



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Delray Dermatology – 802 SE 5th Avenue

Meeting	File No.	Application Type
September 24, 2025	2024-254	Level 2 Site Plan
Property Owner	Authorized Agent	
802 SE 5 th Ave LLC	Randall Stofft Architects	

Request

Consideration of a Level 2 Site Plan Application with Architectural Elevations, Landscape Plan, and a Landscape Waiver for a two-story, approximately 12,000 square foot commercial development with medical office and retail.

Site Data & Information

Location: 802 SE 5th Avenue

PCN: 12-43-46-21-09-001-0210

Property Size: 0.70 acres, 30,494 sq ft

Land Use: Commercial Core (CC)

Zoning: Central Business District (CBD) – South Pairs

Adjacent Zoning:

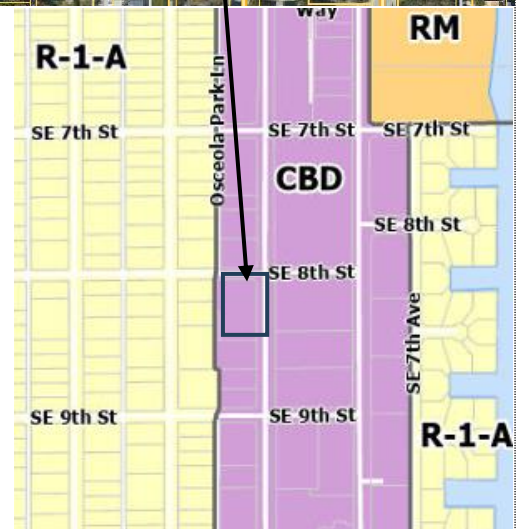
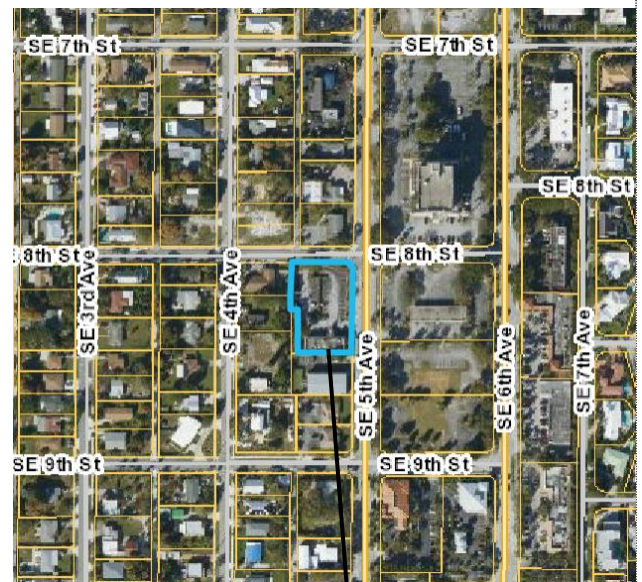
- **North, South, East:** Central Business District (CBD) – South Pairs
- **West:** Single-Family Residential

Existing Use: Vacant – Previously Restaurant (Demolished)

Proposed Land Use: Commercial

Floor Area Ratio:

- **Existing:** NA
- **Proposed:** .78
- **Maximum Allowed:** 3.0



Project Planner:

Julian Gdaniec, Senior Planner
gdaniecj@mydelraybeach.com

Background Information

The subject property, currently vacant, previously consisted of an approximately 2,700 square foot commercial building constructed in 1976. The property is zoned Central Business District (CBD), South Pairs Sub-district, with an underlying Land Use Map (LUM) designation of Commercial Core (CC). The prior conditions of the site included a surface parking lot extending over the majority of the site, with minimal building frontage along 5th Avenue – a primary street. The previous building typology – suburban commercial strip development - was inconsistent with the development characteristic envisioned by the Central Business District. As such, redevelopment of this site is an opportunity to further move the district towards its stated goals and intent for thoughtful redevelopment that supports and facilitates walkable and appropriately scaled urban neighborhoods with mixed uses.

There is a platted alley tract at the SW corner of the property that has been abandoned as is now included within the boundary of the development site. Please refer to the attached survey and site plan for more information

Project Description

The proposed development is a two-story commercial development including medical office and retail uses. The gross building area is 12,200 square feet of use area or 23,881 square feet when inclusive of the interior parking garage. The use mix is comprised of 10,600 square feet of medical office and 900 sq. ft. of retail. No vehicular use area is proposed along the primary street frontage, preserving the entire streetscape between curb and building for the benefit of the pedestrian. Required parking is provided in a ground floor garage that is wrapped by the commercial use along the east façade (SE 5th Ave) and an exposed second level parking deck with access from the side street.



The architectural style proposed is Anglo-Caribbean, a permitted style pursuant to the Delray Beach CBD Design Guidelines. Overall, the project is presented in a way that significantly improves the streetscape with extended building frontage, expanded sidewalks where feasible, and the introduction of street trees along both frontages, which creates a continuous shade canopy that benefits the pedestrian experience while simultaneously beautifying the corridor and creating buffered protection from the vehicular travel lanes.

A landscape waiver, loading determination of adequacy, and parking reduction are requested as part of this application. Each of these requests are discussed in detail in the following sections. This development proposal contains less than 15,000 square feet and would be subject to administrative

Review and Analysis: Site Plan

The proposed site plan is a Level 2 application meaning that it would normally qualify for administrative approval; however, in this case, the proposal requires a determination of adequacy regarding loading, includes a parking reduction, and a requested landscape waiver. As such, this Level 2 application has been escalated for SPRAB consideration.

Regardless, the project meets the applicable requirements of the Land Development Regulations except where otherwise specifically discussed. The project is well within allowable intensity thresholds including Floor Area Ratio (0.78 FAR), meets the height requirement, and complies with all setback regulations. The building is thoughtfully configured to create a pedestrian scaled urban product that reinforces walkability in the central business district and helps facilitate redevelopment along the Primary Street in a way that is consistent with the intent of the CBD.

The south pairs subdistrict has a concentration of medical, cosmetic services, and medical adjacent office uses, many of which are in older buildings that are reaching the potential end of their lifecycle. This project serves as an example of how medical office uses can be developed with attention to the urban form and provides necessary facets of a vehicle intensive use – medical offices typically generate high trip turnover – without compromising the integrity of the public realm. There are multiple entry points to the building interior from the primary street which provides access via the public sidewalk thereby activating the public realm and reinforcing the integration between public and private property which is a desired outcome in urban settings. The sole point of vehicle access is shifted to the side street,

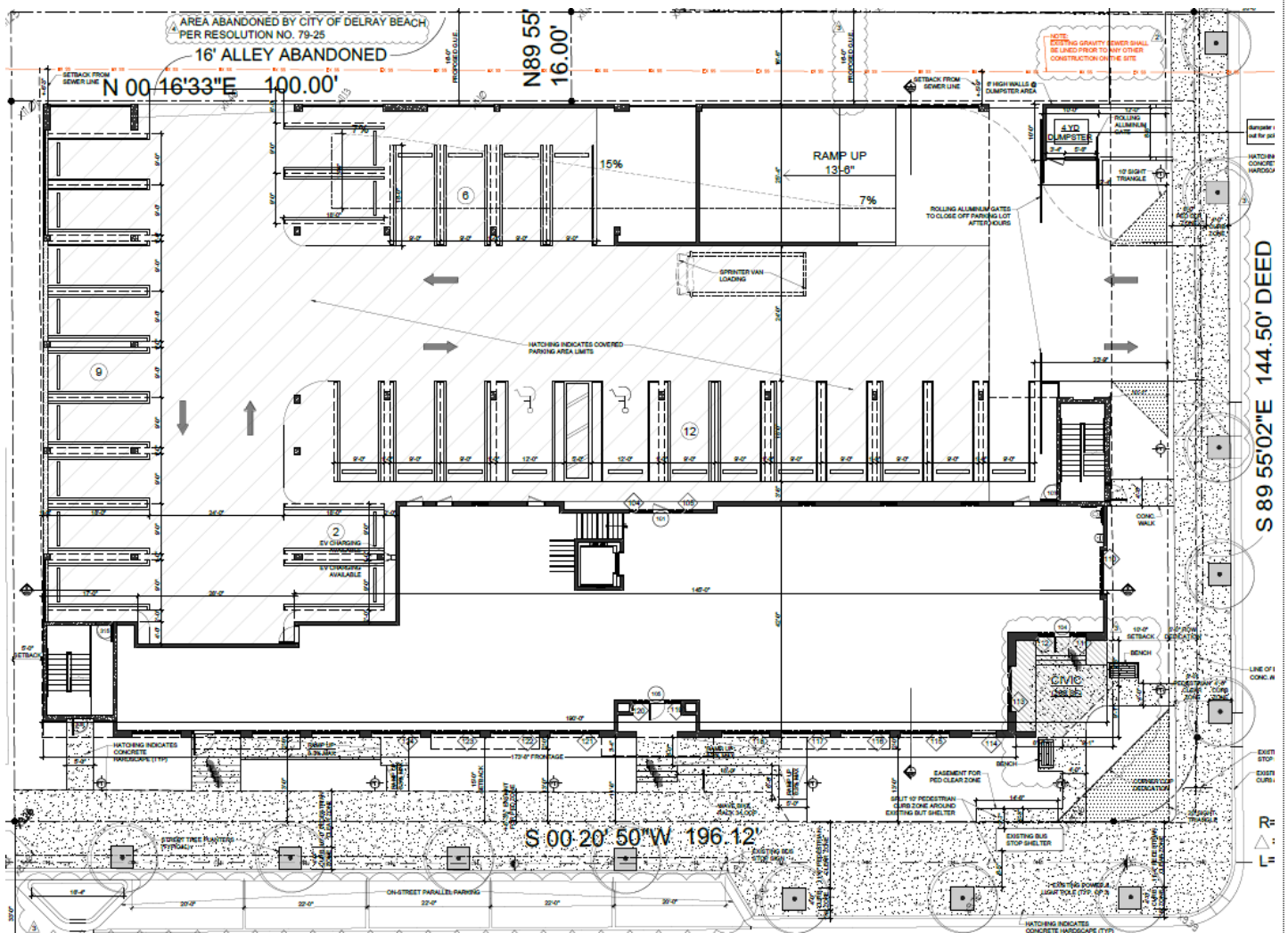
and existing curb cuts along 5th Ave are removed. This preserves the integrity of the Primary Streets as high-quality pedestrian focused environments.

Required parking is provided in a ground-level garage that is successfully lined by office and retail uses which screens the parking from view along the Primary Streets. An exposed second-level parking deck provides additional required parking. Landscaping has been added to the deck so as to improve the visible appearance from the adjacent properties while simultaneously aiding in the reduction of urban heat islands. Additional on-street parking is proposed along SE 5th Avenue which, while not permitted to count towards required parking, will be available for customers and employees to use as needed.

The minimum streetscape dimensions are provided in a way that maintains the maximum feasible pedestrian clear zone, while still allocating sufficient area for foundation landscaping and curb zone landscaping, which helps soften the starkness of the urban environment, and provides buffered protection between the pedestrian and vehicle travel lanes. The applicant and staff have worked closely to strike a balance between providing landscaping within the streetscape while ensuring that more than adequate clearance is provided for pedestrian traffic.

The clear zone has been routed to ensure that existing above ground infrastructure does not obstruct the pedestrian path, and likewise, a substantial street tree canopy is proposed along the full extent of the property.

A small amount of civic space is required based on the overall square footage of the property which has been integrated into the site at the NE corner, accentuating the corner of the building and defining the primary building entrance.



(Full-sized site plan available as an attachment)

LDR Section 2.4.10(A)(3), Findings. *All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.*

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

The Site Plan was reviewed according to the performance standards for site plan actions listed in **LDR Section 3.2.3** and these standards have been factored into the technical review of the application. The intent of the standards are to ensure that certain essential criteria and a level of quality are adhered to with regard to new development. The project complies with the performance standards.

LDR Section 3.1.1, Required Findings. *Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

These findings relate to the following four areas:

(A) Land Use Map *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

As noted previously, the configuration and typology of the development further achieves the goals and objectives of the district. Additionally, the redevelopment of the site will eliminate an existing nonconforming structure.

(B) Concurrence *as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Water and Sewer. The development will connect to existing water and sewer networks as approved by the City Utilities Department.

Drainage. Drainage will be accommodated on site. All stormwater runoffs will be collected and contained within the subject property through a drainage system approved by the City Engineer.

Transportation. The provided Palm Beach County TPS approval letter indicates the proposed project will not have a significant impact on the existing road network. Therefore, the project meets transportation concurrency.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools. Not Applicable.

(C) Consistency *A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The following Comprehensive Plan objectives and policies are relevant to the request:

Neighborhoods, Districts, and Corridors Element

Objective NDC 1.3 *Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.*

Policy NDC 1.1.2 Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.

Policy NDC 1.3.1 Apply mixed-use land use designations to foster development patterns that support pedestrian and bicycle activity, stimulate public transit ridership, and create a park-like environment.

Policy NDC 1.3.2 Apply the mixed-use land use designation that best maintains the scale, density, intensity, and enhances the character of the surrounding neighborhood, district, or corridor.

The proposed development maintains consistency and compatibility in terms of scale and intensity with surrounding developments and is presented in a configuration that improves upon the built environment and reinforces key goals of the CBD to facilitate walkable and well-connected development that is respectful to the historic scale and development pattern of downtown, while encouraging a mixture of uses along the corridor.

(D) Compliance with the LDRs Whenever an item is identified elsewhere in the LDR, it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

LDR Section 4.4.13, Central Business (CBD) District

Standard/Regulation	Review	
Height 4.4.13(D) – Central Business District	Maximum: 48 feet; 4 stories Proposed: 26 feet; 2 stories	
Setbacks 4.4.13(D) – Central Business District, South Pairs	Minimum Required Front – 15 feet (primary); 10 feet (secondary) Rear – 10 feet Interior – 5 feet	Provided: Front – 15 feet (primary); 10 feet (secondary) Rear – 10 feet Interior – 5 feet
Streetscape 4.4.13(F) – Central Business District	Minimum Required Curb – 4 feet Pedestrian Clear – 6 feet; 10 feet on primary street Total – 15 feet	Provided: Curb – 4 feet Pedestrian Clear – 6 feet to 11 feet 4 inches Total – Varies; exceeds minimum 15 feet

Other Development Regulations

Standard/Regulation	Review
4.4.13(I), CBD Parking Standards	Required: 56 Provided: 54 on site + 5 new on-street spaces
4.6.9, Bicycle Parking	Required: Type I spaces – 3 Type II spaces – NA Provided: Type I spaces – 3 Type II spaces – 0

LDR Section 4.6.10. Off-Street Loading

LDR Section 4.6.10 requires that at least one 12'x30' loading berth is provided for office developments between 5,000 and 20,000 square feet. As such, a loading zone should be integrated within the development site, however the applicant has elected not to include – citing spatial constraints and the lesser demand for intensive loading that they anticipate the proposed use will generate. Office uses can expect the majority of delivery and freight needs to occur in low volume frequent formats that may be handled by small to mid-sized delivery vehicles (i.e. Fed-Ex, USPS, Amazon). It is certainly viable to consider that this type of freight delivery can be accommodated in areas not specifically designated as a loading zone - such as within available on-street parking spaces or within the garage drive aisle - because of the quick turnaround time these low volume deliveries incur. However, while not frequent there will be times when larger deliveries are necessary (i.e., equipment or furniture delivery). In these instances, there is no viable location for a large delivery vehicle to park other than in the right of way. There is insufficient vertical clearance to allow larger vehicles to utilize the ground floor garage area for loading. Additionally, the proposed retail use may require frequent deliveries of new inventory which could necessitate use of larger vehicles depending on the product or goods sold.

