The existing fixtures on the poles will be changed to match the new installed light poles and will be unmetered and paid for by the City-wide contract with FPL.

Off-Street Parking Requirements:

Pursuant to LDR Section 4.6.9(C)(2)(c) two or more-bedroom dwelling units shall provide two spaces per unit and one-half a space of guest parking. There are a total of three residential units and 12 parking spaces are provided. The parking requirement is three units x two spaces for a total of six spaces and three units x .05 for a total of eight spaces. There are 12 spaces proposed, two in each garage and two in each driveway, thus meeting this requirement.

Landscape Analysis:

Pursuant to LDR Section 2.4.5(H)(5), Landscape Plan Findings. *At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:*

- (a) Objectives of landscaping regulations Section 4.6.16.
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Pursuant to LDR Section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of LDR Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C).

The Senior Landscape Planner reviewed the plans and found it to comply. The trees proposed are Gumbo Limbo, Silver Buttonwood, Japanese Blueberry Tree, Eagleston Holly, Southern Magnolia, Southern Live Oak, and Pink Tabeula. The Palms range from Christmas Palm, Coconut Palm and Cabbage Palmetto. The shrubs and ground cover consists of Coco Plum, Simpson Stopper, Shrubbery Yew, Myers Asparagus Fern, Green Island Fiscus, Dwarf Schillings Holly, Creeping Juniper, Evergreen Giant Border Grass, Dwarf Podocarpus, Purple Ground Orchid, and Floritam St. Augustine Sod.

Pursuant to **LDR Section 4.6.16(H)(6)**, one street tree shall be required for every 40 linear feet of street frontage with a minimum of one tree per property. Street trees shall be located between the inside edge of sidewalk and edge of road pavement. The development provides five Southern Live Oaks in the City Right-Of-Way which meets this requirement. This will require a Landscape Maintenance Agreement prior to building permit issuance. The sidewalk will be constructed in a curving way to provide for the planting of these trees.

Architectural Elevations

Pursuant to LDR Section 2.4.5(I)(5), Architectural (Appearance) Elevations Findings. *At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.*

Pursuant to LDR Section 4.6.18 (A)(2), *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

Pursuant to LDR Section 4.6.18 (E), *The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits.*

1. *The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The development proposal includes one two-story building, containing a total of three multifamily townhome units, totaling 9,360 square feet. The architecture has defining characteristics of Masonry Modern. The proposed flat roof is a typical Masonry Modern characteristic. The windows are vertical with horizontal transom openings. The balconies and canopies over the garage doors and entry gates are aluminum. The block wing walls on the second floor is a common element of the Masonry Modern architecture and is referred to as a punched opening. Each unit contains a garage in Earl Grey color. The walls are a smooth stucco on block with PVC corner bead in Olympus White.

The proposed building design and scale are uniform throughout and will enhance the character, value, and attractiveness of the surroundings. To the north is General Commercial with a non-conforming car sale lot, to the east is Saint Vincent that has recently expanded their campus to accommodate more room for the school.

LDR Section 2.4.5(F)(5), Findings

In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following diagram and table indicate the zoning and land use of the properties surrounding the subject property:

Adjacent Zoning, Land Use, and Use

	Zoning Designation	Land Use	Use
North	General Commercial (GC)	General Commercial (GC)	Car Sales
South	Multiple Family Residential (RM)	Medium Density (MD)	Multi-Family Residential
East	Community Facilities (CF)	Community Facilities (CF)	Church/School
West	Multiple Family Residential (RM)	Medium Density (MD)	Multi-Family Residential

This will be the first project on this corner to go through improvements. If approved, the project would not have the highest density in the immediate surrounding area and would be in scale with the other developments that have been approved.

LDR Section 3.1.1 Required Findings

Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

The proposed site plan is generally compliant; complete discussion is provided below.

- Section 3.1.1 (A) - Land Use Map:** *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The property has a LUM designation of MD, and a zoning designation of RM, which are compatible with each other. The standard density for MD land use designation is five to 12 dwelling units per acre (du/ac). Pursuant to LDR Section 4.4.6(B)(3), multiple family structures are allowed as a principal use in the RM zoning district with a base density of six and a maximum density of 12 du/ac. Based on the total existing land area of 0.33 acres, a density range of six to 12 du/ac allows for a maximum of three units.

- Section 3.1.1 (B) – Concurrency:** *Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Compliance with traffic, schools, utilities, Parks and Recreation and solid waste are discussed below.

Traffic: The Applicant has received a Traffic Performance Standards (TPS) approval letter from Palm Beach County for three Multi-Family Residential dwelling units. The approved project will generate 7 New Net Daily trips, 1 (0/1) New Net AM Peak Hour trips, and 0 New Net PM Peak Hour Trips.

Schools: The Applicant has received a School Capacity Availability Determination (SCAD) from the School District of Palm Beach County (see attached SCAD form) which determined that the Project will generate one student at the elementary level, one student at the middle school level, and one student at the high school level. Based on the findings and evaluation of the proposed development, there will be no negative impact on the public-school system.

Water and Sewer: The survey indicates City water and Sewer service is provided. The City's Water Atlas indicates water is provided to the site by a 6-inch water main and the Sewer atlas indicated sewer service is provided by an 8-inch sewer main both located on NE 7th Ct.

Solid Waste:

3 new townhome units (9,360 SF) x 1.99 tons = 18,624 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Parks and Recreation Facilities: Pursuant to Land Development Regulations (LDR) Section 5.3.2, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit for each unit. Based upon the proposed units, a park impact fee of \$1,500 will be required.

Drainage. The applicant has provided 36% impervious surfaces on the site to accommodate the storm water drainage.

- Section 3.1.1 (C) – Consistency:** *Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency. An analysis regarding consistency is located in Appendix "A".*
- Section 3.1.1 (D) – Compliance with the LDRs:** *Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.*

The Class V site plan is subject to standards in LDR Section 4.4.6, Medium Density Residential (RM) District. Compliance with these regulations and other specific regulations to the request are discussed in the site plan analysis.

Housing Element

Policy HOU 1.4.4: *Continue to enforce streetscape landscaping requirements which are consistent and compatible within a neighborhood and reinforces the neighborhood's established theme and character.*

Pursuant to **LDR Section 4.6.16(H)(4)**, one street tree shall be required for every 40 linear feet of street frontage with a minimum of one tree per property. Due to the constraints of the property, the applicant and staff worked together to provide the street trees by moving the sidewalk. This will continue the neighborhood's established tree canopy.

Objective HOU 3.1 Provide opportunities for residential development to accommodate the housing needs of existing and future residents.

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.7: *Establish the maximum density, measured in dwelling units per gross acre, for residential land use and mixed-use designations (See Table NDC-1). The Standard density is the range of density allowed in the land use designation. The Revitalization/Incentive density is the maximum density that may be offered in the Land Development Regulations to achieve a certain community benefit in a specific area as part of an incentive program, or to implement the recommendations of an adopted redevelopment or neighborhood plan. Standards in the Land Development Regulations, including those guiding compatibility and transitions, such as setbacks, height limitations, open space criteria, etc. may limit the actual density achievable on a specific site.*

The maximum density of three units is established. The setbacks, open space maximum lot coverage and height limitations have all been achieved.

Policy NDC 1.2.6: *Apply the Medium Density Residential land use designation to land that is or will be developed for a wide range of housing types, including but not limited to attached and detached single-family and multi-family housing.*

Policy NDC 1.2.7: *Use the Medium Density Residential land use designation to create and maintain residential neighborhoods with a wide range of housing types with associated neighborhood amenities at a density more than five and up to 12 units per acre.*

Policy NDC 1.1.14: *Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*

The Property has a Medium Density land use designation. The project provides three dwelling units with three-bedroom floor plans with a loft and varying floor plans. The mix of floor plans increases the range of residential uses within the City and provides a complementary use to the existing surrounding residential neighborhood.

Board Action Options

- A. Move to **continue** with direction
- B. Move **approval** of the Class V (2021-195) Site Plan, Landscape Plan, and Architectural Elevations for **Lynn Townhomes at 712 NE 8th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class V (2022-195) Site Plan, Landscape Plan, and Architectural Elevations for **Lynn Townhomes at 712 NE 8th Avenue**, by finding that the request is not consistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

Technical Notes

The following items must be completed prior to the issuance of a building permit:

1. Approval and recordation of a Landscape Maintenance Agreement.
2. Approval and recordation of a plat.
3. Installation of new street lighting poles by FPL with the City's existing lighting contract modified to include the two new poles.

Public and Courtesy Notices

Courtesy Notices were sent to:

- Palm Trail HOA

Public Notices are not required for this request.

Appendix A
Sec. 3.2.3. - Standards for site plan and/or plat actions

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- B. All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- C. Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives, and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- D. Any proposed street widening or modification to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- E. Remaining infill lots within the Coastal High Hazard Area of the Coastal Planning Area shall be developed using zoning which is identical or similar to the zoning of adjacent properties or that results in less intense development.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent
- G. Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

H. Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.

