



Planning & Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Cut 432
Project Location: 432 E. Atlantic Avenue
Request: Architectural Elevation changes

Board: Site Plan Review and Appearance Board
Meeting Date: March 23, 2016

Board Action:

Approved 5-1.

Project Description-noting staff concerns:

The Cut 432 Steakhouse and Wine Bar is located at 432 East Atlantic Avenue within a building containing several commercial uses consisting of retail, restaurant and services.

The proposed architectural elevation change involves the installation of a new fabric awning with roof liner in white color to match existing adjacent structure to the east. Recently, Cut 432 leased the adjacent property to the west, formally Gigi's Jewelry, with the purpose of expanding Cut 432's outside dining area into this recently leased storefront.

Board comments:

The Board approved the proposal with conditions:

- That a hold harmless agreement be executed and approved to extend the awning into the Atlantic Avenue right-of-way before site plan certification
- Reduce the projection of proposed awning to not extend beyond the existing adjacent structure

Public input – noting comments and concerns:

No public input

Associated Actions: No actions

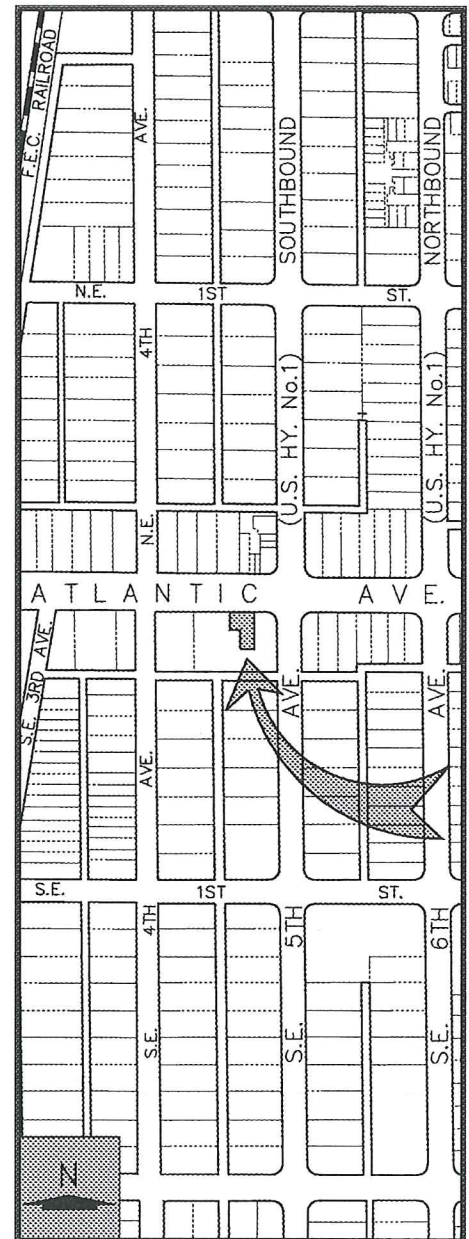
Next Action: The SPRAB action is final unless appealed by the City Commission.

---STAFF REPORT---

March 23, 2016

ITEM: **Cut 432 (418 E. Atlantic Avenue):** Class I Site Plan Modification associated with architectural elevation changes (Awning) to the adjacent property.

Agent.....	Delray Awning
Location.....	South side of E. Atlantic Avenue, west of SE 5 th Avenue.
Property Size.....	0.55 acres
Existing FLUM.....	GC (General Commercial)
Current Zoning.....	Central Business District (CBD)
Adjacent Zoning.....North:	CBD (Central Business District)
	East: CBD (Central Business District)
	South: CBD (Central Business District)
	West: CBD (Central Business District)
Existing Land Use.....	Restaurant



**SITE PLAN REVIEW AND APPEARANCE BOARD
STAFF REPORT**

Applicant: Delray Awning
Project Name: Cut 432
Project Location: 432 E. Atlantic Avenue

ITEM BEFORE THE BOARD

The item before the Board is approval of architectural elevation changes associated with a Class I site plan modification for **Cut 432**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a). The subject property is located on the south side of East Atlantic Avenue just west of NE 5th Avenue.

BACKGROUND ANALYSIS

The Cut 432 Steakhouse and Wine Bar is to be located at 432 East Atlantic Avenue within a building containing several commercial uses consisting of retail, restaurant and services. The building was constructed in 1955 and exists on a property that is 0.55 acres located within the Central Core (CC) of the Central Business District (CBD) west of the southwest corner of East Atlantic Avenue and SE 5th Avenue.

