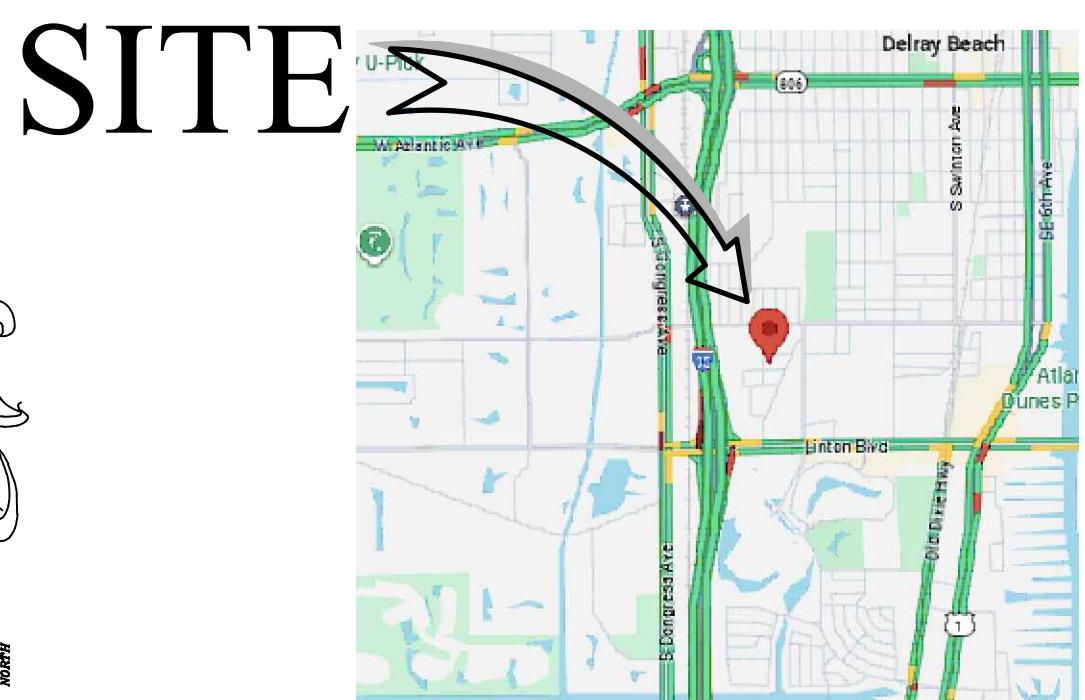


# 1127 POINSETTIA DRIVE

## CITY OF DELRAY BEACH, FLORIDA

### SITE PLAN PAVING, GRADING, & DRAINAGE PLANS

SHEETS	DESCRIPTION
CV1 .....	COVER SHEET
DE1 .....	DEMOLITION PLAN
SP1 .....	SITE PLAN
PD1 .....	PAVING, GRADING, AND DRAINAGE PLAN
PD2 .....	SWEPT PATH PLAN
PD3 .....	PAVING, GRADING, AND DRAINAGE DETAILS
PD4 .....	CITY OF DELRAY BEACH DETAILS
PP1 .....	POLLUTION PREVENTION PLAN



### LOCATION MAP

SEC. 20, TWP. 46S, RGE. 43E N.T.S.

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DATE 10-29-25  
DRAWN BY BR  
F.B./ PG.  
SCALE n/a

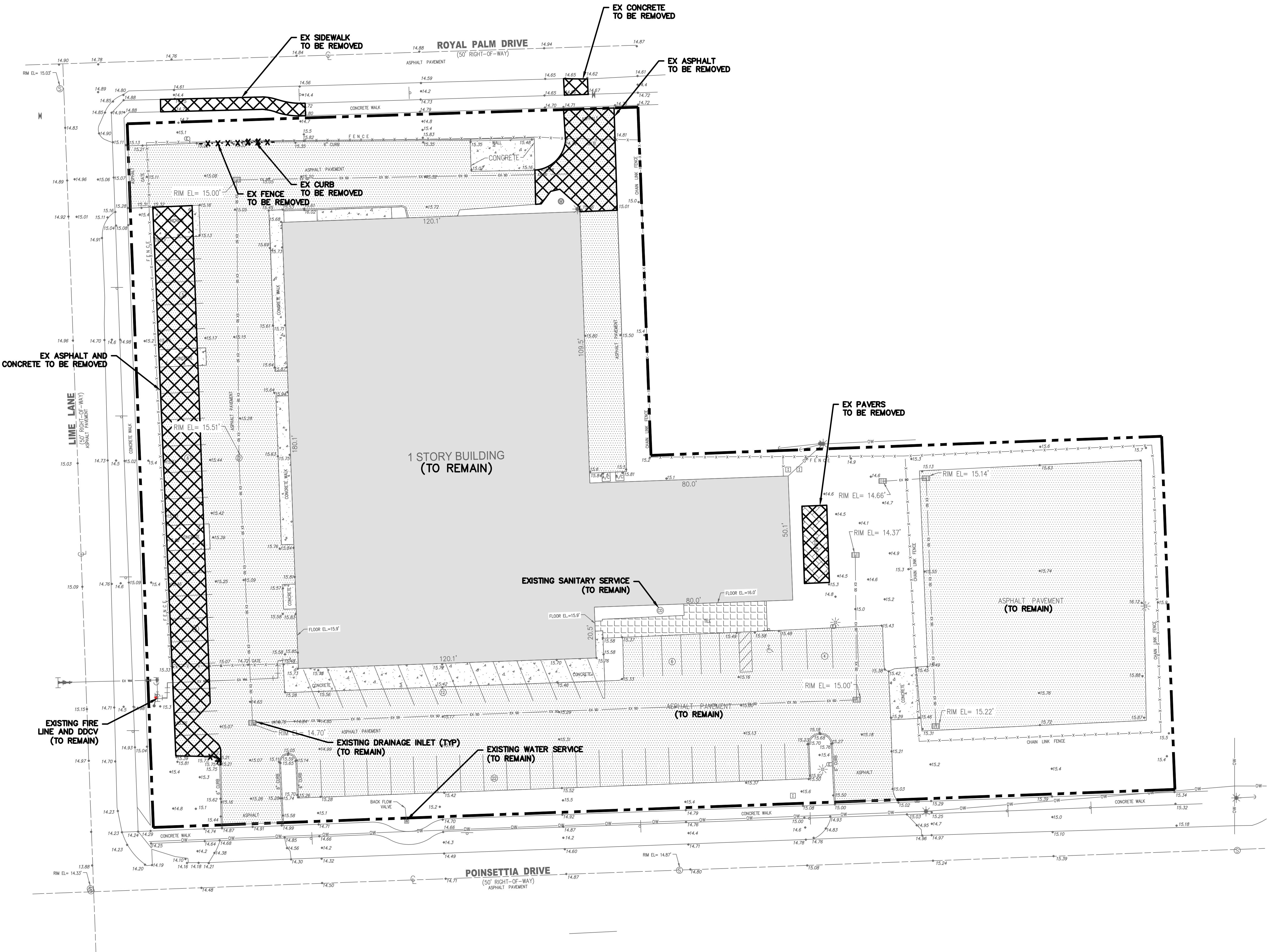
JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSE NO. 25478  
STATE OF FLORIDA  
ENG NO. EB-0003591  
DATE

JOB # 11344  
SHT.NO. CV1  
OF 8 SHEETS

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)392-1991 / FAX (561)750-1452

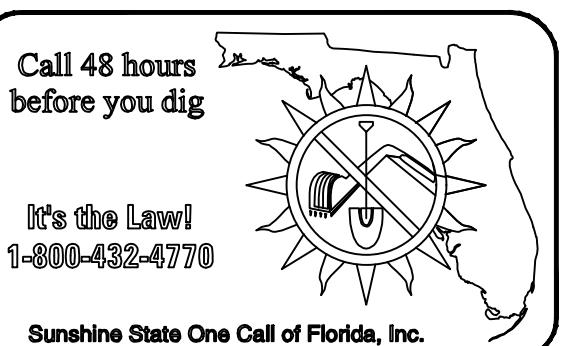
Cover Sheet  
1127 POINSETTIA DRIVE  
City of Delray Beach, Florida

REVISIONS  
FILE NAME: 11344 ENG.dwg  
DATE BY



GRAPHIC SCALE  
(IN FEET)  
1 inch = 20 ft.

LEGEND	
EX WM	EXISTING WATER LINE
EX GV	EXISTING GATE VALVE
EX SS	EXISTING SANITARY SEWER LINE
EX DS	EXISTING DRAINAGE SYSTEM
EX BD	EXISTING BUILDING
EX AP	EXISTING ASPHALT PAVEMENT
PRO AP	PROPOSED ASPHALT PAVEMENT
EX CO	EXISTING CONCRETE
EX PA	EXISTING PAVERS
PRO SP	PROPOSED STORAGE/PARKING AREA
PROPERTY BOUNDARY	
EXISTING FENCE	
PROPOSED FENCE	



NOTE:  
CONTRACTOR TO VERIFY  
DEPTH AND LOCATION OF  
EXISTING UTILITIES PRIOR  
TO ANY CONSTRUCTION.

