

# 'The Lisa Building'

47 S.E. 5th Ave · Delray Beach · FL

**ARCHITECTURE**  
**RICK BRAUTIGAN**  
 1025 DIXIE HIGHWAY  
 DELRAY BEACH, FL 33443  
 PHONE 12727088  
 FAX 12726636  
 AAG002029



PROPOSED BUILDING

## INDEX OF DRAWINGS

SPRAB SUBMITTAL

**BUILDING ARCHITECTURE**  
 RICK BRAUTIGAN ARCHITECTURE, INC.  
 1025 South Dixie Highway  
 Delray Beach, Florida, 33483

**CIVIL ENGINEERING**  
 JOHN A. GRANT, JR. INC.  
 3333 South Federal Highway  
 Boca Raton, FL 33481

**LANDSCAPE ARCHITECTURE**  
 CARTER & ASSOCIATES LANDSCAPE ARCHITECTS, INC.  
 71 E. 5th Avenue  
 Delray Beach, FL 33483

No.	Title	Issued	Revisions
A1.	Cover Sheet	6-16-16	9-28-16
	Survey	6-16-16	9-28-16
A2.	Architectural Site Plan / Data	6-16-16	9-28-16
A3.	Proposed Floor Plan	6-16-16	9-28-16
A4.	Roof Plan	6-16-16	9-28-16
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A8.	Color Elevations	6-16-16	9-28-16
A9.	Color Elevations	6-16-16	9-28-16
A10.	Photometrics Plan	6-16-16	9-28-16
A11.	Composite Overlay	6-16-16	9-28-16

No.	Title	Issued	Revisions
C1	Cover Sheet	6-16-16	9-28-16
C2	Stormwater Pollution Prevention Plan & Dammitton Plan	6-16-16	9-28-16
C3	General Notes/Typical Cross Sections & Drainage	6-16-16	9-28-16
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C4	Paving Details & Specs	6-16-16	9-28-16
C5	Water & Sewer Details	6-16-16	9-28-16
C6	Paving/Crossing/Drainage Improvements with water & Sewer services	6-16-16	9-28-16

No.	Title	Issued	Revisions
L1	Overall Existing Tree Removal & Relocation Plan	6-16-16	9-28-16
L2	Landscape Plan Notes & Details	6-16-16	9-28-16
L3	Irrigation Plan & Details	6-16-16	9-28-16

The Lisa Bldg.  
 47 S.E. 5th Ave.  
 Delray Beach,  
 Florida

RBA PN: 1561512

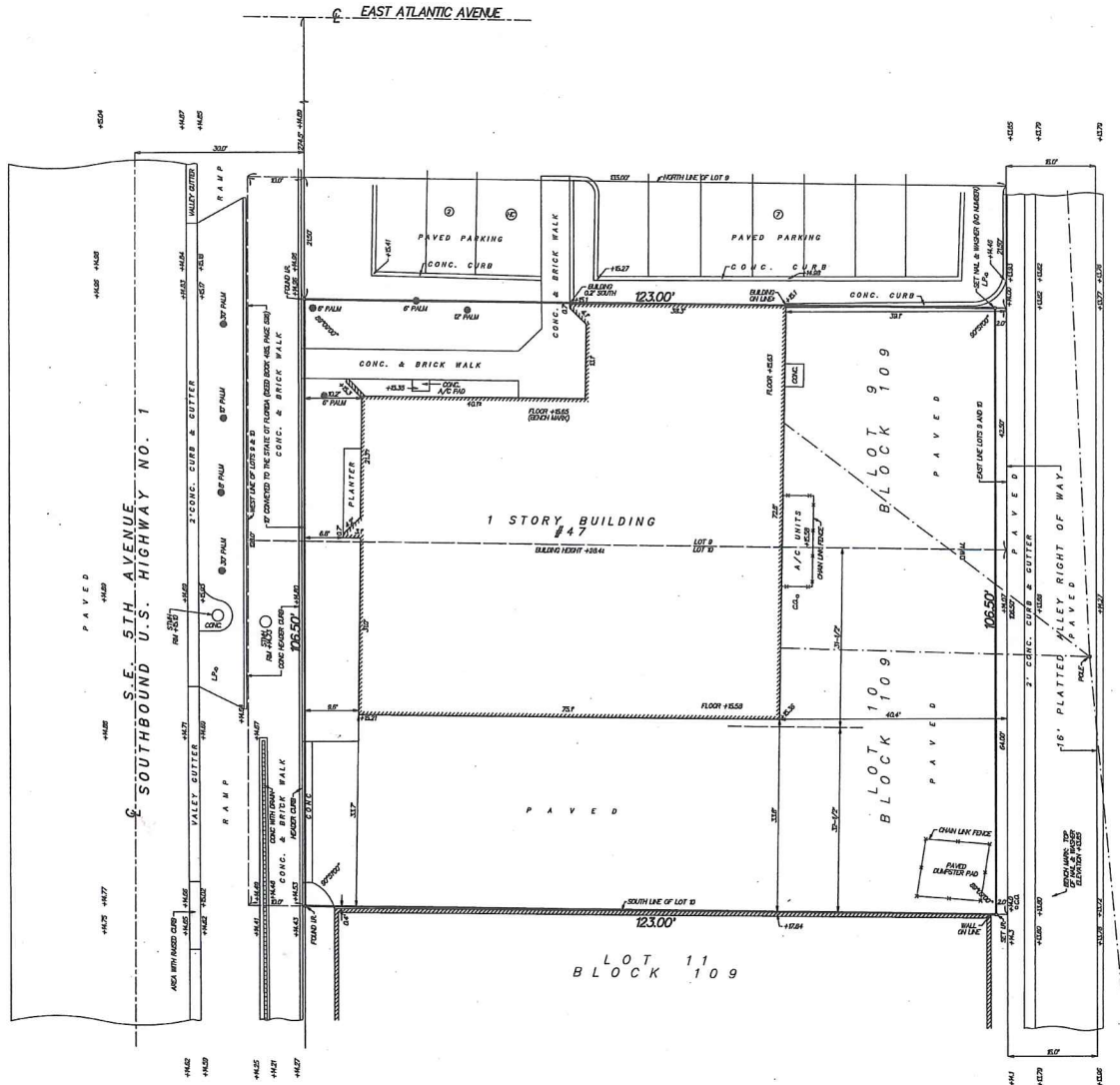
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 © 8-6-16 : C.C. Bid Set  
 ① 9-21-16: SPRAB  
 Resubmittal  
 ② 9-28-16: Revisions

Cover Sheet

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**ALTA/ACSM SURVEY**  
 SITE ADDRESS: 47 SE. 5TH AVENUE  
 DELRAY BEACH, FLORIDA 33483



- LEGEND:**
- C = CENTERLINE
  - CONC. = CONCRETE
  - L.P. = LIGHT POLE
  - UR = 5/8" IRON ROD WITH CAP #LB 353
  - NL = NAIL & DISK #LB 353
  - WM = WATER METER
  - STMH = STORM SEWER MANHOLE
  - CO = SANITARY SEWER CLEAN OUT
  - — — — — = OVERHEAD UTILITY LINES
  - +ELEV = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1988. SOURCE: PALM BEACH COUNTY BENCH MARK "1-315"
  - (7) = NUMBER OF REGULAR PARKING SPACE
  - (H) = HANDICAP PARKING SPACE

**SITE INFORMATION:**  
 PARCEL ZONING: CBD - CENTRAL BUSINESS DISTRICT (2-DELRAY BEACH)  
 USE CODE: 1700 - OFFICE ONE STORY  
 PROPERTY ADDRESS: 47 SE. 5TH AVENUE DELRAY BEACH, FLORIDA 33444  
 FLOOD ZONE INFORMATION:  
 FLOOD ZONE: X  
 NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12502 0004 D, MAP REVISED JANUARY 3, 1999  
 LAND AREA:  
 13,311 SQUARE FEET, MORE OR LESS OR 0.3036 ACRE, MORE OR LESS

**TITLE NOTES:**  
 THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-4 OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT AGENT'S FILE REFERENCE CURSON TO ROSSER, DATED SEPTEMBER 30, 2014.

**DESCRIPTION:**  
 THE SOUTH 42.5 FEET OF LOT 8, BLOCK 109, TOWN OF DELRAY, FORMERLY TOWN OF LINTON, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE WEST 10 FEET THEREOF, TO THE STATE OF FLORIDA, RECORDED IN DEED BOOK 1485, THESE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE EAST 2.0 FEET THEREOF;  
 AND  
 THE NORTH 31 1/2 FEET OF LOT 10, BLOCK 109, LESS THE WEST 10 FEET THEREOF AND THE SOUTH 32 1/2 FEET OF LOT 10, BLOCK 109, LESS THE WEST 10 FEET THEREOF; TOWN OF DELRAY, FORMERLY TOWN OF LINTON, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE EAST 2.0 FEET THEREOF.