Given that the proposed design is deficient in number of loading zones provided, a determination of adequacy must be granted by the Board in order to find the Site Plan in compliance with LDR Section 4.6.10. An analysis of the anticipated loading demand and potential solutions to mitigate any issues has been provided by the applicant for the Boards consideration.

Parking Reduction

The particular use mix proposed generates a parking requirement of 56 spaces, whereas only 54 are provided on site. Five additional new on-street parking spaces have been proposed that do not currently exist, however they do not count towards required parking. That being said, because of the locational proximity, it is likely that these new parking spaces will help offset any potential deficiency caused by the requested reduction of two spaces. Additionally, the applicant has provided a full analysis and justification of the parking reduction for the Boards consideration.

LDR Section 3.2.3. Standards for Site Plan Action

The development proposes a use mix of office and retail that is contextually appropriate for the area and aligns with the intent and permitted uses of the South Pais subdistrict of the CBD. The development meets the standards for site plan action, however the Board should consider if the requested determination of loading adequacy and parking reduction are sufficiently justified and appropriately mitigated, or whether additional measures or site revisions are necessary to avoid negative externalities on the surrounding neighborhood.

Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

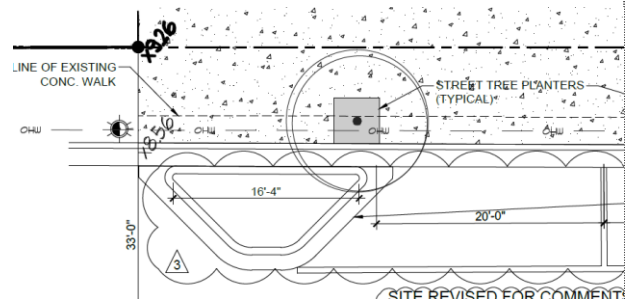
Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

A technical review of this site plan has been performed, and a determination has been made that the project complies with all applicable landscape regulations, except for the requested waiver discussed below. Landscaping is interspersed throughout the site in a way that is appropriate for the urban setting, where some foundation landscaping is incorporated to soften the mass, while a wide sidewalk is simultaneously paired with street trees to establish a walkable corridor. The full landscape plan is available for review as an attachment.

Landscape Waiver: LDR Section 4.6.16(H)(5)(a)3., Parallel Parking Islands

Each island shall be a minimum of 22 feet in length and contain at least one canopy tree and associated understory plantings. Species and size to be consistent with those existing within adjacent on-street parking islands.

The project proposes a 16'4" landscape island at the SE corner of the development site whereas the LDR requires a minimum depth of 22' for islands. The reduction is predicated on the fact that, in order to extend the island to 22', the island would be required to extend beyond the subject property line. However, the drive-aisle curb cut providing access to the adjacent property is located close to the property line such that an extension of the island beyond the proposed 16'4" is not feasible. Alternatively, one of the proposed on-street parking spaces could be removed to allow for the full



extent of the 22' island to be placed adjacent to the subject property. However, both staff and the applicant agree that the additional parking space is a net benefit that justifies the provision of a 16' island, as the intent of the regulation is still met.

Further, the LDR states the following: *Existing site conditions will be examined during the plan review process. Flexibility for location and size of islands will be considered in achieving the overall goal of creating a consistent and unified streetscape.*

Staff has no issue with the requested landscape island reduction.

Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics (E), Criteria for board action

The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

Staff finds that the design criteria are met. A further analysis of compliance with the CBD design guidelines is discussed below.



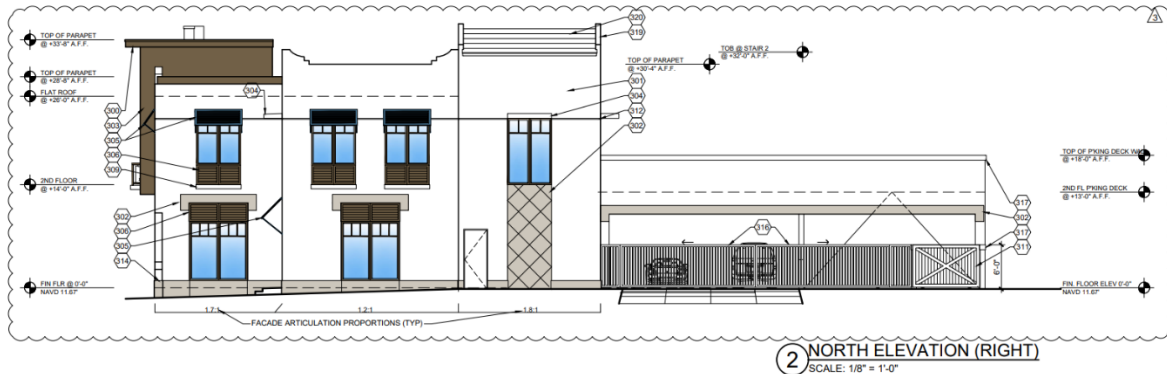
Delray Beach Central Business Architectural Design Guidelines

Anglo-Caribbean architecture is often considered an eclectic style, common to the British-settled isles of the Caribbean and influenced by Portuguese, Dutch, French, and Spanish colonization. Anglo-Caribbean architecture is characterized by wooden upper floors and roofs historically added over time to the masonry ground floors of initial settlements. The style today often references this through a change in material between floors or as a predominantly masonry construction with sculptural transitions between horizontal and vertical areas, incorporating wood building features.

The aesthetic standards of this Section have been met by the proposed architectural design. The architectural style of Anglo-Caribbean is a permitted design in the CBD, is regionally appropriate, and is a customary style for coastal Florida architecture. The composition is a predominantly masonry example that introduces movement and interest across the facades through articulation, changes in height, material variation, stylistically appropriate ornamentation, and a sculptural parapet.

The composition maintains compliance with established façade proportion ratios that allow the building to maintain consistency with the historic downtown scale, and the design successfully incorporates a tripartite composition on the primary street elevation where a clear base, middle, and top of the composition is defined on the two-story structure. However, the side facades lack a defined tripartite element.

Specifically, staff finds that the north elevation facing the secondary street provides a defined base, with the projected masonry stone base, while the middle and top are not clearly differentiated. The Board shall consider whether the intent of the regulation is met or if improvements are necessary on the secondary facades so that they also convey a clear tripartite composition.



Board Action Options

- Move **approval** of a Level 2 Site Plan Application request for **802 SE 5th Avenue**, including Architectural Elevations, Landscape Plan, and a Landscape Waiver to construct a two-story, approximately 12,200 sq. ft. commercial development, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- Move **approval, as amended** of a Level 2 Site Plan Application request for **802 SE 5th Avenue**, including Architectural Elevations, Landscape Plan, and a Landscape Waiver to construct a two-story, approximately 12,200 sq. ft. commercial development,, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- Move **denial** of a Level 2 Site Plan Application request for **802 SE 5th Avenue**, including Architectural Elevations, Landscape Plan, and a Landscape Waiver to construct a two-story, approximately 12,200 sq. ft. commercial development, finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- Continue with direction.**

Public and Courtesy Notices

No Public Notice was required by the LDR for this application.

TAC Review Timeline

Review No.	Submittal Date	TAC Comments Transmitted
1	9/25/2024	10/30/2024
2	12/27/2024	2/03/2025
3	4/30/2025	5/20/2025
4	7/3/2025	8/4/2025

Total time with Applicant: 188 days

Total time under review: 125 days

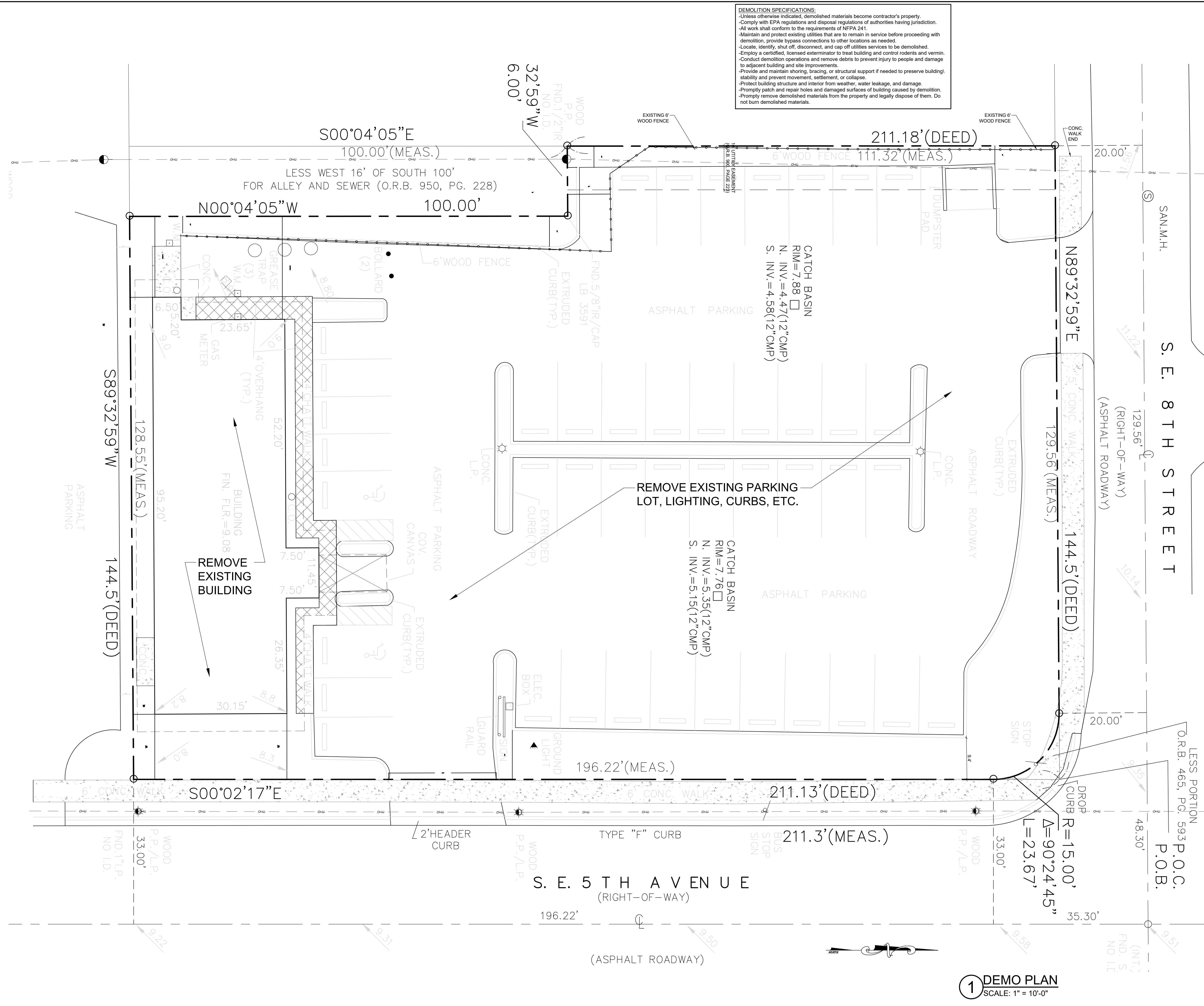

Applicant voluntarily waived the obligation for final action to be granted within 180 days of initial application date because of the complexity of the application.

DELRAY DERMATOLOGY
802 SE 5th Avenue
DELRAY BEACH, FL

Job No. 2404036

FL-00010035 FIRM-AA003379

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300 SERIES KEYNOTES

- 300 - WOOD FASCIA FINISH
301 - SMOOTH STUCCO FINISH
302 - STONE WALL CLADDING
303 - WOOD WALL CLADDING
304 - CONCRETE EYEBROW
305 - ALUMINUM BAHAMA SHUTTER
306 - ALUMINUM FALSE LOUVERED PANELS
307 - 6" SCALLOPED WALL EDGE
308 - WOOD OUTRIGGERS
309 - 7" RAISED STUCCO SILL
310 - GLASS RAIL w/ WOOD CAP
311 - ROLLING ALUMINUM GATE
312 - 1 1/2" STUCCO REGLET
313 - EXIT DOOR CLAD TO MATCH
314 - STONE WALL BASE
315 - LOUVERED ALUMINUM PANEL
316 - 6" ROLLING ALUMINUM GATES (BRONZE) TO
CLOSE OFF PARKING LOT AFTER HOURS
317 - 6" RAISED SMOOTH STUCCO BAND
318 - 12" RAISED SMOOTH STUCCO HEADER
319 - SLOPE PARAPET w/ ROOF
320 - FLAT CEMENT ROOF TILE (WHITE)

6-4-2025

REVISIONS	BY	DATE
1. B.O.	GS	4.9.2024
1st SPRAB comments	GS	12.23.2024
2nd SPRAB comments	GS	2.28.2025
3rd SPRAB comments	GS	5.27.2025

DELRAY DERMATOLOGY
802 SE 5th Avenue
DELRAY BEACH, FL

Site Plan Review Set
File No. 2024-254

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A301



6-4-2025

Site Plan Review Set
File No. 2024-254

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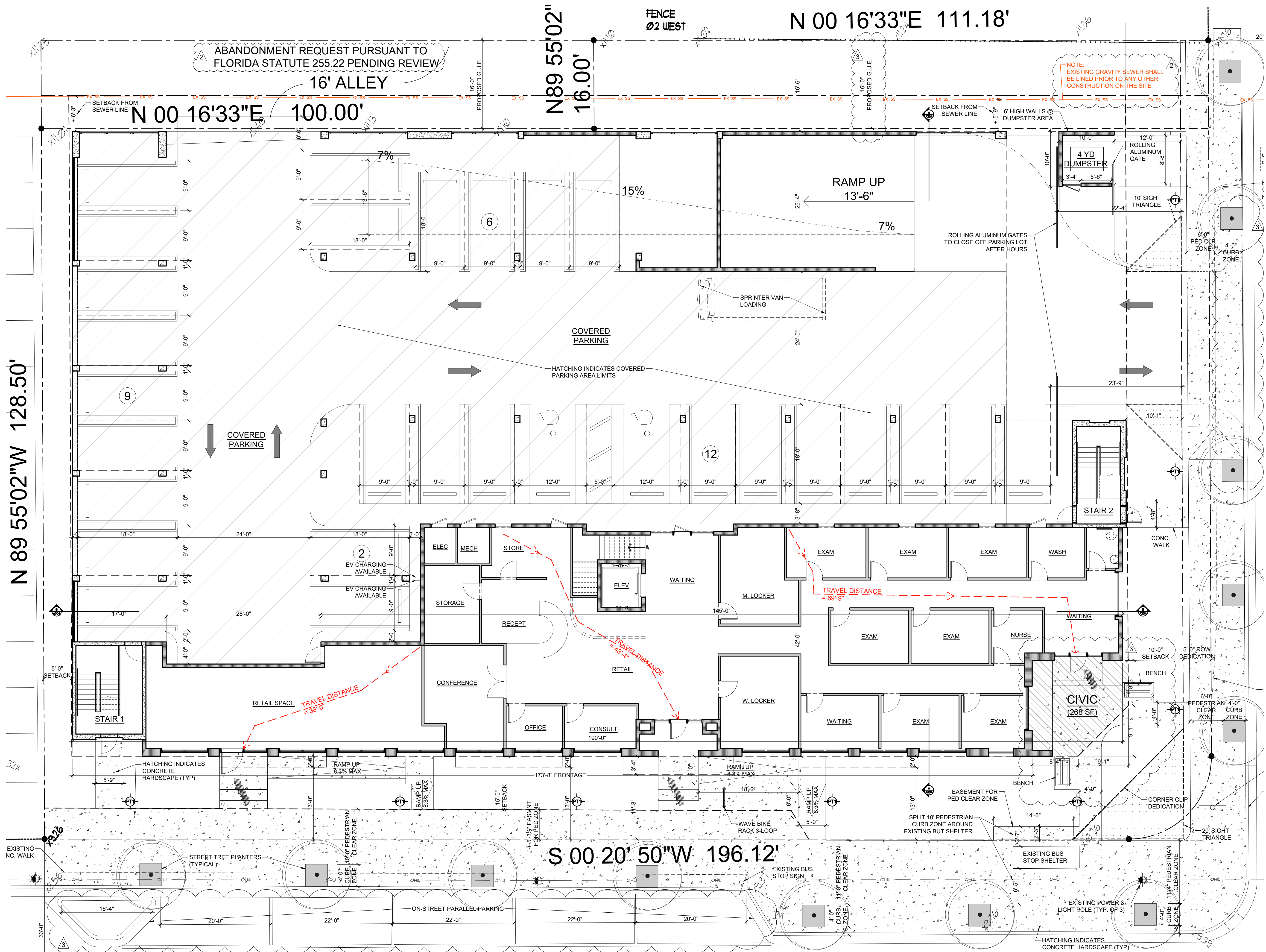
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A302

