



*Planning & Zoning Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Kelly Building  
**Project Location:** 1302 Wallace Drive  
**Request:** Class V Site Plan, Landscape Plan, and Architectural Elevations.

**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** April 13, 2016

**Board Action:**

Approved the Class V Site Plan, Landscape Plan, and Architectural Elevations, as presented (6-0, Andrew Younggross absent).

**Project Description:**

The subject property is located on the west side of Wallace Drive between Georgia Street and Milfred Street within the MIC (Mixed Industrial-Commercial) zoning district. The development proposal consisted of the construction of a 2,433 square foot, one-story building for a professional office (accounting and landscape businesses) and storage area associated with the landscape business; provision of eight parking spaces on site; six spaces at the front of the property, and two spaces within the rear storage area of the building; provision of a stabilized sod area for vehicle storage associated with the landscape business; installation of associated landscaping; and, provision of required site improvements including lighting and refuse collection.

Staff supported the request as submitted, as all items were addressed prior to Board review.

**Board comments:**

The Board comments were supportive and minimal; comments of note, which were not of significant concern were regarding the access for garbage collection and ability to revise the dumpster enclosure to be continuous with the front wall plane of the building.

**Public input:**

No members of the public spoke for or against the project.

**Associated Actions:** All required actions were taken.

**Next Action:** SPRAB action is final.

# SITE PLAN REVIEW AND APPEARANCE BOARD

## CITY OF DELRAY BEACH

### ---STAFF REPORT---

**MEETING DATE:** April 13, 2016

**ITEM:** Kelly Building (2015-130) – Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a one-story office and storage building with associated site improvements on the property located at 1302 Wallace Drive.

**RECOMMENDATION:** Approve

#### GENERAL DATA:

**Agent:** Rick Brautigan Architecture

**Applicant:** Schmidt Investment Properties, LLC

**Owner:** Schmidt Investment Properties, LLC

**Location:** West side of Wallace Drive, between Georgia Street and Mildred Street.

**Property Size:** 0.56 Acres

**Future Land Use Map:** CMR (Commerce)

**Current Zoning:** Mixed Industrial and Commercial (MIC)

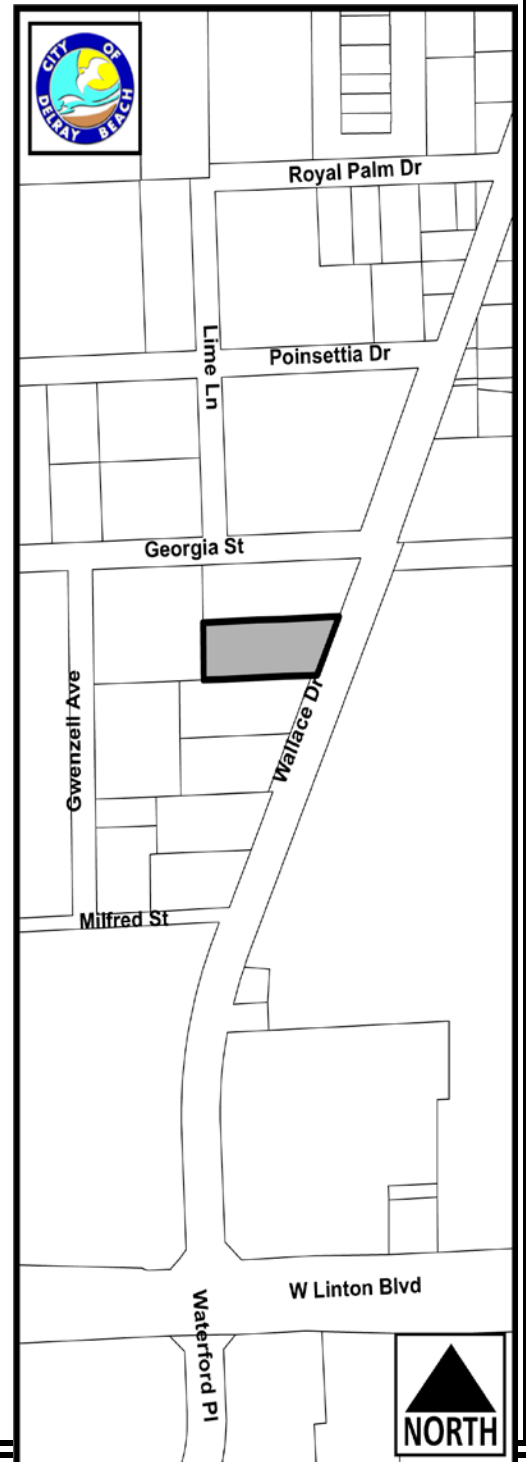
**Adjacent Zoning:**  
North: MIC  
East: Light Industrial (LI)  
South: MIC  
West: MIC

**Existing Land Use:** Abandoned residential structure

**Proposed Land Use:** Office and Storage

**Water Service:** 1½" water service connection to the 10" main connection within the ROW

**Sewer Service:** Connection to the existing 6" sewer main connection within the ROW



## ITEM BEFORE THE BOARD

The action before the Board is approval of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the new construction of a one-story office and storage building and associated site improvements, pursuant to LDR Section 2.4.5(F).

## BACKGROUND

The subject property consists of Lot 2, Platts Acres plat, located on the west side of Wallace Drive between Georgia Street and Milfred Street within the MIC (Mixed Industrial-Commercial) zoning district. A 736 square foot, one-story dwelling is located on the property, and will be demolished.

There are no prior development approvals for the subject property.

## PROJECT DESCRIPTION

The development proposal consists of the following:

- Construction of a 2,433 square foot, one-story building for a professional office (accounting and landscape businesses) and storage area associated with the landscape business;
- Provision of eight parking spaces on site; six spaces at the front of the property, and two spaces within the rear storage area of the building;
- Provision of a stabilized sod area for vehicle storage associated with the landscape business;
- Installation of associated landscaping; and,
- Provision of required site improvements including lighting and refuse collection.

## SITE PLAN ANALYSIS

Pursuant to **LDR Section 3.1.1(D), Compliance with LDRs**, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. The applicable LDRs have been identified and reviewed as throughout this report.

### Mixed Industrial Commercial Zoning District Requirements

Pursuant to **LDR Section 4.4.19(B), Principal Uses and Structures Permitted**, business and professional offices are a permitted use. Additionally, “storage of inventory, equipment, or materials, within a structure or in an approved outside location” is also permitted as an accessory use.

Pursuant to **LDR Section 4.4.19(F), Development Standards**, the development standards set forth in Section 4.3.4 shall apply except as modified. The chart below illustrates the applicable development standards.

	Standard	Proposed
Lot Size (Minimum acres)	0	.56
Lot Width (Minimum)	0'	103.5'
Lot Depth (Minimum)	0'	242.56
Lot Frontage (Minimum)	0'	113.7
Open Space (Minimum)	25%	26.6%*
Lot Coverage (Maximum)	50%	9.48%
Setbacks (Minimum)		
Front (West)	25'	71'
Side Interior (South)	10'	22'
Side Interior (North)	10'	22'
Rear (East)	10'	98'
Building Height (Maximum)	48'	15'1"

\* An additional 20.6% of the site is dedicated to stabilized sod for vehicle storage.

The proposed development complies with the development standards noted above. For notation purposes, the provided open space, which is all pervious non-vehicular green space, slightly exceeds the minimum requirement of 25%. Additional green space, in the form of stabilized sod, where landscaping vehicles will be stored is provided, is located to the rear of the property.

### **Special Landscape Area**

Pursuant to **LDR Section 4.4.19(H)(2), Special Regulations**, within the front yard setback, the first ten feet (10') abutting the right-of-way shall be a landscaped area within which no paving shall be allowed except for driveways and walkways leading to structures on the premises. Such driveways and walkways shall be generally perpendicular to the property line. This 10' landscape area has been provided, and provides an improvement along the streetscape as it is located between the right of way and the front parking area.

### **Overhead Doors**

Pursuant to **LDR Section 4.4.19(H)(3), Special Regulations**, overhead doors shall be prohibited from facing a public right-of-way. The overhead door on the building is located to the rear of the structure, thereby complying with this requirement.

### **Fences**

Pursuant to **LDR Section 4.6.5(C), Walls, Fences, and Hedges: Height Restrictions**, walls, fences, or hedges located in a required interior side or rear yard shall not exceed 8' in height. A 5' high chain link fence is proposed along the rear property line, and a portion of the side interior property lines. The fence will terminate where the 5' high aluminum railing and entry gates are located, which provide vehicular access to the rear of the property.

### **Outside Storage**

Pursuant to LDR Section 4.4.19(H)(4), Special Regulations, except for outside storage approved pursuant to Section 4.6.6(C)(2), all principal and conditional uses shall be conducted within an enclosed building. The outdoor storage of vehicles on site is further reviewed below.

Also, pursuant to **LDR Section 4.6.6(C)(2), Outside Storage**, materials and equipment stored outside must be screened from view from adjacent public rights-of-way in a manner approved by the Site Plan Review and Appearance Board. Outside storage may not be located within a required setback area. It is not intended that sales or customer service be conducted in an area designated for storage. The landscaping equipment will be stored at the rear of the property on a stabilized sod area, and is not located within the rear or side interior setbacks. The area has been screened from adjacent properties with landscaping to minimize view of the area. However, the sufficiency of the screening is to be determined by the Board. While Staff has determined that sufficient screening has been provided, it should be noted that the adjacent properties consist of parking lots and vehicle storage which would not be impacted.

### **Refuse Storage**

Pursuant to **LDR Section 4.6.6(C), Restrictions on Outside Usage**, Dumpsters, recycling containers, and similar service areas must be enclosed on three sides and have vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way.

The refuse area is located to the north side of the building. The enclosure, which includes both a dumpster section and an attached area for recycling, will provide screening of this area with a 6' high masonry wall with opaque, aluminum gates.

## Lighting

Pursuant to **LDR Section 4.6.8(A)(1), General Requirements, Luminaries Height**, the maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot.

Pursuant to **LDR Section 4.6.8(A)(2), Cutoff Luminaire Required**, all perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

The proposed lighting consists of two 20' high aluminum poles in a bronze finish placed to the front of the parking area; four wall mounted fixtures located on the side and rear elevations at 15' high; and two recessed lights within the roof of the covered entry. All fixtures are specified to provide LED lighting. The fixtures are directed downward, and there is minimal spillover as the perimeter levels range from 0.0 to 0.2 footcandles.

Pursuant to **LDR Section 4.6.8(A)(3), Illumination Standards**, the applicable illumination standards are as follows:

	Foot Candles		
	Max Permitted	Min. Permitted	Provided
Building Entrance	10.0	1.0	9.2-5.7
Commercial Parking Lot	12.0	1.0	3.8-1.0

The proposed lighting levels are within the minimum and maximum foot candle ranges which will provide ample lighting for the parking area and entrance.

## Parking

Pursuant to **LDR Section 4.6.9(C)(4)(a)**, requirements for Office Uses: Business and Professional Offices, except governmental, medical, and call center offices, shall provide 4 spaces per 1,000 sq.ft. of net floor area up to 3,000 sq.ft. and then 3.5 spaces per 1,000 sq.ft. of net floor area over the initial 3,000 sq.ft. Additionally, **LDR Section 4.6.9(C)(5)(a), Requirements for Industrial Uses: General**, requires that 1 space shall be provided for each 1,000 sq. ft. of gross floor area devoted to storage and warehouse use.

The required parking for the development is calculated at 1,310 square feet for office use and 1,123 square feet for warehouse/storage use. Therefore, 6 spaces are required for the office use, and two spaces are required for the warehouse/storage space, for a total of 8 parking spaces. Six parking spaces have been provided at the front of the property, and an additional two spaces have been provided within the storage area of the building which is accessed through the overhead door. While these spaces are not available to the general public, they are part of the required parking for the storage area, which is also not available to the general public. These spaces would be utilized by the business owners or their employees. The required parking has been provided.

## Right-of-Way and Sidewalk Requirements

Pursuant to LDR Sections 5.3.1(A) and (D) and Table T-1 of the Comprehensive Plan Transportation Element, the following table describes the required right-of-way and the existing right-of-way adjacent to the subject property:

	ROW Requirement	Existing ROW	Proposed ROW	Required Dedication	Sidewalk Required	Sidewalk Proposed
Wallace Drive	80'	60'	60'	0'	5'	5'

In consideration of the above requirements, a 10' right of way dedication along Wallace Drive is required, as well as the installation of a 5' wide sidewalk. These requirements have been provided on the plans.

## **Plat**

Pursuant to **LDR Section 5.1.3(A), Plat Required**, a plat is required for the dedication of any street for public use. Therefore, the applicant will be required to plat the property, and have it recorded prior to the issuance of the Certificate of Occupancy by the Chief Building Official.

## **LANDSCAPE PLAN ANALYSIS**

The site presently consists of five trees, four of which will remain on site. The Live Oak will be removed "due to proposed grades for construction." The proposed landscaping significantly enhances the property and consists of a variety of trees including Silver Buttonwood, Live Oak, Mahogany, Montgomery Palm, Sabal Palm, Alexander Palm, and Green Buttonwood. The trees will be accented by a variety of annuals throughout the site.

The proposed landscape plan has been reviewed for compliance with LDR Section 4.6.16, and has been deemed complete with no outstanding technical issues remaining.

## **ARCHITECTURAL ELEVATIONS ANALYSIS**

Pursuant to **LDR Section 4.6.18(E), Criteria for Board Action**, the following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The architectural elevations consist of a one-story office and storage building measuring approximately 15'-1" to the mean roof height. The exterior design consists of a smooth stucco finish and painted Ice Mist, accented by a stone finish front entry. The louvered window shutters, solid doors, and gates throughout the site including the dumpster enclosure will be finished in Pinata, a bright orange. The hip roof will be finished with metal in a bare galvalume finish. The northwest and southeast corner add interest to the modest building with curved corner wall planes.

In consideration of the criteria above, the overall design is simple yet appropriate for the district and location and will be a significant and much appreciated improvement to the area. The design will contribute to the image of the area within the City and will not negatively impact or materially appreciate the surrounding environment, or that of the site itself. Further, it is deemed to be in harmony with the general area, and no requested revisions are noted.

## **REQUIRED FINDINGS**

Pursuant to **Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development

application. These findings relate to consistency with the Future Land Use Map, Concurrency, Comprehensive Plan Consistency, and Compliance with the Land Development Regulations.

**Section 3.1.1(A), Future Land Use Map:** The subject property has a CMR (Commerce) Future Land Use Map (FLUM) designation and is zoned MIC (Mixed Industrial and Commercial), which permits business and professional office uses and storage of equipment in an approved outside location. The MIC zoning is consistent with the CMR land use designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map designation.

**Section 3.1.1(B), Concurrency:** Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

**Water and Sewer:** Water service will be provided via connection at the southeast corner of the property. Sewer service will connect to the 8" line within the right of way at the east of the property. Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

**Streets and Traffic:** A Traffic Impact Analysis has been submitted that indicates that the proposed office and storage uses building will generate approximately 54 average daily trips and with 14 total (both AM and PM) peak hour trips estimated. Given that the peak hour trips are less than 50, transmittal to the Palm Beach County Traffic Engineering Division is not required for a determination of concurrency.

**Parks and Recreation Facilities:** Park dedication requirements do not apply for non-residential uses.

**Solid Waste:** Based upon the Solid Waste Authority's Trash Generation Rates, trash generated each year by the proposed office use will be 3.54 tons of solid waste per year ( $1,310 \times 5.4 \div 2,000 = 3.54$ ). The storage component is not determined to generate solid waste. The increase can be accommodated by existing facilities, thereby meeting this level of service standard as the Solid Waste Authority forecasts that capacity will be available through the year 2047.

