



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Drutau Retail

Meeting	File No.	Application Type
June 26, 2024	2021-002-SPF-SPR-CLV	Level 2 Site Plan (previously Class V)
Property Owner	Applicant	Agent
M&C Capital, LLC	M&C Capital, LLC	Jordy Sopourn, RJS Architects

Request

Consideration of a Level 2 Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 1,360 square foot, one-story retail building with associated site improvements, located at 2 NW 18th Avenue.

General Data

Location: 2 NW 18th Avenue

PCN: 12-43-46-18-00-000-5260

Property Size: 0.1535 acres (6,686 square feet)

Land Use Designation (LUM): GC (General Commercial)

Zoning District: GC

Adjacent Zoning:

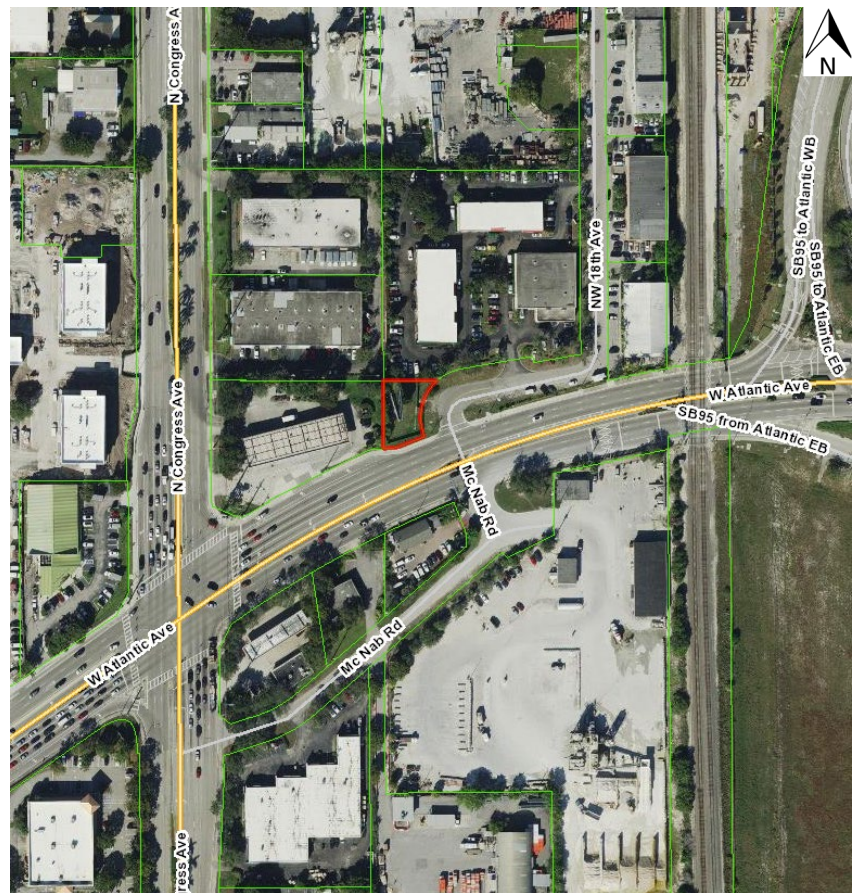
- **North and East:** MIC (Mixed Industrial and Commercial)
- **South:** MROC (Mixed Residential, Office, and Commercial)
- **West:** GC

Existing Use: Vacant/Existing Billboard

Proposed Use: 1,360 square foot, one-story retail building

Floor Area Ratio:

- **Existing:** N/A
- **Proposed:** 0.2
- **Maximum allowed:** 3.0



Project Planner:

Alexia Howald, Senior Planner;
Howalda@mydelraybeach.com
Alexis Rosenberg, Senior Planner;
561-243-7325



Background

The subject property is a 0.15-acre lot located on the north side of West Atlantic Avenue between North Congress Avenue and NW 18th Avenue. The property is currently vacant with the exception of a free-standing billboard that is not proposed for demolition at this time. The property is zoned GC and has a Land Use Map designation of GC. The property's history is as follows:

- **2007 – 2015:** Three +/- 250 square foot construction trailers resided on the property. City records do not show building permits for the construction of the trailers.
- **June 12, 2014:** SGJ Properties, LLC (owner of the billboard separate from owner of the property) entered into an Easement and Assignment of Lease Agreement with Landmark Infrastructure Holding Company, LLC for a term of 99 years, assigning Landmark Infrastructure Holding Company, LLC all of its right, title, and interest in, under the existing sign location lease between SGJ Properties, LLC and CBS Outdoor LLC (Billboard Tenant). The Agreement is attached and outlines the following four easements:
 - Billboard Sign Structure Easement;
 - Access Easement;
 - Utility Easement; and
 - Visibility Easement.
- **March of 2015:** The three construction trailers were removed, the lot was graveled, and a sign was posted outside the property stating “brewery parking.” City records do not show building permits for the demolition of the trailers or for the graveling of the site. Additionally, it appears that no formal parking agreement was recorded, assigning 2 NW 18th Avenue as a parking lot for the nearby brewery.
- **2016:** The “brewery parking” sign appeared to be removed and the graveled area grew over with vegetation.
- **February 20, 2019:** M&C Capital, LLC purchased the property.
- **August 23, 2023:** The project was considered at the August 23, 2023 SPRAB meeting. Direction was given by Board members requesting that the applicant provide more architectural detailing on the building, introduce a more welcoming color palette, add glazing on the north façade to further pronounce the front entrance, and apply architectural treatments that create a better-defined storefront. The applicant has subsequently revised the elevations and believes the changes adequately address the concerns of the Board.

It is imperative to note that the property owner has submitted documentation demonstrating the consent of the Billboard Tenant regarding the potential encroachment of the proposed structure into the aforementioned easements. This consent underwent review and approval by the City legal department.



View of The Property from West Atlantic Avenue, facing northwest



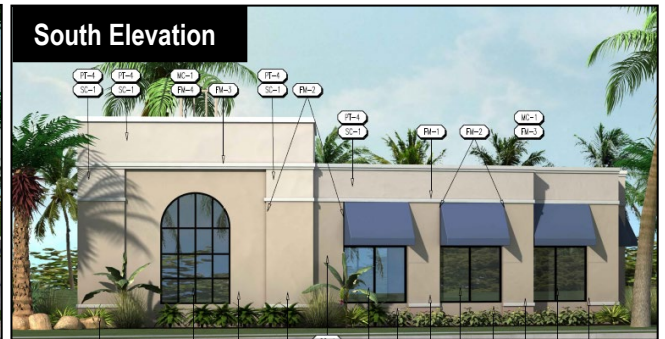
Description of Proposal

The proposal is for the construction of a new 1,360 square foot, one-story retail building. The building’s main entrance is located on the north side of the building, facing the six-space parking lot. Access to the site is provided via the existing curb cut on NW 18th Avenue. The double-sided billboard is located on the west side of the property, north of the proposed building, and is under separate ownership.

The images below show the original proposed rendering that was considered at the August 23, 2023 SPRAB meeting and the updated elevation with the amended color scheme, addition of awnings, and change of window type. On August 23, 2023, the Board voted 6-0 to continue the item with direction, expressing a desire to see more architectural detailing, a more welcoming color palette, additional window treatment on the north façade to further pronounce the front entrance, and additional treatment to the elevations to create a better-defined storefront. A comparison for each elevation is provided in the architectural analysis of the report.



Rendering from August 23, 2023 SPRAB meeting



Updated elevation

Review & Analysis: Site Plan and Zoning

LDR Section 2.4.10(A)(3)(b), Site Plan Applications

The request is considered a Level 2 Site Plan, which is subject to compliance with the required findings in Chapter 3, Performance Standards.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 and 3.2.2. are provided throughout the following report sections.

3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The property has a Land Use Map designation of GC, and a zoning designation of GC, which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is the preferred zoning district to implement the GC land use designation. Pursuant to LDR Table 4.4.9(B)(1), general retail uses are permitted in GC. Therefore, the resulting use of land is compatible with the underlying land use.



3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: Water and sewer services will be provided to the site through the establishment of a new forcemain connecting to an existing manhole on the south side of the building. Pursuant to the Always Delray Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage. The site proposes permeable pavers; therefore, drainage and water run-off will be addressed through on-site retention, which should not impact the level of service standard.

Transportation: A Traffic Performance Standards (TPS) review was conducted by the Palm Beach County Traffic Division on August 6, 2020. Pursuant to the TPS review, the proposed project is projected to have a net impact of less than 20 peak hour trips. Therefore, a detailed traffic study is not required, and the project has been determined to meet the Palm Beach County Traffic Performance Standards A technical note has been added, requiring an updated TPS letter prior to site plan certification, utilizing Palm Beach County’s most recent trip generation rates to ensure concurrency.

Parks and Open Space: The GC zoning district requires a minimum of 25 percent of non-vehicular open space on the property. Based on the proposed site plan, the project provides a total of 2,130 square feet (32.3 percent) of open space. As residential units are not proposed with the development, park impact fees are not required.

Solid Waste: The subject property currently produces zero waste, as it is developed with one billboard. Based on the Waste Generation Rates for Palm Beach County, the proposed development will generate approximately 6.9 tons (13,872 pounds) of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: Not Applicable.

3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are LDR Section 3.2.1, Basis for determining consistency, which requires a determination of consistency with the Comprehensive Plan, and LDR Section 3.2.3, Standards for site plan and/or plat actions, which provides standards for site plan actions. The standards strive to ensure that new development will not have a negative impact on the sounding area, provide any requisite amenities to enhance the quality of life for its residents when residential units are provided, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards, as there are no identified concerns related to the overall consistency with Article 3.2.

Comprehensive Plan

Overall, the proposed modifications are consistent with the applicable Goals, Objectives, or Policies of the Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors and Mobility Elements.

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.2 *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide:*



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- Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods.
- Uses that meet the daily needs of residents.
- Public open spaces that are safe and attractive.

Policy NDC 1.1.11 Use the implementing zoning districts identified in Table NDC-1 to provide appropriate development and improvements that further the adopted strategies of and are compatible with the assigned land use designation.

Policy NDC 1.1.12 Develop and redevelop remaining infill lots in residential neighborhoods using zoning that is identical or most similar to the zoning of adjacent properties or that results in same or less intense development. Cross reference Policy CME 2.2.4.

Policy NDC 1.1.14 Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

Table NDC – 1 of the Neighborhoods and Districts Corridor element of the Always Delray Comprehensive Plan sets forth a maximum intensity (Floor Area Ratio) of 3.0 for the Community Facilities Land Use Map Designation; the request proposes 0.2.

Mobility

Policy MBL 2.4.3: Incorporate adequate public facilities, such as sidewalks and bike routes into the transit network to provide access to all users and to provide connectivity.

Policy MBL 2.5.2: Ensure safe vehicular, pedestrian, and bicycle operations in all new development, redevelopment, and on all City streets, including at driveway entrances and at intersections.

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors and Mobility Elements. The proposal includes the construction of a stand-alone retail building, which is a use anticipated in the GC zoning district and is compatible with the surrounding commercial and auto-service businesses. The property has been vacant for eight years and is the only vacant parcel within the block. The proposed infill development is of a similar scale to the nearby buildings and contributes to the overall mix of commercial uses in the area. The table below outlines the surrounding properties' existing uses, land uses, and zoning.

Location	Development Type / Uses	Land Use Designation	Zoning District
North	Automotive Services	Commerce (CMR)	Mixed Industrial and Commercial (MIC)
South	General Commercial	Congress Avenue Mixed Use (CMU)	Mixed Residential, Office, and Commercial (MROC)
East	Salt Water Brewery	CMR	MIC
West	Gas Station	General Commercial (GC)	GC

Currently, the sidewalk along West Atlantic Avenue curves north along the west and east sides of NW 18th Avenue by about 26 feet. If approved, the development will provide a connection from the parking area to the existing sidewalk, providing a safe pedestrian and bicycle route from the subject property to the existing pedestrian network along West Atlantic Avenue.

3.1.1(D), Compliance with the LDR:

Whenever an item is identified elsewhere in these Land Development Regulations (LDR), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.



Section 4.3.4(K): Development Standards, CF Zoning District

	Required / Allowed	Provided
Lot Area (Min.)	0 square feet	6,686 square feet
Lot Width (Min.)	0 feet	65 feet
Lot Depth (Min.)	0 feet	106 feet
Lot Frontage (Min.)	0 feet	65 feet
Lot Coverage (Max.)	75%	67.7%
Non-Vehicular Open Space (Min.)	25%	32.3%
Height (Max.)	48 feet	18 feet
Setbacks (Min.)		
Front (Atlantic Avenue - south)	10 feet	10 feet 4 inches
Side Street (NW 2 nd Avenue - east)	10 feet	10 feet 10 inches
Rear (north)	10 feet	53 feet
Side Interior (west)	0 feet	4 feet 6 inches

Section 4.3.4(H)(6)(b), Special Landscape Setbacks

Standard/Regulation	Required	Provided
Special Landscape Area (Front) LDR Section 4.3.4(H)(6)(b)(3)	Minimum: 30 feet or 10% of the average depth of property: 10 feet 8 inches required	10 feet 8 inches

Other Applicable Regulations

Requirement	Review
Off-Street Parking: LDR Section 4.6.9(C)(3)(a)	Requirement: 6 spaces (4.5 spaces per 1,000 square feet of gross floor area) Provided: 6 spaces including one ADA space
Bicycle Parking: Table 4.6.9(C)-1	Requirement: Type I – 2 spaces (two spaces per 10,000 square feet) Type II – Not required. Provided: 2 Type I spaces (three-ribbon rack)
Streets (rights-of-way): LDR Section 6.1.2(C)(2)(e)	Required 25-foot radius right-of-way dedication at the intersection of West Atlantic Avenue and NW 18 th Street to be provided.

3.2.3 - Standards for Site Plan and/or Plat Actions:

The following standards are applicable to the request:

- (A) *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
The proposed building design does not impede vehicle circulation, nor does it create unwarranted distractions to traffic circulation. The landscape design and lighting enhance the overall area by providing lush ground covers and trees and safety by providing streetlights to a vacant area that lacks any landscaping or lighting.
- (B) *All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly-accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).*
A new sidewalk is proposed along NW 18th Avenue connecting to the existing sidewalk on W. Atlantic Avenue. The new proposed sidewalk also includes ADA connection to the front door of the building.
- (C) *Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.*



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The subject property is located within the General Commercial (GC) zoning district. The base district development standards require a minimum of 25 percent of non-vehicular open space, whereas, the proposal is providing 32.3 percent of non-vehicular open space.

(H) Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the-surrounding areas, the project shall be modified accordingly or denied.

Overall, the development will enhance the safety, livability and stability of the surrounding area by providing sidewalks, lighting, and landscaping to a currently vacant lot.

(K) Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.

The allowed floor area ratio established for the GC zoning district is 3.0; the provided floor area ratio is 0.2.

Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

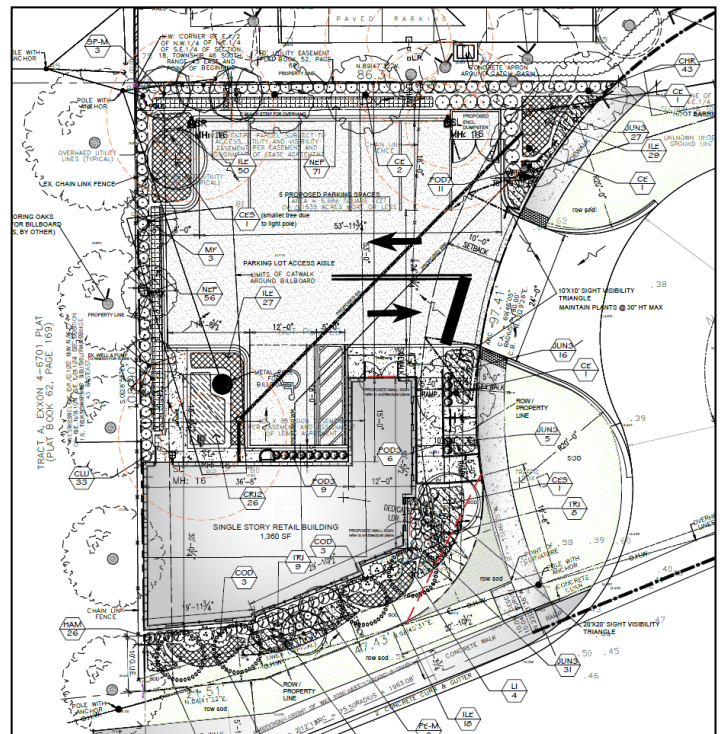
Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

The site is currently vacant, aside from the existing billboard, lacking vegetation. The proposal includes extensive landscape improvements, establishing a mixture of Buttonwood trees, Silver Buttonwood trees, Simpson Stoppers, Cabbage Palmetto, Cocoplum, Dwarf Schillings Holly, and Parsoni Juniper along the north, west, and east property lines.

Pursuant to LDR Section 4.4.9(H)(1), the first 10 feet of the front yard setback, which is adjacent to a right-of-way, shall be a landscaped area. [...] Within the required front landscape area, no paving shall be allowed except for driveways and walkways which shall be generally perpendicular of the property line.

Further, pursuant to LDR Section 4.3.4(H)(6)(b)(3), along West Atlantic Avenue, From I-95 to the Western City Limits, a special landscape area shall be provided on both sides of the ultimate right-of-way. This landscape area shall be the smaller distance of either 30 feet or ten percent of the average depth of the property; however, in no case shall the landscape area be less than ten feet. The project proposes a 10 foot and eight-inch special landscape area along the south side of the proeprty, facing West Atlantic Avenue. The area is landscaped with a mix of Silver Buttonwood trees, Lavender Crape Myrtle trees, Alexander Palms, Schefflera, Firebush, Dwarf Schillings Holly, and Parsoni Juniper, which create a dense landscape buffer between West Atlantic Avenue and the building. Interior landscaping and foundation plantings are also provided to meet the minimum landscape requirements.



The landscape plan has been deemed technically compliant by the Senior Landscape Planner.



Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

1. *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
2. *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

(B) Building and structure requirements

The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. The property is not located within the Central Business District (CBD); therefore, the building is not required to adopt a specific architectural style from the City’s CBD Architectural Design Guidelines. The architectural style is proposed as masonry modern with a slight influence of classical tradition, specifically regarding the ornamental, half-oval window on the south façade. The structure’s modern elements include its flat roof, simple geometrics, and stucco finish. The base and middle are differentiated by color and molding, and the top is emphasized with stucco banding in a lighter shade than the rest of the building.

On August 23, 2023, the Board voted 6-0 to continue the item with direction, expressing a desire to see more architectural detailing, a more welcoming color palette, additional window treatment on the north façade to further pronounce the front entrance, and additional treatment to the elevations to create a better-defined storefront. To address the Board’s concerns, the applicant has revised the building’s color palette from a variation of greys to warmer toned beiges, installed blue awnings on the north, south, and east facades, changed most of the half-domed windows to rectangular windows, included additional molding detail at the base of the building, and added window treatments to the north façade.

The Board should consider whether the proposed changes address the Board’s comments from the August 23, 2023, SPRAB meeting, and if the changes help create a defined front entrance and storefront and introduce a color palette that is harmonious with the surrounding development.

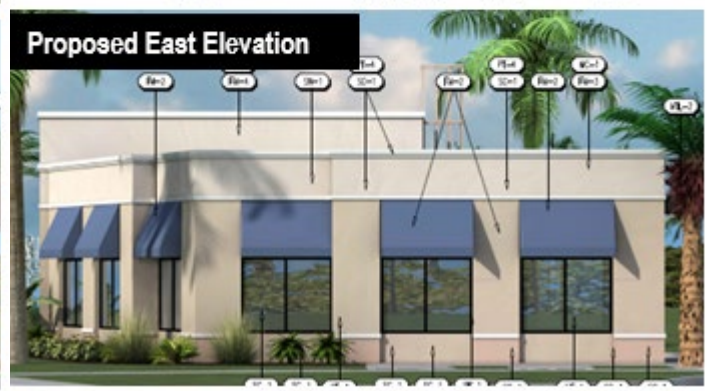
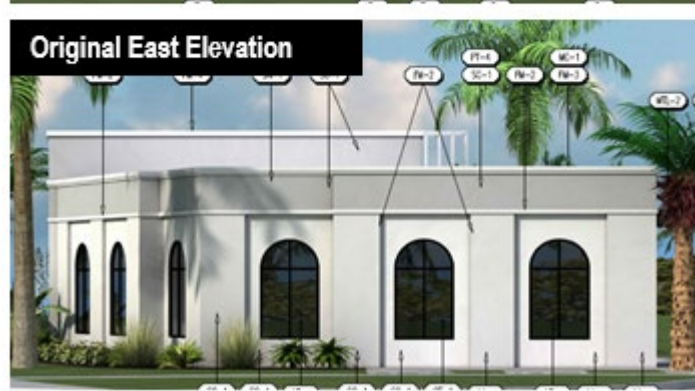
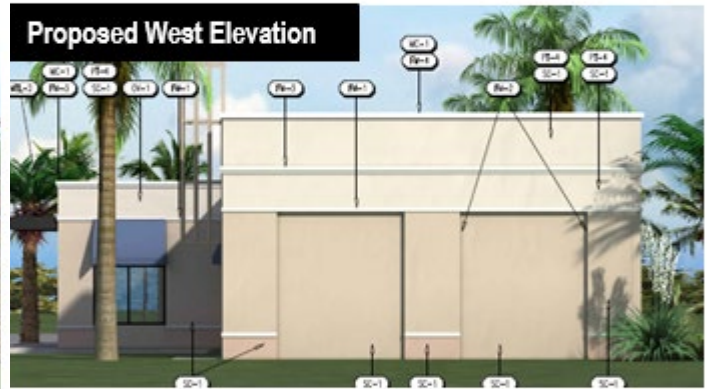
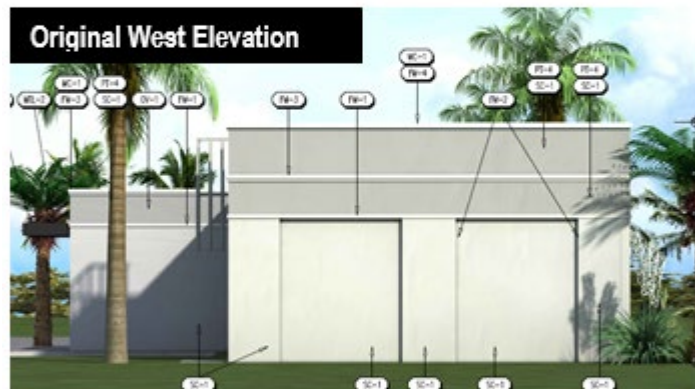
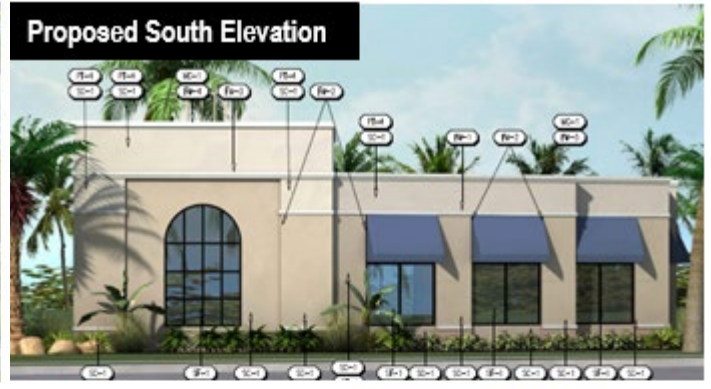
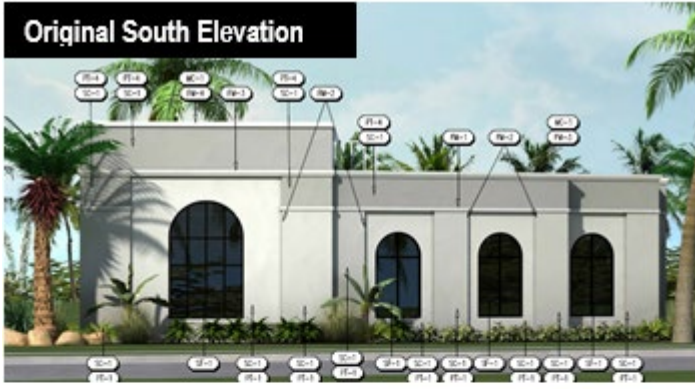
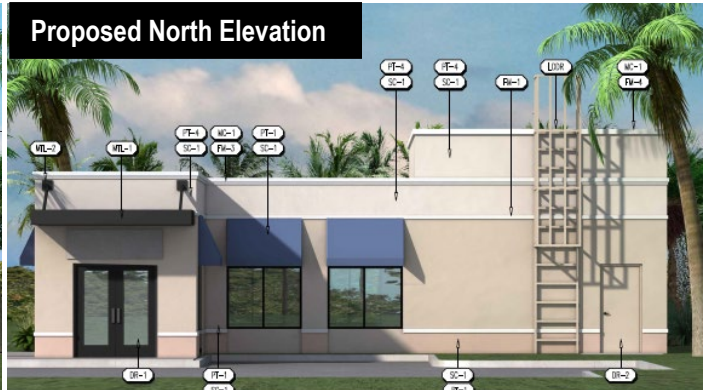
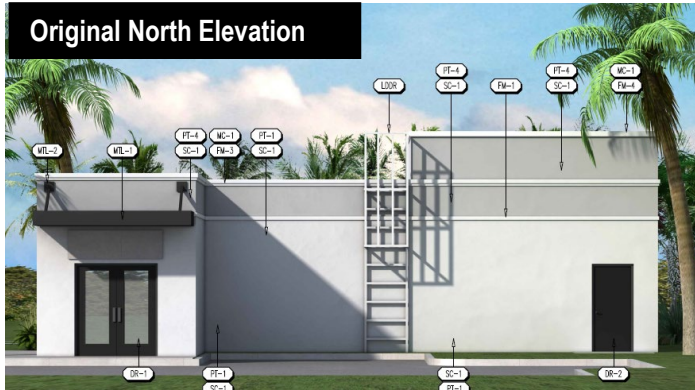
(E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. *The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The building possesses elements from both the Classical Traditional and Masonry Modern architectural style. A large half-oval window is located on the south façade facing West Atlantic Avenue. Windows have been added to the north façade, which serves as the main entrance point and faces the six-car parking lot. The structure is generally harmonious with the surrounding one-story commercial and light industrial development. Based on the revisions made by the applicant in response to the Board’s comments, consideration should be given as to whether the changes implement proper design elements to reflect the intended retail use and define the main entrance to the building.

Below are the original elevations proposed at the August 23, 2023 SPRAB meeting. The new proposed elevations are provided on the right.



Considerations

The Board should consider the following in reviewing the subject request:

- Whether the proposed changes (e.g. updated color palette, addition of awnings and windows, change in window type) address the Board's concerns from the August 23, 2023 SPRAB meeting by creating a defined front entrance and storefront, and introducing a color palette that is harmonious with surrounding development.



Board Action Options

- A. Move **approval** of the Level 2 (2021-002) Site Plan, Landscape Plan, and Architectural Elevations for **Drutau Retail**, a 1,360 square foot, one-story retail building located at **2 NW 18th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move **approval, as amended**, of the Level 2 (2021-002) Site Plan, Landscape Plan, and Architectural Elevations for **Drutau Retail**, a 1,360 square foot, one-story retail building located at **2 NW 18th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the of the Level 2 (2021-002) Site Plan, Landscape Plan, and Architectural Elevations for **Drutau Retail**, a 1,360 square foot, one-story retail building located at **2 NW 18th Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to **continue with direction**.



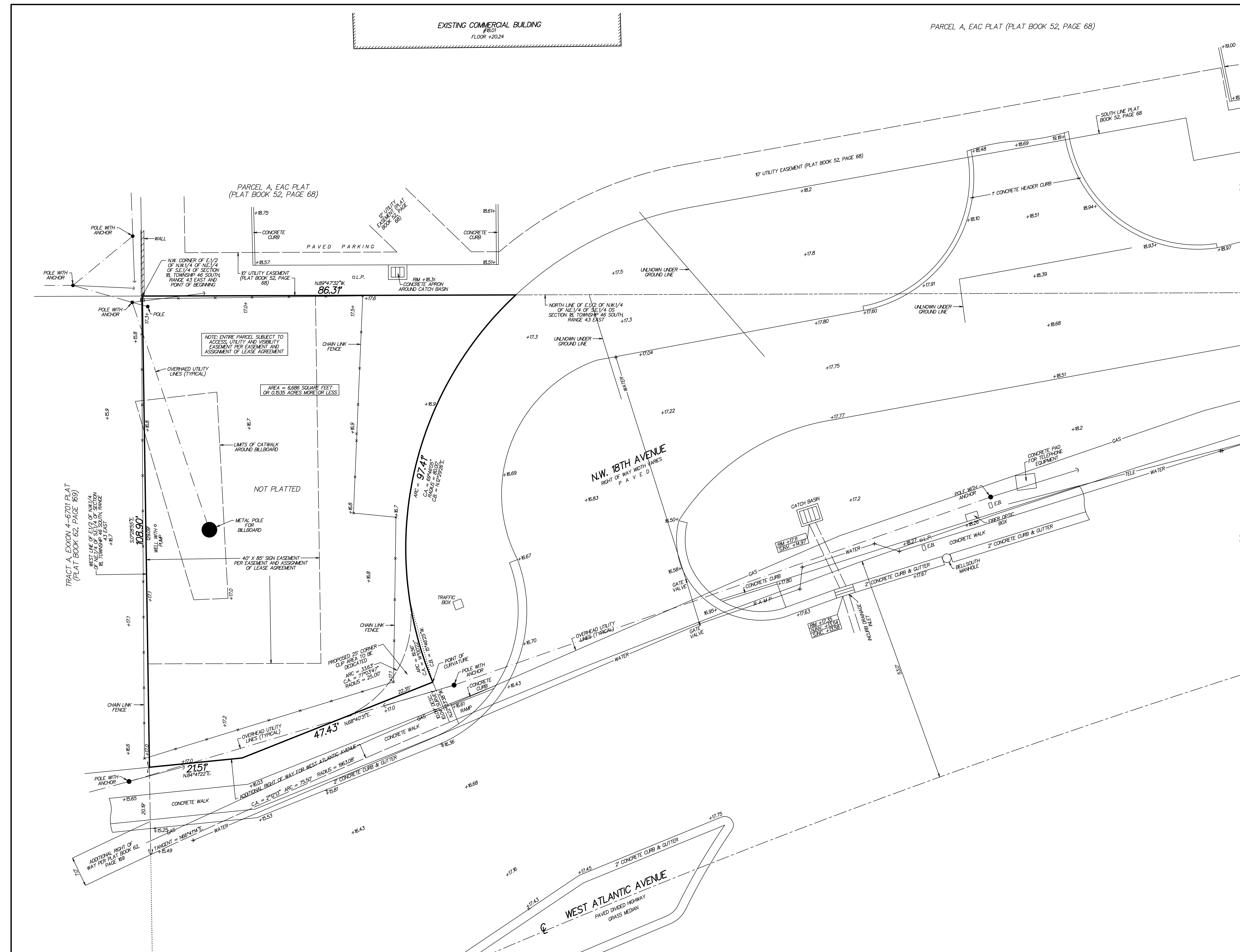
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Technical Notes

Prior to the site plan certification, the following must be completed:

1. Amend the site data table on Sheet A100.1 to reflect the correct rear setback (the site plan dimensions a rear setback of 53 feet, but the site data table lists the rear setback as 53 feet and one-half inches).
2. Provide documentation or note on the plans that all windows will be clear non-reflective glass so that retail merchandise is clearly visible to customers.
3. Provide an updated TPS letter from Palm Beach County, utilizing the most updated trip generation rates.
4. The property owner shall submit a right-of-way deed application to dedicate the 25-foot radius (corner clip) to the City.
5. Record a Minor Plat (boundary plat) pursuant to the procedure in LDR Section 2.4.8(D), Minor Subdivision.