At its meeting of January 10, 2008, the Site Plan Review and Appearance Board (SPRAB) approved modifications to the storefront and the extension of the existing awning.

Before the Board for consideration is a Class I Site Plan Modification associated with the installation of a storefront awning on the adjacent property.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Expanding outside dining area by installing a white storefront awning on the adjacent property.

ARCHITECTURAL ELEVATIONS ANALYSIS

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation change involves the installation of a new fabric awning with roof liner in white color. Recently, **Cut 432** leased the adjacent property to the west, formally Gigi's Jewelry, and has been using it as an administrative office with no public access. The proposed project consists of expanding **Cut 432's** outside dining area into this recently leased storefront.

The awning will be cantilevered and project 11' feet from the building, while maintaining a height of 8'-6", with a 16" truss and a 19 feet width. The awing will be structurally supported by pipe supports attached on the upper façade and sealed to the building. It is important to maintain uniformity in the use of the colors and dimensions for a single property. The proposed awning color (white) matches with the existing white structure on the **Cut 432** building, and it extends outward lining up with the existing red awing above **Cut 432**. The introduction of a new awing will blend and be consistent with the existing awnings on Atlantic Avenue. The awing will not contain any signage, as it will be a uniform addition to the current outside dining area.

The proposed awning encroaches into the public right-of-way. Pursuant to LDR Section 4.3.4, canopies, marquees and covered walkways may extend into the public right-of-way when approved by the Chief Building Official through approval of an applicable agreement with the City. This is listed as a condition of approval. In accord with Board instruction, we have included images of the proposed structure location.

The proposed changes to the architectural elevations will not be compatible and harmonious with the surrounding properties. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E), subject to the following condition:

1. Right-of-way encroachment agreement be submitted to the City.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Approve the Class I site plan modification and architectural elevations for **Cut 432**, based upon positive findings with respect to the Land Development Regulations.
- C. Deny the Class I site plan modification, and architectural elevation for **Cut 432**, based upon a failure to make positive findings with respect to the Land Development Regulations.

STAFF RECOMMENDATION

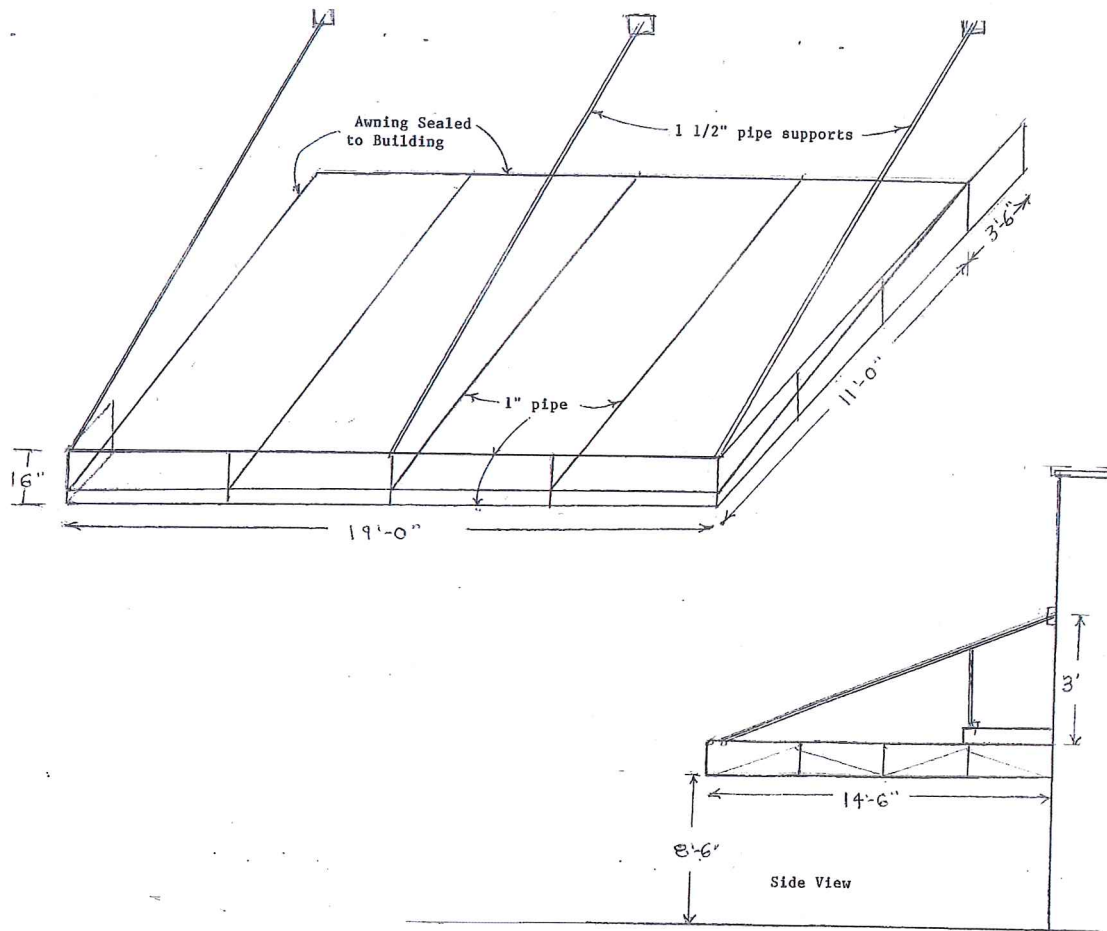
Move approval of the Class I Site Plan Modification and architectural elevations for **Cut 432**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations subject to the following condition:

1. Right-of-way encroachment agreement be submitted to the City, and approved by the Chief Building Official prior to certification of the site plan,

Report Prepared by: Michael Vinci, Planner

Attachments:

- Architectural Elevations
- Awning Detail



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—CO.—
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(813) 778-5381

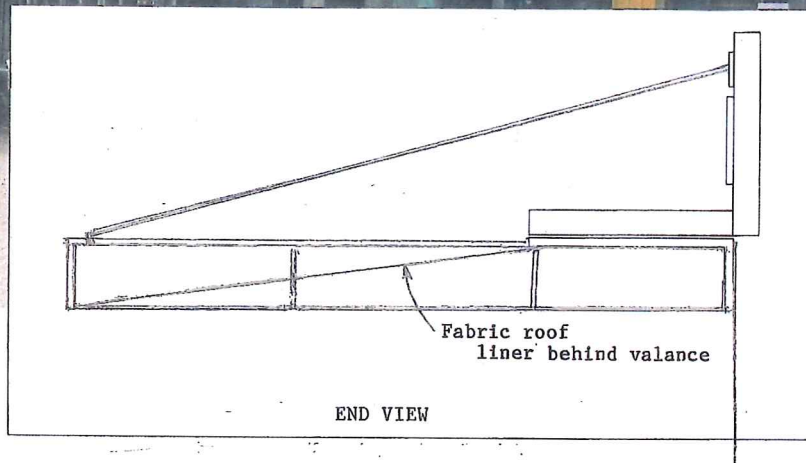
PROJECT: Cut 432

LOCATION: 432 E. Atlantic Ave. Delray Beach

DESCRIPTION: Awning Frame Detail

SUBMIT: SCALE: SHEET NO.

Fabric Awning Valance with Roof Liner



THE FOLLOWING DESIGN IS FOR CUSTOMER APPROVAL

Mark Gregory ES 12-001050

COLORS

Sign Specialist

561-716-4531

gregorymg1@aol.com

White Fabric

CUSTOMER:

LOCATION:

CONTACT:

PHONE / FAX:

EMAIL:

Approved By: _____

DATE _____

SCALE NTS

DATE 1/20/16

REVISED 2/9/16

DRAWING NO.

CUT 432 (2)