**CERTIFIED TO:**  
 104-106 DELANEY REALTY LLC  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
 LESTICK & KRALL, P.A.  
 LOUIS J. CARBONE, P.A.

**MAP OF BOUNDARY SURVEY**  
 SITE ADDRESS: 47 SE. 5TH AVENUE  
 DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND THAT THE MEASUREMENTS WERE MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND WERE MADE IN ACCORDANCE WITH THE FLORIDA STATUTES, CHAPTER 40, PART 1, SECTION 40.01, FLORIDA STATUTES.  
 Paul D. Engle  
 SURVEYOR & MAPPER #5708

**O'BRIEN, SUTER & O'BRIEN, INC.**  
 LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION #8533  
 SURVEYOR AND MAPPER IN RESPOSIBLE CHARGE: PAUL D. ENGLE  
 955 N.W. 17TH AVENUE, SUITE 101 DELRAY BEACH, FLORIDA 33485  
 (561) 276-4531 732-3272 FAX 276-5390

DATE OF SURVEY AUGUST 5, 2015	SCALE 1" = 10'
FIELD BOOK NO. D-303	ORDER NO. 20-2163
PAGE NO. 41	

**APPLICABLE CODES**

- Florida Building Code 2014 (5th Edition)
- Florida Fire Prevention Code 5th Edition 2012
- NFPA 1 & 101 Life Safety Code Florida specific editions
- Florida Building Code - Accessibility, 2014 Edition

Proposed Occupancy: Mercantile Occupancy  
 TYPE OF CONSTRUCTION: V B - FULLY SPRINKLERED  
 NO. OF STORIES: 1

**STRUCTURAL DATA:**

- Basic Wind Speed: 170  
3 sec gust
- Wind Importance Factor: 1.0
- Category: 2
- Wind Exposure: C
- Internal Pressure Coefficient: See Elevation
- Building design: Enclosed  
+/- 0.18

**PROJECT DATA**

Site Total Area 13,098 S.F. (.3 ACRES)

Existing Zoning CENTRAL BUSINESS (CBD) DISTRICT

Total Impervious Area: 12,235 S.F. 93%  
 Proposed Building Footprint: 7,249 S.F. 68%  
 Proposed Pavement: 2,400 S.F. 18%  
 Proposed Pavers: 1,470 S.F. 11%  
 Proposed Concrete: 1,112 S.F. 9%  
 Open Space (Lanscaped): 797 S.F. 6%

**Fire Department Notes:**

- Florida Fire Prevention Code 5th Edition.
- See Life Safety plan on Sheet A3
- Knock Box @ 6' Ab. Fin. Walk. adjacent main entrance (center bays front door)
- Type of construction is type VB. Building is NOT sprinklered (highest top of proposed roof deck is 19'-8" A.F.F.)
- Min. 6H. Bldg. Numbers (see elevations)
- Fire Hydrants are located appropriately along the recently improved N.E. 5th Ave.

**SITE PLAN NOTES:**

- Existing Royal Palm street trees
- Streetscape: Curb zone/ Ped. Clear. zone/ Fr. setback. See Section on sheet A3
- Existing paver walkway (city std)
- Proposed pavers to match city std. Install per city std. See Civil plans for details
- Existing Landscape area to remain
- Proposed Landscape area (see Landscape Plans)
- See Civil drawings for typical parking/stripping/paving details
- Existing paved parking and concrete curbs in adjacent property
- Existing Palm tree to remain
- Existing manhole to remain
- Existing bus shelter across the street
- Existing access driveway to remain
- Remove existing access driveway. Install new curbs & grass. See Civil dwgs
- Approximate location of adjacent property's lot line



**DIMENSIONAL REQUIREMENTS CHART:**

LISA BUILDING	Central Core	NE 8 <sup>th</sup> Ave.	Alley
Lot Width	20 ft. min.	106.50'	106.50'
Lot Area = 13,098 sq. ft.	2000 sq. ft. min.		
A Front Setback	10 ft. min. / 15 ft. max.	10' min. / 14' max.	N/A
B Side Setback (north)	0 ft. min.	1' min.	N/A
B Side Setback (south)	0 ft. min.	102' min.	N/A
C Rear Setback	10 ft. min.	N/A	33'-0"
Side Setback Abutting Res. District 1 <sup>st</sup> to 3 <sup>rd</sup> Story	10 ft. min.	102'	N/A
B C Side-Rear Setback Abutting Res. District Above 3 <sup>rd</sup> Story	30 ft. min.	N/A	N/A
D Front Setbacks Above 3 <sup>rd</sup> Story	20 ft. min.	N/A	N/A
E Building Frontage Required on Primary Streets	75% min / 100% max	90%	N/A
Max. Height outside of the Atlantic Avenue Limited Height Area	4 Stories & 54 ft.	1 story & 30'0" ft.	1 story & 30'0" ft.

**REQUIRED OFF-STREET PARKING PER TABLE 4.4.13(L)**

USE	REQUIREMENTS	PROVIDED
RETAIL/COMMERCIAL	15,000 S.F. GROSS FLOOR AREA 7,249 S.F. 5,000 = 14.4 REQUIRED MAX. # OF VEHICLES ALLOWED 300; 15.3 = 4.2	10 (INCLUDING 1 HANDICAP) 14 (SEE PARKING SPACES)

**COMPACT CAR PARKING PER TABLE 4.4.13(K)**

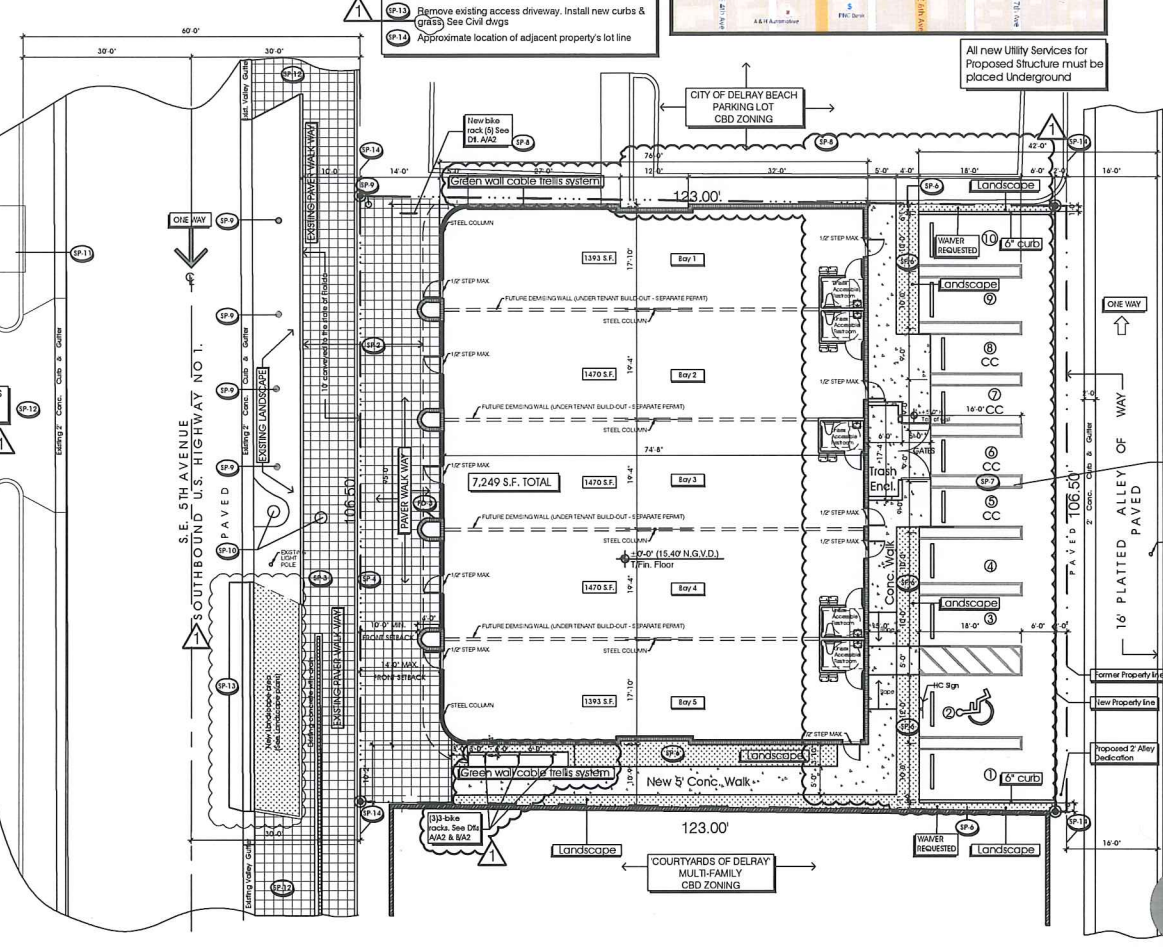
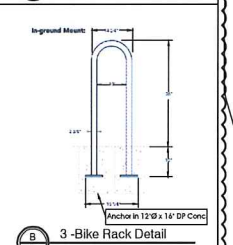
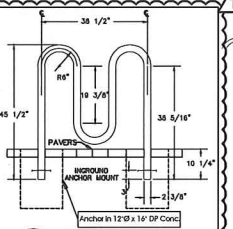
USE	REQUIREMENTS	PROVIDED
RETAIL/COMMERCIAL	21,000 S.F. GROSS FLOOR AREA 7,249 S.F. / 1K (2) = 7.25 REQUIRED	0 PROVIDED