Not applicable
 Meets intent of standard
 Does not meet intent

I. Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

Not applicable
 Meets intent of standard
 Does not meet intent

J. Tot lots and recreational areas, serving children, teens, and adults shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable
 Meets intent of standard
 Does not meet intent

K. Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e., workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program; development in all other areas shall not exceed the Standard density.

Not applicable
 Meets intent of standard
 Does not meet intent

LEGEND

A.E. = ANCHOR EASEMENT
BM = BENCHMARK
CL = CENTERLINE
CONC. = CONCRETE
CBS = CONCRETE BLOCK STRUCTURE
Δ = DELTA
EL., ELEV. = ELEVATION
E.M. = ELECTRICAL METER
F.F. = FINISHED FLOOR
F.I.R. = FOUND IRON ROD
F.N.D. = FOUND NAIL AND DISC
F.N.T = FOUND NAIL AND TAB
L.B. = LICENSED SURVEY BUSINESS
L= ARC DISTANCE
LS = LICENSED SURVEYOR
(M) = MEASURED
NO I.D. = NO IDENTIFICATION
N/A = NOT APPLICABLE
NGVD'29 = NATIONAL GEODETIC VERTI
NAVD'88 = NORTH AMERICAN VERTI
O/L = ON LINE
O/S = OFFSET
P.B. = PLAT BOOK
PG. = PAGE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCE
P.C. = POINT OF CURVATURE
(R) = RECORDS
R/W = RIGHT OF WAY
U.E. = UTILITY EASEMENT
ISAOA = ITS SUCCESSORS AND/OR A
ATIMA = AS THEIR INTEREST MAY AP

SYMBOLS

	AIR CONDITIONER
	WATER METER
	FIRE HYDRANT
	WATER VALVE
	SANITARY MANHOLE
	WOOD POLE
	EXISTING ELEVATION
	COVERED AREA
— // —	WOOD FENCE (W.F)

LEGAL DESCRIPTION:

LOTS 23, 24 AND 25, OF "MCGINLEY & GOSMAN SUBDIVISION",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT
BOOK 2, PAGE 87, OF THE PUBLIC RECORDS OF PALM BEACH
COUNTY, FLORIDA.

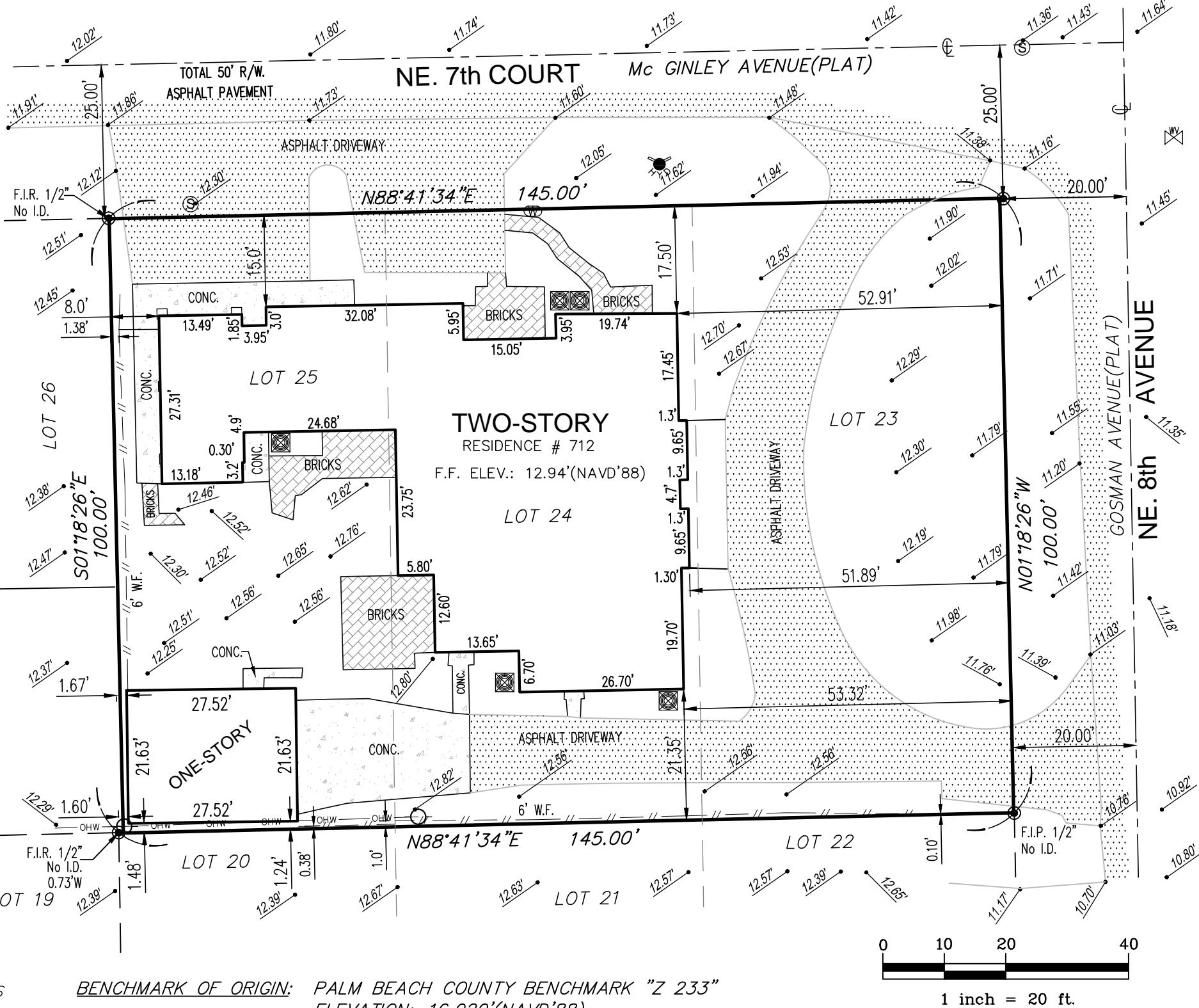
CERTIFIED TO:

1 / YNN / OF

SURVEYOR'S NOTES:

LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD'88, UNLESS OTHERWISE NOTED.

BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "Z 233"
ELEVATION: 16.020'(NAVD'88)



1 inch = 20 ft.

TITLE: MAP OF BOUNDARY SURVEY

COMMUNITY PANEL# 125102-0977-F	FLOOD ZONE: "X"	BASE FLOOD EL.: N/A	DRAWN BY: ELF. CHECKED BY: J.
-----------------------------------	--------------------	------------------------	----------------------------------

DATE OF FIRM: 10/05/2017 **BASIS OF BEARING:** E R/W LINE NE 26TH AVENUE, SAID LINE HAVING AN ASSUMED BEARING OF 500°00'00"E.

PROPERTY ADDRESS:
712 NE 8th AVENUE, DELRAY BEACH, FL 33483

20' | NOTES/REVISIONS

JOHN E.
LIC. NO.