## Demolition Plan

1127 POINSETTIA DRIVE  
City of Delray Beach, Florida

DATE 10-29-25  
DRAWN BY BR  
F.B./ PG.  
SCALE 1" = 20'

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JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSE NO. 25478  
STATE OF FLORIDA  
SHEET NO. EB-0003591  
DATE

JOB # 11344  
SHEET NO.  
DE1  
OF 8 SHEETS

NOTE: ELEVATIONS ARE NAVD 88

PARKING CALCULATIONS			
DESCRIPTION		REQUIRED	PROVIDED
ON-SITE PARKING	STANDARD SPACE (OFFICE (4,000 SF) 1/1000 SF)	12 SPACES	12 SPACES
	STANDARD SPACE (OFFICE ADDITIONAL 3.5/1000 SF)	4 SPACES	4 SPACES
	STANDARD SPACE (WAREHOUSE ADDITIONAL 1/1000 SF)	22 SPACES	32 SPACES
	ACCESSIBLE SPACES	1 SPACE	1 SPACE
	TOTAL	39 SPACES	44 SPACES
BICYCLE	STANDARD SPACES	2	2

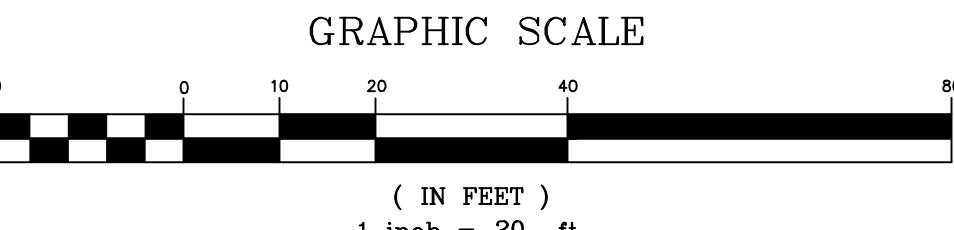
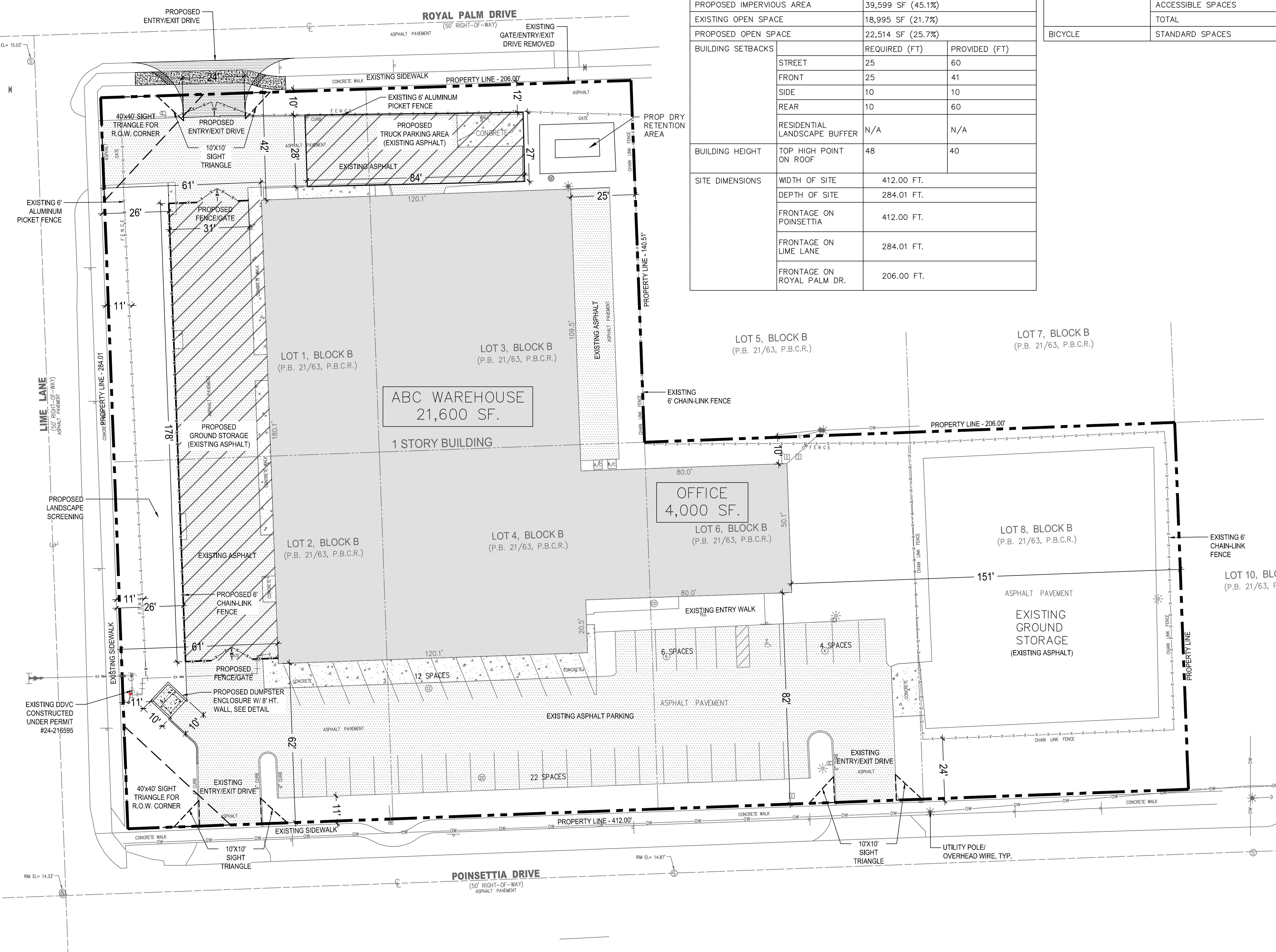
SITE DATA					
ZONING	MIXED INDUSTRIAL AND COMMERCIAL (MIC)				
LAND USE	COMMERCE (CMR)				
SITE CALCULATIONS	87,755 SF (2.0146 ACRES)				
BUILDING AREA	25,600 SF (29%)				
FLOOR AREA RATIO	ALLOWED	PROVIDED			
	52,653 SF (60%)	25,600 SF (29.2%)			
EXISTING IMPERVIOUS AREA	43,118 SF (49.1%)				
PROPOSED IMPERVIOUS AREA	39,599 SF (45.1%)				
EXISTING OPEN SPACE	18,995 SF (21.7%)				
PROPOSED OPEN SPACE	22,514 SF (25.7%)				
BUILDING SETBACKS		REQUIRED (FT)	PROVIDED (FT)		
	STREET	25	60		
	FRONT	25	41		
	SIDE	10	10		
	REAR	10	60		
	RESIDENTIAL LANDSCAPE BUFFER	N/A	N/A		
BUILDING HEIGHT	TOP HIGH POINT ON ROOF	48	40		
SITE DIMENSIONS	WIDTH OF SITE	412.00 FT.			
	DEPTH OF SITE	284.01 FT.			
	FRONTAGE ON POINSETTIA	412.00 FT.			
	FRONTAGE ON LIME LANE	284.01 FT.			
	FRONTAGE ON ROYAL PALM DR.	206.00 FT.			

## **LAND DESCRIPTION:**

Lots 1 through 4, 6 and 8, Block B, SUNNY ACRES, according to the Plat thereof as recorded in Plat Book 21, Page 63 of the Public Records of Palm Beach County, Florida

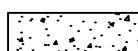
Said lands situate in the Palm Beach County, Florida containing 87,755 square feet (2.0146 acres) more or less.

## ZONED MIC – MIXED INDUSTRIAL AND COMMERCIAL

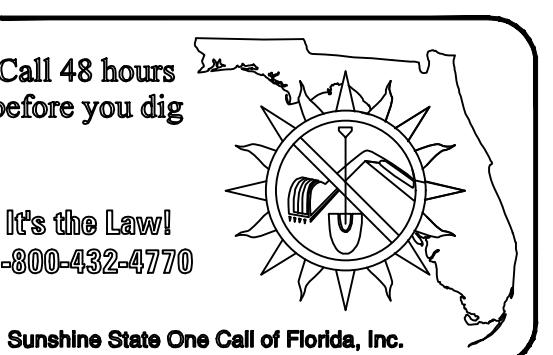


## LEGEND

## LEGEND

- EX WM — EXISTING WATER LINE
- X — EX WM — EXISTING GATE VALVE
- EX SS — EXISTING SANITARY SEWER LINE
- EX SD — EXISTING DRAINAGE SYSTEM
-  EXISTING BUILDING
-  EXISTING ASPHALT PAVEMENT
-  PROPOSED ASPHALT PAVEMENT
-  EXISTING CONCRETE
-  EXISTING PAVERS
-  PROPOSED STORAGE/PARKING AREA
- — — PROPERTY BOUNDARY
- X — X — X — X — X — EXISTING FENCE
- X — X — X — X — X — PROPOSED FENCE

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**NOTE:** CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