DRAWN BY

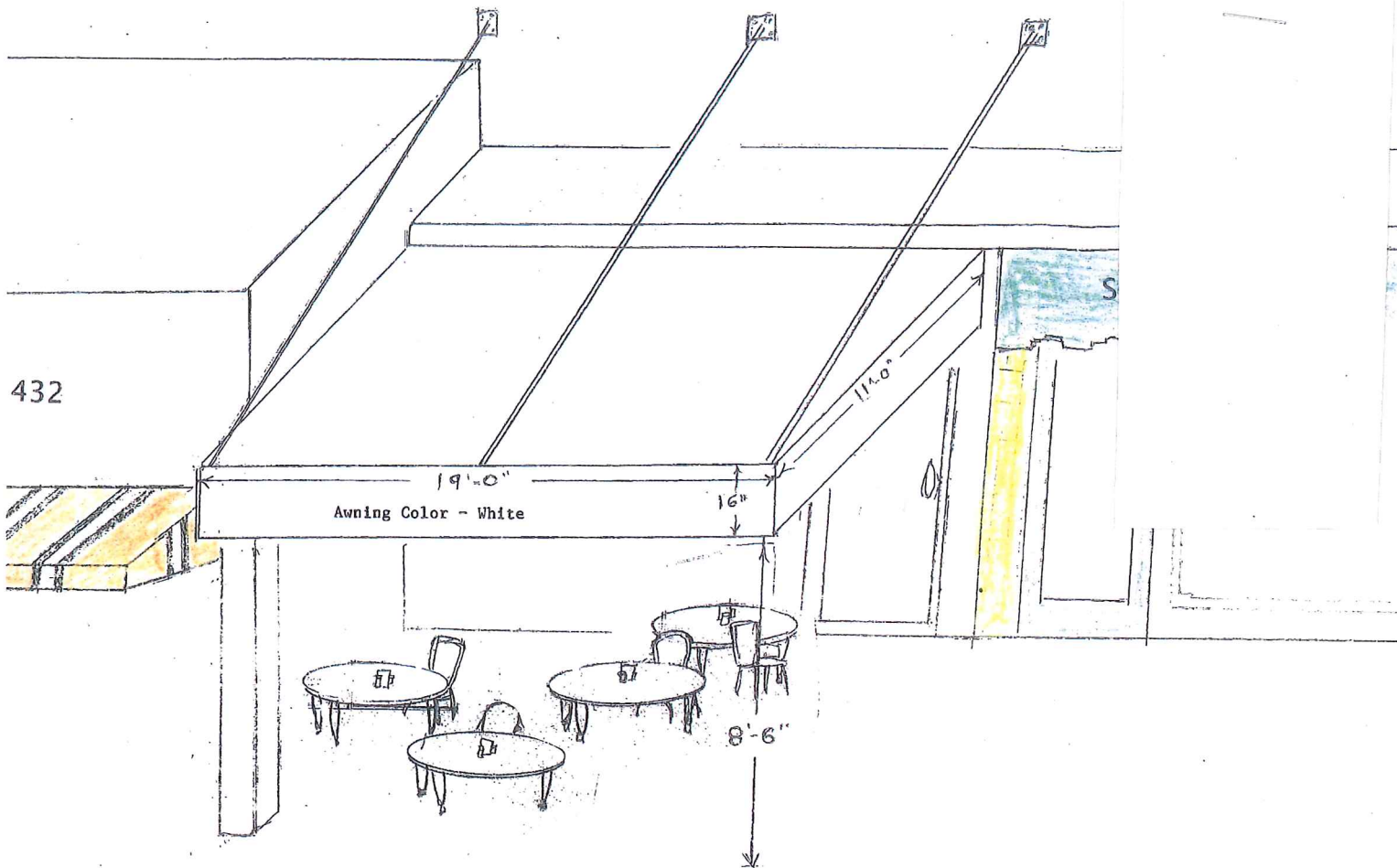
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