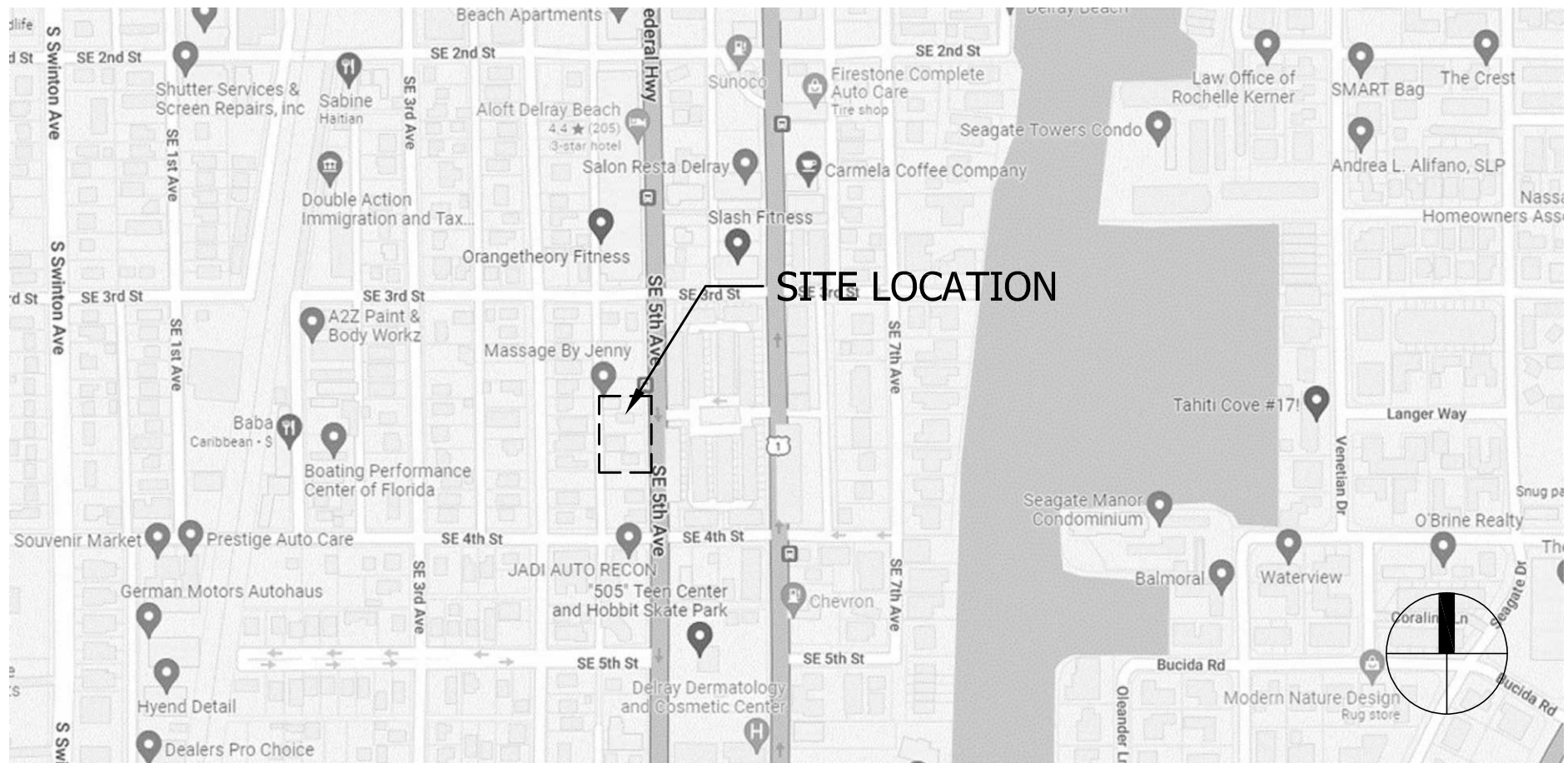


# 354 NE 5TH AVE

354 SE 5th Avenue  
Delray Beach, FL 33483



## SILBERSTEIN ARCHITECTURE:

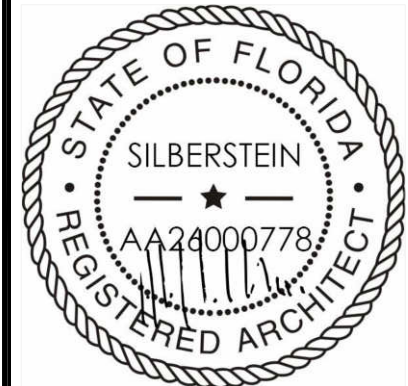
- CV-1.0 Cover Sheet
- S-1.0 Survey
- A-1.0 Overall Site Plans
- A-1.1 Site Plan
- A-1.2 Roof Plan
- A-1.3 / A-1.4 Floor Plans
- A-1.5 Photometric Plan
- A-2.0 / A-2.1 Exterior Lighting Plans
- A-3.0 East Elevation
- A-3.1 West Elevations
- A-3.2 North/South Elevations
- A-3.3 Window Covering Diagram
- A-4.0 Section
- A-4.1 Site Line Study
- A-6.0 / A-6.1 Details
- A-7.0 Schedules

## CAUFIELD & WHEELER, INC. (CIVIL):

- CS Cover Sheet
- PP-1 Pollution Prevention Plan
- PD-1 General Notes Plan
- PD-1A Demolition Plan
- PD-2 Paving & Grading Plan
- PD-2A Drainage Plan
- PD-3 Pavement, Marking & Signage Plan
- PD-4 Paving & Grading & Drainage Details
- PD-5 Paving & Grading & Drainage Details
- PD-6 Paving & Grading & Drainage Details
- WS-1 Water Distribution, Sanitary Sewer and Utility Plan
- WS2 Water Distribution, & Sanitary Sewer Details
- WS3 Water Distribution, & Sanitary Sewer Details
- WS4 Compose Utility Plan

## CHRIS CABEZAS (LANDSCAPE):

- LP-1 Tree Disposition Plan
- LP-2 Landscape Plan & Schedules
- LP-3 Landscape Details & Specifications



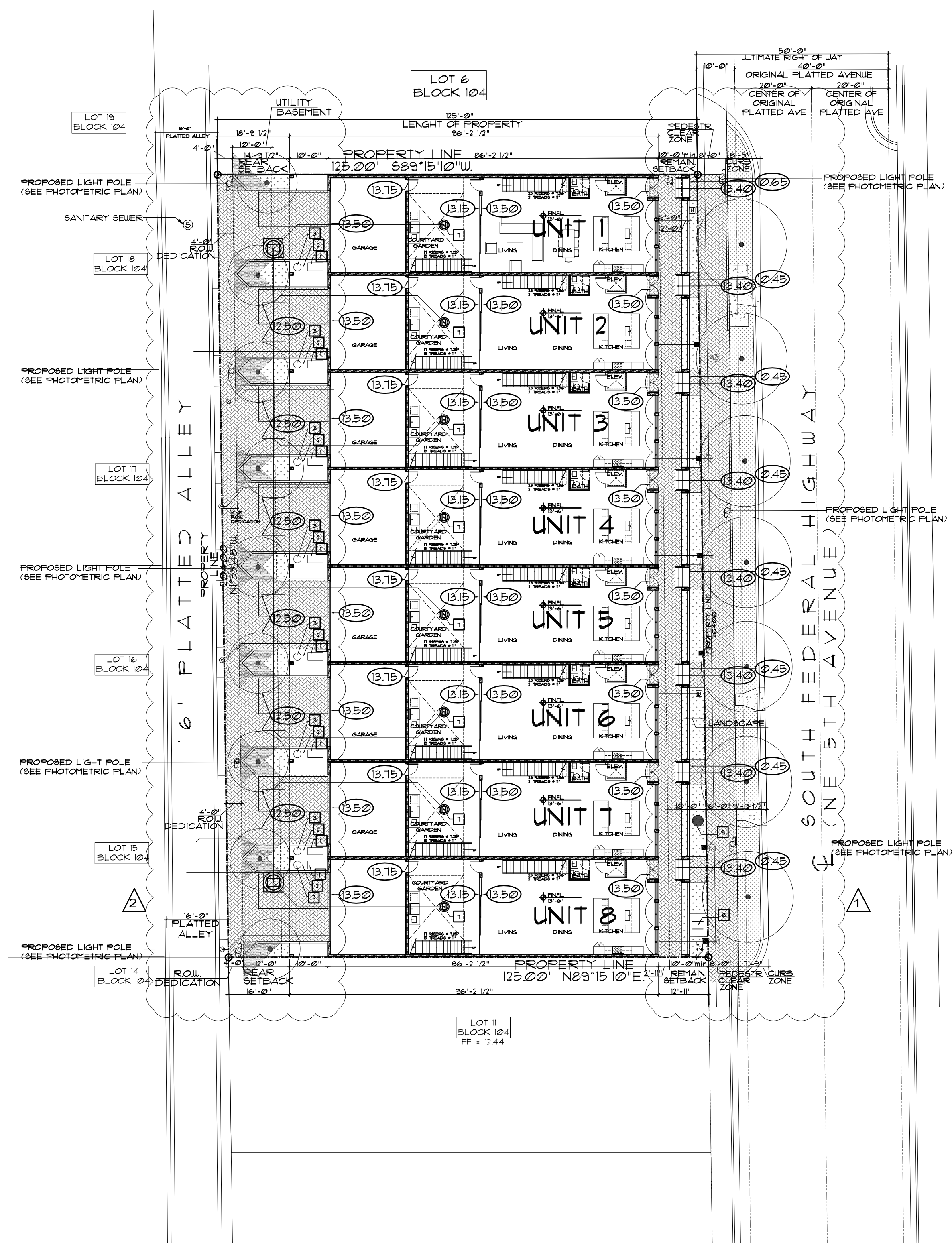
354 SE 5TH AVE  
DELRAY BEACH, FL 33483

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| PERMIT SET |                     |
|------------|---------------------|
| REVISIONS  |                     |
| 1.         | TAC COMMENTS 6.2.22 |
| 2.         |                     |
| 3.         |                     |
| 4.         |                     |
| 5.         |                     |
| 6.         |                     |
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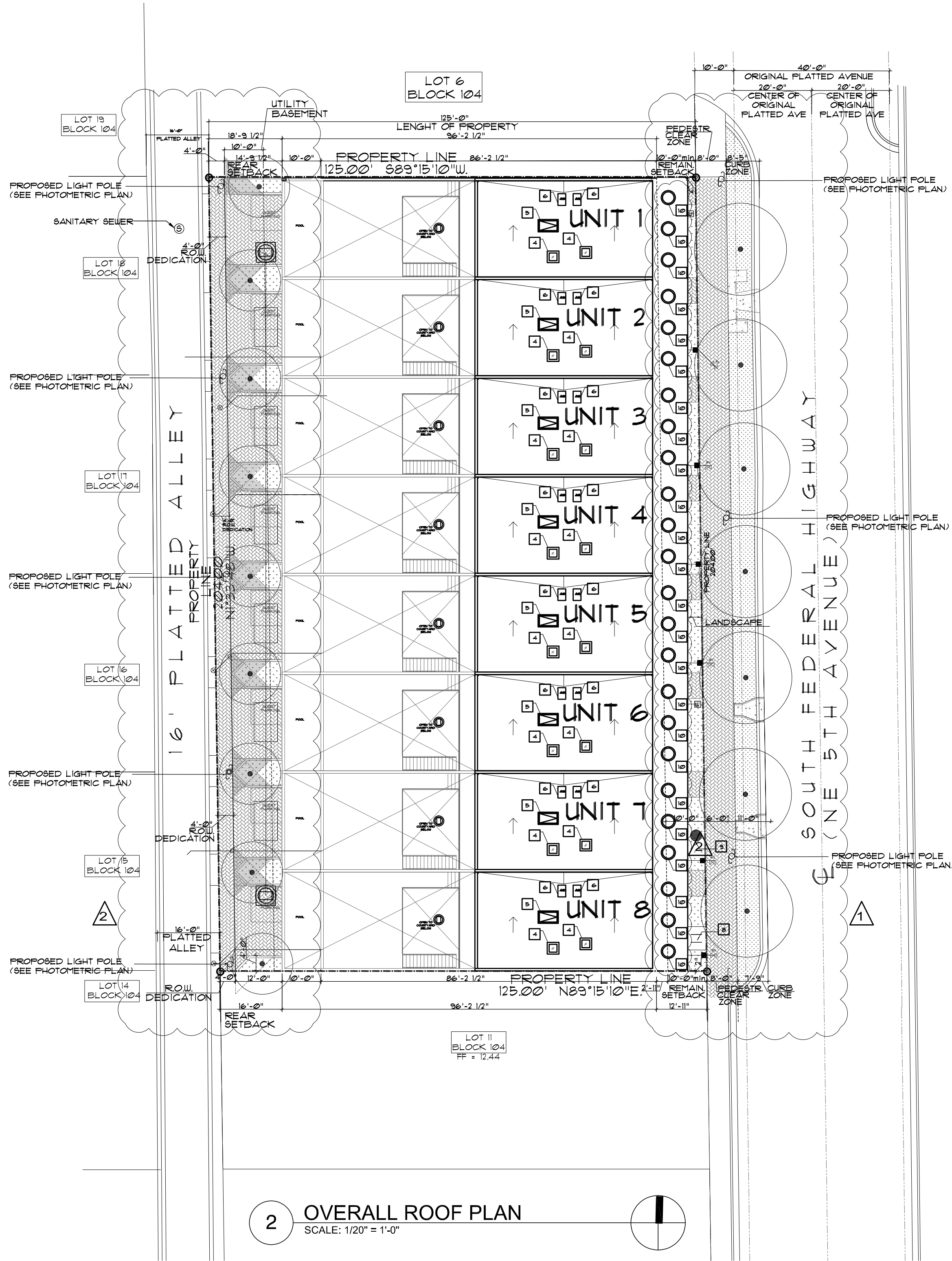
**CV-1.0**  
PRINT DATE:  
SEPTEMBER 21, 2022





1 OVERALL SITE PLAN  
SCALE: 1/20" = 1'-0"

NOTE  
SEE A1.1 AND A1.2 FOR LARGER SCALE

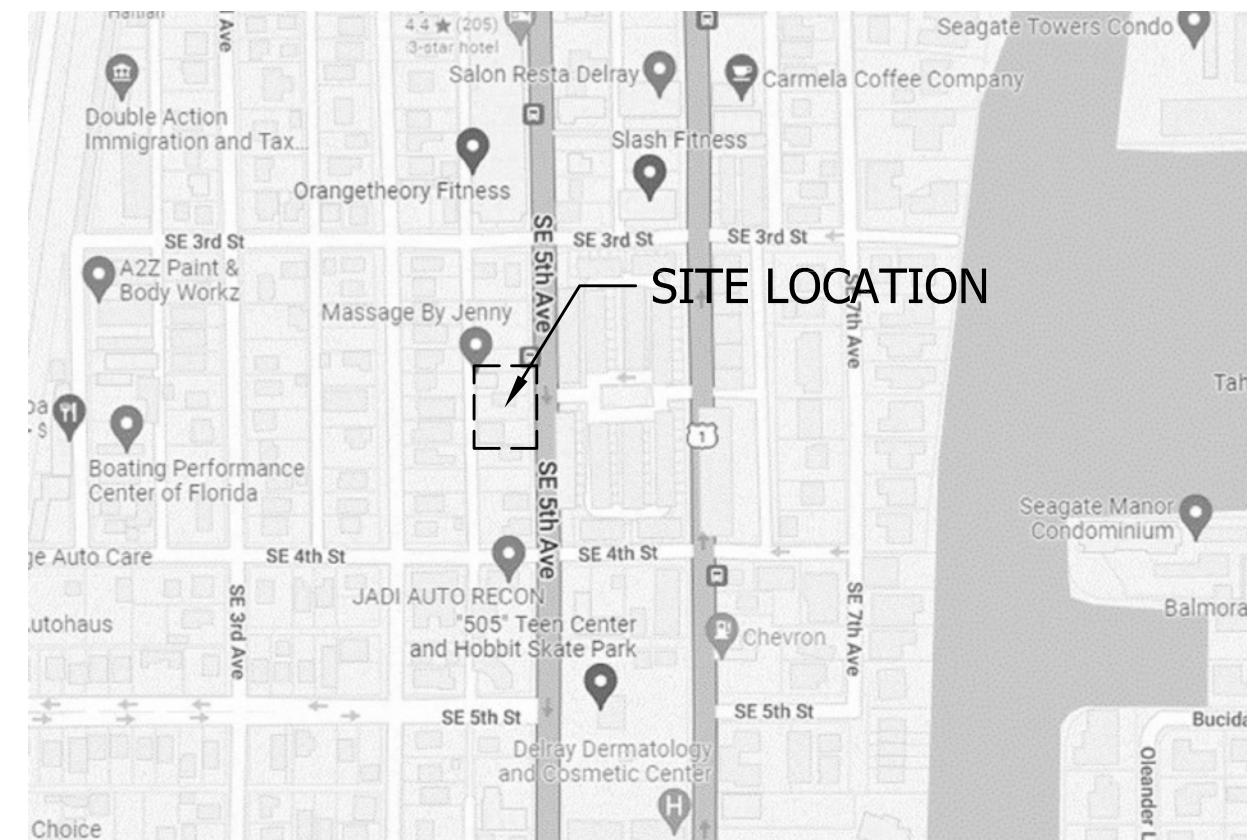


2 OVERALL ROOF PLAN  
SCALE: 1/20" = 1'-0"

#### LEGEND

##### DESCRIPTION

|                          |                                                         |
|--------------------------|---------------------------------------------------------|
| 1 FUTURE 2'X4' GENERATOR | 6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD. |
| 2 CONCRETE SLAB          | 7 DRAIN                                                 |
| 3 POOL EQUIPMENT         | 8 BICYCLE RACK FOR 2 ON CONCRETE PAD                    |
| 4 SKYLIGHT WITH 6" CURB  | 9 LOCATION OF SCULPTURE                                 |
| 5 ROOF HATCH             | 10 3'0 SKYLIGHT WITH 4" CURB                            |



3 VICINITY MAP  
SCALE: N.T.S.

#### SITE INFORMATION

|                       |                                                                                                                                                                                                                           |
|-----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS:              | 354 SE 5TH AVE, DELRAY BEACH, FL                                                                                                                                                                                          |
| LEGAL DESCRIPTION:    | LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA. |
| PROJECT DESCRIPTION:  | NEW MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                              |
| CURRENT PROPERTY USE: | MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                                  |
| ZONING DISTRICT:      | CBP - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX                                                                                                                                                                              |

| SETBACKS        | REQUIRED | PROVIDED            |
|-----------------|----------|---------------------|
| NORTH           | 0'-0"    | 0'-2"               |
| WEST-ALLEY      | 0'-0"    | 14'-9 1/2" - 12'-0" |
| SOUTH           | 0'-0"    | 0'-2"               |
| EAST-NE 5TH AVE | 10'-0"   | 10'-0" - 12'-11"    |

|                |                |                      |
|----------------|----------------|----------------------|
| DWELLING UNITS | 30 DU/ACRE MAX | 8/0.29 = 27.58 DU/AC |
|----------------|----------------|----------------------|

|                  |          |          |
|------------------|----------|----------|
| BUILDING HEIGHT: | REQUIRED | PROVIDED |
|------------------|----------|----------|

|             |            |               |
|-------------|------------|---------------|
| TOP OF ROOF | 54'-0" MAX | 39'-6" A.F.F. |
|-------------|------------|---------------|

|                       |  |  |
|-----------------------|--|--|
| SITE AREA CALCULATION |  |  |
|-----------------------|--|--|

|                 |  |             |
|-----------------|--|-------------|
| TOTAL SITE AREA |  | 24,684 S.F. |
|-----------------|--|-------------|

|                    |  |                    |
|--------------------|--|--------------------|
| BUILDING FOOTPRINT |  | 19,352 S.F. 77.12% |
|--------------------|--|--------------------|

|              |          |          |
|--------------|----------|----------|
| CIVIC SPACE: | REQUIRED | PROVIDED |
|--------------|----------|----------|

|  |            |          |
|--|------------|----------|
|  | 4,684 X 5% | 234 S.F. |
|--|------------|----------|

#### BUILDING AREA PER UNIT: 8 UNITS TOTAL

|                           |             |
|---------------------------|-------------|
| FIRST FLOOR A/C           | 1162 S.F.   |
| SECOND FLOOR A/C          | 1175 S.F.   |
| THIRD FLOOR A/C           | 1175 S.F.   |
| TOTAL A/C PER UNIT        | 3512 S.F.   |
| TOTAL A/C ALL UNITS       | 28,096 S.F. |
| COURTYARD PER UNIT        | 487 S.F.    |
| GARAGE PER UNIT           | 523 S.F.    |
| TOTAL GROSS AREA PER UNIT | 4522 S.F.   |
| TOTAL GROSS ALL UNITS     | 36,176 S.F. |

#### REDUCTION OF URBAN HEAT ISLAND

TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE

#### PARKING REQUIREMENTS

|                     | REQUIRED         | PROVIDED      |
|---------------------|------------------|---------------|
| (B) 3 BEDROOM UNITS | 1.75 PER UNIT=14 | 16 IN GARAGE  |
| GUEST SPACES        | 0.5 PER UNIT=4   | 8 IN DRIVEWAY |

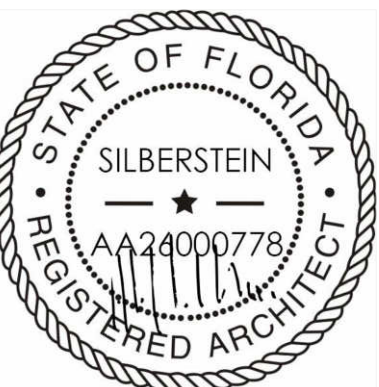
TOWNHOUSES SHALL BE FEE SIMPLE.