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2. 1st SPRAB comments	GS	12.23.2024
3. 2nd SPRAB comments	GS	2.28.2025
4. 3rd SPRAB comments	GS	5.27.2025

6-4-2025

DELAY DERMATOLOGY

802 SE 5th Avenue

DELRAY BEACH, FL

Site Plan Review Set

File No. 2024-254

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FL-001105 FIRM-AA003379

A201

	REVISIONS	BY	DATE
A	I.B.O.	GS	4.9.2024
A	1st SPRAB comments	GS	12.23.2024
2	2nd SPRAB comments	GS	2.28.2025
3	3rd SPRAB comments	GS	5.27.2025

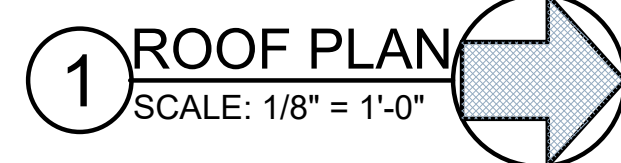
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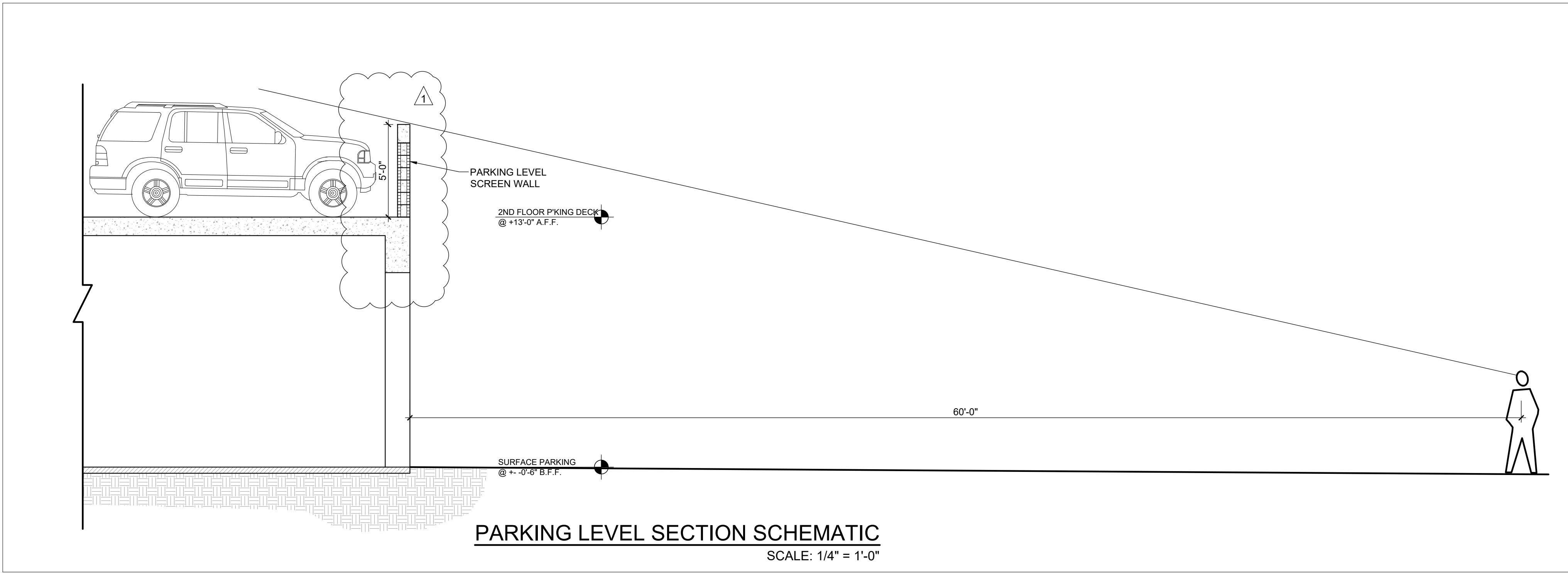
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A211



A211



TYPICAL SECTION/HEIGHT SCHEMATIC
SCALE: 1/4" = 1'-0"

SECTION/HEIGHT SCHEMATIC AT
CATILEVERED BOX ELEMENTS
SCALE: 1/4" = 1'-0"

3-24-2025

REVISIONS	BY	DATE
1. B.O.	GS	4.9.2024
1st SPRAB comments	GS	12.23.2024
2nd SPRAB comments	GS	2.28.2025

DELRAY DERMATOLOGY
802 SE 5th Avenue
DELRAY BEACH, FL

Site Plan Review Set
File No. 2024-254

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

42 N SWINTON AVE, DELRAY BEACH, FL 33444 (561) 245-0799 NAPERES, FL (239) 382-7677 WWW.STOFFT.COM

Job No. 2404036

FL-001105 FIRM-AA003379

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A303

6-4-2025

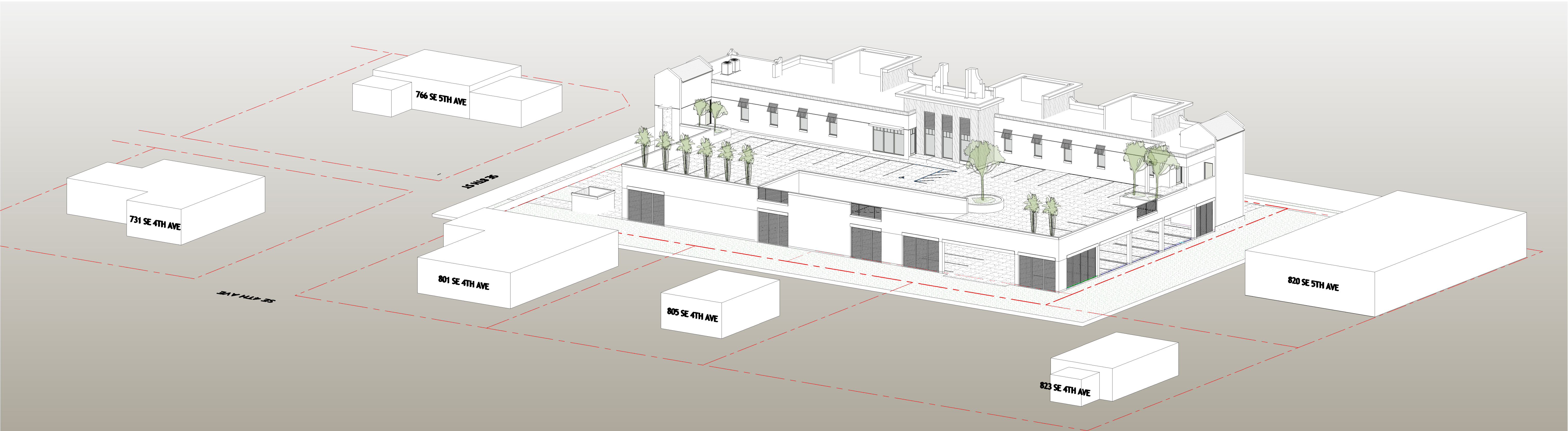
Site Plan Review Set
File No. 2024-254

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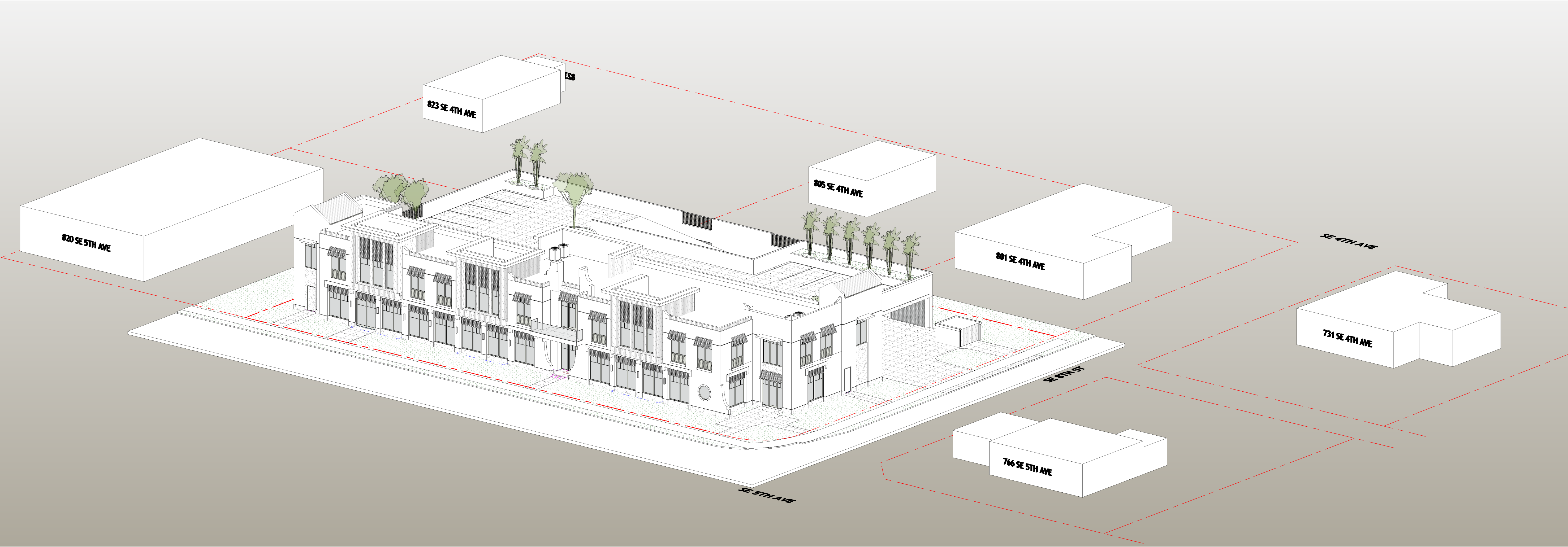
FL-0011105 FIRM-AA003379

A304





2 SW View



1 NE View

REVISIONS

2	2nd Sprink Comments	2.28.2025
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DELRAY DERMATOLOGY

802 SE 5th Avenue

DELRAY BEACH, FL

Site Plan Review Set

File No. 2024-254

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A306

3-24-2025

REVISIONS	BY	DATE
△ I.B.O.	GS	4.9.2024
△ 1st SPRAB comments	GS	12.23.2024
△ 2nd SPRAB comments	GS	2.28.2025

DELRAY DERMATOLOGY
802 SE 5th Avenue
DELRAY BEACH, FL

Site Plan Review Set
File No. 2024-254

RANDALL STOFFT
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distinctive. inspirational. architecture.

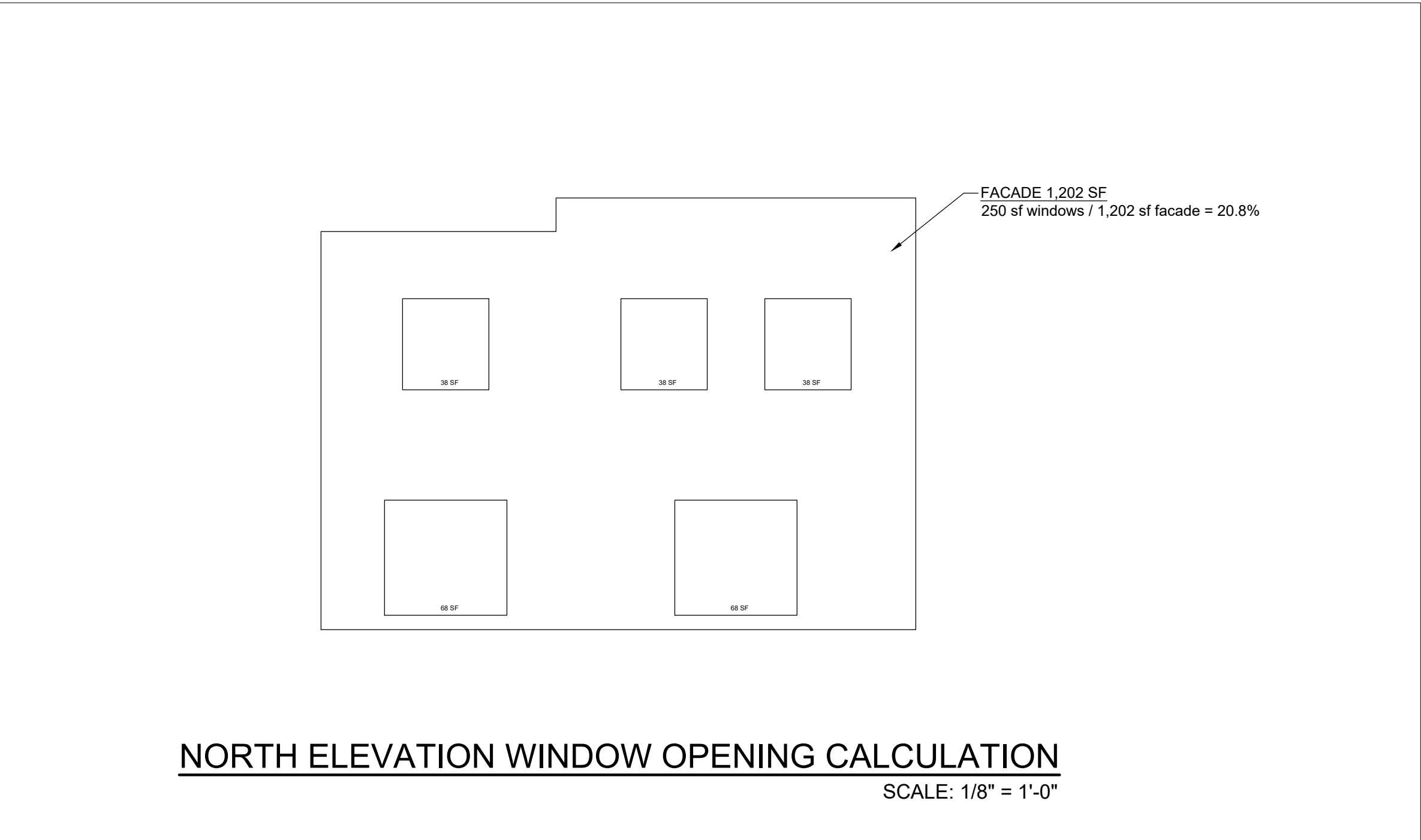
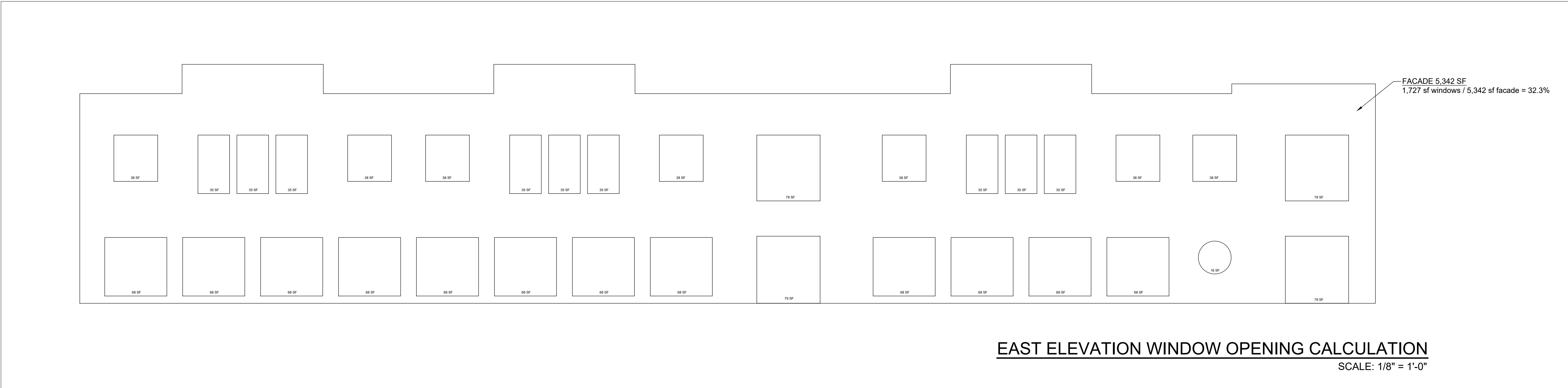
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Job No. 2404036