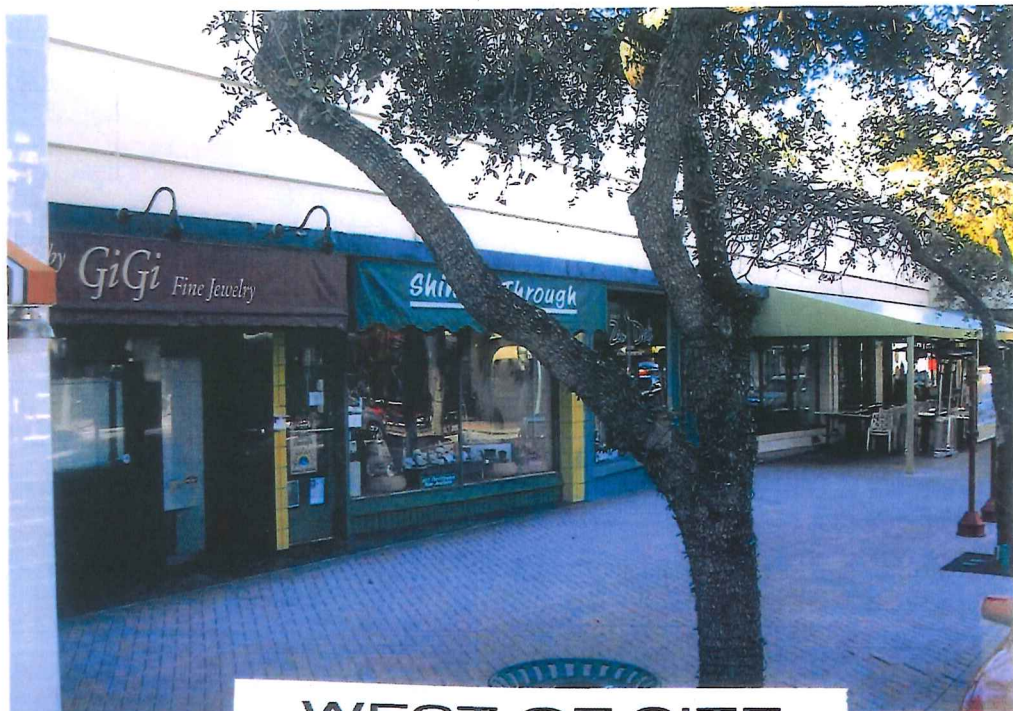
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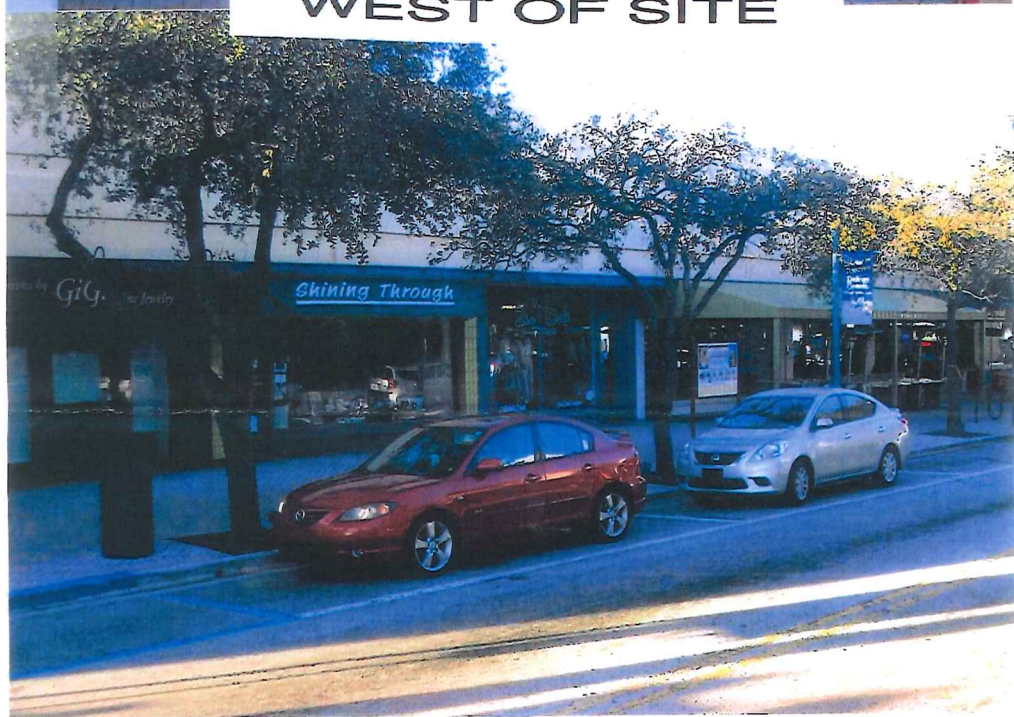