**REQUIRED BICYCLE PARKING PER TABLE 4.4.13(K)**

USE	REQUIREMENTS	PROVIDED
RETAIL/COMMERCIAL	21,000 S.F. GROSS FLOOR AREA 7,249 S.F. / 1K (2) = 7.25 REQUIRED	0 PROVIDED

**CHART REQUESTED BY CANDI JEFFERSON:**

Table 1	Minimum Required	Maximum Allowed	Proposed
Commercial Storefronts Building Setback	10 ft.	15 ft.	10 ft. min. / 14 ft. max. (See Sheet A2 under Dimensional Requirements Chart)
Storefront Width	N/A	75 ft. on req. retail streets	78 ft. (See Sheet A5 under Storefront Width/Opening Requirement Calculation)
Storefront Base	9 ft.	3 ft.	2 ft. (See Sheet A5 under Storefront Width/Opening Requirement Calculation)
Storefront Height	8 ft.	-	10 ft. min. (See Sheet A5 under Storefront Width/Opening Requirement Calculation)
Required Openings	60%	-	85% (See Sheet A5 under Storefront Width/Opening Requirement Calculation)
Awning Projection	3 ft.	-	3' (yellow - See Sheet A5 under Storefront Width/Opening Requirement Calculation)
Projecting Sign	N/A	3 ft.	4' (See Sheet A5 under Storefront Width/Opening Requirement Calculation)



All new Utility Services for Proposed Structure must be placed Underground

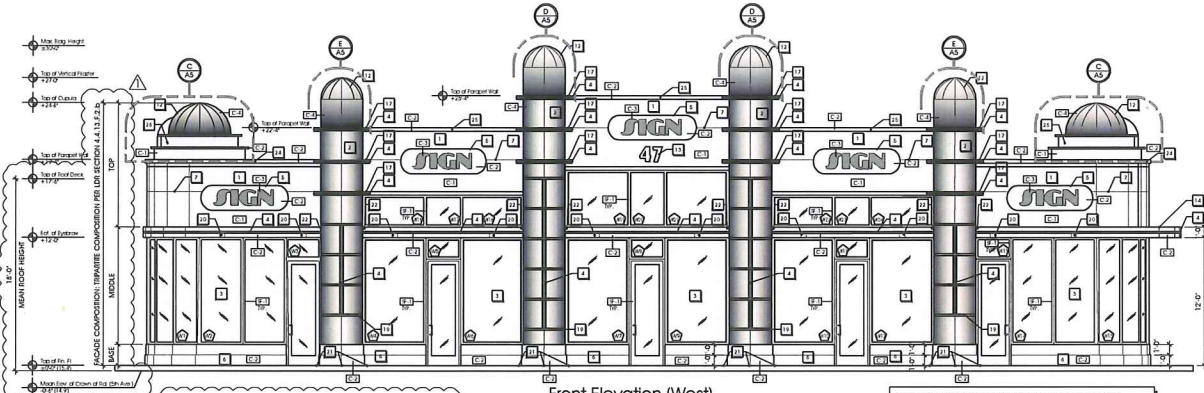
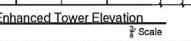
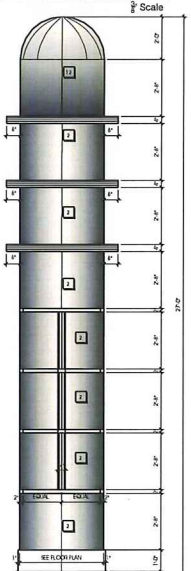
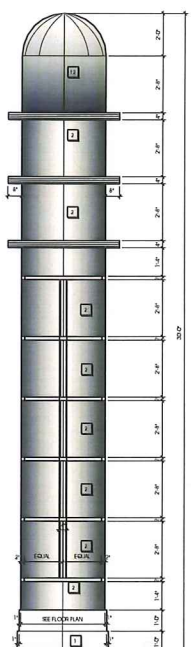
**ARCHITECTURE**  
**RICK BRAUTIGAN**  
 1024 EDITH HIGHWAY  
 DELRAY BEACH, FL 33483  
 PH: 561.272.9363  
 FX: 561.272.6638  
 AIA 002029

The Lisa Bldg.  
 47 S.E. 5th Ave.  
 Delray Beach, Florida  
 RBA-PN-1561512

**ISSUED**  
 6-16-16: SPRAB Set  
 8-6-16: C.C. Bid Set  
 9-21-16: SPRAB  
 Re-submittal  
 9-28-16: Revisions

Proposed Site Plan  
 Site Data  
 1" = 10' SC

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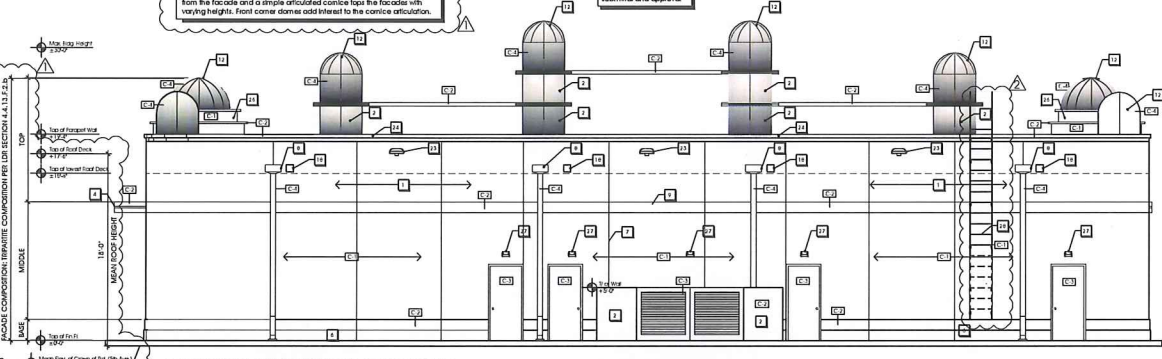
**FACADE COMPOSITION - VISUAL SCREENING PER LDR 4.4.13 F.2.c:**  
 Front Elevation (West) utilizes a combination of glass storefront and articulated stucco finished concrete block walls to establish an attractive facade enhancing the retail spaces. Each projecting vertical element between storefronts includes vertical and horizontal bands that provide a pattern which unifies with the rest of the facade. A Richland base (viewer table) runs along the bottom of the building, a 12" thick projecting exterior cornice runs out from the facade and a simple articulated cornice tops the facade with varying heights. Front corner dome add interest to the cornice articulation.

Front Elevation (West)  
3/16" SC

**STOREFRONT WIDTH/OPENING REQUIREMENT CALCULATION:**  
 Per LDR Section 4.4.13 (a) to : Storefront shall extend 70% of the width of a commercial space. Table 4.4.13 (1)

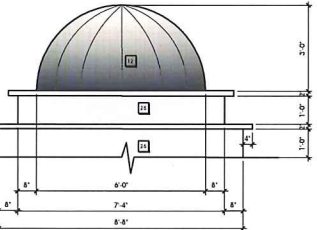
Elevation Width	Total Facade Width	Proposed Storefront Glass
5th Ave. Elevation: 95'-0"	79'-0"	83% > 70%

**SIGNAGE:**  
 All signs are illustrative and will require a separate submittal and approval.



**FACADE COMPOSITION - VISUAL SCREENING PER LDR 4.4.13 F.2.c:**  
 The rear Elevation utilizes consistent building materials with fenestration patterns to establish an attractive facade screening rear of the retail spaces. Location of doors, trash enclosure and rain water leader provide articulation to the blank wall. Scoring, Richland base and stucco bands provide additional facade articulation.