FL-001105 FIRM-AA003379

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A305



CBD DISTRICT, SOUTH PAIRS NEIGHBORHOOD, CITY OF DELRAY BEACH, FL

ACCENTS		
AGS 6	Agave blue/Blue agave	7-10GAL, 30" OA, match, full (very drought)
AGV 9	Agave Variegatum/Variegated Agave	7-10GAL, 30" OA, match, full (very drought)
CAT 12	Arecastrum Cataractum/Cat Palm	5', multi, full (very drought)
COT 5	Cordylone Exotica/Tricolor Tili Plan	10GAL, 4-5'OA, full (drought)
BRM 16	Aechmea Mexicana Green/ Mexican bromel.	9'pot, 24"OA, full (very drought)
POJ 63	Portea Jungles/Jungles Portea	9'pot, 24"OA, full (very drought)
ARS 29	Alcosea regal shield/Regal alcosea	3GAL, 30"OA, full (drought)

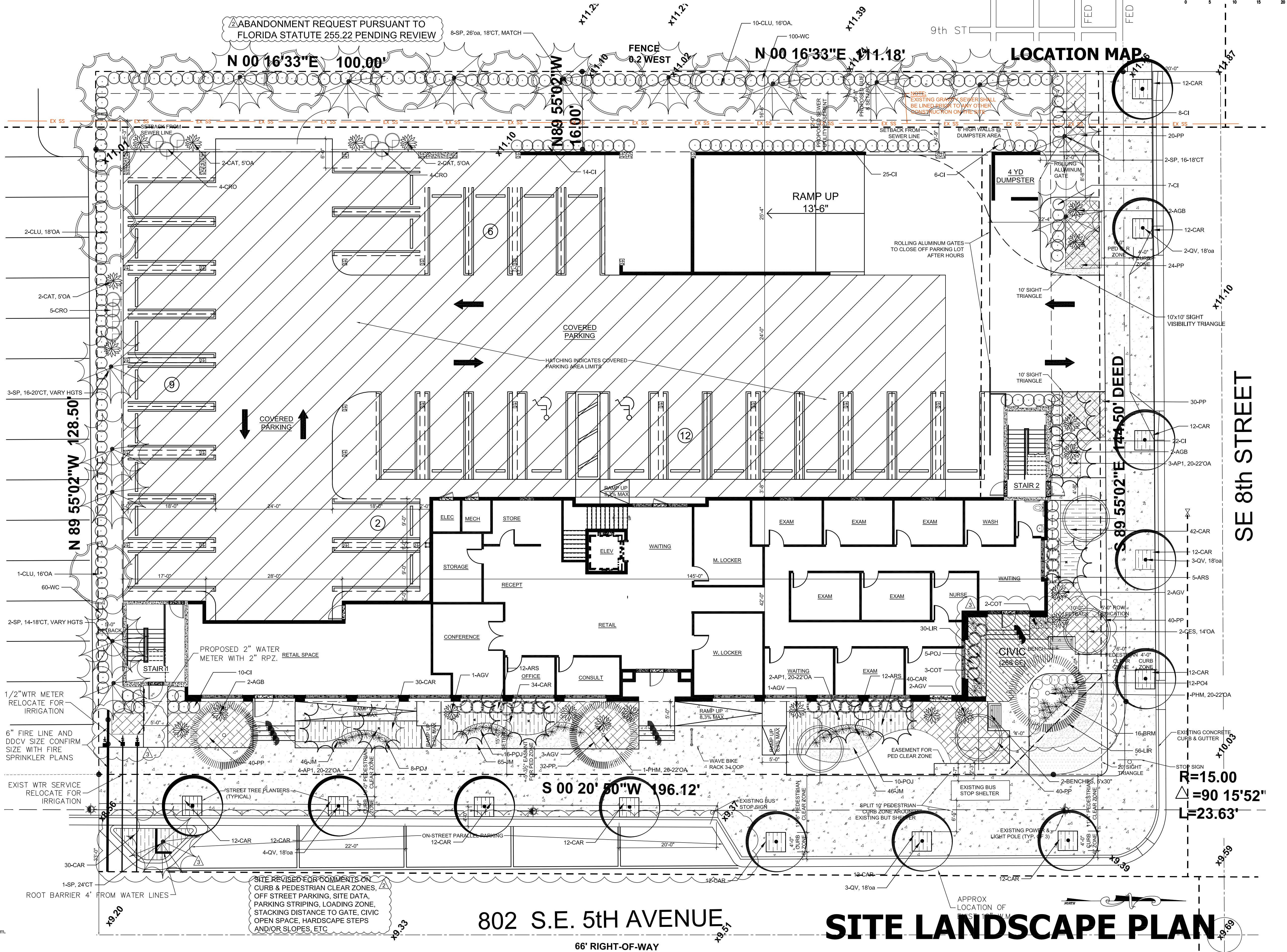
*WC	106	<i>Psychotria Nervosa/Viol Coffee</i>	7 GAL, 3" OA, 24-30" OC, full (native)
*CI	104	<i>Chrysobalanus Icaeco/Cocoplum</i>	3 GAL, 2-3" OA, 24" OC, full (native)
PO4	12	<i>Podocarpus Makii/Yew Podocarpus</i>	3-7GAL, 3" OA, 20" OC, full (drought)
*CAR	412	<i>Carissa emeralda Blanket/Dwarf Carissa</i>	3 GAL, 12" OA, 20" OC, full (native)
CRO	13	<i>Codiaeum Stipitlth/ Croton</i>	7 GAL, 3" OA, 30" OC, full (very drought)
PP	226	<i>Podocarpus Pringles Dwarf Podocarpus</i>	3 GAL, 18" OA, 24" OC, full (very drought)
LJR	86	<i>Liriope Texas blue/Blue Liristyl</i>	1 GAL, 10" OA, 12" OC, full (very drought)
JM	157	<i>Trachysperma Jas Mimilaj/Jasmine mimilaj</i>	3 GAL, 8" OA, 12" OC, full (very drought)

NOTE
* Indicates native plant species
Native, very drought and drought tolerant plants indicated per Xeriscape Plant Guide II

CBD DISTRICT, SOUTH PAIRS NEIGHBORHOOD, CITY OF DELRAY BEACH, FL

1. All planting notes to be Florida #1 grade or better as stated in "grades and standards for nursery plants" part I and part II (2007), State of Florida, Department of Agriculture, Tallahassee.
2. All prohibited plant species shall be eradicated from the site.
3. All plant material to be handled and planted in accordance with standard nursery practices.
4. All plant material to be guaranteed for a period of ninety (90) days from date of installation.
5. All planting beds to receive three (3) inches of mulacea, recycled bark or other mulch, type "B", or better. **(no cypress mulch)**
6. All planting areas must be irrigated to provide (100% coverage & 50% overlap) by an automatic irrigation w/water sensor system installed by certified irrigation contractor.
7. Sod and irrigation will be provided within all the unpaved areas including the R.O.W.
8. All mechanical equipment must be screened on three sides via hedge, solid fence or wall to a height minimum 6' above the item.
9. All underground utilities should be located 48 hours prior to commencement of landscape construction. The Landscape and/or Irrigation contractor is responsible to call toll free **1.800.432.4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.**
10. The general contractor is responsible for rough grade within two-three (2-3) inches of final grade.
11. In case of discrepancies, the landscape plan takes precedence over the plant list.
12. All existing trees to remain will be trimmed, pruned and protected with an appropriate construction barrier.
13. A minimum distance of 15 ft, separates all trees from pole lights and overhead utility lines.
15. **Within all site triangles there shall be unobstructed visibility within 2.5' and 6' above pavement level.**
16. **Any trees and shrubs within water, sewer or drainage easements shall conform** to City of Delray Beach Standard LD 1.1 & LD 1.2.
17. No plantings shall be planted over exfiltration trenches.
18. **See Disposition Plan for existing trees to remain, relocate, remove and mitigate.**
19. Streetscape ROW trees within the 4' curb zone will require a min. 4x4" planting space, exist soil to be removed at a depth of a minimum 30" and replaced with regular well drained structural planting medium.

**2. ABANDONMENT REQUEST PURSUANT TO
FLORIDA STATUTE 255.22 PENDING REVIEW**



LA #6666677
LC #26000319

REV. NO.	DATE
REV. #1.	12.12.24
REV. #2.	04.15.25
REV. #3.	06.16.25

JOB NO:

DRAWN BY: LIV

DATE: 09.10.24

SCALE: 1" = 10'-0"

SHEET NO.

LP-1

PLANT LIST
CBD DISTRICT, SOUTH PAIRS NEIGHBORHOOD, CITY OF DELRAY BEACH, FL

KEY	QUANT.	PLANT NAME	REMARKS
TREES / PALMS PROPOSED			
*OV 12		Quercus Virginiana Cathedral/Live Oak	18"x8"OA, 8"CT, 5"DBH, full (native)
*CLU 13		Clusea Rosea/Pitch Apple	16"x7"OA, 8"CT, 4"DBH, full (native)
*CES 4		Conocarpus erectus Serotius/Silver Buttonwd	16"x7"OA, 8"CT, 4"DBH, full (native)
PHM 2		Phoenix Medjool/Medjool Date Palm	24"OA, 18"CT, 12"DBH, match, full (very drought)
*SP 15		Sabal Palmetto/Cabbage Palm	14-20"CT, 20-25"OA, vary as shown, full (native)
AP1 9		Pythosperma Elegans/Alexander Palm	24"OA, 18"CT, 3"GL, match, full (drought)
AD3 1		Veitchia Merrillii/Adonidia palm	12"OA, TRPL, full (drought)
*CL 6		Clusea Guttifera/Small leaf Pitch Apple	12"x4-5"OA, 5"CT, 2"DBH, container grn, full (nativ)

ACCENTS			
AGB 6		Agave blue/Blue agave	7-10GAL, 30" OA, match, full (very drought)
AGV 9		Agave Variegatum/ Variegated Agave	7-10GAL, 30" OA, match, full (very drought)
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COT 5		Cordylone Exotica/Tricolor Tili Plan	10GAL, 4-5"OA, full (drought)
BRM 16		Aechmea Mexicana Green/Mexican bromel.	9"pot, 24"OA, full (very drought)
POJ 63		Portea Jungles/Jungles Portea	9"pot, 24"OA, full (very drought)
ARS 29		Alocasea regal shield/Regal alocasea	3GAL, 30"OA, full (drought)

SHRUBS & GROUNDCOVERS			
*WC 160		Psychotria Nervosa/Wild Coffee	7 GAL, 3-4" OA, 24-30" OC, full (native)
*CI 104		Chrysobalanus Icaco/Cocoplum	3 GAL, 2-3" OA, 24" OC, full (native)
PO4 12		Podocarpus Makii/Vew Podocarpus	3-7GAL, 3"OA, 20"OC, full (drought)
*CAR 412		Carissa emerald Blanket/Dwarf Carissa	3 GAL, 12" OA, 20" OC, full (native)
CRO 13		Codiaeum Stoptight/ Croton	7 GAL, 3" OA, 30" OC, full (very drought)
PP 226		Podocarpus Pringles Dwarf Podocarpus	3 GAL, 18" OA, 24" OC, full (very drought)
LIR 86		Liriope texas blue/Blue Lillyturf	1 GAL, 10" OA, 12" OC, full (very drought)
JM 157		Trachypserma Jas Minima/Jasmine minima	1 GAL, 8" OA, 12" OC, full (very drought)

SOD as required St Augustine Floratan
Deco Rock by owner as required 2" deep
Mulch black color as required 3" deep

NOTE
* Indicates native plant species
Native, very drought and drought tolerant plants indicated per Xeriscape Plant Guide II

