

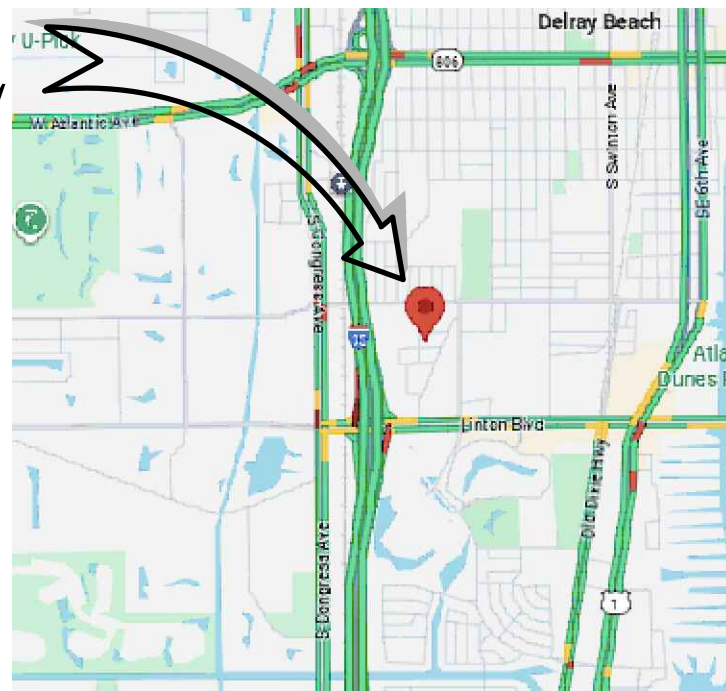
NOTE: ELEVATIONS ARE NAVD 88

PERMIT SET

1127 POINSETTIA DRIVE
CITY OF DELRAY BEACH, FLORIDA

SITE PLAN PAVING, GRADING, & DRAINAGE PLANS

<u>SHEETS</u>	<u>DESCRIPTION</u>
CV1	COVER SHEET
DE1	DEMOLITION PLAN
SP1	SITE PLAN
PD1	PAVING, GRADING, AND DRAINAGE PLAN
PD2	SWEPT PATH PLAN
PD3	PAVING, GRADING, AND DRAINAGE DETAILS
PD4	CITY OF DELRAY BEACH DETAILS
PP1	POLLUTION PREVENTION PLAN




LOCATION MAP

SEC. 20, TWP. 46S, RGE. 43E N.T.S

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FIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452



Cover Sheet

1127 POINSETTIA DRIVE
City of Delray Beach, Florida

DATE	10-29-25
DRAWN BY	BR
F.B./ PG.	
SCALE	n/c

JOHN F. WHEELER
PROFESSIONAL ENGINEER
LICENSE NO. 25478
STATE OF FLORIDA
ENG NO. EB-0003591
DATE

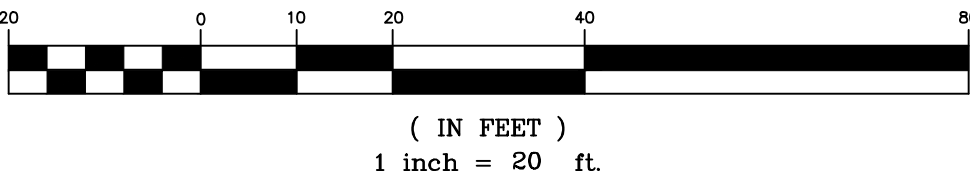
JOB # 11344
SHT. NO.
CV1
OF 8 SHEETS

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PERMIT SET

NOTE: ELEVATIONS ARE NAVD 88

GRAPHIC SCALE



LEGEND

- EXISTING WATER LINE
- EXISTING GATE VALVE
- EXISTING SANITARY SEWER LINE
- EXISTING DRAINAGE SYSTEM
- EXISTING BUILDING
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING PAVERS
- PROPOSED STORAGE/PARKING AREA
- PROPERTY BOUNDARY
- EXISTING FENCE
- PROPOSED FENCE

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NOTE:
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7900 GLADES ROAD, SUITE 100
FORT MYERS, FL 33907
PHONE (561) 392-1991 / FAX (561) 750-1452
FILE NAME: 11344 ENG.dwg