Rear Elevation (East)  
3/16" SC



Enhanced Elevation of Dome  
3/16" SC

**LED COLD NEON**  
 Manufacturer: **LED**

Model	Length	Width	Height	Power	Color	Temp	Beam	Notes
LED-100	100"	1.5"	1.5"	100W	Blue	2700K	120°	Standard
LED-200	200"	1.5"	1.5"	200W	Blue	2700K	120°	Standard
LED-300	300"	1.5"	1.5"	300W	Blue	2700K	120°	Standard
LED-400	400"	1.5"	1.5"	400W	Blue	2700K	120°	Standard
LED-500	500"	1.5"	1.5"	500W	Blue	2700K	120°	Standard

**45° 6000K In-Ground LIGHT**  
 EL-GL-20V-6000K-45

Model	Length	Width	Height	Power	Color	Temp	Beam	Notes
IGL-100	100"	4.5"	4.5"	100W	Blue	6000K	45°	In-ground
IGL-200	200"	4.5"	4.5"	200W	Blue	6000K	45°	In-ground
IGL-300	300"	4.5"	4.5"	300W	Blue	6000K	45°	In-ground
IGL-400	400"	4.5"	4.5"	400W	Blue	6000K	45°	In-ground
IGL-500	500"	4.5"	4.5"	500W	Blue	6000K	45°	In-ground

LED 'Cold Neon Light Blue

Up-Lights Specifications

**FINISH NOTES:**

- 2 coat 5/8" th. (min) smooth stucco with roofing wire indicated over c.m.u. Use Fry Reglet 1/2" channel 1/2" per - 75-2925 or Equal
- 2 coat 5/8" th. (min) smooth stucco over cap. wire rebar over barrier over CMU
- Impact rated glass (clear & low-E) storefront with white aluminum frame clear per IBCA and pre-engineered shop drawings.
- Cont. embed LED cold neon light Blue! See Spec AAS. Contractor to provide recess cutout in concrete canopy front edge, as required by light specifications so that no wiring is exposed or visible.
- Future sign (app. permit by other): Reverse channel base W/ building numbers 18" H
- Water table (2) 1" thick raised smooth stucco bands over CMU
- Scored stucco (gold joint)
- Leaded downspout
- 1" thick raised stucco band
- Using Green roof cable trays system by Jalcob or equal
- 3 coat 5/8" th. (min) smooth stucco over cap. wire rebar over barrier
- 2 coat 5/8" th. (min) smooth stucco with roofing wire indicated over high density foam Insul-It Guard B Co 5 wire rebar over barrier
- Permittee identification: proposed address number 8' min. on a contrasting background
- 12" high concrete eyebrow with stucco finish
- Building name in raised stucco
- 1" thick smooth stucco
- 4" horizontal stucco fin
- 8"x8" secondary drain scupper
- Rebar: Use VRS 50 180 (Fry Reglet) or Equal
- Light recessed on the underside of concrete canopy. See Photometrics plan for location and specifications
- In ground up lights recessed in power walkway. See Spec B45
- Up lights recessed above canopy. See Spec B45
- LED light. See Photometrics plan for location and specifications
- (2) 4" high raised stucco bands of parapet
- 4" high 1" thick raised stucco band of parapet
- 3 coat 3/4" th. (min) smooth stucco

**COLOR LEGEND**

- C-1** Color 1/ Base (Stucco)  
Benjamin Moore  
2125-60 Marilyn's Dress  
Satin Finish
- C-2** Color 2/ Accent (Trim)  
Benjamin Moore  
2125-70 Wedding Vell  
Satin Finish
- C-3** Color 3/ Accent (Metal Doors/ Signs and Numbers)  
Benjamin Moore  
2060-30 Seaport Blue  
Enamel Finish
- C-4** Color 4/ Accent  
Benjamin Moore  
2125-40 Shadow Gray  
Satin finish
- SF-1** Storefront  
Mill Finish  
& Clear Glass

Proposed Front/Rear Elevations  
3/16" SC

1025 E. 11th St. Ft. Lauderdale, FL 33304  
 Phone: 754.277.9033  
 Fax: 754.277.9033  
 AACC002029

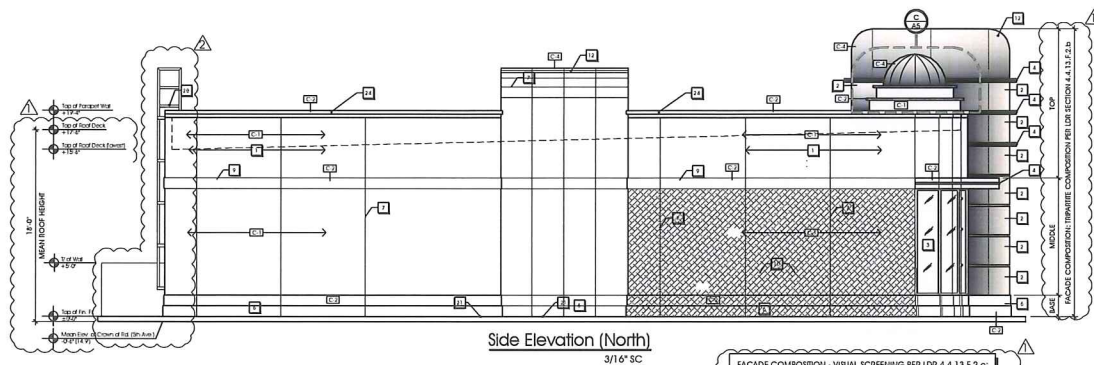
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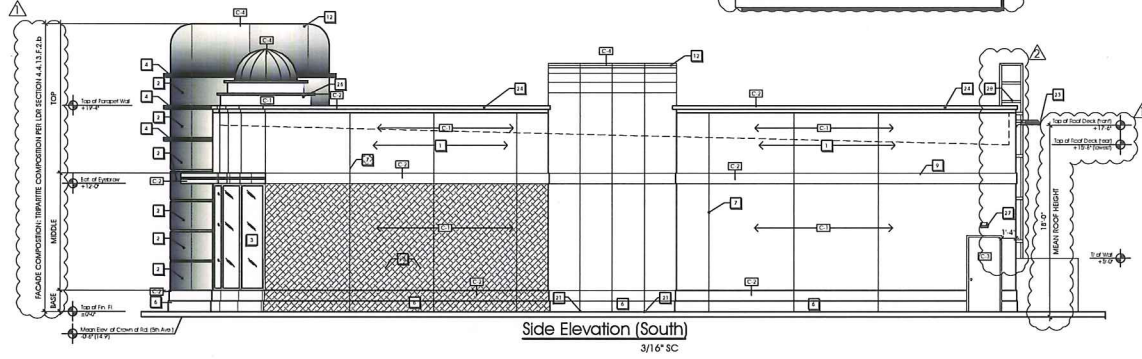


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Side Elevation (North)  
3/16" SC

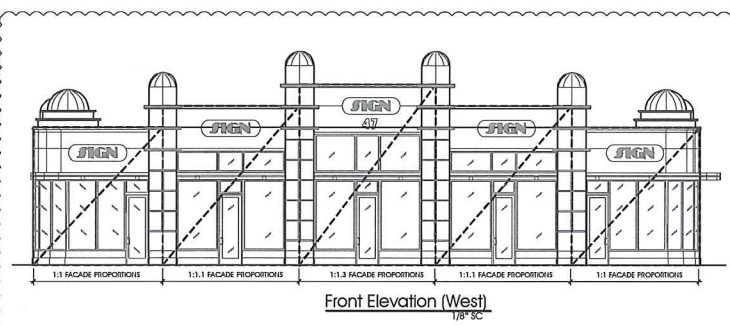
**FACADE COMPOSITION - VISUAL SCREENING PER LDR 4.4.13 F.2.c:**  
 North & South Elevations utilize consistent building materials with fenestration patterns to establish an cohesive facade screening the retail space.  
 Visual screen in the center of the side elevations or architectural articulation.  
 Application of architectural green wall at the front half of the side elevations to screen the blank wall.  
 Scoring, thickened base and stucco bands provide additional facade articulation.