#### BIKE REQUIREMENTS

|  | REQUIRED      | PROVIDED |
|--|---------------|----------|
|  | 1 PER 4 UNITS | 2        |

#### WAIVERS

|                                                                                                          |
|----------------------------------------------------------------------------------------------------------|
| DESCRIPTION                                                                                              |
| LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES. |
| WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.                                                                |
| WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.                          |
| WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.                  |



354 SE 5TH AVE  
DELRAY BEACH, FL 33483

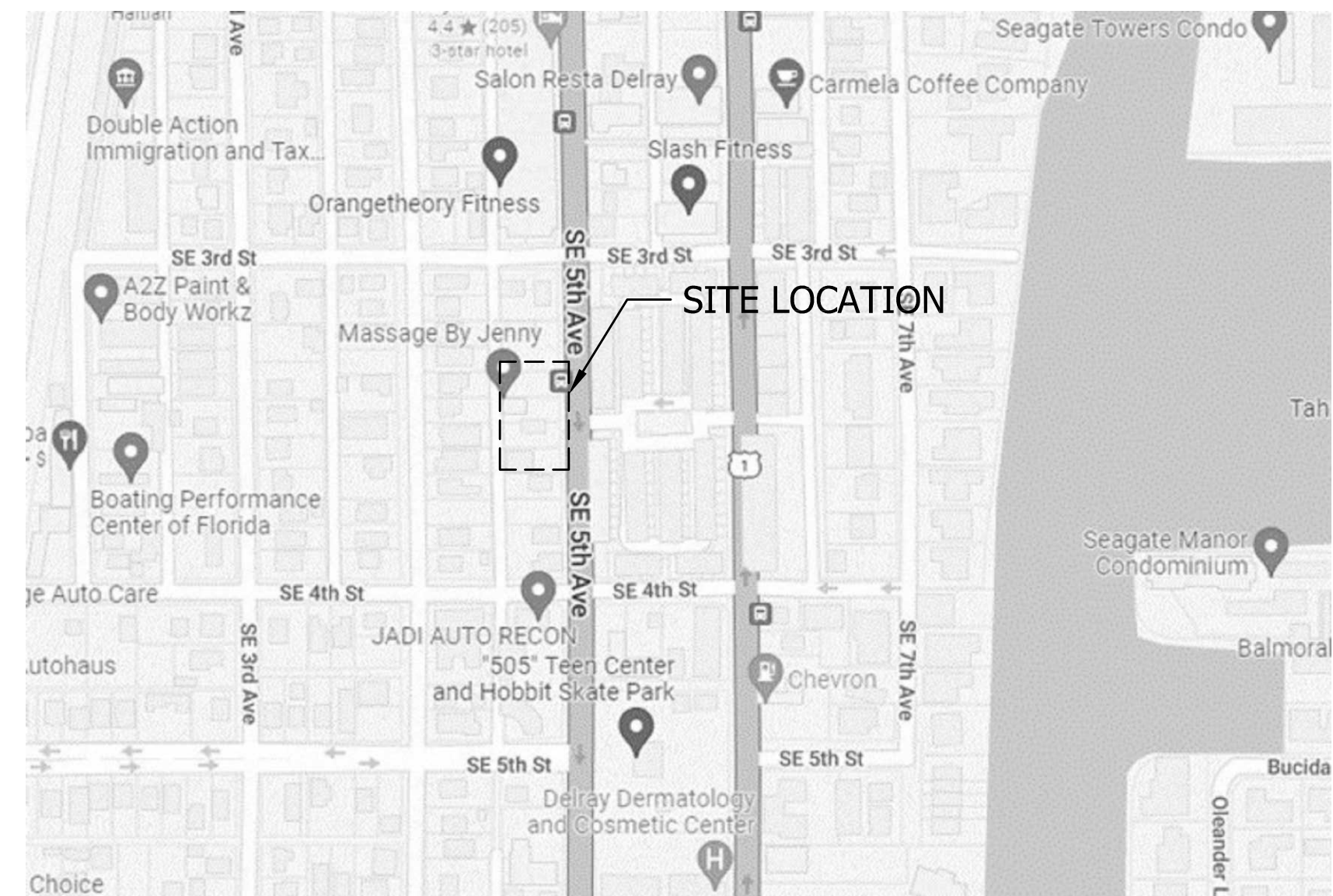
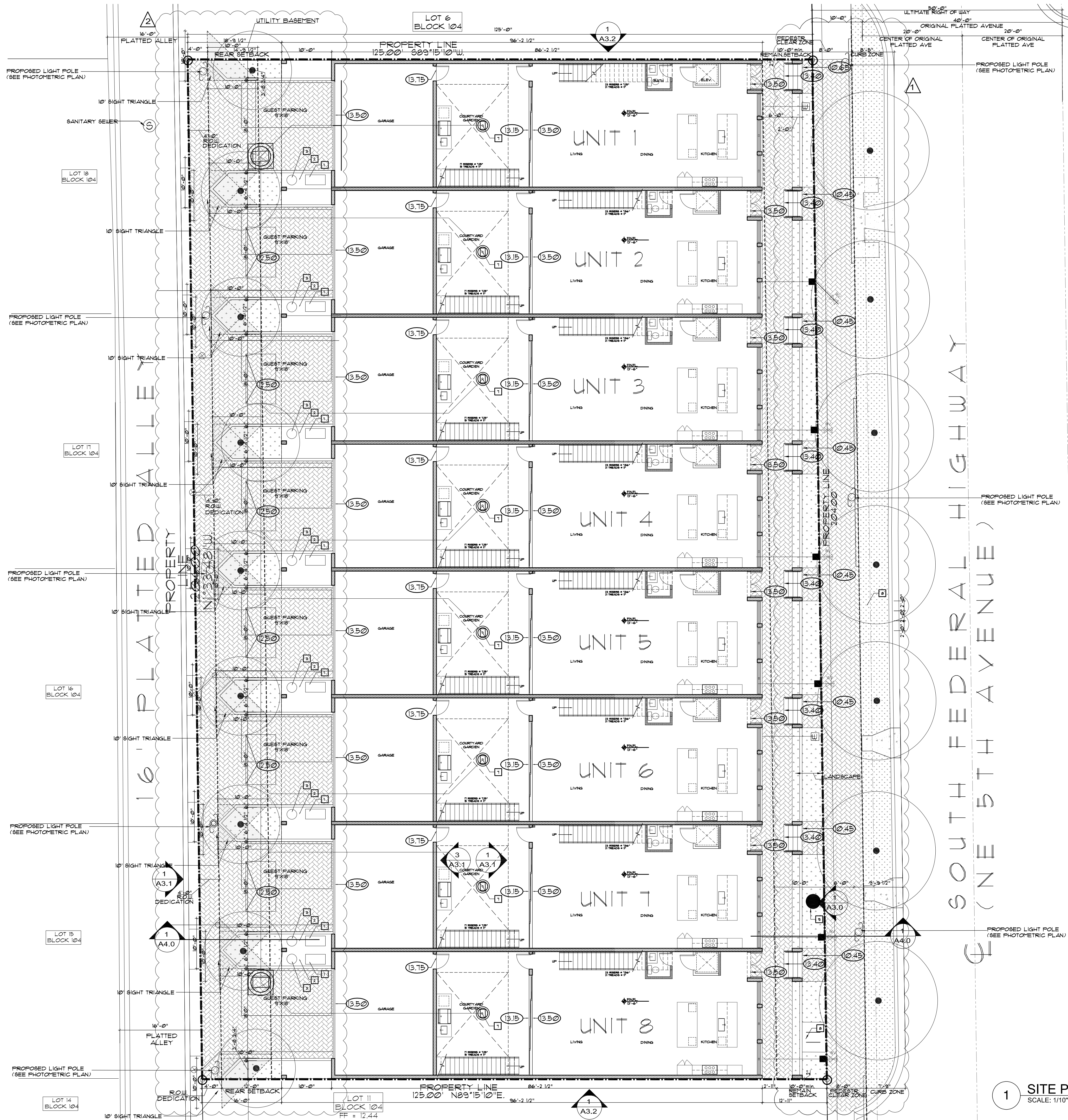
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| PERMIT SET      | REVISIONS |
|-----------------|-----------|
| 1. TAC COMMENTS | 6.2.22    |
| 2. TAC COMMENTS | 8.1.22    |
| 3. TAC COMMENTS | 9.21.22   |
| 4.              |           |
| 5.              |           |
| 6.              |           |
| 7.              |           |
| 8.              |           |
| 9.              |           |

A-1.0

PRINT DATE:  
SEPTEMBER 21, 2022





3 VICINITY MAP  
SCALE: N.T.S.

| SITE INFORMATION                                                                            |                                                                                                                                                                                                                           |                      |
|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|
| ADDRESS:                                                                                    | 999 SE 5TH AVE. DELRAY BEACH, FL                                                                                                                                                                                          |                      |
| LEGAL DESCRIPTION:                                                                          | LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA. |                      |
| PROJECT DESCRIPTION:                                                                        | NEW MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                              |                      |
| CURRENT PROPERTY USE:                                                                       | MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                                  |                      |
| ZONING DISTRICT:                                                                            | CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX                                                                                                                                                                              |                      |
| SETBACKS                                                                                    | REQUIRED                                                                                                                                                                                                                  | PROVIDED             |
| NORTH                                                                                       | 0'-0"                                                                                                                                                                                                                     | 0'-2"                |
| WEST-ALLEY                                                                                  | 10'-0"                                                                                                                                                                                                                    | 14'-9 1/2" - 12'-0"  |
| SOUTH                                                                                       | 0'-0"                                                                                                                                                                                                                     | 0'-2"                |
| EAST-NE 5TH AVE                                                                             | 10'-0"                                                                                                                                                                                                                    | 10'-0" - 12'-11"     |
| DWELLING UNITS                                                                              | 30 DU/ACRE MAX                                                                                                                                                                                                            | 8/0.29 = 27.50 DU/AC |
| BUILDING HEIGHT:                                                                            | REQUIRED                                                                                                                                                                                                                  | PROVIDED             |
| TOP OF ROOF                                                                                 | 54'-0" MAX                                                                                                                                                                                                                | 39'-6" A.F.F.        |
| SITE AREA CALCULATION                                                                       |                                                                                                                                                                                                                           |                      |
| TOTAL SITE AREA                                                                             | 24,684 S.F.                                                                                                                                                                                                               |                      |
| BUILDING FOOTPRINT                                                                          | 19,352 S.F. 77.12%                                                                                                                                                                                                        |                      |
| CIVIC SPACE:                                                                                | REQUIRED                                                                                                                                                                                                                  | PROVIDED             |
|                                                                                             | 4,684 X 5%                                                                                                                                                                                                                | 234 S.F.             |
| BUILDING AREA PER UNIT: 5 UNITS TOTAL                                                       |                                                                                                                                                                                                                           |                      |
| FIRST FLOOR A/C                                                                             | 1162 S.F.                                                                                                                                                                                                                 |                      |
| SECOND FLOOR A/C                                                                            | 1175 S.F.                                                                                                                                                                                                                 |                      |
| THIRD FLOOR A/C                                                                             | 1175 S.F.                                                                                                                                                                                                                 |                      |
| TOTAL A/C PER UNIT                                                                          | 3,512 S.F.                                                                                                                                                                                                                |                      |
| TOTAL A/C ALL UNITS                                                                         | 28,096 S.F.                                                                                                                                                                                                               |                      |
| COURTYARD PER UNIT                                                                          | 487 S.F.                                                                                                                                                                                                                  |                      |
| GARAGE PER UNIT                                                                             | 523 S.F.                                                                                                                                                                                                                  |                      |
| TOTAL GROSS AREA PER UNIT                                                                   | 4,522 S.F.                                                                                                                                                                                                                |                      |
| TOTAL GROSS ALL UNITS                                                                       | 36,176 S.F.                                                                                                                                                                                                               |                      |
| REDUCTION OF URBAN HEAT ISLAND                                                              |                                                                                                                                                                                                                           |                      |
| TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE |                                                                                                                                                                                                                           |                      |
| PARKING REQUIREMENTS                                                                        |                                                                                                                                                                                                                           |                      |
|                                                                                             | REQUIRED                                                                                                                                                                                                                  | PROVIDED             |
| (B) 3 BEDROOM UNITS                                                                         | 1.75 PER UNIT=14                                                                                                                                                                                                          | 16 IN GARAGE         |
| GUEST SPACES                                                                                | 0.5 PER UNIT=4                                                                                                                                                                                                            | 8 IN DRIVEWAY        |
| TOWNHOUSES SHALL BE FEE SIMPLE.                                                             |                                                                                                                                                                                                                           |                      |
| BIKE REQUIREMENTS                                                                           |                                                                                                                                                                                                                           |                      |
|                                                                                             | REQUIRED                                                                                                                                                                                                                  | PROVIDED             |
|                                                                                             | 1 PER 4 UNITS                                                                                                                                                                                                             | 2                    |

GENERAL NOTES:

- DO NOT SCALE DRAWING
- ALL DIMENSIONS ARE FINISHED
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF THERE ARE ANY DISCREPANCIES IN THE PLANS
- THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL ASPECTS OF THE PROJECT
- SEE A-1.3 FOR ROOF DETAILS AND ROOFING SPECIFICATIONS

WAIVERS

DESCRIPTION

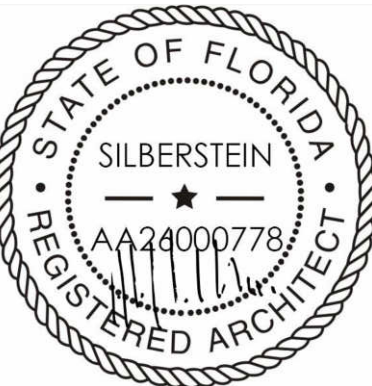
LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.

WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.

WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.

WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.

| LEGEND      |                                                       |
|-------------|-------------------------------------------------------|
| DESCRIPTION |                                                       |
| 1           | FUTURE 2'X4' GENERATOR                                |
| 2           | CONCRETE SLAB                                         |
| 3           | POOL EQUIPMENT                                        |
| 4           | SKYLIGHT WITH 6" CURB                                 |
| 5           | ROOF HATCH                                            |
| 6           | ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD. |
| 7           | DRAIN                                                 |
| 8           | BICYCLE RACK FOR 2 ON CONCRETE PAD                    |
| 9           | LOCATION OF SCULPTURE                                 |
| 10          | 3'0" SKYLIGHT WITH 4" CURB                            |



354 SE 5TH AVE  
DELRAY BEACH, FL 33483

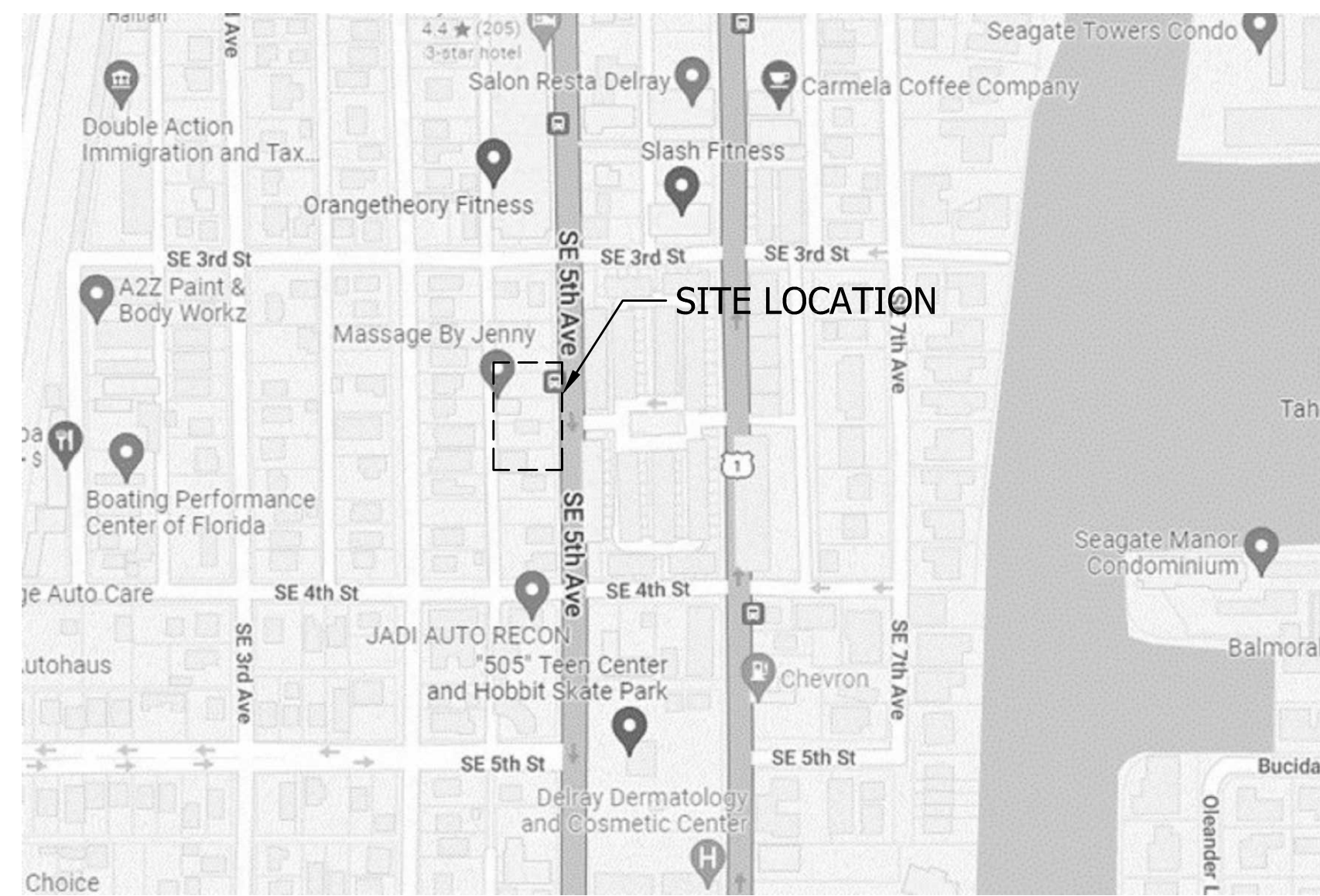
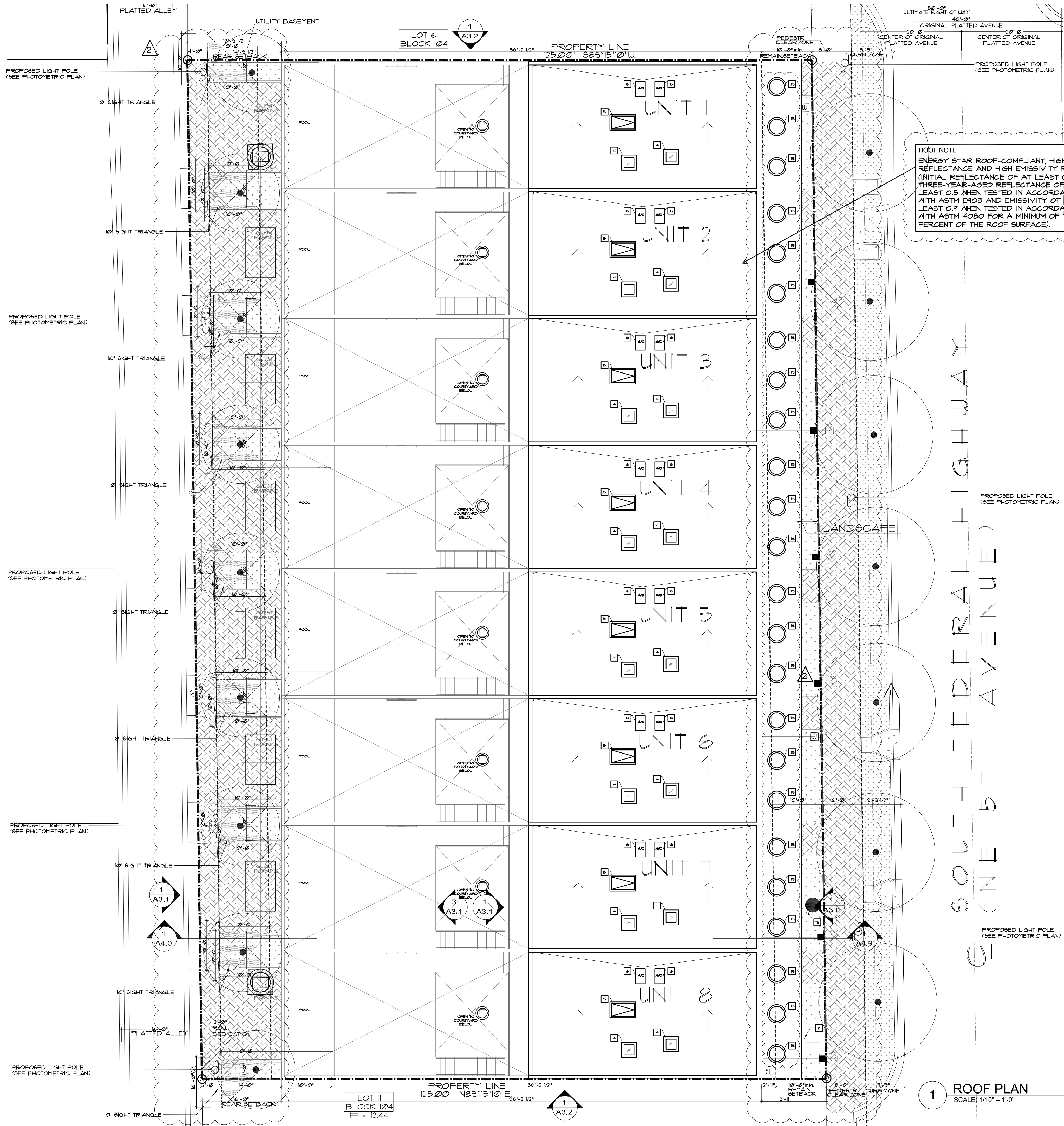
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| PERMIT SET      |         |
|-----------------|---------|
| REVISIONS       |         |
| 1. TAC COMMENTS | 6.2.22  |
| 2. TAC COMMENTS | 8.1.22  |
| 3. TAC COMMENTS | 9.21.22 |
| 4.              |         |
| 5.              |         |
| 6.              |         |
| 7.              |         |
| 8.              |         |
| 9.              |         |