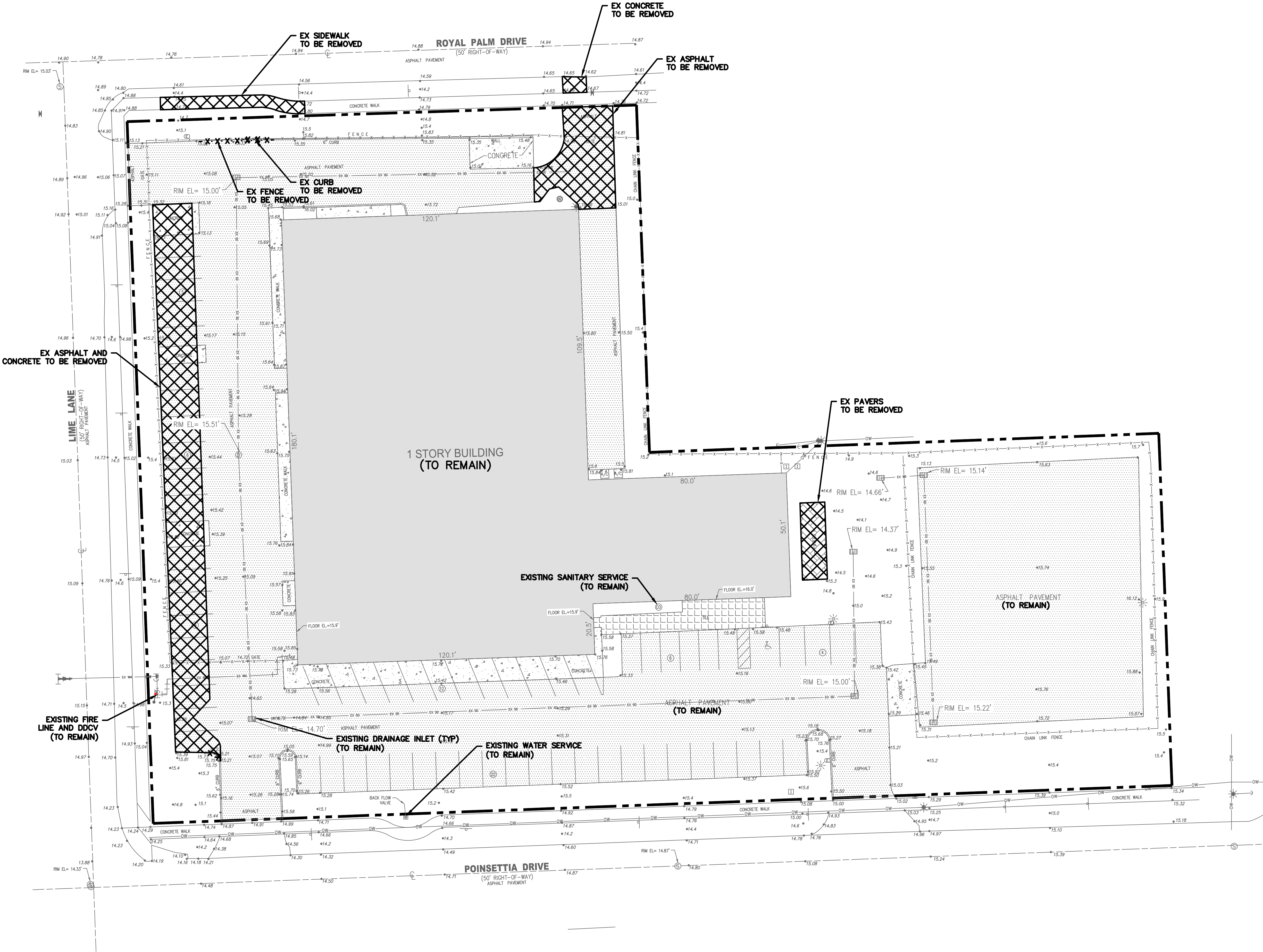
Demolition Plan

1127 POINSETTIA DRIVE
City of Delray Beach, Florida

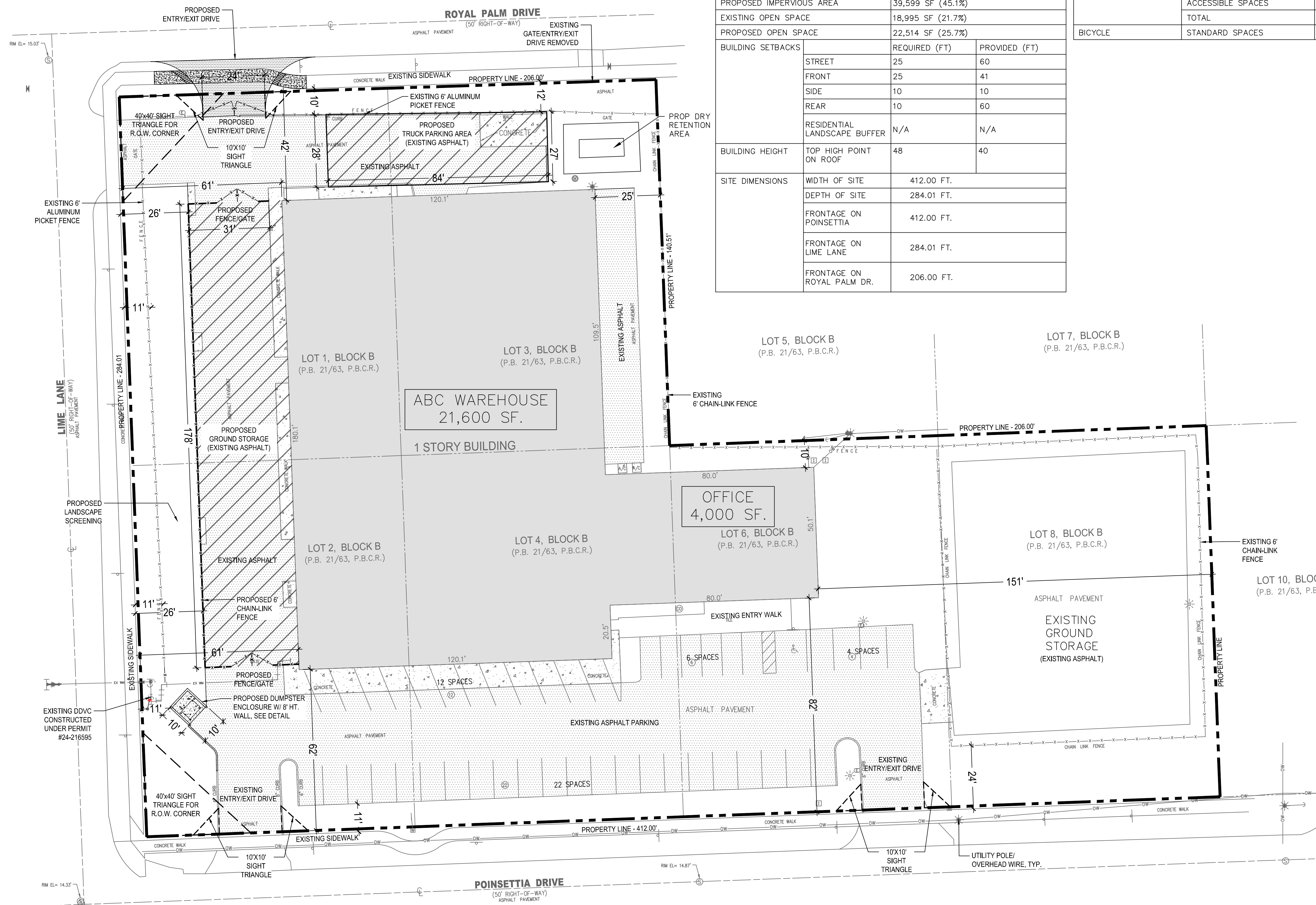
DATE 10-29-25
DRAWN BY BR
F.B./ P.C.
SCALE 1" = 20'

JOHN F. WHEELER
PROFESSIONAL ENGINEER
LICENSE NO. 25478
STATE OF FLORIDA
ENG NO. EB-0003591
DATE

JOB # 11344
SHT. NO.
DE1
OF 8 SHEETS



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SITE DATA			
ZONING	MIXED INDUSTRIAL AND COMMERCIAL (MIC)		
LAND USE	COMMERCE (CMR)		
SITE CALCULATIONS	87,755 SF (2.0146 ACRES)		
BUILDING AREA	25,600 SF (29%)		
FLOOR AREA RATIO	ALLOWED 52,653 SF (60%)	PROVIDED 25,600 SF (29.2%)	
EXISTING IMPERVIOUS AREA	43,118 SF (49.1%)		
PROPOSED IMPERVIOUS AREA	39,599 SF (45.1%)		
EXISTING OPEN SPACE	18,995 SF (21.7%)		
PROPOSED OPEN SPACE	22,514 SF (25.7%)		
BUILDING SETBACKS		REQUIRED (FT)	PROVIDED (FT)
	STREET	25	60
	FRONT	25	41
	SIDE	10	10
	REAR	10	60
	RESIDENTIAL LANDSCAPE BUFFER	N/A	N/A
BUILDING HEIGHT	TOP HIGH POINT ON ROOF	48	40
SITE DIMENSIONS	WIDTH OF SITE	412.00 FT.	
	DEPTH OF SITE	284.01 FT.	
	FRONTAGE ON POINSETTIA	412.00 FT.	
	FRONTAGE ON LIME LANE	284.01 FT.	
	FRONTAGE ON ROYAL PALM DR.	206.00 FT.	