ROOF PARKING COVERAGE

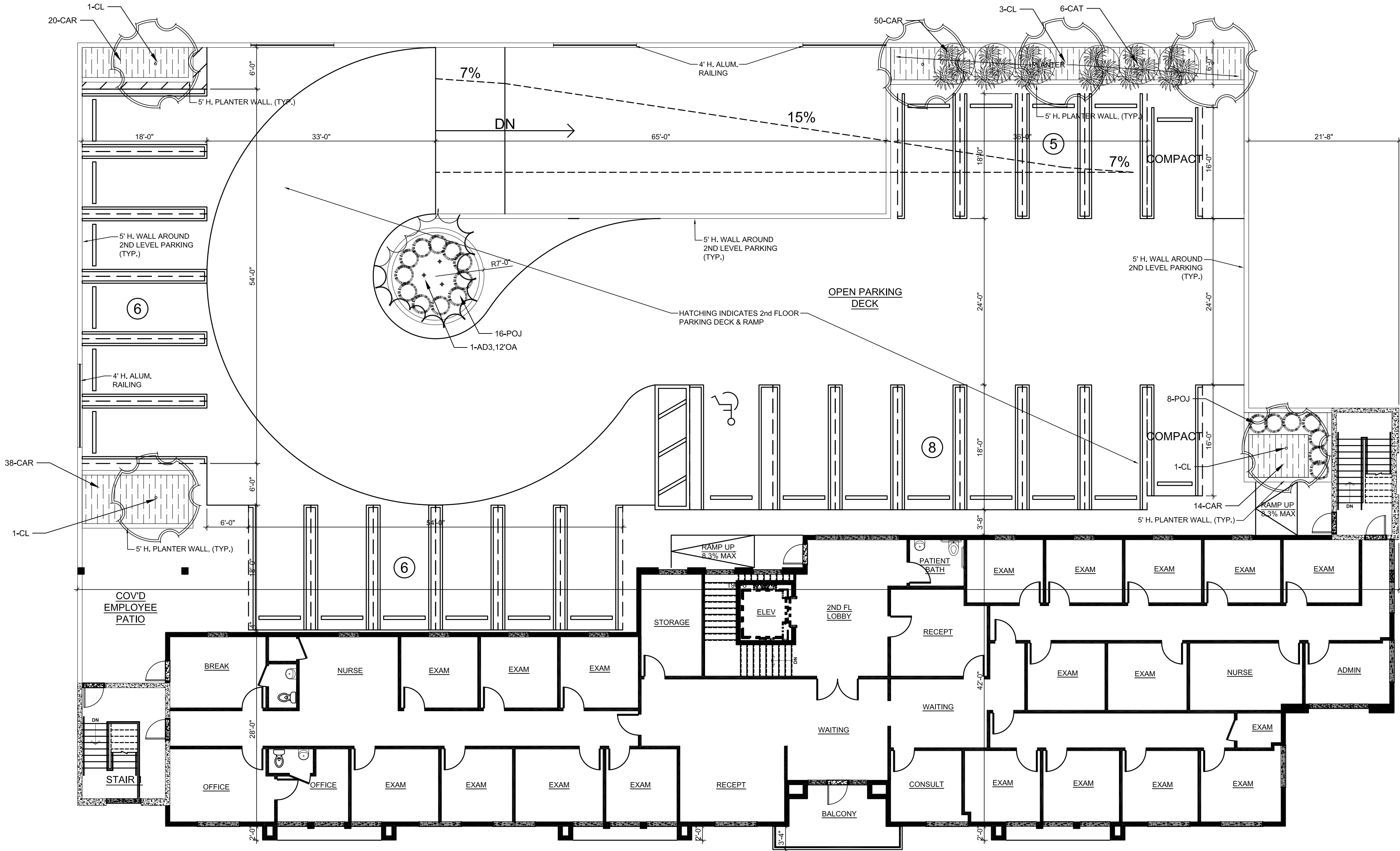
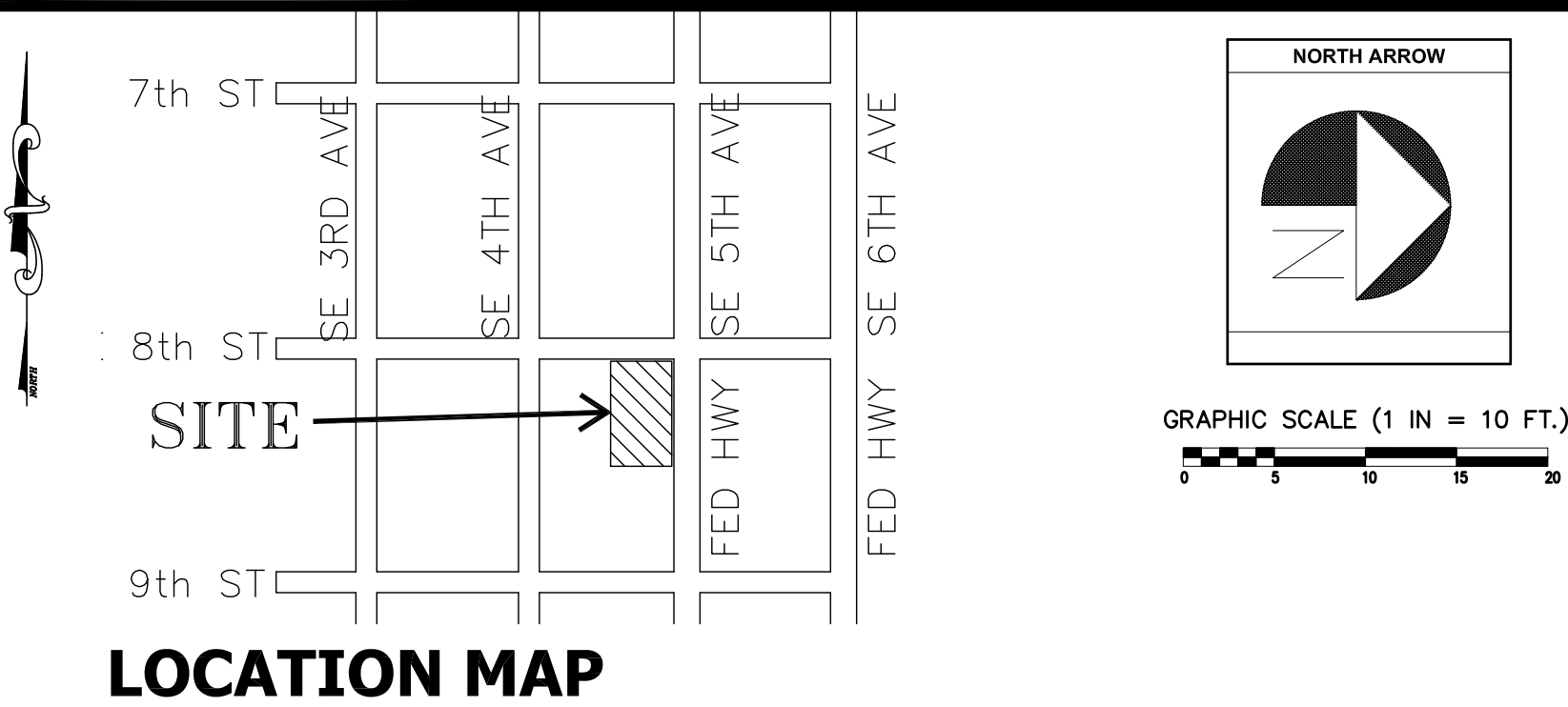
LDR Section 4.6.13(F)(8), Urban Heat Islands.

TOTAL PARKING AREA 4365 SF (100%)
(24-SP, 1-HC)

LANDSCAPE/VEGETATED SHADE REQUIRED 1310 SF (30%)

LANDSCAPE/VEGETATED SHADE PROVIDED 2150 SF (49%)

6 TREES @ 200 SF CANOPY 1200 SF
1-PALM @200 SF CANOPY 200 SF
PLANTERS/ PLANTINGS 750 SF
(CANOPY CALCULATED WITHIN 5 YEARS OF PLANTING)



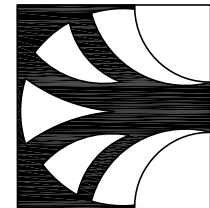
GENERAL PLANTING NOTES

- All planting notes to be Florida #1 grade or better as stated in "grades and standards for nursery plants" part I and part II (2007), State of Florida, Department of Agriculture, Tallahassee.
- All prohibited plant species shall be eradicated from the site.
- All plant material to be handled and planted in accordance with standard nursery practices.
- All plant material to be guaranteed for a period of ninety (90) days from date of installation.
- All planting beds to receive three (3) inches of maleluca, recycled bark or other mulch, type "B", or better. (no cypress mulch)
- All planting areas must be irrigated to provide (100% coverage & 50% overlap) by an automatic irrigation w/water sensor system installed by certified irrigation contractor.
- Sod and Irrigation will be provided within all the unpaved areas including the R.O.W.
- All mechanical equipment must be screened on three sides w/a hedge, solid fence or wall to a height minimum 6" above the item.
- All underground utilities should be located 48 hours prior to commencement of landscape construction. The Landscape and/or Irrigation contractor is responsible to call toll free 1.800.432.4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.
- The general contractor is responsible for rough grade within two-three (2-3) inches of final grade.
- In case of discrepancies, the landscape plan takes precedence over the plant list.
- All existing trees to remain will be trimmed, pruned and protected with an appropriate construction barrier.
- A minimum distance of 15 ft. separates all trees from pole lights and overhead utility lines.
- Within all site triangles there shall be unobstructed visibility within 2.5' and 6' above pavement level.
- Any trees and shrubs within water, sewer or drainage easements shall conform to City of Delray Beach Standard LD 1.1 & LD 1.2.
- No plantings shall be planted over exfiltration trenches.
- See Disposition Plan for existing trees to remain, relocate, remove and mitigate.
- Streetscape ROW trees within the 4' curb zone will require a min. 4"x4" planting space, exist soil to be removed at a depth of a minimum 30" and replaced with appropriate well drained structural planting medium.

ROOF DECK
LANDSCAPE PLAN
SCALE: 1" = 10'-0"

DELRAY DERMATOLOGY
802 SE 5TH AVENUE, DELRAY BEACH, FLORIDA.
SITE LANDSCAPE PLAN

MAJESTIC VIEWS
Landscape Architects, Inc.
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33436
Phone (561) 752-9835 majesticscapes@aol.com
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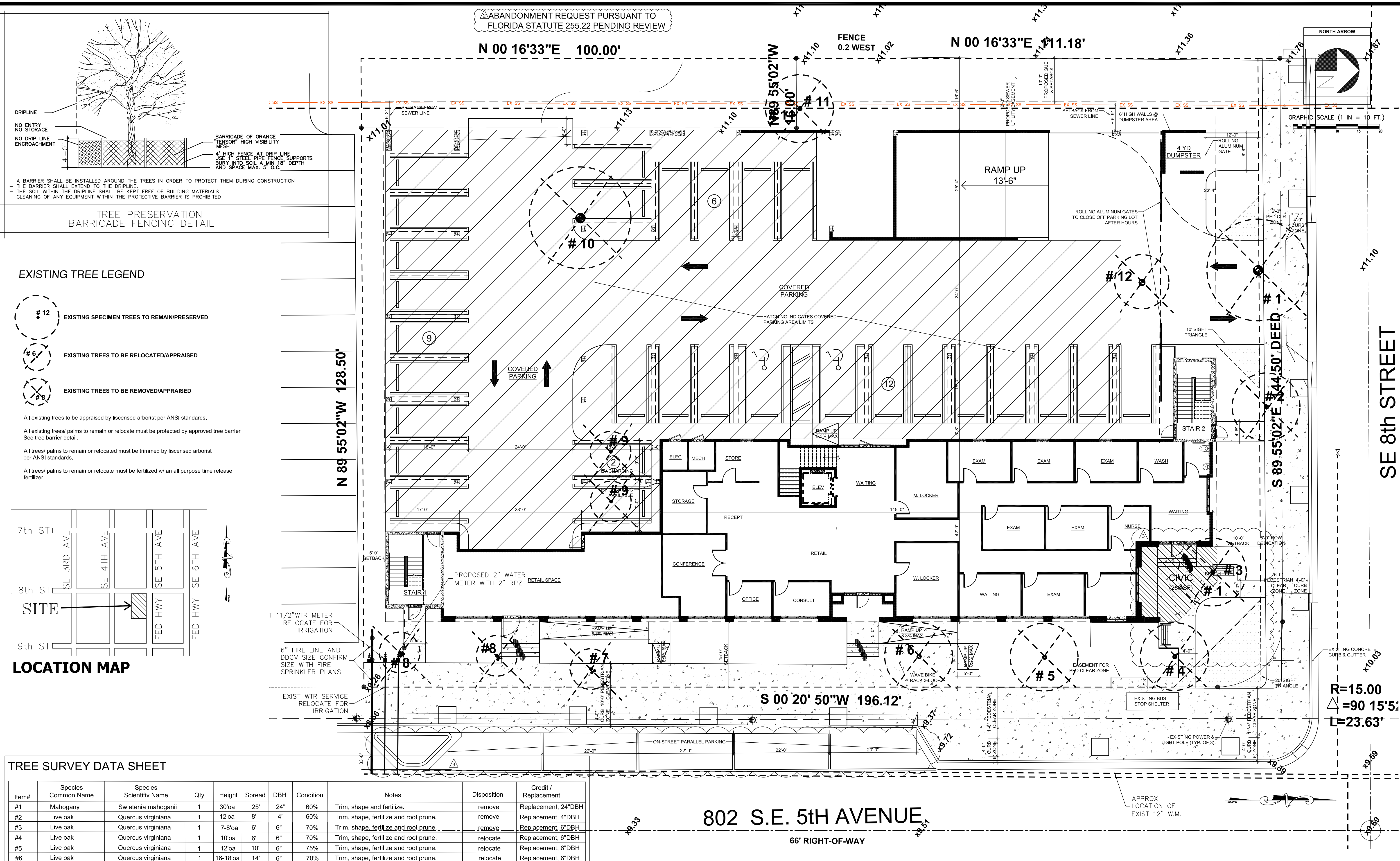
LOUIS ILIAS VLAHOS
LANDSCAPE ARCHITECT

LA #6666677
LC #26000319

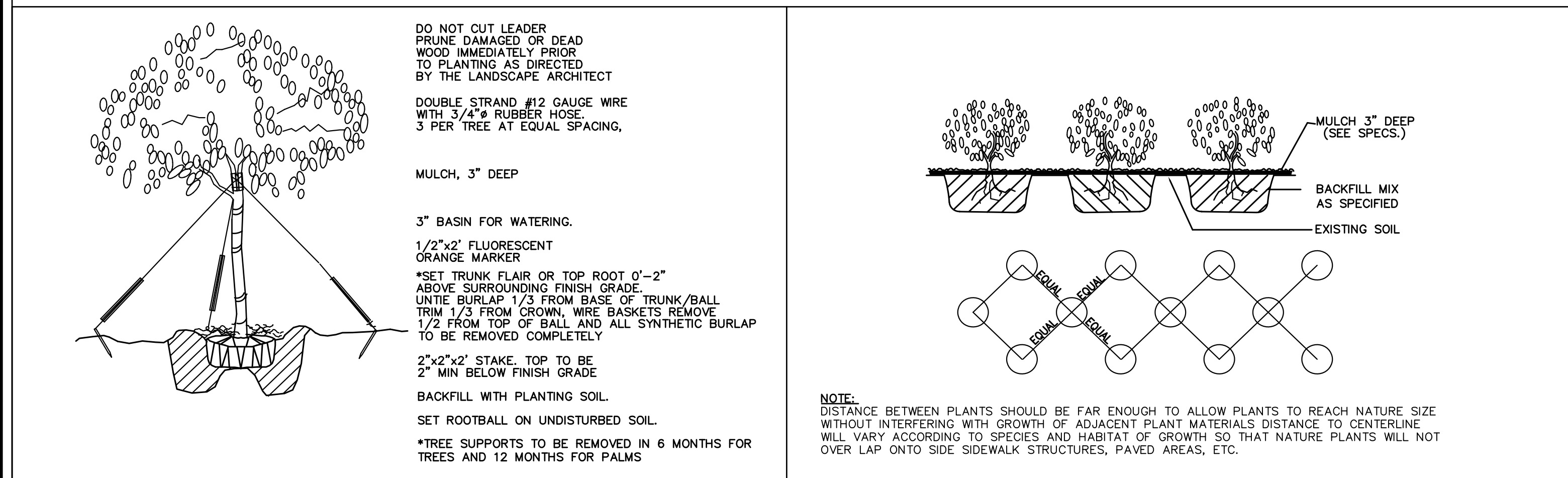
REV. NO.	DATE
REV. #1.	12.12.24
REV. #2.	03.31.25
REV. #3.	06.16.25

JOB NO:
DRAWN BY: LIV
DATE: 09.10.24
SCALE: 1" = 10'-0"

