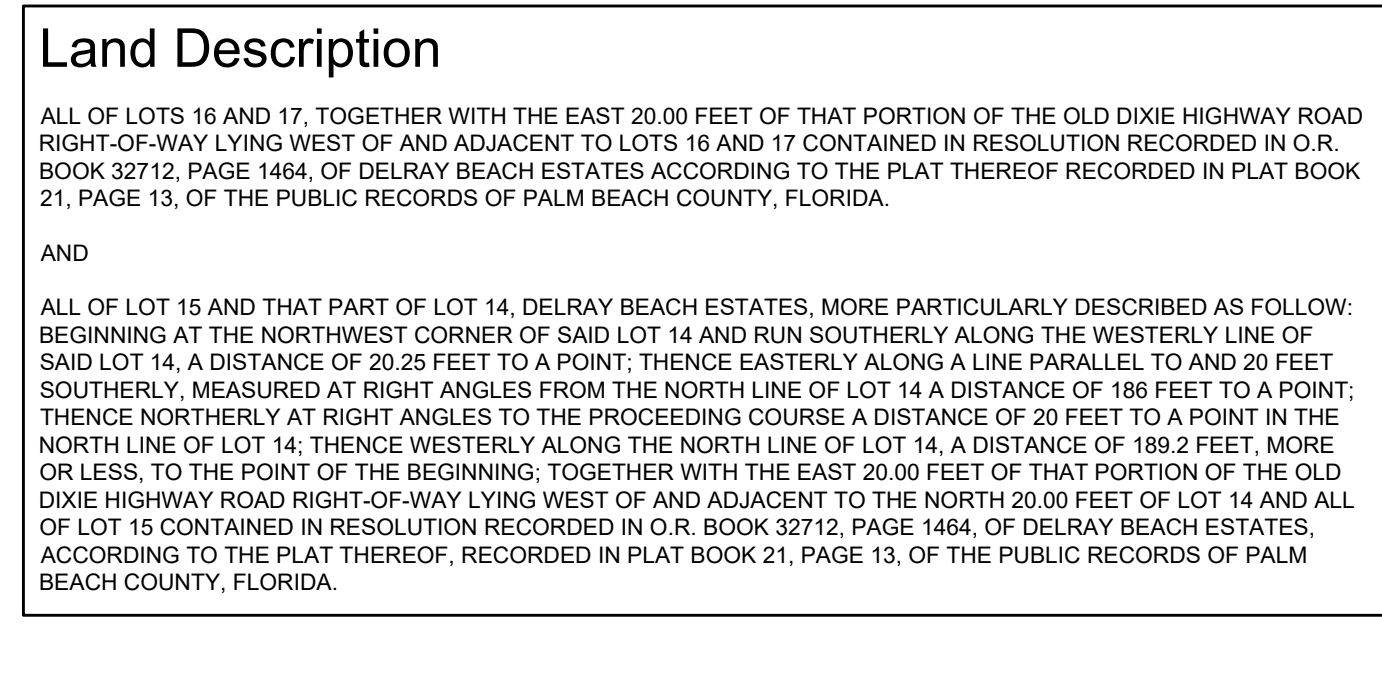
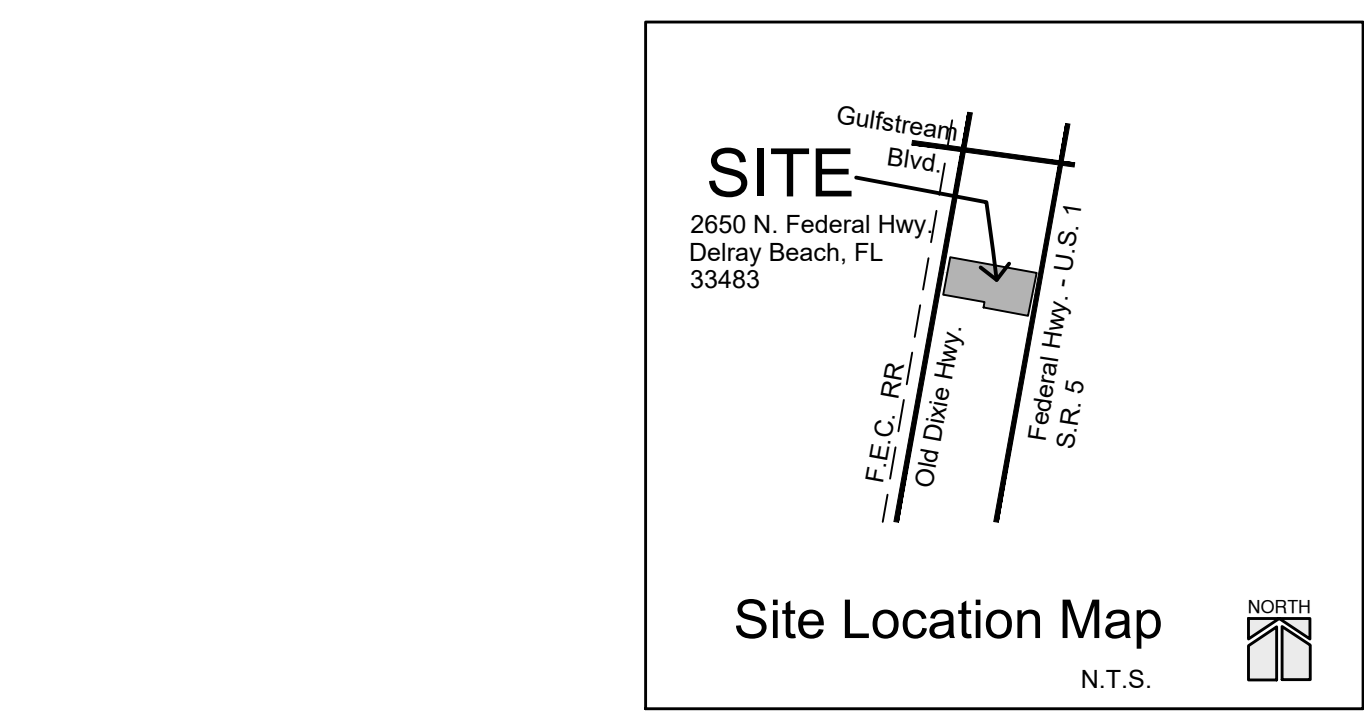