A-1.1

PRINT DATE:  
SEPTEMBER 21, 2022





3 VICINITY MAP  
SCALE: N.T.S.

SITE INFORMATION

|                       |                                                                                                                                                                                                                           |
|-----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS:              | 353 SE 5TH AVE, DELRAY BEACH, FL                                                                                                                                                                                          |
| LEGAL DESCRIPTION:    | LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA. |
| PROJECT DESCRIPTION:  | NEW MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                              |
| CURRENT PROPERTY USE: | MULTI-FAMILY RESIDENTIAL                                                                                                                                                                                                  |
| ZONING DISTRICT:      | CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX                                                                                                                                                                              |

| SETBACKS        | REQUIRED | PROVIDED                 |
|-----------------|----------|--------------------------|
| NORTH           | 0'-0"    | 0'-2"                    |
| WEST-ALLEY      | 10'-0"   | 14'-9 1/2" (2' - 12'-0") |
| SOUTH           | 0'-0"    | 0'-2"                    |
| EAST-NE 5TH AVE | 10'-0"   | 10'-0" - 12'-11"         |

|                  |                |                      |
|------------------|----------------|----------------------|
| DWELLING UNITS   | 30 DU/ACRE MAX | 8/0.29 = 27.58 DU/AC |
| BUILDING HEIGHT: | REQUIRED       | PROVIDED             |
| TOP OF ROOF      | 54'-0" MAX     | 39'-6" A.F.F.        |

|                       |                   |          |
|-----------------------|-------------------|----------|
| SITE AREA CALCULATION |                   |          |
| TOTAL SITE AREA       | 24684 S.F.        |          |
| BUILDING FOOTPRINT    | 19352 S.F. 77.12% |          |
| CIVIC SPACE:          | REQUIRED          | PROVIDED |
|                       | 4684 X 5%         | 234 S.F. |

| BUILDING AREA PER UNIT: 5 UNITS TOTAL |             |
|---------------------------------------|-------------|
| FIRST FLOOR A/C                       | 1162 S.F.   |
| SECOND FLOOR A/C                      | 1175 S.F.   |
| THIRD FLOOR A/C                       | 1175 S.F.   |
| TOTAL A/C PER UNIT                    | 3,512 S.F.  |
| TOTAL A/C ALL UNITS                   | 28,096 S.F. |
| COURTYARD PER UNIT                    | 487 S.F.    |
| GARAGE PER UNIT                       | 523 S.F.    |
| TOTAL GROSS AREA PER UNIT             | 4,522 S.F.  |
| TOTAL GROSS ALL UNITS                 | 36,176 S.F. |

REDUCTION OF URBAN HEAT ISLAND  
TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE

| PARKING REQUIREMENTS | REQUIRED         | PROVIDED      |
|----------------------|------------------|---------------|
| (8) 3 BEDROOM UNITS  | 1.75 PER UNIT=14 | 16 IN GARAGE  |
| GUEST SPACES         | 0.5 PER UNIT=4   | 8 IN DRIVEWAY |

|                                 |               |          |
|---------------------------------|---------------|----------|
| TOWNHOUSES SHALL BE FEE SIMPLE. |               |          |
| BIKE REQUIREMENTS               |               |          |
|                                 | REQUIRED      | PROVIDED |
|                                 | 1 PER 4 UNITS | 2        |

LEGEND

| DESCRIPTION                                             |
|---------------------------------------------------------|
| 1 FUTURE 2'X4' GENERATOR                                |
| 2 CONCRETE SLAB                                         |
| 3 POOL EQUIPMENT                                        |
| 4 SKYLIGHT WITH 6" CURB                                 |
| 5 ROOF HATCH                                            |
| 6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD. |
| 7 DRAIN                                                 |
| 8 BICYCLE RACK FOR 2 ON CONCRETE PAD                    |
| 9 LOCATION OF SCULPTURE                                 |
| 10 3'0 SKYLIGHT WITH 4" CURB                            |

WAIVERS  
DESCRIPTION  
LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.  
WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.  
WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.  
WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.

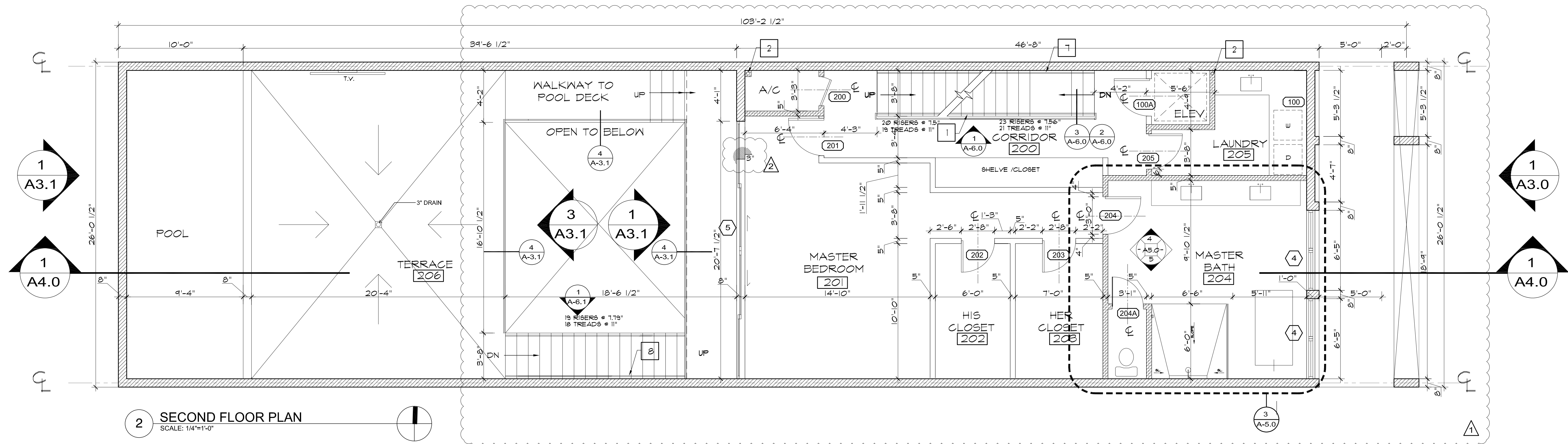
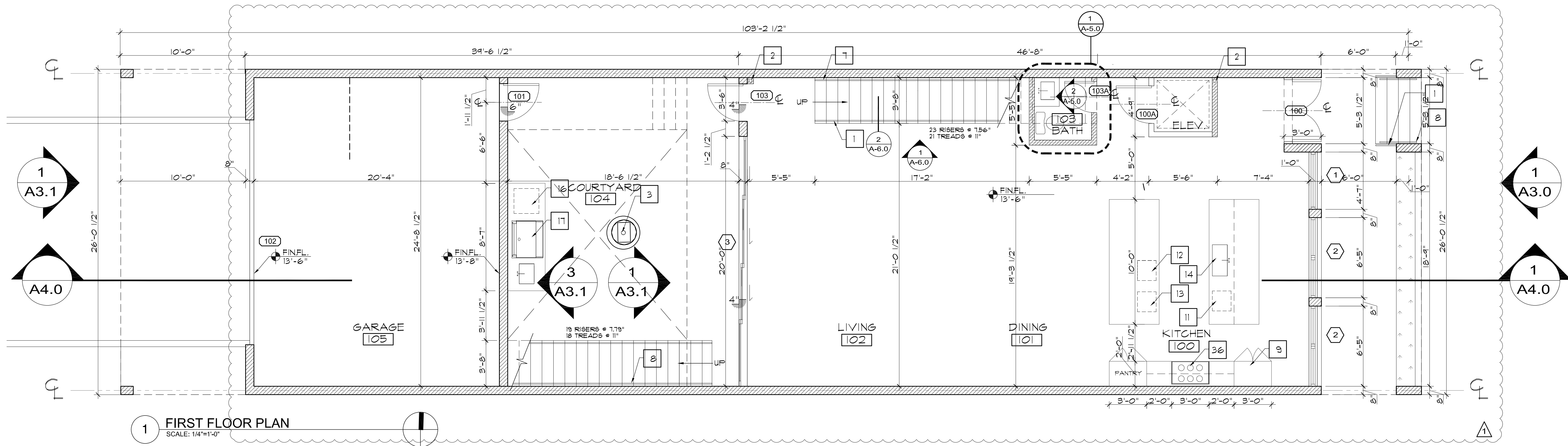
1 ROOF PLAN  
SCALE: 1/10" = 1'-0"



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| PERMIT SET      | REVISIONS |
|-----------------|-----------|
| 1. TAC COMMENTS | 6.2.22    |
| 2. TAC COMMENTS | 8.1.22    |
| 3.              |           |
| 4.              |           |
| 5.              |           |
| 6.              |           |
| 7.              |           |
| 8.              |           |
| 9.              |           |





| LEGEND      |                                                                                                                                                    |    |                                                                      |
|-------------|----------------------------------------------------------------------------------------------------------------------------------------------------|----|----------------------------------------------------------------------|
| DESCRIPTION |                                                                                                                                                    |    |                                                                      |
| 1           | GLASS RAIL                                                                                                                                         | 8  | STAINLESS STEEL HANDRAIL BRACKET ROUND                               |
| 2           | 3" DRAIN                                                                                                                                           | 9  | 36" BUILT-IN REFRIGERATOR                                            |
| 3           | YARD DRAIN                                                                                                                                         | 10 | 36" GAS COOKTOP                                                      |
| 4           | 2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DWGS.                                                                                    | 11 | DISHWASHER                                                           |
| 5           | ROOF HATCH BY BILCO TYPE NB                                                                                                                        | 12 | UNDERCOUNTER MICROWAVE                                               |
| 6           | ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.                                                                                              | 13 | UNDERCOUNTER OVEN                                                    |
| 7           | HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL, 1 1/2" Ø 1500, STAINES STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM | 14 | 30" UNDERMOUNT SINK / WITH DISPOSAL                                  |
|             |                                                                                                                                                    | 15 | HOOD ABOVE COOKTOP                                                   |
|             |                                                                                                                                                    | 16 | 2' UNDERCOUNTER FRIDGE                                               |
|             |                                                                                                                                                    | 17 | 36" BUILT-IN GAS BBQ, VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT |
|             |                                                                                                                                                    | 18 | OVERFLOW SCUPPER                                                     |
|             |                                                                                                                                                    | 19 | 3'Ø SKYLIGHT WITH 4" CURB                                            |

**NOTES:**  
 1. FINAL MODEL, TYPE, BRAND, COLOR, MATERIAL AND/OR FINISH TO BE SELECTED BY ARCHITECT  
 2. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY  
 3. SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT  
 4. STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FBC R311.1.4.3, TO NOT ALLOW THE PASSAGE OF A 4" SPHERE  
 5. ALL DIMENSIONS ARE NOMINAL  
 6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS  
 7. DO NOT SCALE DRAWINGS

| WALL TYPES LEGEND: |                                                                                                                                                                                                                                                                                                                                                                   |
|--------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                    | 8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OVENS CORNING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926 |
|                    | 8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL                                                                                                                                                                                                                                                                                    |
|                    | 3-5/8" 25 GA MTL. STUD @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD                                                                                                                                                                                                                                                                                                       |
|                    | 3-5/8" 25 GA MTL. STUD OR AS NOTED ON PLANS @ 16" O.C. WITH 3-1/2" SOUND ATTENUATION BATT FIBER GLASS INSULATION (OVENS CORNING.COM).                                                                                                                                                                                                                             |
|                    | 8" CMU WALL (SEE STRUCTURAL REQUIREMENTS) WITH UL CLASSIFICATION D-2 (2-HOUR FIRE RATED) TO HAVE 7/8" METAL FURRING STRIPS WITH 5/8" SUPRESS SOUND ENGINEERED DRYWALL ON BOTH SIDES                                                                                                                                                                               |

| PERMIT SET |              |        |
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| REVISIONS  |              |        |
| 1.         | TAC COMMENTS | 6.2.22 |
| 2.         | TAC COMMENTS | 8.1.22 |
| 3.         |              |        |
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**A-1.3**  
 PRINT DATE:  
 SEPTEMBER 21, 2022

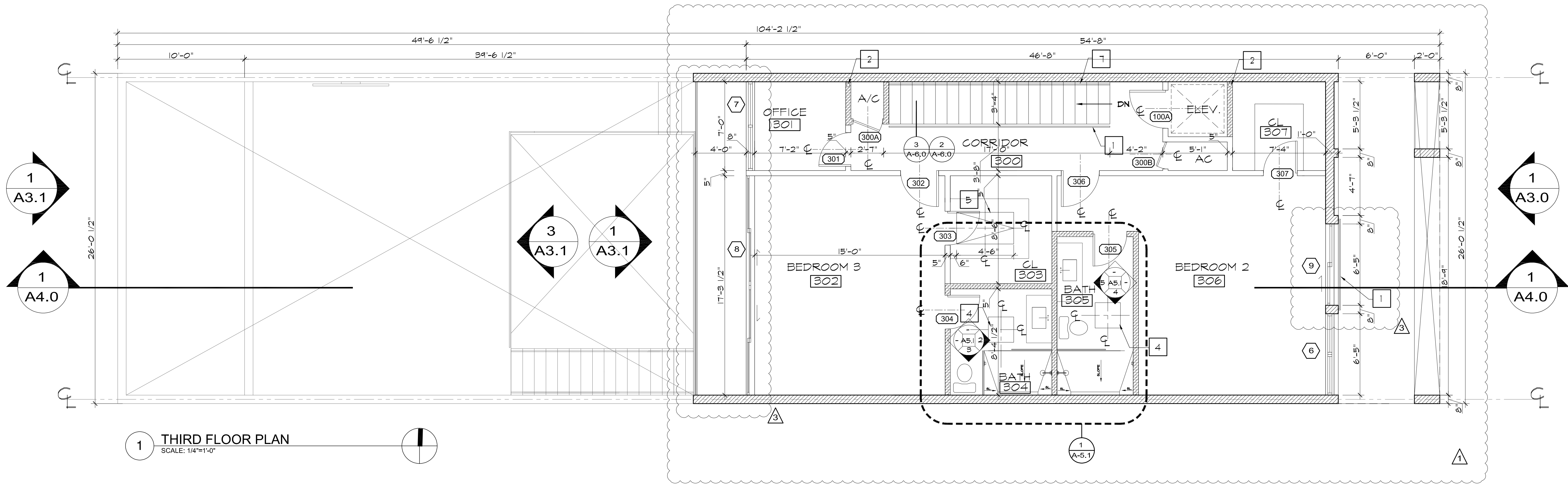


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 DELRAY BEACH, FL 33483

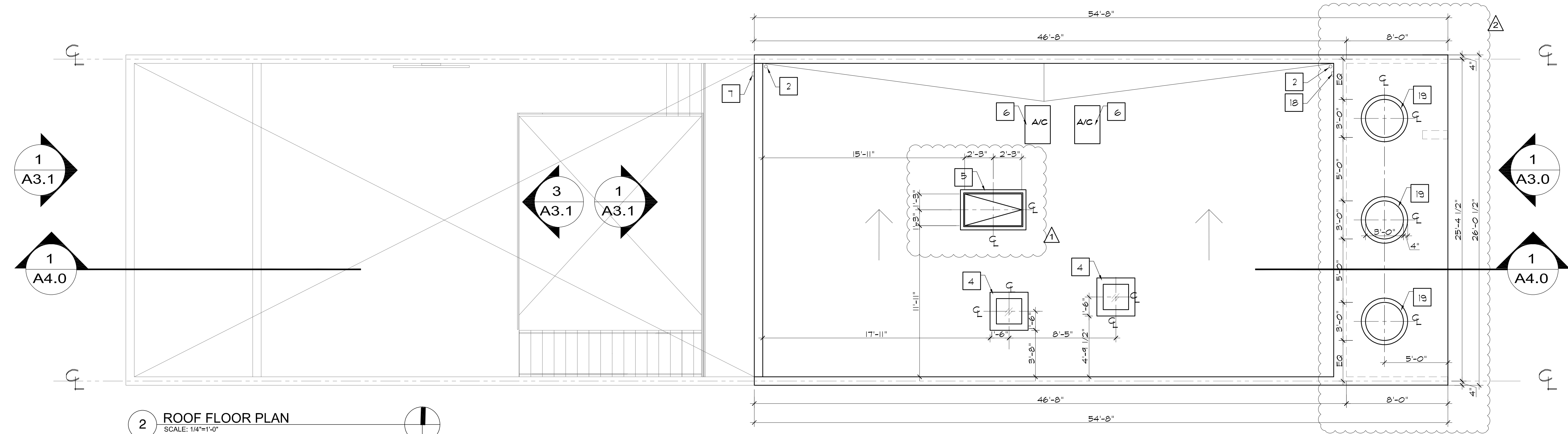
**SILBERSTEIN ARCHITECTURE**  
 524 NE 2ND STREET DELRAY BEACH FL 33483  
 TEL 561 276 9393 LICENSE # AA 24000778  
 WWW.SILBERSTEINARCHITECT.COM  
 js@silbersteinarchitect.com or studio@silbersteinarchitect.com