Note: Submit separate application for review and approval of signage; not included with the subject request per LDR.



LEGEND:
 C.L. = CENTERLINE
 C.A. = CENTRAL ANGLE
 C.B. = CHORD BEARING
 L.P. = LIGHT POLE
 F.H. = FIRE HYDRANT
 C.O. = SANITARY SEWER CLEAN OUT
 W.M. = WATER METER
 E.B. = ELECTRIC BOX
 A/C = CONCRETE A/C PAD
 C.O. = SANITARY SEWER CLEAN OUT
 B.F.P. = BACK FLOW PREVENTER

FLOOD ZONE: X
 COMMUNITY PANEL NO. 125102 0979
 SUFFIX F
 EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS.

DESCRIPTION:
 A PARCEL OF LAND LYING IN SECTION 18, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF THE EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (NW.1/4) OF THE NORTHWEST QUARTER (NW.1/4) OF THE SOUTH-EAST QUARTER (SE.1/4) OF SAID SECTION 18; THENCE RUN S.0°28'55"E, ALONG THE WEST LINE OF SAID EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (NW.1/4) OF THE NORTH-EAST QUARTER (NE.1/4) OF THE SOUTH-EAST QUARTER (SE.1/4) OF SAID SECTION 18, A DISTANCE OF 129.09 FEET TO A POINT ON A CURVE, SAID CURVE BEING CONCAVE TO THE SOUTHWEST; THENCE RUN FROM THE SAID POINT ON THE CURVE, WHOSE LOCAL TANGENT BEARS N66°47'47"E, GO NORTHEASTERLY, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 198.308 FEET AND A CENTRAL ANGLE OF 2°12'13"; A DISTANCE OF 75.50 FEET; THENCE RUN N22°23'38"W, A DISTANCE OF 10.09 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 80.00 FEET AND A CENTRAL ANGLE OF 69°46'03"; A DISTANCE OF 97.41 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (NW.1/4) OF THE NORTH-EAST QUARTER (NE.1/4) OF THE SOUTH-EAST QUARTER (SE.1/4) OF SAID SECTION 18; THENCE RUN N88°47'32"W, ALONG SAID NORTH LINE OF THE EAST (E.1/2) OF THE NORTHWEST QUARTER (NW.1/4) OF THE NORTH-EAST QUARTER (NE.1/4) OF THE SOUTH-EAST QUARTER (SE.1/4) OF SAID SECTION 18, A DISTANCE OF 86.31 FEET TO THE POINT OF BEGINNING AFORESAID.

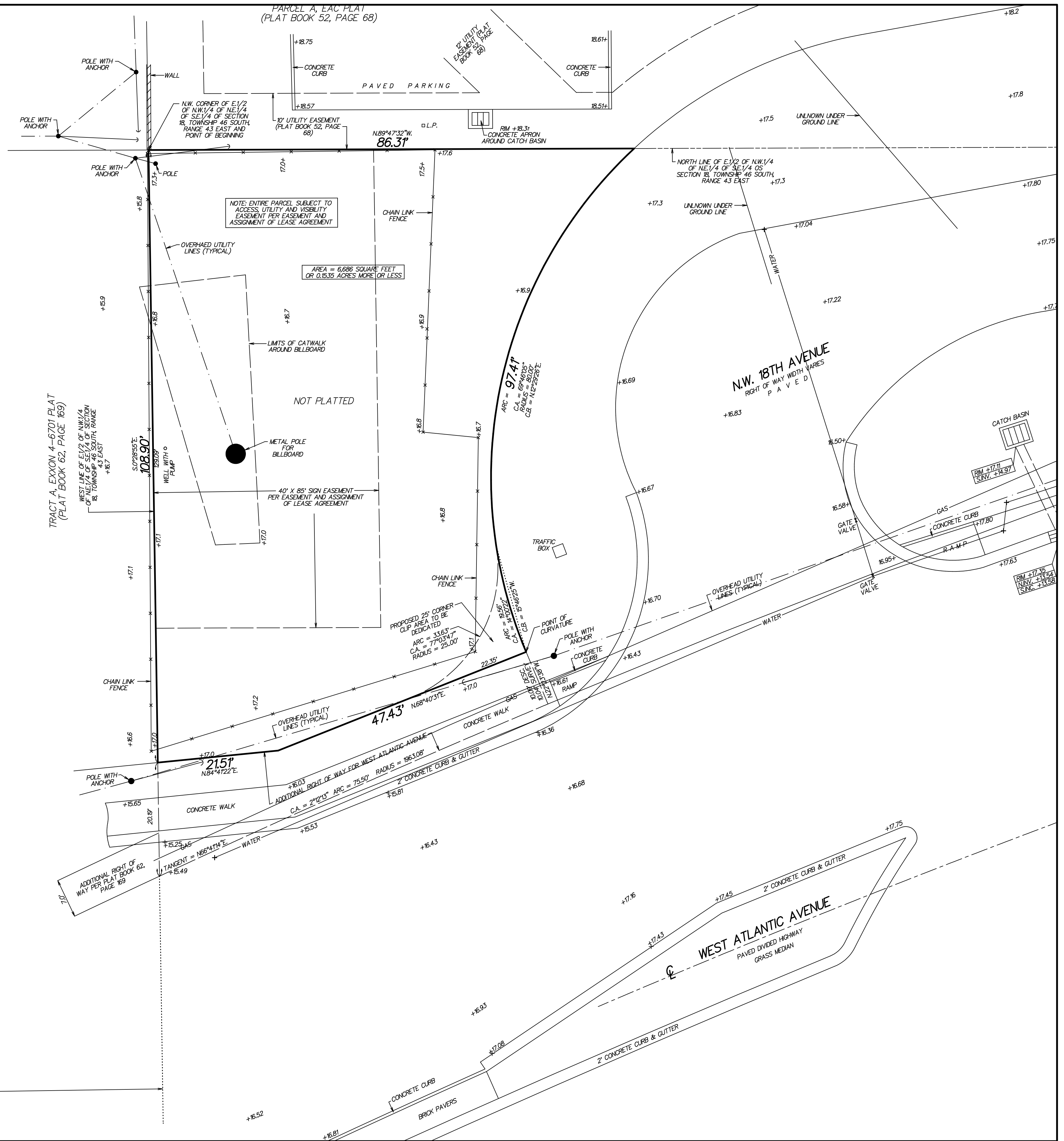
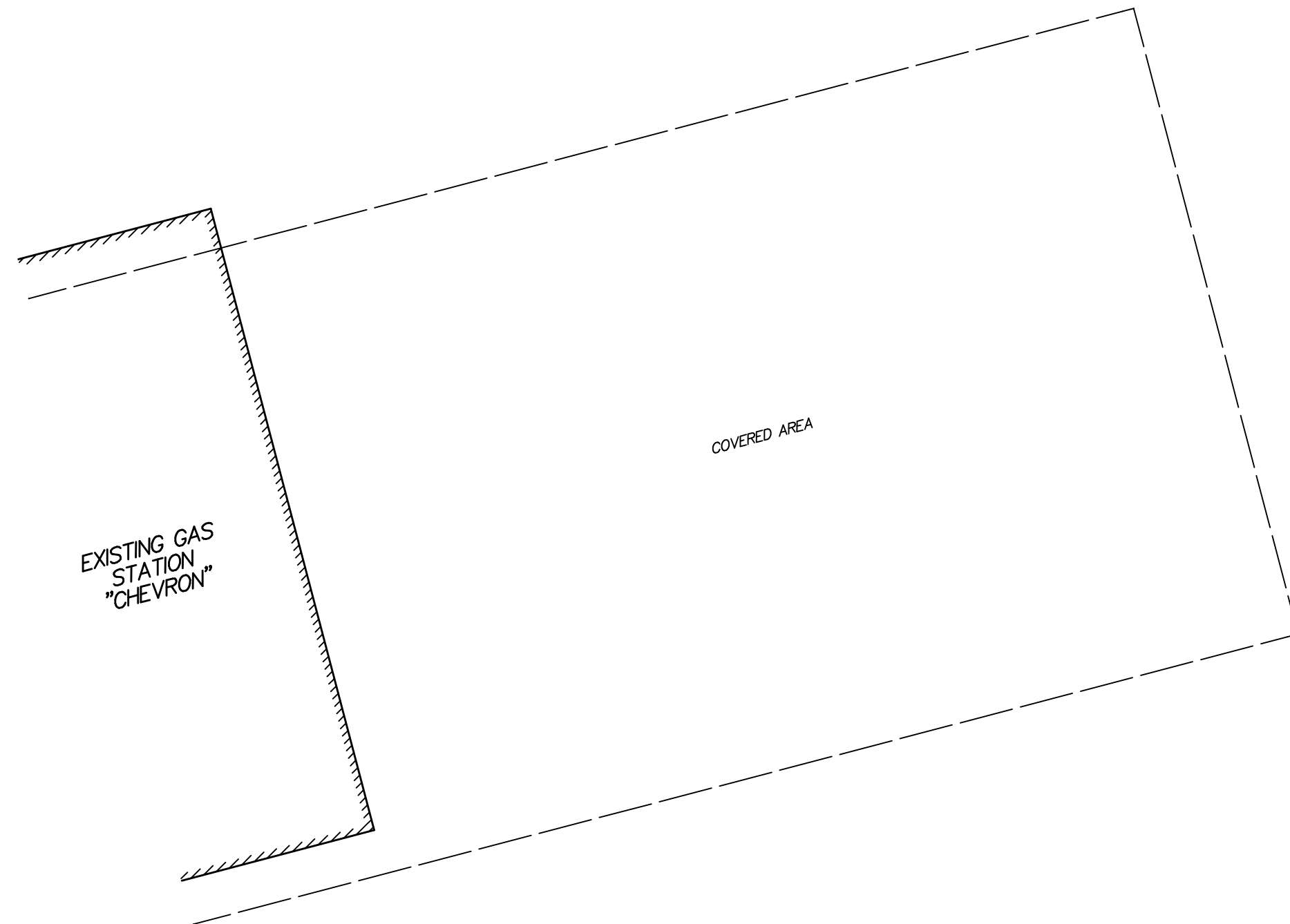
LESS THE ADDITIONAL RIGHT OF WAY FOR WEST ATLANTIC AVENUE.

MAP OF AS-BUILT SURVEY
 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
 PAUL D. ENGLE
 SURVEYOR & MAPPER #5708

ENGLE LAND SURVEYING LLC
 LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION #LB4447
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MARCH 5, 2023	SHEET 1 OF 3	SCALE 1" = 10'
FIELD BOOK D.318	PAGE NO. 25	ORDER NO. 18-56db



ENGLE LAND SURVEYING LLC
 LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION #LBB447
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33444
 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MARCH 5, 2023	SCALE: 1" =
FIELD BOOK PAGE NO. D.318 25	ORDER NO.: 18-5
SHEET 3 OF 3	

Site Data			
ZONING	GC		
LAND USE	GENERAL COMMERCIAL		
SITE CALCULATIONS	AREA OF PROJECT	6,686 SQ. FT. (0.1535 ACRES) - 93 SQ. FT. R.O.W. DEDICATION	
		6,593 SQ. FT. (0.1513 ACRES)	
BUILDING CALCULATIONS	AREA OF BUILDING	1,360 SQ. FT. (20.6%)	
FLOOR AREA RATIO	ALLOWED	PROVIDED	
	3.0	0.2	
PERVIOUS AREA (LANDSCAPED)	2,130 SQ. FT. (32.3 %)		
IMPERVIOUS AREA	BUILDING FOOTPRINT	1,360 SQ. FT. (20.6%)	
	PARKING	2,617 SQ. FT. (39.7%)	
	SIDEWALKS/EQUIPMENT PADS	486 SQ. FT. (7.4%)	
	TOTAL	4,463 SQ. FT. (67.7%)	
BUILDING SETBACKS	REQUIRED	PROVIDED	
	STREET	10 FT	10 FT 10 IN
	FRONT	10 FT	10 FT 4 IN
	FRONT CORNER DEDICATION	10 FT	10 FT 4 IN
	SIDE	0 FT.	0 FT 11 IN
	REAR	10 FT.	53 FT 0 1/2 IN
RESIDENTIAL (LANDSCAPE BUFFER)	N/A		
SITE DIMENSIONS	WIDTH OF SITE	106 FT 10 IN ±	
	DEPTH OF SITE	65 FT 11 IN ±	
	FRONTAGE ON 18th (Atlantic)	97.41 FT. (68.94 FT)	
	BUILDING FRONTAGE ON 18th	31 FT 7 IN (32.4%)	
BUILDING FRONTAGE ON Atlantic	50 FT 1 IN (72.6%)		
BUILDING HEIGHT	TOP OF HIGH POINT OF ROOF	18 FT. 0 IN.	
	MAIN ROOF HEIGHT	14 FT. 0 IN.	
KEY	NA NOT APPLICABLE		
NOTES:	FLOOR AREA RATIO IS BASED ON TOTAL OF NEW BUILDINGS/SITE AREA OF PROJECT. ALL ROOF MOUNTED EQUIPMENT SHALL NOT BE VISIBLE FROM GROUND LEVEL DUE TO PARAPET ROOF DESIGN. ALL PACKAGE AIR HANDLER UNITS, EXHAUST FANS, ETC. SHALL BE ROOF MOUNTED EQUIPMENT. ALL CURBING IS TO BE "D". ALL SIGNAGE SHALL REQUIRE A SEPARATE BUILDING PERMIT. ALL DETACHED DUMPSTER ENCLOSURES AND SITE LIGHTING SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE ROOF ACCESS LADDER AND ANY OTHER EXTERNAL PIPING OR STRUCTURES SHALL BE PAINTED THE SAME COLOR AS THE BUILDING. PROVIDE TYPICAL ADDRESS IDENTIFICATION ON STOREFRONT GLASS ABOVE EACH ENTRY DOOR AND ON EACH REAR DOOR. THE LETTERING SHALL BE 6" HIGH WHITE HELVETICA ON THE FRONT DOORS AND 4" HIGH WHITE HELVETICA ON THE REAR DOORS.		