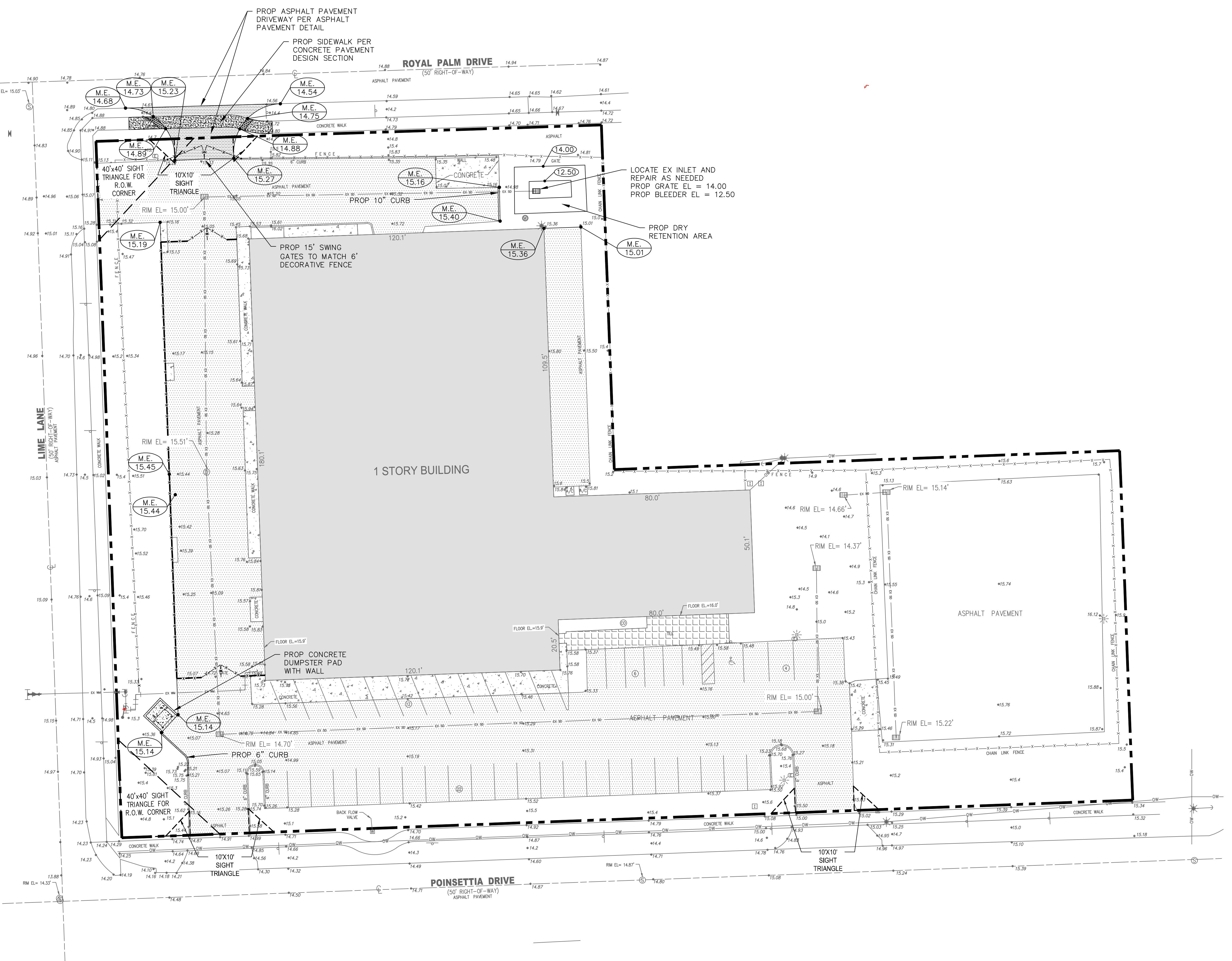
# 1127 PONSETTIA DRIVE City of Delray Beach, Florida

## Site Plan

DATE	10-29-2
DRAWN BY	B
F.B. / PG.	
SCALE	1" = 2

JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSE NO. 2547  
STATE OF FLORIDA  
ENG NO. EB-00035

JOB # 11344  
SHT.NO.  
SP1  
OF 8 SHEETS



Paving, Grading, and Drainage Plan  
1127 POINSETTIA DRIVE  
City of Delray Beach, Florida

DATE 10-29-25  
DRAWN BY BR  
F.B./ PG.  
SCALE 1" = 20'

JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSE NO. 25478  
STATE OF FLORIDA  
ENG NO. EB-0003591  
DATE

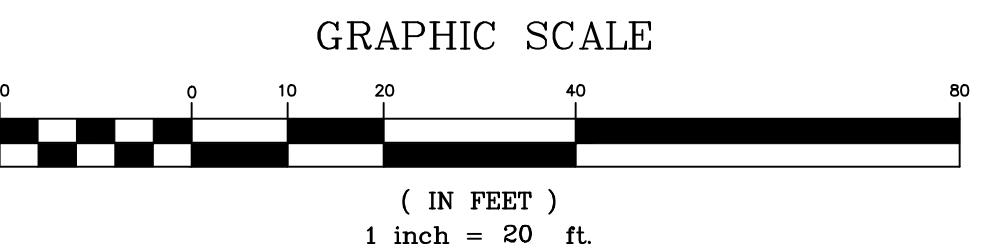
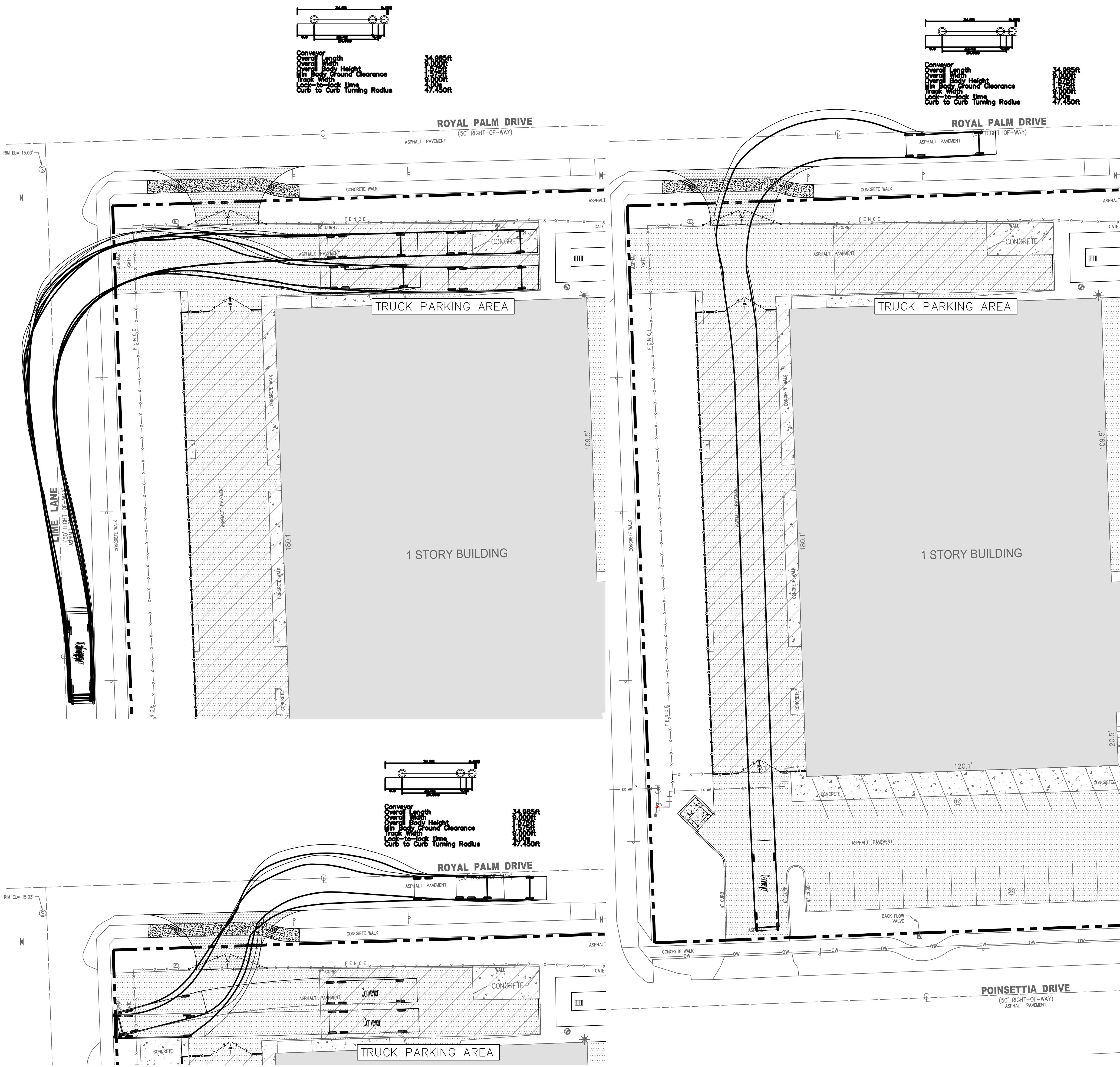
JOB # 11344  
SHT.NO. PD1  
OF 8 SHEETS

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FILE NAME: 11344 ENG.dwg  
REVISIONS  
FILE NAME: 11344 ENG.dwg  
DATE 10-29-25  
BY

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33454  
PHONE (561)392-1991 / FAX (561)750-1452

**NOTE:** ELEVATIONS ARE NAVD 88



## GRAPHIC SCALE

( IN FEET )