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1 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 ROOF FLOOR PLAN  
SCALE: 1/4"=1'-0"

| LEGEND                                                                                                                                          |                                          |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|-------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESCRIPTION                                                                                                                                     |                                          |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 1 GLASS RAIL                                                                                                                                    | 8 STAINLESS STEEL HANDRAIL BRACKET ROUND | 13 UNDERCOUNTER OVEN                                                    | <b>NOTES:</b><br>1. FINAL MODEL, TYPE, BRAND, COLOR, MATERIAL AND/OR FINISH TO BE SELECTED BY ARCHITECT<br>2. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY<br>3. SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT<br>4. STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FBC R311.4.3, TO NOT ALLOW THE PASSAGE OF A 4" SPHERE<br>5. ALL DIMENSIONS ARE NOMINAL<br>6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS<br>7. DO NOT SCALE DRAWINGS |
| 2 3" DRAIN                                                                                                                                      | 9 36" BUILT-IN REFRIGERATOR              | 14 30" UNDERMOUNT SINK / WITH DISPOSAL                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 3 YARD DRAIN                                                                                                                                    | 10 36" GAS COOKTOP                       | 15 HOOD ABOVE COOKTOP                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 4 2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DUGS.                                                                               | 11 DISHWASHER                            | 16 2' UNDERCOUNTER FRIDGE                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 5 ROOF HATCH BY BILCO TYPE NB                                                                                                                   | 12 UNDERCOUNTER MICROWAVE                | 17 36" BUILT-IN GAS BBQ. VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 6 ROOF MOUNTED A/C CONDENSER. VERIFY LOCATION IN FIELD.                                                                                         |                                          | 18 OVERFLOW SCUPPER                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 7 HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL 1" Ø 1500, STAINES STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM |                                          | 19 3'Ø SKYLIGHT WITH 4" CURB                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|                                                                                                                                                 |                                          |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|                                                                                                                                                 |                                          |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|                                                                                                                                                 |                                          |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |

| WALL TYPES LEGEND: |                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                    | 8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OWENSCORNING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926 |
|                    | 8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL                                                                                                                                                                                                                                                                                   |
|                    | 3-5/8" 25 GA MTL. STUD @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD                                                                                                                                                                                                                                                                                                      |
|                    | 3-5/8" 25 GA MTL. STUD OR AS NOTED ON PLANS @ 16" O.C. WITH 3-1/2" SOUND ATTENUATION BATT FIBER GLASS INSULATION (OWENSCORNING.COM).                                                                                                                                                                                                                             |
|                    | 8" CMU WALL (SEE STRUCTURAL REQUIREMENTS) WITH UL CLASSIFICATION D-2 (2-HOUR FIRE RATED) TO HAVE 7/8" METAL FURRING STRIPS WITH 5/8" SUPRESS SOUND ENGINEERED DRYWALL ON BOTH SIDES                                                                                                                                                                              |

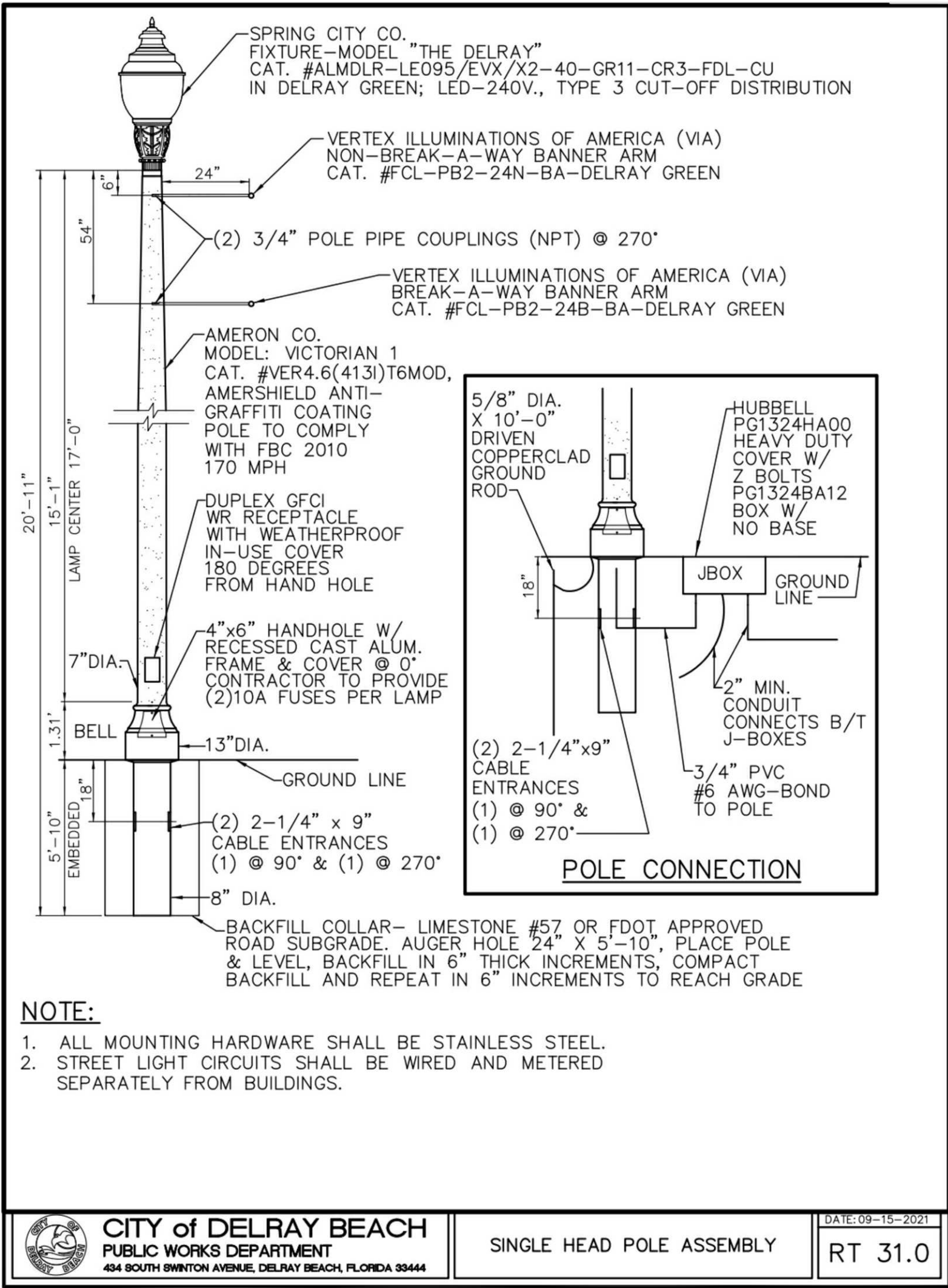
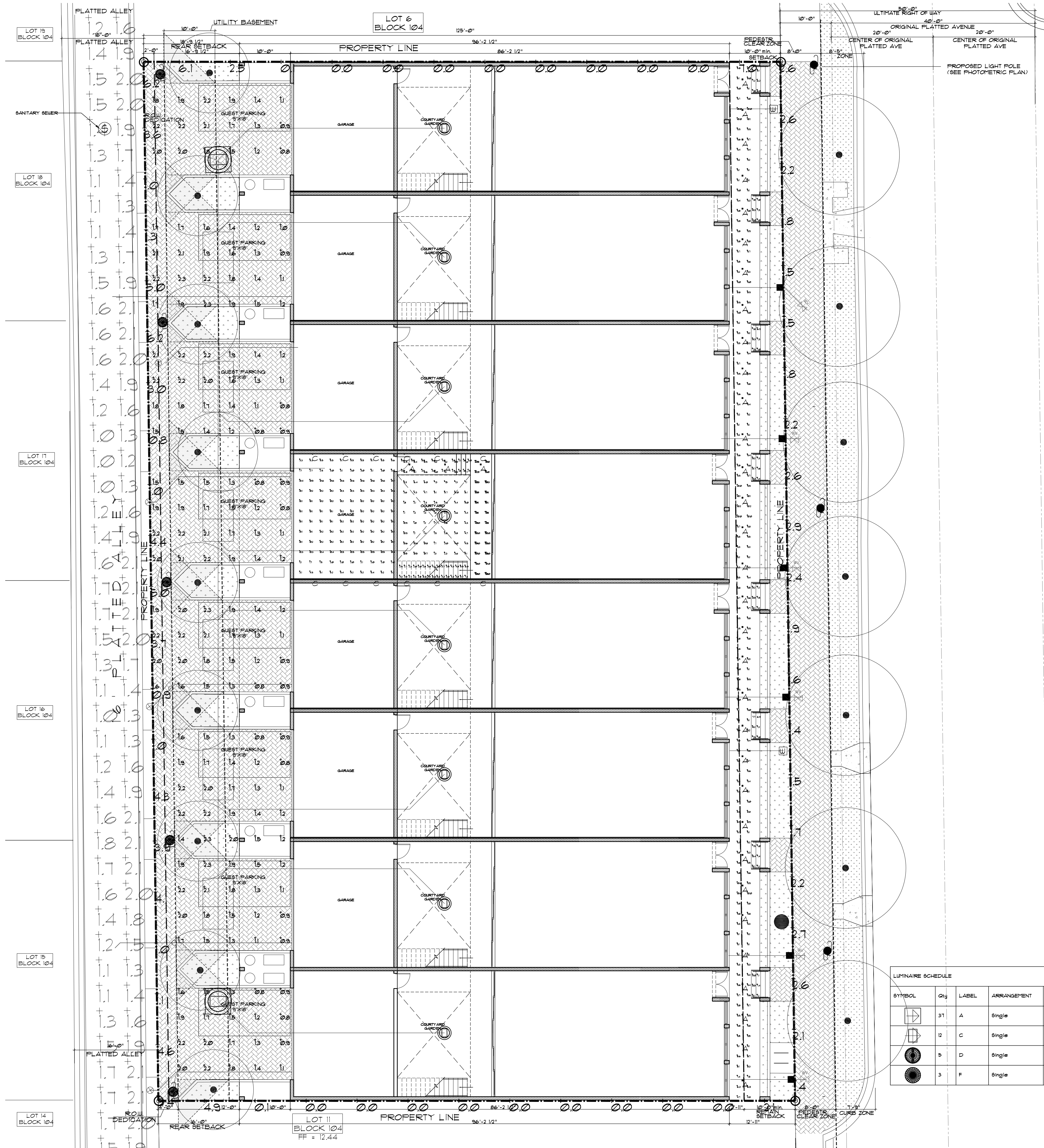


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| PERMIT SET      |         |
|-----------------|---------|
| REVISIONS       |         |
| 1. TAC COMMENTS | 6.2.22  |
| 2. TAC COMMENTS | 8.1.22  |
| 3. TAC COMMENTS | 8.25.22 |
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2 POLE SPEC  
SCALE: 1/4" = 1'-0"

| CALCULATION SUMMARY         |                  |         |      |      |      |         |         |          |
|-----------------------------|------------------|---------|------|------|------|---------|---------|----------|
| LABEL                       | CALC TYPE        | UNITS   | AVG  | MAX  | MIN  | AVG/MIN | MAX/MIN | LV RATIO |
| 1ST FLOOR                   | Illuminance      | Fc      | 4.71 | 9.9  | 0.5  | 9.42    | 19.80   | N.A.     |
| 2ND FLOOR                   | Illuminance      | Fc      | 1.33 | 5.1  | 0.0  | N.A.    | N.A.    | N.A.     |
| ALLEY Illum                 | Illuminance      | Fc      | 1.56 | 2.1  | 1.0  | 1.56    | 2.10    | N.A.     |
| ALLEY Illuminance           | Lumiance         | Cd/Sqft | 0.86 | 1.4  | 0.4  | 2.15    | 3.50    | N.A.     |
| ALLEY Illuminance           | Veiling Lumiance | Cd/Sqft | N.A. | N.A. | N.A. | N.A.    | N.A.    | 0.12     |
| BUILDING ENTRANCES          | Illuminance      | Fc      | 1.51 | 8.1  | 5.1  | 1.47    | 1.71    | N.A.     |
| PARKING                     | Illuminance      | Fc      | 1.58 | 2.3  | 0.8  | 1.98    | 2.88    | N.A.     |
| SPILL - HORIZONTAL - 6' AFG | Illuminance      | Fc      | 1.99 | 1.0  | 0.0  | N.A.    | N.A.    | N.A.     |
| SPILL - VERTICAL - 6' AFG   | Illuminance      | Fc      | 1.31 | 4.5  | 0.0  | N.A.    | N.A.    | N.A.     |
| STEPS TO 2ND FLOOR          | Illuminance      | Fc      | 4.03 | 7.5  | 2.0  | 2.02    | 3.75    | N.A.     |

| LUMINAIRE SCHEDULE |     |       |             |                                      |                                        |                        |           |       |                  |
|--------------------|-----|-------|-------------|--------------------------------------|----------------------------------------|------------------------|-----------|-------|------------------|
| SYMBOL             | Qty | LABEL | ARRANGEMENT | MANUFACTURER                         | CATALOG NUMBER                         | MOUNTING               | EMERGENCY | LLF   | LUMINAIRE LUMENS |
|                    | 31  | A     | Single      | USA LIGHTING, LLC                    | B350 09X3 27K5 55 8 WH SH FTIC UNV D22 | RECESSED               | N/A       | 0.870 | 826              |
|                    | 1   | C     | Single      | BEGA-US                              | 33 514 K3                              | WALL MOUNTED           | N/A       | 0.900 | 204              |
|                    | 5   | D     | Single      | Lithonia Lighting                    | RADPT P2 30K 01M                       | POLE MOUNTED; 12' AFG. | N/A       | 0.900 | 4930             |
|                    | 3   | F     | Single      | Spring City Electrical Manufacturing | ALMDLR LE095 EVX X2 40 GR11 CR3 FDL CU | POLE MOUNTED; 22' AFG. | N/A       | 1.000 | 9015             |
|                    |     |       |             |                                      |                                        |                        |           |       | LUMINAIRE WATTS  |
|                    |     |       |             |                                      |                                        |                        |           |       | 9                |
|                    |     |       |             |                                      |                                        |                        |           |       | 9.8              |
|                    |     |       |             |                                      |                                        |                        |           |       | 38               |
|                    |     |       |             |                                      |                                        |                        |           |       | 95               |
|                    |     |       |             |                                      |                                        |                        |           |       | BUG RATING       |
|                    |     |       |             |                                      |                                        |                        |           |       | B1-U0-G0         |
|                    |     |       |             |                                      |                                        |                        |           |       | B0-U0-G0         |
|                    |     |       |             |                                      |                                        |                        |           |       | B3-U2-G1         |
|                    |     |       |             |                                      |                                        |                        |           |       | B3-U3-G3         |

1 PHOTOMETRIC PLAN  
SCALE: 1/10" = 1'-0"

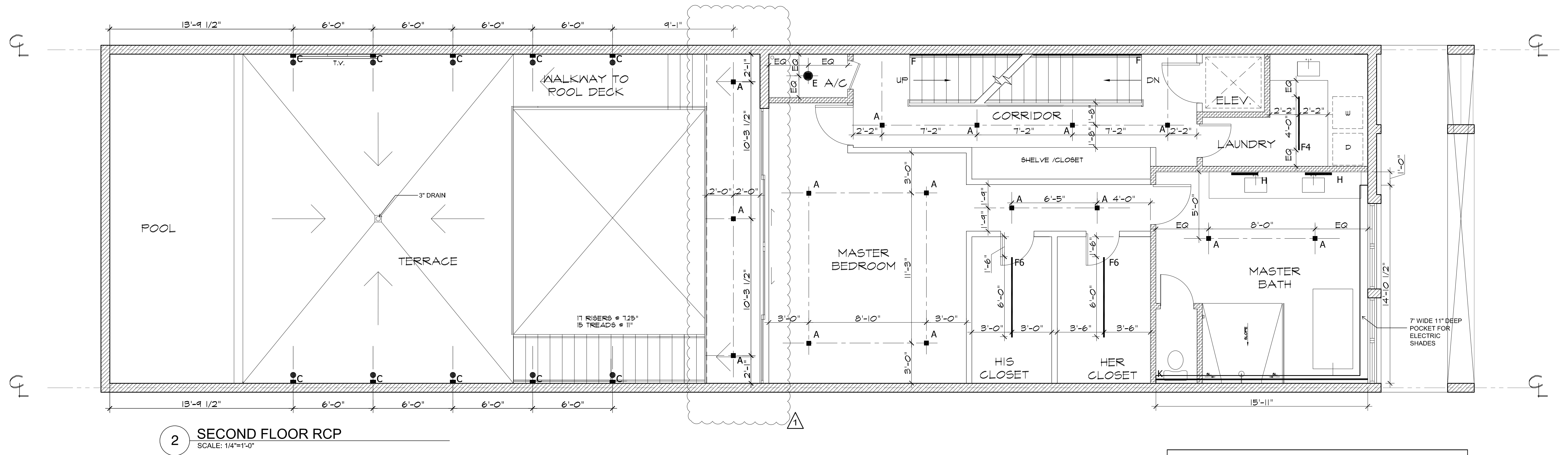
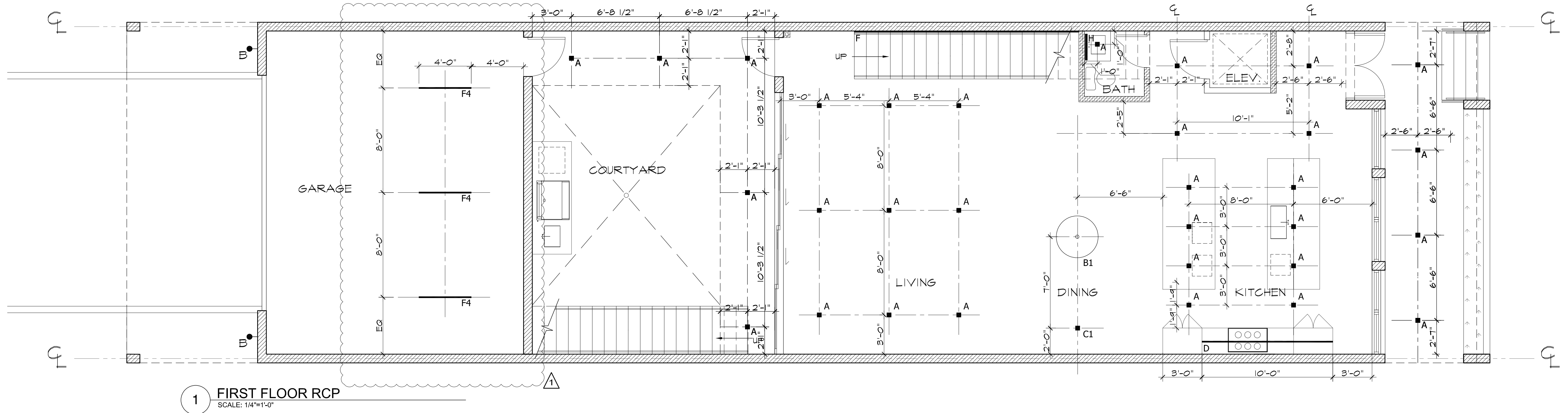


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| PERMIT SET |  |
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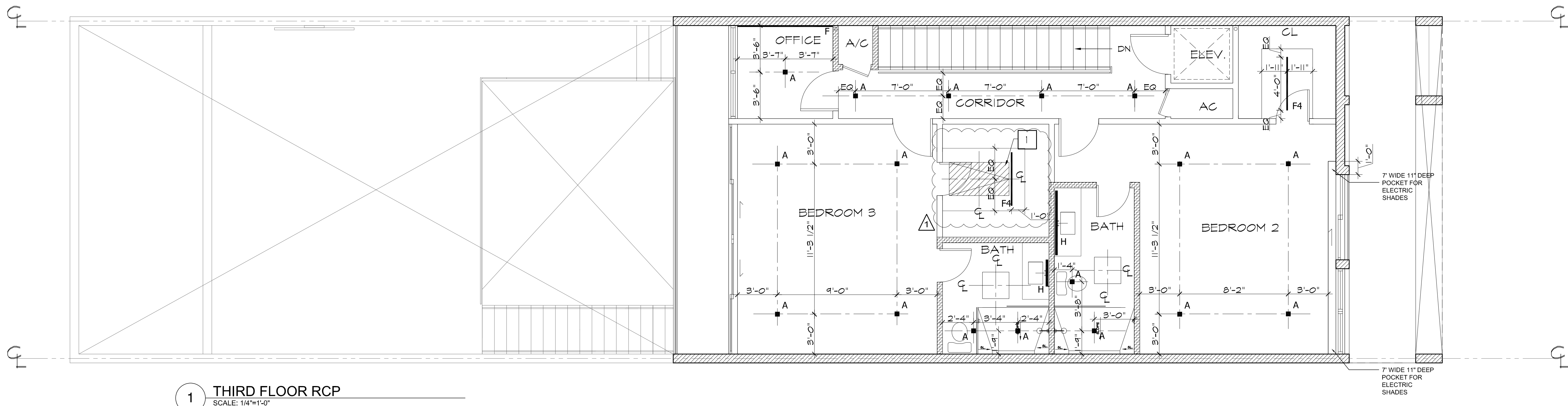




| LIGHT FIXTURE SCHEDULE: |                                                       |
|-------------------------|-------------------------------------------------------|
| SYM                     | TYPE                                                  |
| A                       | 3" SQUARE DOWNLIGHT - MODEL USA1 LIGHTING B38DL       |
| B                       | WALL MOUNTED LIGHT.                                   |
| C                       | WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 118003 |
| B1                      | PENDANT LIGHT.                                        |
| C1                      | SQUARE DOWNLIGHT                                      |
| D                       | UNDER CABINET LIGHT BY CABINET MAKER                  |
| E                       | DOWNLIGHT                                             |
| F                       | DECORATIVE LINE OF LIGHT, LARGE INDICATED IN PLANS.   |
| H                       | LIGHTED MIRROR                                        |
| K                       | DECORATIVE LINE OF LIGHT - WATERPROOF                 |

| PERMIT SET |                      |
|------------|----------------------|
| REVISIONS  |                      |
| 1.         | TAC COMMENTS 8.25.22 |
| 2.         |                      |
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1 THIRD FLOOR RCP  
SCALE: 1/4"=1'-0"

| LIGHT FIXTURE SCHEDULE: |                                                       |
|-------------------------|-------------------------------------------------------|
| SYM                     | TYPE                                                  |
| A                       | 3" SQUARE DOWNLIGHT - MODEL USAI LIGHTING B39DL       |
| B                       | WALL MOUNTED LIGHT.                                   |
| C                       | WALL MOUNTED LIGHT - WATERPROOF - MODEL V48MOK 116003 |
| B1                      | PENDANT LIGHT.                                        |
| C1                      | SQUARE DOWNLIGHT                                      |
| D                       | UNDER CABINET LIGHT BY CABINET MAKER                  |
| E                       | DOWNLIGHT                                             |
| F                       | DECORATIVE LINE OF LIGHT, LARGE INDICATED IN PLANS.   |
| H                       | LIGHTED MIRROR                                        |
| K                       | DECORATIVE LINE OF LIGHT - WATERPROOF                 |