Parking Calculations			
DESCRIPTION	REQUIRED	PROVIDED	
ON-SITE PARKING	STANDARD SPACES (RETAIL [1,360 SF] AT 4.5/1000 SQ. FT)	6 SPACES	6 SPACES
	ACCESSIBLE SPACES	1 SPACE	1 SPACE
BICYCLE	STANDARD SPACES	1	3 RIBBON RACK
KEY:	NA NOT APPLICABLE		

Adjacent Owner:
Southern Petro Holding LLC
Exxon Gas Station

OUR SITE PLAN APPROVAL DOES NOT ANTICIPATE THE NEED FOR ANY ROAD CLOSURES TO COMPLETE CONSTRUCTION. IF THE CONTRACTOR REQUIRES ANY STAGING, THEIR OFFICE SHALL COORDINATE WITH THE CITY OF DELRAY BEACH AND COMPLY WITH THE FOLLOWING:

LDR SECTION 7.1.8

(B)Construction Staging (Ord. No. 50-20, § 2, 10-20-20)

(1)Purpose and intent. This subsection provides procedures and standards for staging materials and equipment at construction sites to minimize closures of vehicle travel lanes, bicycle lanes, and pedestrian pathways during the construction process. (Ord. No. 50-20, § 2, 10-20-20)

(2)Requirements. All construction staging shall meet the following provisions: (Ord. No. 50-20, § 2, 10-20-20)

(a)A Construction Staging Plan must be provided concurrent with a request for site plan approval when it is anticipated that the construction of a project will occupy any portion of the Right-of-Way. (Ord. No. 50-20, § 2, 10-20-20)

(b)The vehicular travel lanes must remain open in all directions throughout construction unless an approved Maintenance of Traffic (MOT) Plan includes a temporary street closure not to exceed 14 days. (Ord. No. 50-20, § 2, 10-20-20)

(c)The reduction of vehicular travel lanes shall not be permitted for any reason other than the installation of required off-site improvements or short-term temporary loading/unloading. (Ord. No. 50-20, § 2, 10-20-20)

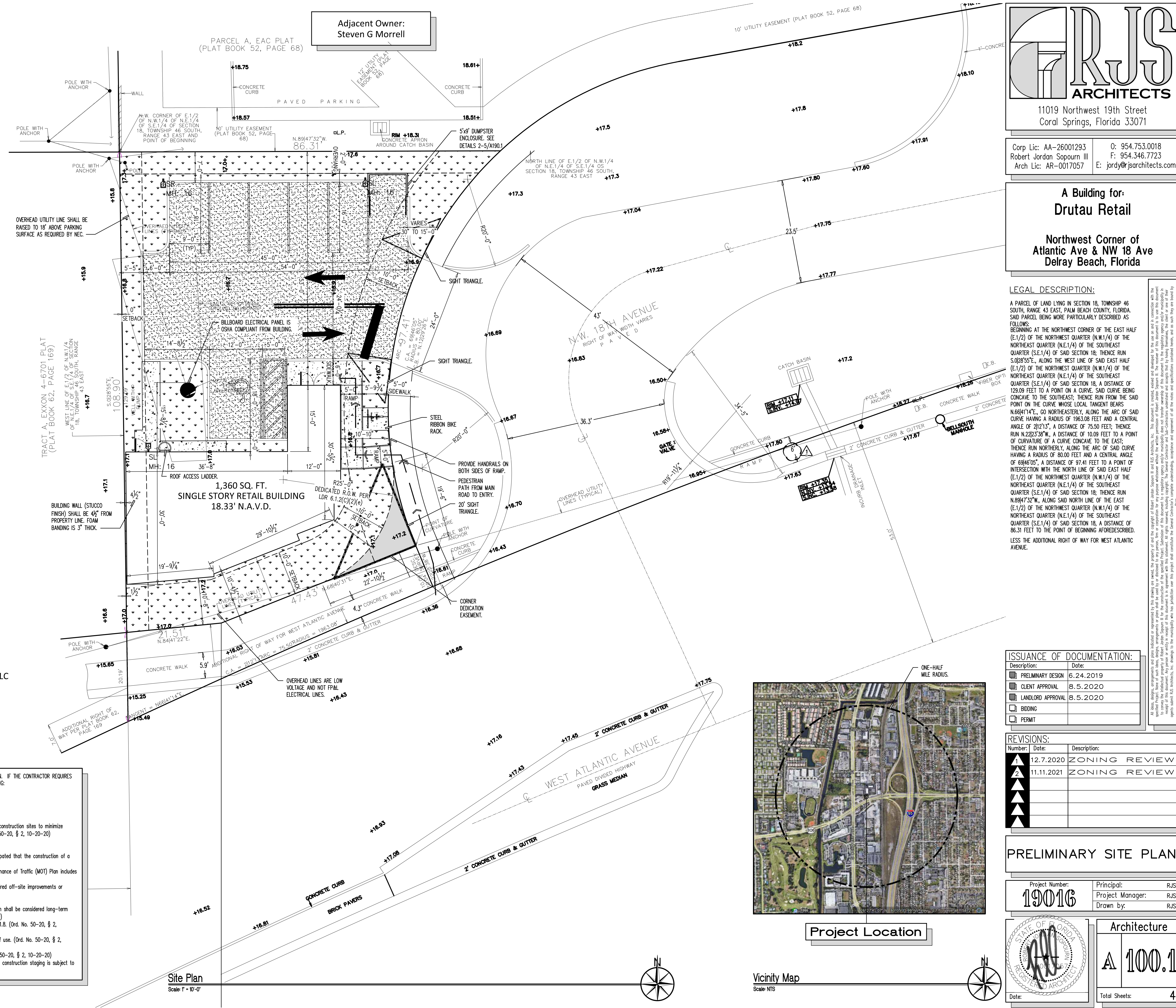
(3)Use of Right-of-Way. Use of the City's Right-of-Way for construction activities that exceed 14 days in duration shall be considered long-term construction staging and shall be limited to sidewalk or on-street parking areas. (Ord. No. 50-20, § 2, 10-20-20)

(a)The use of on-street parking for construction purposes shall be as per Land Development Regulation Section 7.1.8. (Ord. No. 50-20, § 2, 10-20-20)

(b)Use of sidewalk areas for construction staging shall require a sidewalk detour to be provided during the duration of use. (Ord. No. 50-20, § 2, 10-20-20)

(c)If adjacent sidewalks are not available for detours, they shall be constructed to facilitate the detour. (Ord. No. 50-20, § 2, 10-20-20)

(d)When the Right-of-Way is under the jurisdiction of Palm Beach County or Florida Department of Transportation, construction staging is subject to review and approval by each jurisdiction. (Ord. No. 50-20, § 2, 10-20-20)



GRJS ARCHITECTS
11019 Northwest 19th Street
Coral Springs, Florida 33071

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Arch Lic: AR-0017057

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E: jrdy@jrsarchitects.com

**A Building for:
Drutau Retail**

Northwest Corner of
Atlantic Ave & NW 18 Ave
Delray Beach, Florida

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTION 18, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (N.W.1/4) OF THE NORTHWEST QUARTER (N.E.1/4) OF THE SOUTHWEST QUARTER (S.E.1/4) OF SAID SECTION 18; THENCE RUN S.02°25'55"E, ALONG THE WEST LINE OF SAID EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (N.W.1/4) OF THE NORTHWEST QUARTER (N.E.1/4) OF THE SOUTHWEST QUARTER (S.E.1/4) OF SAID SECTION 18, A DISTANCE OF 123.09 FEET TO A POINT ON A CURVE SAID CURVE BEING CONCAVE TO THE SOUTHWEST; THENCE RUN FROM THE SAID POINT ON THE CURVE WHOSE LOCAL TANGENT BEARS N.69°41'14"E, GO NORTHEASTERLY, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 1963.08 FEET AND A CENTRAL ANGLE OF 212°13', A DISTANCE OF 75.50 FEET; THENCE RUN N.22°23'38"W, A DISTANCE OF 10.09 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 80.0 FEET AND A CENTRAL ANGLE OF 69°46'08", A DISTANCE OF 97.41 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID EAST HALF (E.1/2) OF THE NORTHWEST QUARTER (N.W.1/4) OF THE NORTHWEST QUARTER (N.E.1/4) OF THE SOUTHWEST QUARTER (S.E.1/4) OF SAID SECTION 18; THENCE RUN N.89°47'32"W, ALONG SAID NORTH LINE OF THE EAST (E.1/2) OF THE NORTHWEST QUARTER (N.W.1/4) OF THE NORTHWEST QUARTER (N.E.1/4) OF THE SOUTHWEST QUARTER (S.E.1/4) OF SAID SECTION 18, A DISTANCE OF 86.31 FEET TO THE POINT OF BEGINNING AFORESAID. LESS THE ADDITIONAL RIGHT OF WAY FOR WEST ATLANTIC AVENUE.

ISSUANCE OF DOCUMENTATION:	
Description:	Date:
PRELIMINARY DESIGN	6.24.2019
CLIENT APPROVAL	8.5.2020
LANDLORD APPROVAL	8.5.2020
BIDDING	
PERMIT	

REVISIONS:		
Number:	Date:	Description:
1	12.7.2020	ZONING REVIEW
2	11.11.2021	ZONING REVIEW

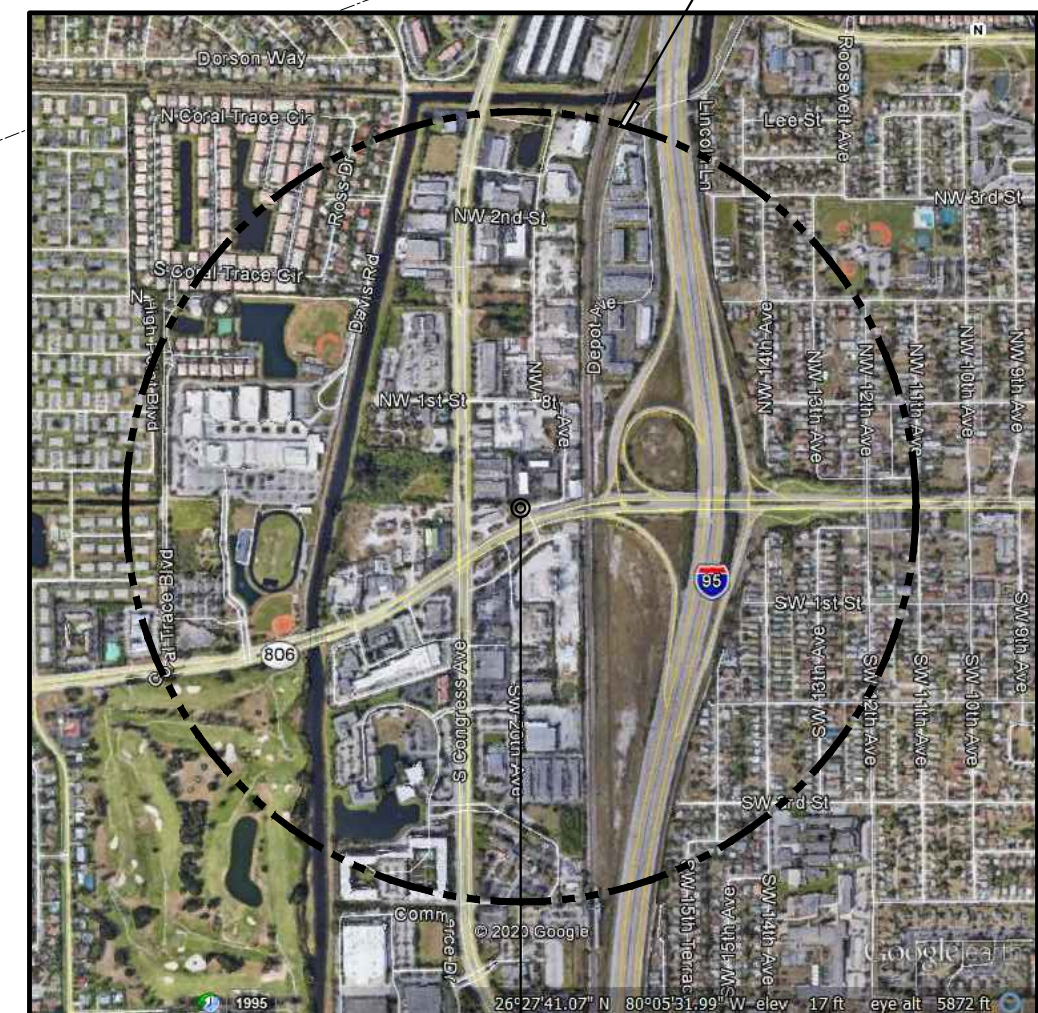
PRELIMINARY SITE PLAN

Project Number: **19016**
Principal: RJS
Project Manager: RJS
Drawn by: RJS

Architecture

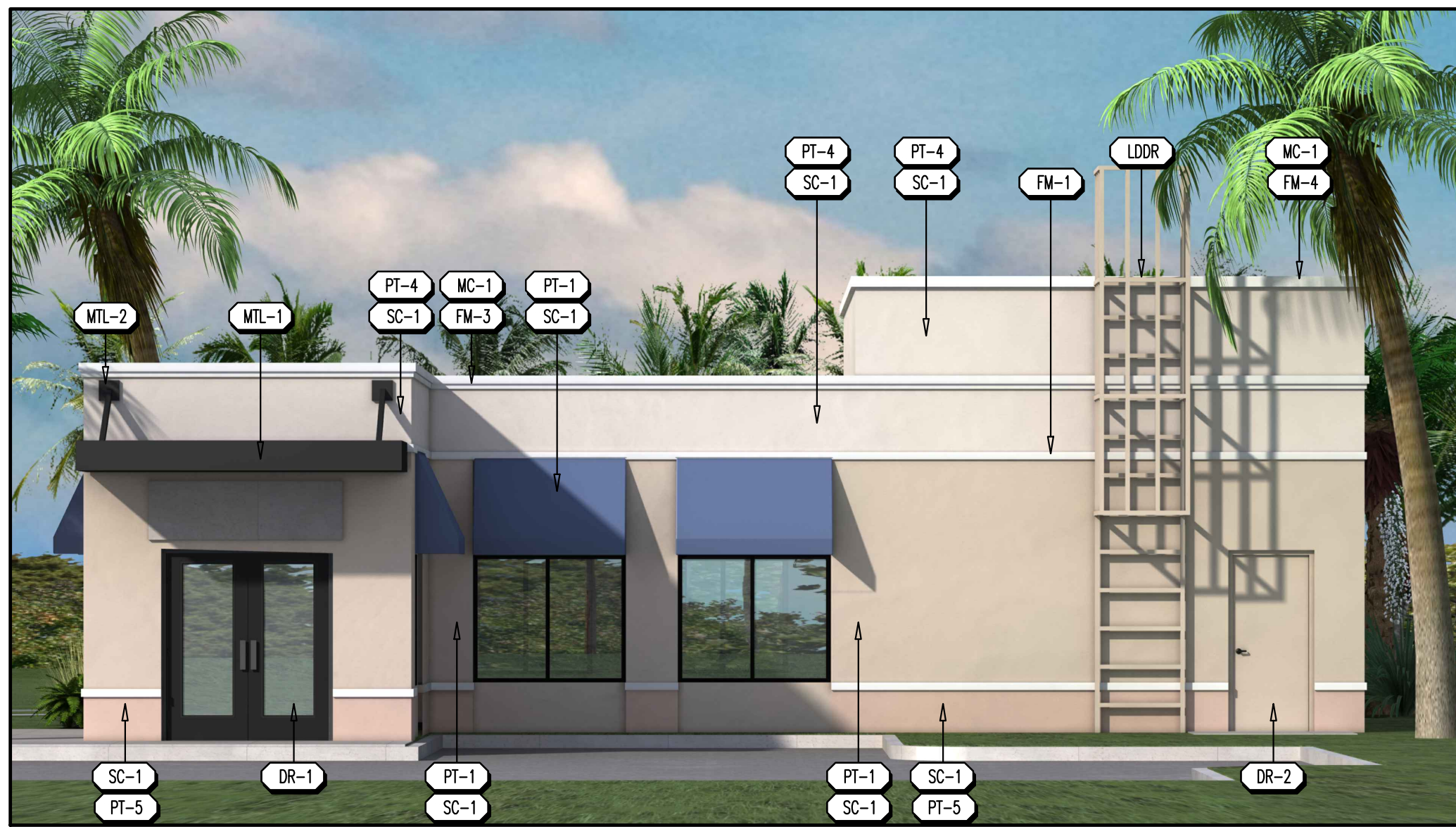
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Total Sheets: **4**