**Schools:** School concurrency findings do not apply for non-residential uses.

**Drainage:** The submitted paving, grading, and drainage plan illustrates a catch basin system will be utilized with two catch basins located on the south side of the building, and two located on the north side of the building. The grading of the site will also direct water flow to the stabilized sod area at the rear of the property.

**Section 3.1.1 (C) – Consistency, Standards for Site Plan Actions:** As described in Appendix A, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

**Section 3.1.1 (D) - Compliance with the Land Development Regulations:** As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made.

**Section 2.4.5 (F)(5), Compatibility (Site Plan Findings):** The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table identifies the zoning designations and land uses that are adjacent to the subject property:

Zoning Designation		Use
North:	MIC	Warehouse
South:	MIC	Vehicle Storage
East:	Light Industrial (LI)	Auto Sales/Vehicle Storage
West:	MIC	Auto Sales/Vehicle Storage

The surrounding land uses will not be negatively impacted by the proposed development. The added businesses and overall development will assist in improving the area while providing compatibility within the neighborhood.

**COMPREHENSIVE PLAN POLICIES:** A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted:

**Future Land Use Element Objective A-1:** Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property is to be redeveloped for industrial use which is appropriate for its MIC zoning designation. The new office building and addition of accounting and landscaping businesses will encourage further appropriate development along this section of Wallace Drive.

**Future Land Use Element Policy C-1.8:** The Wallace Drive Redevelopment Plan includes the area that is bordered by SW 10th Street on the north; Milfred Street on the south; SW 9th Avenue on the east; and Tangelo Terrace on the west. The area had developed under County jurisdiction into a mix of incompatible land uses with limited public infrastructure and little or no code enforcement. The Wallace Drive Industrial Area Redevelopment Plan was adopted by City Commission on January 6, 2004. The Plan establishes proposed land use designations for the Redevelopment Area. Future development must be in accordance with the provisions of the Redevelopment Plan. The Redevelopment Plan encourages the development of light industrial, limited commercial and office uses in an urban setting.

In areas zoned MIC (Mixed Industrial and Commercial) the goal of the Wallace Drive Redevelopment Plan is to replace all of the existing nonconforming residential uses with light industrial, commercial and office uses. The proposed development replaces a vacant, abandoned structure once utilized as a residence, and replaces it with a permitted use of professional office with vehicle storage for the landscape business. The redevelopment of the site is desired by the plan and meets the intent by complying with the LDRs.

## REVIEW BY OTHERS

Courtesy notices have been provided to the following homeowner's associations, which have requested notice of developments in their areas:

- Delray Citizens Coalition
- Southridge Homeowner's Association
- Grove of Delray

No public notice is required for the subject request. Letters of objection, if any, will be presented at the meeting.

## ASSESSMENT AND CONCLUSION

The development proposal involves the construction of a new, one-story office and storage building which will house a small accounting business and landscape business of a local family. The proposed

development will significantly improve the property, provide an appropriate and permitted use, and enhance the area and streetscape of Wallace Drive. The proposal meets the City's technical requirements of the LDRs and is consistent with the Comprehensive Plan. As a result, positive findings can be made with respect to Section 2.4.5(F)(5), regarding compatibility of the proposed development with surrounding properties.

<b>ALTERNATIVE ACTIONS</b>
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- A. Continue with direction.
- B. Move approval of the Class V Site Plan, Landscape Plan and Architectural Elevations for the **Kelly Building** located at **1302 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F), 4.6.16, 4.6.18 and 3.1.1 (Required Findings) of the Land Development Regulations.
- C. Move denial of the Class V Site Plan, Landscape Plan and Architectural Elevations for the **Kelly Building** located at **1302 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F), 4.6.16, 4.6.18 and 3.1.1 (Required Findings) of the Land Development Regulations.

<b>RECOMMENDED ACTION</b>
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By Separate Motions:

**Site Plan**

Move approval of the Class V Site Plan (2015-130) for the **Kelly Building** located at **1302 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F) and 3.1.1. (Required Findings) of the Land Development Regulations

**Landscape Plan**

Move approval of the Landscape Plan (2015-130) for the **Kelly Building** located at **1302 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with Section 4.6.16 of the Land Development Regulations.

**Architectural Elevations**

Move approval of the Architectural Elevations for the **Kelly Building** located at **1302 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Report prepared by: Amy E. Alvarez, AICP, Senior Planner

<p style="text-align: center;"><b>APPENDIX A</b> <b>STANDARDS FOR SITE PLAN ACTIONS</b></p>
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- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable     X      
Meets intent of standard         
Does not meet intent       

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable         
Meets intent of standard     X      
Does not meet intent       

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable         
Meets intent of standard     X      
Does not meet intent       

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable     X      
Meets intent of standard         
Does not meet intent



PROPOSED BUILDING

INDEX OF DRAWINGS

SURVEY				BUILDING ARCHITECTURE				CIVIL ENGINEERING				LANDSCAPE ARCHITECTURE			
CAULFIELD & WHEELER, INC. 7900 Glades Rd. Suite 100 Boca Raton, FL 33434				RICK BRAUTIGAN ARCHITECTURE, INC. 1025 South Dixie Highway Delray Beach, Florida, 33483				JOHN A. GRANT, JR., INC. 3333 North Federal Highway Boca Raton, FL 33431				CARTER & ASSOCIATES LANDSCAPE ARCHITECTS, INC. 74 NE 5th Avenue Delray Beach, FL 33483			
No.	Title	Issued	Revisions	No.	Title	Issued	Revisions	No.	Title	Issued	Revisions	No.	Title	Issued	Revisions
1	Boundary Survey.....	3-12-15	2-4-16	A1.	Cover/Data .....	3-24-15	2-4-16	1	Cover Sheet.....	3-24-15	2-4-16	L1	Overall Existing Tree Removal & Relocation Plan.....	3-12-15	2-4-16
				A2.	Proposed Site Plan .....	3-24-15	2-4-16	2	Stormwater Erosion Control Notes & Details.....	3-24-15	2-4-16	L2	Landscape Plan.....	3-12-15	2-4-16
				A3.	Floor Plan/Code Data .....	3-24-15	2-4-16	3	General Notes, Typ. Cross Sections & Drainage Details.....	3-24-15	2-4-16	L3	Landscape Notes & Details.....	3-12-15	2-4-16
				A4.	Elevations.....	3-24-15	2-4-16	4	Paving Details & Specifications.....	3-24-15	2-4-16	L4	Irrigation Plan.....	3-12-15	2-4-16
				A5.	Elevations.....	3-24-15	2-4-16	5	Water & Sewer Details.....	3-24-15	2-4-16	L5	Bubbler Plan.....	3-12-15	2-4-16
				A6.	Photometric Plan.....	3-24-15	2-4-16	6	Paving, Grading & Drainage Improvements with Water & Sewer Services.....	3-24-15	2-4-16	L6	Irrigation Details.....	3-12-15	2-4-16
				A7.	Color Elevations .....	3-24-15	2-4-16	7	Striping & Signage Plan.....	3-24-15	2-4-16				
				A8.	Color Elevations .....	3-24-15	2-4-16								
				A9.	Composite Site Plan .....	3-24-15	2-4-16								

"Kelly Building"  
for  
Schmidt Investment Properties, L.L.C.  
1302 Wallace Drive · Delray Beach · FL

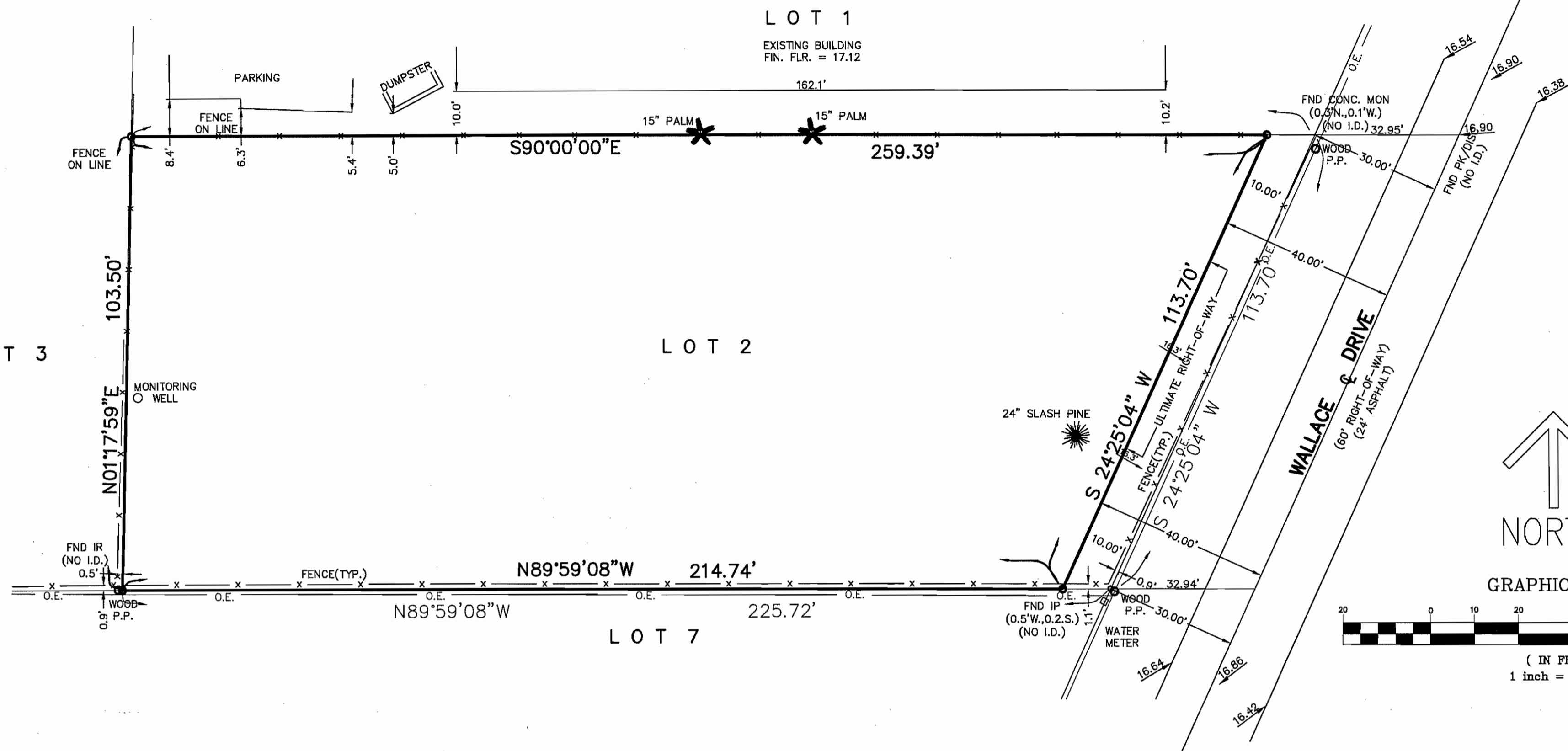
Cover Sheet

ARCHITECTURE  
RICK BRAUTIGAN  
1025 S Dixie Highway  
Delray Beach, FL 33483  
Ph: 561.272.9086  
Fax: 561.272.5636  
AAC002029

Kelly Building for:  
Schmidt  
Investment  
Properties, LLC  
1302 Wallace Drive  
Delray Beach, FL 33444

RBA.PN.13714.09

© Sprab Submittal Set:  
03-24-15  
▲● Sprab Submittal Set:  
02-4-16  
▲● Sprab Submittal Set:  
03-10-16



**TYPICAL LEGEND NOTES**

A/C - AIR CONDITIONER  
 ASPH. - ASPHALT  
 ALUM. - ALUMINUM  
 BLDG. - BUILDING  
 BLK. - BLOCK  
 C & G - CURB AND GUTTER  
 C.B. - CATCH BASIN  
 C.M.P. - CORRUGATED METAL PIPE  
 C.O. - CLEANOUT  
 CALC. - CALCULATED  
 CATV - CABLE TELEVISION RISER  
 CBS - CONCRETE BLOCK & STUCCO  
 CONC. - CONCRETE  
 COR. - CORNER  
 COV. COVERED  
 O.E. - DRAINAGE EASEMENT  
 E.O.P. - EDGE OF PAVEMENT  
 E.O.W. - EDGE OF WATER  
 ELEC. - ELECTRIC  
 ELEV. - ELEVATION  
 ESM. - EASEMENT  
 EXIST. - EXISTING  
 F.H. - FIRE HYDRANT  
 F.P.L. - FLORIDA POWER & LIGHT  
 FIN. - FINISHED  
 FLR. - FLOOR  
 FND. - FOUND  
 G.V. - GATE VALVE  
 I.P. - IRON PIPE  
 I.R./CAP - IRON ROD & CAP  
 INT. - INTERSECTION  
 INV. - INVERT  
 L.P. - LIGHT POLE  
 CHATT. - CHATTAHOOCHEE  
 L.W.D.D. - LAKE WORTH DRAINAGE DISTRICT  
 P.R.M. - PERMANENT REFERENCE MONUMENT

LOW. - LOWEST  
 M.H. - MANHOLE  
 MEAS. - MEASURED  
 MON. - MONUMENT  
 N/T - NAIL & TAB  
 NO. - NUMBER  
 O.E. - OVERHEAD ELECTRIC  
 O/L - ON LINE  
 O/S - BUILDING OFFSET  
 O.R.B. - OFFICIAL RECORD BOOK  
 P.B. - PLAT BOOK  
 P.C. - POINT OF CURVATURE  
 P.C.P. - PERMANENT CONTROL POINT  
 P.I. - POINT OF INTERSECTION  
 P.O.B. - POINT OF BEGINNING  
 P.O.C. - POINT OF COMMENCEMENT  
 P.P. - POWER POLE  
 PROP. - PROPOSED  
 P.T. - POINT OF TANGENCY  
 R - RADIUS  
 R.R. - RAILROAD  
 R/W - RIGHT-OF-WAY  
 RES. - RESIDENTIAL  
 RGE. - RANGE  
 S.B.T. - SOUTHERN BELL TELEPHONE  
 SAN. - SANITARY  
 SEC. - SECTION  
 SQ. FT. - SQUARE FEET  
 T.O.B. - TOP OF BANK  
 T.V. - TELEVISION  
 TWP. - TOWNSHIP  
 U.E. - UTILITY EASEMENT  
 W.M. - WATER METER  
 Δ - DELTA (CENTRAL ANGLE)  
 ALUM. - ALUMINUM

○ SET 5/8" IR/CAP LB 3591  
 ○ DENOTES PROPOSED ELEVATION MONUMENT  
 → DIRECTION OF FLOW

# NOTES:

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. LANDS SHOWN HEREON WERE ABSTRACTED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY POLICY NUMBER: OF6-8251887, DATED SEPTEMBER 29, 2014@11:00 A.M..
3. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
4. BEARINGS SHOWN HEREON ARE RELATIVE TO ASSUMED DATUM.
5. THE "LAND DESCRIPTION" HEREON IS IN ACCORD WITH THE INSTRUMENT OF RECORD.
6. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
7. FLOOD ZONE: "B"; COMMUNITY PANEL NO. 120192 0220 B; DATE: OCTOBER 15, 1982.
8. PROPERTY ADDRESS: 1302 WALLACE DRIVE, DELRAY BEACH, FLORIDA.
9. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
10. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

# DESCRIPTION:

LOT 2, "PLATT'S ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 47 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS ULTIMATE RIGHT-OF-WAY, CONTAINING 24,537 SQUARE FEET / 0.56 ACRES, MORE OR LESS.

SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA.  
 CONTAINING 25,674 SQUARE FEET / 0.5894 ACRES, MORE OR LESS.