SAID STAT
proc

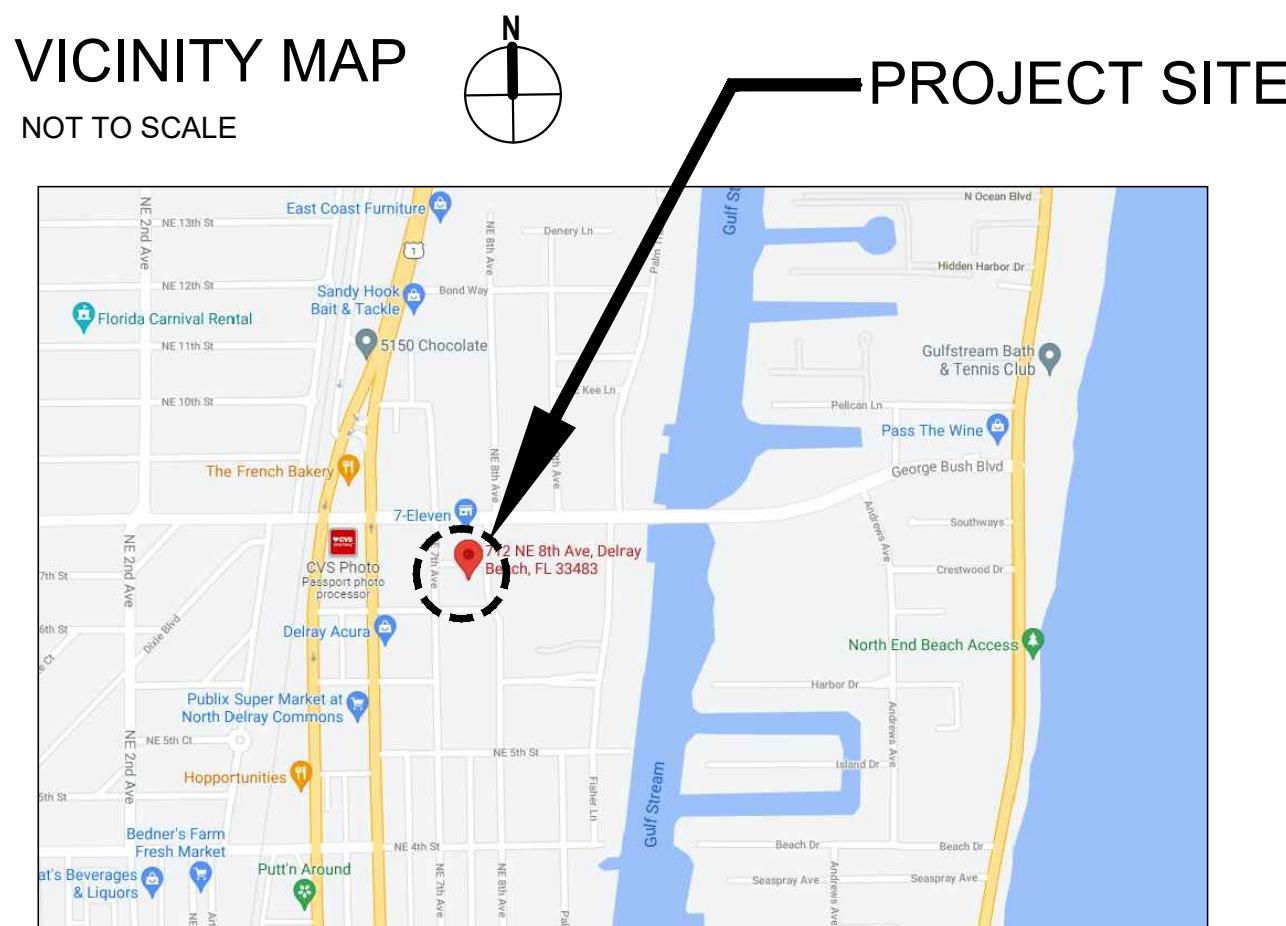
*FLORIDA
PROFESSIONAL SURVEYORS*

THIS SURVEY MEETS THE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

2/17/2021
Date

Date

JOHN E. KUHAR, PSM, STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER LS 6711
NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND THE ORIGINAL SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER

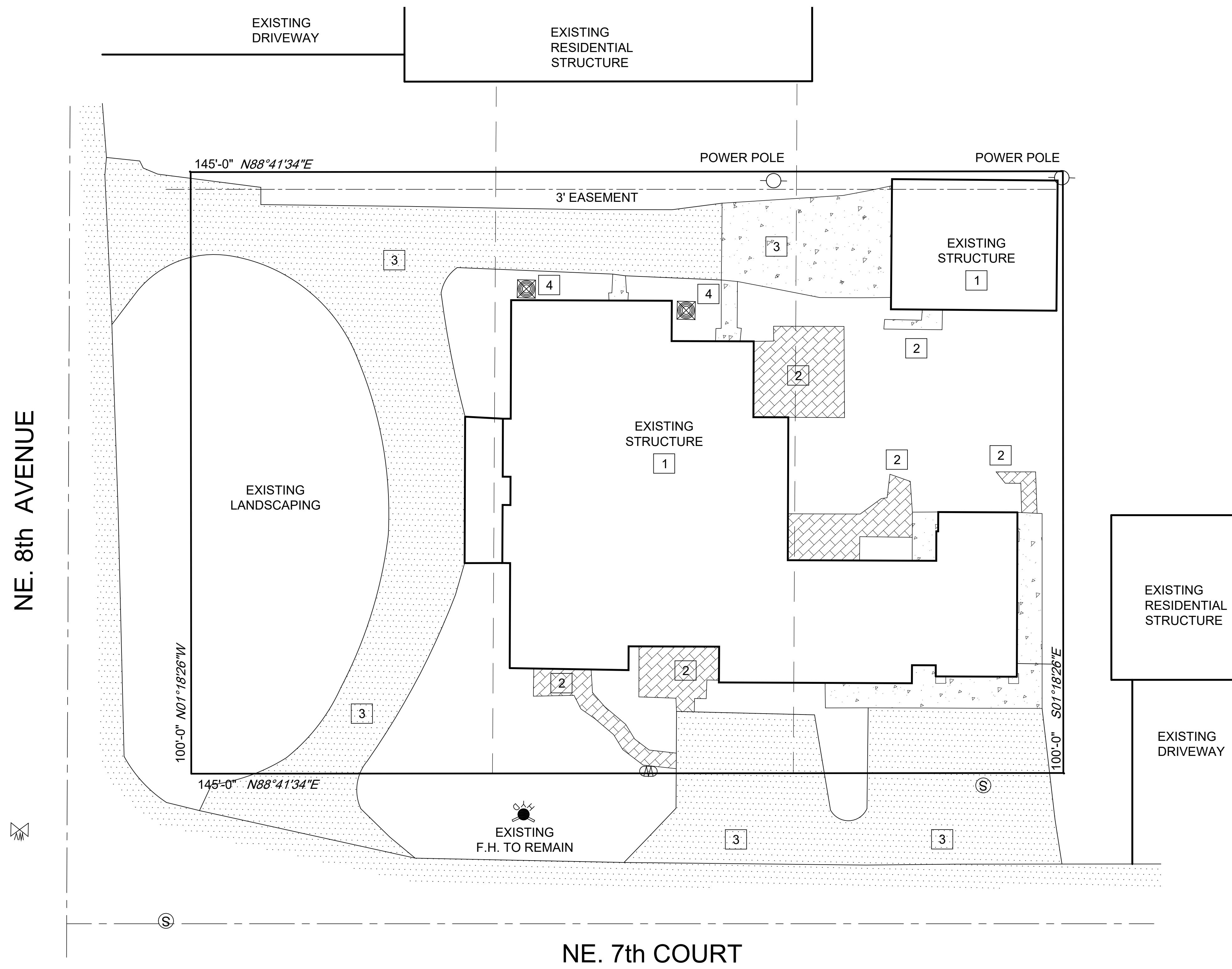


DEMOLITION SITE PLAN NOTES

1. EXISTING STRUCTURE TO BE REMOVED
2. EXISTING BRICK AND CONCRETE WALKWAYS/PADS TO BE REMOVE
3. EXISTING DRIVEWAYS TO BE REMOVED
4. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED

GENERAL NOTES

- DISCONNECT ALL POWER AT POLE
- DISCONNECT ALL WATER AT METER PRIOR TO DEMOLITION
- CAP ALL MAIN SEWER LINES AT PROPERTY LINE PRIOR TO DEMOLITION
- CAP ALL GAS LINES PRIOR TO DEMOLITION
- CALL UNEC PRIOR TO ANY EXCAVATION OF SLABS
- PROVIDE ASBESTOS REPORT IF REQUIRED BY THE CITY



LYNN TOWNHOMES

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DELRAY BEACH, FL 33483

STEPHEN H. LITTLE
ARCHITECTURE DESIGN PLANNING
3637 NORTHWEST 5TH TERRACE
BOCA RATON FLORIDA 33431
561-989-4313

DKK CONSULTING INC.
951 SANSBURY'S WAY SUITE 206
ROYAL PALM BEACH FLORIDA 33411
561-612-7312
DEREK SCHENAVAR P.E.
C.O.A. 26848

DRAWING: 2 OF 9
DEMOLITION SITE PLAN
SCALE: 1:10

DRAWN: SL

CHECKED: SL

SCALE: NOTED

ISSUED:

DATE: 05/18/2021

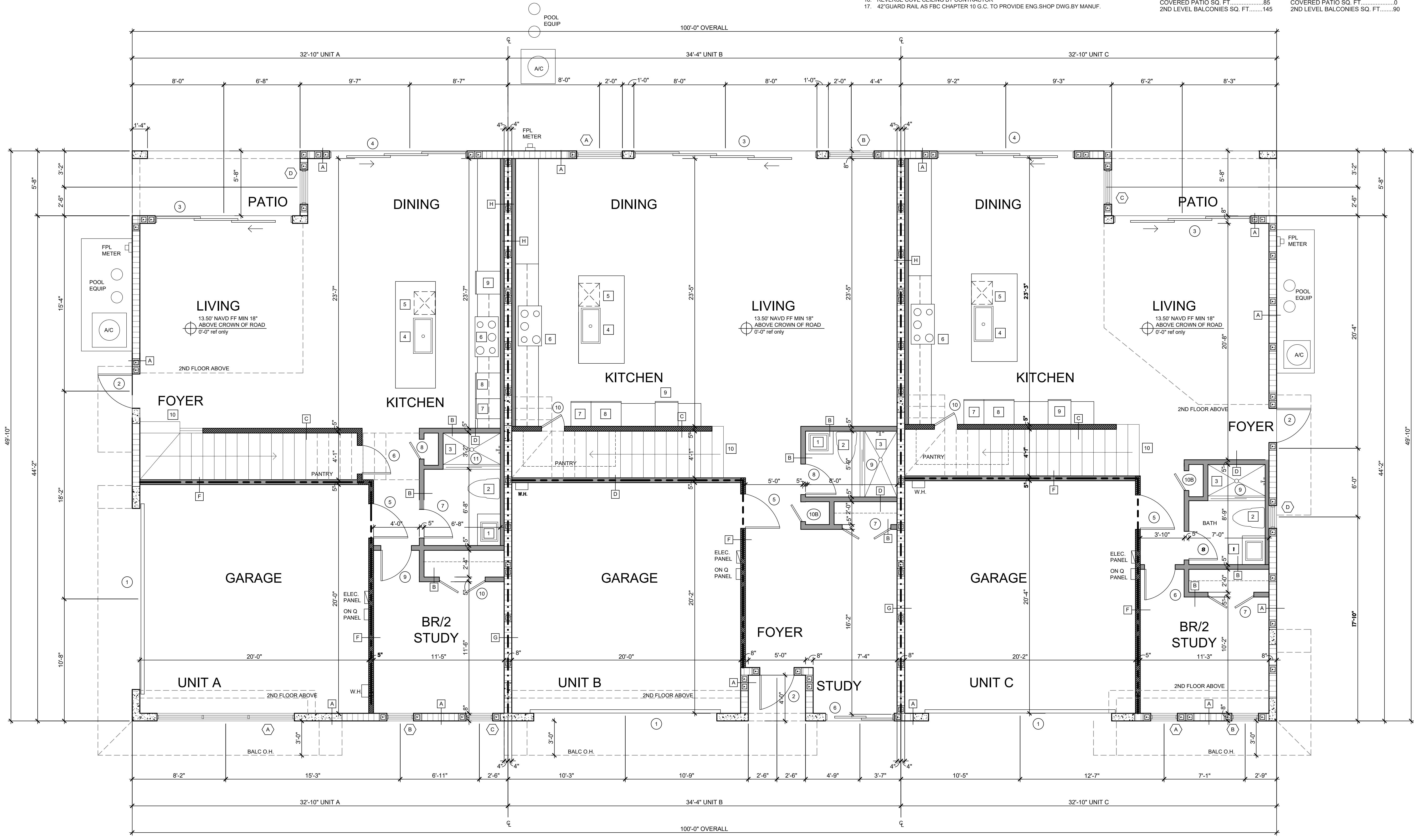
REVISIONS:

FLOOR PLAN NOTES

1. SINK AND VANITY
2. TOILET
3. SHOWER WITH CURB AND PAN LINER
4. SINK AND DISPOSAL
5. DISHWASHER
6. COOKTOP WITH RECURC.HOOD
7. FREEZER
8. REFRIGERATOR
9. OVEN MICROWAVE IN CAB.TOWER
10. PREFAB.WOOD STAIR 7"MAX RISER & 11" TREADS WITH HANDRAIL
AS PER FBC 2020. G.C. TO PROVIDE SHOP DWG.BY MANUF.
11. ALUM.RAILING 36"HT.MIN AS PER FBC CHAPTER 10 G.C. TO PROVIDE ENG.SHOP DWG.BY MANUF.
12. STACKABLE WASHER AND DRYER
13. WET ROOM SHOWER SLOPE FLOOR TO FLOOR DRAIN PROVIDE SHOWER LINER
14. SHOWER BENCH 18"WX20"HT.
15. FREE STANDING TUB MOUNT TUB FILLER TO WALL CENTER TO TUB.
16. REVERSE COVE CEILING BY CONTRACTOR
17. 42"GUARD RAIL AS FBC CHAPTER 10 G.C. TO PROVIDE ENG.SHOP DWG.BY MANUF.

WALL LEGEND

	CMU WALL WITH FURRING		1 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	POURED COLUMN/WALL		2 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	INTERIOR PARTITION		



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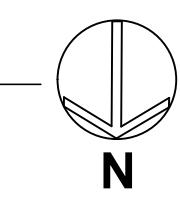
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DRAWING: 4 OF 9
GROUND FLOOR PLAN
SCALE: 1/4"

DRAWING 61

GROUND FLOOR

1/4" SCALE



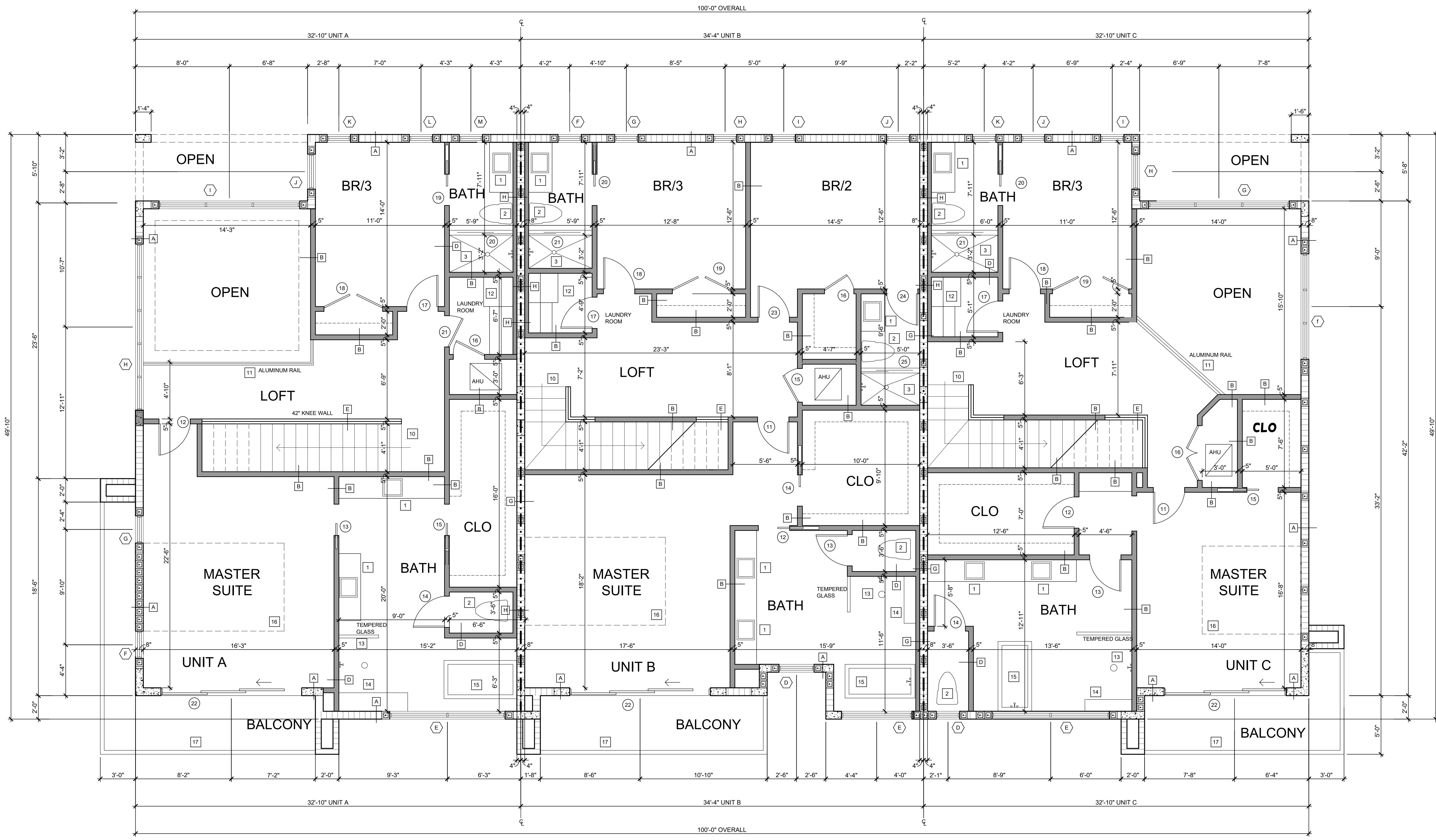
FLOOR PLAN NOTES

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WALL LEGEND

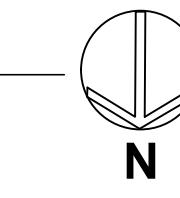
	CMU WALL WITH FURRING		1 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	POURED COLUMN/WALL		2 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	INTERIOR PARTITION		

SQUARE FOOTAGE BREAKDOWN		SQUARE FOOTAGE BREAKDOWN		SQUARE FOOTAGE BREAKDOWN	
UNIT A		UNIT B		UNIT C	
GROUND FLOOR AC SQ. FT.....	1,090	GROUND FLOOR AC SQ. FT.....	1,240	GROUND FLOOR AC SQ. FT.....	1,060
SECOND FLOOR AC SQ. FT.....	1,170	SECOND FLOOR AC SQ. FT.....	1,520	SECOND FLOOR AC SQ. FT.....	1,160
TOTAL AC SQ. FT.....	2,260	TOTAL AC SQ. FT.....	2,740	TOTAL AC SQ. FT.....	2,220
GARAGE SQ. FT.....	410	GARAGE SQ. FT.....	380	GARAGE SQ. FT.....	410
COVERED PATIO SQ. FT.....	85	COVERED PATIO SQ. FT.....	0	COVERED PATIO SQ. FT.....	85
2ND LEVEL BALCONIES SQ. FT.....	145	2ND LEVEL BALCONIES SQ. FT.....	90	2ND LEVEL BALCONIES SQ. FT.....	105



SECOND FLOOR

1/4" SCALE



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C.O.A. 26848

DRAWING: 5 OF 9
SECOND FLOOR PLAN
SCALE: 1/4"

DRAWN: SL

CHECKED: SL

SCALE: NOTED

ISSUED:

DATE: 05/18/2021

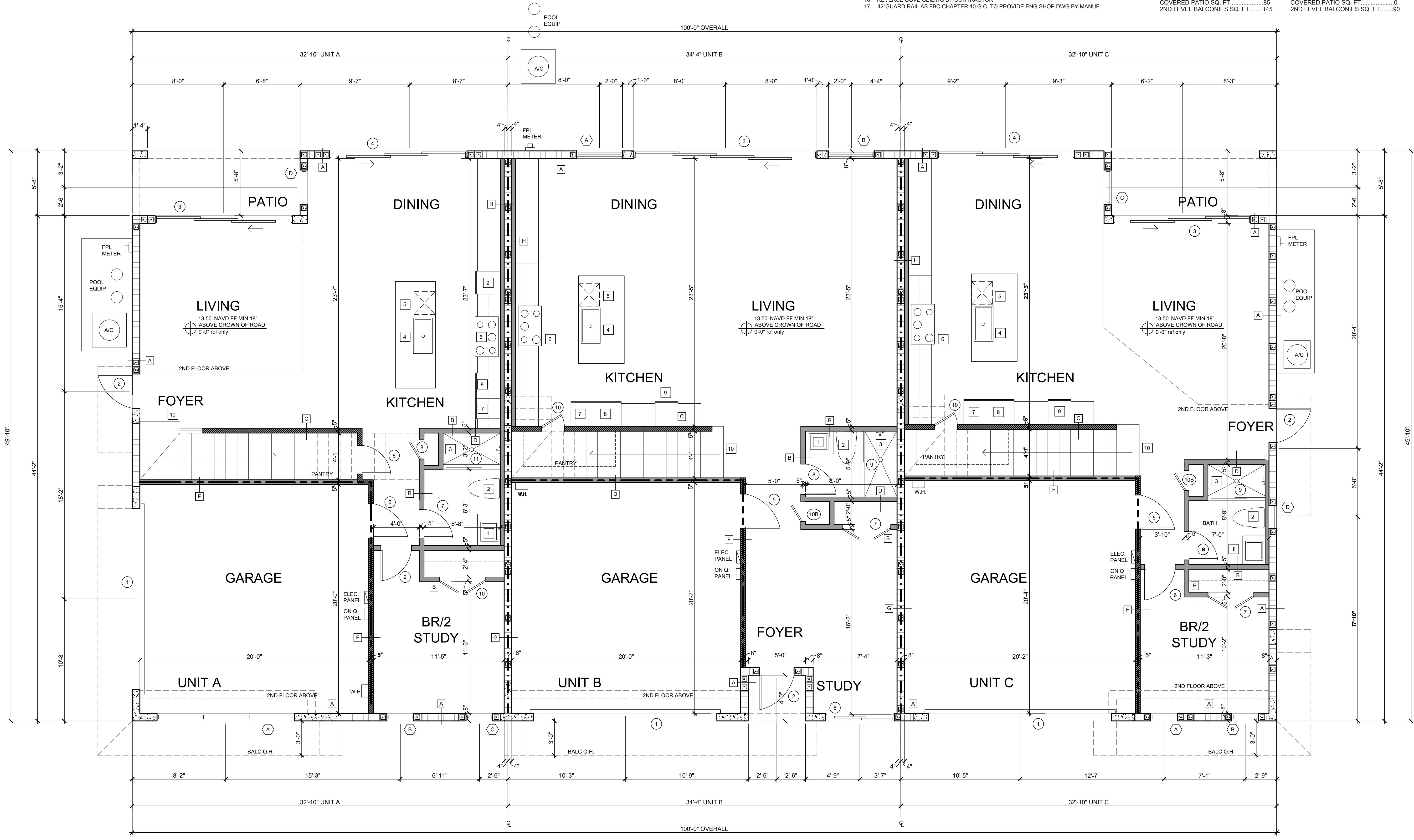
REVISIONS:

FLOOR PLAN NOTES

1. SINK AND VANITY
2. TOILET
3. SHOWER WITH CURB AND PAN LINER
4. SINK AND DISPOSAL
5. DISHWASHER
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WALL LEGEND

	CMU WALL WITH FURRING		1 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	POURED COLUMN/WALL		2 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	INTERIOR PARTITION		



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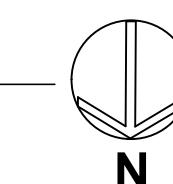
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DRAWING: 4 OF 9
GROUND FLOOR PLAN
SCALE: 1/4"

DRAWING 61

GROUND FLOOR

1/4" SCALE



FLOOR PLAN NOTES

1. SINK AND VANITY
2. TOILET
3. SHOWER WITH CURB AND PAN LINER
4. SINK AND DISPOSAL
5. DISHWASHER
6. COOKTOP WITH RECUR.C.HOOD
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WALL LEGEND

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	POURED COLUMN/WALL		2 HOUR FIRE WALL ASSEMBLY UL NUMBER:
	INTERIOR PARTITION		

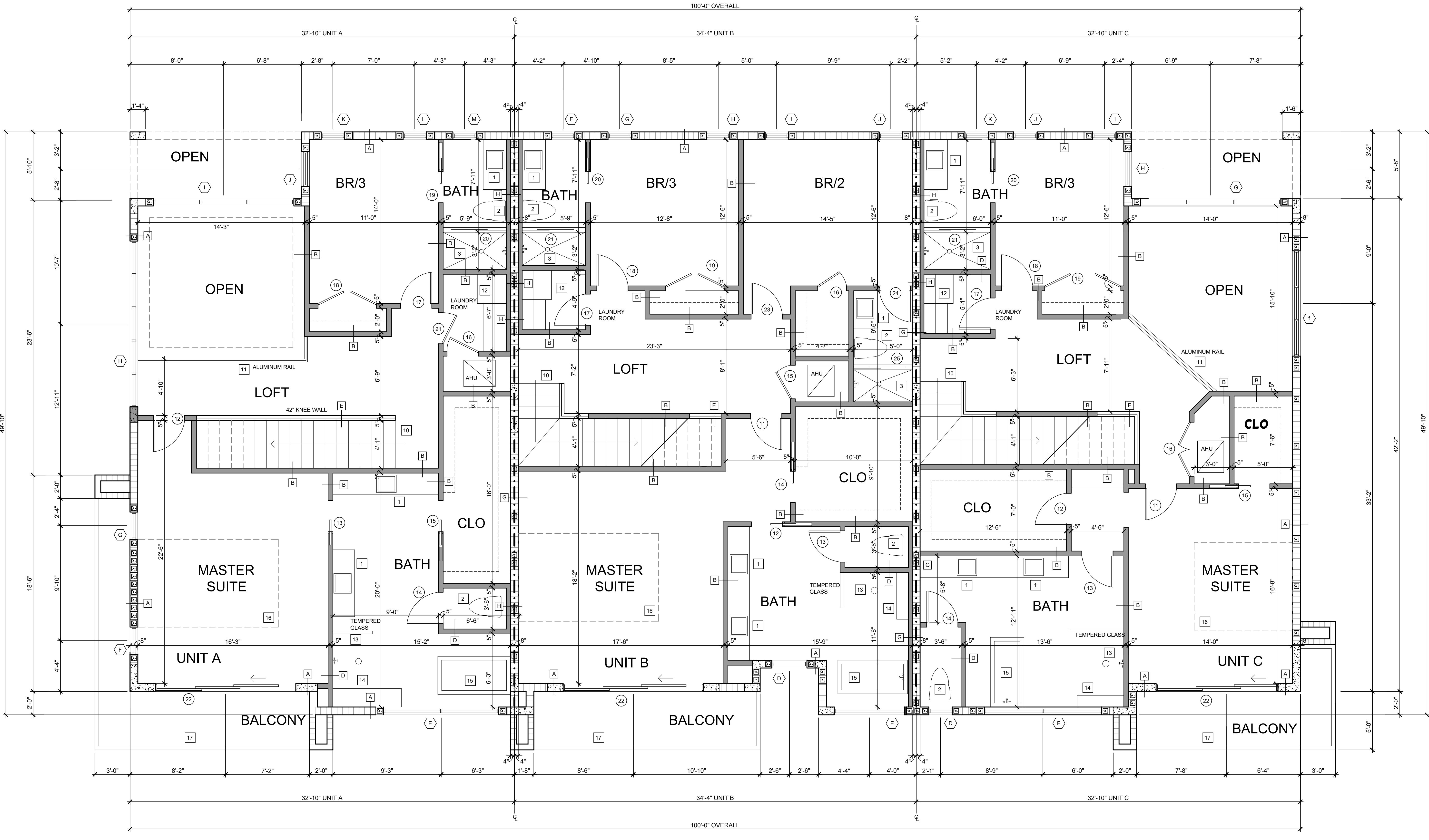
SQUARE FOOTAGE BREAKDOWN

UNIT A	GROUND FLOOR AC SQ. FT.....	1,090
	SECOND FLOOR AC SQ. FT.....	1,170
	TOTAL AC SQ. FT.....	2,260
	GARAGE SQ. FT.....	410
	COVERED PATIO SQ. FT.....	85
	2ND LEVEL BALCONIES SQ. FT.....	145