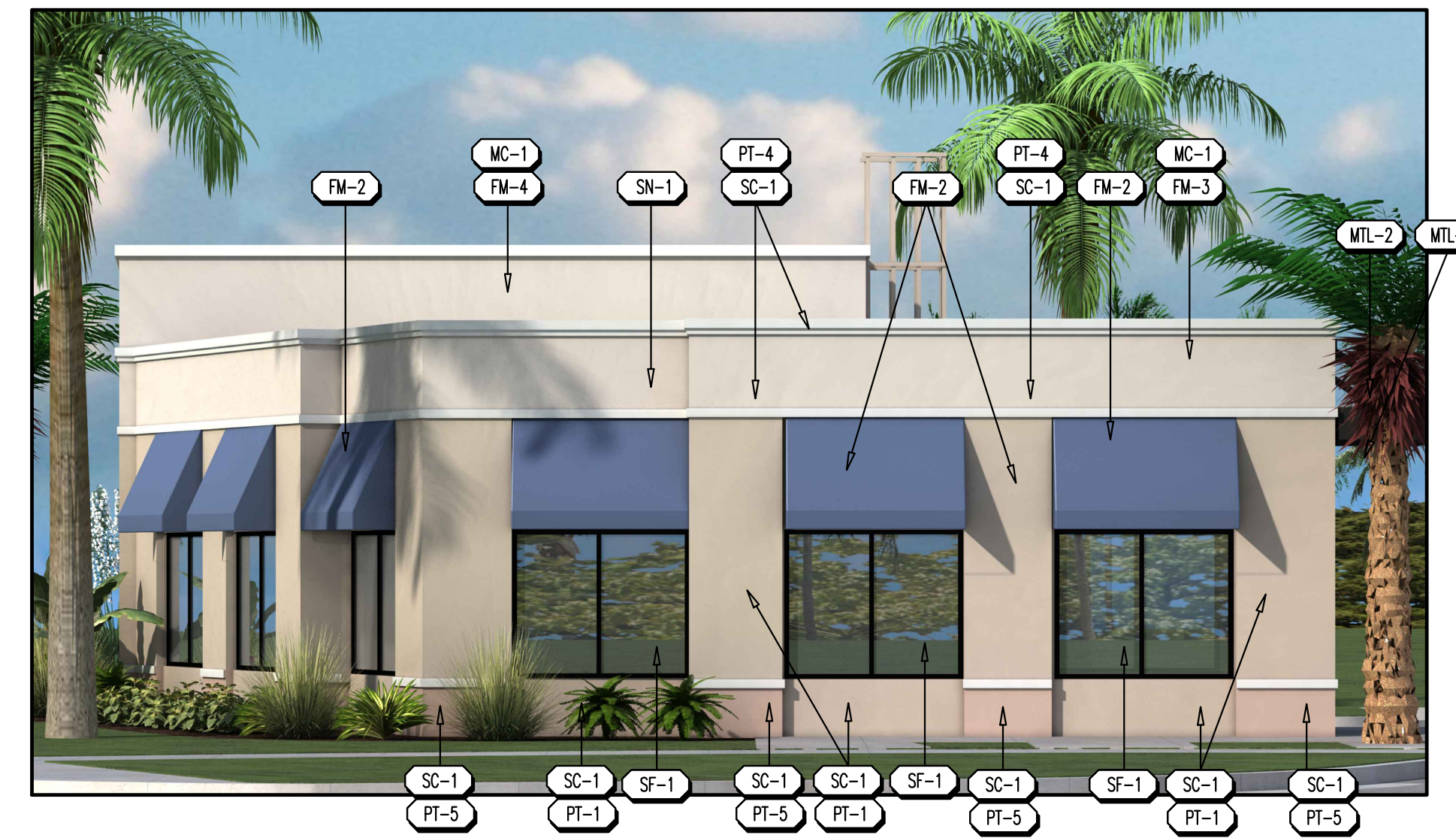


Project Location

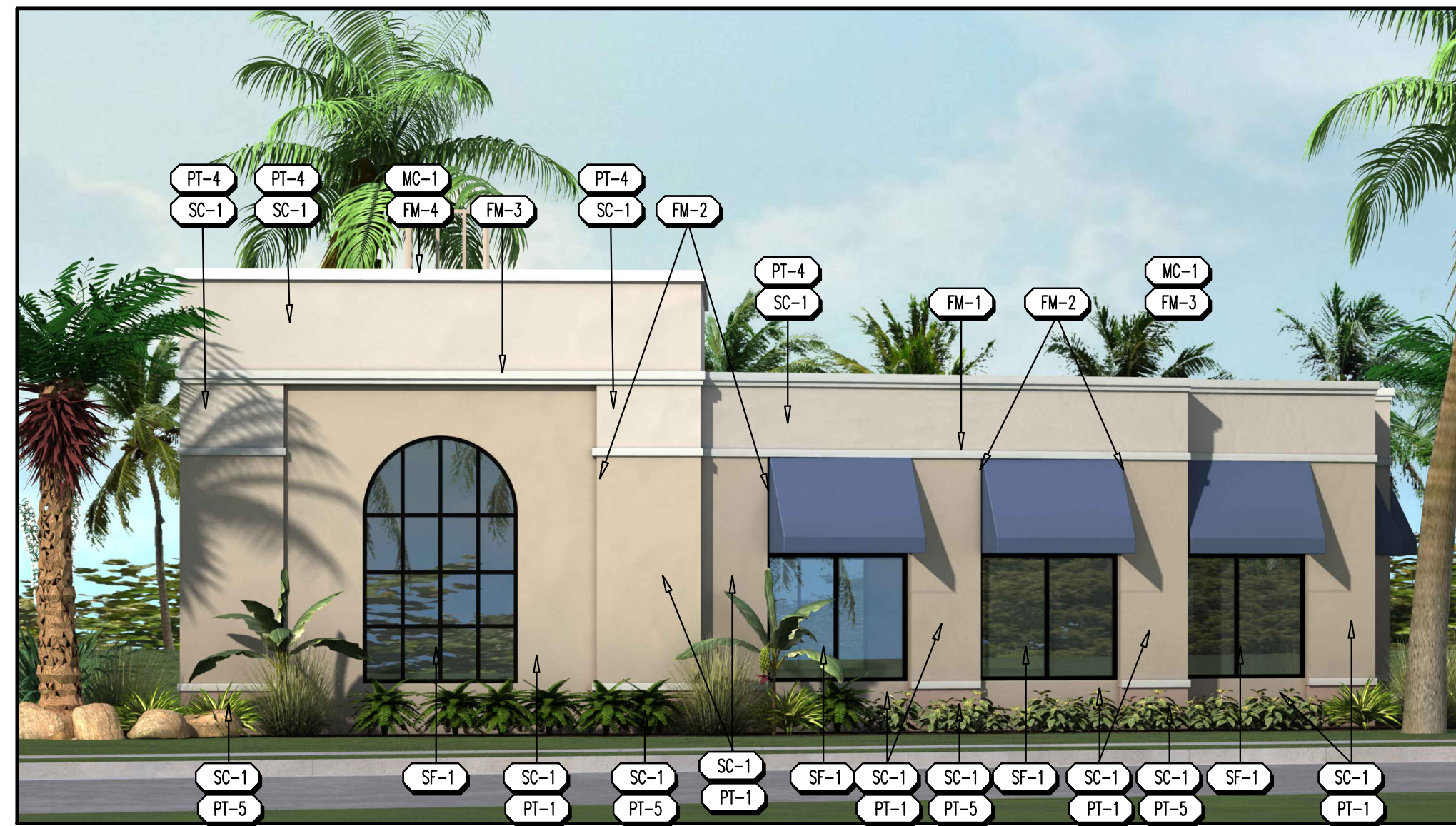
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Scale: NTS



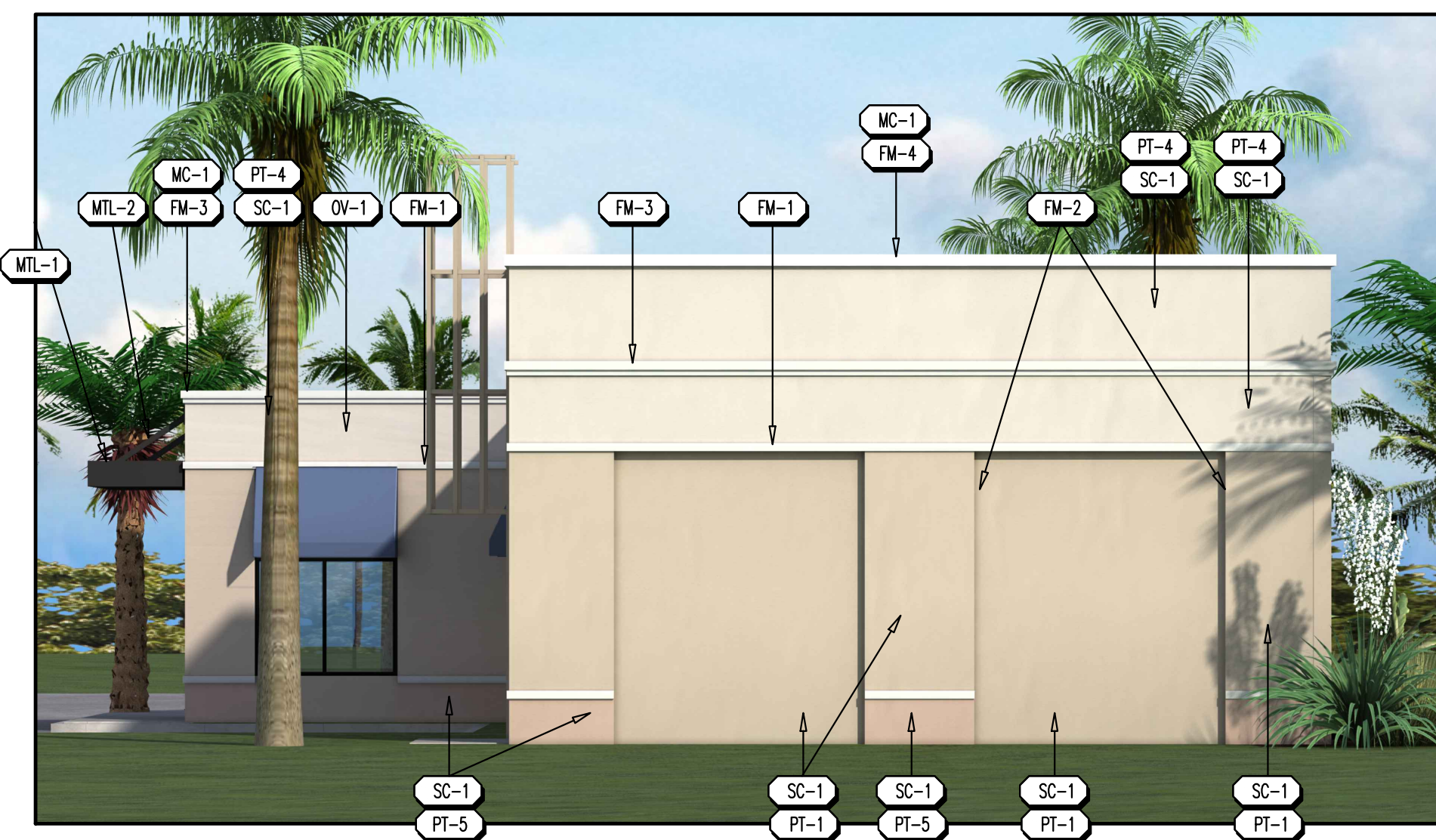
North Elevation
Scale: 3/16" = 1'-0"
1
A110.1



East Elevation
Scale: 3/16" = 1'-0"
36.1 % Transparency > 15% Required
2
A110.1



South Elevation
Scale: 3/16" = 1'-0"
37.1 % Transparency > 15% Required
3
A110.1



West Elevation
Scale: 3/16" = 1'-0"
4
A110.1

ARJS ARCHITECTS
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A Building for:
Drutau Retail
Northwest Corner of
Atlantic Ave & NW 18 Ave
Delray Beach, Florida

This document is a preliminary design and shall not be used for construction. It is the responsibility of the client to verify all information and to obtain all necessary permits. The architect is not responsible for any errors or omissions in this document. The architect is not responsible for any delays or cost overruns caused by the client or third parties. The architect is not responsible for any damage to the project or the client's property. The architect is not responsible for any liability or legal action. The architect is not responsible for any insurance or bonding. The architect is not responsible for any other matters.