# SCHEDULE B EXCEPTIONS

Exception	Instrument Book & Page	Affect on Property
7	Plat Book 21, Page 47	Affects as shown
8	ORB 5798, Page 1205	Affects not plottable

# CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON SEPTEMBER 12, 2014. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

*Jeffrey R. Wagner*  
 JEFFREY R. WAGNER, P.L.S.  
 REG. LAND SURVEYOR #5302  
 STATE OF FLORIDA - LB #3591

# CERTIFIED TO:

SCHMIDT INVESTMENT PROPERTIES LLC, A FLORIDA LIMITED LIABILITY COMPANY;  
 FIRST CITIZENS BANK & TRUST, ITS SUCCESSORS AND/OR ASSIGNS ATIMA;  
 LAW OFFICE OF CHRISTOPHER FINLEY, P.L.;  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND PLANNING  
 LANDSCAPE ARCHITECTURE - SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452

**PLATT'S ACRES  
 LOT 2  
 BOUNDARY SURVEY**

ADDED TITLE INFORMATION		
UPDATE SURVEY	8/7/15	ACE
REVISED CERTIFICATION	9/24/14	ACE
UPDATE SURVEY	9/12/14	ACE
ULTIMATE RIGHT-OF-WAY	6/21/07	OMR
ADDED ADDITIONAL TREES	2/7/06	HK
ADDED TREES AND TOPO	1/16/06	APZ
ADD CERTIFICATION	9/29/04	JJ
REVISIONS	DATE	BY

DATE	4/27/04	SCALE	1"=20'
FLD.BK.	N/A	CHECKED BY	JRW
PAGE	N/A		
FILE NAME	4598L2_9-12-14.dwg		

4598-2

SHT.NO.  
**1**  
 OF 1 SHEETS

SEE SHEETS A4 & A5 FOR ELEVATIONS & SHEET A6 FOR PHOTOMETRICS PLAN, INDICATING THE LOCATION OF LIGHT FIXTURES ON BLDG'S EXTERIOR FACADES

SEE SHEET A4 - FRONT ELEVATION FOR LOCATION/NOTES ON KNOX BOX & TYPE OF CONSTRUCTION SIGN

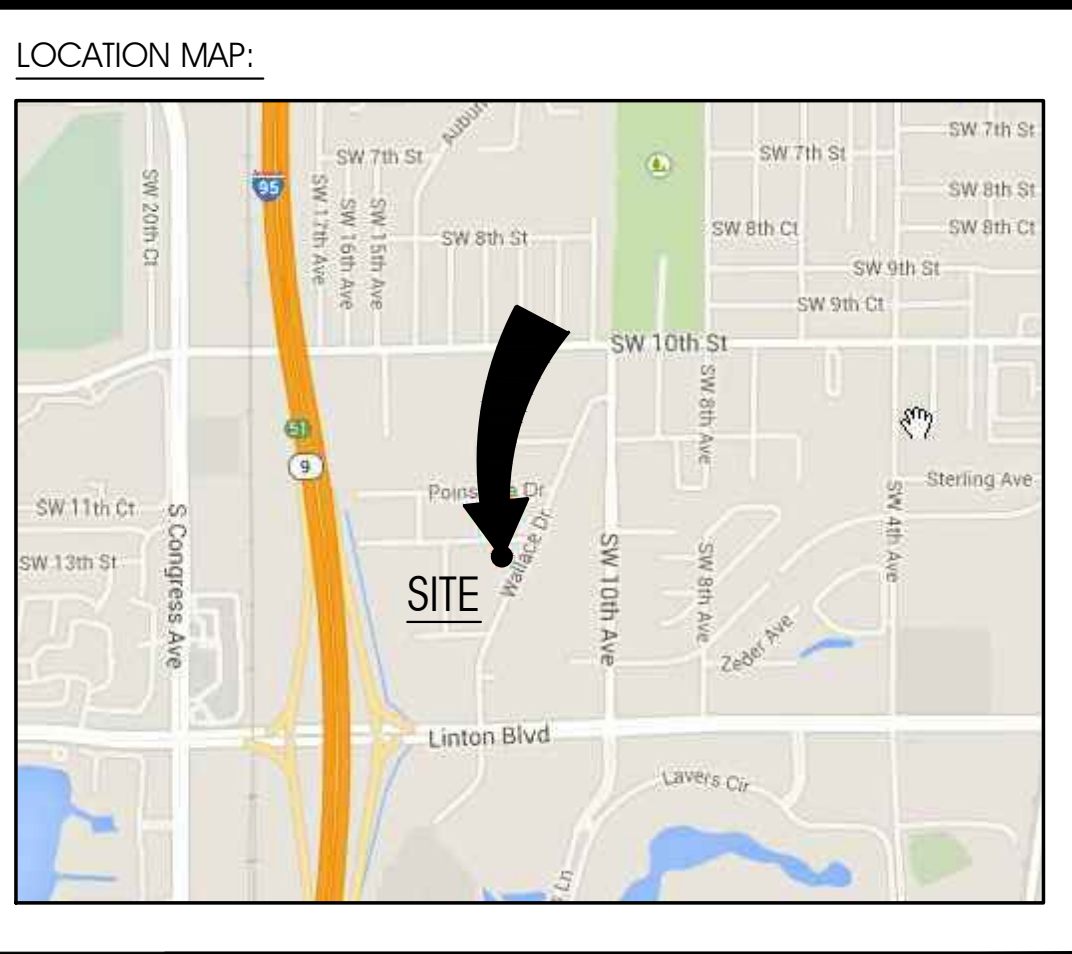
ALL UTILITIES TO BE UNDERGROUND

BICYCLE PARKING :  
Per LDR Section 4.4.13(i)(4) and Table 4.4.13(L):  
-Bicycle Parking Required:  
2 spaces per 1,000 SF of gross floor area:  
2,433 SF = 5 spaces  
-Bicycle Parking Provided: 7 spaces

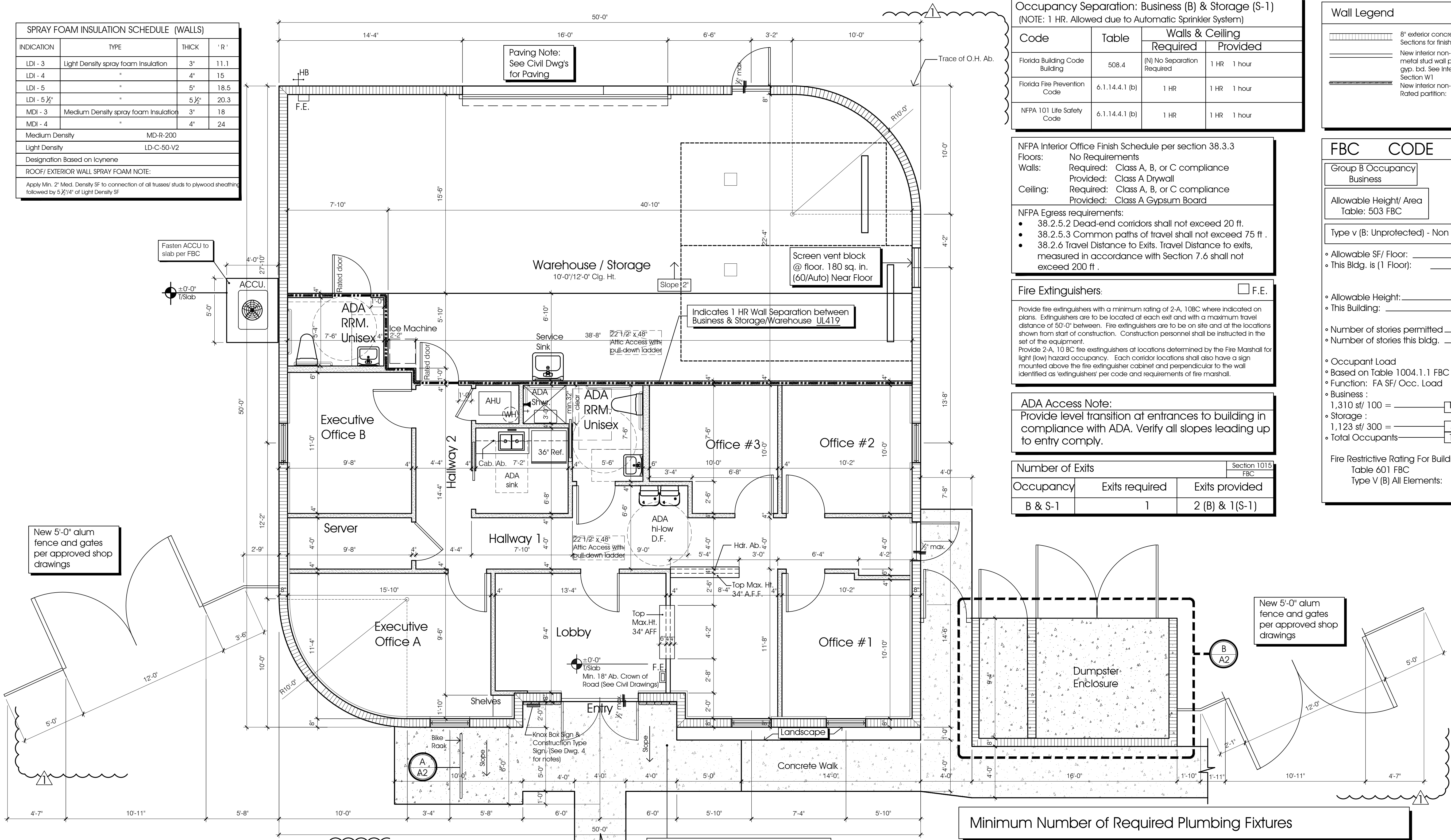
APPLICABLE CODES	
1. Florida Building Code 2010 Edition	
2. Florida Fire Prevention Code 5th Edition 2012 Florida specific edition	
3. NFPA 1 & 101 Life Safety Code 2012 Florida specific editions	
4. Chapter 11 Florida Accessibility Code for Building Construction in Florida Building Code 2010 Edition.	
OCCUPANCY:	Proposed: B (Business) / S (Storage)
TYPE OF CONSTRUCTION:	V UNPROTECTED
STRUCTURAL DATA:	
1. Basic Wind Speed	170
	3 sec gust
2. Wind Importance Factor	1.0
3. Category	2
4. Wind Exposure	C
5. Internal Pressure Coefficient	See Elevation
6. Building design	Enclosed
	+/- 0.18
7. Soil Bearing Cap. Min.	2,500 PSF

PROJECT DATA	
BUILDING SETBACKS:	
Building data provided pursuant to LDR Section 4.3.4(K), Development Standard Matrix:	
Setbacks:	
Front:	25 feet
Interior side:	10 feet
HEIGHT:	48 FEET MAX.
Rear:	10 feet
Street side:	N/A
FLOORS:	2
ZONING:	
MIC - Mixed Industrial & Commercial	
Future Land use designation: CMR	
LEGAL DESCRIPTION	
Lot 2, "Platt's Acres", according to the plat thereof, as recorded in plat book 21, page 47 of the public records of Palm Beach County, Florida, less ultimate right-of-way, containing 24,537 square feet / 0.56 acres, more or less.	
Said lands situate in Palm Beach County, Florida.	
Containing 25.674 square feet / 0.5894 acres, more or less.	
Subject to easements, restrictions, reservations, covenants, and rights-of-way of record.	

PROJECT DATA	
AREAS:	
Office (Business/Professional).....	1,310 s.f.
Warehouse .....	1,123 s.f.
Total floor area:	2,433 s.f. 9.48% of site
Parking/paved area.....	10,755 s.f. 43.8% of site
Open space (25%min.Non-vehicular).....	6,527 s.f. 26.6% of site
(See Site Plan for SF breakdown noted at landscape & conc. walk areas)	
Stabilized grass at rear for vehicle storage:	5,064 s.f. 20.6% of site
Total Site area.....	24,537 s.f. (0.56 acres)
PARKING:	
Parking spaces required pursuant to LDR Section 4.6.9:	
Use: Warehouse	Calculated at 1 spaces per 1,000 = 2 spaces
Use: Office	Calculated at 4 spaces per 1,000 = 6 spaces
Total:	8 spaces
Parking spaces Provided:	
Regular	5 spaces
Compact	2 space
Handicapped	1 space
Total:	8 spaces



SPRAY FOAM INSULATION SCHEDULE ( WALLS )			
INDICATION	TYPE	THICK	' R '
LDI - 3	Light Density spray foam Insulation	3"	11.1
LDI - 4	"	4"	15
LDI - 5	"	5"	18.5
LDI - 5 1/2	"	5 1/2"	20.3
MDI - 3	Medium Density spray foam Insulation	3"	18
MDI - 4	"	4"	24
Medium Density		MD-R-200	
Light Density		LD-C-50-V2	
Designation Based on Isocynene			
ROOF/ EXTERIOR WALL SPRAY FOAM NOTE:			
Apply Min. 2" Med. Density SF to connection of all trusses/ studs to plywood sheathing followed by 5 1/2" of Light Density SF			



Occupancy Separation: Business (B) & Storage (S-1)				
(NOTE: 1 HR. Allowed due to Automatic Sprinkler System)				
Code	Table	Walls & Ceiling		
		Required	Provided	
Florida Building Code Building	508.4	(N) No Separation Required	1 HR	1 hour
Florida Fire Prevention Code	6.1.14.4.1 (b)	1 HR	1 HR	1 hour
NFPA 101 Life Safety Code	6.1.14.4.1 (b)	1 HR	1 HR	1 hour

Wall Legend	
	8" exterior concrete block wall. See Section for finishes
	New interior non-bearing 3-5/8" metal stud wall partition with 5/8" gyp. bd. See Interior Wall Type Section W1
	New interior non-bearing 1-HR Rated partition.

FBC CODE DATA

Group B Occupancy Business	
Allowable Height/ Area Table: 503 FBC	
Type v (B: Unprotected) - Non Sprinklered	
• Allowable SF/ Floor:	9,000
• This Bldg. is (1 Floor):	2,433
• Allowable Height:	40
• This Building:	21'-1"
• Number of stories permitted	2
• Number of stories this bldg.	1
• Occupant Load	
• Based on Table 1004.1.1 FBC	
• Function: FA SF/ Occ. Load	
• Business :	100 Gross
1,310 sf/ 100 =	14 occupants
• Storage :	300 Gross
1,123 sf/ 300 =	4 occupants
• Total Occupants	18 Occupants
Fire Restrictive Rating For Building Elements	
Table 601 FBC	
Type V (B) All Elements:	
O-HRS	

NFPA Interior Office Finish Schedule per section 38.3.3	
Floors:	No Requirements
Walls:	Required: Class A, B, or C compliance
	Provided: Class A Drywall
Ceiling:	Required: Class A, B, or C compliance
	Provided: Class A Gypsum Board
NFPA Egress requirements:	
• 38.2.5.2 Dead-end corridors shall not exceed 20 ft.	
• 38.2.5.3 Common paths of travel shall not exceed 75 ft .	
• 38.2.6 Travel Distance to Exits. Travel Distance to exits, measured in accordance with Section 7.6 shall not exceed 200 ft .	

Fire Extinguishers:	
Provide fire extinguishers with a minimum rating of 2-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum travel distance of 50'-0" between. Fire extinguishers are to be on site and at the locations shown from start of construction. Construction personnel shall be instructed in the set of the equipment.	
Provide 2-A, 10 BC fire extinguishers at locations determined by the Fire Marshall for light (low) hazard occupancy. Each corridor locations shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall identified as 'extinguishers' per code and requirements of fire marshal.	