LEGEND

|   |                              |
|---|------------------------------|
| 1 | ROOF HATCH BY BILCO TYPE N.B |
|---|------------------------------|



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| PERMIT SET |                     |
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| REVISIONS  |                     |
| 1.         | TAC COMMENTS 6.2.22 |
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5/8"

1/4"

STUCCO / WOOD RELIEF

SCALE: 1"=1'-0"

1/8"

3/4"

STUCCO REVEAL

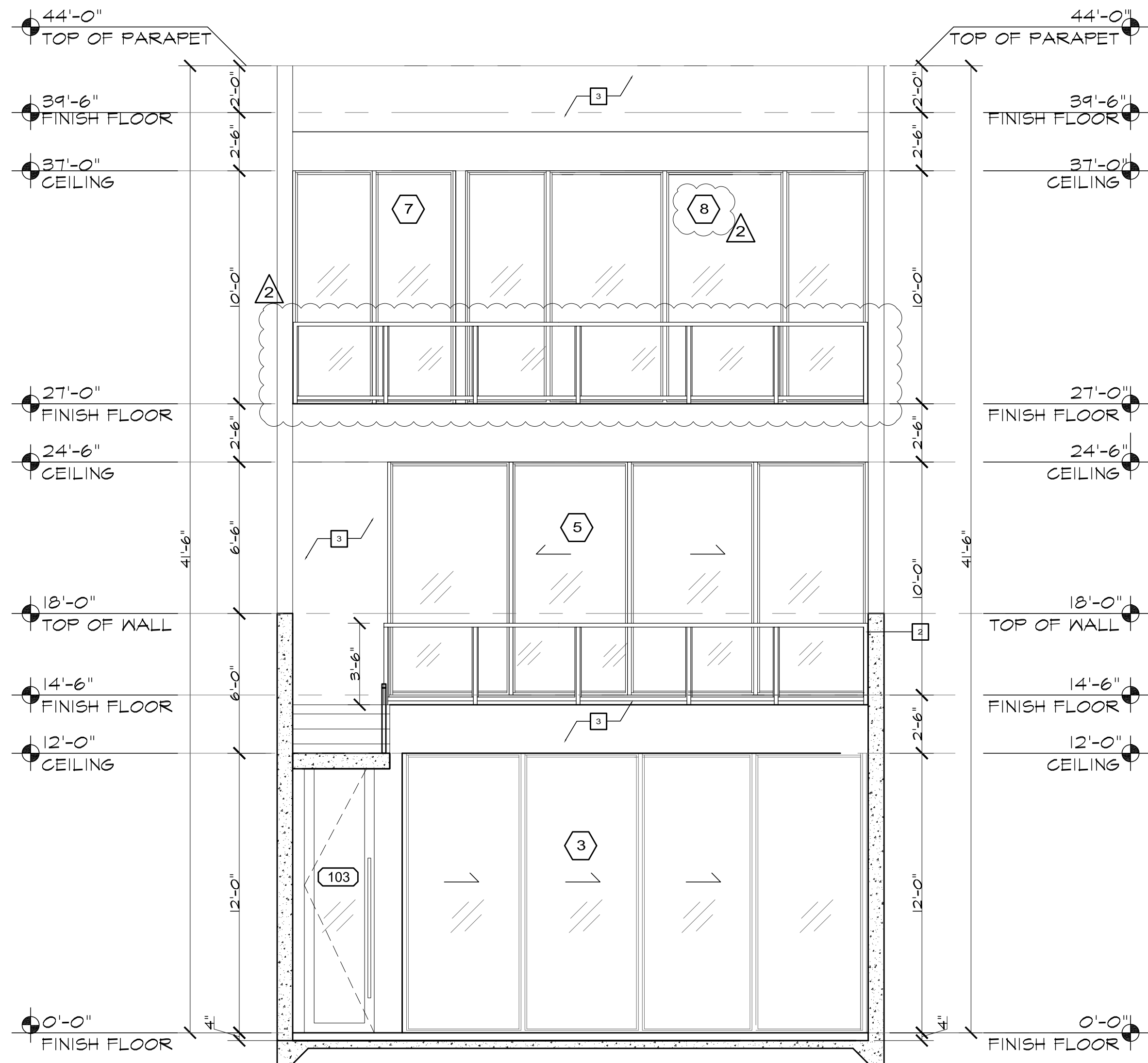


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| <u>REVISIONS</u> |         |  |
| TAC COMMENTS     | 6.2.22  |  |
| TAC COMMENTS     | 8.1.22  |  |
| TAC COMMENTS     | 8.25.22 |  |
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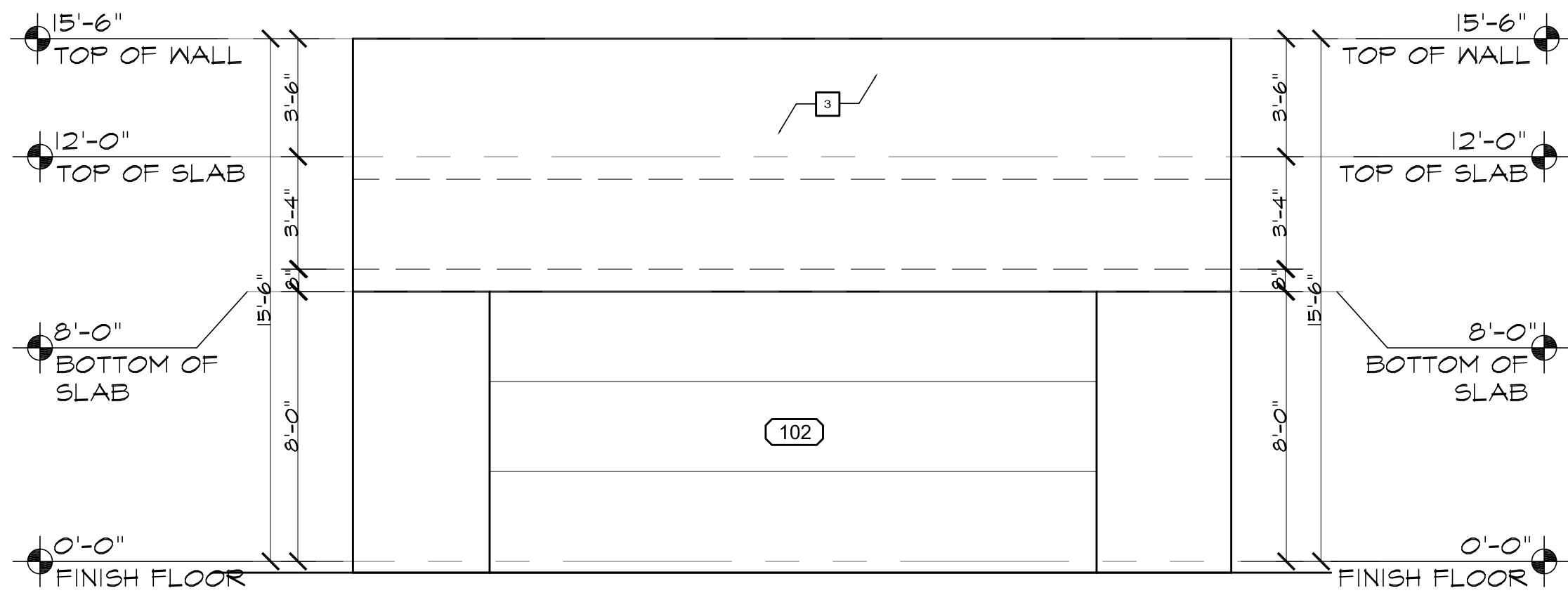
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PRINT DATE:  
SEPTEMBER 21, 2022



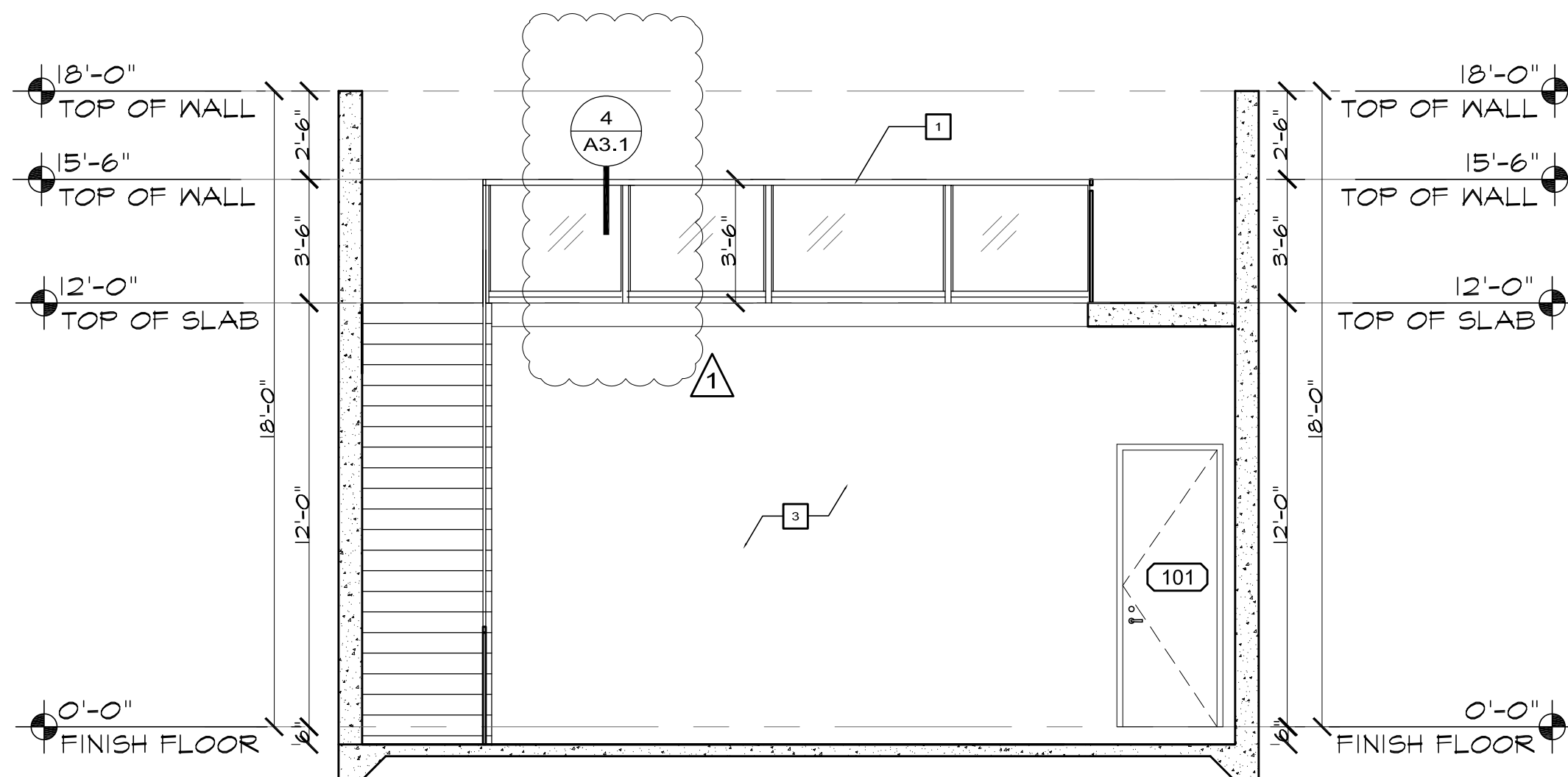


1 INTERIOR WEST ELEVATION  
SCALE: 1/4" = 1'-0"

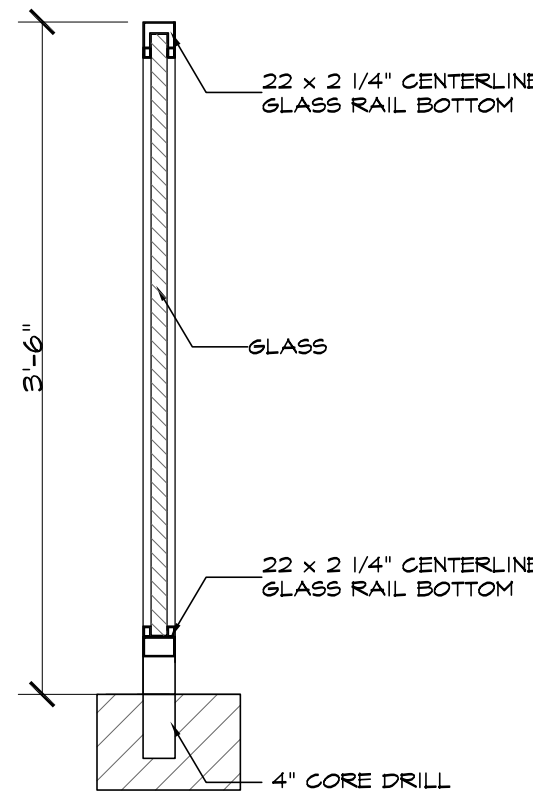
| EXTERIOR GLAZING SCHEDULE                               |                     |        |             |              |                             |             |                |                |                                                                                                   |
|---------------------------------------------------------|---------------------|--------|-------------|--------------|-----------------------------|-------------|----------------|----------------|---------------------------------------------------------------------------------------------------|
| ALL GLAZING: CLEAR LAMINATED IMPACT GLASS - SOLARBAN 60 |                     |        |             |              |                             |             |                |                |                                                                                                   |
| SYM                                                     | MASONRY OPENING     |        | WINDOW TYPE | MANUFACTURER | FRAME                       | FINISH      | DETAILS        | REMARKS        |                                                                                                   |
|                                                         | WIDTH               | HEIGHT |             |              |                             |             |                |                |                                                                                                   |
| 1                                                       | 4'-7"               | 12'-0" | FIXED       | -            | ALUM                        | SUPER WHITE | -              |                |                                                                                                   |
| 2                                                       | 6'-5"               | 12'-0" | FIXED       | -            |                             |             | -              |                |                                                                                                   |
| 3                                                       | 20'-0"              | 12'-0" | SLIDERS     | -            |                             |             | -              |                |                                                                                                   |
| 4                                                       | 6'-5"               | 10'-0" | FIXED       | -            |                             |             | -              |                |                                                                                                   |
| 5                                                       | 20'-7 1/2"          | 10'-0" | SLIDERS     | -            |                             |             | -              |                |                                                                                                   |
| 6                                                       | 6'-5"               | 10'-0" | FIXED       | -            |                             |             | -              | 7'-0" CASEMENT |                                                                                                   |
| 7                                                       | 7'-0"               | 10'-0" | FIXED       | -            |                             |             | -              | 7'-0" CASEMENT |                                                                                                   |
| 8                                                       | 17'-3 1/2"          | 10'-0" | SLIDERS     | -            |                             |             | -              |                |                                                                                                   |
| 9                                                       | 6'-5"               | 10'-0" | SLIDERS     | -            |                             |             | -              |                |                                                                                                   |
| EXTERIOR DOOR SCHEDULE                                  |                     |        |             |              |                             |             |                |                |                                                                                                   |
| (SYM)                                                   | NOMINAL SIZE VERIFY |        | DOOR TYPE   | DOOR         | FINISH                      | THK.        | HARDWARE GROUP | DETAIL(S)      | REMARKS                                                                                           |
|                                                         | WIDTH               | HEIGHT |             |              |                             |             |                |                |                                                                                                   |
| 100                                                     | 5'-3 1/2"           | 12'-0" | ALUM.       | -            | NATURAL TEAK                | 1 3/4"      | -              | -              |                                                                                                   |
| 101                                                     | 3'-0"               | 8'-0"  | -           | FIBERGLASS   | PAINT WHITE                 | 1 3/4"      | -              | -              | FIBERGLASS EXTERIOR IMPACT                                                                        |
| 102                                                     | 18'-0"              | 8'-0"  | -           | -            | PAINT SUPER WHITE           | -           | -              | -              | AMARR BRAND HERITAGE 3000 STAINED WOOD PANEL 3 LAYER INSULATED GARAGE DOOR TO MEET MIAMI DADE NOA |
| 103                                                     | 3'-0"               | 12'-0" | ALUM./GLASS | -            | ANODIZED ALUMINUM OR SILVER | 1 3/4"      | -              | -              |                                                                                                   |
| SEE ELEVATION DRAWINGS FOR MULLION LOCATIONS            |                     |        |             |              |                             |             |                |                |                                                                                                   |



2 WEST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



3 EAST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



4 HANDRAIL SECTION DETAIL  
SCALE: 1/4" = 1'-0"

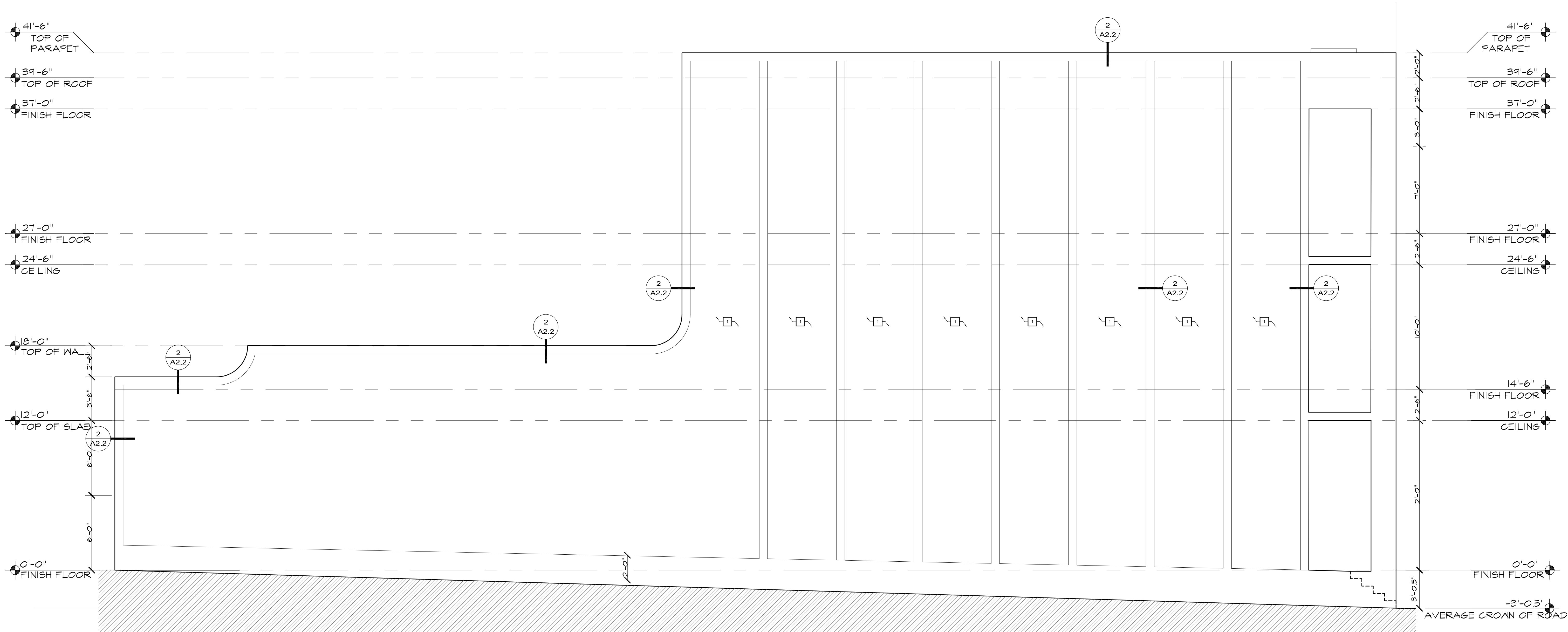
| LEGEND      |                                                                                                                                                                                                                       |  |
|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| DESCRIPTION |                                                                                                                                                                                                                       |  |
| 1           | RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" DARK BRONZE ALUMINUM FRAME. BY JC ORNAMENTAL.COM                                                                                                                |  |
| 2           | TAPER-LOGO SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L215 and 9BL21 BASE SHOES BY CR LAURENCE CO.-800-421-6144 - BASE FINISHED WITH BREAK METAL - SUBMIT SHOP DRAWINGS |  |
| 3           | 3/8" FLOAT FINISH STUCCO- SUPER WHITE                                                                                                                                                                                 |  |