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PERMIT	

REVISIONS:		
Number:	Date:	Description:
1	12.7.2020	ZONING REVIEW
2	11.11.2021	ZONING REVIEW

RENDERED ELEVATIONS

Project Number: **19016**
Principal: RJS
Project Manager: RJS
Drawn by: RJS

Architecture
A 200.1
Total Sheets: 4

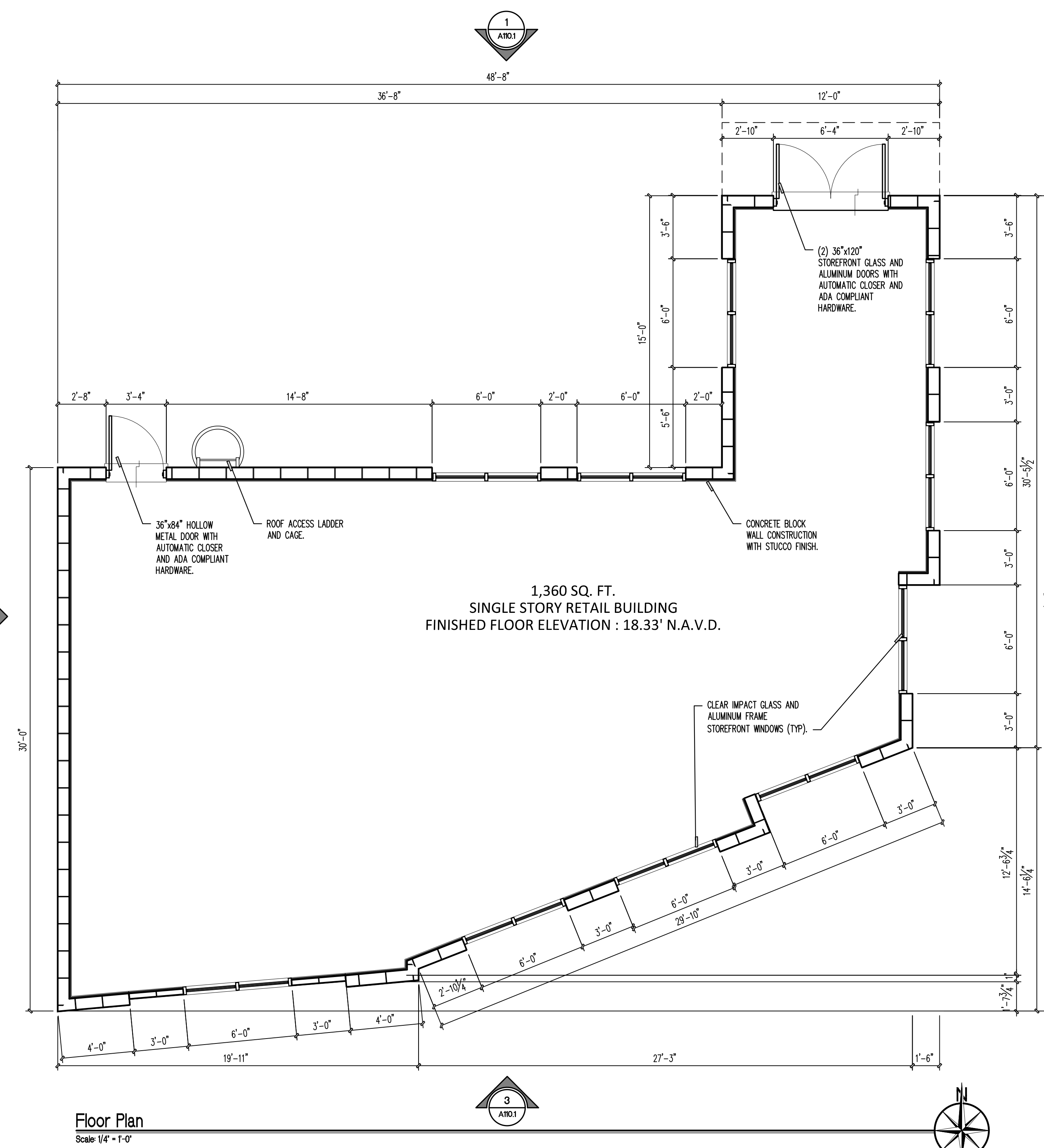
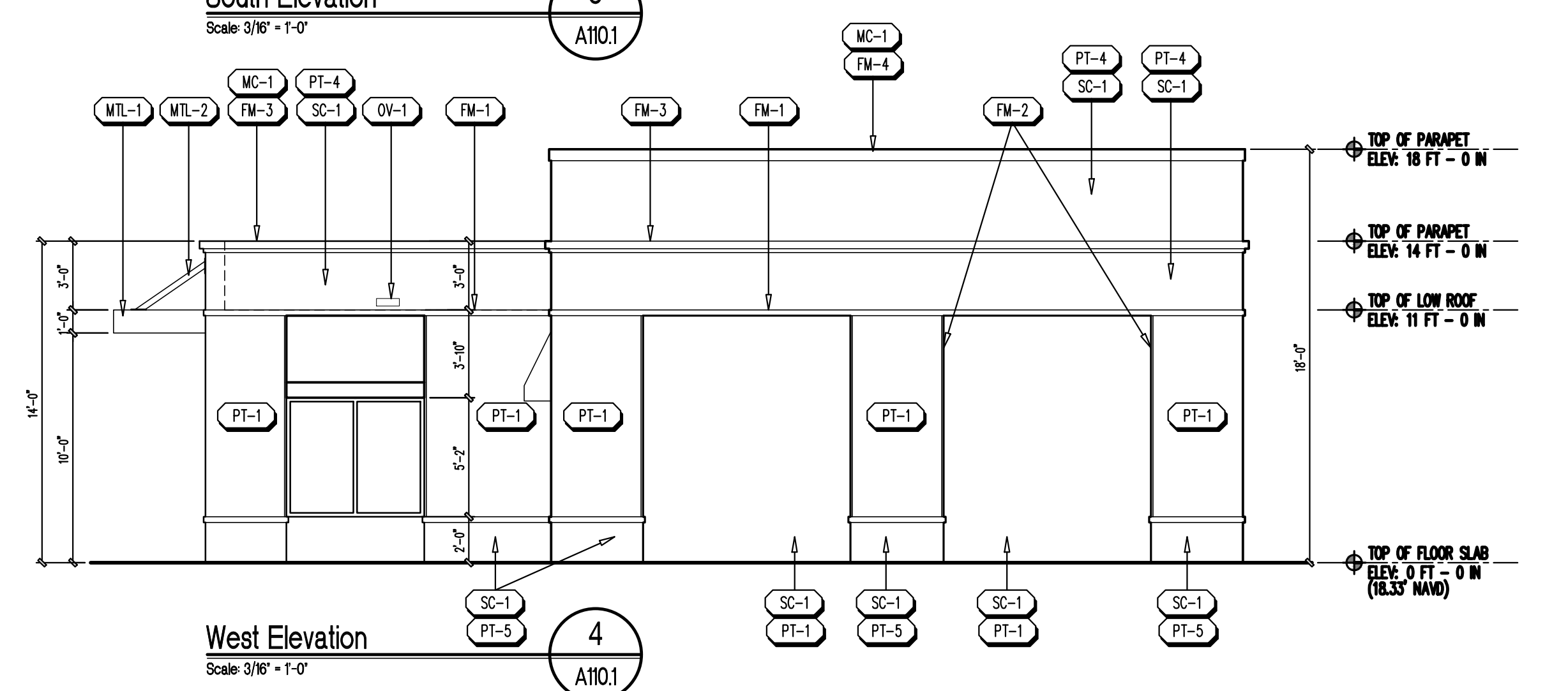
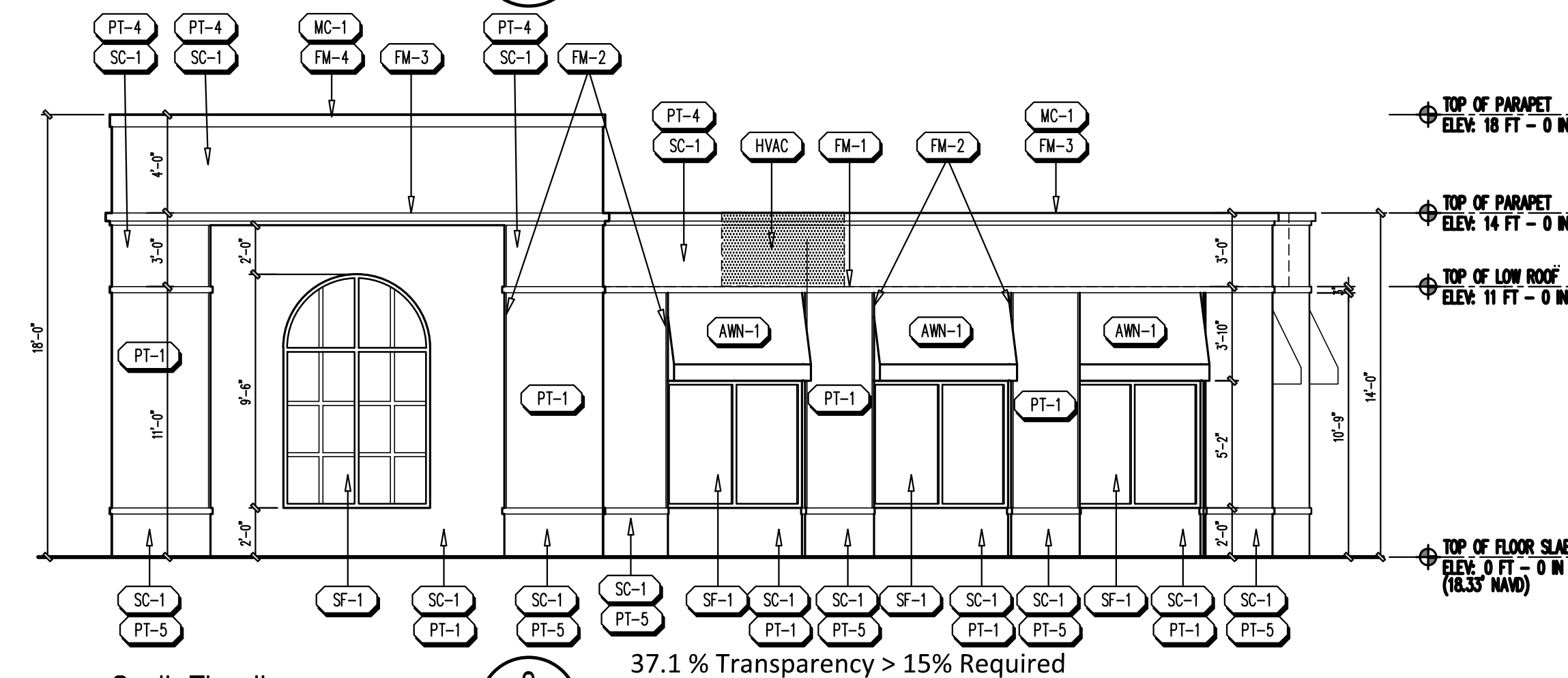
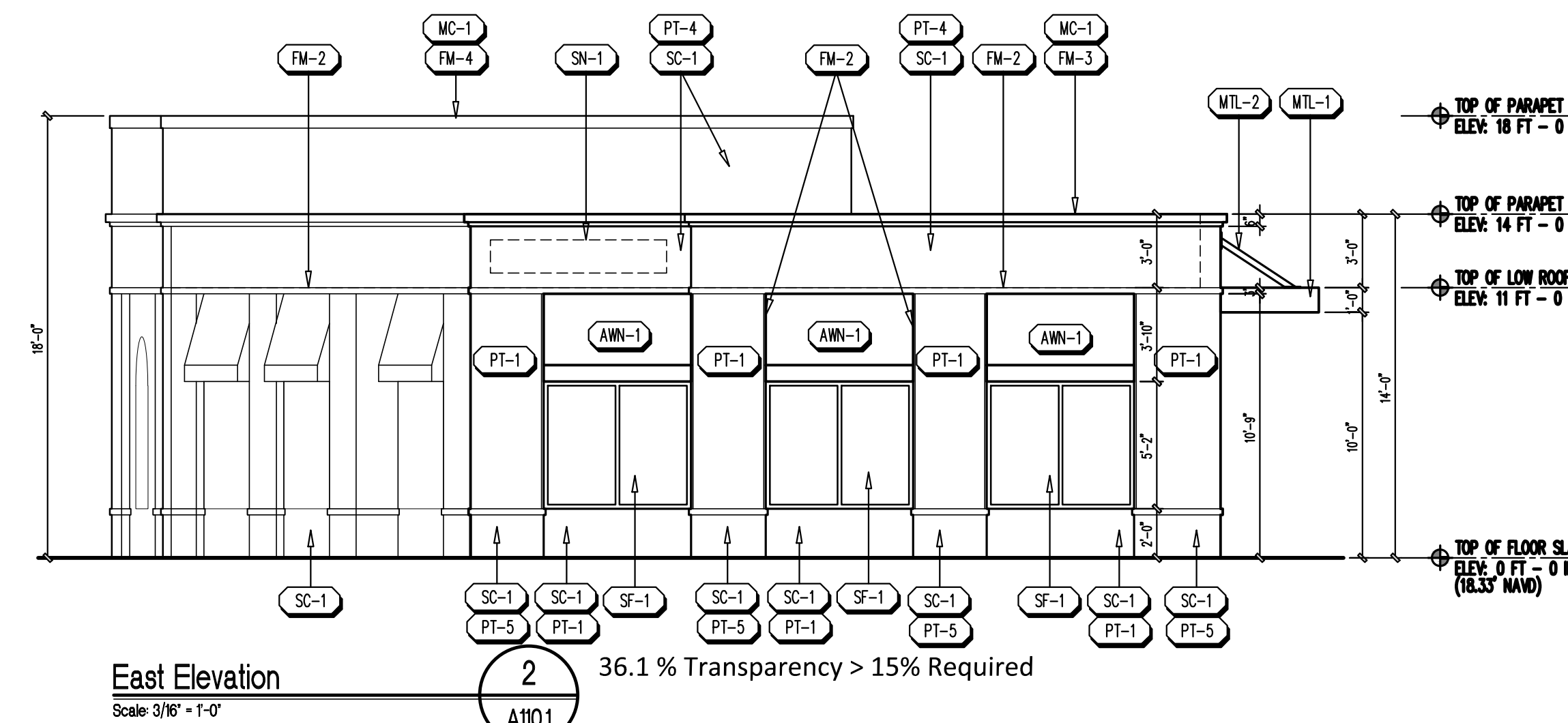
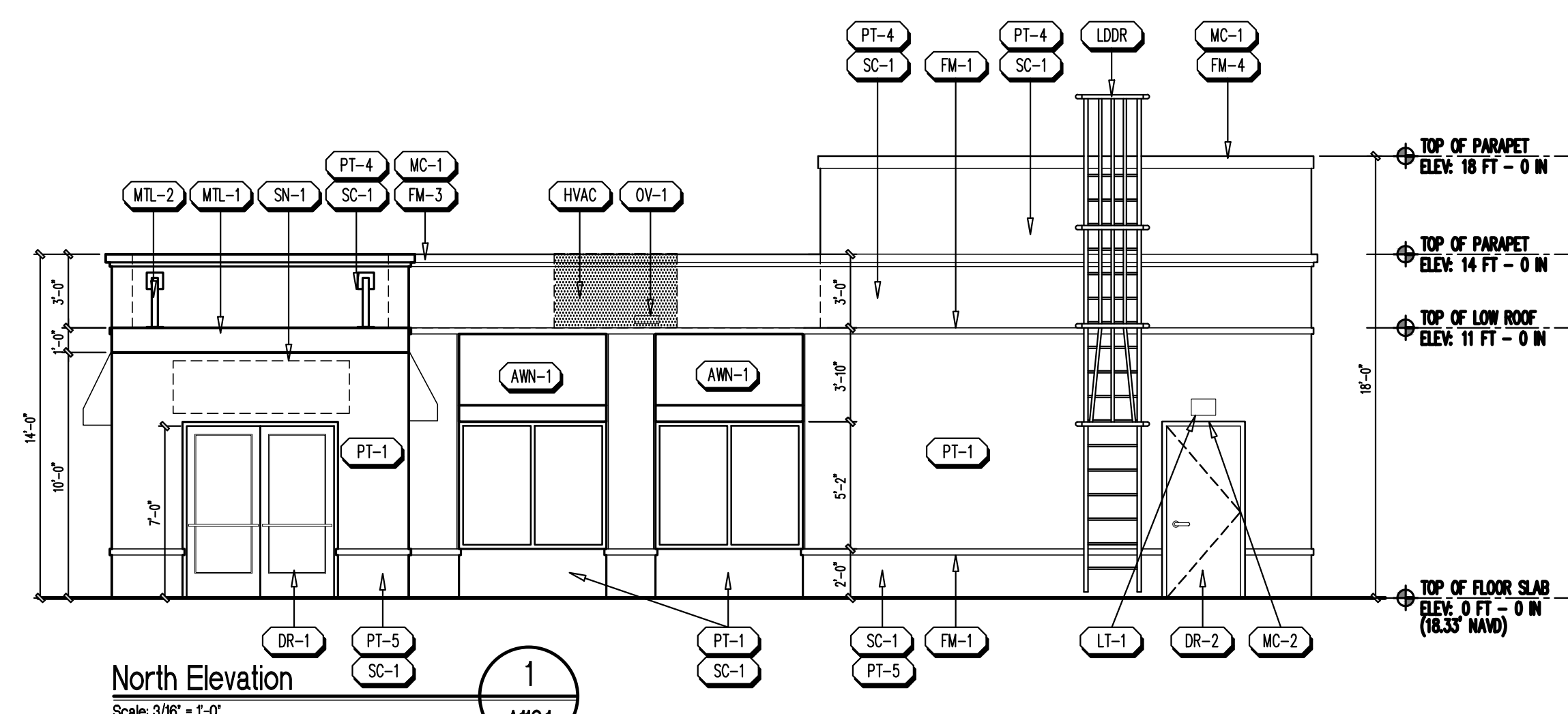
Exterior Elevation Schedule															
Symbol	Material	Manufacturer	Product	Color	Finish	Detail	Remarks	Symbol	Material	Manufacturer	Product	Color	Finish	Detail	Remarks
SC-1	STUCCO	LOCAL SUPPLIER	3/8" THICKNESS (2 COAT APPLICATION)	SEE ELEVATIONS	MEDIUM TEXTURED			DR-1	DOOR	HAWNEER OR APPROVED EQUAL	350 IR	MEDIUM BRONZE			FLORIDA PRODUCT APPROVED - FL#6786.1
FM-1	FOAM BAND	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED		1/2" X 3"	DR-2	DOOR	ALLEGION OR APPROVED EQUAL	STEELESWAY H-SERIES	PAINT: PT-1			FLORIDA PRODUCT APPROVED - FL#1591.1
FM-2	FOAM BAND	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED		1" X 1"	OV-1	OVERFLOW SCUPPER			MATCH ADJACENT WALL			BY GENERAL CONTRACTOR
FM-3	FOAM CORNICE	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED		3" X 6"	MC-1	METAL CORNING OR DRIP EDGE			PAINT: PT-1			BY GENERAL CONTRACTOR
FM-4	FOAM CORNICE	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED		1" X 6"	MC-2	METAL DOOR RAIN GUARD			MATCH PT-1			BY GENERAL CONTRACTOR
PT-1	PANT	SHERWIN WILLIAMS	JERSEY CREAM	SW 6378			MAIN BUILDING	LF-1	WALL PACK LIGHT FIXTURE	LSI INDUSTRIES	(PFWG-FM-32-OT-F-120-BUF-PD120)				
PT-2	PANT	SHERWIN WILLIAMS	ALABASTER	SW 7008			FOAM BANDING	ML-1	CUSTOM ALUMINUM OVERHANG	BY GENERAL CONTRACTOR		PAINT: PT-3			BY GENERAL CONTRACTOR WITH RECESSED LIGHTING
PT-3	PANT	SHERWIN WILLIAMS	PAVILION BEIGE	SW 7512			ANNING	ML-2	CUSTOM ALUMINUM ANGLED SUPPORTS	BY GENERAL CONTRACTOR		PAINT: PT-3			BY GENERAL CONTRACTOR
PT-4	PANT	SHERWIN WILLIAMS	CRISP LINEN	SW 6378			BUILDING CAP	HMC	MECHANICAL HANG UNIT	BY GENERAL CONTRACTOR					CONCEALED BY PARAPET
PT-5	PANT	SHERWIN WILLIAMS	NEIGHBORLY PEACH	SW 6632			BUILDING BASE	LOOR	ROOF ACCESS LADDER	BY GENERAL CONTRACTOR					SEE DETAIL 6/A190.1
SF-1	STOREFRONT	WXX OR APPROVED EQUAL	PHS 50 - 1" INSULATED (LOW U" IF APPROVED BY CLIENT)		CLASS: CLEAR (NO TINTING)		FLORIDA PRODUCT APPROVED - FL#14218-89	SL-1	PROPOSED SIGN LOCATION						TO BE PERMITTED AND APPROVED BY OTHERS
ANN-1	ANNING	LOCAL SUPPLIER		BLUE	ALUMINUM FRAME: BRONZE		SUPPLIER TO PROVIDE ENGINEERING FOR PERMITTING AND APPROVAL								