PARKING CALCULATIONS			
DESCRIPTION		REQUIRED	PROVIDED
ON-SITE PARKING	STANDARD SPACE (OFFICE (4,000 SF) 1/1000 SF)	12 SPACES	12 SPACES
	STANDARD SPACE (OFFICE ADDITIONAL 3.5/1000 SF)	4 SPACES	4 SPACES
	STANDARD SPACE (WAREHOUSE ADDITIONAL 1/1000 SF)	22 SPACES	32 SPACES
	ACCESSIBLE SPACES	1 SPACE	1 SPACE
	TOTAL	39 SPACES	44 SPACES
BICYCLE	STANDARD SPACES	2	2

PERMIT SET

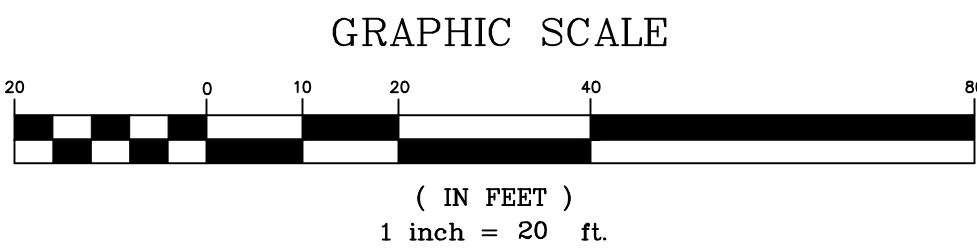
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LAND DESCRIPTION:










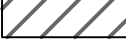



Lots 1 through 4, 6 and 8, Block B, SUNNY ACRES, according to the Plat thereof as recorded in Plat Book 21, Page 63 of the Public Records of Palm Beach County, Florida

Said lands situate in the Palm Beach County, Florida containing 87,755 square feet (2.0146 acres) more or less.

ZONED MIC – MIXED INDUSTRIAL AND COMMERCIAL



LEGEND


	EXISTING WATER LINE
	EXISTING GATE VALVE
	EXISTING SANITARY SEWER LINE
	EXISTING DRAINAGE SYSTEM
	EXISTING BUILDING
	EXISTING ASPHALT PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING CONCRETE
	EXISTING PAVERS
	PROPOSED STORAGE/PARKING AREA
	PROPERTY BOUNDARY
	EXISTING FENCE
	PROPOSED FENCE

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CIVIL ENGINEERING - LAND SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

Site Plan
1127 POINSETTIA DRIVE
City of Delray Beach, Florida

DATE	10-29-25
DRAWN BY	BR
F.B./ PG.	
SCALE	1" = 20'

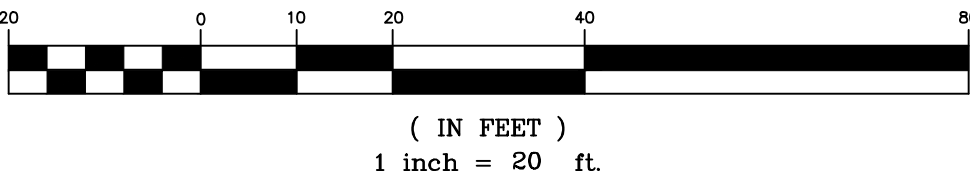
JOHN F. WHEELER PROFESSIONAL ENGINEER LICENSE NO. 25478 STATE OF FLORIDA ENG NO. EB-0003591 DATE