SQUARE FOOTAGE BREAKDOWN

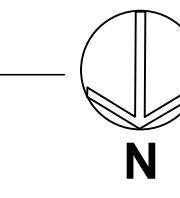
UNIT B	GROUND FLOOR AC SQ. FT.....	1,240
	SECOND FLOOR AC SQ. FT.....	1,160
	TOTAL AC SQ. FT.....	2,270
	GARAGE SQ. FT.....	380
	COVERED PATIO SQ. FT.....	0
	2ND LEVEL BALCONIES SQ. FT.....	90

UNIT C	GROUND FLOOR AC SQ. FT.....	1,060
	SECOND FLOOR AC SQ. FT.....	1,160
	TOTAL AC SQ. FT.....	2,220
	GARAGE SQ. FT.....	410
	COVERED PATIO SQ. FT.....	85
	2ND LEVEL BALCONIES SQ. FT.....	105



SECOND FLOOR

1/4" SCALE



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DRAWING: 5 OF 9
SECOND FLOOR PLAN
SCALE: 1/4"

DRAWN: SL

CHECKED: SL

SCALE: NOTED

ISSUED:

DATE: 05/18/2021

REVISIONS:

LEGEND

A/C = AIR CONDITIONER
C.B.S. = CONCRETE BLOCK STRUCTURE
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CH = CHORD
CL = CENTERLINE
C/S = CONCRETE SLAB
CONC. = CONCRETE
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EL., ELEV. = ELEVATION
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L.B. = LICENSED SURVEY BUSINESS
LS = LICENSED SURVEYOR
M = MEASURED
NO I.D. = NO IDENTIFICATION
N/A = NOT APPLICABLE
P.S.M. = PROFESSIONAL SURVEYOR AND M

CERTIFIED TO:

SYMBOLS

	AIR CONDITIONER
	WATER METER
	FIRE HYDRANT
	WATER VALVE
	SANITARY MANHOLE
	WOOD POLE
EXISTING ELEVATION	
	COVERED AREA
	WOOD FENCE (W.F.)
	OVERHEAD WIRE LINE (OHW)
	CHAIN LINK FENCE (C.L.F.)
	WOOD FENCE (W.F.)
	METAL FENCE (M.F.)
	PLASTIC FENCE (P.F.)
	WIRE FENCE (W.F.)

EXISTING TREE DISPOSITION CHART

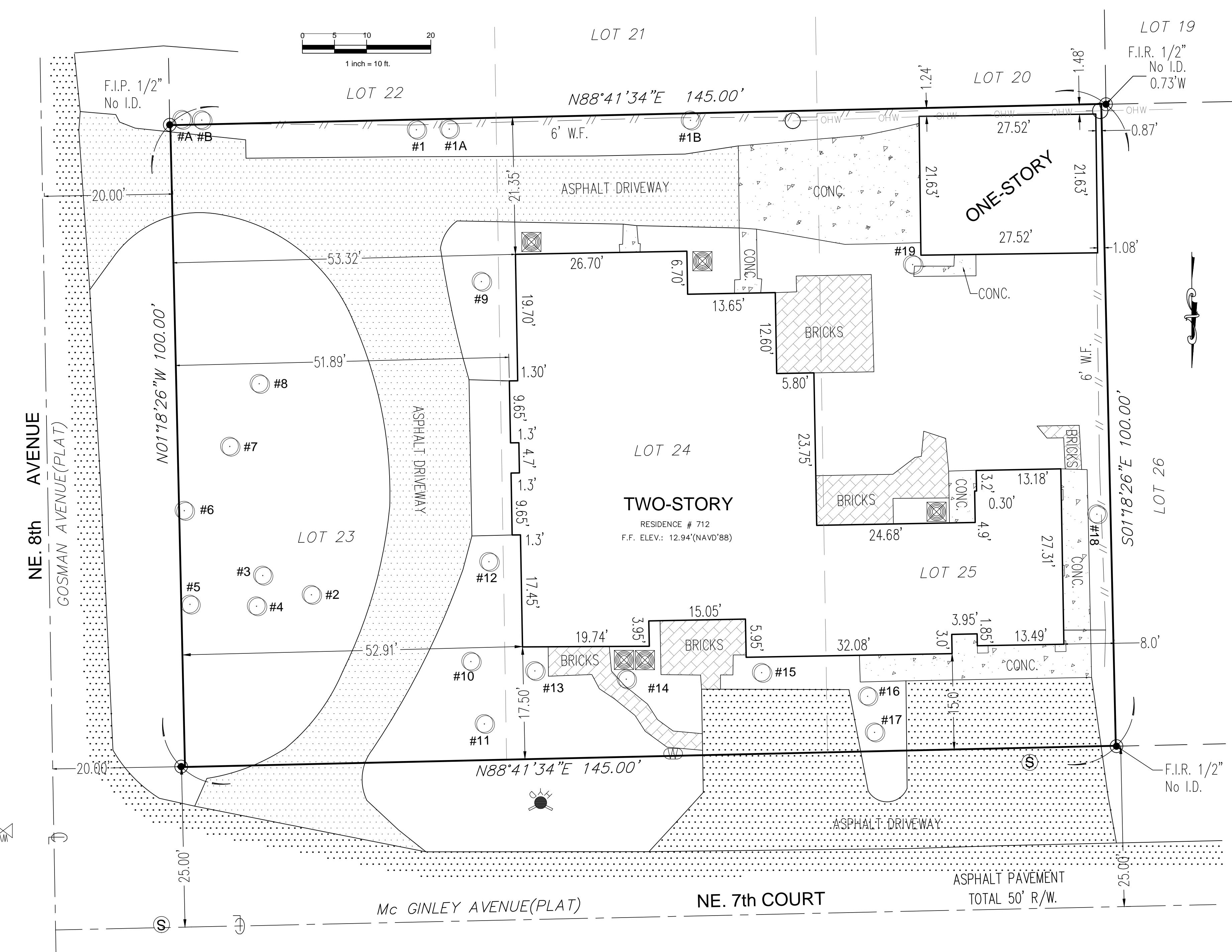
TRE E #	BOTANICAL NAME	COMMON NAME	HT (FT)	SPR (FT)	DBH (IN)	CONDITION	DISPOSITION	NOTES
1	SABAL PALM	SABAL PALMETTO	22	8	12	75	RELOCATE	
1A	SABAL PALM	SABAL PALMETTO	25	8	13	75	RELOCATE	
1B	QUEEN PALM	SYAGRUS ROMANZOFFIANA	22	8	9	40	REMOVE	
2	SABAL PALMETTO	CABBAGE PALM	20	6	16	75	RELOCATE	
3	BISMARCKIA NOBILIS 'SILVER'	SILVER BISMARCK	15	10	22	80	REMOVE	
4	SABAL PALMETTO	CABBAGE PALM	15	6	13	70	REMOVE	
5	WODYETIA BIFURCATA	FOXTAIL PALM	20	10	12	70	REMOVE	
6	QUERCUS VIRGINIANA	LIVE OAK	12	8	6	80	REMOVE	
7	COCOS NUCIFERA	COCONUT PALM	15	6	12	80	RELOCATE	
8	COCOS NUCIFERA	COCONUT PALM	15	8	10	80	RELOCATE	
9	PLUMERIA	FRANGIPANI	12	8	4	70	REMOVE	
10	SABAL PALMETTO	CABBAGE PALM	20	6	5	80	RELOCATE	
11	SABAL PALMETTO	CABBAGE PALM	20	6	16	70	RELOCATE	
12	PHOENIX ROEBELENII	PYGMY DATE PALM	6	5	3	60	REMOVE	
13	SABAL PALMETTO	CABBAGE PALM	25	12	14	70	REMOVE	
14	LIVISTONA CHINENSIS	CHINESE FAN PALM	12	10	13	70	REMOVE	
15	PHOENIX ROEBELENII	PYGMY DATE PALM	12	5	3 / 3	60	REMOVE	DOUBLE
16	SYAGRUS ROMANZOFFIANA	QUEEN PALM	25	20	10	60	REMOVE	
17	SYAGRUS ROMANZOFFIANA	QUEEN PALM	25	20	10	60	REMOVE	
18	SABAL PALMETTO	CABBAGE PALM	30	12	12	80	REMAIN	
19	PTYCHOSPERMA ELEGANS	SOLITAIRE PALM	15	6	4	70	REMOVE	
A	MAHOGANY	SWIETENIA MAHAGONI	35	25	19	45	REMAIN	
B	SABAL PALM	SABAL PALMETTO	15	6	20	55	REMAIN	

LEGAL DESCRIPTION:

LEGAL DESCRIPTION
LOTS 23, 24 AND 25, OF "MCGINLEY & GOSMAN SUBDIVISION",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2,
PAGE 87, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY,
FLORIDA.

BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "Z 233"
ELEVATION: 16.020'(NAVD'88)

SURVEY NOTES:
LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD'88, UNLESS OTHERWISE NOTED.
BASELINE LAND SURVEY LLC DOES NOT EMPLOY A CERTIFIED ARBORIST ON STAFF AND, AS SUCH, NO GUARANTEE OF THE EXACT IDENTIFICATION OF TREES SHOWN HEREON CAN BE MADE. A CERTIFIED ARBORIST SHOULD BE CONSULTED FOR CONCLUSIVE IDENTIFICATION OF TREES SHOWN HEREON.



SHEET 1 OF 1

			SCALE: 1" = 10'	NOTES/REVISIONS	<p>THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.</p>
COMMUNITY PANEL# 125102-0977-F	FLOOD ZONE: "X"	BASE FLOOD EL.: N/A	DRAWN BY: ELF.		
			CHECKED BY: J.E.K.	UP.PLOT PLAN: 9/02/2021	
DATE OF FIRM: 10/05/2017	<u>BASIS OF BEARING:</u> E R/W LINE NE 26TH AVENUE, SAID LINE HAVING AN ASSUMED BEARING OF S00°00'00"E.			REV. TREES 7/20/21	
				ADD TREES 5/14/21	
				PLOT PLAN: 5/11/2021	
				PARTY CHIEF: HECTOR	
PROPERTY ADDRESS: 712 NE 8th AVENUE, DELRAY BEACH, FL 33483			SURVEY DATE: 2/14/21	10/20/2021	

The logo for Baseline Land Survey LLC. It features a large, stylized lowercase 'b' with a horizontal line through it, positioned above the company name 'Baseline Land Survey LLC' in a large, italicized, lowercase serif font. Below the company name is the address '1400 N.W. 1st COURT' on two lines, followed by 'BOCA RATON, FL. 33432' and the phone number 'Ph.(561) 417-0700'.

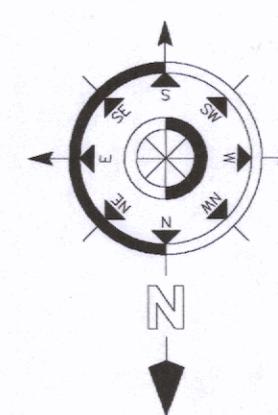


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REVISION



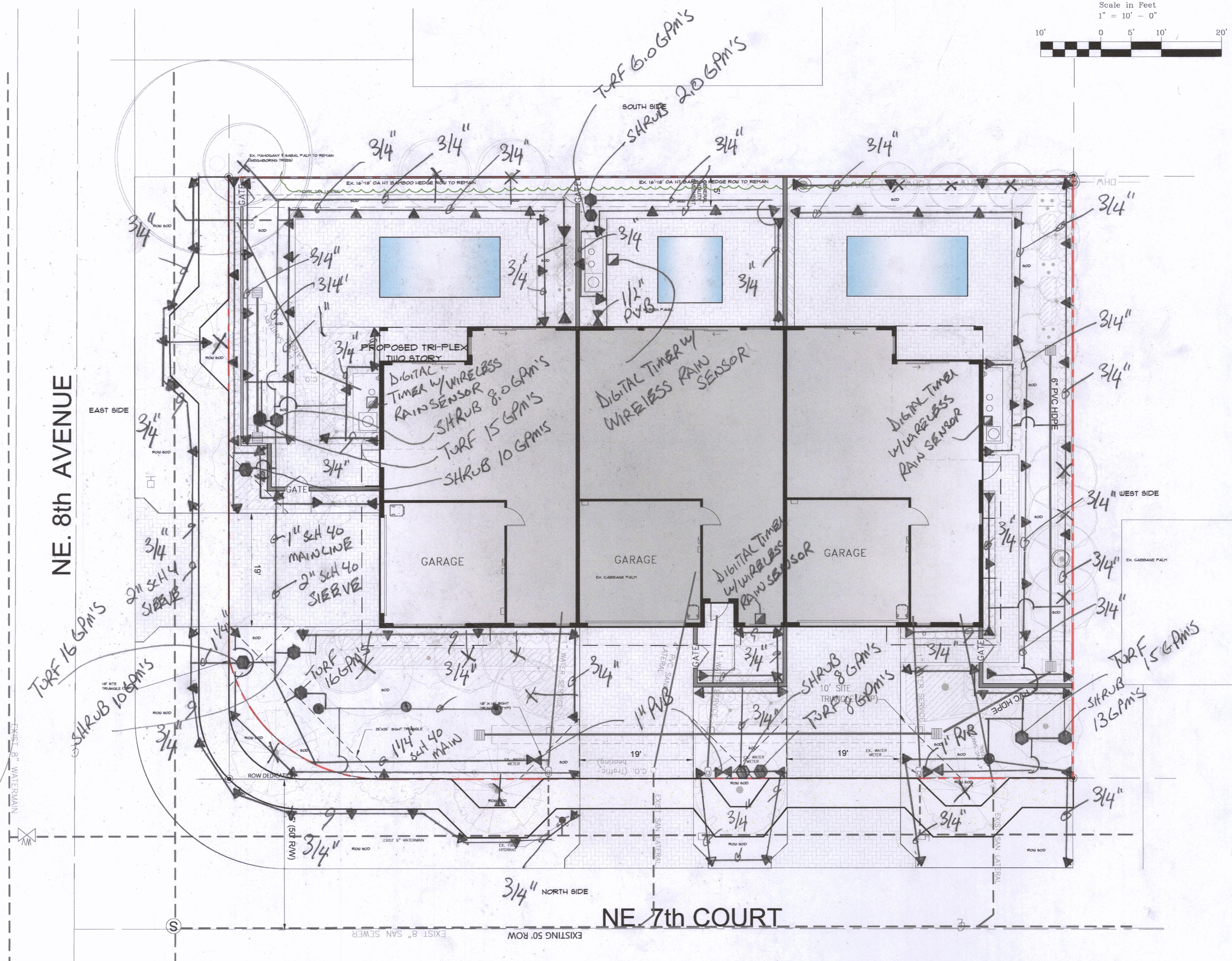
Scale in Feet
" = 10' - 0"



Designed: _____
Drawn: _____
Date: _____
Job No.: _____

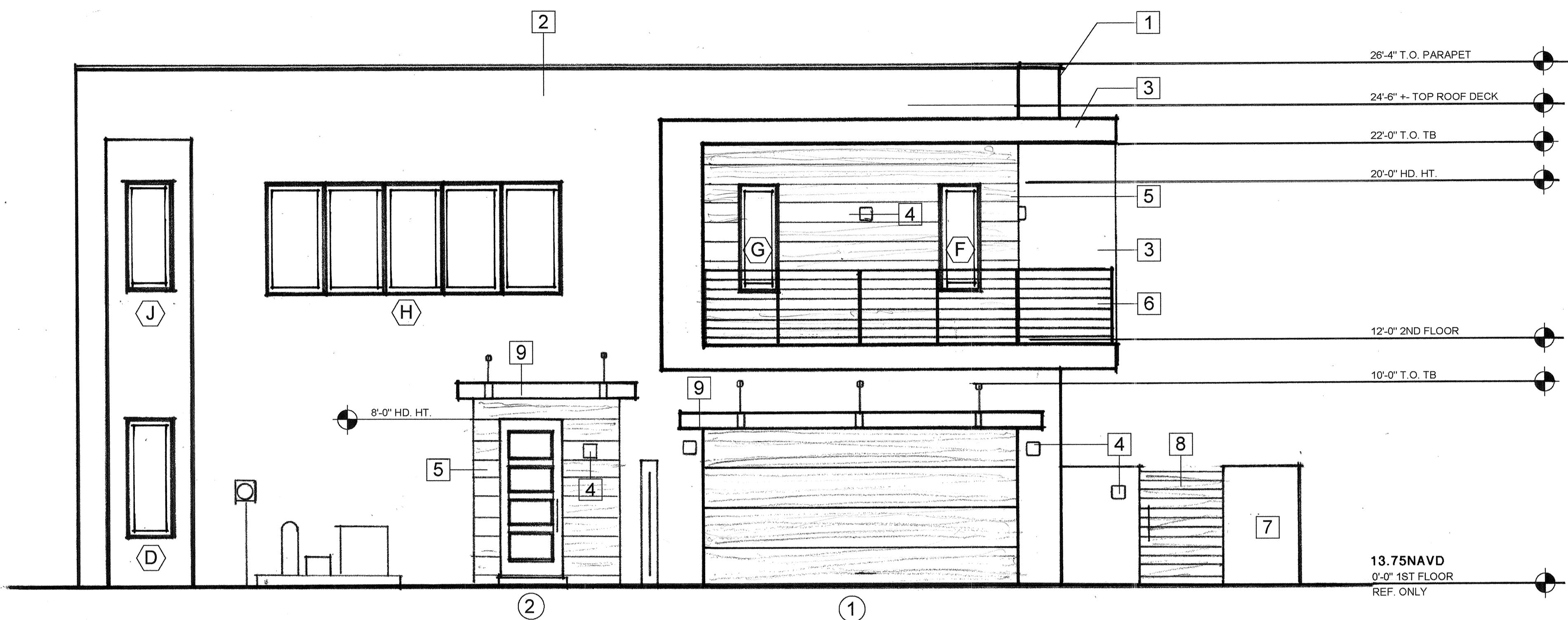
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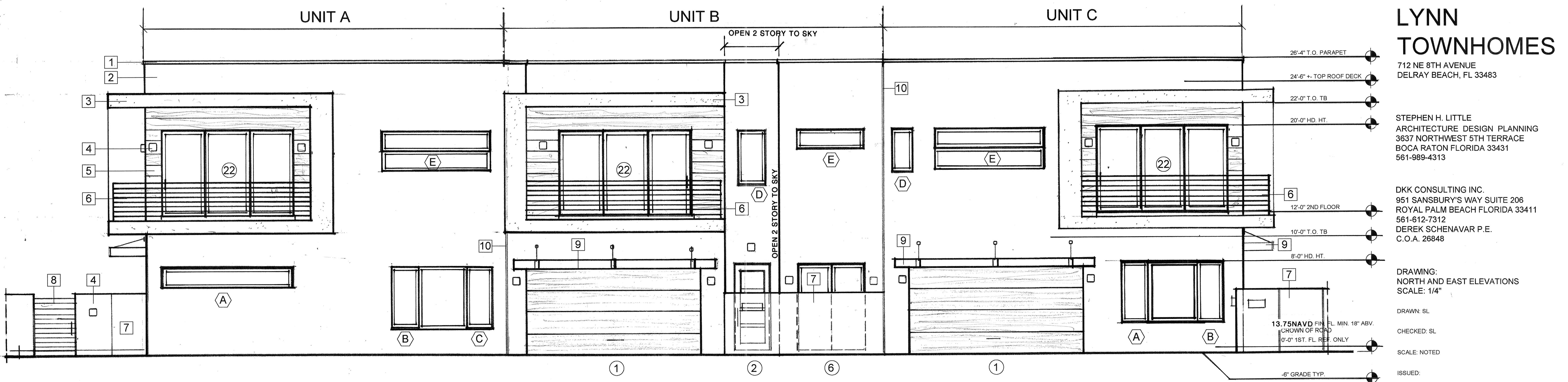