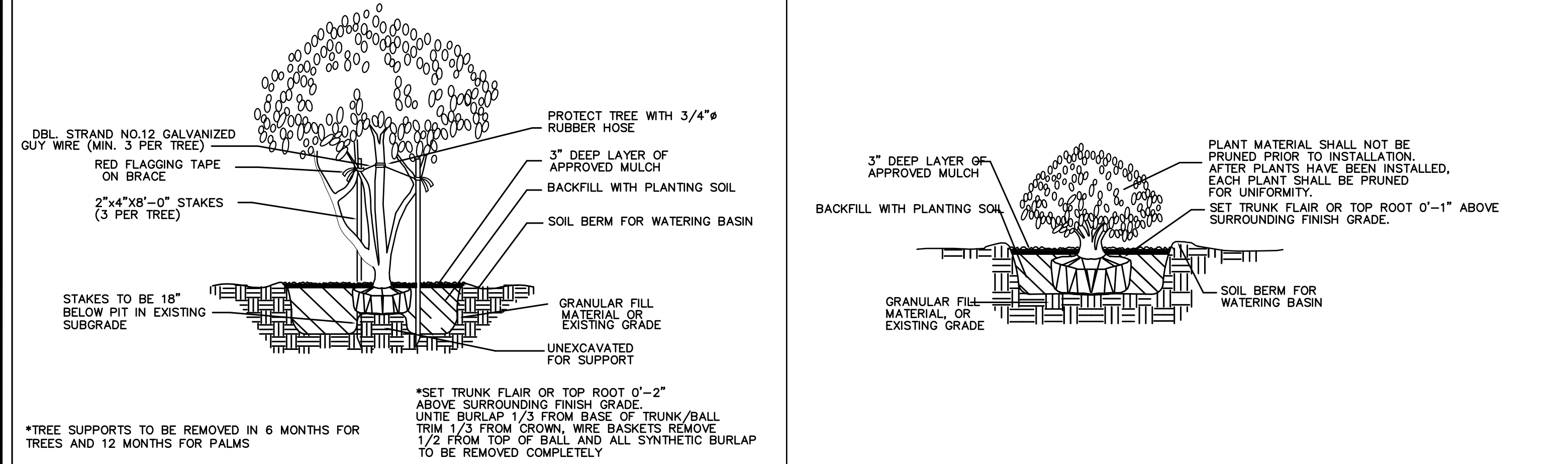
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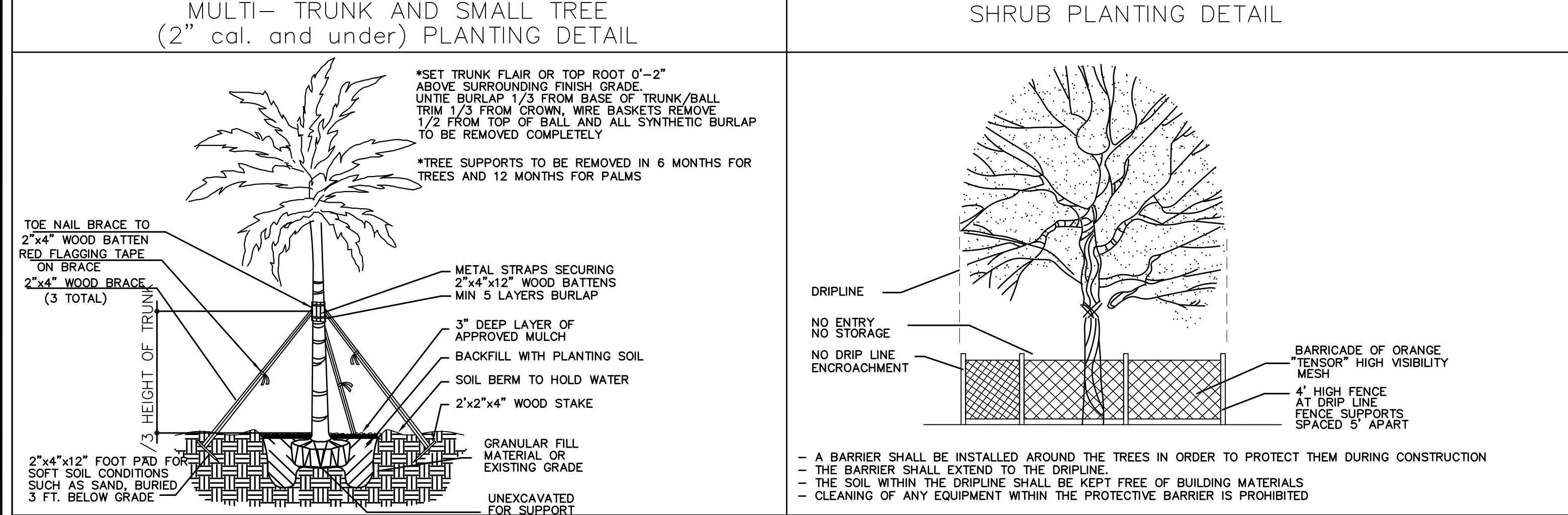
TREE SURVEY AND DISPOSITION PLAN



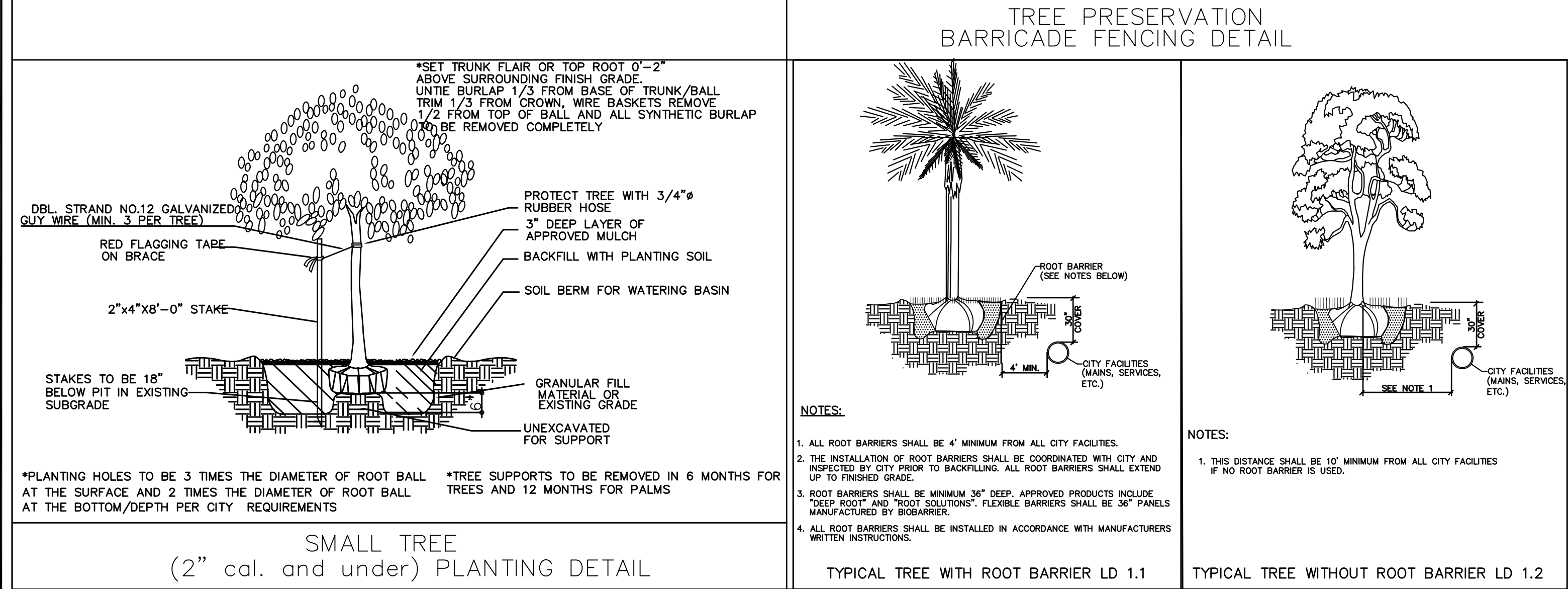
LARGE TREE
(2" cal. and over) PLANTING DETAIL



SHRUB/ GROUNDCOVER SPACING DETAIL



MULTI- TRUNK AND SMALL TREE
(2" cal. and under) PLANTING DETAIL



SMALL TREE
(2" cal. and under) PLANTING DETAIL

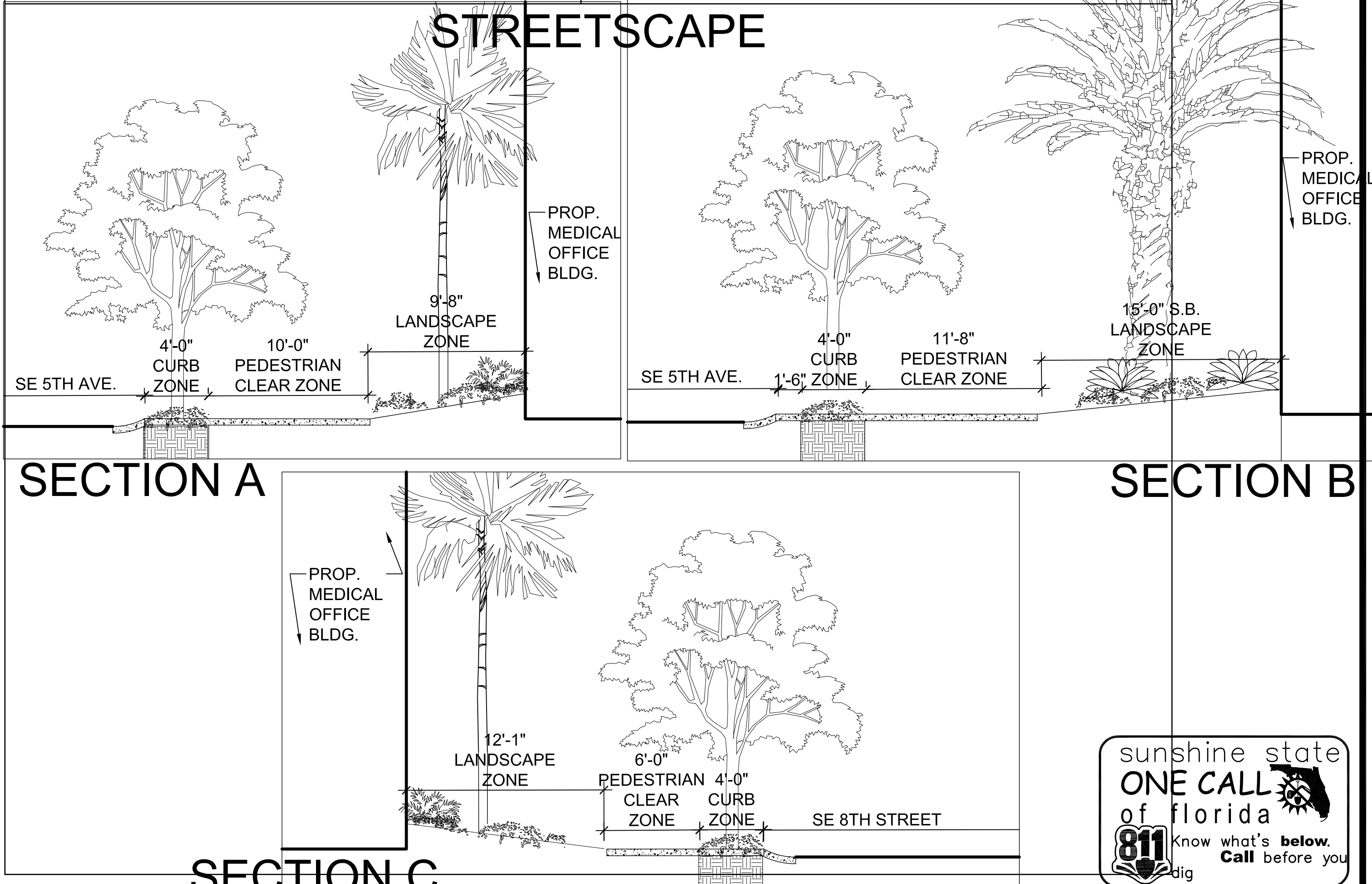
TYPICAL TREE WITH ROOT BARRIER LD 1.1

TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

GENERAL NOTES:

1. PLANT MATERIAL: All plant material shall be Florida #1 or better, as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or other organic mulch grade 'B' or better.
6. The Planting Plan shall be installed in compliance with all existing City codes and applicable deed restrictions.
7. SOD: All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway. Sod to be grade "A" weed free. All areas marked "Lawn" shall be St. Augustine "Floratum" solid sod. The Dry Retention area shall be "Bahia Grass" / "Paspalum Notatum". All sod shall be set level tight and even along planting beds. Landscape contractor is responsible for providing their own square footage takeoffs and field verification to provide 100% sod coverage of all areas specified
8. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas, 4" for seeded grass areas and 2" for sodded grass areas.
9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details. Planting soil backfill for all proposed Date Palms, Coconut Palms, Royal Palms and Liriodendrons shall be backfilled with 80% sand and 20% muck mixed with existing soil free of rock and debris. Bougainvillea species shall be backfilled with 100% sand at time of planting.
10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
11. Contractor to notify "Sunshine" at 1-800-638-4097 (48) hours prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).
15. No plunging of any tree or palm will be accepted. All plants to be planted w/ trunk flair or surface root 10% above grade (per City requirements).
16. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period.
17. All parking islands measuring less than 11 feet (including curbs) due to turning radii requirements shall have root barriers installed against the full perimeter of the island. All limerock shall be excavated from islands to a depth of 2-1/2 feet and backfilled with the specified planting mix.
18. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs/1000 s.f. or 545 lbs/acre. Nitrogen 50% slow release form & fertilizer to include secondary micronutrients.
19. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Architect, the owner and The City of Delray Beach
20. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
21. EXISTING MATERIAL: All existing material shall be brought to current city code standards. all existing hedges must be continuous as required.
22. DRAINAGE EASEMENT: Written approval must be obtained from local water management district prior to planting within the drainage easement.
23. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. Warranty is null and void for plant material which is damaged or dies as a result of "acts of God" limited to hail, freeze, lightning, automobile damage, and winds exceeding 75 mph as defined by the Miami Hurricane Center. All trees that lean or are blown over, caused by winds less than 75 mph, will be re-set and braced by the Contractor at no additional cost to the Owner.
24. Type "D" curbing and wheel stops shall be provided in the V.U.A. Refer to paving and drainage detail sheet for detail of type "D" curb and wheel stop.
25. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
26. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
27. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
28. Root-prune all trees a minimum of (8) weeks prior to planting.
29. Tree grates shall be positioned to meet in the center of treewell and have uniform spacing around outside edges of castings. Install grates where indicated on plans flush and leveled with surrounding pavement surface. Install steel angle frame, in concrete flush and leveled with surrounding paving surface, maintain flush and leveled at all times.
30. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious services and not overspray walkways. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
31. Hedge material shall be planted equal to the height of all dumpsters, transformers, mechanical equipment and other ground free-standing utility equipment or enclosures.
32. All plant material planted within the sight distance triangle areas (see plan) shall provide unobstructed cross-visibility at a horizontal level between 30 inches and 8 feet above adjacent street grade.
33. No canopy trees shall be planted within 15 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
34. Ground cover plantings shall provide not less than 75 percent coverage immediately upon planting and 100 percent coverage within 3 months after planting.
35. Tree protection barricades shall be provided around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
36. Tree removal/relocation permits must be obtained for existing trees to be removed or relocated.
37. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.
38. Quantities shown on the plant list take precedence over any discrepancies between the plans and plant list.
39. Proposed berms shall not exceed a 3:1 slope.
40. All plants are to be top dressed with a minimum 3" layer of Maleuca mulch, Eucalyptus mulch or equal. Mulch 18" beyond plantings.
41. All Landscape areas are to be provided with automatic sprinkler system which will provide 100% coverage and 50% overlap. All irrigation fittings and head connections will be purple pipe, Sch 40 PVC.
42. Trees in Lawn area are to receive a 24" diameter mulched saucer at the base of the trunk.
43. Rain sensor is required and shall be no over spray on any walkways or sidewalks.
44. Contractor must obtain landscape, irrigation and tree removal permits.
45. Trees shall be planted 4' from all underground utility lines . Written approved will be obtained from all utility companies for the proposed trees in the landscape easements prior to building permit and approval from the City of Delray Beach.
46. Landscaping to be clear 7'-6" of front and sides and 4' belting all fire hydrants, typ.