JOB # 11344
SHT.NO. SP1
OF 8 SHEETS

PERMIT SET

NOTE: ELEVATIONS ARE NAVD 88

GRAPHIC SCALE



LEGEND

- EXISTING WATER LINE
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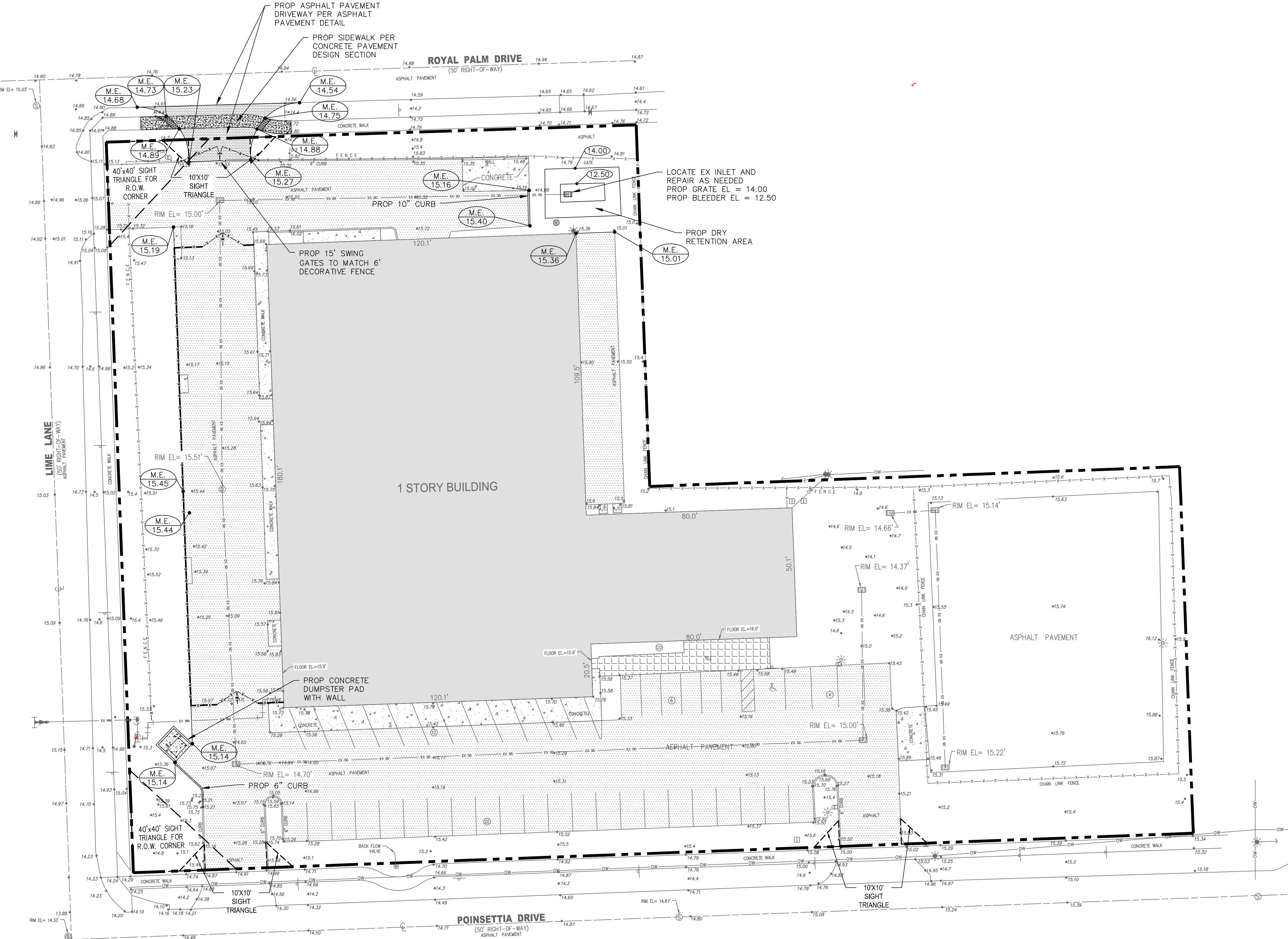
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Paving, Grading, and Drainage Plan
1127 POINSETTIA DRIVE
City of Delray Beach, Florida

DATE 10-29-25
DRAWN BY BR
F.B./ P.C.
SCALE 1" = 20'

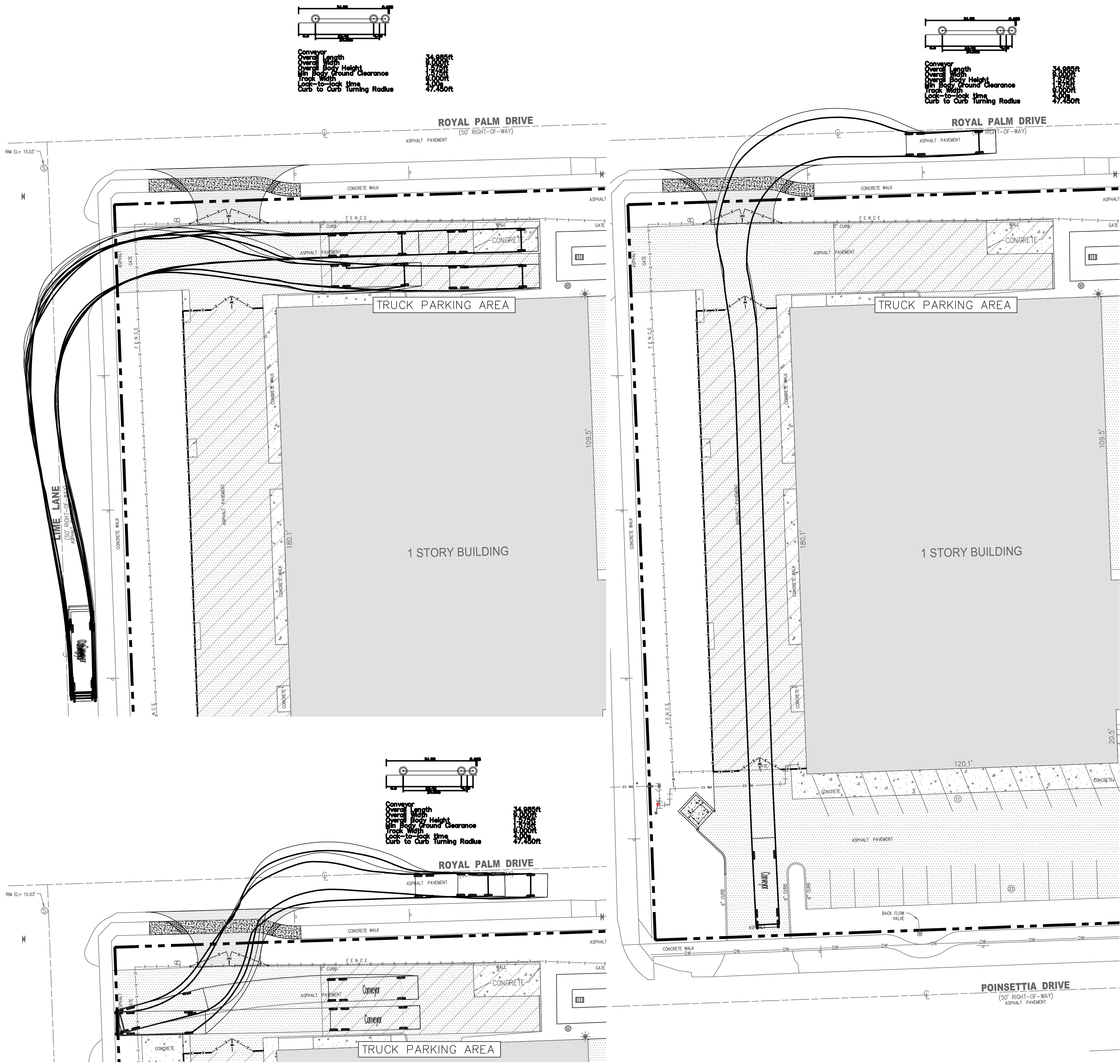
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LICENSE NO. 25478
STATE OF FLORIDA
ENG. NO. EB-0003591
DATE