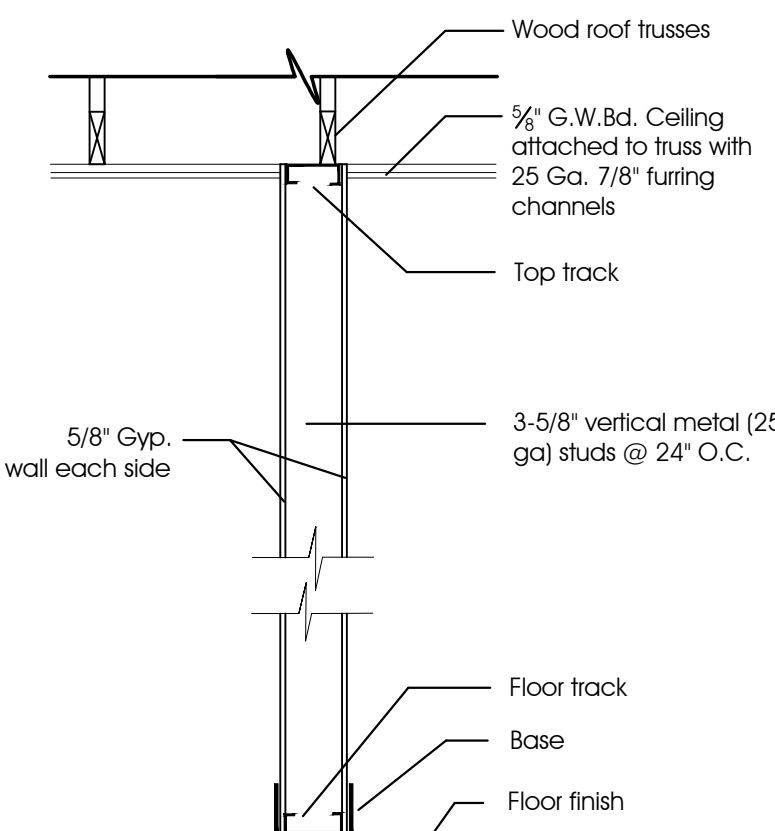
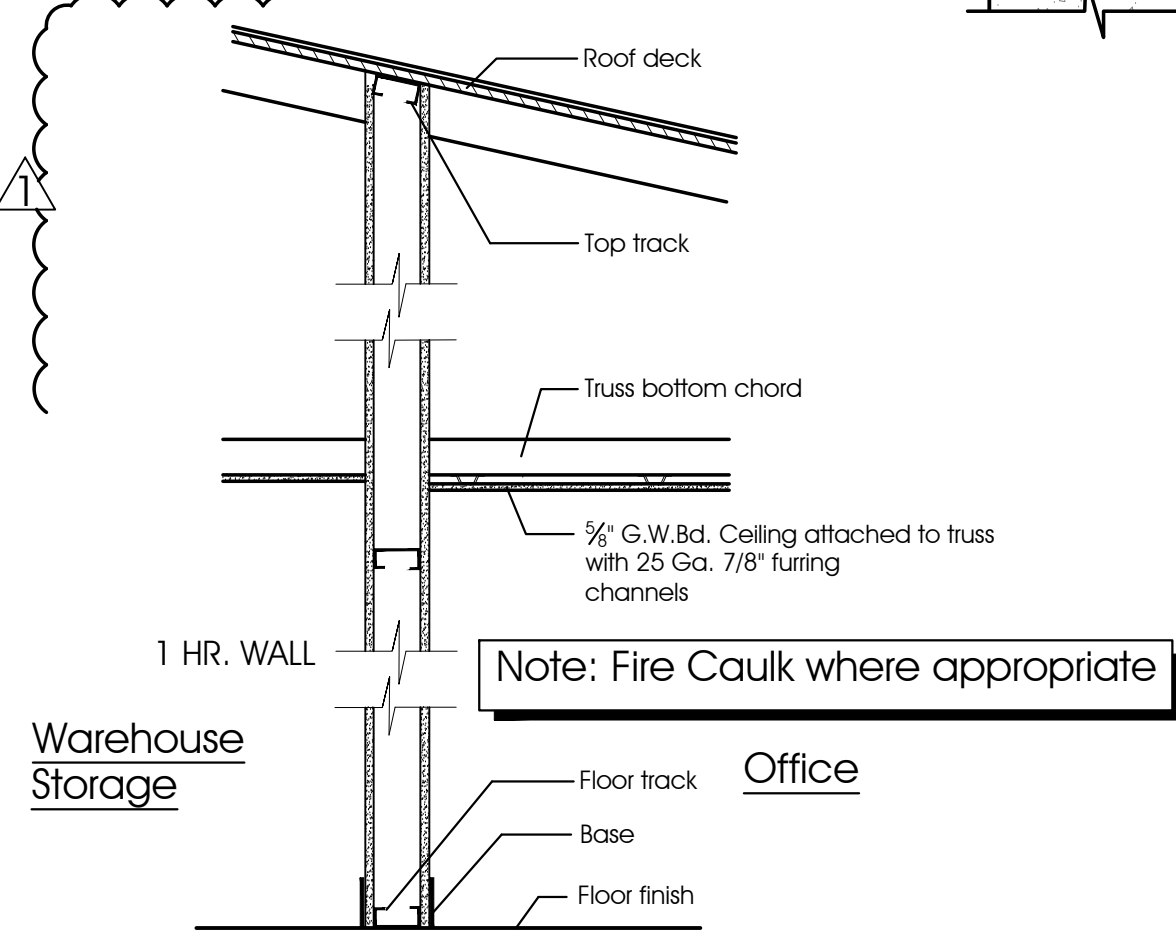
ADA Access Note:	
Provide level transition at entrances to building in compliance with ADA. Verify all slopes leading up to entry comply.	

Number of Exits		
Occupancy	Exits required	Exits provided
B & S-1	1	2 (B) & 1(S-1)

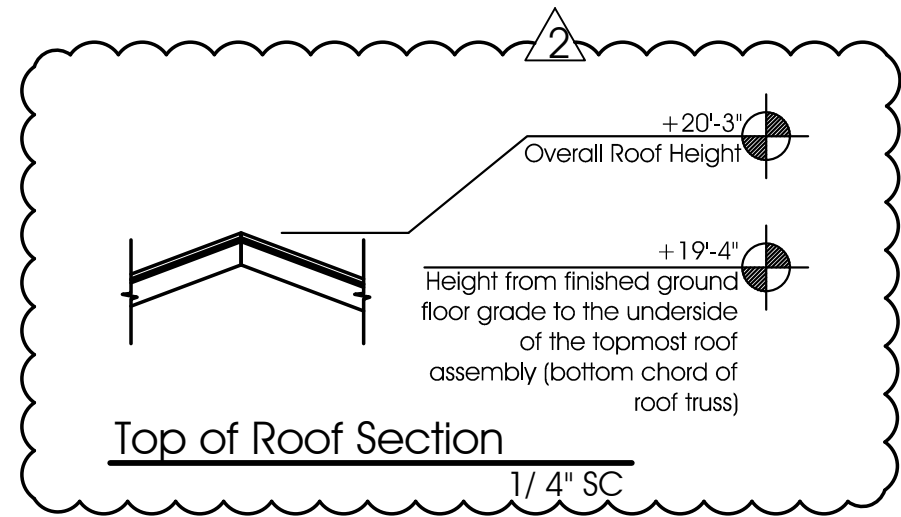
Minimum Number of Required Plumbing Fixtures

Classification	Occupancy	Water Closets	Lavatories	Bathtubs/ Showers	Drinking Fountain	Other
Business	B	1 Per 25 per the 1st 50	1 Per 40 per the 1st 80	—	1 Per 100	—
Storage	S-1	1 Per 100	1 Per 100	—	1 Per 1,000	1 Service Sink

Toilet Room Calculations: Total of Occupants	
Required Plumbing Fixtures for Business Use (1,310 SF) under FBC Plumbing Table 403.1:	
1 Water closet/ 1 Lavatory 1 drinking fountain per 100 people. (H/La)	
Provided: 1 Unisex Restrooms with 1 WC & 1 Lav. each As a Business under FBC Plumbing 403.2 Exception 2 separate facilities not required in Tenant space with less than 15 Occupants	
Required Plumbing Fixtures for Storage Use (1,123 SF) under FBC Plumbing Table 400.1:	
1 Water closet 1 Lavatory 1 drinking fountain per 1,000 people. 1 Service sink	
Provided: 1 Unisex Restroom with 1 WC & 1 Lav. each, One service sink	



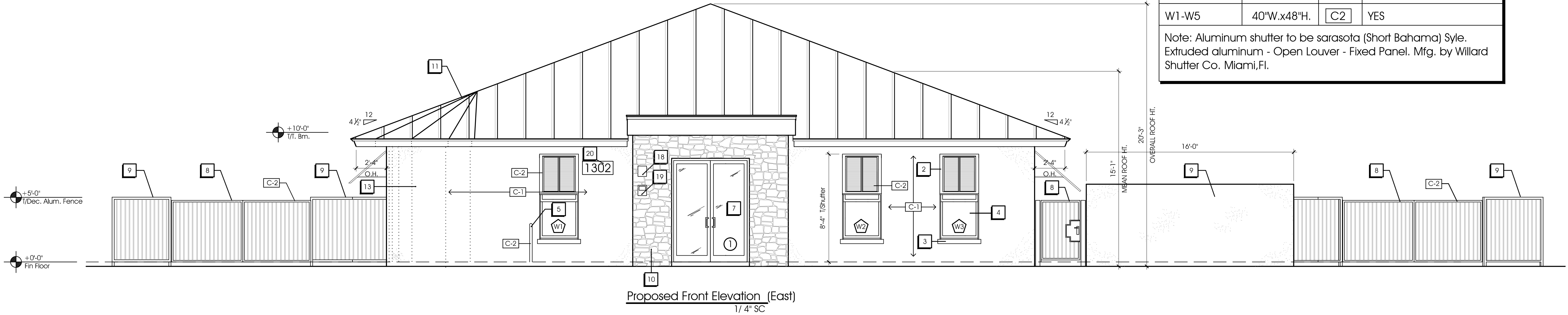
ALL DESIGN, CONCEPTS, AND IDEAS CONTAINED AND REPRESENTED HEREIN ARE THE PROPERTY OF RICK BRAUTIGAN ARCHITECTURE, INC. AND MAY NOT BE ALTERED, CHANGED, MODIFIED OR COPIED, WITHOUT THE PERMISSION OF RICK BRAUTIGAN ARCHITECTURE, INC. EXPRESSED IN WRITING.  
1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS. 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ADVISE ARCHITECT OF ANY DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED.  
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL: A) ALL DIMENSIONS HAVE BEEN VERIFIED BY CONTRACTOR B) SHOP DRAWINGS HAVE BEEN REVIEWED AND ACCEPTED BY THE ARCHITECT



COLOR LEGEND	
C-1 Color 1/ Base Benjamin Moore OC-67 - Ice Mist	C-2 Color 2/ Accent Benjamin Moore 007 - Piñata

ALUMINUM SHUTTER SCHEDULE			
Location	Size	Color	NOA
W1-W5	40"W.x48"H.	C2	YES

Note: Aluminum shutter to be sarasota (Short Bahama) Style. Extruded aluminum - Open Louver - Fixed Panel. Mfg. by Willard Shutter Co. Miami, FL.



METAL ROOFING NOTES
Panel Profile: 1. 15/16" high rib x 16" wide panel.
Panel Style: 1. Narrow rib, vertical leg, concealed fastener flange, positive snap lock standing seam, utilizing male and female rib configurations.
Gauge: 1. 24 gauge (# UL-580 Class 90 rated - Miami Dade County Product Approved).
Substrate: 1. Galvalume steel sheet, AZ50, conforming to ASTM A792 for painted and unpainted panels.
Texture: 1. Flat
Finish: 1. Bare Galvalume (#25-year warranty).
Acceptable manufacture: 1. SOUTHEASTERN METALS MFG. CO., FL, GA, (800) 874-0335

- FINISH NOTES:
- 1 Smooth stucco over CMU
  - 2 Sarasota Shutter
  - 3 4"H.x 2" Stucco Window Sill/Band
  - 4 Impact window system
  - 5 Bicycle rack
  - 6 Cantilevered Roof @ Entry
  - 7 Hurricane impact storefront system
  - 8 Dec. Alum. Picket Railing Gate per approved shop drawings
  - 9 Dec. Alum. Picket Railing w/1" Sq. Pickets @4'o.c. per approved shop drawings
  - 10 Ledge stone finish
  - 11 24 GA standing seam metal roof
  - 12 2x8" stucco band
  - 13 Radius wall
  - 14a New light fixture. See Specification on Dwg. A11 (Photometrics Plan)
  - 14b New light fixture. See Specification on Dwg. A11 (Photometrics Plan)
  - 14c New light fixture. See Specification on Dwg. A11 (Photometrics Plan)
  - 15 Painted steel door
  - 16 Overhead door (Steel)
  - 17 A/C

Fire Department Info.:	
18 8'6" x 8'6" roof/floor const. sign per FL Statute 633.027	
19 Knox Box Location UL App - Series 3200	
20 8"H. Numbers on Orange 12"x28" Plexiglass Back	
21 Screen Vent Block. (See Floor plan Dwg. A4)	



14c



14b



14c

Light Fixture  
MFR: Barnlight Electric  
Style: Emblem Shade - Gooseneck Sign Lighting  
Model: HL-H Goosneck  
Size: 16"  
Color: Silver

Proposed Elevations  
1/4" SC

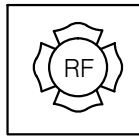
COLOR LEGEND	
[C-1] Color 1/ Base Benjamin Moore OC-67 - Ice Mist	[C-2] Color 2/ Accent Benjamin Moore 007 - Piñata

FINISH NOTES:

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- 14c New light fixture. See Specification on Dwg. A11 (Photometrics Plan)
- 15 Painted steel door
- 16 Overhead door (Steel)
- 17 A/C

Fire Department Info.:

- 18 8 1/2" x 8 1/2" roof/floor const. sign per FL Statute 653.027
- 19 Knox Box Location UL App - Series 3200
- 20 8"H. Numbers on Orange 12"x28" Plexiglass Back
- 21 Screen Vent Block. (See Floor plan Dwg. A4)



Kelly Building for:  
**Schmidt  
Investment  
Properties, LLC**

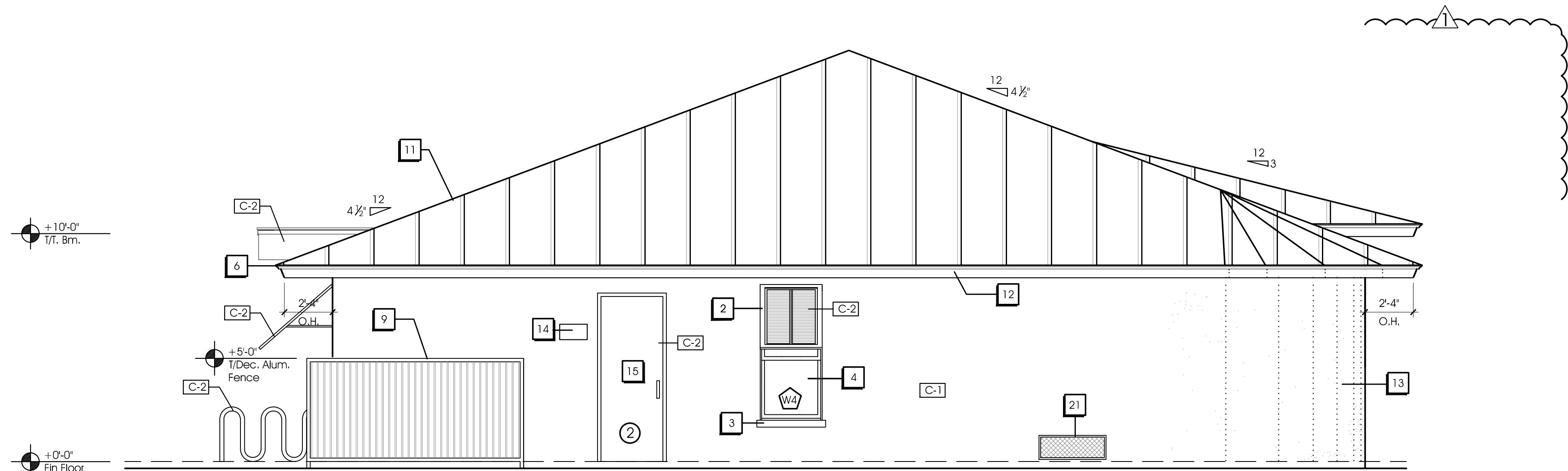
1302 Wallace Drive  
Delray Beach, FL 33444