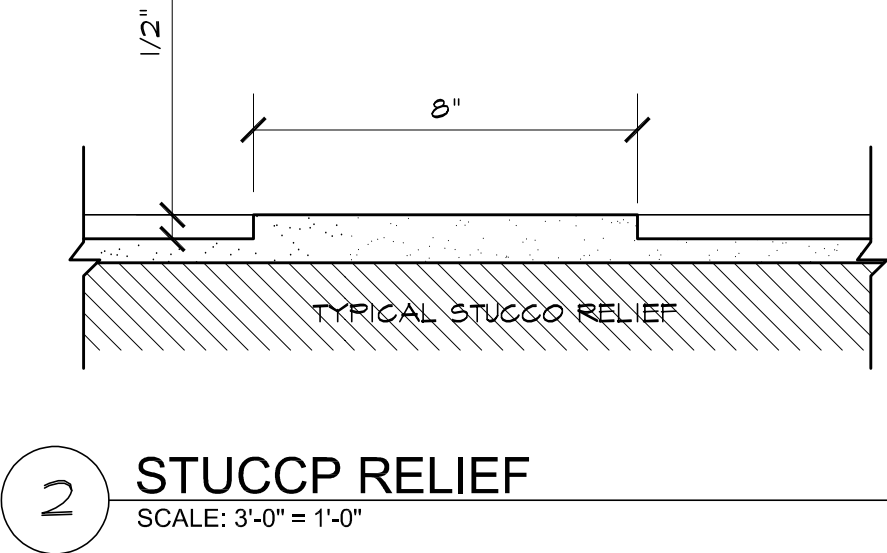
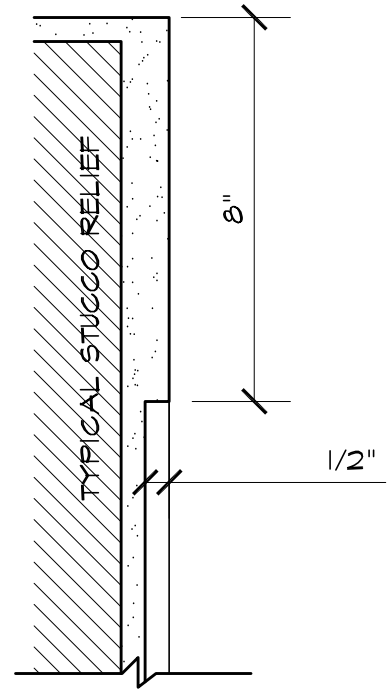
354 SE 5TH AVE  
DELRAY BEACH, FL 33483

| PERMIT SET |              |         |
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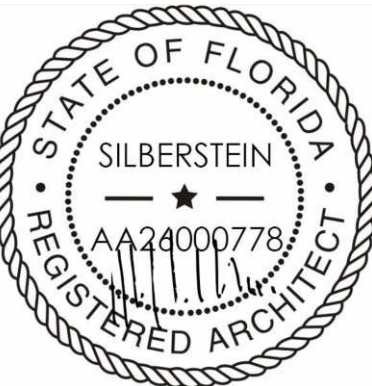


1 SOUTH/NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 STUCCP RELIEF  
SCALE: 3'-0" = 1'-0"

| LEGEND      |                                                            |
|-------------|------------------------------------------------------------|
| DESCRIPTION |                                                            |
| 1           | 8" FLOAT FINISH STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE |

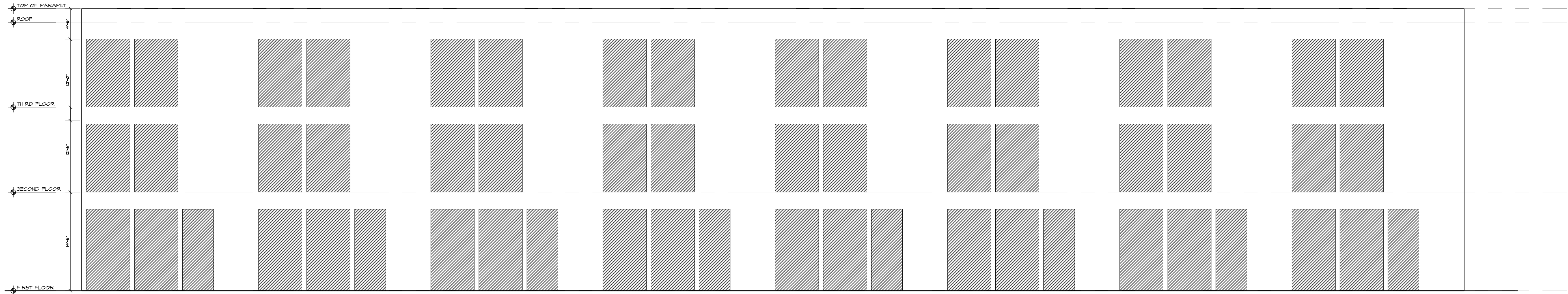


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| WINDOW COVERING CALCULATIONS                          |           |            |            |
|-------------------------------------------------------|-----------|------------|------------|
| WINDOW COVERING SHALL BE BETWEEN 20%-75% OF WALL AREA |           |            |            |
| FLOOR                                                 | WALL AREA | GLASS AREA | PERCENTAGE |
| FIRST                                                 | 2953 S.F. | 1672 S.F.  | 56.7%      |
| SECOND                                                | 2546 S.F. | 1024 S.F.  | 40.2%      |
| THIRD                                                 | 2546 S.F. | 1024 S.F.  | 40.2%      |

| LEGEND      |       |
|-------------|-------|
| DESCRIPTION |       |
| <div></div> | GLASS |
| <div></div> | WALL  |

1 WINDOWS COVERING DIAGRAM  
SCALE: 1/8"=1'-0"

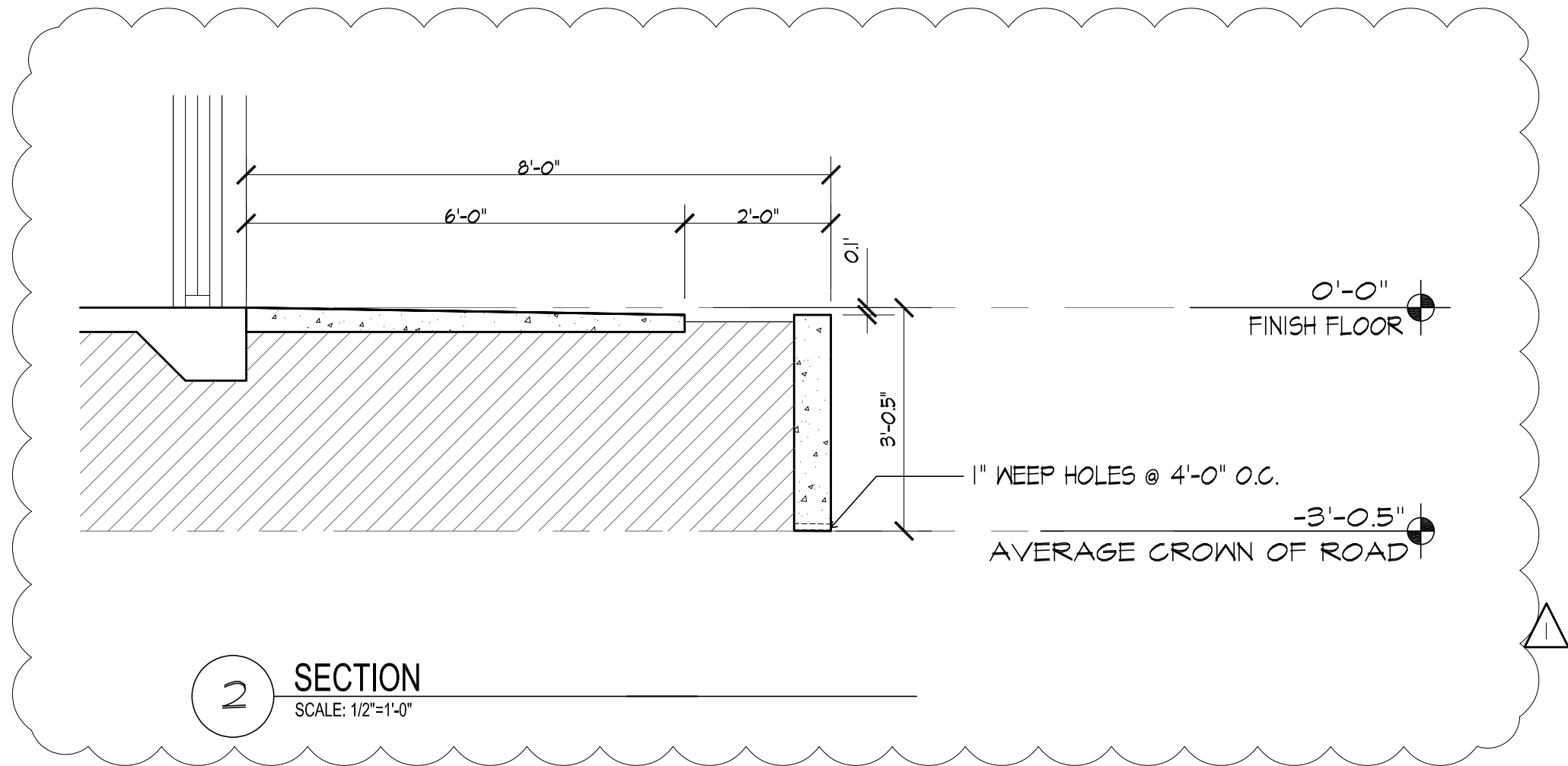
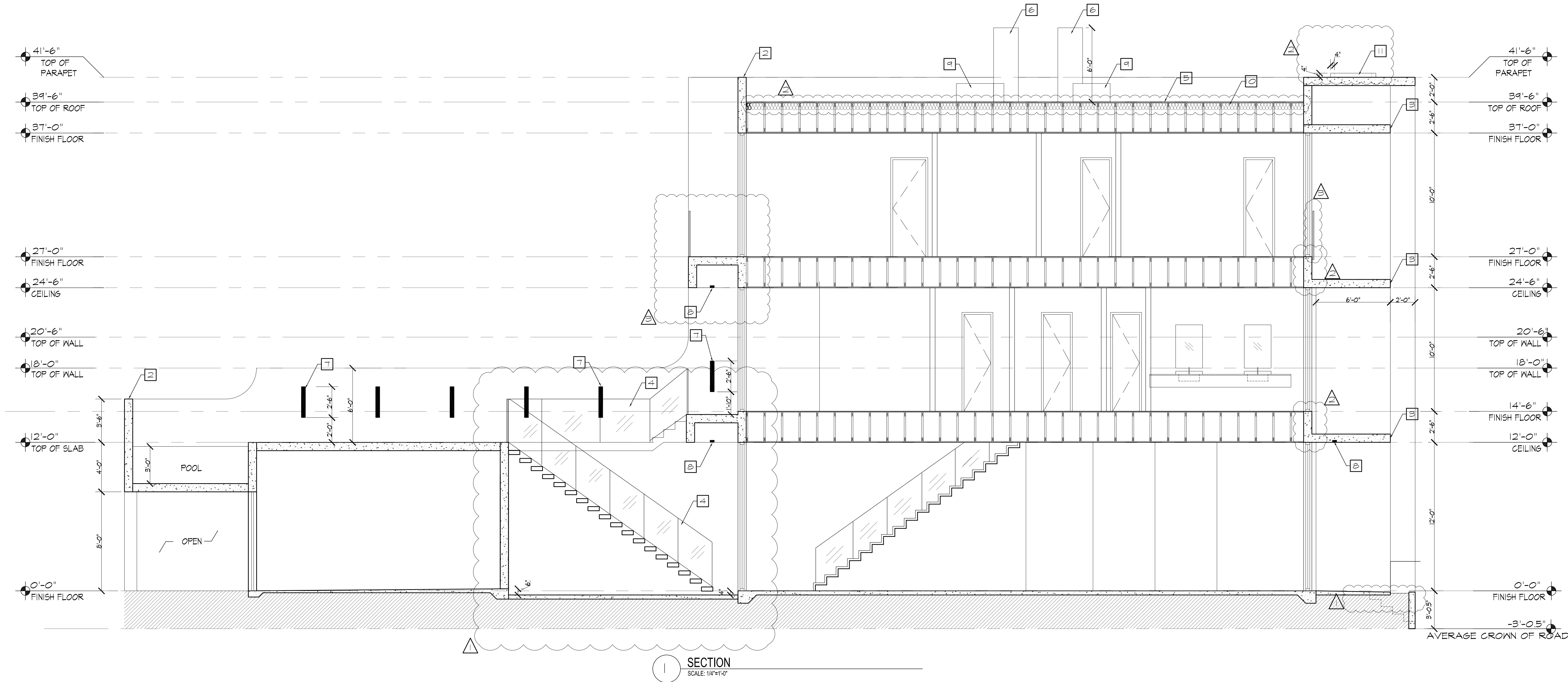


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| REVISIONS  |  |
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| LEGEND                                                                  |                                                                                                                          |
|-------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|
| DESCRIPTION                                                             |                                                                                                                          |
| 1                                                                       | WHITE SMOOTH FLOAT FINISH STUCCO                                                                                         |
| 2                                                                       | SLOPE TOP OF PARAPET WALL TOWARDS ROOF, STUCCO STOP AT ROOF FLASHING                                                     |
| 3                                                                       | CONTINUOUS DRIP EDGE, TYP.                                                                                               |
| 4                                                                       | RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" DARK BRONZE ALUMINUM FRAME, BY JC ORNAMENTAL.COM                   |
| 5                                                                       | GAF EVERGUARD FREEDOM HN 60 MIL FULLY ADHERED ROOF MEMBRANE, OR APPROVED EQUAL OVER R-30 AVERAGE TAPERED ROOF INSULATION |
| 6                                                                       | ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.                                                                    |
| 7                                                                       | WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 115003                                                                    |
| 8                                                                       | 3" SQUARE DOWNLIGHT - MODEL USAI LIGHTING B35DL                                                                          |
| 9                                                                       | SKYLIGHT WITH 6" CURB                                                                                                    |
| 10                                                                      | ICYNENE INSULATION R-19                                                                                                  |
| 11                                                                      | SKYLIGHT WITH 4" CURB                                                                                                    |
| NOTES:                                                                  |                                                                                                                          |
| 1. FINISHES TO BE SELECTED BY OWNER                                     |                                                                                                                          |
| 2. CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS FOR ARCHITECT'S APPROVAL |                                                                                                                          |



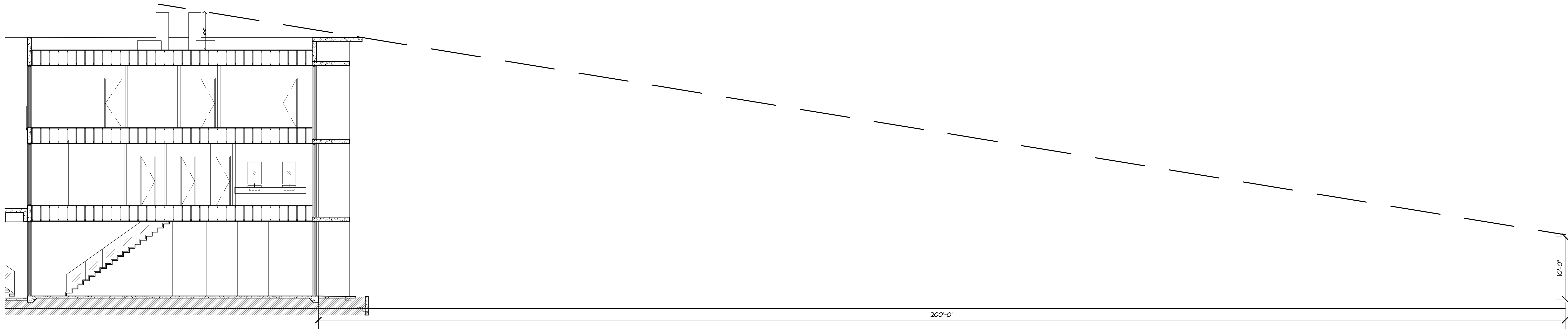
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|-----------------|-----------|
| 1. TAC COMMENTS | 6.2.22    |
| 2. TAC COMMENTS | 8.1.22    |
| 3. TAC COMMENTS | 8.25.22   |
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1 SITE LINE STUDY  
SCALE: 1/8" = 1'-0"