JOB # 11344
SHT. NO.
PD1
OF 8 SHEETS



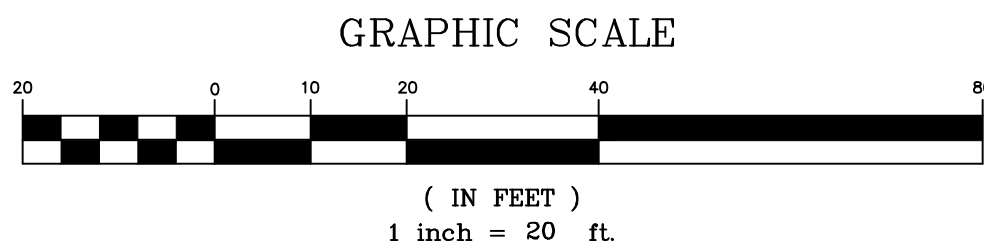
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PERMIT SET

NOTE: ELEVATIONS ARE NAVD 88



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REVISIONS	DATE	BY

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CIVIL ENGINEERING - LAND SURVEYING
7900 GLADES ROAD, SUITE 100
FORT LAUDERDALE, FL 33309
PHONE (561) 392-1991 / FAX (561) 750-1452

Swept Path Plan

1127 POINSETTIA DRIVE
City of Delray Beach, Florida

DATE	10-29-25
DRAWN BY	BR
F.B./ P.C.	
SCALE	1" = 20'