RBA.PN.13714.09

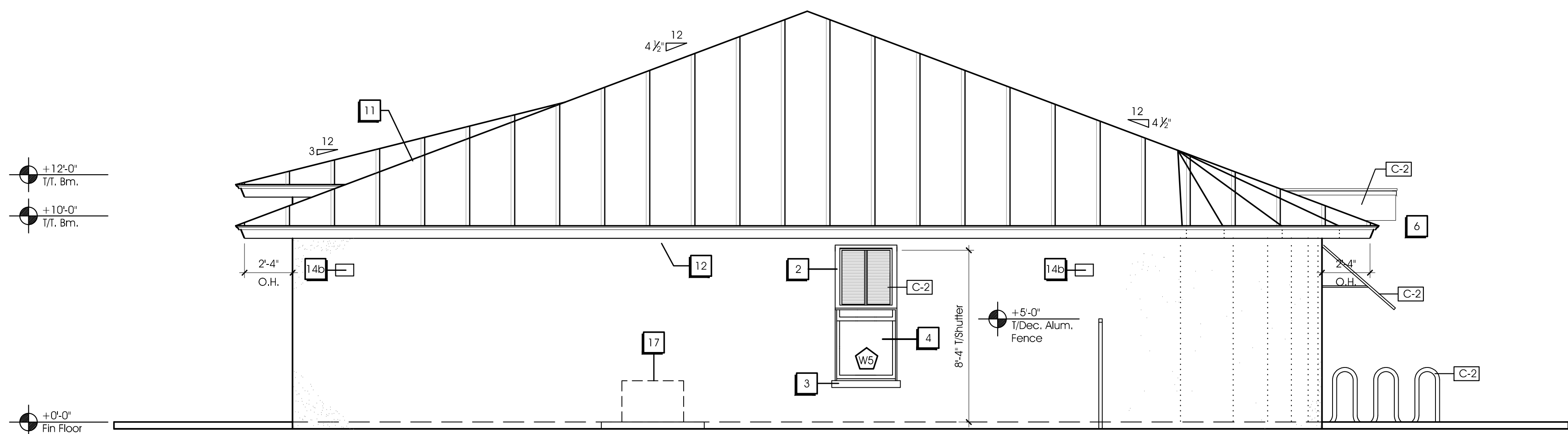
© Sprab Submittal Set:  
03-24-15

▲ ● Sprab Submittal Set:  
02-4-16

▲ ● Sprab Submittal Set:  
03-10-16



Proposed Elevation (North)  
1/4" SC



Proposed Side Elevation (South)  
1/4" SC

Proposed Elevations  
1/4" SC

CIMARRON LED

SA CUTSHEET

SPRUB

PRODUCT IMAGES

30 LED

60 LED

120 LED

240 LED

480 LED

960 LED

1920 LED

3840 LED

7680 LED

15360 LED

30720 LED

61440 LED

122880 LED

245760 LED

491520 LED

983040 LED

1966080 LED

3932160 LED

7864320 LED

15728640 LED

31457280 LED

62914560 LED

125829120 LED

251658240 LED

503316480 LED

1006632960 LED

2013265920 LED

4026531840 LED

8053063680 LED

16106127360 LED

32212254720 LED

64424509440 LED

128849018880 LED

257698037760 LED

515396075520 LED

1030792151040 LED

2061584302080 LED

4123168604160 LED

8246337208320 LED

16492674416640 LED

32985348833280 LED

65970697666560 LED

131941395333120 LED

263882790666240 LED

527765581332480 LED

1055531162664960 LED

2111062325329920 LED

4222124650659840 LED

8444249301319680 LED

16888498602639360 LED

33776997205278720 LED

67553994410557440 LED

135107988821114880 LED

270215977642229760 LED

540431955284459520 LED

1080863910568919040 LED

2161727821137838080 LED

4323455642275676160 LED

8646911284551352320 LED

17293822569102704640 LED

34587645138205409280 LED

69175290276410818560 LED

138350580552821637120 LED

276701161105643274240 LED

553402322211286548480 LED

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35417748621522339102720 LED

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141670994486089356410880 LED

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566683977944357425643520 LED

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5942111942809825319164117309440 LED

11884223885619650638328234618880 LED

23768447771239301276656469237760 LED

47536895542478602553312938475520 LED

95073791084957205106625876951040 LED

190147582169914410213325753902080 LED

380295164339828820426651507804160 LED

760590328679657640853303015608320 LED

1521180657399315281706606031216640 LED

3042361314798630563413212062433280 LED

6084722629597261126826424124866560 LED

12169445259194522253652848249733280 LED

24338890518389044507305696499466560 LED

48677781036778089014611392998933120 LED

97355562073556178029222785997866240 LED

194711124147112356244455771995732480 LED

3894222482942247124889095439914648320 LED

7788444965884494249778190879829296640 LED

15576889931769984999556377561658533120 LED

311537798635399699991127551231170666240 LED

62307559727079939998225510246234133280 LED

12461511945415987999645102492466666560 LED

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9969209556332790397176081993973332480 LED

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398768382253311615071040359358933296640 LED

797536764506623230142070718717866593280 LED

1595073529013246460284414354357337666560 LED

319014705802649292056882870871514733280 LED

63802941160529858411377761743274666560 LED

1276058823210597168222755434854933280 LED

2552117646421194336445510897709866560 LED

51042352928423886728910217795733280 LED

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4083388234273910942315137423822666560 LED

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1306684235767651501540843722232533280 LED

2613368471535303003081687444464666560 LED

522673694307060600616376888892933280 LED

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13438443182230



Proposed Front Elevation (East)  
1/4" SC



Proposed Rear Elevation (West)  
1/4" SC

Proposed Color Elevations  
1/4" SC

Kelly Building for:  
Schmidt  
Investment  
Properties, LLC

1302 Wallace Drive  
Delray Beach, FL 33444

RBA.PN.13714.09

- © Sprab Submittal Set:  
03-24-15  
▲ ● Sprab Submittal Set:  
02-4-16  
▲ ● Sprab Submittal Set:  
03-10-16





Proposed Elevation (North)  
1/4" SC



Proposed Side Elevation (South)  
1/4" SC

Kelly Building for:  
Schmidt  
Investment  
Properties, LLC  
1302 Wallace Drive  
Delray Beach, FL 33444

RBA.PN.13714.09

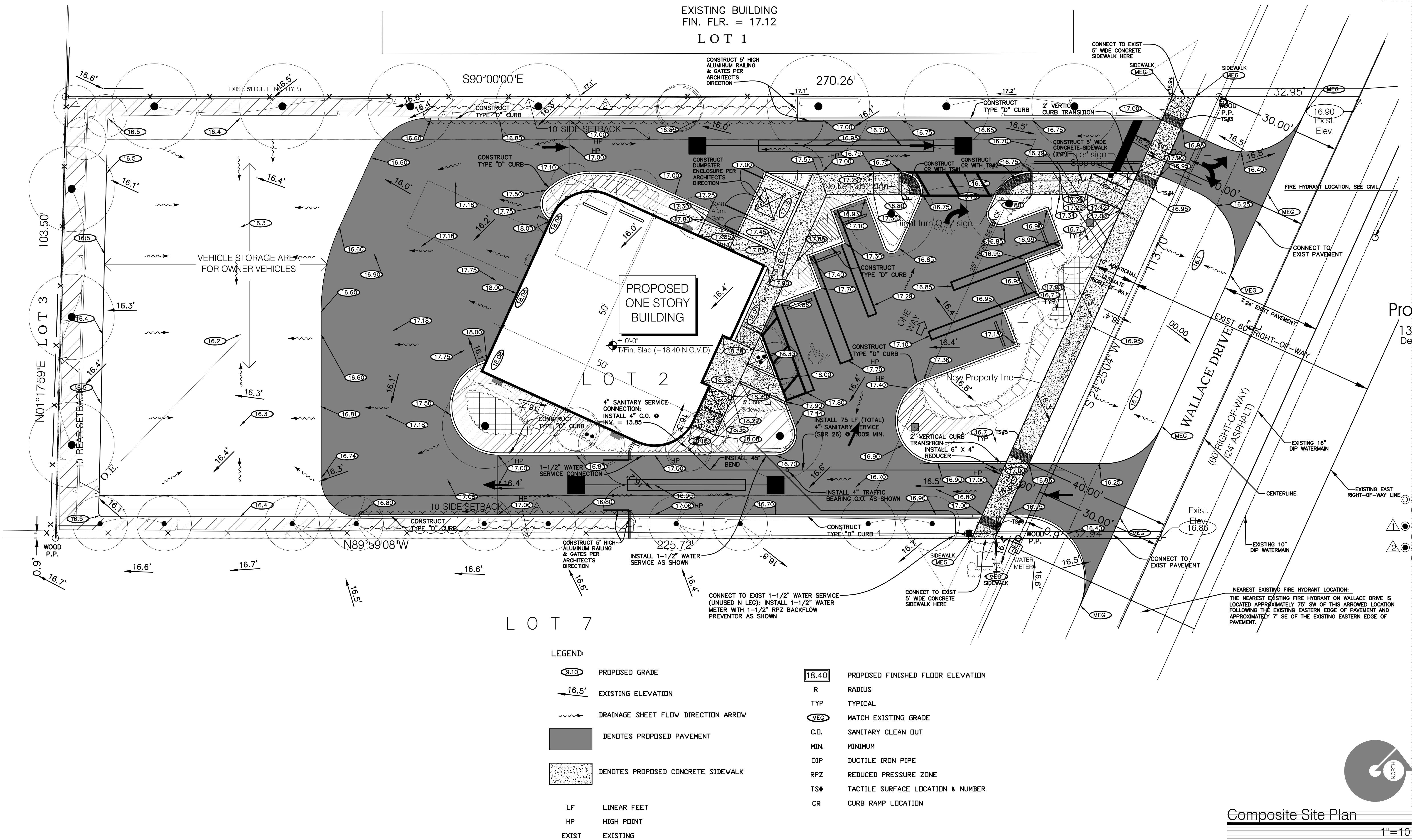
- © Sprab Submittal Set:  
03-24-15
-  ● Sprab Submittal Set:  
02-4-16
-  ● Sprab Submittal Set:  
03-10-16

Kelly Building for:  
Schmidt  
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DeLray Beach, FL 33444

RBA.PN.13714.09

© Sprab Submittal Set:  
03-24-15  
▲ ● Sprab Submittal Set:  
02-4-16  
▲ ● Sprab Submittal Set:  
03-10-16

Composite Site Plan  
1"=10'



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1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS. 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ADVISE ARCHITECT OF ANY DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED.  
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL: A) ALL DIMENSIONS HAVE BEEN VERIFIED BY CONTRACTOR B) SHOP DRAWINGS HAVE BEEN REVIEWED AND ACCEPTED BY THE ARCHITECT

# CIVIL IMPROVEMENT PLANS: PAVING, GRADING & DRAINAGE IMPROVEMENTS WITH WATER & SEWER SERVICES

1302 WALLACE DRIVE  
DELRAY BEACH, FLORIDA 33444

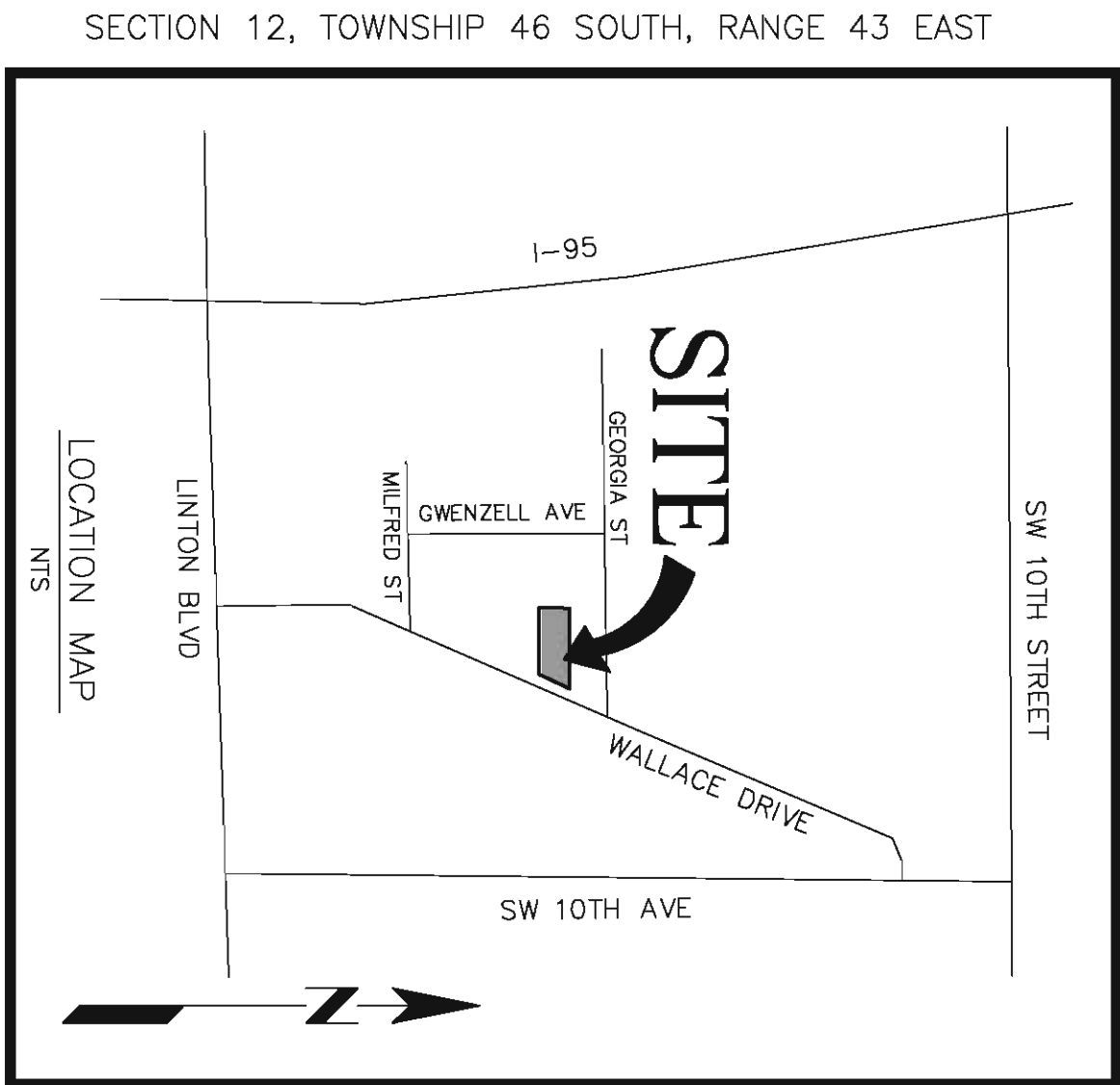
FOR

SCHMIDT INVESTMENT PROPERTIES, LLC  
990 NW 8TH STREET  
BOCA RATON, FLORIDA 33486

BY

JOHN A. GRANT, JR., INC.  
3333 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA  
561-395-3333