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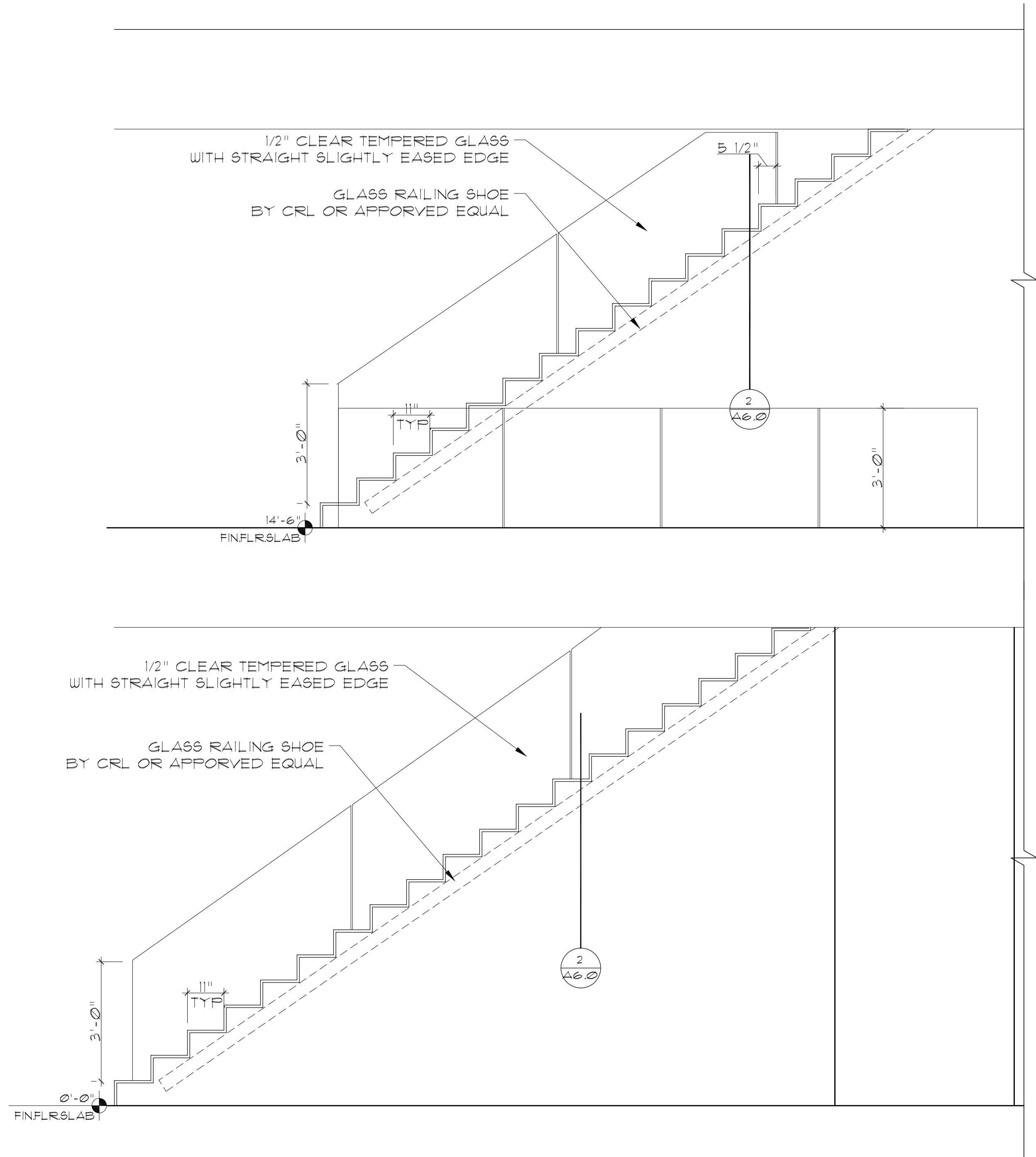
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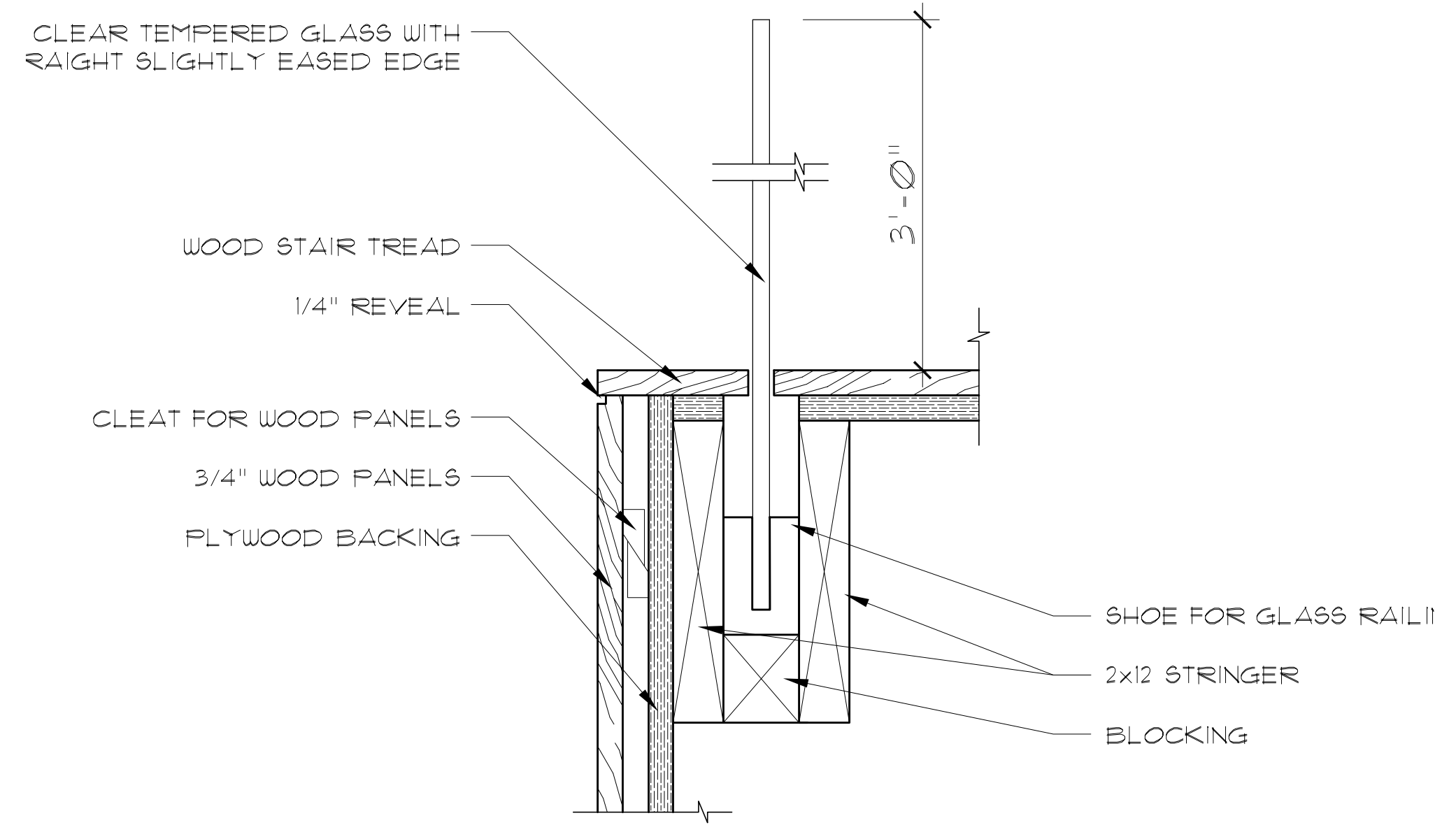
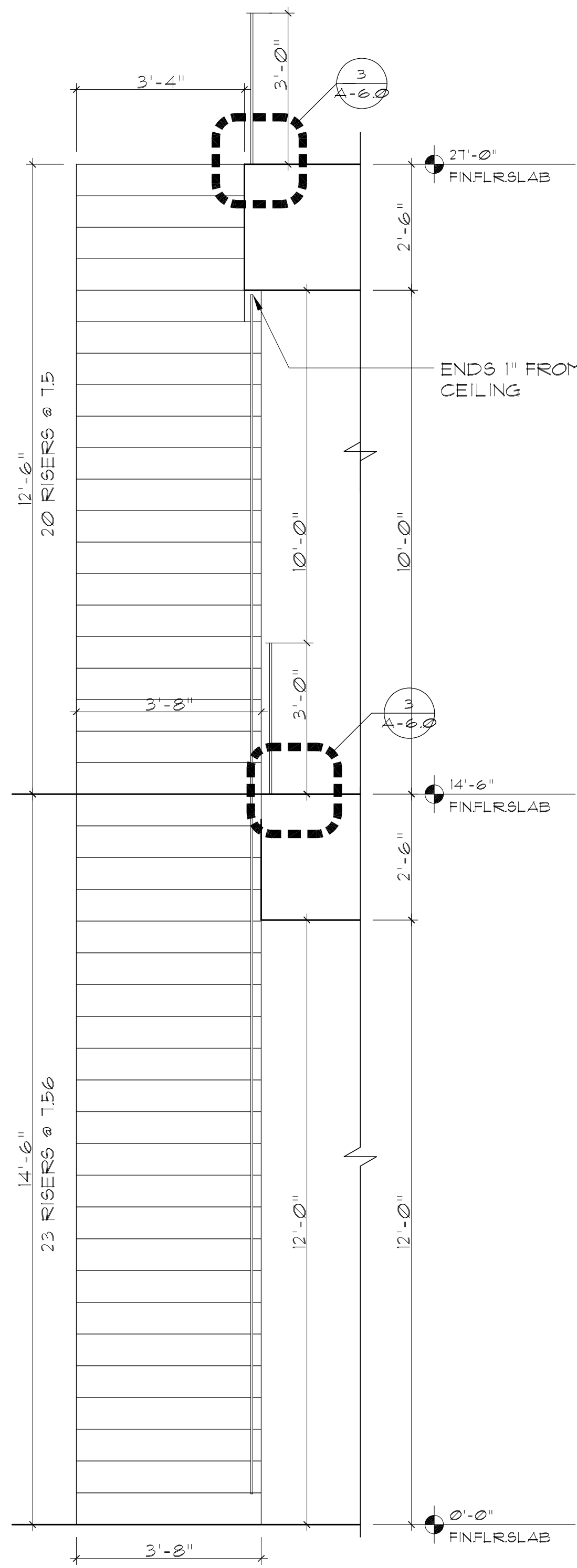
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524 NE 2ND STREET DELRAY BEACH FL 33483  
TEL 561 276 9393 LICENSE # AA24000778  
WWW.SILBERSTEINARCHITECT.COM  
js@silbersteinarchitect.com or studio@silbersteinarchitect.com

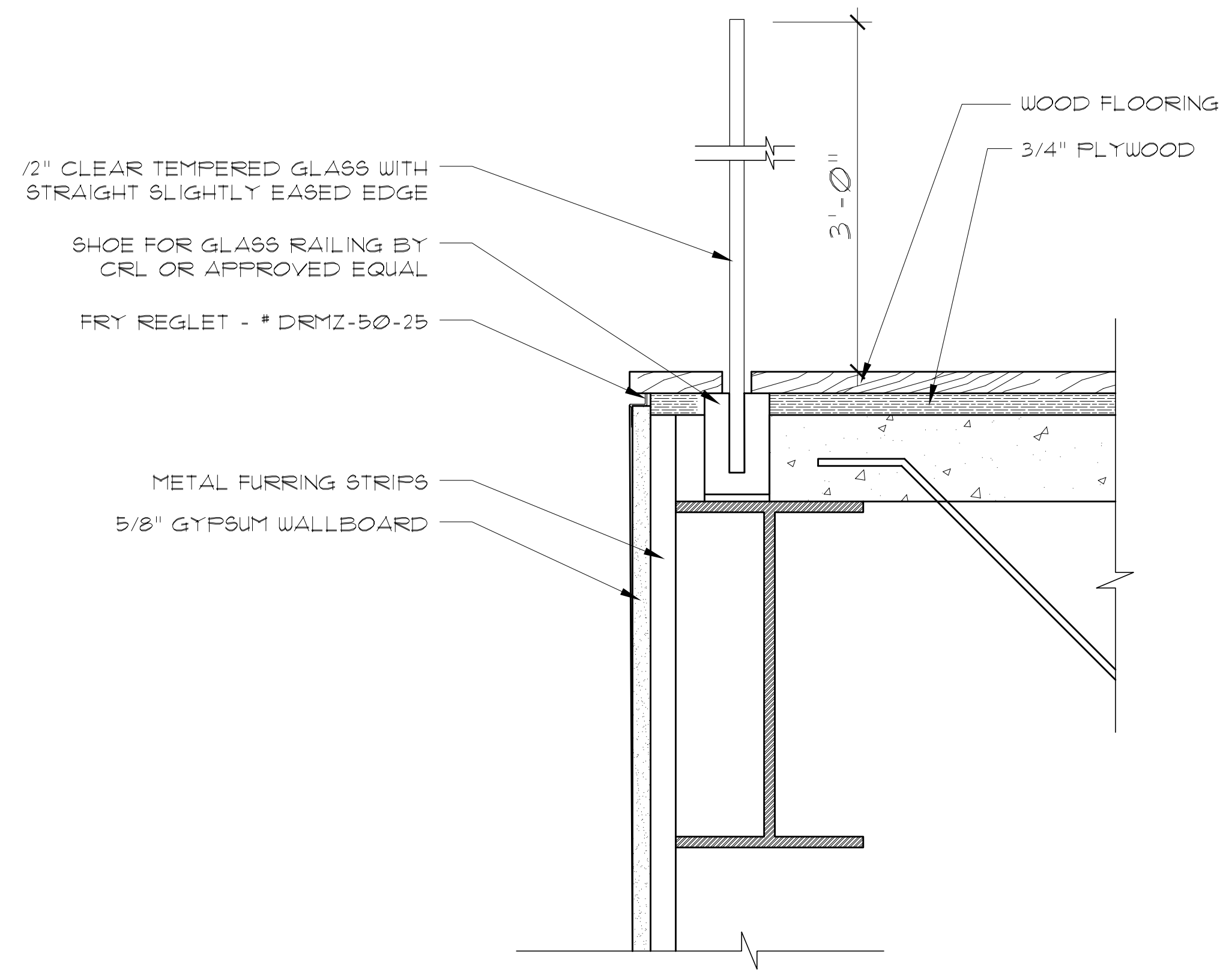




1 STAIR DETAIL  
SCALE: 1/2"=1'-0"



2 STAIR DETAIL  
SCALE: 3/4"=1'-0"



3 RAILING DETAIL  
SCALE: 3/4"=1'-0"



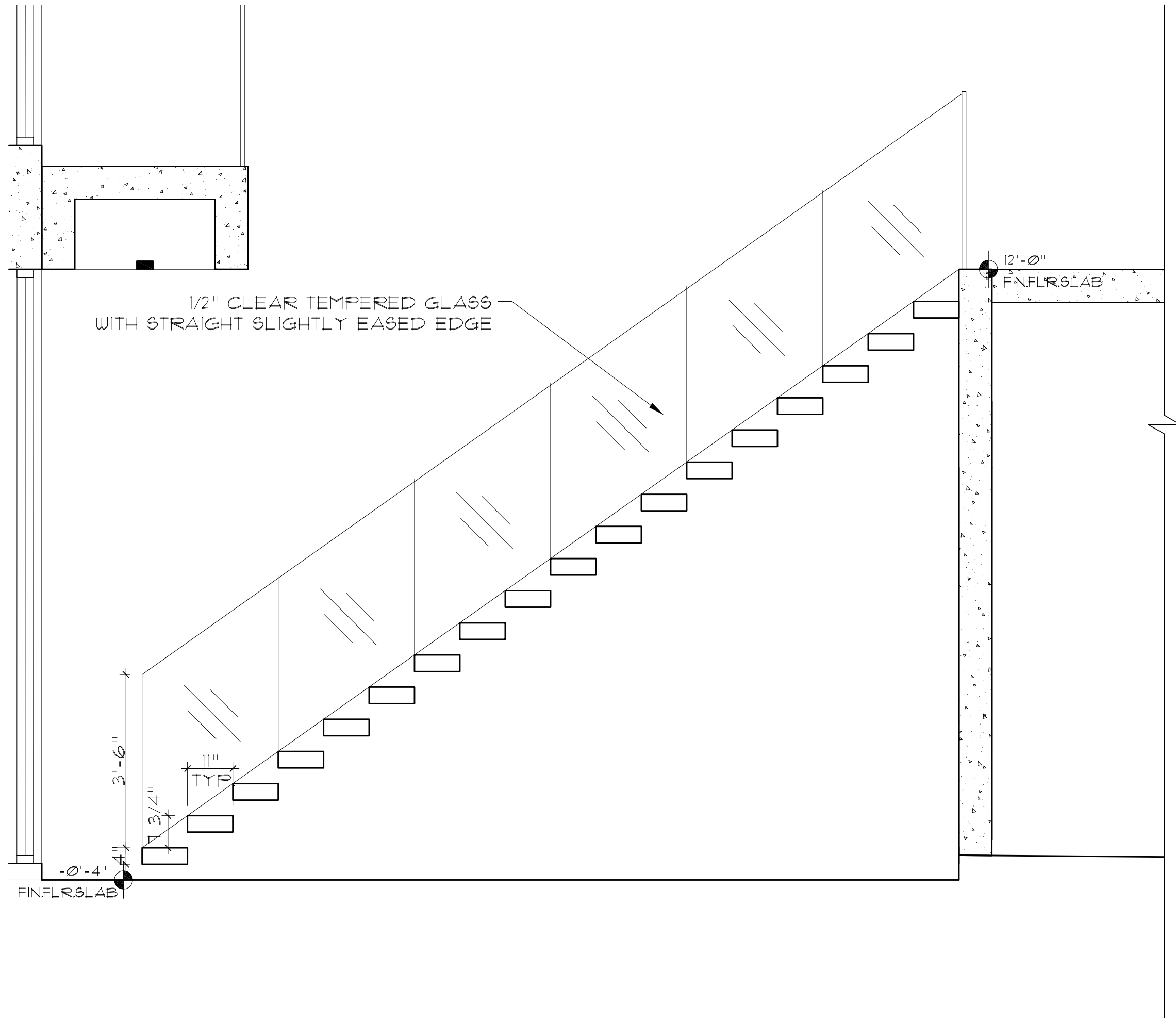
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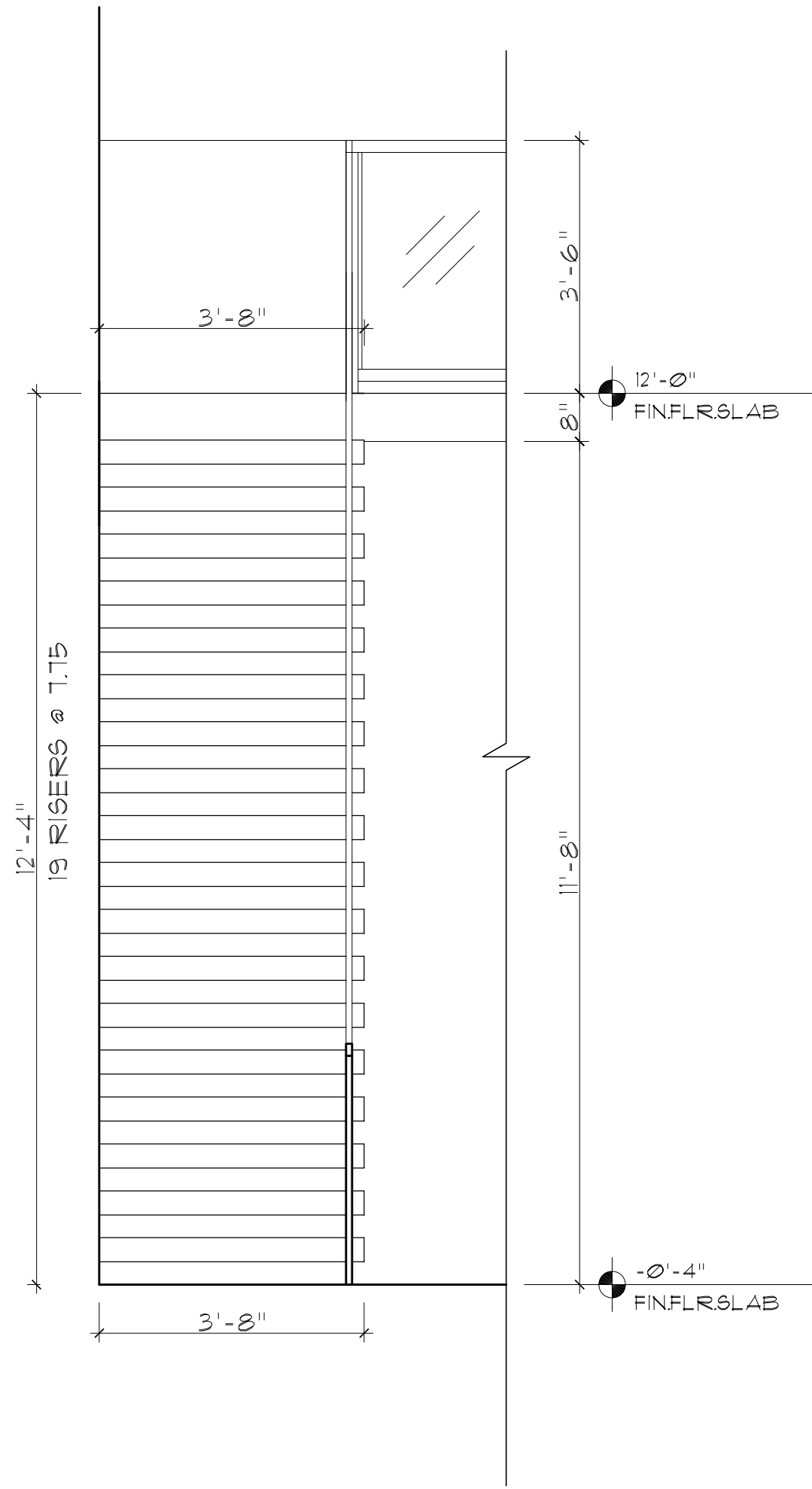
| PERMIT SET      |       |
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| REVISIONS       |       |
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1 STAIR DETAIL  
SCALE: 1/2"=1'-0"