For: Cut 432
432 E. Atlantic
Delray Beach, F

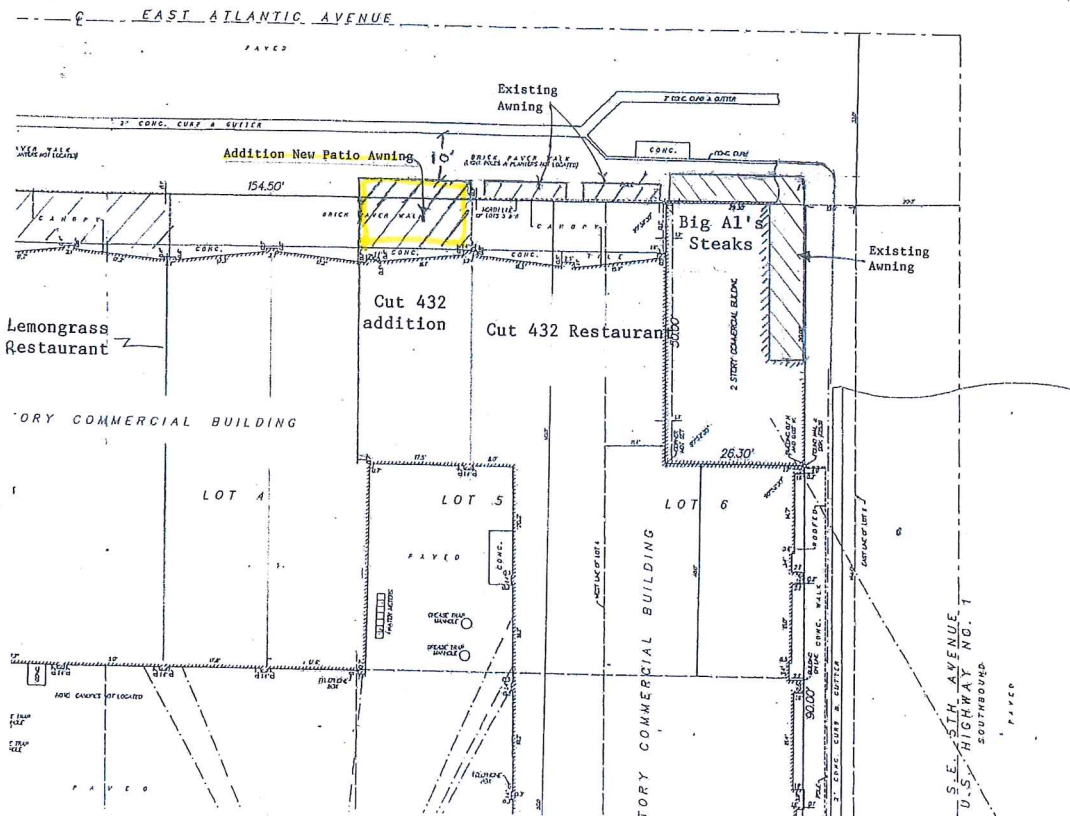




WEST OF SITE



ENLARGED AWNING AREA
OF SITE PLAN



LEGEND

- CL - CENTERLINE
- CONC - CONCRETE
- MIL - MAIL & DRAINAGE
- OVERLAP UTILITY LINES
- FLOOD ZONE X

DESCRIPTION

LOTS 1 AND 5, THE NORTH 30 FEET OF LOT 6, THE NORTH 30 FEET OF THE WEST 1/4 SECTION OF LOT 6, THE SOUTH 30 FEET OF THE NORTH 30 FEET OF THE EAST 1/4 SECTION OF LOT 6, AND THE SOUTH 30 FEET OF LOTS 1 AND 5, ALL IN BLOCK 1, TOWNSHIP 1 NORTH, RANGE 1 WEST, AS RECORDED IN PLAT BOOK 1 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE WEST 1/4 FEET OF THE EAST 1/4 SECTION OF THE NORTH 30 FEET OF LOT 6, AND LESS THE EAST 1/4 FEET OF SAID PROPERTY.

RECEIVED BY

FED 06 2013

City of Delray Beach
Planning & Zoning

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245

7 DEC 64 1 51 PM

2nd CONC. CURF & GUTTER

LYNN WALK
INTERVIEW LOCATED

Addition New Patio Awning

DICK, PAVER & ALK
NIGHT AXES & PLANTERS NOT LOCATED

CONG.

FROM THE

154.50'

BRICK FACTORY #12

MCARDLIE-

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Big Al's Steaks

Lemongrass
Restaurant

Cut 432
addition

Cut 432 Restaurant

2 STORY CONCRETE BUILDING

ORY COMMERCIAL BUILDING

LOT 4

LOT 5

L O T | 6

ρ λ γ ε δ

CHEESE TRAP
HUNTER

PLEASE TRAVEL
WHOLE

NOTE: CAVES NOT LOCATED

7/1/40

5. TRAP
444

P A I V E

2019-2020

TORY COMMERCIAL BUILDING