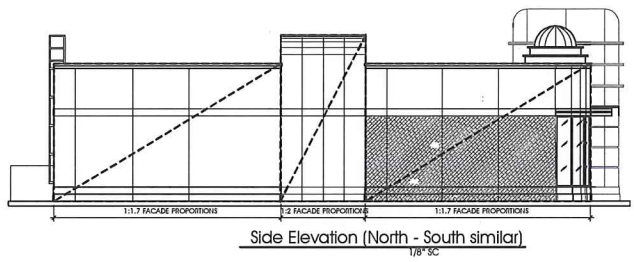
Side Elevation (South)  
3/16" SC

**FINISH NOTES:**

- 1 2 coat 5/8" (1 1/2 in.) smooth stucco with scoring where indicated over c.m.u. Use Fry Reglet® channel 1/2" deep - 15.2503 or Equal.
- 2 2 coat 5/8" (1 1/2 in.) smooth stucco over app. water resistive barrier over CMU.
- 3 Impact rated glass (clear & low E) storefront with white aluminum frame clear per UGA and pre-engineered shop drawings.
- 4 Cant. embed LED cold moon light fixture See Spec B/AS. Canister to provide recess centered in concrete canopy/ front edge, as required by light specifications so that no wiring is exposed or visible.
- 5 Fluores sign (see permit by other): Reverse channel back of building numbers 1 1/2" H.
- 6 Water table (2) 1" thick raised smooth stucco bands over CMU.
- 7 Scored stucco (cold joint)
- 8 Leadway downspout
- 9 1" thick raised stucco band
- 10 Living Green wall cable helix system by Jotjob or equal
- 11 2 coat 5/8" (1 1/2 in.) smooth stucco over app. water resistive barrier
- 12 2 coat 5/8" (1 1/2 in.) smooth stucco with scoring where indicated over high density foam (apply Fry Guard & Cut & water resistive barrier)
- 13 Perimeter identification: proposed address number 4" min. on a contrasting background
- 14 12" high concrete eyebrow with stucco finish
- 15 Building name in raised stucco
- 16 1" thick smooth stucco
- 17 4" horizontal stucco fin
- 18 8"x8" secondary drain receptor
- 19 Reveals: Use VFI-55-150 (Fry Reglet®) or Equal
- 20 Lights recessed on the underside of concrete canopy. See Photometric plan for location and specifications.
- 21 In ground up lights recessed in parter walkway. See Spec B/AS
- 22 Up lights recessed above canopy. See Spec B/AS
- 23 LED lights. See Photometric plan for location and specifications.
- 24 (2) 4" high raised stucco bands of parapet
- 25 4" high 1" thick raised stucco band of parapet
- 26 3 coat 3/4" (3/4 in.) smooth stucco
- 27 Light fixture. See Photometric plan for specifications.
- 28 Roof access ladder with security door, install 2 above driveway.



Front Elevation (West)  
1/8" SC



Side Elevation (North - South similar)  
1/8" SC

Diagram A

**FACADE COMPOSITION - BUILDING ARTICULATIONS PER LDR 4.4.13 F.2.c:**  
 Front (West) & Side Elevations (North & South) Elevations utilize building articulation that respond to the site urban context.  
 Building articulations in the form of a change in building height and building placement are incorporated in the proposed building; facade proportions do not exceed height to width ratio of 3:1 or 1:3 - See Diagram A.  
 Building articulations are reinforced on front and side facades by changes in roof height, fenestration patterns and architectural elements, as shown on Sheets AS & AS.

COLOR LEGEND	
C-1	Color 1/ Base (Stucco) Benjamin Moore 2125-60 Marilyn's Dress Satin Finish
C-2	Color 2/ Accent (Trim) Benjamin Moore 2125-70 Wedding Vell Satin Finish
C-3	Color 3/ Accent (Metal Doors/ Signs and Numbers) Benjamin Moore 2060-30 Seaport Blue Enamel Finish
C-4	Color 4/ Accent Benjamin Moore 2125-40 Shadow Gray Satin finish
SF-1	Storefront Mill Finish & Clear Glass

Proposed Side Elevations  
3/16" SC

**RICK BRAUTIGAN ARCHITECTURE**  
 107 S. E. DELRAY BEACH BLVD. SUITE 101  
 DELRAY BEACH, FL 33443  
 PH: 561.272.0033  
 FX: 561.272.6533  
 AIA C053029

The Lisa Bldg.  
 47 S.E. 5th Ave.  
 Delray Beach,  
 Florida

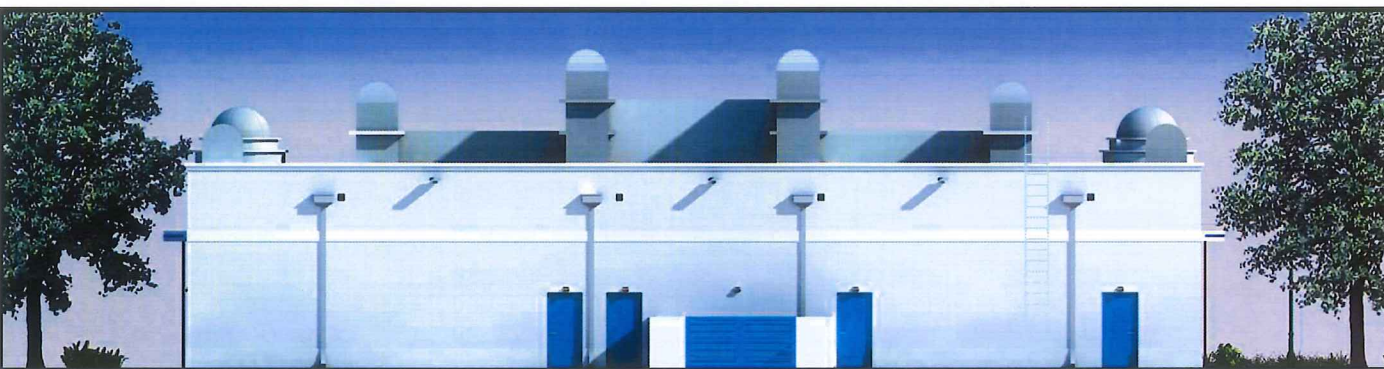
REB. PN. 1561512

- Issued
- 6-16-16:SPRAB-Set
  - 8-5-16 :G.C. Bid-Set
  - 9-21-16:SPRAB
  - 9-28-16:Revisions

ALL DESIGN, CONCEPT AND DATA DEVELOPMENT IS PROVIDED AS REPRESENTED HEREIN. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS MADE BY THE OWNER OR ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR ANY OTHER PARTY.








Front Elevation (West)
   
 3/16" Sc.



Rear Elevation (East)
   
 3/16" Sc.

COLOR LEGEND

- 
**C-1** Color 1/ Base (Stucco)  
 Benjamin Moore  
 2125-60 Marilyn's Dress  
 Satin Finish
- 
**C-2** Color 2/ Trim (Accent)  
 Benjamin Moore  
 2125-70 Wedding Veil  
 Satin Finish
- 
**C-3** Color 3/ Door and Signs  
 Benjamin Moore  
 2060-30 Seaport Blue  
 Enamel Finish
- 
**C-4** Color 4/ Accent  
 Benjamin Moore  
 2125-40 Shadow Gray  
 Satin finish
- 
**SF-1** Storefront  
 Mill Finish w/ Clear glass

**SIGN NOTE:**  
 All signs are illustrative  
 and will require a separate  
 industrial and approval.

The Lisa Blog  
 47 S.E. 6th Ave.  
 Delray Beach,  
 Florida  
 R.R.A. PN 15615.12  
 Issued  
 © 6-16-16: SPRAB Set  
 © 8-8-16 : G.C. Bid Set  
 © 9-21-16: SPRAB  
 Results/initial  
 ① 9-28-16: Revisions

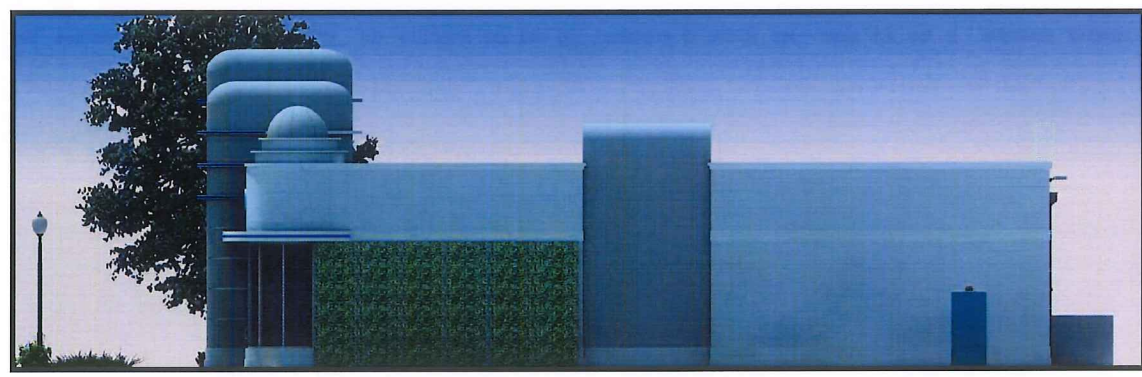
Proposed Color Elevations  
 3/16" SC

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Side Elevation (North)  
 3/16" Sc.