STREETSCAPE

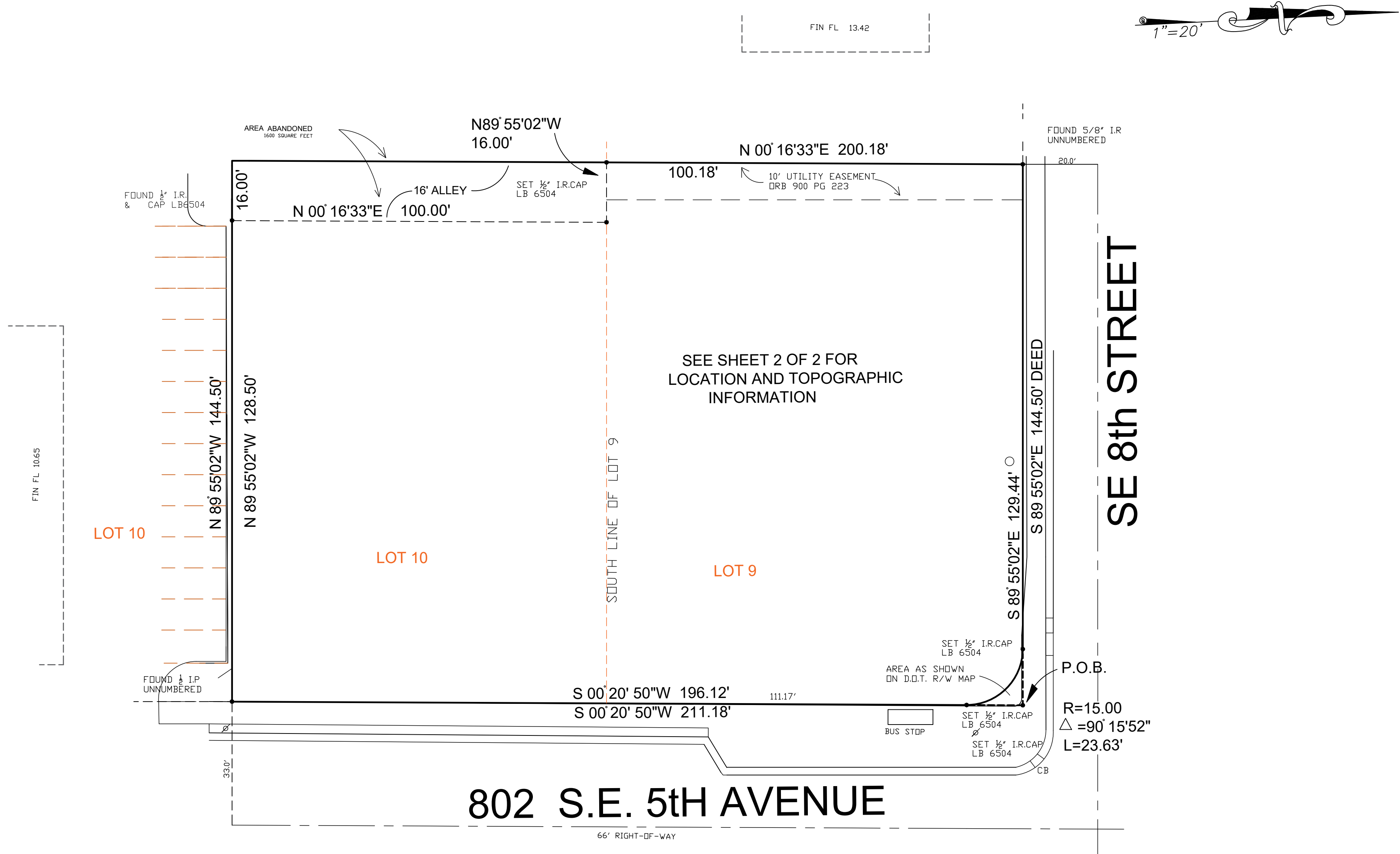


SECTION A

SECTION B

SECTION C

sunshine state
ONE CALL
of florida
811
Know what's below.
Call before you dig



A PART OF LOT 9 AND 10, BLOCK 1, IN MODEL LAND COMPANY'S SUBDIVISION OF SECTION 21, TOWNSHIP 46 SOUTH, RANGE 43 EAST, DELRAY BEACH, FLORIDA, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 128, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT OF INTERSECTION OF THE SOUTH LINE OF SOUTHEAST 8th STREET WITH THE WEST LINE OF SOUTHEAST 5th AVENUE, DELRAY BEACH, FLORIDA, RUNNING THENCE SOUTH ALONG THE WEST LINE OF SOUTHEAST 5th AVENUE A DISTANCE OF 211.13 FEET TO A POINT THENCE WESTERLY ALONG A LINE WHICH IS PARALLEL WITH THE SOUTH LINE OF SOUTHEAST 8th STREET A DISTANCE OF 144.5 FEET THENCE NORTH ALONG A LINE WHICH IS PARALLEL TO THE WEST LINE OF SOUTHEAST 5th AVENUE A DISTANCE OF 211.18 FEET TO A POINT IN THE SOUTH LINE OF SOUTHEAST 8th STREET THENCE EASTERLY ALONG THE SOUTH LINE OF SOUTHEAST 8th STREET; A DISTANCE OF 144.5 FEET TO THE POINT OF BEGINNING.

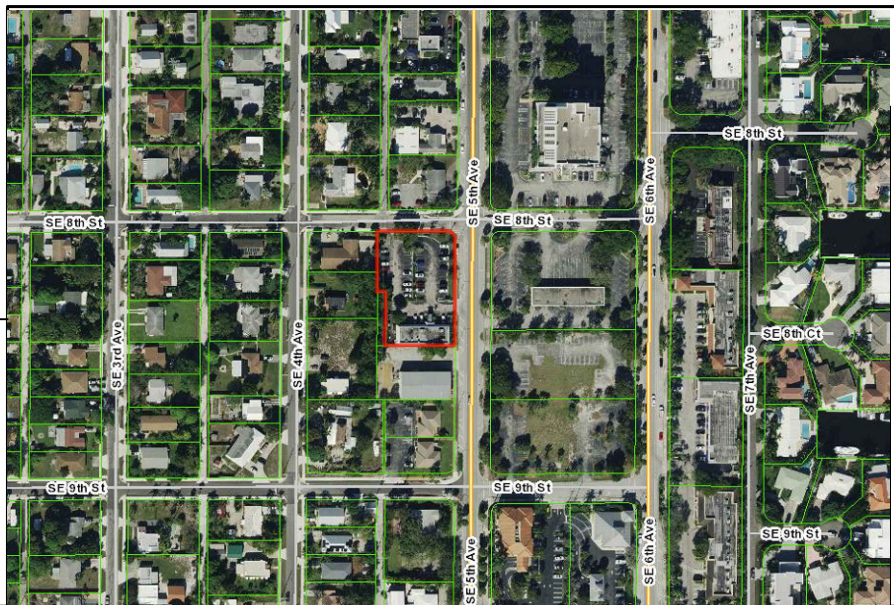
LESS PORTION DEEDED TO THE STATE OF FLORIDA IN OFFICIAL RECCORD BOOK 465 PAGE 593

CONTAINS 30,494.3 SQUARE FEET 0.7 ACRES

NOTES

- 1) BEARINGS SHOWN HEREON ARE RELITAVE TO PLAT AND ARE ASSUMED.
- 2) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 UNLESS OTHERWISE NOTED.
- 3) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

DRB = official record book	P.B. = plat book	P = plat	P.G. = page
C.B.S. = concrete block structure	TYP = typical	g = power pole	I.R. = iron rod
P.C.C. = point of compound curve	R/W = right-of-way	M = MEASURED	R = radius
P.C.P. = permanent control point	Δ = central angle	I.P. = IRON PIPE	D = deed
P.O.C. = point of commencement	Q = bearing basis line	RP = radius point	D.S. = offset
P.O.B. = point of beginning	ASPH = asphalt	L = ARC LENGTH	CDNC = concrete
D/E = drainage easement	M.H. = manhole	CL = centerline	ESMT = easement
C.M.P. = corrugated metal pipe	U/E = utility easement	ALUM = aluminum	CALC. = calculated
R.L.S. = registered land surveyor	CLF = chain link fence	P.C. = point of curvature	
L.B. = licensed business	P.R.M. = permanent reference monument		



NORTH
NOT TO SCALE
NORTH
VICINITY
MAP

Renner Burgess
LAND SURVEYING
801 S.E. 6th Ave., Suite 200one 561-243-4624
Delray Beach, FL 33483 Fax 243-4869

AUTHORIZATION NUMBER LB6504

I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER SJ-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

HARRY A BURGESS PLS 5089

CERTIFIED TO:

802 SE 5th Ave, LLC
Delray Title & Abstract Company
Stewart Title Guaranty Company
The Northern Trust Company, an Illinois banking corporation, ISAOA ATIMA

MAP DATE X
MAP No 12099C0979G
MAP DATE 12-20-2024

DATE 9-20-2025
JOB NO 1-24-048

NOT VALID
UNLESS SEALED
WITH EMBOSSED
SURVEYOR'S SEAL



June 25, 2025

To: City Delray Beach – Planning & Zoning Department

Re: Delray Dermatology
802 SE 5th Avenue
Delray Beach, FL
Waiver Justification statement

Dear Building Official,

We are requesting the following waivers for the Delray Dermatology Project to be located at 802 SE 5th Avenue:

Stacking Distance LDR 4.6.9 (D)(3)(c). For parking areas with 51 spaces or more the required stacking is 50'-0" and we are proposing 23'-9" stacking. We have 54 spaces which is only 3 spaces above the threshold for 20' stacking and we have eliminated the vehicular access point on SE 5th Avenue per staff request. We have greater than 20' of stacking at the entrance which is the required stacking for 50 or fewer spaces. The Driveway Analysis prepared by Kimley-Horn shows that the proposed stacking distance is sufficient for the traffic volume of the project. Driveway Analysis by Kimley-Horn attached to this pdf.

Number of Parking Spaces Required LDR 4.6.9 (C). Our proposed development requires 56.2 (56) parking spaces to be provided on site. We have provided 54 spaces on site with 5 additional parallel street parking spaces along Federal Highway also proposed. The Parking Analysis prepared by Kimley-Horn shows a reduced parking requirement is appropriate for application at this site. We are also proposing 5 parallel parking spaces along Federal Highway which brings the total parking count to 59 spaces which is greater than the required 56 spaces. Parking Analysis by Kimley-Horn attached to this pdf.

Parallel Parking Island Length LDR 4.6.16(H)(5)(a)3. Parallel Parking Islands at the beginning or end of parallel parking spaces are required to be 22' long. We can provide 16'-4" in length along with 5 parallel parking spaces and not extend south of our south property line. The justification for this is we can provide 5 parallel spaces instead of 4 spaces as we cannot extend any further south due to a drive entrance for the property just to the south of the subject property. We can provide the one required tree and the associated understory plantings with the proposed 16'-4" length. This tree will be a Sabal Palm due to the location of existing utilities that limits planting room to a palm tree and also to avoid conflict with the proposed cathedral street scape oak trees.

Thank You for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Randall Stofft", written in a cursive style.

Randall E. Stofft, AIA
President
RES/gs

42 N. SWINTON AVE, SUITE 1
DELRAY BEACH, FLORIDA 33444
561-243-0799 – PHONE
561-243-0299 – FAX

WWW.STOFFT.COM
AA0003379



June 11, 2025

Patrick Figurella, P.E.
Development Services Engineering Division Manager
Delray Beach Public Works Department
434 South Swinton Avenue
Delray Beach, Florida 33444

**RE: 802 SE 5th Ave – Delray Dermatology
 Driveway and Loading Zone Waiver Justification
 Delray Beach, Florida**

Dear Patrick:

Kimley-Horn has undertaken the following parking reduction request to evaluate anticipated parking requirements for the above-mentioned site, located on the southwest corner of SE 5th Avenue & SE 8th Street, in Delray Beach, Florida. The proposed development includes redeveloping the existing site into a 10,632 square foot medical office building and 919 square feet of retail space.

Below is a summary of the code-required parking for the site, a summary of site-specific conditions that are anticipated to contribute to lower general parking demand for the site, and data from professionally-accepted sources demonstrating that actual parking requirements for this type of development is lower than the rates defined by the City of Delray Beach.

Code Parking Requirements

The development is proposed to contain a 10,632 square foot medical office building and 919 square feet of retail space. Based upon the requirements of the City of Delray Beach, parking is required at a rate of 5 spaces per 1,000 square feet of medical office space, and one space per 300 square feet of retail space. This results in a requirement of 56 parking spaces (53 for the medical office and 3 for the retail). A total of 54 spaces are being provided on site, with an additional 5 spaces being provided offsite on Federal Highway.

Data Evaluation of Parking Ratios

Kimley-Horn has undertaken a review and evaluation of multiple sources of data to evaluate the anticipated parking requirements for medical office uses in comparison to the requirements defined in the Delray Beach Code. Parking supply evaluations have been undertaken using data obtained from the following sources:

- *Parking Generation, 6th Edition*, published by the Institute of Transportation Engineers (ITE). This resource contains data and information based upon national studies based upon the nationally-recognized professional organization that represents the Transportation Engineering profession

- *Shared Parking, 3rd Edition*, published by the Urban Land Institute (ULI). This resource contains data and information based upon national studies based upon the nationally-recognized professional organization that represents the Transportation Engineering profession

Evaluation 1: Parking Supply Rates Based upon Parking Generation, 6th Edition (ITE) data

A calculation of anticipated parking demand was undertaken using data published by The Institute of Transportation Engineers (ITE) in *Parking Generation, 6th Edition*. For the medical office land use defined in this publication, empirical parking demand data that has been collected on sites throughout the country is compiled to develop rates and/or equations that represent the typical parking demand expected for that type of land use. The parking demand data published for ITE Land Use 720 (Medical-Dental Office – Standalone) setting is attached to this letter for reference. As shown in the data, the 85th percentile confidence interval for anticipated parking demand for medical office is 4.28 spaces per 1,000 square feet. Excerpts from *Parking Generation, 6th Edition* are attached. It should be noted that the average rate is 2.63 spaces per 1,000 square feet, which is much lower than the analyzed 85th percentile rate.

The data published by ITE represents parking demand, not supply. Therefore, for the purposes of determining a supply requirement, a buffer of 10% is appropriate to be applied to ensure that a sufficient buffer of available parking spaces is provided on site. Therefore, adding a 10% buffer, the recommended minimum ratio is 4.71 spaces per 1,000 square feet. *Table 1* provides a summary of the calculations.

Table 1: Parking Supply Calculation - ITE Rates

Land Use	Intensity	ITE Rate	Required Parking (Spaces)
Medical Office	10,632 Sq. Ft.	4.28 Spaces / 1,000 Sq. Ft.	46 (Demand)
WITH 10% BUFFER:			51 (Supply)

When the code-required parking for the retail space (3 spaces) is added to the required parking supply per this calculation, a total of 54 spaces is required, which is what is provided on-site.

Evaluation 2: Parking Supply Rates Based upon Shared Parking, 3rd Edition (ULI) data

Another evaluation of parking supply requirements for the proposed development was conducted using data published by the Urban Land Institute. For the medical office land use defined in this publication, empirical parking demand data that has been collected on sites throughout the country is compiled to develop rates and/or equations that represent the typical parking demand expected for that type of land use. The parking demand data published for Medical Office setting is attached to this letter for reference. As shown in the data, the 85th percentile confidence interval for anticipated parking demand for medical office is 4.6 spaces per 1,000 square feet. Excerpts from *Shared Parking, 3rd Edition* are attached. ULI does not recommend adding any factors to this rate to determine supply. *Table 2* provides a summary of the calculations.