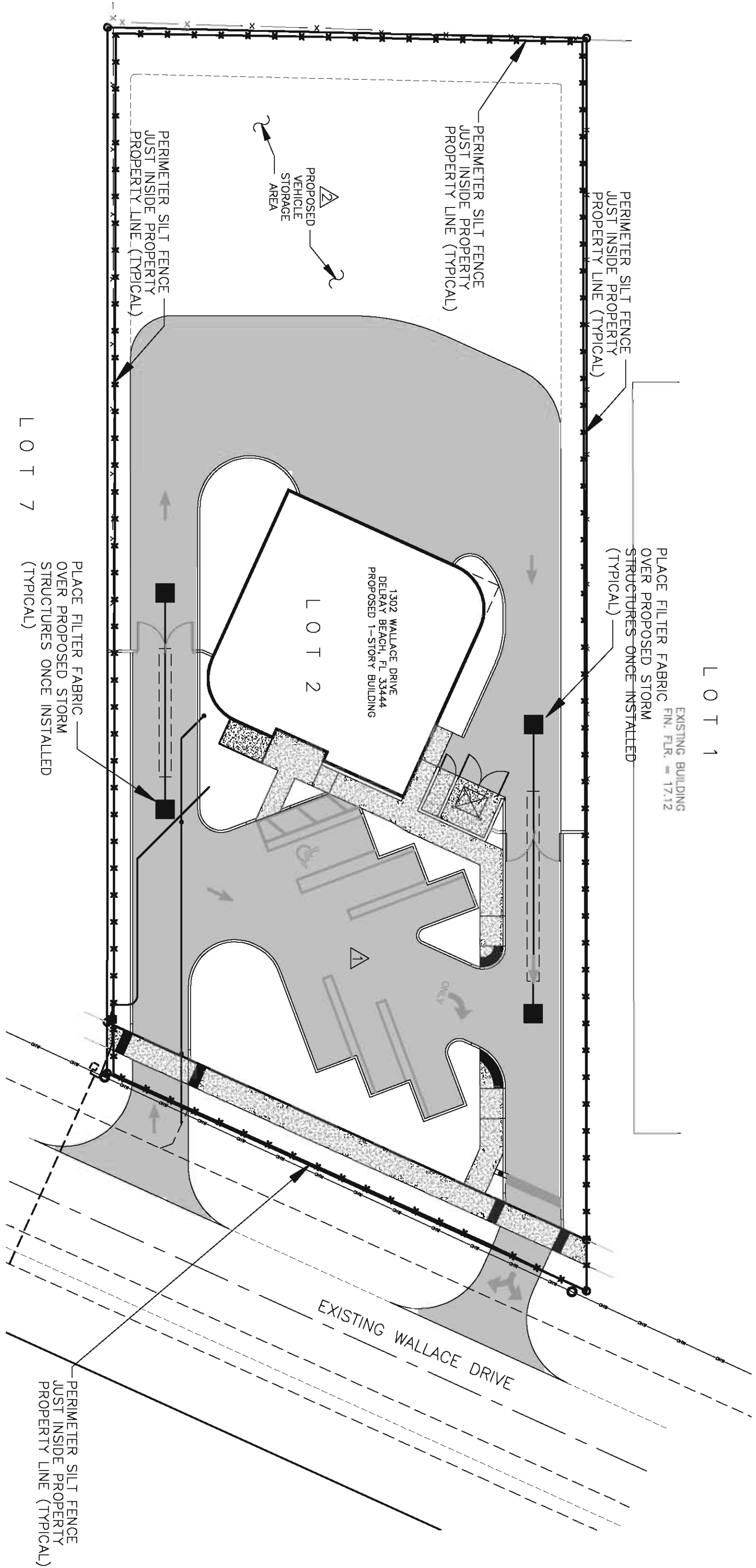
FOR PERMIT PURPOSES ONLY



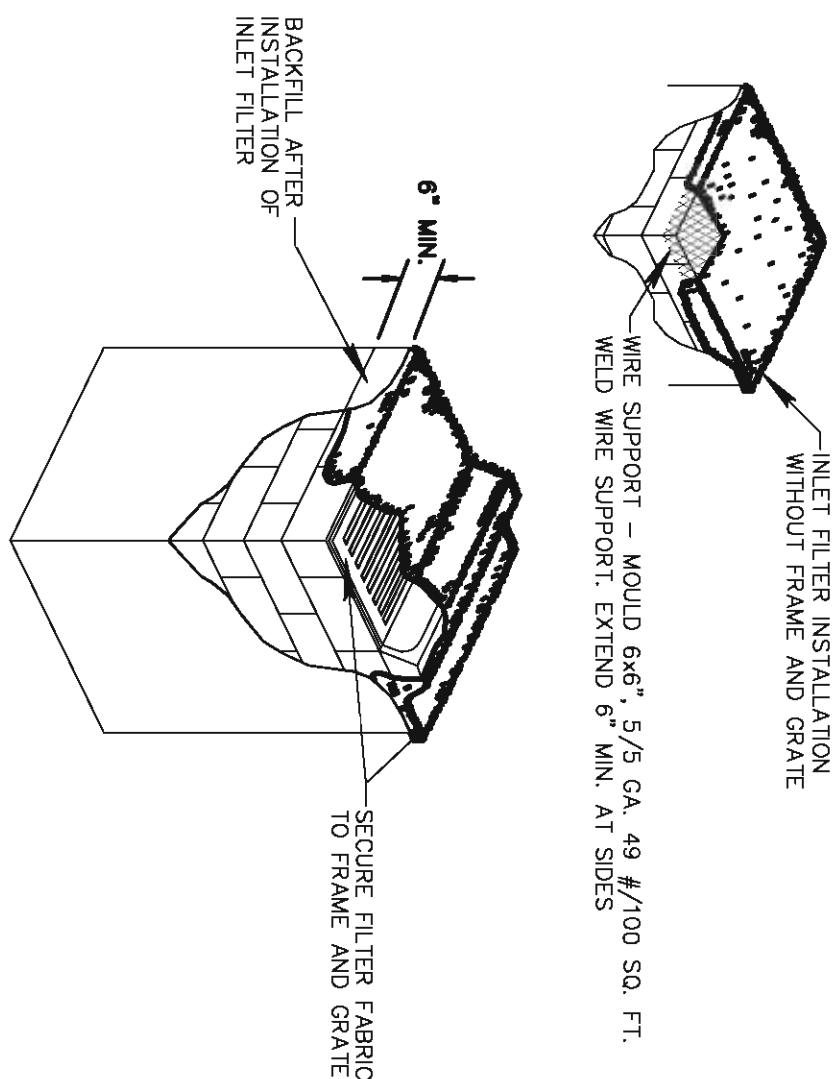
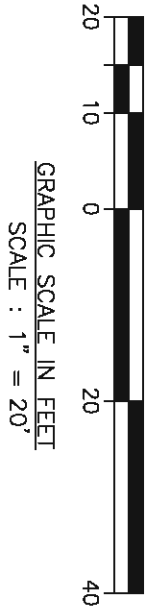
PROJECT NO JG100-9632

- 1 COVER SHEET
- 2 STORMWATER EROSION CONTROL NOTES & DETAILS
- 3 GENERAL NOTES, TYPICAL CROSS SECTIONS & DRAINAGE DETAILS
- 4 PAVING DETAILS & SPECIFICATIONS
- 5 WATER AND SEWER DETAILS
- 6 PAVING, GRADING & DRAINAGE IMPROVEMENTS WITH WATER & SEWER SERVICES
- 7 STRIPING AND SIGNAGE PLAN

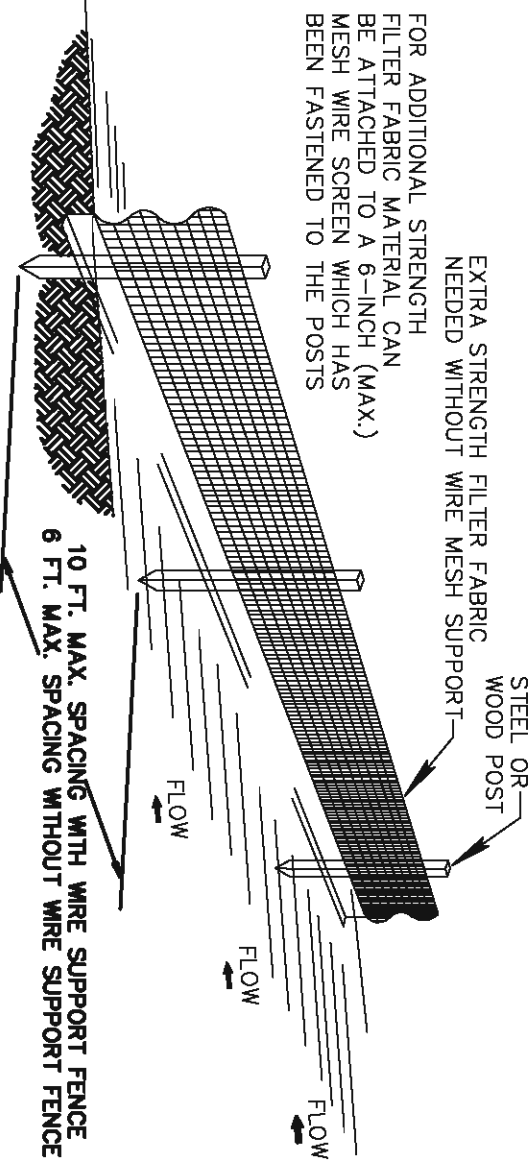
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
State of Florida



- EROSION CONTROL NOTES:
1. PROPOSED ON-SITE PAVING IMPROVEMENTS ARE SHOWN ABOVE.
  2. CONTRACTOR TO REMOVE EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONSTRUCT PAVING MODIFICATIONS SHOWN. REFER TO LANDSCAPE PLANS FOR LANDSCAPING INFORMATION.
  3. ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNDISTURBED EXCEPT WHERE NOTED.
  4. PERIMETER SILT FENCE SHOWN ABOVE IS ATOP THE PROPERTY LINE. SILT FENCE LOCATIONS MAY CHANGE BASED UPON CONSTRUCTION PHASING, SITE ACCESS AND MAINTENANCE OF TRAFFIC BUT SHALL ALWAYS BE INSTALLED ALONG ALL LIMITS OF ACTIVE CONSTRUCTION AREAS PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES.



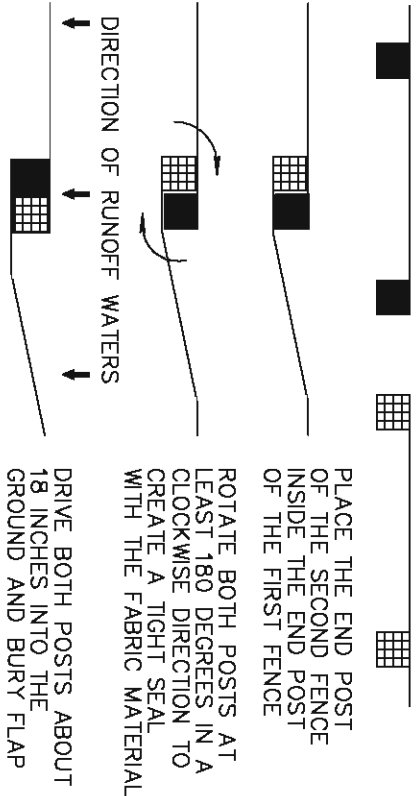
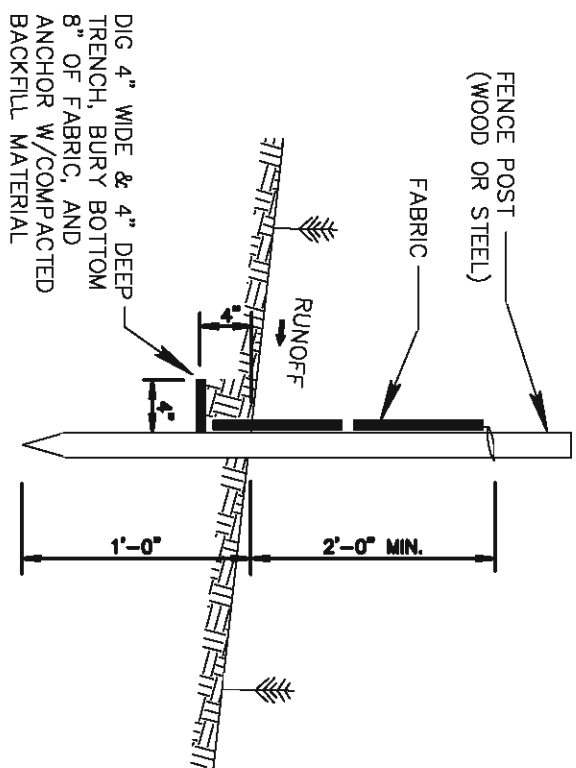
- NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.



- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM) WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE. POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES NOT LESS THAN 1/4 INCH (25 MM) LONG. THE WIRE OR HOE RINGS. THE WIRE SHALL BE FASTENED TO THE TRENCH AND THE TRENCH SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STARTED OR WRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO DEP.

SILT FENCE INSTALLATION DETAIL D 9.1a  
Sheet 1 of 2

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE AND PREVENT IT FROM BEING TRANSPORTED OFF-SITE BY THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENTED SET FORTH ON THE PLANS, BUT BY THE ACTUAL PERFORMANCE OF THE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE AND THE CITY OF DELRAY BEACH. THE CITY OF DELRAY BEACH SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE AND THE CITY OF DELRAY BEACH.
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12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE AND THE CITY OF DELRAY BEACH. THE CITY OF DELRAY BEACH SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE AND THE CITY OF DELRAY BEACH.