JOHN F. WHEELER
PROFESSIONAL ENGINEER
LICENSE NO. 25478
STATE OF FLORIDA
ENG. NO. EB-0003591
DATE

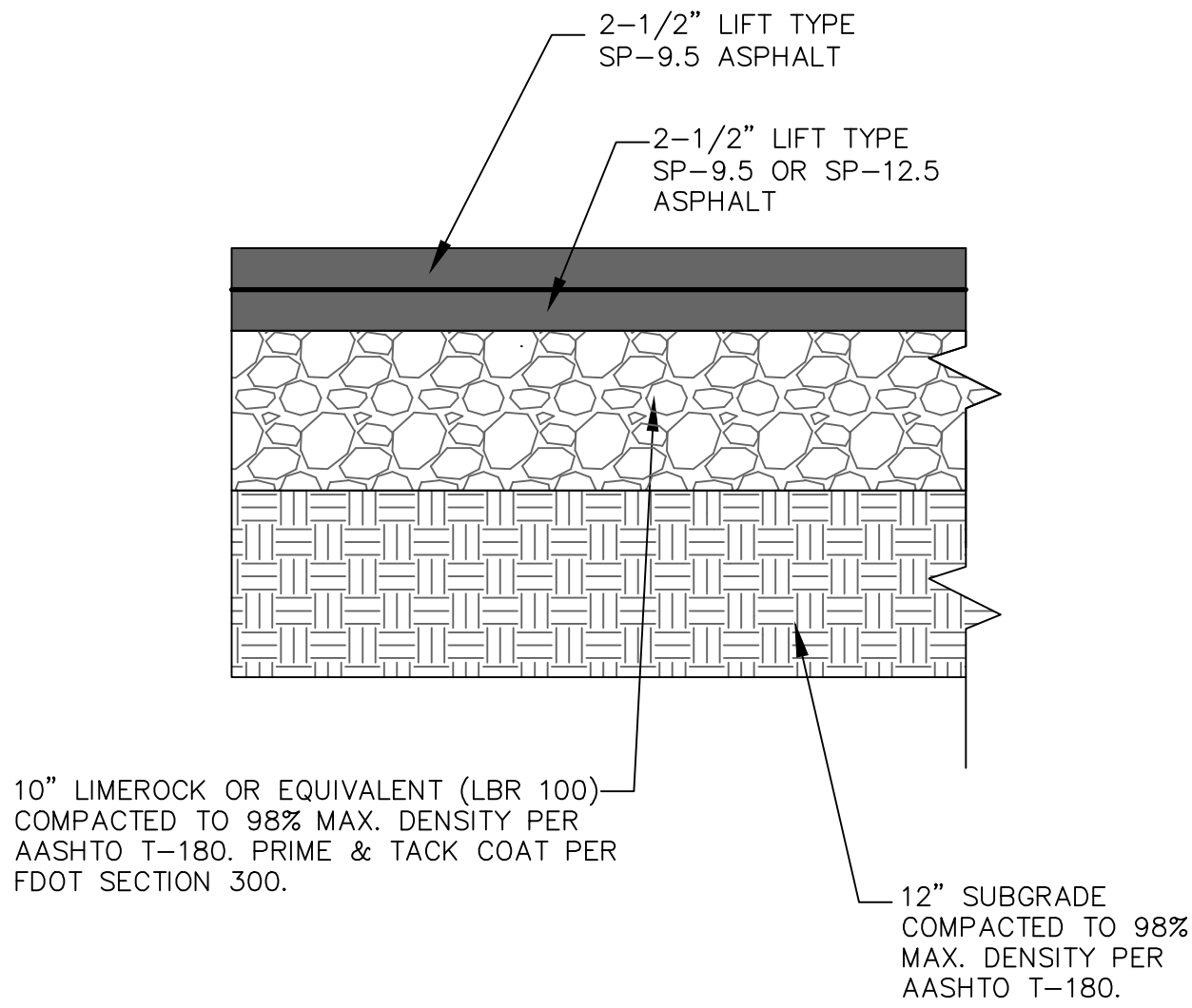
JOB # 11344

SHT. NO.
PD2

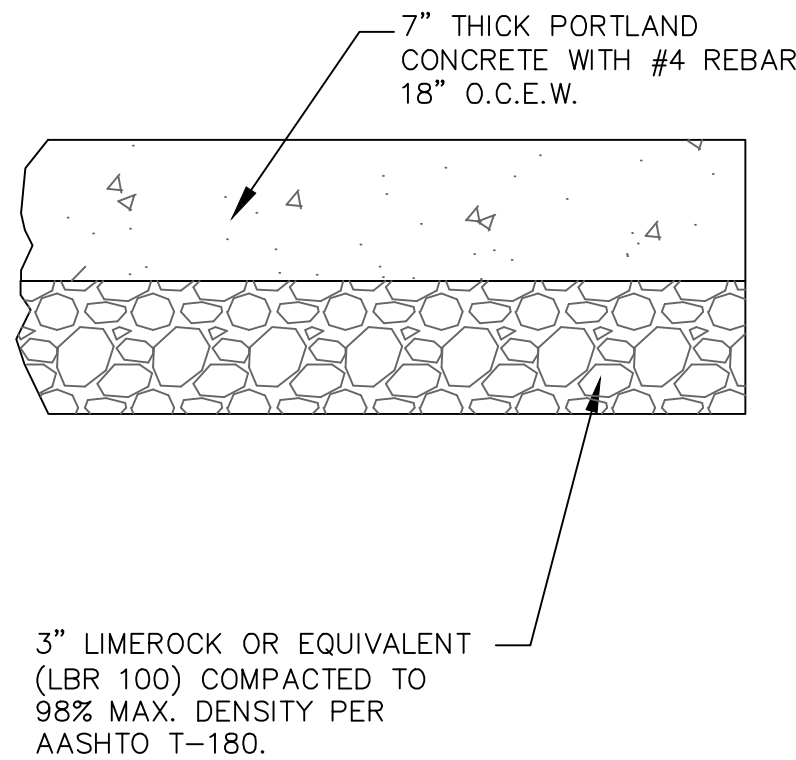