- Notes:**
- PROVIDE PRIMER/SEALER PRIOR TO FINISH PAINT.
 - ALL MECHANICAL UNITS AND CONDENSING EQUIPMENT IS TO BE INSTALLED BEHIND PARAPET OF ROOF AND HIDDEN FROM VIEW. GENERAL CONTRACTOR IS TO PROVIDE SCREENING AS REQUIRED BY THE ZONING DEPARTMENT.
 - ALL EXPOSED PIPING AND CONDUIT TO MATCH ADJACENT SURFACE.

A Building for: Drutau Retail

Northwest Corner of
Atlantic Ave & NW 18 Ave
Delray Beach, Florida

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Exterior Elevation Schedule															
Symbol	Material	Manufacturer	Product	Color	Finish	Detail	Remarks	Symbol	Material	Manufacturer	Product	Color	Finish	Detail	Remarks
(SC-1)	STUCCO	LOCAL SUPPLIER	3/8" THICKNESS (2 COAT APPLICATION)	SEE ELEVATIONS	MEDIUM TEXTURED			(DR-1)	DOOR	KAMMER OR APPROVED EQUAL	350 IR	MEDIUM BRONZE			FLORIDA PRODUCT APPROVED - FL#67861
(FM-1)	FOAM BAND	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED	1/2" X 3"		(DR-2)	DOOR	ALLEGION OR APPROVED EQUAL	STEELERAFT H-SERIES	PAINT: PT-1			FLORIDA PRODUCT APPROVED - FL#65911
(FM-2)	FOAM BAND	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED	1" X 1"		(OV-1)	OVERFLOW SCOPPER						BY GENERAL CONTRACTOR
(FM-3)	FOAM CORNICE	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED	3" X 6"		(MC-1)	METAL COPING OR DRIP EDGE						BY GENERAL CONTRACTOR
(FM-4)	FOAM CORNICE	LOCAL SUPPLIER		PAINT: PT-2	MEDIUM TEXTURED	1" X 6"		(MC-2)	METAL DOOR RAIN GUARD						BY GENERAL CONTRACTOR
(PT-1)	PANT	SHERWIN WILLIAMS	JERSEY CREAM	SW 6379			MAIN BUILDING	(LT-1)	WALL PACK LIGHT FIXTURE	LS INDUSTRIES	(PTWS-FM-32-CR-LF-120-RJ-PC102)				BY GENERAL CONTRACTOR
(PT-2)	PANT	SHERWIN WILLIAMS	ALABASTER	SW 7008			FOAM BANDING	(MTL-1)	CUSTOM ALUMINUM OVERHANG	BY GENERAL CONTRACTOR		PAINT: PT-3			BY GENERAL CONTRACTOR WITH RECESSED LIGHTING
(PT-3)	PANT	SHERWIN WILLIAMS	PAVILION BEIGE	SW 7512			AWNING	(MTL-2)	CUSTOM ALUMINUM ANGLED SUPPORTS	BY GENERAL CONTRACTOR		PAINT: PT-3			BY GENERAL CONTRACTOR
(PT-4)	PANT	SHERWIN WILLIAMS	CRISP LINEN	SW 6378			BUILDING CAP	(HVC)	MECHANICAL HVAC UNIT	BY GENERAL CONTRACTOR					CONCEALED BY PARAPET
(PT-5)	PANT	SHERWIN WILLIAMS	NEOBORLY PEACH	SW 6632			BUILDING BASE	(LDDR)	ROOF ACCESS LADDER	BY GENERAL CONTRACTOR					SEE DETAIL 6/A110.1
(SF-1)	STOREFRONT	XXX OR APPROVED EQUAL	1/2" SO - 1" INSULATED (LOW "E" IF APPROVED BY CLIENT)	BRONZE FRAME	GLASS: CLEAR (NO TINTING)		FLORIDA PRODUCT APPROVED - FL#4218-RB	(SN-1)	PROPOSED SIGN LOCATION						TO BE PERMITTED AND APPROVED BY OTHERS
(AWN-1)	AWNING	LOCAL SUPPLIER		BLUE	ALUMINUM FRAME: BRONZE		SUPPLIER TO PROVIDE ENGINEERING FOR PERMITTING AND APPROVAL.								

Notes:
 1. PROVIDE PRIMER/SEALER PRIOR TO FINISH PAINT.
 2. ALL MECHANICAL UNITS AND CONDENSING EQUIPMENT IS TO BE INSTALLED BEHIND PARAPET OF ROOF AND HIDDEN FROM VIEW. GENERAL CONTRACTOR IS TO PROVIDE SCREENING AS REQUIRED BY THE ZONING DEPARTMENT.
 3. ALL EXPOSED PIPING AND CONDUIT TO MATCH ADJACENT SURFACE.

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BIDDING	
PERMIT	

REVISIONS:		
Number:	Date:	Description:
1	12.7.2020	ZONING REVIEW
2	11.11.2021	ZONING REVIEW

PRELIMINARY FLOOR PLAN AND EXTERIOR ELEVATIONS

Project Number: **19016**
 Principal: RJS
 Project Manager: RJS
 Drawn by: RJS

Architecture
A 130.1
 Date: 2/13/2024 12:50:20 PM
 Total Sheets: **4**

REVISION	DATE
1	TAC COMMENTS 3/13/21
2	TAC COMMENTS & SPECIFIC BASE UPDATES 7/5/22
3	TAC COMMENTS 10/12/22
4	civil water line update + traffic comments 3/10/23

LBLA, Inc.
Landscape Architecture

5610 Adair Way
Lake Worth, FL 33467
Phone: 561-644-3347
LbenderLarch@gmail.com
FL-LA666715

PROJECT ARCHITECT:
R. Jordy Soporum III, AIA, NCARB, President
RJS Architects, Inc.
1: 954.753.0018
C: 954.682.1249

PROPOSED BUILDING FOR
DRUTAU RETAIL
2 NW 18TH AVENUE
City of Delray Beach, Florida

PROPOSED LANDSCAPE PLAN

SITE TABULAR DATA:

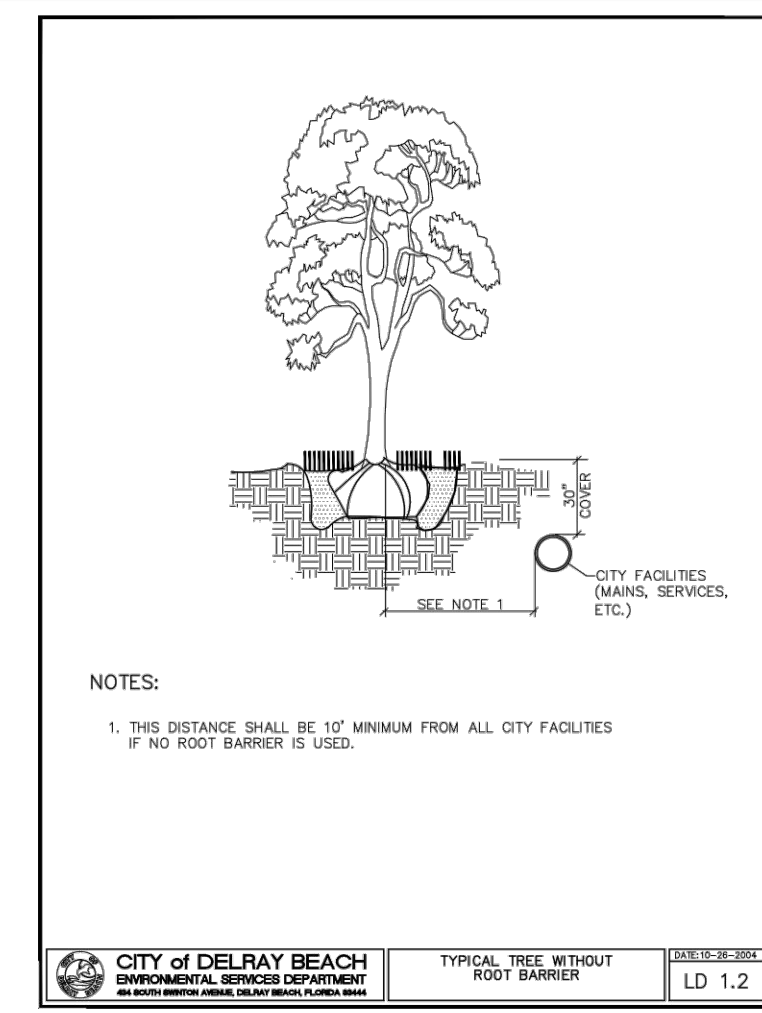
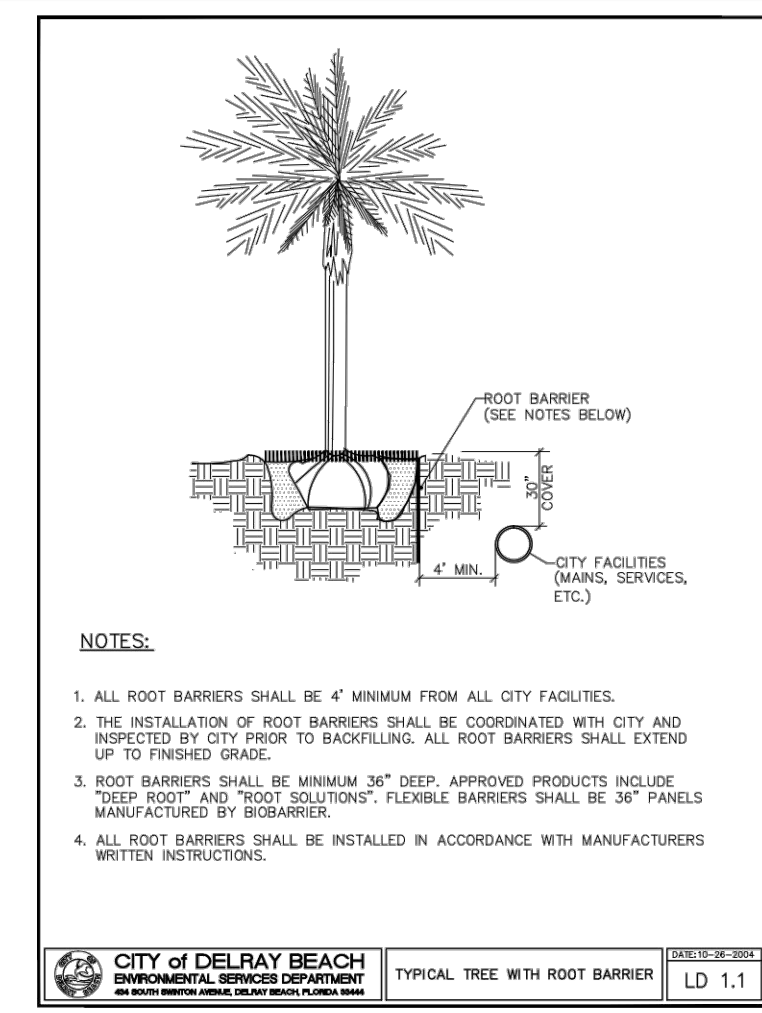
ZONING:	GC (GENERAL COMMERCIAL)
GROSS SITE AREA:	6,686 SF (1.135 AC)
NET SITE AREA:	6,593 SF (1.113 AC)
BUILDING GROUND FOOTPRINT:	1,360 S.F. (20.6% of net site area)
PROPOSED IMPERVIOUS:	VUA - 2,617 SF 4,356.6 S.F. (66.1% of net site area)
PROPOSED PERVIOUS:	GREEN AREA - 2,130 S.F. (32.3% of net site area)

LANDSCAPE NOTES: (CITY NOTES SHALL APPEAR ON ALL PLANS)

ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED.
SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.
THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
SHRUBS ARE REQUIRED ALONG FOUNDATION VISIBILITY TO STREET (where applicable) PLUS ALL EQUIPMENT, A.C. P.V.E. ETC. SHALL BE SCREENED FROM VIEW.