ATTACHING TWO SILT FENCES  
NOT TO SCALE  
SILT FENCE INSTALLATION DETAIL D 9.1b  
Sheet 2 of 2

## STORMWATER EROSION CONTROL NOTES & DETAILS

1302 WALLACE DRIVE  
DELRAY BEACH, FLORIDA 33444

THOMAS F. LUBANOVIC  
CONSULTING ENGINEERS  
Professional Engineer No. 566559  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431

3333 NORTH FEDERAL HIGHWAY  
SUITE 300, BOCA RATON, FLORIDA 33431  
PH. NO. 561-3333  
FAX NO. 561-3333  
LICENSED BUSINESS NO. LB 50  
MADE \_\_\_\_\_ DATE \_\_\_\_\_ F.B. M.A. \_\_\_\_\_ P.C. \_\_\_\_\_  
CHECKED \_\_\_\_\_ SCALE \_\_\_\_\_ 1" = 20' \_\_\_\_\_  
JOB NO. 36-100-9632 SHEET \_\_\_\_\_ 2 \_\_\_\_\_ OF \_\_\_\_\_ 7 \_\_\_\_\_

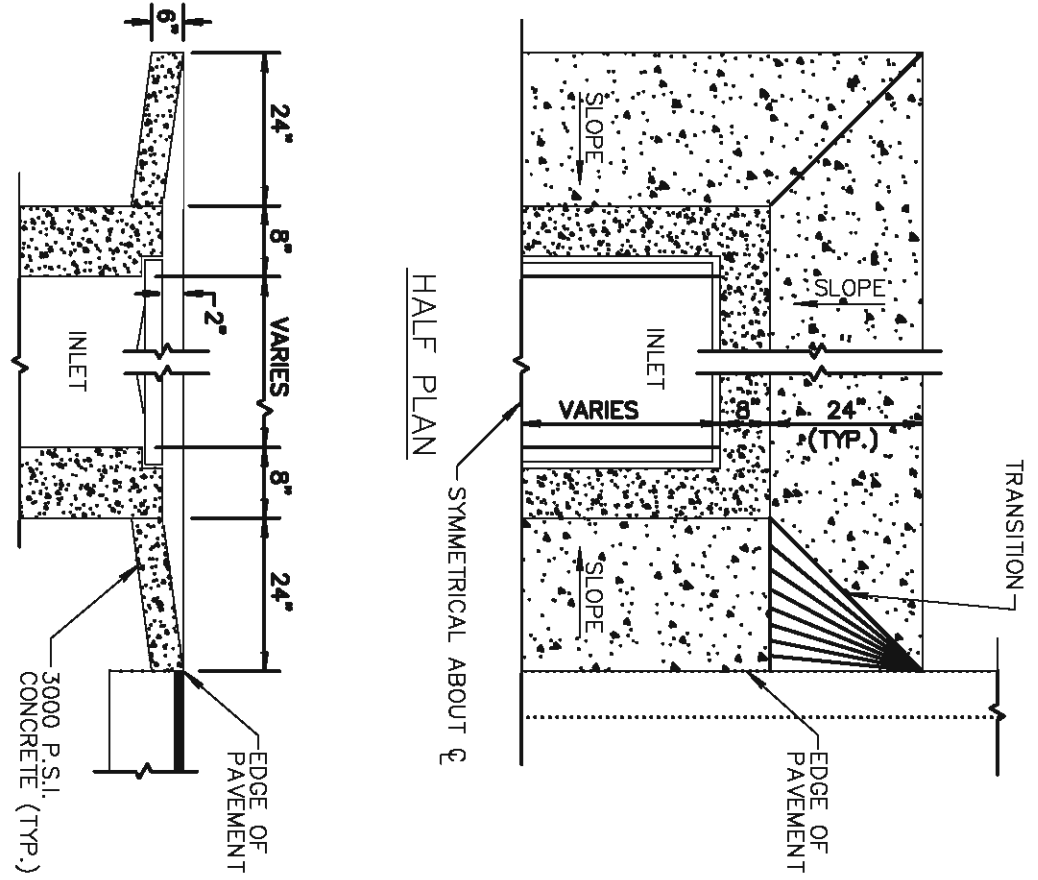
GENERAL NOTES:

1. SCOPE: WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL MATERIALS, EQUIPMENT AND LABOR FOR ALL GRADING, PAVING AND DRAINAGE. COMPLETE AND READY FOR USE AS PER DRAWINGS AND AS SPECIFIED HEREIN. ALL WORK SHALL BE CONSTRUCTED IN A WORKMAN LIKE MANNER AND IN ACCORDANCE WITH THE REGULATIONS AND PERMITS OF THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, THE FLORIDA STATE DEPARTMENT OF TRANSPORTATION, ALL LOCAL CODES AND ALL OTHER GOVERNING AGENCIES HAVING JURISDICTION WITHIN THE LIMITS OF THE WORK.
2. THE CONTRACTOR SHALL PROVIDE FACILITIES AND BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURES, BUILDINGS AND UTILITIES UNDER GROUND, ON THE SURFACE, OR ABOVE GROUND, AGAINST TRENCHING, DEWATERING OR ANY OTHER ACTIVITY CONNECTED WITH THE CONSTRUCTION OF THIS PROJECT DURING THE CONSTRUCTION PERIOD AND PROTECT AND PRESERVE THE OWNER HARMLESS AGAINST ALL CLAIMS FOR SUCH DAMAGE.
3. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
4. GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
5. ALL ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
6. WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSION.
7. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI, UNLESS OTHERWISE NOTED.
8. ALL REINFORCING SHALL BE DEFORMED STEEL.
9. PAVING AND GRADING
10. DRAINAGE
11. PIPE MATERIALS
12. IT IS THE INTENT OF THESE PLANS TO PROVIDE THE DEVELOPER WITH CONSTRUCTION OF IMPROVEMENTS THAT ARE ACCEPTABLE TO THE CITY OF DELRAY BEACH, PALM BEACH COUNTY AND/OR OTHER GOVERNMENTAL AGENCIES. ALL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE GOVERNMENTAL STANDARDS
13. SILT FENCE TO BE PLACED AS REQUIRED ADJACENT TO ALL PROPERTY LINES FOR EROSION CONTROL AND TO CONTAIN SILT.
1. HOPE TO BE INSTALLED PURSUANT TO APPLICABLE REQUIREMENT INCLUDING, BUT NOT LIMITED TO FOOT SECTION 430, ASTM F-477, ASHTO M-294 AND MANUFACTURERS RECOMMENDATIONS, STANDARDS AND SPECIFICATIONS.
2. AFTER PIPE HAVE BEEN Laid AND APPROVED THE TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN SAND FREE OF ORGANIC MATERIAL.
3. UNSUITABLE SUBGRADE: IN CASE THE SOIL CONDITIONS ENCOUNTERED AT GRADE LINE OF THE PIPE TRENCH ARE FOUND TO BE UNSUITABLE FOR THE PIPE, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED SUITABLE BEDDING MATERIALS AND STABILIZED AS DIRECTED BY THE ENGINEER. MATERIAL USED FOR REPLACEMENT SHALL BE SUITABLE EARTH, SAND, GRAVEL, CRUSHED LIMESTONE OR OTHER MATERIAL SPECIALLY APPROVED BY THE ENGINEER. THE ENGINEER SHALL DETERMINE THE DEPTH, WIDTH, AND LENGTH OF EXCAVATION REQUIRED FOR PROVIDING SUITABLE BEDDING.
4. HOPE TO BE INSTALLED PURSUANT TO APPLICABLE REQUIREMENT INCLUDING, BUT NOT LIMITED TO FOOT SECTION 430, ASTM F-477, ASHTO M-294 AND MANUFACTURERS RECOMMENDATIONS, STANDARDS AND SPECIFICATIONS.
5. THE CONTRACTOR SHALL DO ALL EXCAVATION OF WHATEVER SUBSTANCES ENCOUNTERED TO A DEPTH SHOWN ON DRAWINGS.
6. EXCAVATED MATERIALS NOT REQUIRED FOR BACKFILL SHALL BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
7. TRENCH EXCAVATION FOR MANHOLES AND INLETS SHALL BE DEWATERED. DEWATERING SHALL BE A CONTINUOUS OPERATION AND SHALL NOT BE INTERRUPTED UNTIL BACKFILLING IS COMPLETED.
8. AFTER PIPE HAVE BEEN Laid AND APPROVED THE TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN SAND FREE OF ORGANIC MATERIAL.
9. UNSUITABLE SUBGRADE: IN CASE THE SOIL CONDITIONS ENCOUNTERED AT GRADE LINE OF THE PIPE TRENCH ARE FOUND TO BE UNSUITABLE FOR THE PIPE, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED SUITABLE BEDDING MATERIALS AND STABILIZED AS DIRECTED BY THE ENGINEER. MATERIAL USED FOR REPLACEMENT SHALL BE SUITABLE EARTH, SAND, GRAVEL, CRUSHED LIMESTONE OR OTHER MATERIAL SPECIALLY APPROVED BY THE ENGINEER. THE ENGINEER SHALL DETERMINE THE DEPTH, WIDTH, AND LENGTH OF EXCAVATION REQUIRED FOR PROVIDING SUITABLE BEDDING.
10. DRAINAGE
11. EXCAVATION AND BACKFILL
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14. TRENCH EXCAVATION FOR MANHOLES AND INLETS SHALL BE DEWATERED. DEWATERING SHALL BE A CONTINUOUS OPERATION AND SHALL NOT BE INTERRUPTED UNTIL BACKFILLING IS COMPLETED.
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22. AFTER PIPE HAVE BEEN Laid AND APPROVED THE TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN SAND FREE OF ORGANIC MATERIAL.
23. UNSUITABLE SUBGRADE: IN CASE THE SOIL CONDITIONS ENCOUNTERED AT GRADE LINE OF THE PIPE TRENCH ARE FOUND TO BE UNSUITABLE FOR THE PIPE, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED SUITABLE BEDDING MATERIALS AND STABILIZED AS DIRECTED BY THE ENGINEER. MATERIAL USED FOR REPLACEMENT SHALL BE SUITABLE EARTH, SAND, GRAVEL, CRUSHED LIMESTONE OR OTHER MATERIAL SPECIALLY APPROVED BY THE ENGINEER. THE ENGINEER SHALL DETERMINE THE DEPTH, WIDTH, AND LENGTH OF EXCAVATION REQUIRED FOR PROVIDING SUITABLE BEDDING.

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15"	24"
E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24"	36"

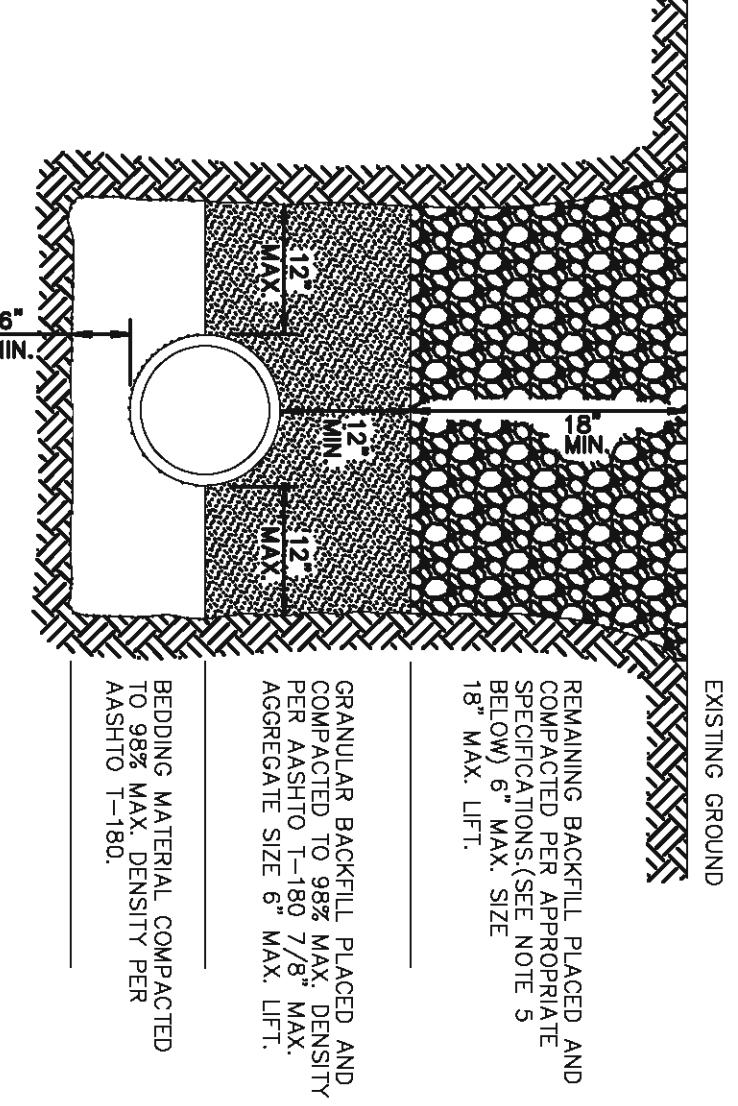
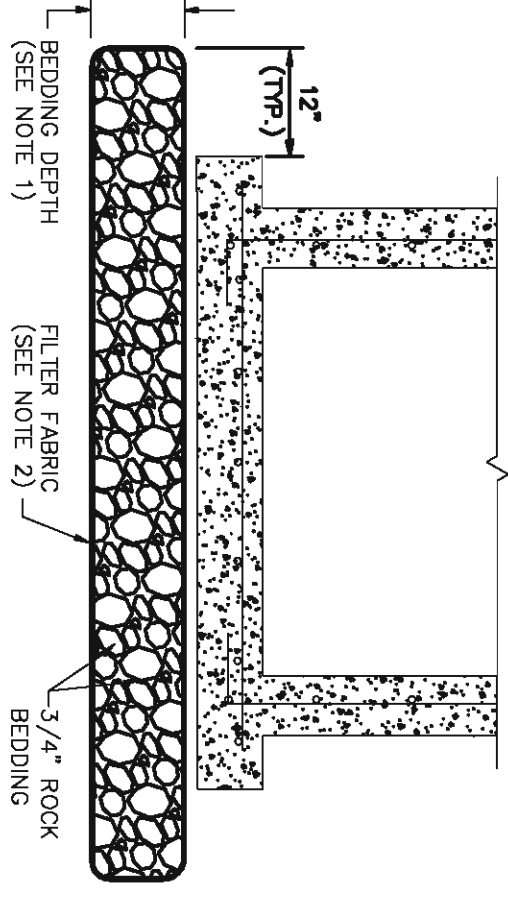
TYPE C & E INLET GRATE DETAIL D 6.1

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
2. WHEN INSTALLED IN PAVEMENT OR WHEN 6" OF PAVEMENT USE U.S.F. 4160-6210



STANDARD BEDDING D 3.1

1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.



1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED. BEDDING MATERIAL AND LARGE ROCKS SHALL BE WASHED AND GRADED UNDER 1/8" -7/8" SIZING.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (ASHTO T-180)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS SHALL BE REQUIRED TO MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