LEFT SIDE EAST ELEVATION

1/4" SCALE

ELEVATION NOTES

1. GALV.METAL PARAPET FLASHING CAP
2. COAT SMOOTH STUCCO ON BLOCK. USE PVC CORNER BEAD AT ALL CONERS
3. BLOCK WING WALL @ BALCONY
4. SCONCE LIGHT TYPICAL VER. HT. PRIOR TO INSTALL
5. CERAMIC TILE WITH PVC EDGE AT ENDS AND CONERS
6. 42"HT AFF ALUM HAND GUARD RAIL AS PER FBC 2020 G.C. TO PROVIDE SHOP DRAWINGS WITH ENGINEERING BY MANUF FOR APPROVAL
7. COAT SMOOTH STUCCO ON BLOCK GARDEN WALL 6FT. HT FROM GRADE
8. ALUM. ENTRY GATE SHOP DRAWINGS BY G.C. FOR APPROVAL
9. ALUM. CANOPY ENGINEERED SHOP DRAWING BY MANUF. FOR FINAL APPROVAL CANOPY NOT TO EXCEED 36' FROM BUILDING FACE.
10. 1/2"PVC EXPANSION JOINT AT EACH UNIT INTERSECTION
11. 8'X8" STRUCTURAL ALUMINUM GUTTER AND DOWNSPOUT WITH SPLASH PAN AS PER FBC 2020 CH.15



FRONT SIDE NORTH ELEVATION

1/4" SCALE

LYNN TOWNHOMES

712 NE 8TH AVENUE
DELRAY BEACH, FL 33483

STEPHEN H. LITTLE
ARCHITECTURE DESIGN PLANNING
3637 NORTHWEST 5TH TERRACE
BOCA RATON FLORIDA 33431
561-989-4313

DKK CONSULTING INC.
951 SANSBURY'S WAY SUITE 206
ROYAL PALM BEACH FLORIDA 33411
561-612-7312
DEREK SCHENAVAR P.E.
C.O.A. 26848

DRAWING:
NORTH AND EAST ELEVATIONS
SCALE: 1/4"

DRAWN: SL

CHECKED: SL

SCALE: NOTED

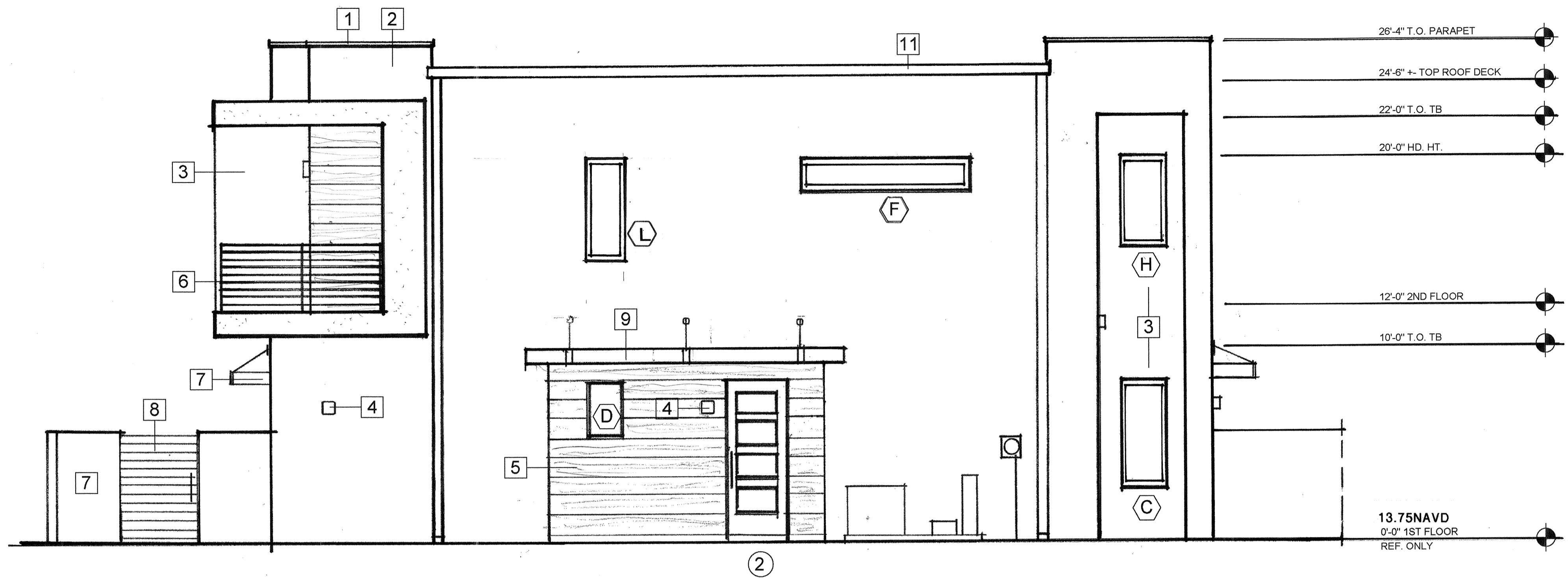
ISSUED:

DATE: 05/18/2021

REVISIONS:
REV. 1 6/10/22 NORTH ELEV. ADD WINDOWS

ELEVATION NOTES

1. GALV. METAL PARAPET FLASHING CAP
2. 2 COAT SMOOTH STUCCO ON BLOCK. USE PVC CORNER BEAD AT ALL CONERS
3. BLOCK WING WALL @ BALCONY
4. SCONCE LIGHT TYPICAL VER. HT. PRIOR TO INSTALL
5. CERAMIC TILE WITH PVC EDGE AT ENDS AND CONERS
6. 42" HT AFF ALUM HAND GUARD RAIL AS PER FBC 2020 G.C. TO PROVIDE SHOP DRAWINGS WITH ENGINEERING BY MANUF. FOR APPROVAL
7. 2 COAT SMOOTH STUCCO ON BLOCK. GARDEN WALL 6FT. HT FROM GRADE
8. ALUM. ENTR. GATE SHOP DRAWINGS BY G.C. FOR APPROVAL
9. ALUM. CANOPY ENGINEERED SHOP DRAWING BY MANUF. FOR FINAL APPROVAL
10. 1/4" PVC EXPANSION JOINT AT EACH UNIT INTERSECTION
11. 8'X8" STRUCTURAL ALUMIN. GUTTER AND DOWNSPOUT WITH SPLASH PAN AS PER FBC 2020 CH. 15



RIGHT SIDE WEST ELEVATION

1/4" SCALE

LYNN TOWNHOMES

712 NE 8TH AVENUE
DELRAY BEACH, FL 33483

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ARCHITECTURE DESIGN PLANNING
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BOCA RATON FLORIDA 33431
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561-612-7312
DEREK SCHENAVAR P.E.
C.O.A. 26848

DRAWING:
SOUTH AND WEST ELEVATIONS
SCALE: 1/4"

DRAWN: SL

CHECKED: SL

SCALE: NOTED

ISSUED:

DATE: 05/18/2021

REVISIONS:

REV.1 6/10/22 WEST ELEV. ADD WINDOW

SOUTH SIDE REAR ELEVATION

1/4" SCALE