MINIMUM OVERALL LANDSCAPE REQUIREMENTS	PER SEC. 4.6.16 CITY OF DELRAY BEACH	REQUIRED	PROVIDED
PERIMETER LANDSCAPE BARRIERS	GC - GENERAL COMMERCIAL		
NORTH - EXISTING AUTOMOBILE SERVICE & REPAIR SHOPS LDR Sec. 4.6.16(H)(3)(d)	provide landscape barriers between off-street parking areas and adjoining properties. Landscape barriers, no less than 5 ft tall, shall consist of one tree for each 30 L.F., with continuous hedges, not less than 2 ft nor greater than 6 ft, to screen the parking spaces. NOTE: neighbor has an existing tree & some palms in adjacent buffer.	66.31 ft / 30 = 2.2; therefore = 3 TREES & continuous hedge @ 3 ft in row to 4 ft max.	3 TREES 3 - GREEN BUTTWOOD + 1 neighbor has 1 ex. Mahogany & 3 xmas palms (refer to TDP)
EAST - ROW - NW 18TH AVE. LDR Sec. 4.6.16(H)(3)(a)	off-street parking is required to be visually screened by a strip of 5 ft landscape perimeter between parking area and right-of-way. One tree for each 30 L.F., subtracting width of accessways, with hedge placed along interior perimeter of landscape strip. PLUS portion of foundation for res. plantings.	30 L.F. of parking fronting row / 30 = 1 perimeter 1 TREE plus hedge	2 TREES 2 - GREEN BUTTWOOD & 1 - SILVER BUTTWOOD
SOUTH - ROW - ATLANTIC AVE. - 10' SPECIAL LANDSCAPE SETBACK per Section 4.3.4 (H)(6)(3)(c)	off-street parking is required to be visually screened by a strip of 5 ft landscape perimeter between parking area and right-of-way. One tree for each 30 L.F., subtracting width of accessways, with hedge placed along interior perimeter of landscape strip.	n/a for parking screening - only bldg fronting row - provided foundation plantings	n/a - refer to foundation plantings for the 10' Special Landscape Setback
WEST - EXISTING GAS STATION	provide landscape barriers between off-street parking areas and adjoining properties. Landscape barriers, no less than 5 ft tall, shall consist of one tree for each 30 L.F., with continuous hedges, not less than 2 ft nor greater than 6 ft, to screen the parking spaces.	66 ft / 30 = 2.2; therefore 3 TREES & continuous hedge	3 TREES 3 - SIMPSON STOPPERS + 1 utility & billboard above + 1 neighbor has 5 ex. Oaks along west property line (refer to TDP)
PARKING LOT LANDSCAPE ISLANDS LDR Sec. 4.6.16(H)(3)(i)	a landscape island shall contain a min. of 155 sq ft of planting areas with a min. 3 ft x 8 ft, including a curb. Provide one shade tree with shrubs and ground covers. NOTE: the 1 ADA parking space adj to the bldg is not subject to island landscape requirement as discussed with city staff.	2 islands (on north side of parking lot) = 135 sq ft each	2 TREES 1 - SILVER BUTTWOOD & 1 - GREEN BUTTWOOD
INTERIOR VUA LANDSCAPING LDR Sec. 4.6.16(H)(3)(g)	provided for at least 10% of the total area used for parking and accessways.	2,617 sq ft x 10% = 261.7 sq ft	390 SF
INTERIOR LANDSCAPING LDR Sec. 4.6.16(H)(3)(h)	there shall be a group of palms or a shade tree for every 125 square feet of required interior landscaping. No more than 25 percent of these required trees shall be palms.	261.7 / 125 = 2 TREES (parking lot island trees used to meet this req)	2 TREES ** refer to parking lot landscape island trees **
SPECIAL LANDSCAPE SETBACK LDR Sec. 4.3.4 (H)(6) (b)	Pursuant to Sec. 4.3.4 (H)(6)(b) Special landscape setbacks: 10 ft special landscape setbacks along Atlantic Ave. Along West Atlantic Avenue, from 195 to the Western City Limits, a special landscape area shall be provided on both sides of the ultimate right-of-way. This landscape area shall be the smaller distance of either 30 feet or ten percent of the average depth of the property; however, in no case shall the landscape area be less than ten feet.	Atlantic Ave - 10' SETBACK MIN.	4 TREES - average 20' canopy to achieve coverage along front. Along with topped plant beds with varying heights. 1 - SILVER BUTTWOOD & 3 - PALMS 4 - CRAPE MYRTLES
MITIGATION - TREE & PALM ON-SITE REPLACEMENTS	REFER TO TDP1	PALMS TOTALING MIN CUMULATIVE HT OF 77' OA (@ 16' OA HT MIN.)	6 PALMS @ 16' HT MIN (refer to TDP) 3 - SOLITAIRE PALMS (mitigation) 3 - CABBAGE PALMS (mitigation)
STREET TREES (D.H.W. ARE PRESENT ON ATLANTIC AVE.)	Not required	n/a	n/a
NOTE: Pursuant to LDR Sec. 4.4.13(E)(2)(d)(6), the street tree requirements, the property owner shall be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any tree grates, irrigation, and landscaping installed by the property owner to meet the requirements of this section.	If applicable	n/a	n/a
TOTAL NUMBER OF TREES		9 TREES & 6 PALM ***	14 TREES & 6 PALMS
NATIVE & DIVERSIFICATION			
NATIVE TREES & PALMS - LDR Sec. 4.6.16 (D)(2)(c)(ii)	50% MIN of the required trees & palms	of 9 req trees - min of 4 to be native	13 NATIVE 10 native trees & 3 native palms are proposed
NO MORE THAN 50% PALM SUBSTITUTION (3 palms = 1 tree)	No more than 50 percent of the required trees shall be Palms	of the 20 proposed trees - 10 can be changed to palm clusters - therefore @ 3.1 = 30 palms max for 10 tree credits ***	6 palms provide @ 3.1 = 2 tree credits ***NOTE: the 6 palms are for on-site mitigation for removed palms (refer to TDP)
NATIVE SHRUBS, ACCENTS & GROUNDCOVERS - 4.6.16 (D)(2)(c)(ii)	25% MIN of all other required plant material	of 596 proposed shrubs & groundcover - 142 minimum to be native	364 NATIVE (64.3%)
MAINTAIN SOD ALLOWANCE	no more than 70 percent of the combination of the required interior greenery and the required perimeter landscape buffers, shall be planted in lawn grass	2236 sq ft of green x .7 = 3134 sq ft max sod	255 sq ft site sod

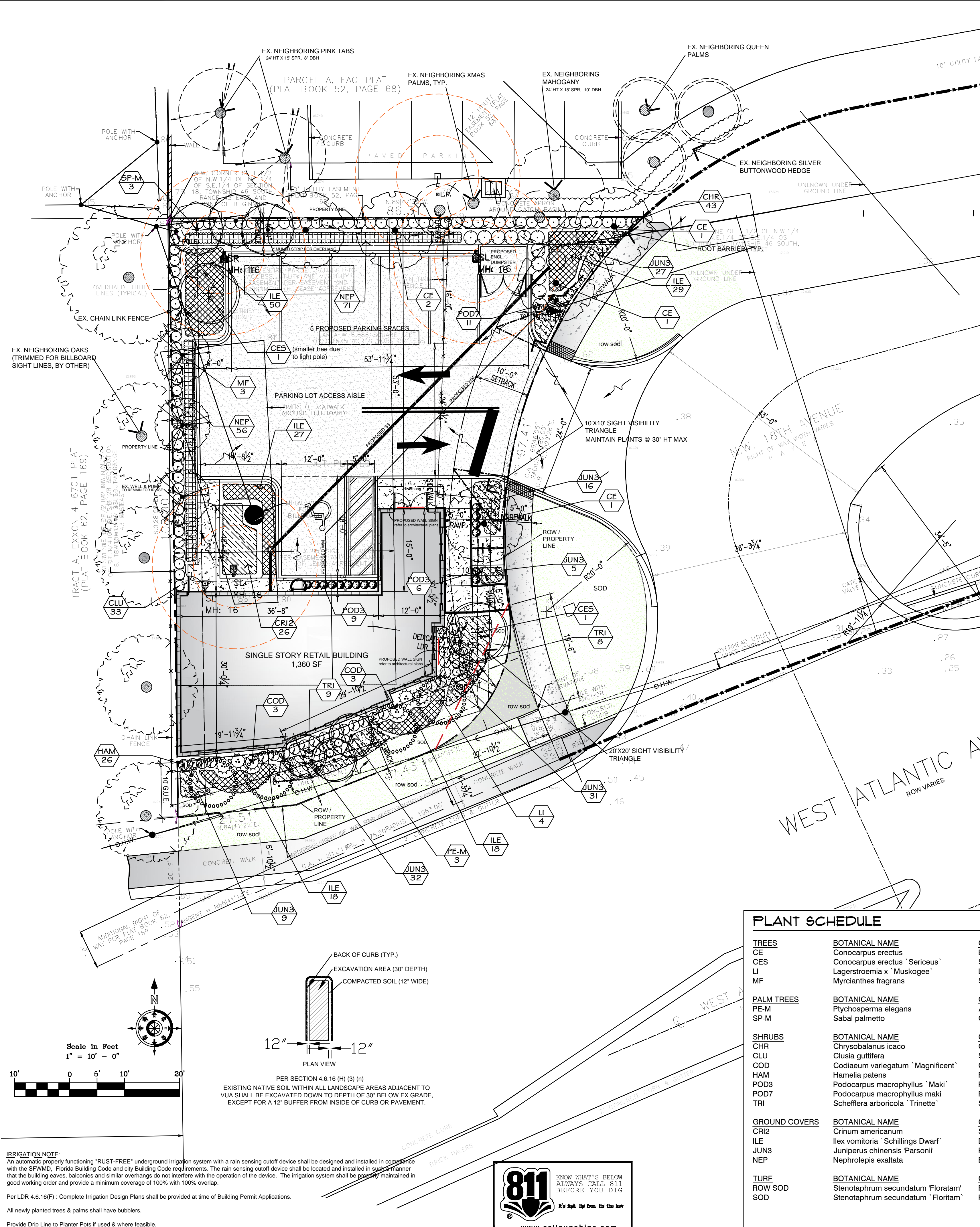
City of Delray Beach Standard Details: LD.1.1 & LD.1.2



NOTE:
Per LDR 4.6.16(D)(4) (b) "Trees shall not be planted within ten (10') feet of any underground utility. NOTE: City of Delray Beach Engineering Standards allow trees to be planted to within four (4') feet of utility lines, with proper root barriers installed. Refer to sheet LP2 for Details.
Any Trees or Shrubs placed within water, sewer or drainage easements shall conform to the City of Delray Beach Standard Details: LD.1.1 & LD.1.2"

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CT	DROUGHT TOLERANCE	NATIVE	SPECIFICATION	QTY	UNIT COST	TOTAL
CE	Conocarpus erectus	Buttonwood	16' ht x 7' spr.	3" dbh	8' ct	High	Native	Full canopy, min. 6" of single straight trunk	4	\$825	\$3,300
CES	Conocarpus erectus 'Sericeus'	Silver Buttonwood	16' ht x 8' spr	3" dbh	8' ct	High	Native	Full canopy, min. 6" of single straight trunk	3	\$950	\$3,800
LI	Lagerstroemia X 'Muskogee'	Lavender Crape Myrtle	16' ht x 7' spr.	3" dbh	8' ct	Medium	Non Native	Full canopy, min. 6" of single straight trunk	4	\$950	\$2,850
MF	Myrciathes fragrans	Simpson's Stopper	16' ht x 7' spr.	3" dbh	8' ct	High	Native	Full canopy, min. 6" of single straight trunk	3	\$950	\$2,850
PALM TREES	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CT	DROUGHT TOLERANCE	NATIVE	SPECIFICATION	QTY	UNIT COST	TOTAL
PE-M	Ptychosperma elegans	Alexander Palm	16' oa ht	3" dbh	8' ct	High	Non Native	single trunk, B&B	3	\$450	\$1,350
SP-M	Sabal palmetto	Cabbage Palmetto	16' oa ht	3" dbh	8' ct	High	Native	hardened off, rejuvenated	3	\$280	\$840
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.	QTY	UNIT COST	TOTAL
CHR	Chrysobalanus icaco	Coco Plum	24" min @ install	fully rooted pot to meet size	tip to tip	High	Native	Full to base	43	\$12	\$516
CLU	Clusia guttifera	Small Leaf Clusia	24" min @ install	fully rooted pot to meet size	tip to tip	High	Non Native	Full to base	33	\$12	\$396
COD	Codiaeum variegatum 'Magnificent'	Croton	30" ht x 30" spr	7 Gallon	AS SHOWN	High	Non Native	Full to base	6	\$55	\$330
HAM	Hamelia patens	Firebush	24" x 24"	fully rooted pot to meet size	24" oc	High	Native	Full	26	\$18	\$468
POD3	Podocarpus macrophyllus 'Maki'	Podocarpus	24" min @ install	fully rooted pot to meet size	tip to tip	High	Non Native	Full to base	15	\$15	\$225
POD7	Podocarpus macrophyllus 'maki'	Podocarpus	5' oa ht	fully rooted pot to meet size	30"	Medium	Non Native	Full to base	11	\$95	\$1,045
TRI	Schefflera arboricola 'Trinette'	Schefflera	24" min @ install	fully rooted pot to meet size	18" oc	High	Non Native	Full to base	17	\$12	\$204
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.	QTY	UNIT COST	TOTAL
CR12	Crinum americanum	Swamp Lily	18" X 18"	pot to meet size	20" OC	High	Native	FULLY ROOTED POT	26	\$14	\$364
ILE	Ilex vomitoria 'Schillings Dwarf'	Dwarf Schillings Holly	16" X 16"	pot to meet size	18" oc	High	Native	Full	142	\$18	\$2,556
JUN3	Juniperus chinensis 'Parsonii'	Parson Juniper	18" X 18"	3 gallon	18" oc	High	Non Native	Fully rooted	120	\$12	\$1,440
NEP	Neprolepis exaltata	Boston Fern	24" X 24"	pot to meet size	24" oc	High	Native	Fully rooted	127	\$12	\$1,524
TURF	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.	QTY	UNIT COST	TOTAL
ROW SOD	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Grass	sod					Laid tight solid	1,558 sf	\$0.5	\$779.21
SOD	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Sod	sod					Laid tight solid	255 sf	\$0.5	\$127.72
										TOTAL:	\$22,115



1 PROPOSED LANDSCAPE PLAN

All invasive exotic plants must be removed from the property. The site shall be maintained "exotic free" in perpetuity.

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