Table 2: Parking Supply Calculation - ULI Rates

Land Use	Intensity	ITE Rate	Required Parking (Spaces)
Medical Office	10,632 Sq. Ft.	4.60 Spaces / 1,000 Sq. Ft.	49

When the code-required parking for the retail space (3 spaces) is added to the required parking supply per this calculation, a total of 52 spaces is required, which is provided on-site.

Loading Zone Waiver Request

The proposed site plan does not include a code-required loading zone for deliveries. Loading zones are typically provided for the extended loading and unloading of delivery vehicles, such as offloading restaurant supplies from an articulated truck, or moving large parcels to and from box trucks. The proposed medical office use will not receive regular deliveries that require extended loading and offloading. Parcel service will be limited to typical postal service and overnight delivery services such as FedEx and Amazon which use vans or small utility trucks for service. These vehicles typically pull up to a location near the building entrance and exchange packages quickly, without utilizing a loading zone. A small retail bay is proposed as part of this site plan; however, considering the small size of the bay (less than 1,000 square feet), large truckload deliveries are not anticipated. A location denoting the parking area for the deliveries is shown on the site plan, and this location does not interfere with safe or efficient operation of the drive aisles or parking spaces for the brief period that the area is occupied. Based on the site plan and the uses proposed on site, a marked loading zone is not anticipated to be needed.

Conclusion

As demonstrated in this summary, a reduced parking requirement is appropriate for application at this site. Two professionally-accepted sources of medical office parking rates were used to calculate actual supply requirements for this site: rates published by ITE in *Parking Generation, 6th Edition* and rates published by ULI in *Shared Parking, 3rd Edition*. Based on these calculations, it has been demonstrated that the proposed supply of 54 on-site spaces is expected to accommodate the parking demand of this site. An additional 5 spaces are being provided along Federal Highway which will further provide parking to users of the site. Furthermore, loading operations are anticipated to be limited to standard overnight parcel delivery services which do not typically utilize loading zones for their quick drop-off and pick-up operations. Deliveries using larger trucks or for extended periods are not anticipated for these uses. Based on this evaluation, a waiver from the loading and parking requirements is requested.

Should you have any questions, please contact me via e-mail at adam.kerr@kimley-horn.com or via phone at (561) 840-0874.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Adam B. Kerr, P.E.
Transportation Engineer

Florida Registration Number 64773

Attachments

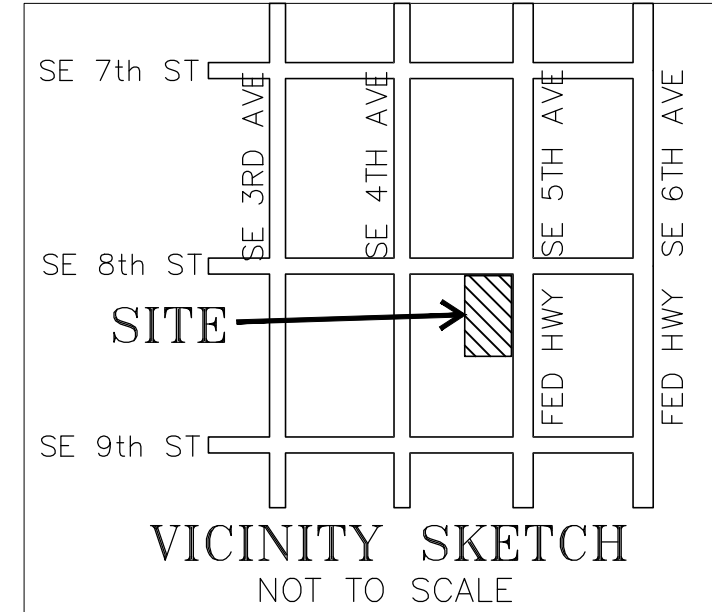
k:\wpb_tpto\2411\241189000 - 802 se 5th\parking waiver.docx

GROSS AREA CALCULATION	
1) 1ST FL MEDICAL	4836 SF
2) 1ST FLOOR RETAIL	919 SF
3) 2ND FL MEDICAL	5796 SF
4) 2ND FL COVID PATIO	231 SF
5) STAIR 1	234 SF
6) STAIR 2	184 SF
7) COVERED PARKING	11682 SF
	23881 SF

PARKING DECK CALC	
2ND FL PARKING DECK & RAMP	13311 SF
	13311 SF

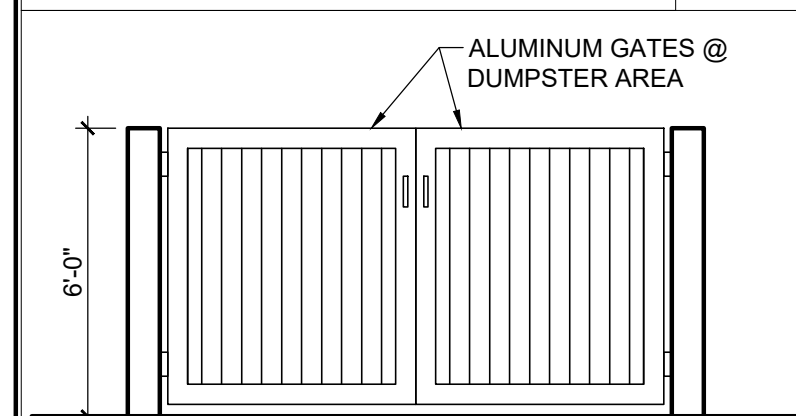
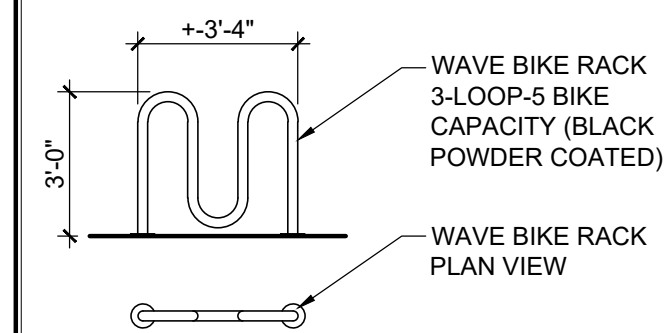
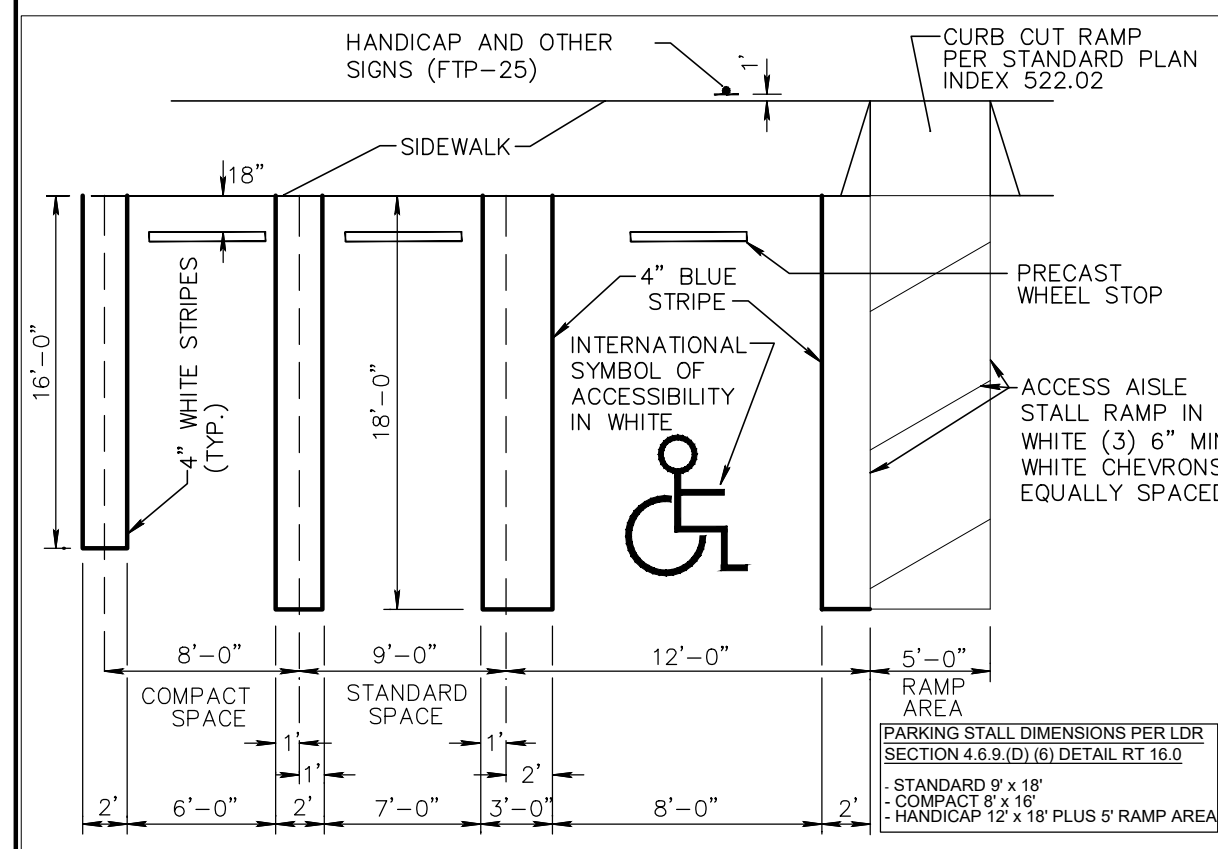
MEDICAL AREA CALC	
1) 1ST FL MEDICAL	4836 SF
3) 2ND FL MEDICAL	5796 SF
	10632 SF

PARKING CALCULATIONS	
MEDICAL 10,632 SF @ 5 SPACES/1,000 SF = 53.16	
RETAIL 919 SF @ 1 SPACES/300 SF = 3.06	
TOTAL REQUIRED = 56.2 SPACES	
PROVIDED PARKING	
2ND FLOOR	25
1ST FLOOR	29
TOTAL	54

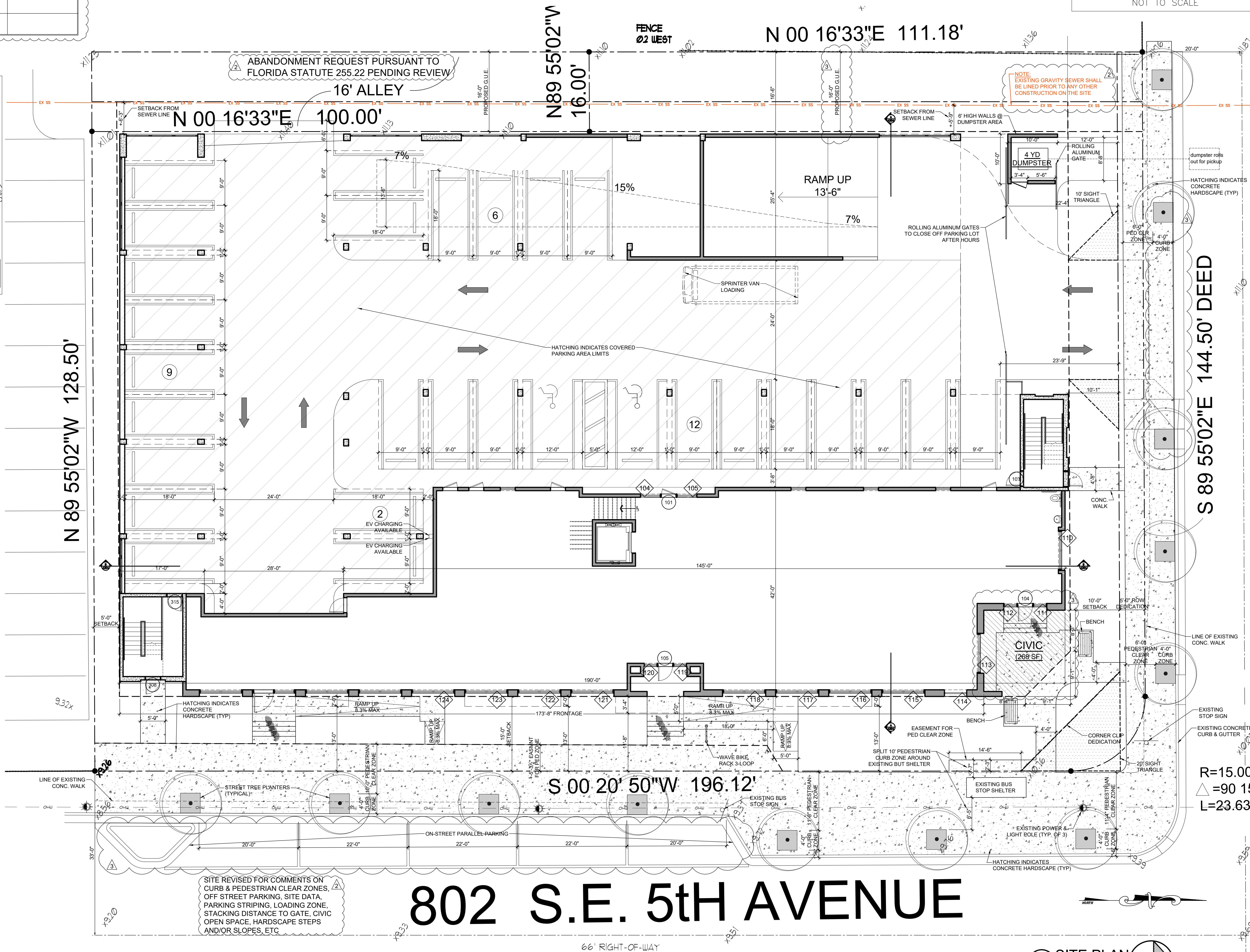


VARIANCE OR WAIVER NO.	LDR REFERENCE CHAPTER/ SECTION	REQUIRED	PROVIDED	VARIANCE OR WAIVER	APPROVAL DATE/ RESOLUTION NO.
1	4.6.9 (D)(3)(c) stacking distance (for > 50 spaces)	50'-0"	23'-9"	WAIVER	
2	4.6.9 (C) Number of Parking Spaces Required	56.2	54 on site 5 on street	WAIVER	
3					

GLASS SPECIFICATIONS:
GLASS IN DOORS & WINDOWS FACING STREETS SHALL BE NON-MIRRORED,
NON-REFLECTIVE GLASS WITH NO MORE THAN 20% LIGHT REDUCTION RATING



2 DUMPSTER GATE
ELEVATION
SCALE: 1/4" = 1'-0"




1 SITE PLAN
SCALE: 1" = 10'-0"

6-4-2025

	REVISIONS	BY	DATE
1	I.B.O.	GS	4.9.2024
2	1st SPRAB comments	GS	12.23.2024
3	2nd SPRAB comments	GS	2.28.2025
4	3rd SPRAB comments	GS	5.27.2025

DELRAY DERMATOLOGY
802 SE 5th Avenue
DELRAY BEACH, FL

Site Plan Review Set
File No. 2024-254



RANDALL STOFF
ARCHITECTS
distinctive | inspirational | architecture

distinctive inspirational architecture

[illegible]

Job No. 2404036

FL-0011105 FIRM-AA003379

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A101

Medical-Dental Office Building - Standalone (720)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Number of Studies: 41

Avg. 1000 Sq. Ft. GFA: 27

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.63	1.02 - 5.97	2.38 / 4.28	2.28 - 2.98	1.15 (44%)

Data Plot and Equation