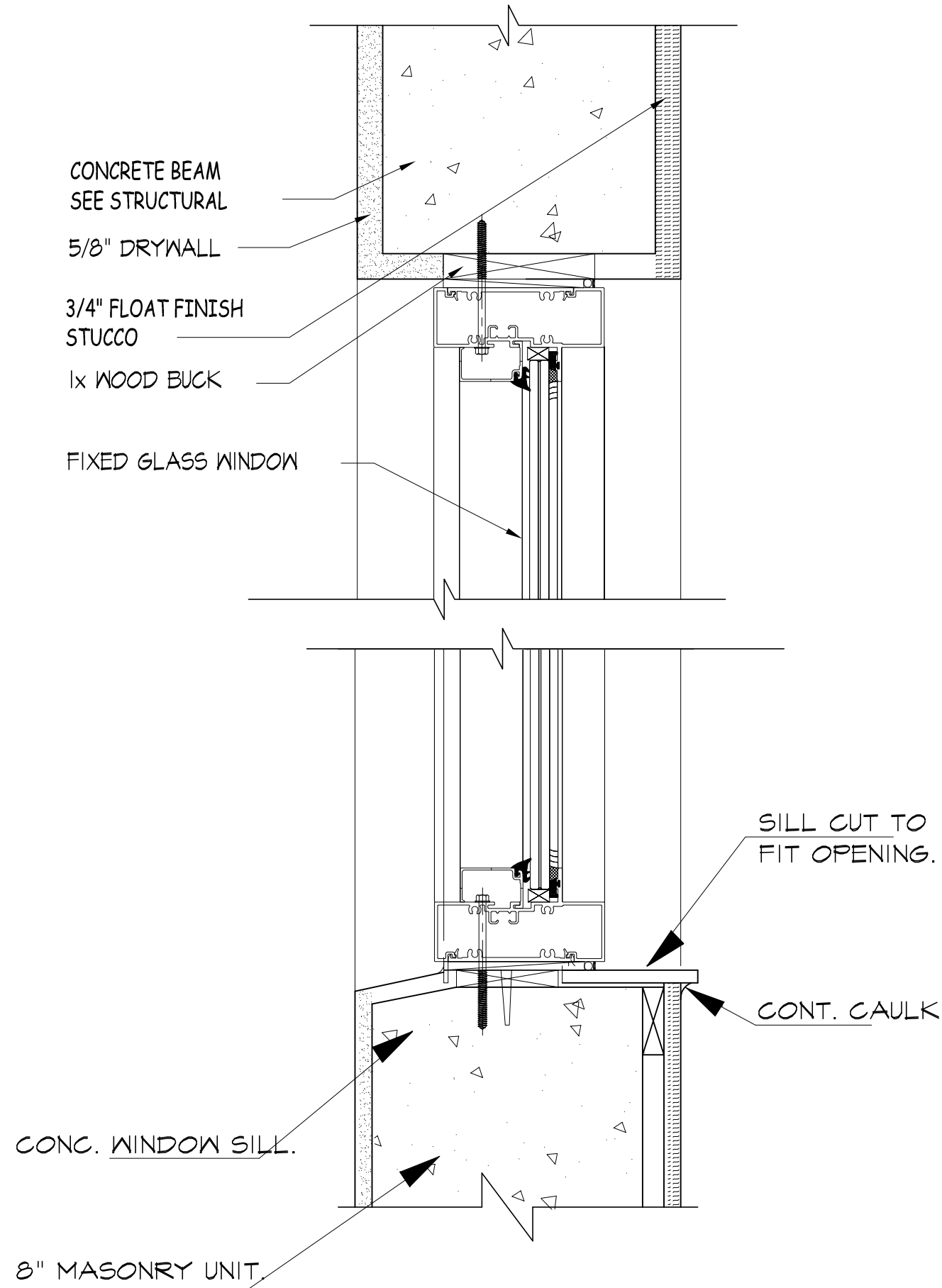


| PERMIT SET |                     |
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| REVISIONS  |                     |
| 1.         | TAC COMMENTS 6.2.22 |
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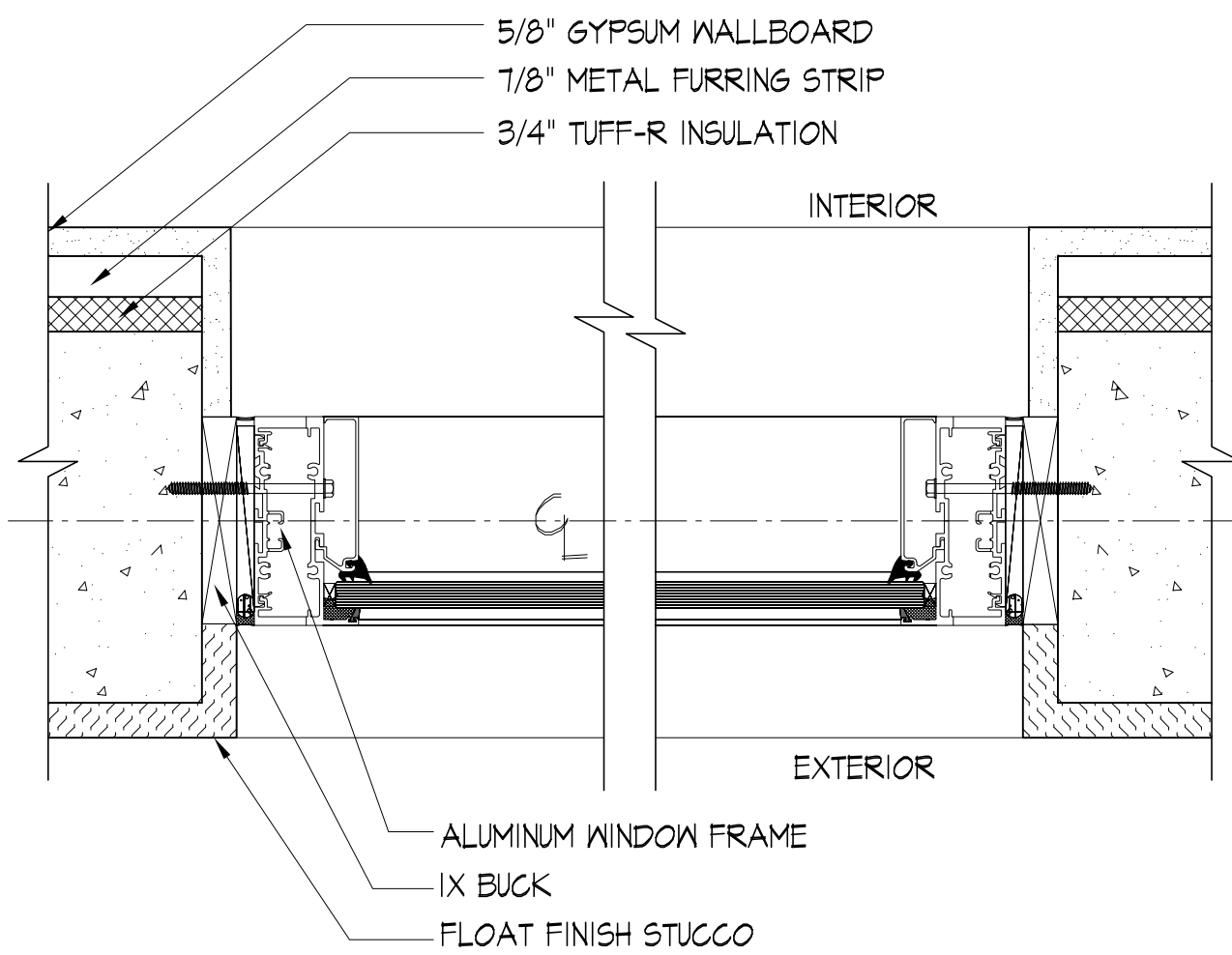


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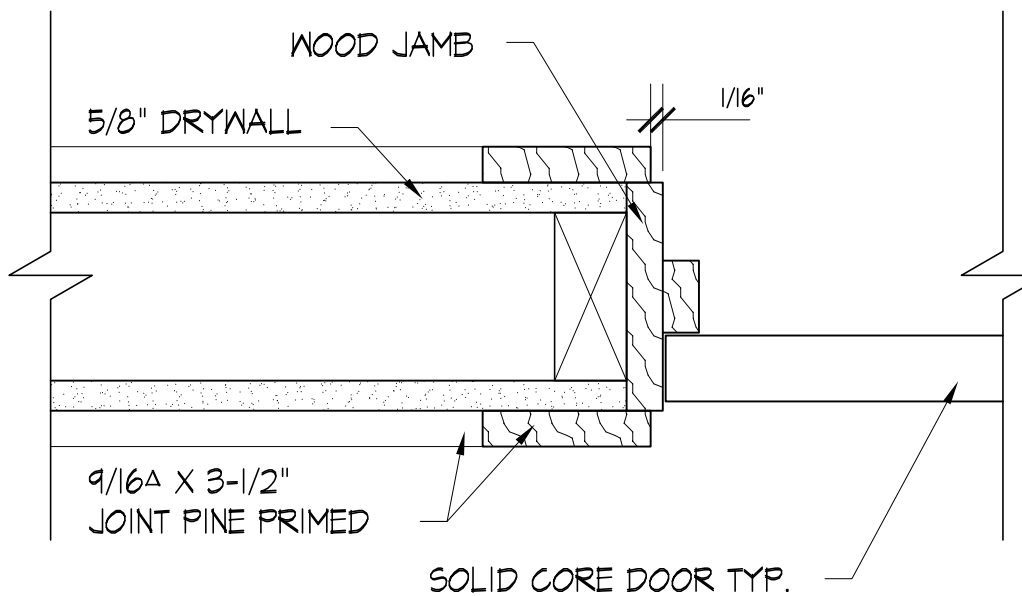




1 WINDOW HEAD/SILL DETAIL TYPICAL  
SCALE: 3/4"=1'-0"



2 WINDOW JAMB DETAIL TYPICAL  
SCALE: 3/4"=1'-0"



3 INTERIOR DOOR JAMB DETAIL TYPICAL  
SCALE: 3/4"=1'-0"

| ROOM FINISH SCHEDULE |                |       |         |          |                         |         | REMARKS |
|----------------------|----------------|-------|---------|----------|-------------------------|---------|---------|
| -<br>NUMBER          | ROOM           | FLOOR | CEILING |          | HEIGHT                  | WALLS   |         |
|                      |                | FLOOR | BASE    | MATERIAL | (FROM TOP FINISH FLOOR) |         |         |
| 100                  | KITCHEN        | F-1   | B-2     | C-1      | 12'-0"                  | M-1     |         |
| 101                  | DINING         |       |         |          | 12'-0"                  |         |         |
| 102                  | LIVING         |       |         |          | 12'-0"                  |         |         |
| 103                  | BATH           |       |         | ↘        | 12'-0"                  | M-1/M-2 |         |
| 104                  | COURTYARD      | ↘     | ↘       | -        | VARIES                  | -       |         |
| 105                  | GARAGE         | F-2   | B-1     |          | 12'-0"                  |         |         |
| 200                  | CORRIDOR       | F-1   | B-2     | C-1      | 10'-0"                  | M-1     |         |
| 201                  | MASTER BEDROOM |       |         |          | 10'-0"                  |         |         |
| 202                  | HIS CLOSET     |       |         |          | 10'-0"                  |         |         |
| 203                  | HER CLOSET     |       |         |          | 10'-0"                  |         |         |
| 204                  | MASTER BATH    |       | ↘       |          | 10'-0"                  | M-1/M-2 |         |
| 205                  | LAUNDRY        |       | B-1     | ↘        | 10'-0"                  | M-1     |         |
| 206                  | TERRACE        |       | B-2     | -        | VARIES                  | -       |         |
| 300                  | CORRIDOR       |       |         |          | 10'-0"                  | M-1     |         |
| 301                  | OFFICE         |       |         |          | 12'-0"                  |         |         |
| 306                  | BEDROOM 3      |       |         |          | 10'-0"                  |         |         |
| 303                  | CLOSET         |       |         |          | 10'-0"                  |         |         |
| 304                  | BATH           |       |         |          | 10'-0"                  | M-1/M-2 |         |
| 305                  | BATH           |       |         |          | 10'-0"                  | M-1/M-2 |         |
| 306                  | BEDROOM 2      |       |         |          | 10'-0"                  | M-1     |         |
| 307                  | CLOSET         | ↘     | ↘       | ↘        | 10'-0"                  | M-1     |         |

| SYM  | NOMINAL SIZE |        | DOOR TYPE | FRAME | FINISH | THK.    | DETAIL(S) | HARDWARE GROUP | REMARKS |
|------|--------------|--------|-----------|-------|--------|---------|-----------|----------------|---------|
|      | WIDTH        | HEIGHT |           |       |        |         |           |                |         |
| 100A | 3'-0"        | 10'-0" | 2         | WOOD  | PAINT  | 1'-3/4" | 1/A-7.0   | 1              |         |
| 103A | 2'-6"        | 10'-0" |           |       |        |         |           |                |         |
| 200  | 2'-4"        | 10'-0" |           |       |        |         |           |                |         |
| 201  | 3'-0"        | 10'-0" |           |       |        |         |           |                |         |
| 202  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 203  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 204  | 3'-0"        | 10'-0" |           |       |        |         |           |                |         |
| 204A | 2'-6"        | 10'-0" |           | GLASS |        | -       | -         |                |         |
| 205  | 3'-0"        | 10'-0" |           | WOOD  |        | 1'-3/4" | 1/A-7.0   | 4              |         |
| 300A | 2'-4"        | 10'-0" |           |       |        |         |           |                |         |
| 300B | 2'-4"        | 10'-0" |           |       |        |         |           |                |         |
| 301  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 302  | 3'-0"        | 10'-0" |           |       |        |         |           |                |         |
| 303  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 304  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 305  | 2'-8"        | 10'-0" |           |       |        |         |           |                |         |
| 306  | 3'-0"        | 10'-0" |           |       |        |         |           |                |         |
| 307  | 2'-03"       | 10'-0" |           |       |        |         |           |                |         |

## PAINT NOTES

### INTERIOR AND EXTERIOR SUBSTRATE PREPARATION

APPROXIMATELY 40% OF ALL PAINT FAILURES CAN BE DIRECTLY ATTRIBUTED TO IMPROPER SURFACE PREPARATION. STRICTLY FOLLOWING ALL SURFACE PREPARATION INSTRUCTIONS ON ALL SURFACES IS ESSENTIAL TO ACHIEVE MAXIMUM BENEFITS OF THE COATINGS TO BE USED

#### A. DRYWALL (WALLS AND CEILINGS)

- Cracks, holes and blemished areas are to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start #024
- Ceilings or walls are to be primed with Benjamin Moore's Fresh Start Primer.
- Finish all drywall surfaces using Benjamin Moore's Regal Select Interior Flat #541 Line.
- Finish all drywall ceilings using Benjamin Moore's #508 Waterborne Ceiling Paint

#### B. INTERIOR WOOD SURFACES TO BE PAINTED

- Surfaces must be clean and free of wax, grease and water-soluble materials.
- Blemished areas to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start Primer #024.
- Finish all interior wood doors and trim to be finished using Benjamin Moore's Advance Waterborne Interior Alkyd Satin Finish #712

#### C. EXTERIOR MASONRY AND WOOD SUBSTRATES

- All masonry surfaces must be thoroughly brushed with a stiff fiber brush to remove loose particles.
- Form release agents are to be removed with appropriate solvents and laitance deposits must be thoroughly removed by hand wire brushing or other appropriate means.
- Surfaces are to be dry and free of greasy residue. Surfaces should be thoroughly washed with strong detergent (Benjamin Moore's M83 Oil and Grease Emulsifier) to remove all grease, oil, and soap residue.
- Prime all new masonry with Benjamin Moore's Masonry Conditioner #608 Line.
- Prime new wood using Benjamin Moore's Fresh Start #024
- Finish all exterior masonry and wood using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

#### D. EXTERIOR METAL SURFACES TO BE PAINTED

- Surfaces to be painted shall be cleaned with an appropriate solvent or detergent solution to remove all traces of dirt, dust, grime, and oily residues prior to application of the specified coatings in accordance with SSPC-SP1-63 Solvent Cleaning.
- Loose, peeling, blistering and flaking paint and rust shall be removed by wire brush, scraping or sanding. Surfaces with a hard shiny finish should be dulled by sandpaper or other abrasive methods to insure adhesion of succeeding coats
- Glossy surfaces should be dulled by sanding.
- To the properly prepared surface prime using Benjamin Moore's Corotech V10 Acrylic Metal Primer
- Finish all exterior metal surfaces using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

### NOTES:

- COLOR SHALL BE WHITE OR AS SELECTED BY OWNER
- SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
- ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED

## LEGEND

NOTE: SEE PAINT NOTES FOR ALL FINISHES TYP.

### FLOOR FINISHES

- F-1: PORCELAIN TILE TO BE SELECTED BY OWNER  
F-2: POLISHED CONCRETE FLOOR SEALED  
F-3: WOOD FLOORING TO BE SELECTED BY OWNER

### BASE FINISHES

- B-1: BASE AND CASING ARE FINGER JOINT PINE PRIMED, 1/16" X 3-1/2" FOR THE BASE AND 9/16" X 3-1/2" FOR THE CASING  
B-2: REVEAL BASE BY "FRY REGLET", ALL 1/2" REVEAL FIN.F.L. TO DRYWALL 5/8" - CLEAR ANODIZED PAINTED. SEE DTL 1A 5/7.0

### CEILING FINISHES

- C-1: 5/8" GYPSUM WALL BOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.  
C-2: 1x6 WOOD 6" x 3/4"

### WALL FINISHES

- M-1: 5/8" GYPSUM WALLBOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.  
M-2: TILE - COLOR, SIZE, EXACT LOCATION TBD BY OWNER  
M-3: 5/8" GYPSUM WALLBOARD WITH QUIET 5 MOLD RESISTANT BY OWENS CORNING.COM

### DOOR TYPES

- FLUSH: FRAMELESS DOOR BY INSENSATION.COM OR INDUSTRIESDORR.COM - SEE ATJ FOR DETAILS
- RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND Z TRANSMITTERS

### HARDWARE GROUP: SUBMIT SHOP DWGS FOR ARCHITECT'S APPROVAL.

- PRIVACY PASSAGE W/ WALL DOOR STOP EMTEK P.L.
- PASSAGE W/ CYLINDER LOCK TURN KEY INSIDE - EMTEK P.L. SQUARE ROSE W/ WEATHER STRIPPING AND THRESHOLD STOP
- POCKET DOOR - EMTEK - P.L.
- PASSAGE - EMTEK P.L. W/ WALL DOOR STOP
- PULL - BY CRL
- RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND Z TRANSMITTERS

### NOTES:

- COLOR SHALL BE SUPER WHITE BY BM
- SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
- ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED
- PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL FOR ALL FINISHES, DOOR, HARDWARE

### COATINGS SCHEDULE

#### A. INTERIOR WALLS AND CEILINGS

- Prime Coat - One Coat Benjamin Moore's Fresh Start Primer #024
- Finish Coat Walls - Two Coats of Benjamin Moore's Regal Select Interior Flat #541 Line.
- Finish Coat Ceilings - Two Coats of Benjamin Moore's #508 Waterborne Ceiling Paint

#### B. INTERIOR DOORS AND TRIM

- Prime Coat - One Coats Benjamin Moore's Fresh Start Primer #024.
- Finish Coat - Two Coats Benjamin Moore's Advance Waterborne Interior Alkyd Satin Finish #712

#### C. EXTERIOR MASONRY SURFACES

- Prime Coat - One Coat Benjamin Moore's Masonry Conditioner #608
- Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

#### D. EXTERIOR WOOD SURFACES

- Prime Coat - One Coat Benjamin Moore's Fresh Start #024
- Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision

#### E. EXTERIOR METAL SURFACES

- Prime Coat - One Coat Benjamin Moore's Corotech V10 Acrylic Metal Primer
- Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision

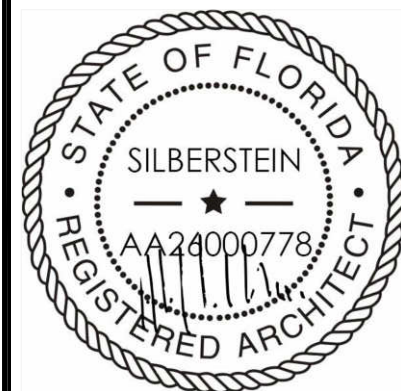
### GALVANIZED STEEL COATING SYSTEM SHORT FORM SYSTEM RECOMMENDATION SURFACE PREPARATION:

PRIOR TO MECHANICAL CLEANING, ALL SURFACES SHOULD BE CLEANED WITH CARBOLINE SURFACE CLEANER 3 TO REMOVE ALL DIRT, DUST, OIL, GREASE AND OTHER SOLUBLE CONTAMINATES IN ACCORDANCE WITH SSPC-SP1 SOLVENT CLEANING. FOLLOW WITH A FRESH WATER RINSE OF ALL SURFACES TO BE PREPARED. LIGHTLY SAND ALL GALVANIZED SURFACES TO PROVIDE AN ANCHOR PROFILE FOR BETTER ADHESION CHARACTERISTICS USING 60-80 GRIT SAND PAPER.

### COATING SYSTEM:

PRIMER: APPLY A FULL COAT OF GALOSEAL WB AT 0.3-1.0 MILS DFT TO ALL PREPARED SURFACES

FINISH: APPLY A FULL COAT OF CARBOTHANE 133 HB AT 3.0-5.0 MILS DFT TO ALL PRIMED SURFACES



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