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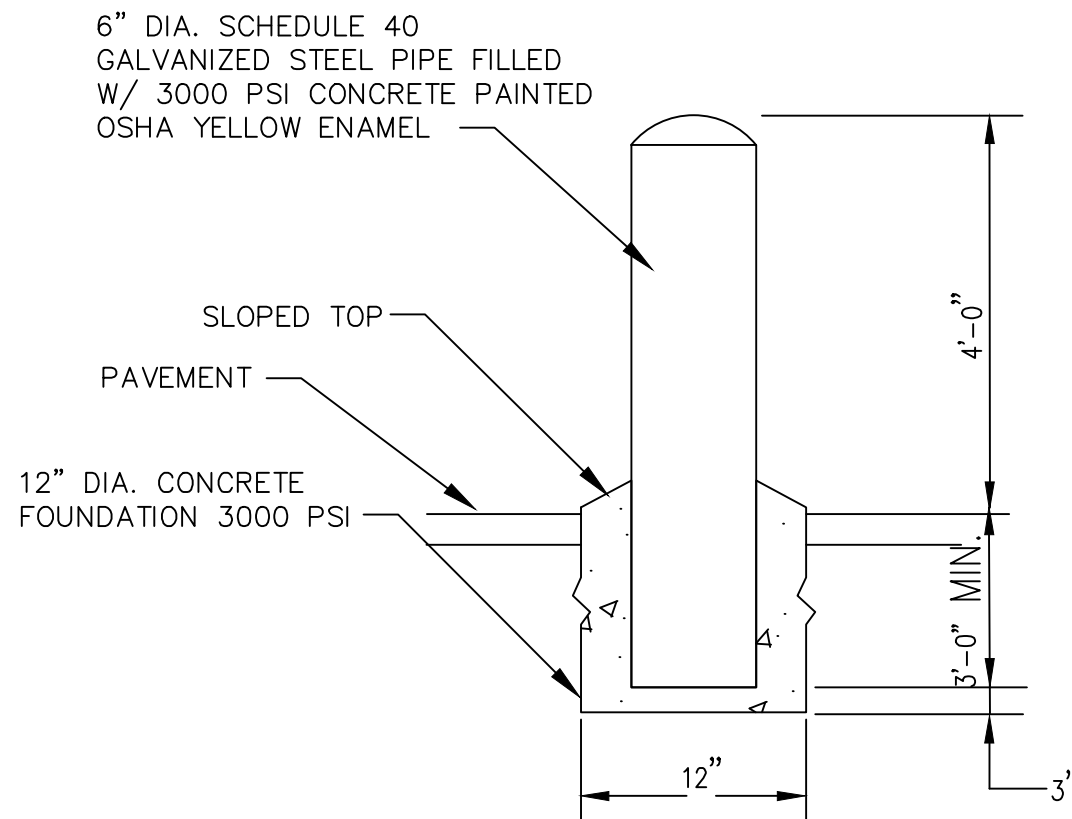
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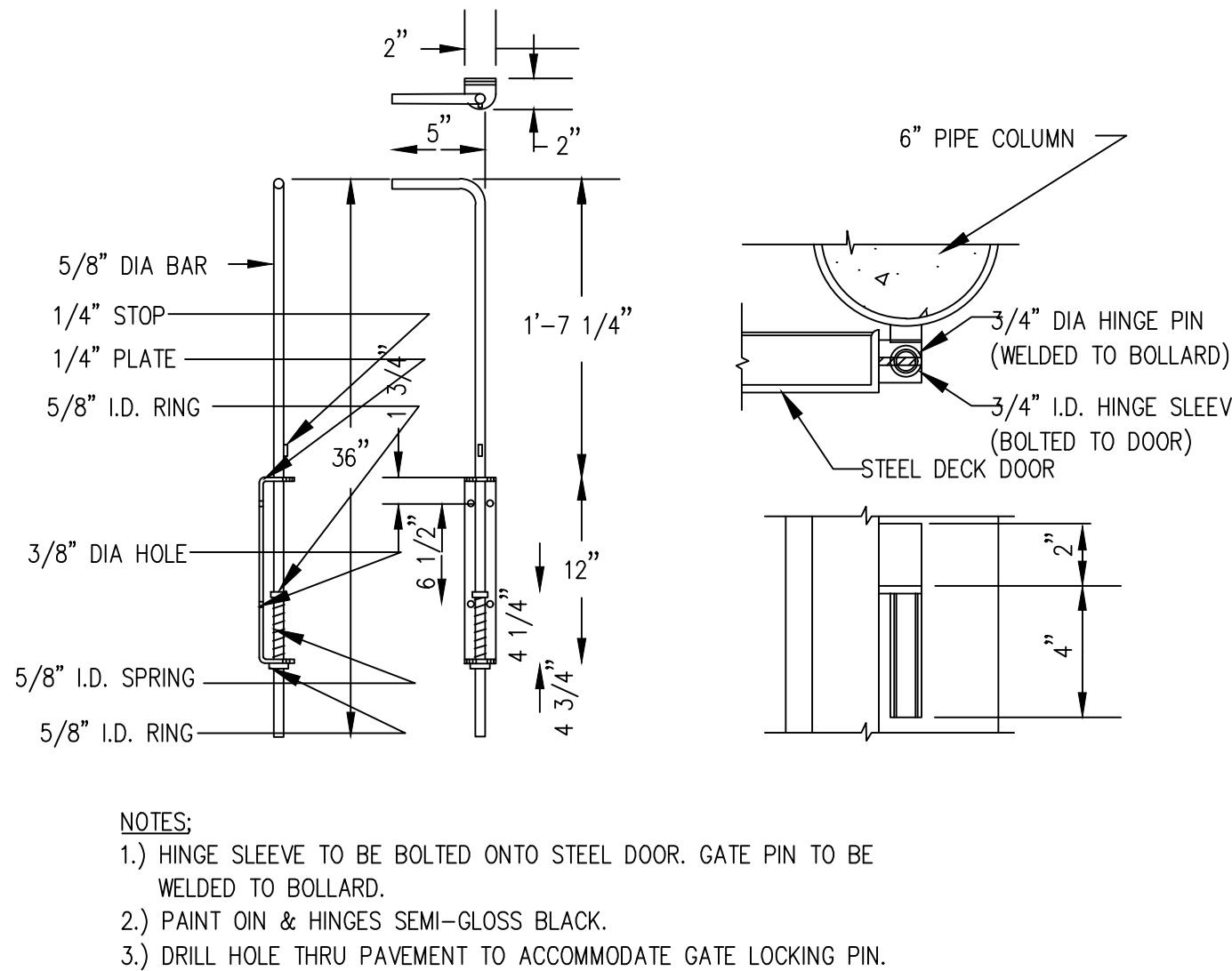
ASPHALT PAVEMENT DESIGN SECTION