Property Development Regulations AC - Automobile Commercial Zoning District										
ZONING DISTRICT	MIN. LOT SIZE (S.F.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. LOT FRONTAGE (FT.)	FRONT SETBACK (N. Fed. Hwy.)	FRONT SETBACK (N. Fed. Hwy.)	SIDE STREET SETBACK	SIDE INTERIOR SETBACK	MAXIMUM BUILDING HEIGHT (FT)	F.A.R.
REQUIRED	1.5 ac	125'	200'	125'	5'-15'	5'-15'	15'	10'	48'	3.0
PROVIDED	140,227 net sf 3.22 ac	300'	434'	300'	78.28'	80.9'	n.a.	26.35' (north) 25.6' (south)	48' Top of Stair Tower	1.19

LDR SECTION	REQUIREMENT	EXISTING	PROPOSED
4.4.10(F)(3)	Front Setback 10' min./15' max.	Vacant	To increase front setback
4.3.4(K)	25% Open Space	Vacant	Reduce open space to 11%

NOTE - GREEN BUILDING REQUIREMENT
Prior to the issuance of a building permit and certificate of occupancy, pursuant to LDR Section 7.11.1(C)(2), the development shall achieve at least a certification level of LEED Silver (Florida Green Building Certification (FGB) Silver level certification) or equivalent.



Site Tabulations

GROSS Site Area	143,227 sf	3.29 ac	
R/W Dedication	3,000 sf	0.07 ac	
NET Site Area	140,227 sf	3.22 ac	100%
Total Impervious Area	124,436 sf	2.86 ac	89%
Building Coverage	55,478 sf		
Vehicle Use Area	64,811 sf		
Sidewalks, etc.	4,147 sf		
Total Open Space Area	15,791 sf	0.36 ac	11%
Required Perimeter Buffer Areas	8,598 sf		
Internal Vehicular Open Space	7,193 sf		

Parking Tabulations

PARKING REQUIREMENTS

Gross Building Area	167,032 sf
Indoor Display Area	(8,644 sf)
Parking Garage	(112,684 sf)
Building Area Parking @ 4/1000 sf	47,879 sf /1000 (4)
	192 Total Spaces Required
Total Spaces Include-	(incl. 6 HC accessible spaces)

Total Spaces Include-

Building Area (less Indoor Display area) @2/1000 sf	47,879 sf /1000 (2)	
	96 spaces required	153 allocated spaces
Service Bays @1.5 each	38 service bays	
	57 spaces required	