Side Elevation (South)  
 3/16" Sc.

COLOR LEGEND

	<b>C-1</b> Color 1/ Base (Stucco) Benjamin Moore 2125-60 Marilyn's Dress Satin Finish
	<b>C-2</b> Color 2/ Trim (Accent) Benjamin Moore 2125-70 Wedding Veil Satin Finish
	<b>C-3</b> Color 3/ Door and Signs Benjamin Moore 2060-30 Seaport Blue Enamel Finish
	<b>C-4</b> Color 4/ Accent Benjamin Moore 2125-40 Shadow Gray Satin Finish
	<b>SF-1</b> Storefront Mill Finish w/ Clear glass

**NOTE:**  
 All signs are illustrative  
 and will require a separate  
 submittal and approval

The Lisa Bldg.  
 47 S.E. 5th Ave.  
 Delray Beach,  
 Florida  
 RBA PN 1561512

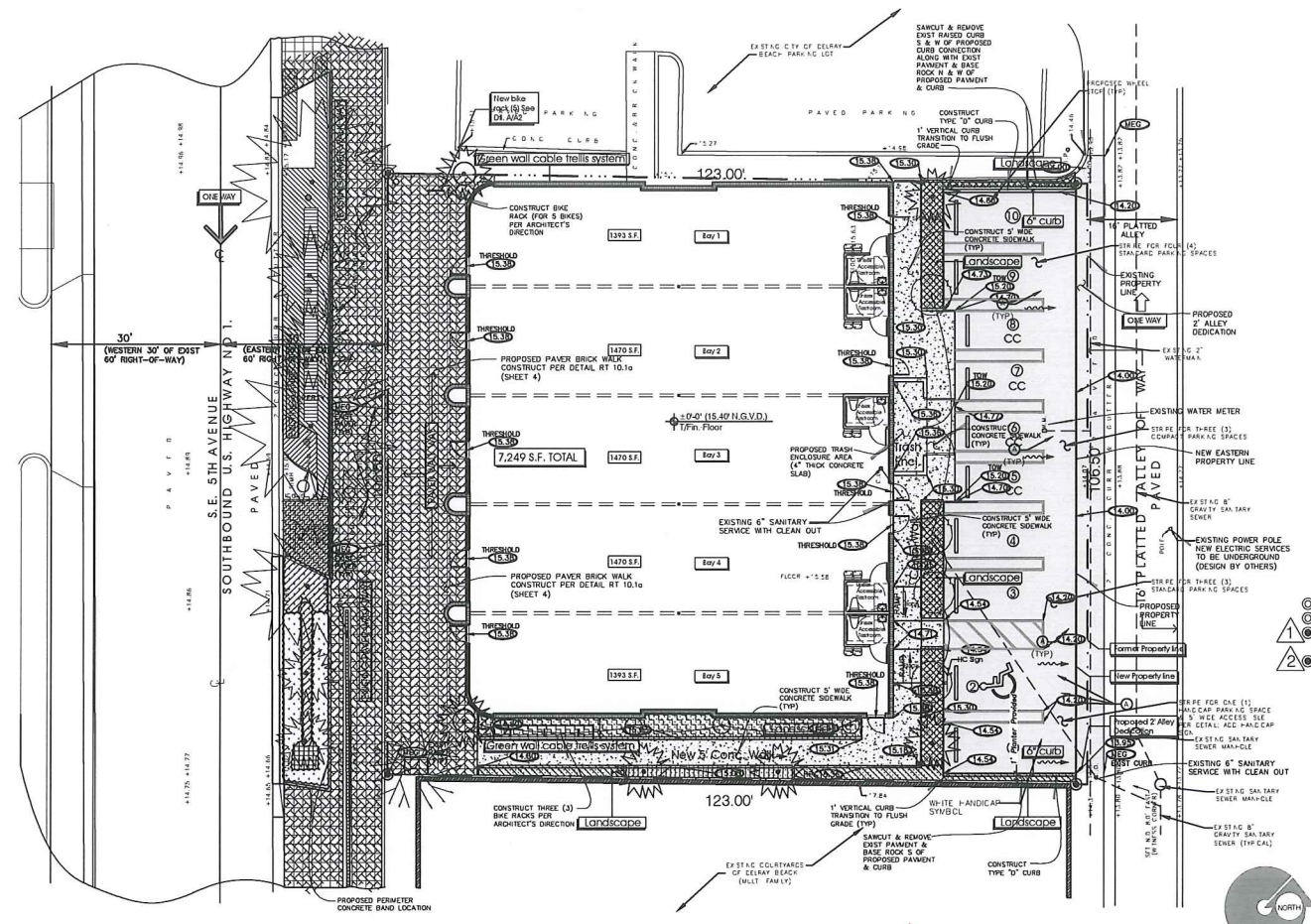
Issued  
 6-16-16:SPRAB:Sel  
 8-6-16 :C.C. Bid Set  
 9-21-16:SPRAB  
 Resubmittal  
 9-28-16:Revisions

Proposed Color Elevations  
 3/16" SC

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- LEGEND:**
- PROPOSED GRADE
  - EXISTING ELEVATION
  - DRAINAGE SHEET FLOW DIRECTION ARROW
  - LINEAR FEET
  - HIGH POINT
  - EXISTING
  - TOP OF WALK
  - MATCH EXISTING GRADE
  - SANITARY CLEAN OUT



The Lisa Bldg.  
 47 S.E. 5th Ave.  
 Delray Beach,  
 Florida  
 RBA PN 15615.12

- Issues**
- ① 6-16-16: SPRAB Set
  - ② 8-6-16 : C.C. Bid Set
  - ③ 9-21-16: SPRAB
  - Resubmittal
  - ④ 9-28-16: Revisions



**Composite Overlay Plan**  
 1" = 10' SC

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- RELOCATION NOTES:**
- All canopy trees designated as relocated on the plans, are to be root-pruned for a minimum of 3 months prior to the relocation process.
  - The root ball size for each tree will depend on the caliper of the individual tree to be relocated. The size of the root ball shall be adequate to support & sustain the viability of the individual tree.
  - All root cuts shall be "clean cuts", and the back fill material shall be well drained planting soils, or pre-approved equal. All root rock, and undesirable fill materials shall be removed from root-prune trench.
  - Temporary irrigation shall be provided to all root-pruned trees during the root-pruning process, and after the tree's have been relocated to their location for a minimum of 4 months, or as necessary to insure their survivability.
  - The copes of all trees shall be reduced by a minimum of 20% at time of root pruning.
  - All trees shall be relocated with machinery (i.e. crane, front-end loader, tree spade, or equal) capable of handling the material without damaging any portion of the tree. The Landscape Architect will pre-approve all methods utilized for the relocation process.
  - All relocation work shall comply with the National Arborists Standards.

- REMOVAL NOTES:**
- All trees to be removed shall be completely removed from the site.
  - The root systems, of the removals, shall be removed in such a manner to facilitate the installation of new trees, or palms. Root system removal shall be a minimum of 24" depth, and a 6 foot diameter around the trunk.
- TREE REMOVAL PERMITS WILL BE REQUIRED BY THE GOVERNING MUNICIPALITY, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.**
- ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO COMMENCING ANY WORK ON THE SITE, PER FLORIDA LAW.