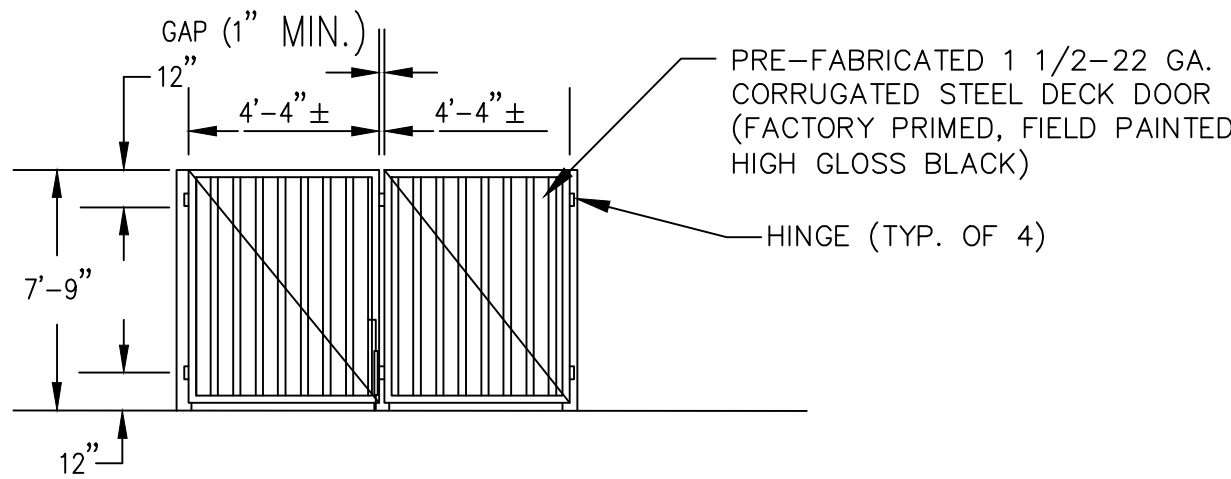
CONCRETE PAVEMENT DESIGN SECTION



STEEL PIPE DETAIL FOR STORAGE AREA

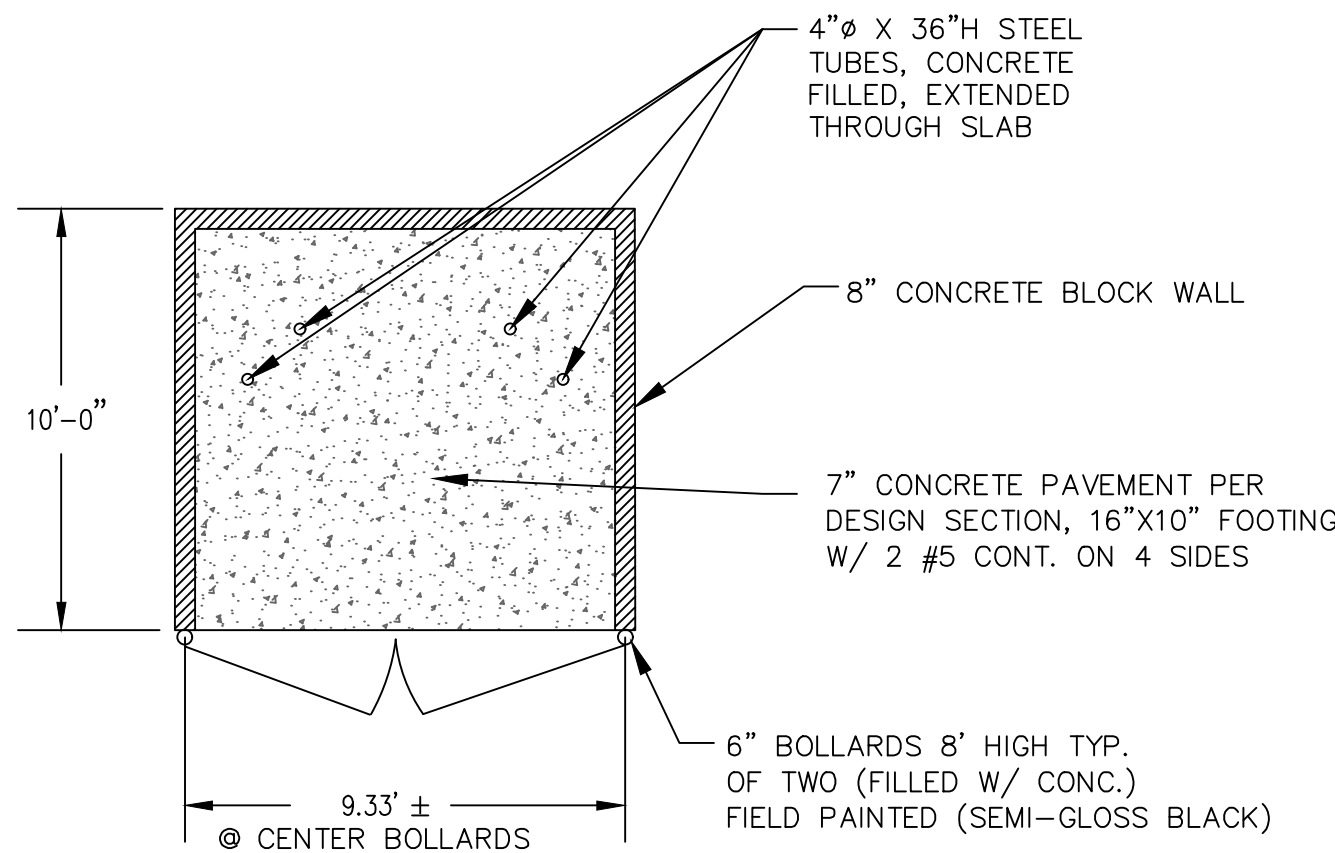


GATE PIN AND HINGE DETAILS

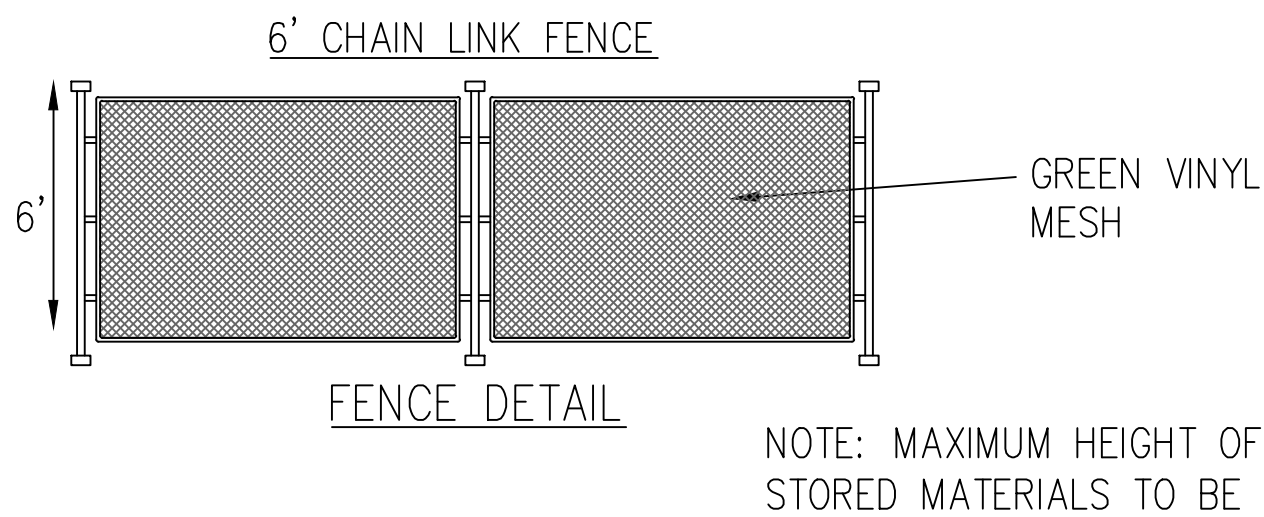


- NOTES:
- DUMPSTER TO BE 8'-0" HIGH OR THE MAXIMUM ALLOWED BY CODE.
 - CONSTRUCT DUMPSTER OF 8" CONCRETE MASONRY SPLIT FACE BLOC UNITS WITH FILLED CELLS AT EACH CORNER.
 - SET 6" BOLLARDS IN 2' X 2' X 3' DEEP CONCRETE FOOTING AND FILL SOLID.
 - PAINT ALL SURFACES OF LATCHES AND PIPE BOLLARDS SEMI GLOSS BLACK.
 - PAINT EXPOSED BLOCK WALLS ON INSIDE BLACK.
 - LENTIL, TOP OF BOLLARD, & TOP OF GATE MUST ALL BE AT SAME HEIGHT.
 - PROVIDE GATE LOCKING PIN AT GATE INTERSECTION.
 - CONTRACTOR TO PROVIDE SHOP DRAWING AND SAMPLE SUBMITTALS OF MASONRY UNITS.
 - CONTRACTOR TO PROVIDE SHOP DRAWING FOR GATE FABRICATION, HINGES, LOCKING MECHANISM AND RELATED APPURTENANCES.

DUMPSTER ELEVATION VIEW



DUMPSTER PLAN VIEW



FENCE ELEVATION FOR STORAGE AREA

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REVISIONS	DATE	BY

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CIVIL ENGINEERING & LAND SURVEYING
1000 GULF BLVD., SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-1452



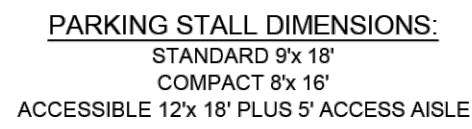
Paving Grading and Drainage Details

1127 POINSETTIA DRIVE
City of Delray Beach, Florida

DATE	10-29-25
DRAWN BY	BR
E.B./ PG.	
SCALE	NA

JOHN F. WHEELER
PROFESSIONAL ENGINEER
LICENSE NO. 25478
STATE OF FLORIDA
ENG. NO. EB-0003591
DATE

JOB # 11344
SHT. NO.
PD3
OF 8 SHEETS



- * NOTES:
1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL ACCESSIBLE MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6" INCHES.
3. ALL MEASUREMENTS ARE FROM CENTER LINE.
4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILLED WITH BLACK PAINT ON WHEEL STOP, BLUE STRIPE & INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WALKWAY ON CONCRETE.
5. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC RW SHALL BE THERMOPLASTIC AND PER DOT SPECIFICATIONS AND STOP SIGN R-1 THERMOPLASTIC AND PER DOT SPECIFICATIONS AND STOP SIGN R-1.
6. CHANGES IN LEVEL ARE NOT PERMITTED IN ACCESSIBLE PARKING STALLS AND ACCESS AISLES SERVING THE STALLS. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.



TYPICAL PARKING SPACES
(1 OF 3)

DATE: 10-04-2024

RT 16.0



SIDEWALK CONSTRUCTION DETAIL

DATE: 10-04-2024
RT 18.0



NOTE:

1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.
5. SIDEWALK SHALL BE 9" THICK FOR 2' AT THE CONNECTION TO ROADWAYS WITH A 6" TRANSITION TO 6" FOR THE REMAINDER OF THE REQUIRED 10'.

TABLE OF SIDEWALK THICKNESS - "T"	
GENERAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, AT DRIVEWAYS & OTHER AREAS	6"

TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY.	

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCHEDULED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.



SIDEWALK CONSTRUCTION

DATE: 10-04-2024
RT 18.1



NOTES:

1. THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
2. IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
3. IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.



CONCRETE DRIVEWAY APRON

DATE: 10-04-2024

RT 23.0



NOTES:

1. THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
2. IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
3. IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.



ASPHALT DRIVEWAY APRON

DATE: 10-04-2024
RT 24.0

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