## LEGEND

EXISTING WATER LINE  
EXISTING GATE VALVE  
EXISTING SANITARY SEWER LINE  
EXISTING DRAINAGE SYSTEM

EXISTING BUILDING

EXISTING ASPHALT PAVEMENT

PROPOSED ASPHALT PAVEMENT

EXISTING CONCRETE

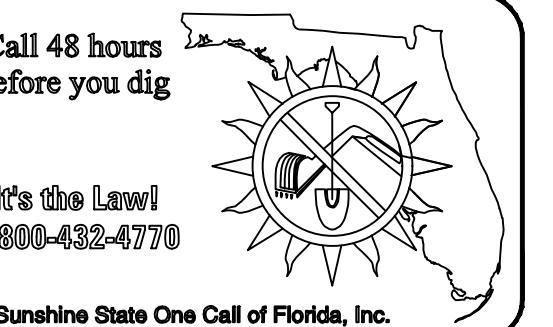
EXISTING PAVERS

PROPOSED STORAGE/PARKING AREA

PROPERTY BOUNDARY

EXISTING FENCE

PROPOSED FENCE



Call 48 hours  
before you dig

**NOTE:**  
CONTRACTOR TO VERIFY  
DEPTH AND LOCATION OF  
EXISTING UTILITIES PRIOR  
TO ANY CONSTRUCTION.

## Swept Path Plan

# 11127 POINSETTIA DRIVE

## Swept Path Plan

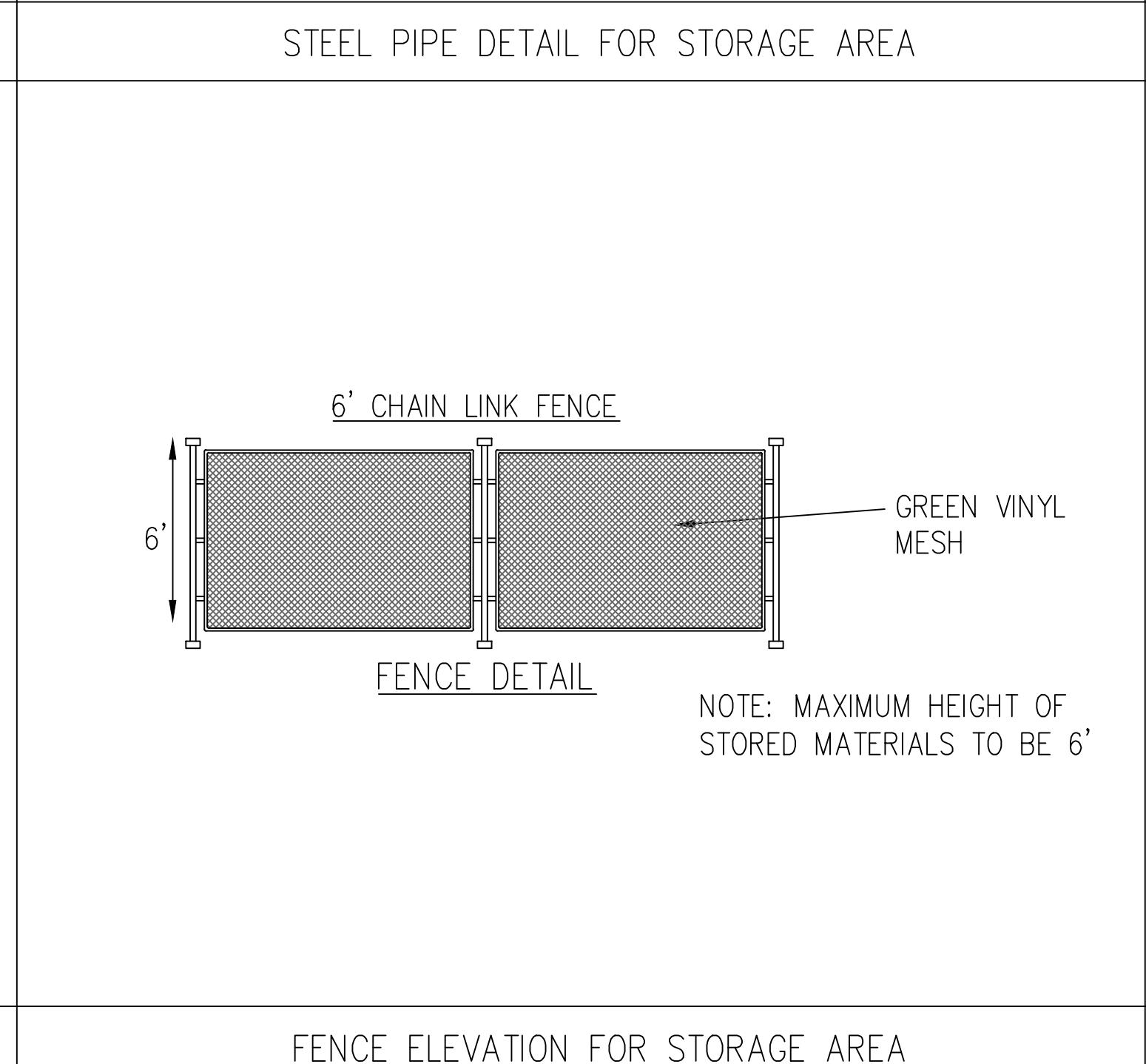
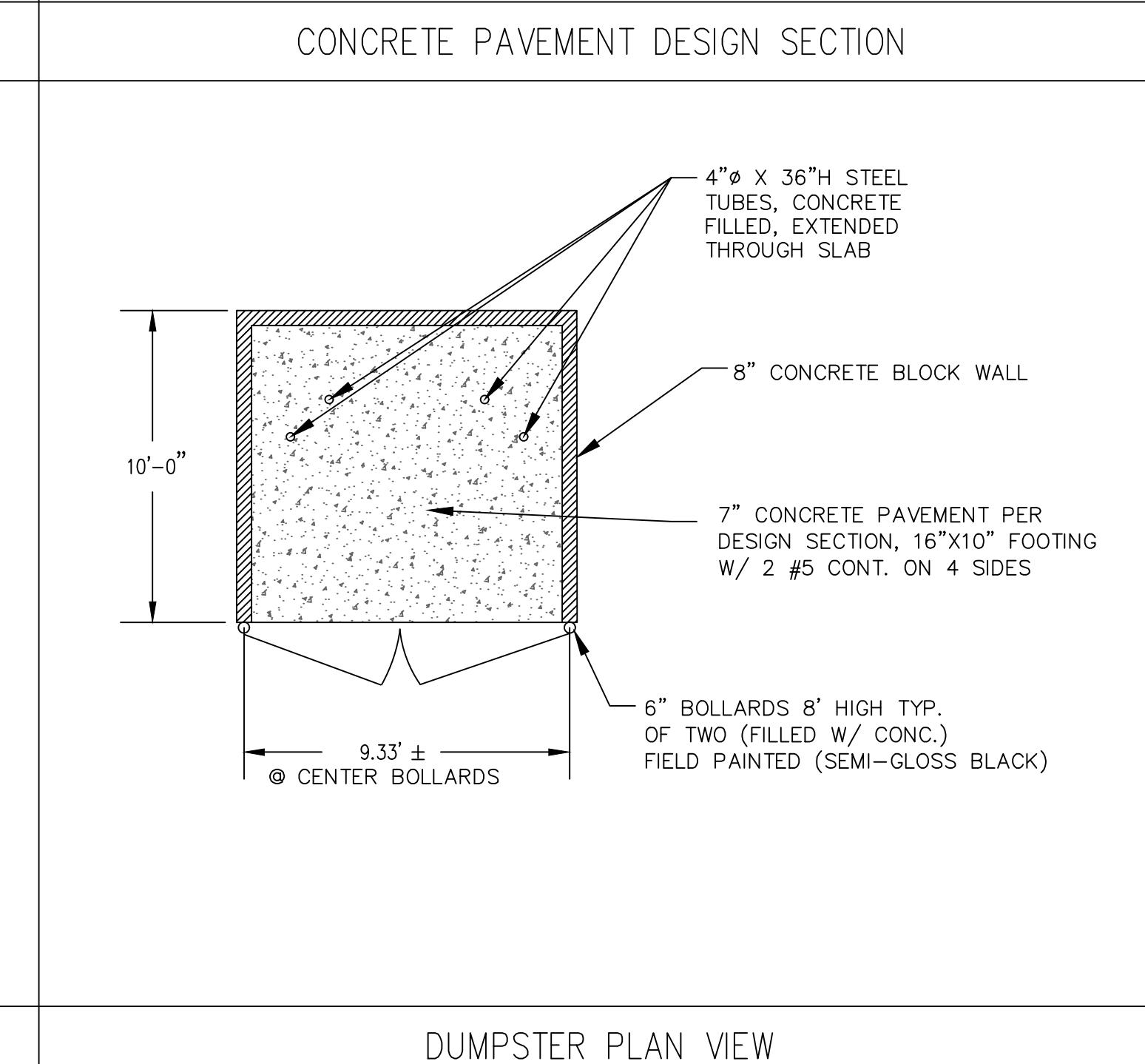
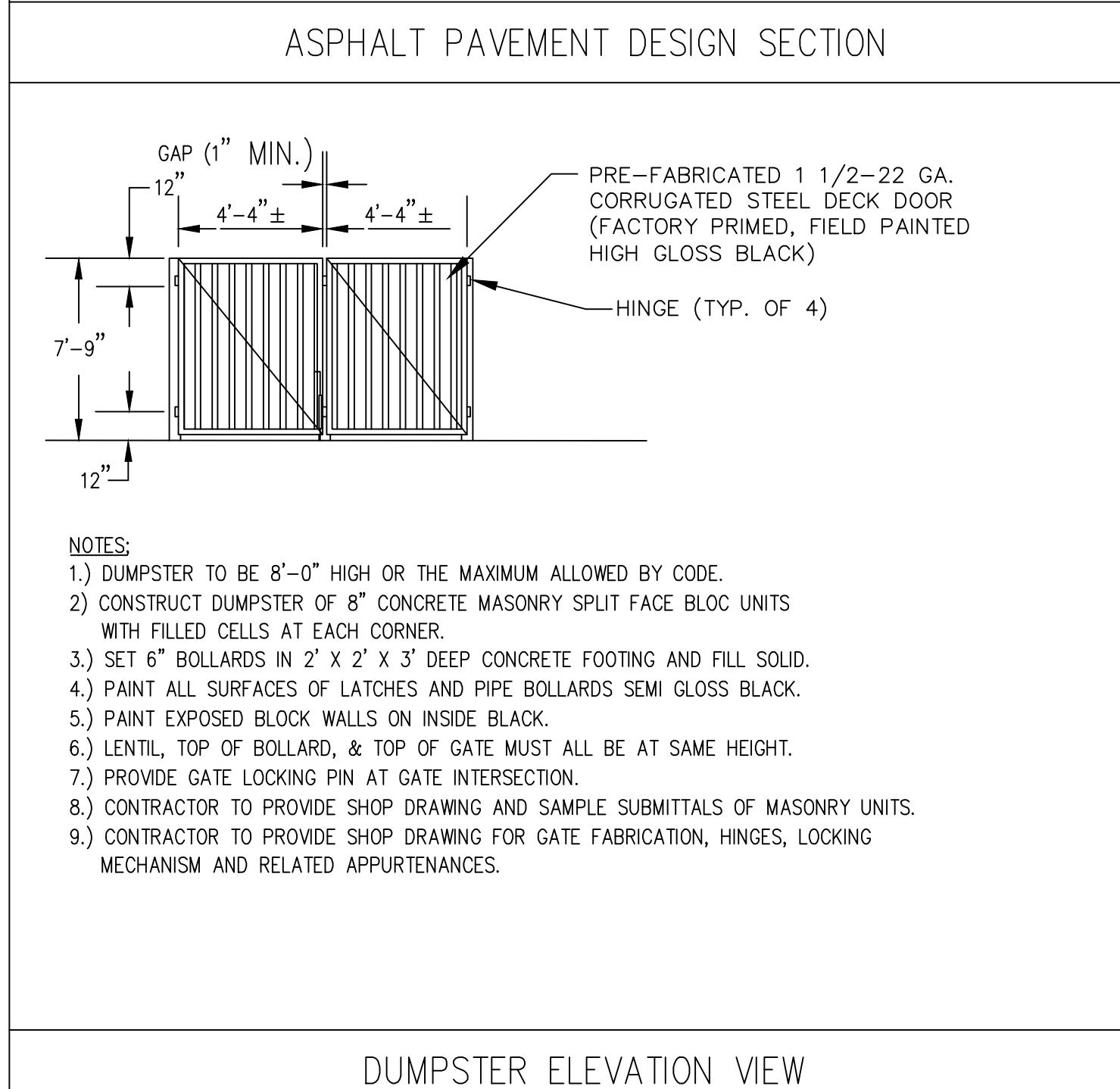
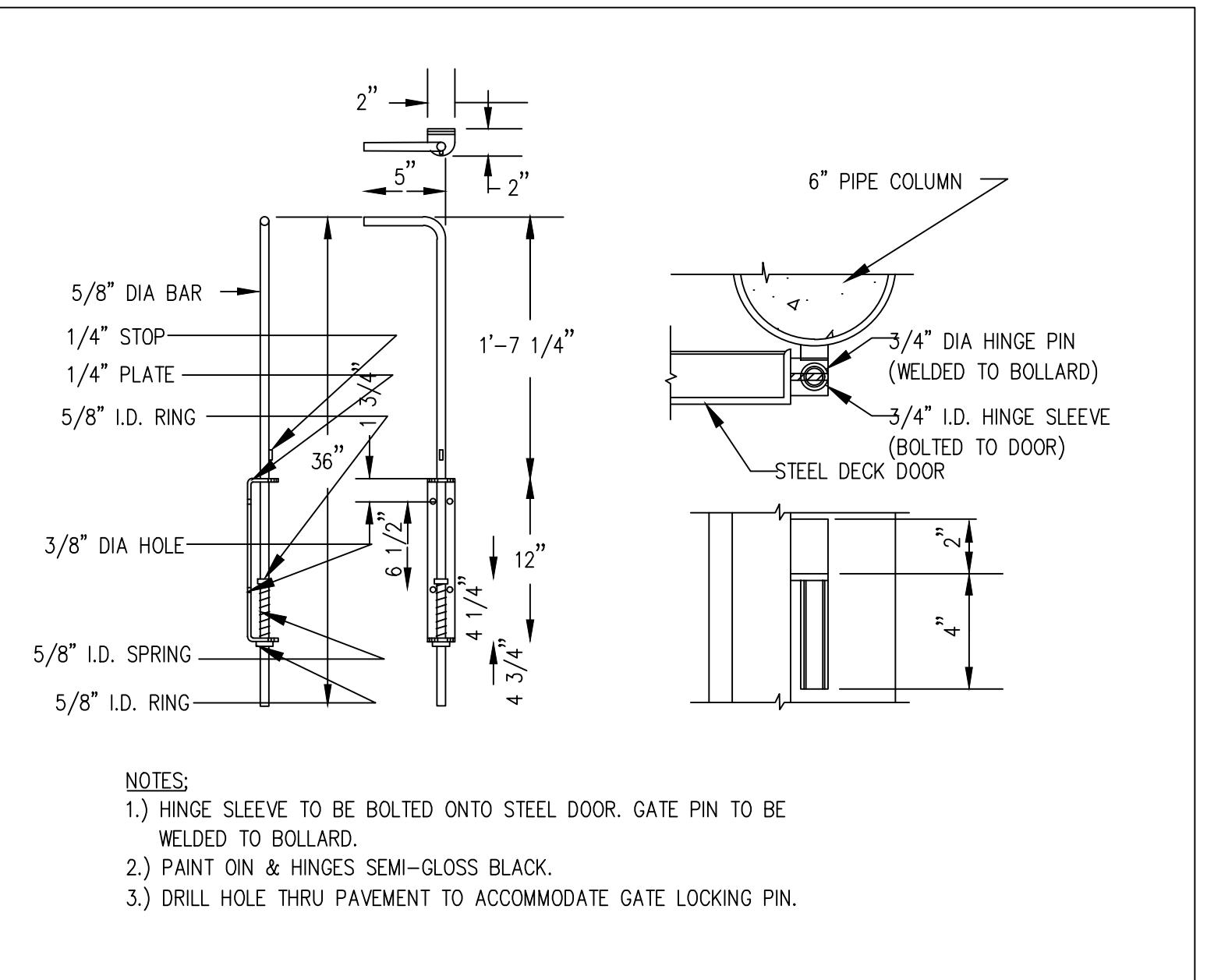
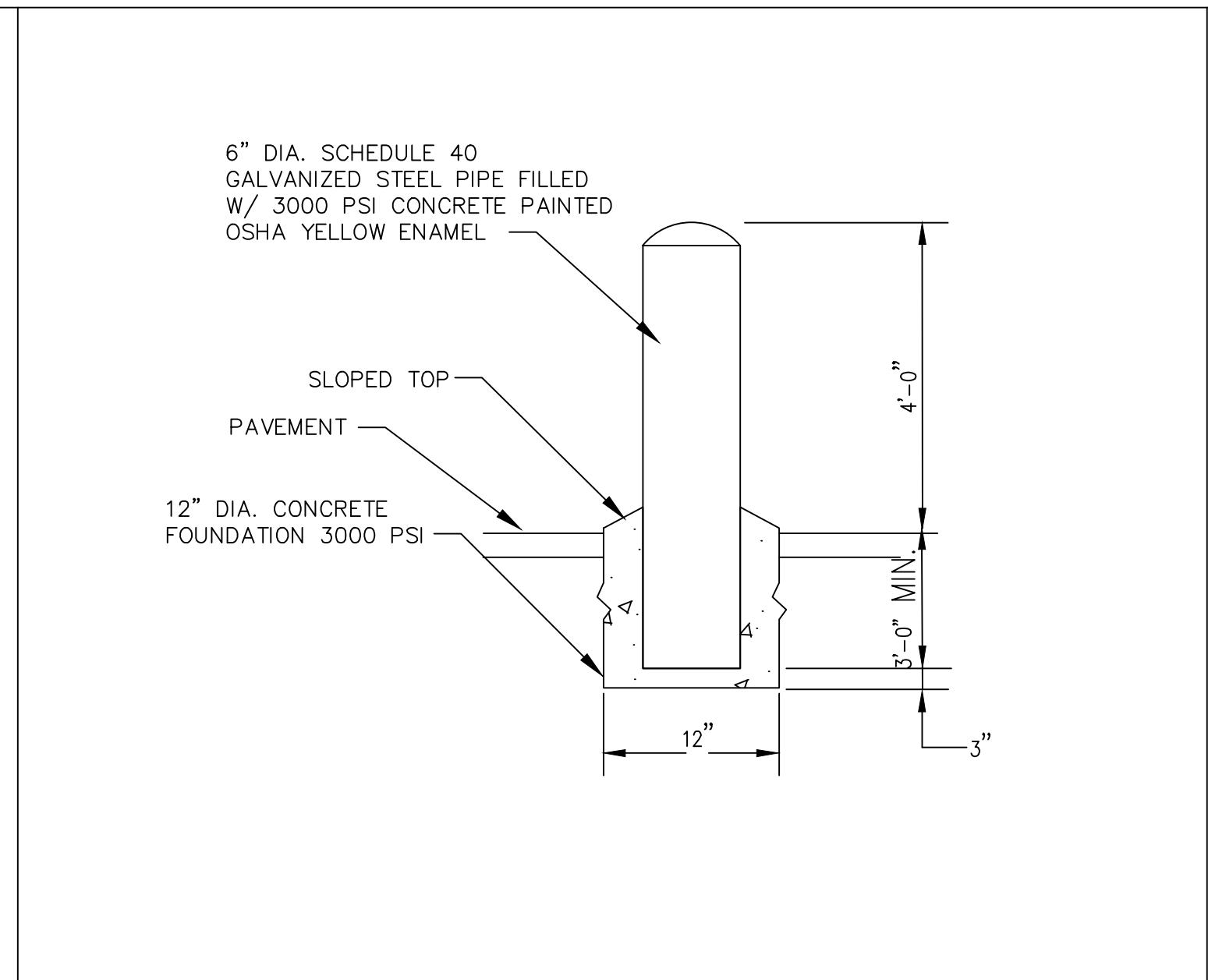
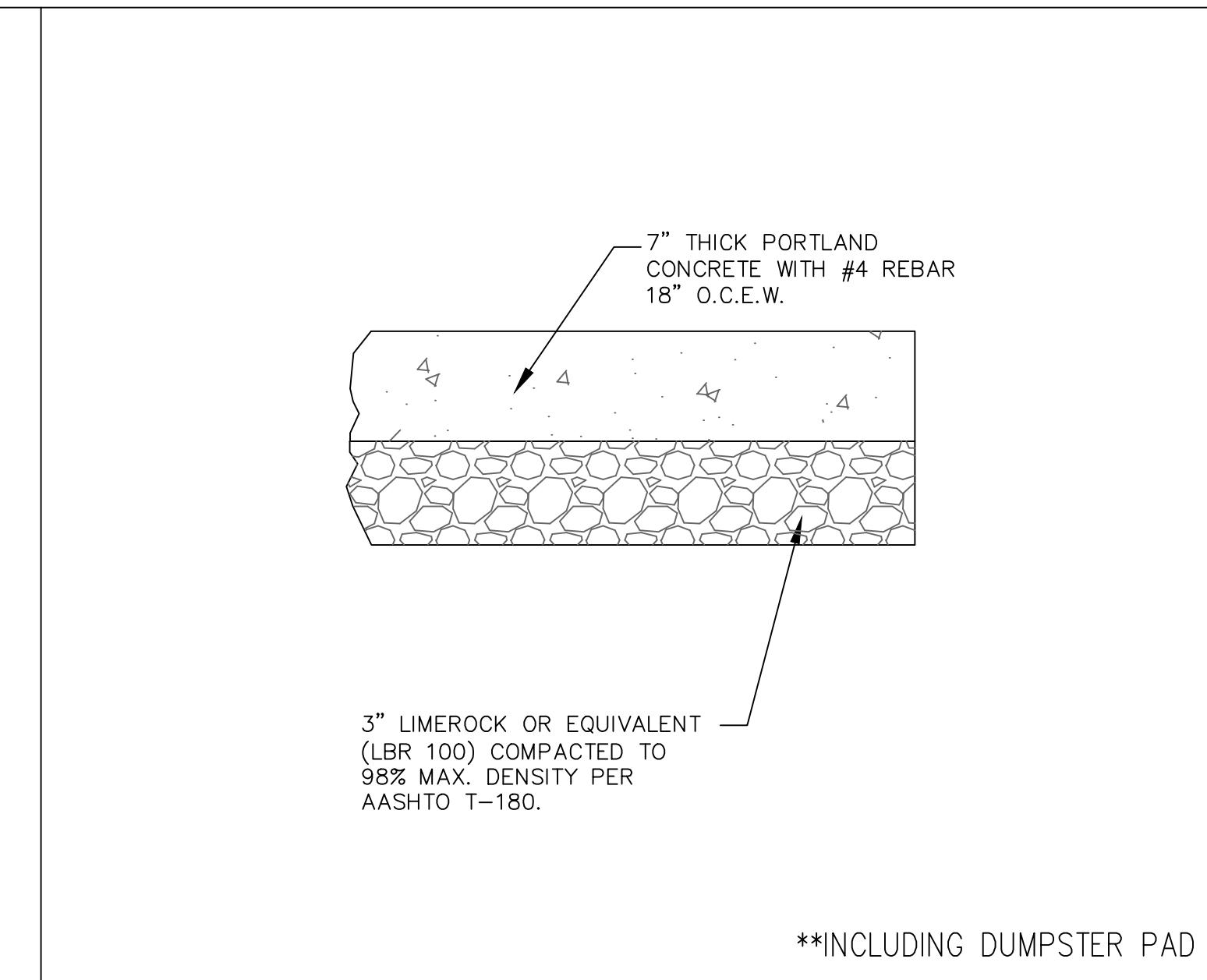
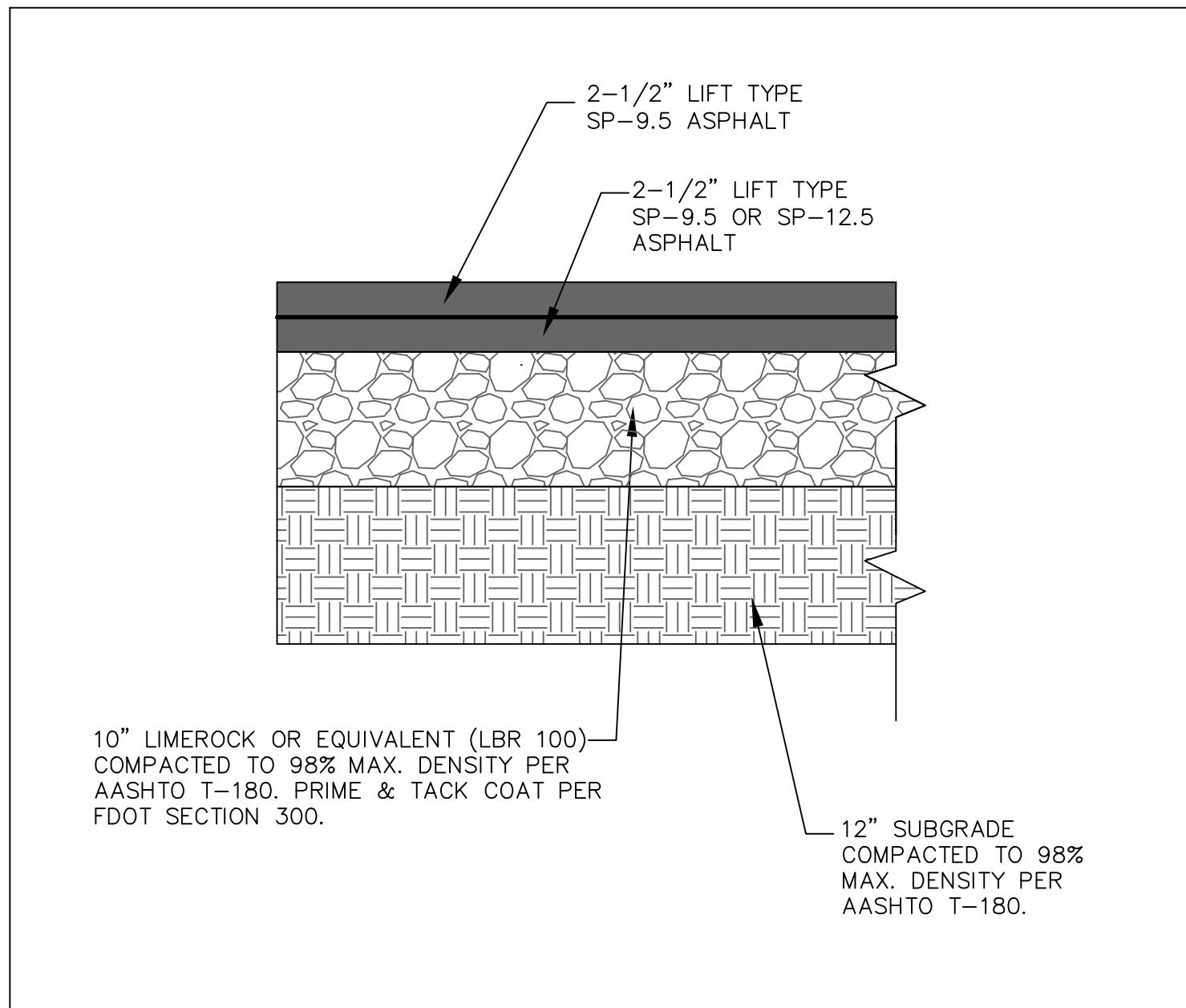
1127 PINSETTIA DRIVE