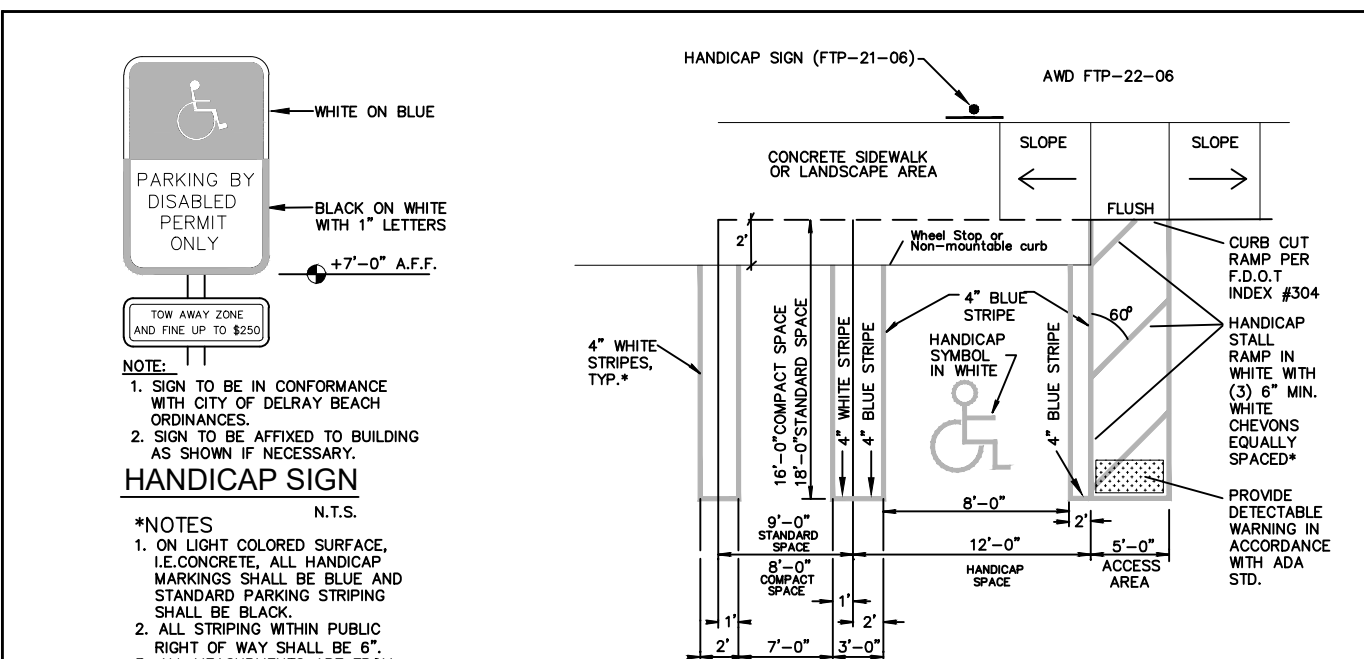
Provided Parking Allocation	88 Surface Spaces (incl. 6 HC Accessible Spaces)
	8 Garage Spaces – (Building Area - 96 total)
	27 Garage Spaces (Bullpen - Employee/Service Bays)
	36 Garage Spaces - (Standard Employee Spaces/Service Bays)
	166 Garage Spaces (Bullpen - Car Storage)
	325 Total Spaces Provided
	88 Surface Spaces (incl. 6 HC accessible spaces)
	237 Garage Spaces
	(no compact parking spaces provided)

BICYCLE PARKING SPACES

Type I Spaces	110,890 sf /25,000
Building & Parking Area @ 1/25,000 sf	5 spaces req'd - 10 spaces provided
Type II Spaces	110,890 sf /50,000 (2) + 2
Building & Parking Area @ 2 + 2/50,000 sf	4 spaces required - 4 spaces with showers provided, see Arch. Plans

Site Notes

- | | |
|---|--|
| 1. Existing Zoning - AC (Automobile Commercial) | 6. Proposed Use - Automobile Sales & Service |
| 2. Proposed Zoning - Same | 7. All new utilities on site shall be placed underground. |
| 3. Existing Land Use - General Commercial | 8. Water, sewer, electric, telephone, & cable television existing at site. |
| 4. Proposed Land Use - Same | 9. See architectural plans for perimeter fence & trash enclosure details. |
| 5. Existing Use - parking | |



Typical Parking Spaces Detail

PURSUANT TO CITY OF DELRAY BEACH STANDARD DETAIL RT 4.2a N.T.S.

SEE ARCHITECTURAL PLANS FOR GARAGE PARKING DETAIL

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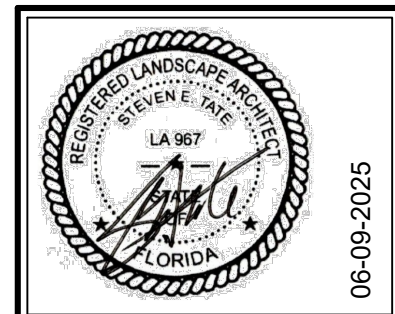
LA 0000967
covelladesign.com

Urban Planning • Landscape Architecture

Site Plan

Hyundai-Genesis Delray
Delray Beach Florida

Date	10-25-2024
Scale	As Noted
PN#	1347



Drawing No.
SP-1
OF 1