**PROJECT NOTE:**  
ALL MATERIALS ON SITE NOT INDICATED TO BE REMOVED OR RELOCATED SHALL REMAIN.

SEE SHEET L2 FOR RELOCATED MATERIAL LOCATIONS

**TREE INVENTORY**

EXISTING TREE LEGEND:		
	SIZE	DISPOSITION
#1 Exist. <i>Royaltonia elata</i> (Florida Royal Palm)	10' OA	To be removed
#2 Exist. <i>Dypsis decaryi</i> (Triangle Palm)	16' OA	To be relocated
#3 Exist. <i>Tobebuia caroiba</i> (Yellow Tab Tree)	20' OA	To be remain
#4 Exist. <i>Sabal palmetto</i> (Sabal Palm)	6" GW	To be removed
#5 Exist. <i>Dypsis decaryi</i> (Triangle Palm)	16' OA	To be relocated
#6 Exist. <i>Ptychosperma elegans</i> (Alexander Palm)	18' OA	To be relocated
#7 Exist. <i>Ptychosperma elegans</i> (Alexander Palm)	18' OA	To be relocated
#8 Exist. <i>Tobebuia caroiba</i> (Yellow Tab Tree)	20' OA	On adjacent property
#9 Exist. <i>Ptychosperma elegans</i> (Alexander Palm)	20' OA	On adjacent property
#10 Exist. <i>Ptychosperma elegans</i> (Alexander Palm)	20' OA	On adjacent property
#11 Exist. <i>Ptychosperma elegans</i> (Alexander Palm)	20' OA	On adjacent property
#12 Exist. <i>Woodyettia bifurcata</i> (Fox Tail Palm)	20' OA	On adjacent property

**NOTES:**

- NO HEAVY EQUIPMENT ALLOWED INSIDE BARRIER, ONLY HAND LABOR
- NO CONSTRUCTION MATERIALS OR TEMPORARY SOIL DEPOSITS ALLOWED INSIDE THIS AREA

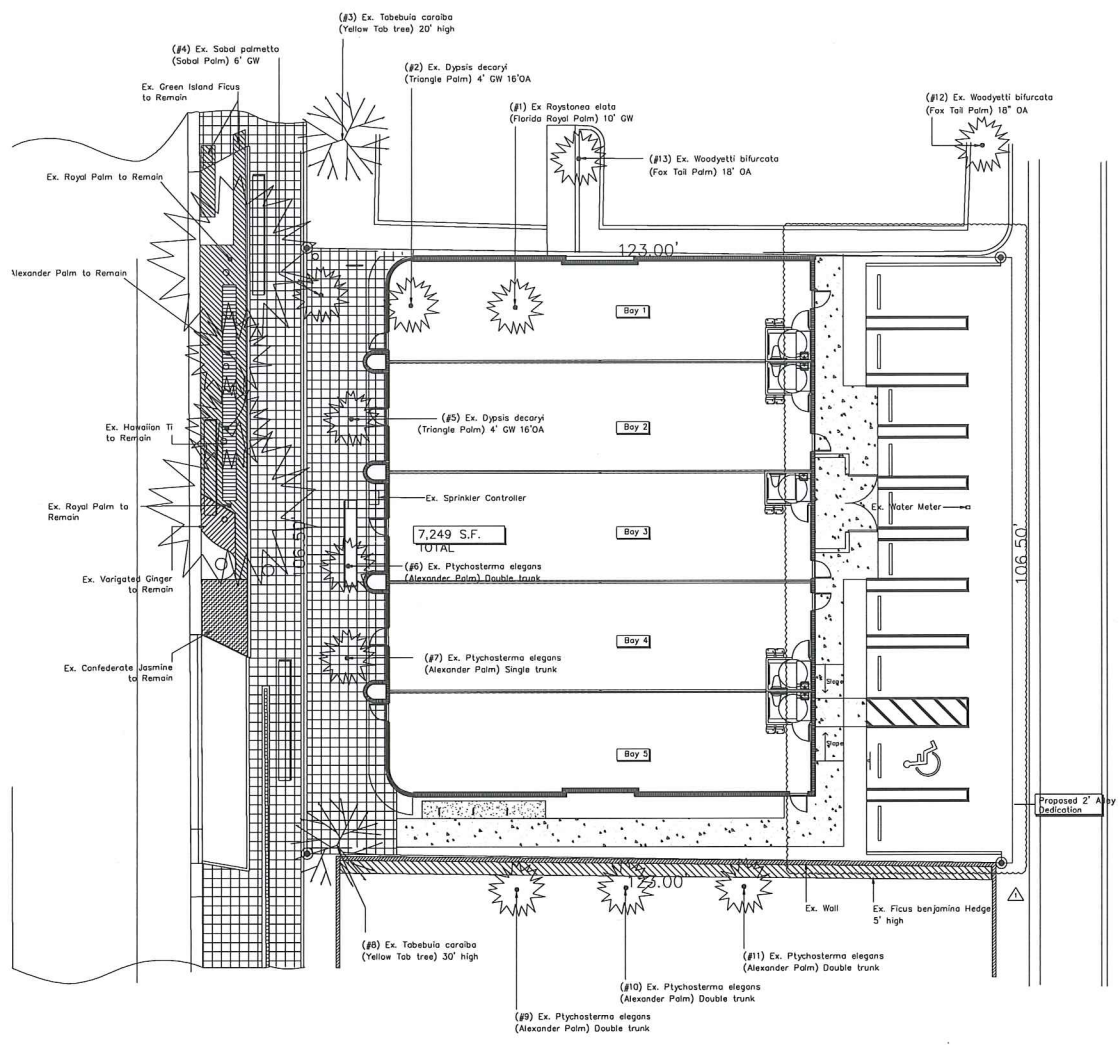
BY OBSERVING THESE TWO SIMPLE PRINCIPLES, A TREE'S CHANCE FOR SURVIVAL IS GREATLY ENHANCED.

**SPECIFICATIONS FOR WOOD BARRIER**

- MINIMUM RADIUS TO BE PROTECTED IS ENTIRE DRIP LINE
- MINIMUM 3' IN HEIGHT
- UPRIGHTS— THE EQUIVALENT OF 2"x4" LUMBER ON 6' MINIMUM CENTERS
- HORIZONTAL— ORANGE TEMPORARY FENCING ATTACH "TREE PROTECTION AREA" SIGNS EVERY 30' O.C. AND MIN. 1' PER SIDE
- BARRIERS TO BE ERRECTED AROUND TREES TO REMAIN BEFORE CONSTRUCTION OR NEARBY TREES ARE REMOVED
- BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA

Use 2"x2" wood stakes at 48" o.c. with Orange Temporary Fencing attached.

**NOTE:**  
BARRIER MUST BE ERRECTED PRIOR TO CONSTRUCTION



Overall Existing Tree Removal & Relocation Plan



REVISIONS	BY
1	
8.4.16 Site Plan	
Revision as per	
Architect	
Revised 9.20.16 Per	
Revised Arch. Plan	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th Ave. Delray Beach, FL 33483  
561-272-9621 drcaine@bellsouth.net LA 831