DATE	10-29
DRAWN BY	
F.B.I. / PG.	
SCALE	1"

JOHN  
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STAT  
ENG N  
DATE

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JOB # 1134	
SHT.NO.	
PD2	
OF	8 SHEE



DATE: 11/21/2025  
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F.B./ PG.  
SCALE: NA  
REVISIONS: 1  
FILE NAME: 11344 ENG.dwg

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33432  
PHONE (561)392-1991 / FAX (561)750-1452

Paving Grading and Drainage Details  
1127 POINSETTIA DRIVE  
City of Delray Beach, Florida

DATE: 10-29-25  
DRAWN BY: BR  
F.B./ PG.  
SCALE: NA

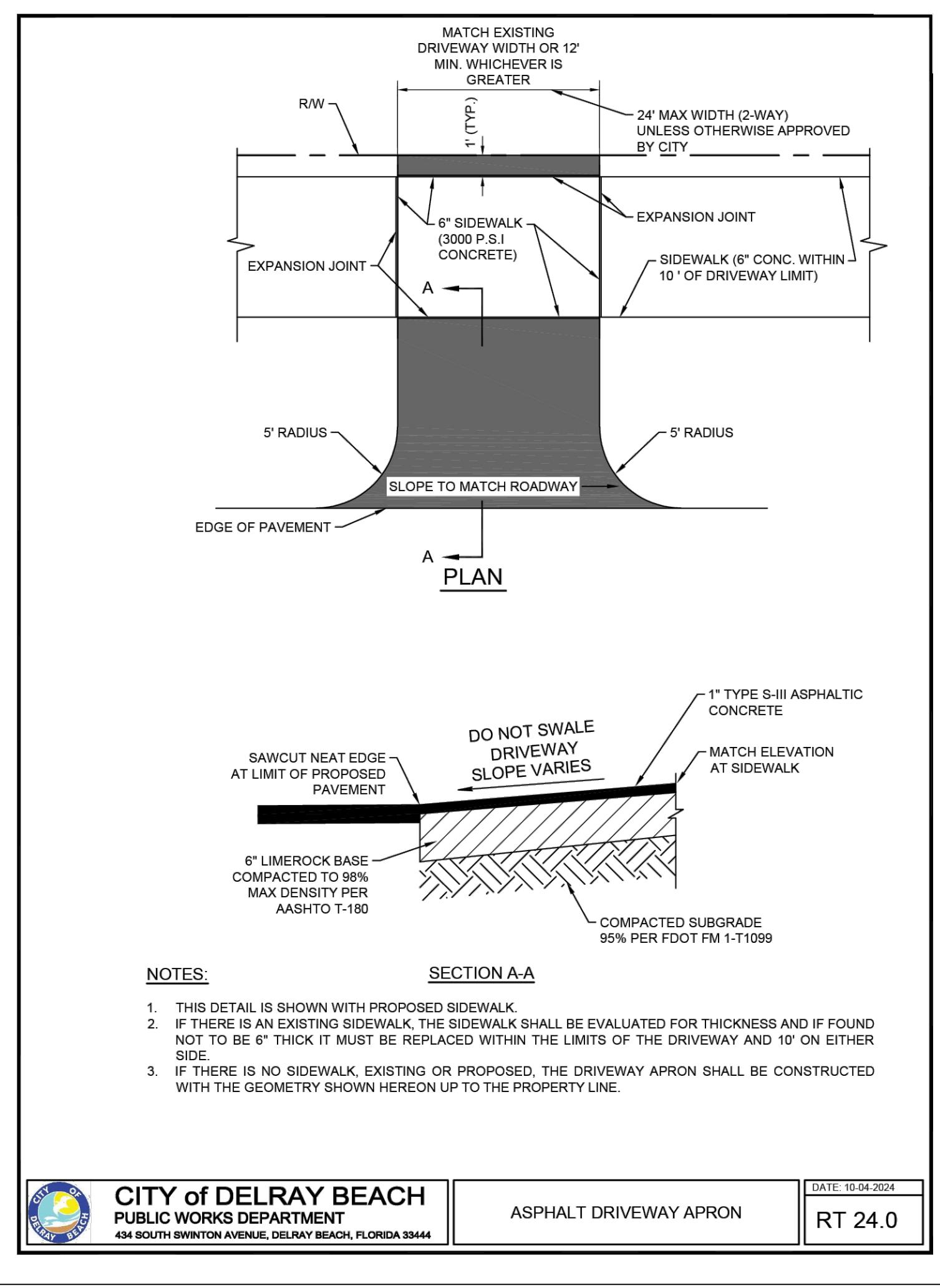
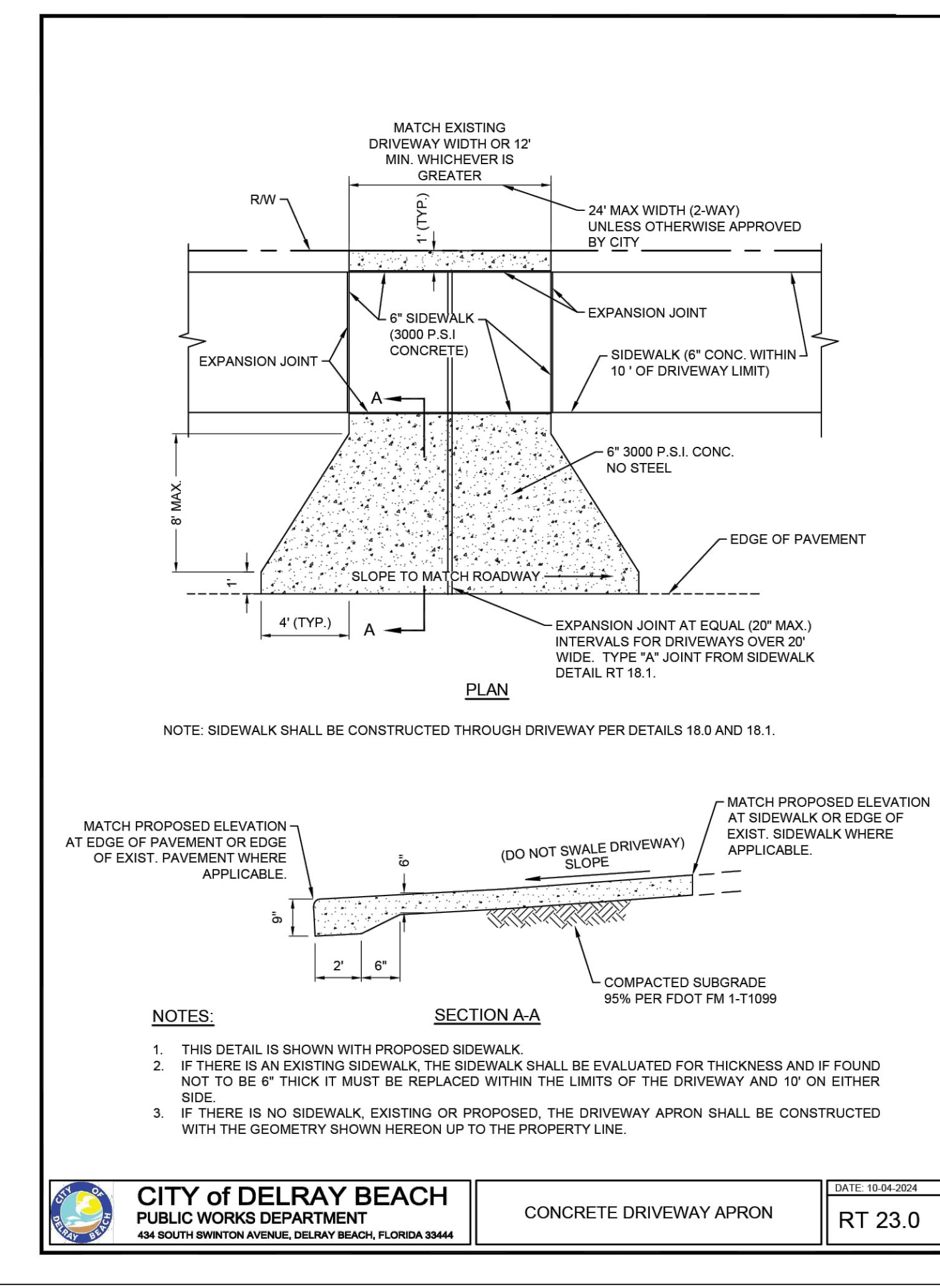
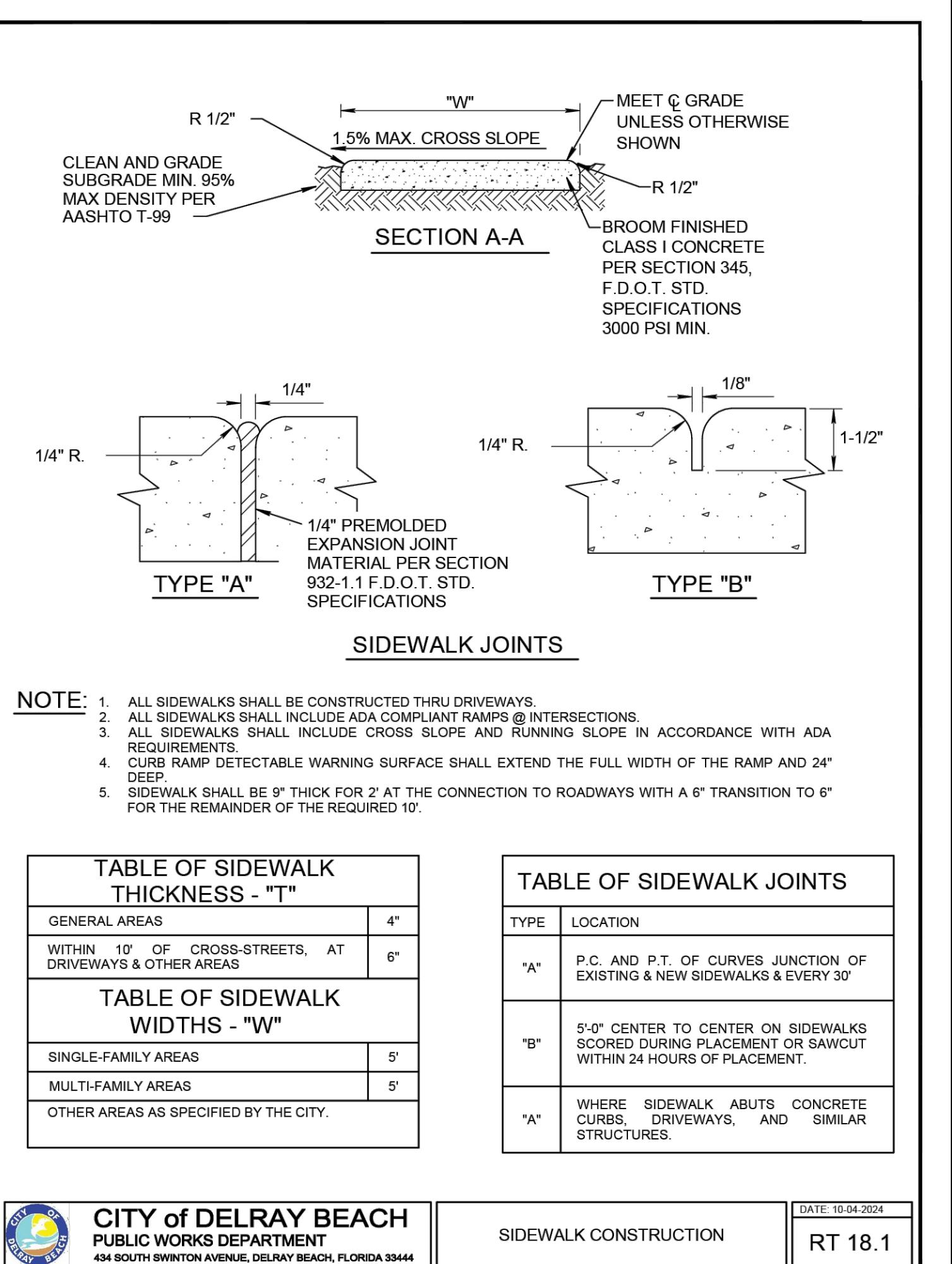
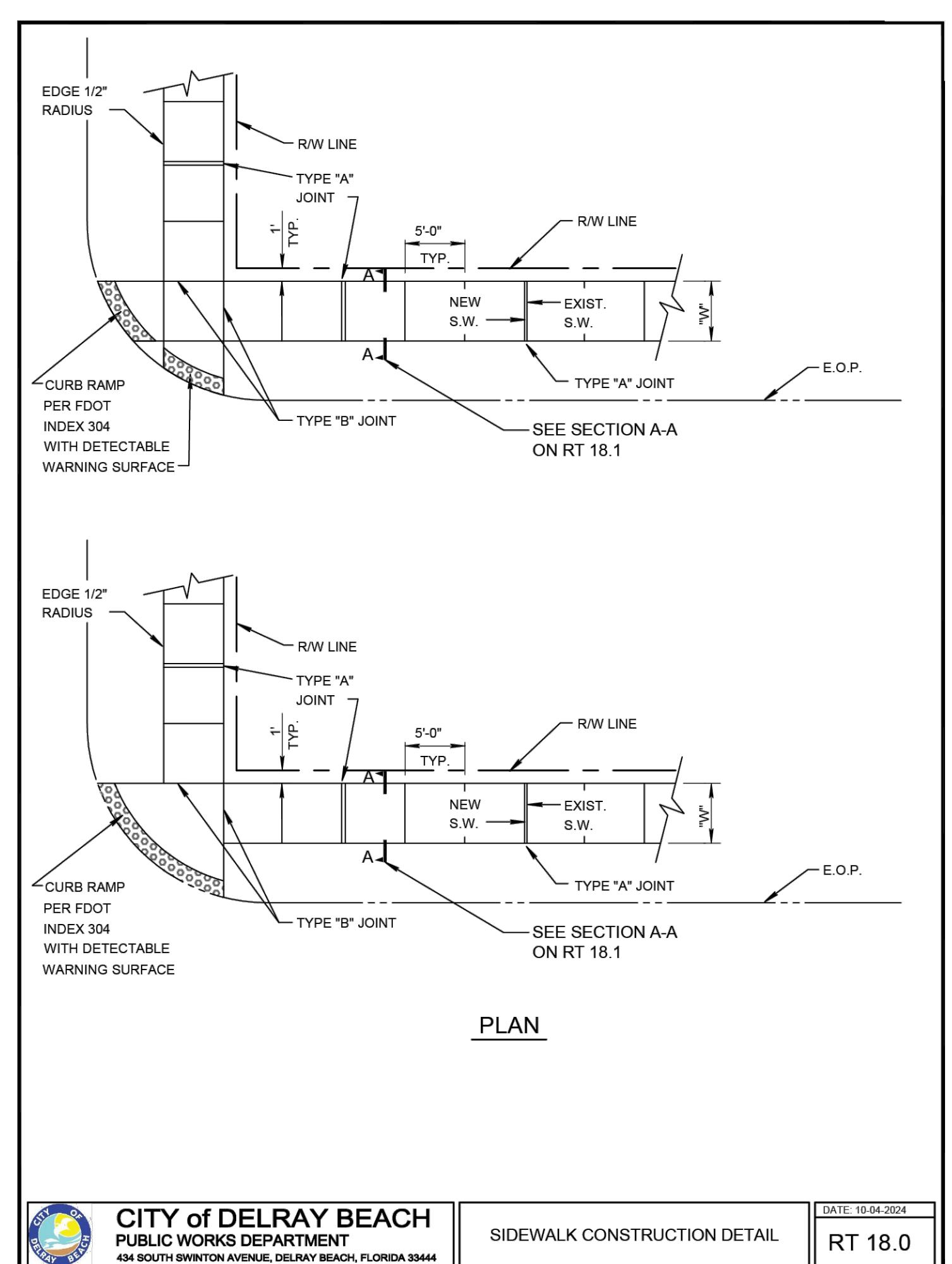
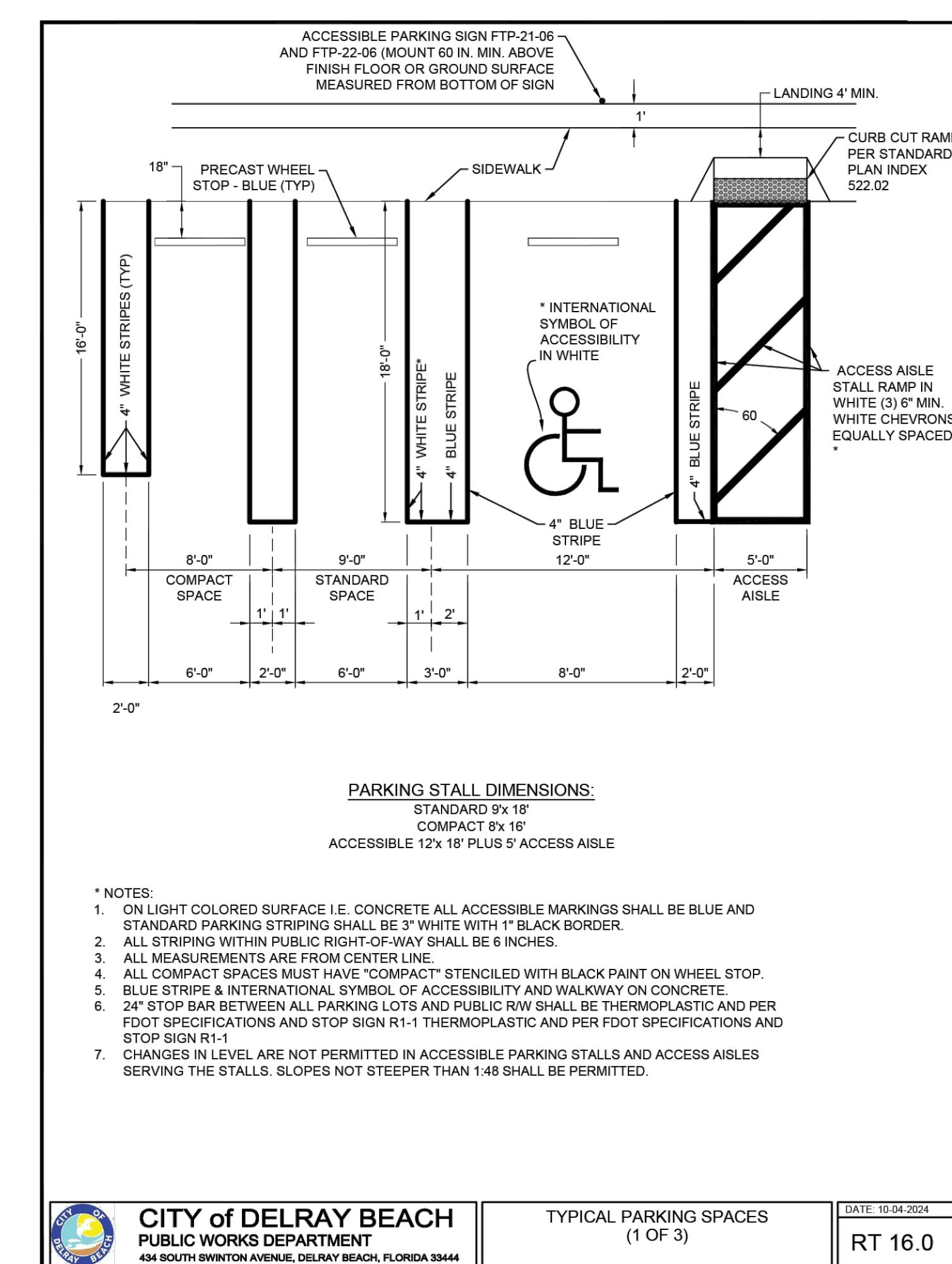
JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSURE NO. 25478  
STATE OF FLORIDA  
ENG NO. EB-0003591  
DATE

JOB # 11344  
SHT.NO. PD3  
OF 8 SHEETS

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FILE NAME: 11344 ENG.dwg  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33454  
PHONE (561) 392-1991 / FAX (561) 750-1452

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33454  
PHONE (561) 392-1991 / FAX (561) 750-1452



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LICENSE NO. 25478  
STATE OF FLORIDA  
ENG. NO. EB-0003591  
DATE

JOB # 11344  
SHT.NO. PD4  
OF 8 SHEETS

City of Delray Beach Details  
1127 PONSETTIA DRIVE  
City of Delray Beach, Florida

NOTE: ELEVATIONS ARE NAVD 88

## DEFINITIONS

1. COUNTY - N/A
2. CITY - DELRAY BEACH
3. CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
4. ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

## PROCEDURE

1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE COUNTY PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.
4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE COUNTY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE COUNTY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
10. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY AND/OR COUNTY A MINIMUM OF 24 HOURS IN ADVANCE.
11. CONTRACTOR SHALL NOT DISTURB EXISTING COUNTY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A COUNTY INSPECTOR. COUNTY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY COUNTY PERSONNEL.
12. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY & COUNTY.
13. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
14. PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL NO. T-PP-17 (LATEST REVISION) UNLESS SHOWN OTHERWISE.
15. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY & COUNTY.
16. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
17. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
18. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
19. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMAN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
20. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
21. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTOR'S EXPENSE.
22. CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
23. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.
24. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE COUNTY PRIOR TO PLACEMENT OF FINAL MARKING.
25. EMBANKMENT (FIL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
26. CONTINUITY OF WATER AND SEWER SERVICE TO COUNTY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE COUNTY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE COUNTY.
27. SITE INFORMATION BASED ON A SURVEY PREPARED BY: AVIROM & ASSOCIATES, INC.
28. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING LAND SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 392-1991 / FAX (561) 750-1452

Pollution Prevention Plan  
1127 PONSETTIA DRIVE  
City of Delray Beach, Florida

DATE 10-29-25  
DRAWN BY BR  
F.B./ PG.  
SCALE 1" = 40'

JOHN F. WHEELER  
PROFESSIONAL ENGINEER  
LICENSE NO. 25478  
STATE OF FLORIDA  
ENG NO. EB-0003591  
DATE

JOB # 11344  
SHT.NO. PP1  
OF 8 SHEETS

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