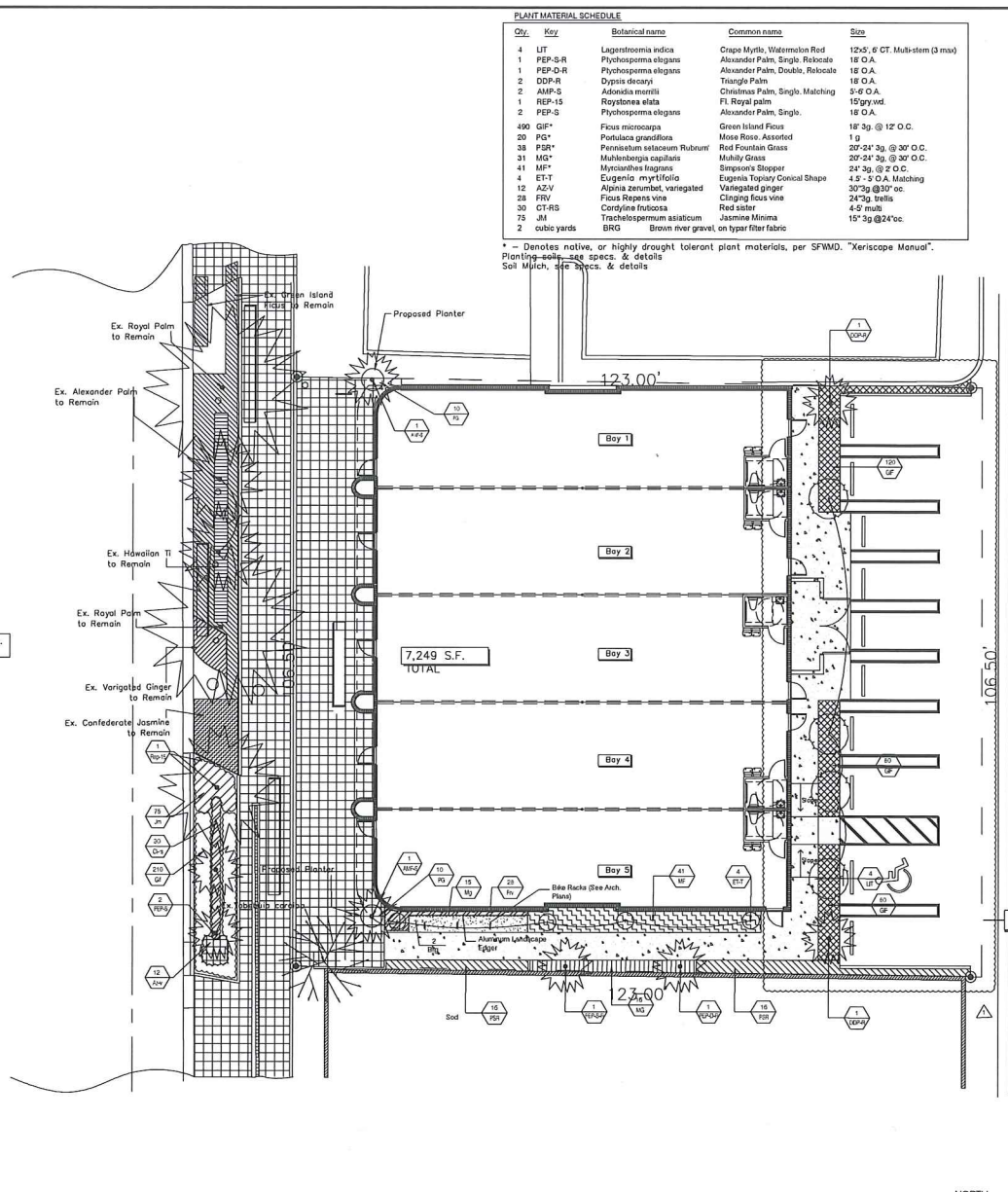
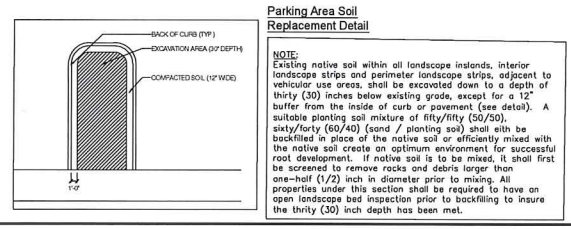
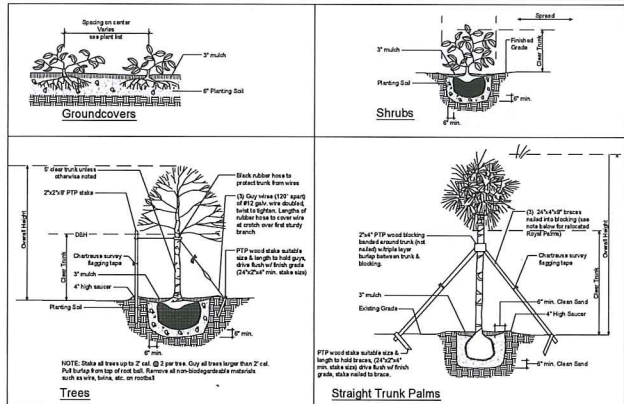
Landscape for:  
**THE LISA BUILDING**  
47 SE 5TH AVE  
DELRAY BEACH, FLORIDA 33483

DRAWN	JB
CHECKED	D.H.C.
DATE	8.4.16
SCALE	1" = 10'
SHEET NO.	31516
SHEET	
L-1	
OF	3 SHEETS

**GENERAL LANDSCAPE NOTES:**

- All plant material shall be F1, #1, or better, as per the latest edition of F1, Grades & standards. All "specimen" quality materials shall be F, Fancy, and shall be pre-approved by the Landscape Architect.
- All plant materials shall be true to name & size, as per F1, Grades & Standards. Plant materials which do not meet, or exceed these standards will not be accepted.
- Quantities, sizes, and locations of plants will be determined by the plan and material schedule. Sizes of the specified plants shall take precedence over the container size. Spacing of the ground covers will be determined by the material schedule. Quantities shown on the material schedule are to be used as a guideline. The landscape contractor shall be responsible for the actual quantities shown on the plan. The plants will take precedence over the material schedule. Discrepancies shall be brought to the attention of the Landscape Architect, prior to commencing.
- No substitutions shall be accepted without the Landscape Architect's written approval. All substitution requests shall be made in writing.
- Planting soils shall be clean, sterile, and free of debris. Soil shall consist of 30% F1, muck & 50% clean sand. Trees shall be installed with a minimum of 6" on sides & bottom of root balls. Shrubs, plants & ground covers shall be installed with a minimum of 6" on sides & bottom of root balls. Rooted cuttings shall be installed with a minimum of 4" of planting soils worked into the top 6" of the existing soils. Sabal palms and Phoenix specie shall be installed with a clean well drained sand.
- Miragolite, or equal, fertilizer shall be applied to all plantings, per manufactures recommendations. In addition, "Agriform" tablets (20-10-5) shall also be applied to all plants 1 gal. and above, per manufactures recommendations.
- All trees & palms shall be mulched with a 3ft. diameter circle, 3" minimum depth. All planting beds shall receive 3" finished depth, mulch upon completion of planting process. Mulch shall "Eucalyptus", or approved equal. NO CYPRESS MULCH SHALL BE UTILIZED ON THE PROJECT.
- All plants shall be planted at soil levels which they were previously grown. Shrubs and hedges are to be planted 2ft. away from any wall, or structures. Materials with a six greater than overhangs shall be planted so as not to impede the natural growth habit of the plant.
- All materials are to be watered-in immediately after planting, so as to remove air pockets. BIB materials are to be hand-watered for a minimum of 1 week after installation, and there-after as required. Contractor shall advise the owner of any additional hand-watering requirements.
- All trees 8ft. or larger, are to be staked, or guyed, to provide ample support such that materials remain straight & true in an up-right position through the guarantee period. Staking & guying shall be performed at the option of the landscape contractor, except where required by code. However, the landscape contractor shall be responsible for all trees & palms remaining straight & true through the guarantee period. In the event that a material shifts after it has been properly staked, or guyed, the landscape contractor shall not be held responsible.
- All sod shall be "Floratom", unless otherwise specified. Sod shall be dense, green, well-rooted, and free of debris, weeds, disease, or insects. A complete 6-6-6 fertilizer shall be applied at a rate of 10lbs. per 1,000sq.ft.. Sod is to be watered to a depth of 3" immediately after installation. Grades are to be rolled smooth, and all debris removed, prior to installation.
- All trees, plants & ground-covers shall be guaranteed for a period of 120 days, and all palms are for a period of one year, after the date of substantial completion. Phoenix conariensis & dactylifera palms are to be maintained, per growers/suppliers recommendations, by a qualified person, or firm. Solid maintenance program shall be the responsibility of the owner. The landscape invoice will be deemed as rejection of the plant materials. The landscape contractor shall remove any, or all of the rejected materials from the site as their discretion.
- The removal of "base rock" is not included in the landscape contract.
- All grades are to be within 2" of finished grades, prior to the landscape contractor commencing work.

Automatic irrigation system to provide 100% irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & turf zones are to be separated. THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS



**PLANT MATERIAL SCHEDULE**

Qty.	Key	Botanical name	Common name	Size
4	LT	Lagerstromia indica	Crape Myrtle, Watermelon Red	12x5' 6 CT. Multi-stem (3 max)
1	PEP-SR	Ptychosperma elegans	Alexander Palm, Single, Redcane	18 O.A.
1	PEP-DR	Ptychosperma elegans	Alexander Palm, Double, Redcane	18 O.A.
2	DDP-R	Dypsis decaryi	Triangle Palm	18 O.A.
2	ALMP-S	Azodora muniti	Christmas Palm, Single, Matching	54\"/>

\* - Denotes native, or highly drought tolerant plant materials, per SFPMO, "Xeriscape Manual".  
 Planting soils - see specs. & details  
 Soil Mulch, see specs. & details

REVISIONS	BY
8.4.16 Site Plan	
Revision as per Architect	
Revised 9.20.16 Per Revised Arch. Plan	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
 74 N.E. 5th Ave., Delray Beach, FL 33483  
 561-272-9621, chdcainc@ellsouth.net LA. 831

Landscape for:  
**THE LISA BUILDING**  
 47 S.E. 5TH AVE  
 DELRAY BEACH, FLORIDA 33483

DATE	BY
8.4.16	
SCALE	1" = 10'
DATE	5/10/16
SHEET	L-2