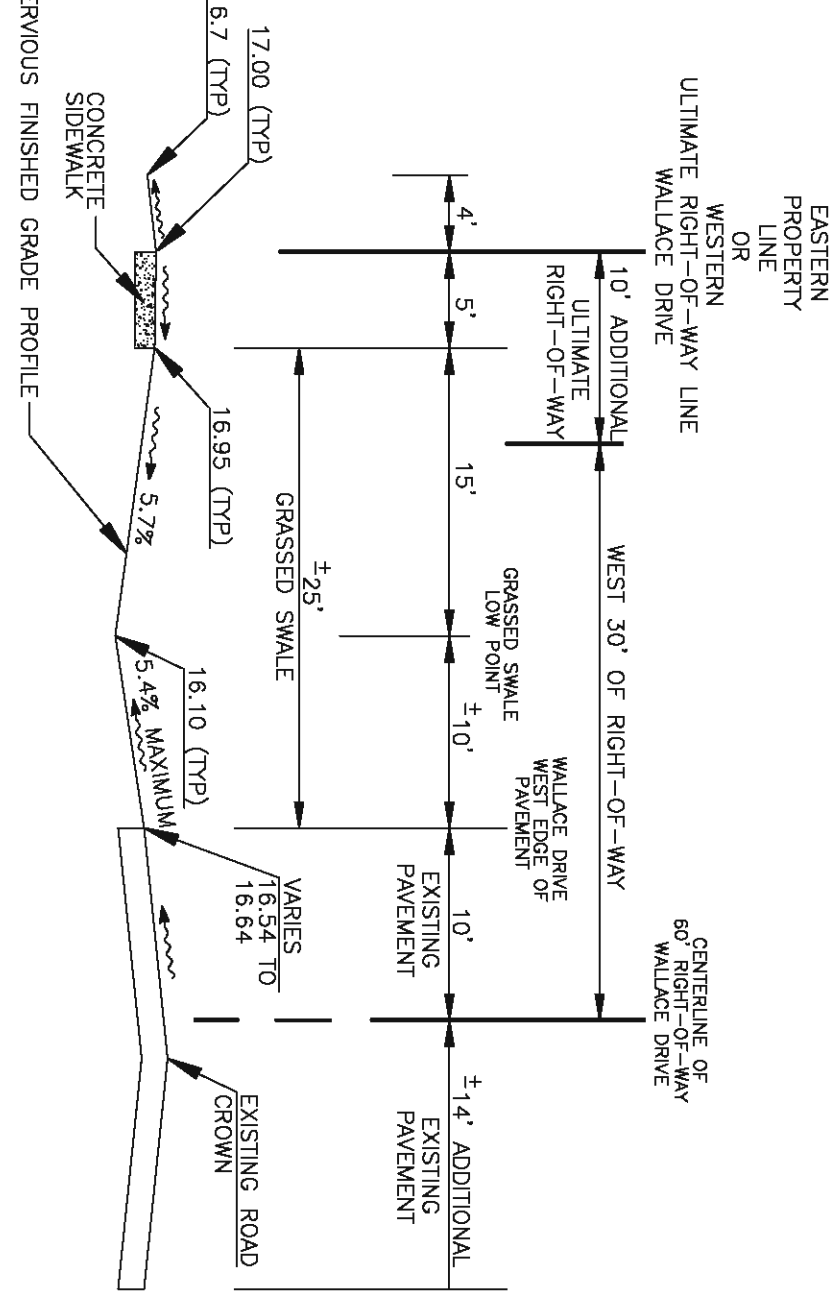
TYPICAL BACKFILL DETAIL GU 2.1

SECTION • SEE TYPICAL BACKFILL DETAIL GU 2.1

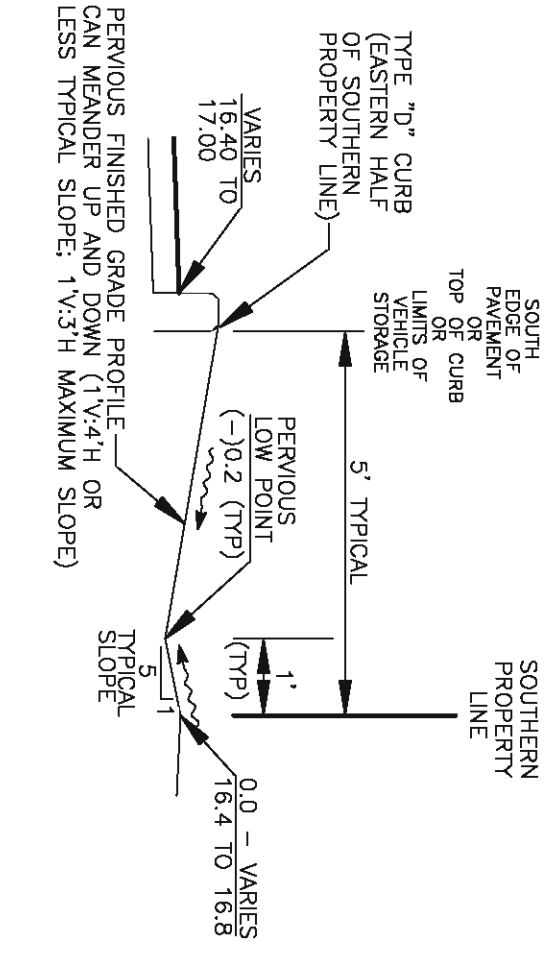
INLET TYPE	DIMENSIONS		MAX. PIPE SIZE
	A	B	
C'	20"	31"	U.S. FOUNDRY No. 6212
E'	30"	46"	U.S. FOUNDRY No. 6290

1. INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
2. INLET SHALL BE 12" DEEP AND 12" WIDE.
3. 12" DEEP HOLE REQUIRED ABOVE ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE.
4. 18" SLUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
5. SEE BEDDING DETAIL

TYPE C & E INLET DETAIL D 7.1



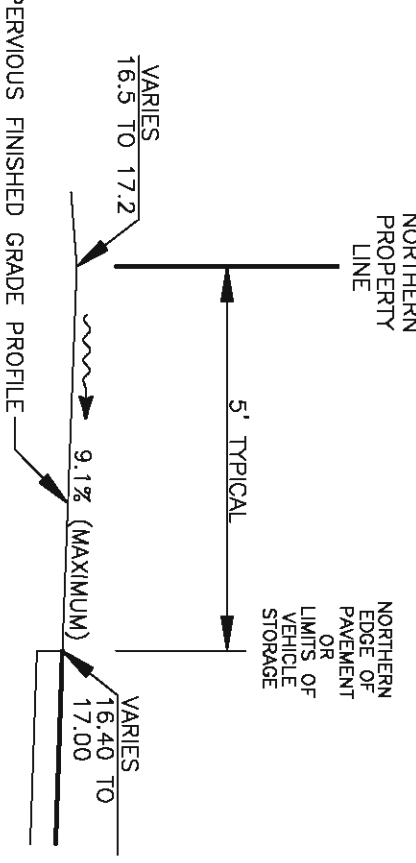
CROSS SECTION B-B



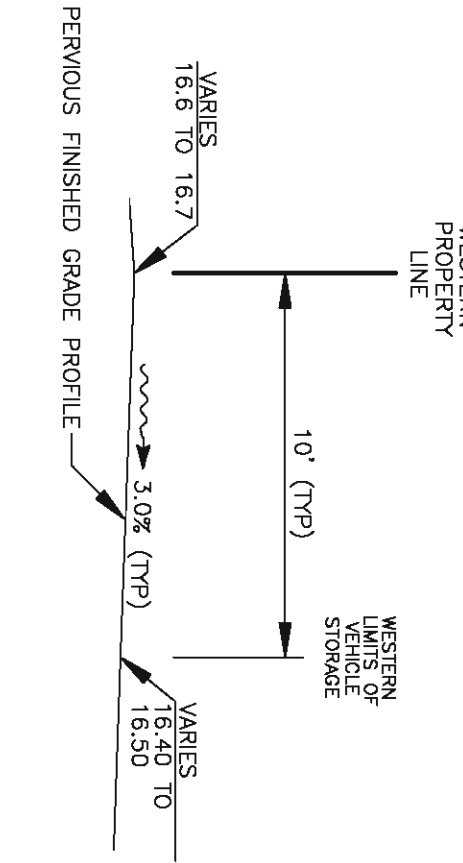
CROSS SECTION A-A

Drawing: \Jobs32\CAD Files\Jobs32 CIVIL PLANS JAN 2016.dwg DRAINAGE DETAILS 3

CROSS SECTION C-C



CROSS SECTION D-D



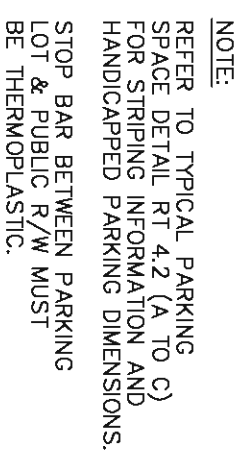
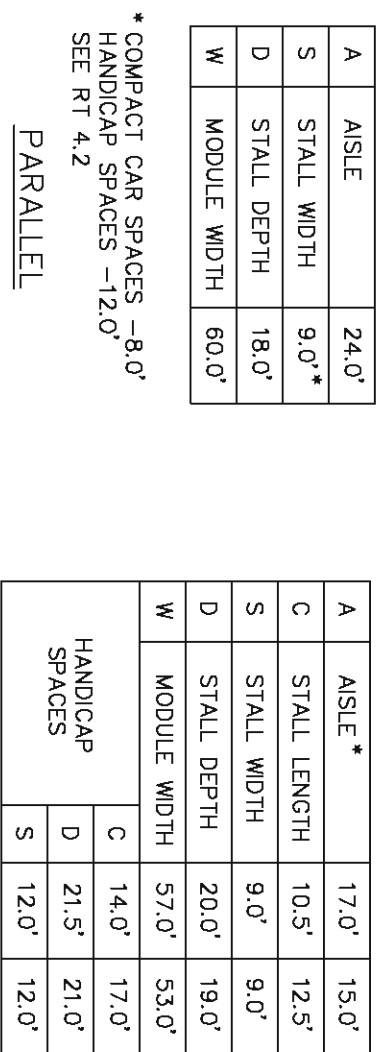
GENERAL NOTES, TYPICAL CROSS SECTIONS & DRAINAGE DETAILS

1302 WALLACE DRIVE  
DELRAY BEACH, FLORIDA 33444

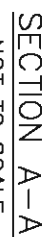
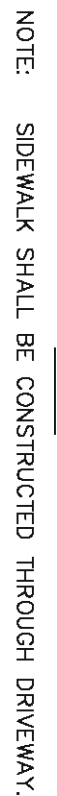
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431

JOHN A. GRANT, JR., INC.  
CONSULTING ENGINEERS  
3333 NORTH FEDERAL HIGHWAY  
SUITE 300, BOCA RATON, FLORIDA 33331  
PH. NO. 561-3333 FAX 561-395-3315  
LICENSED BUSINESS NO. LB 50

MADE	CHK	DATE	FEB 2015	F.B. M/A	N.T.S.	PC
CHECKED	DATE	DATE	DATE	SCALE	N.T.S.	OF 7
JOB NO.	36-100-9632	SHEET	3	OF	7	

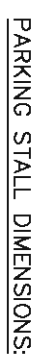


PARKING LOTS DETAIL RT 4.1



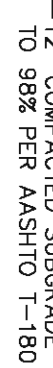
NOTE: ALL SIDEWALK WITH CENTRAL BUSINESS DISTRICT SHALL BE A MINIMUM WIDTH OF 8'.

ASPHALT DRIVEWAY APRON RT 9.2



- \*NOTES:**
1. ON LIGHT COLORED SURFACE (I.E. CONCRETE) ALL HANDPAINT MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
  2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
  3. ALL MEASUREMENTS ARE FROM CENTER LINE.
  4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
  5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE.
  6. YELLOW STRIPE ON CONCRETE.
  7. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1.

TYPICAL PARKING SP  
(1 OF 3)  
DETAIL RT 4.2a



IF CITY APPROVES PAVERS TO BE USED IN LIEU OF CONC. SIDEWALK, PAYER SHALL BE HOLLAND-STONE, 45" HERRING BONE, RED/CHARCOAL, COLOR MIX #2.

PAVER BRICK SECTION  
DETAIL RT 10.1a

NOTE: SAWCYTS REQUIRE  
AT 10 CENTERS.



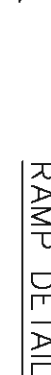
NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" MIN.

CONCRETE CURB  
NOT TO SCALE

CONCRETE  
CURB AND GUTTER  
NOT TO SCALE

- NOTES: 1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING  
2. SAWCUTS AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS  
OF CONCRETE PLACEMENT.

CURB AND GUTTER SECTIONS RT 6.1



1. IN ADDITION TO CURB RAMPS TRUNCATED DOWNS ARE REQUIRED AT ALL AREAS OF PERIL.

DETECTABLE WARNING RAMP  
IN PAVEMENT SIDEWALK TYPICAL DETAIL RT 10.3

REQUIRED PAVEMENT & SIDEWALK SPECIFICATIONS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
PROPOSED ON-SITE PAVED AREAS (PARKING LOTS & DRIVE CONNECTIONS)	1-1/2" THICK, TYPE S-III	6" THICK, FDOT APPROVED BASE ROCK-MATERIAL, 100% COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180; PRIMED (0.1 GAL PER SY)	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180  SUB-GRADE TO BE HOMOGENEOUS MATERIAL
PROPOSED DUMPESTER ENCLOSURE SLAB	6" THICK, CLASS 1 CONCRETE WITH MINIMUM 3000 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
PROPOSED CONCRETE SIDEWALK & BIKE RACK AREA	4" THICK, CLASS 1 CONCRETE WITH MINIMUM 3000 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180



NOTE: THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.



NOTE:  
THIS METHOD OF PAYEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAYEMENT WILL BE CONNECTED TO EXISTING PAYEMENT.

PAVEMENT JOINT DETAIL RT 7.1



1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
2. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY. (MAX. LIFT THICKNESS = 6")
3. ASPHALT CONCRETE PAVEMENT SHALL BE MECHANICALLY SAWED.
4. ALL DISTURBED PAVEMENT MARSHES SHALL BE RESTORED IN ACCORDANCE WITH CRI STANDARDS.
5. SURFACE MATERIAL SHALL BE F.O.D. TYPE 5-1 OR 5-III ASPHALTIC CONC. (MIN. THICKNESS 1 1/2").
6. ANY PATCH OR CUTS SHALL BE CORD PATCHED AND ONE DAY WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL GU 1.1

NO.	REVISION	BY	DATE
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## PAVING DETAILS & SPECIFICATIONS

1302 WALLACE DRIVE  
DELRAY BEACH, FLORIDA 33444

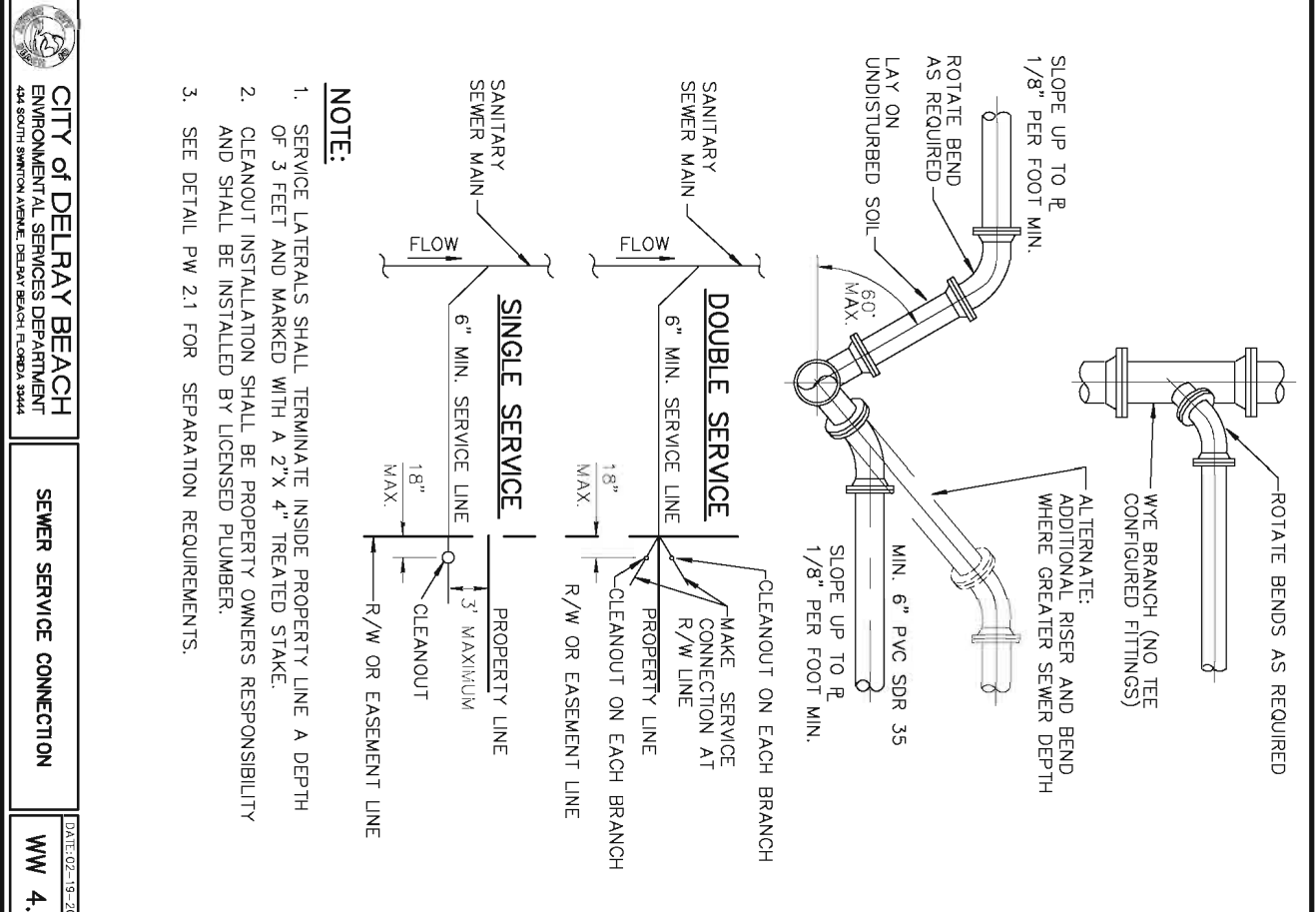
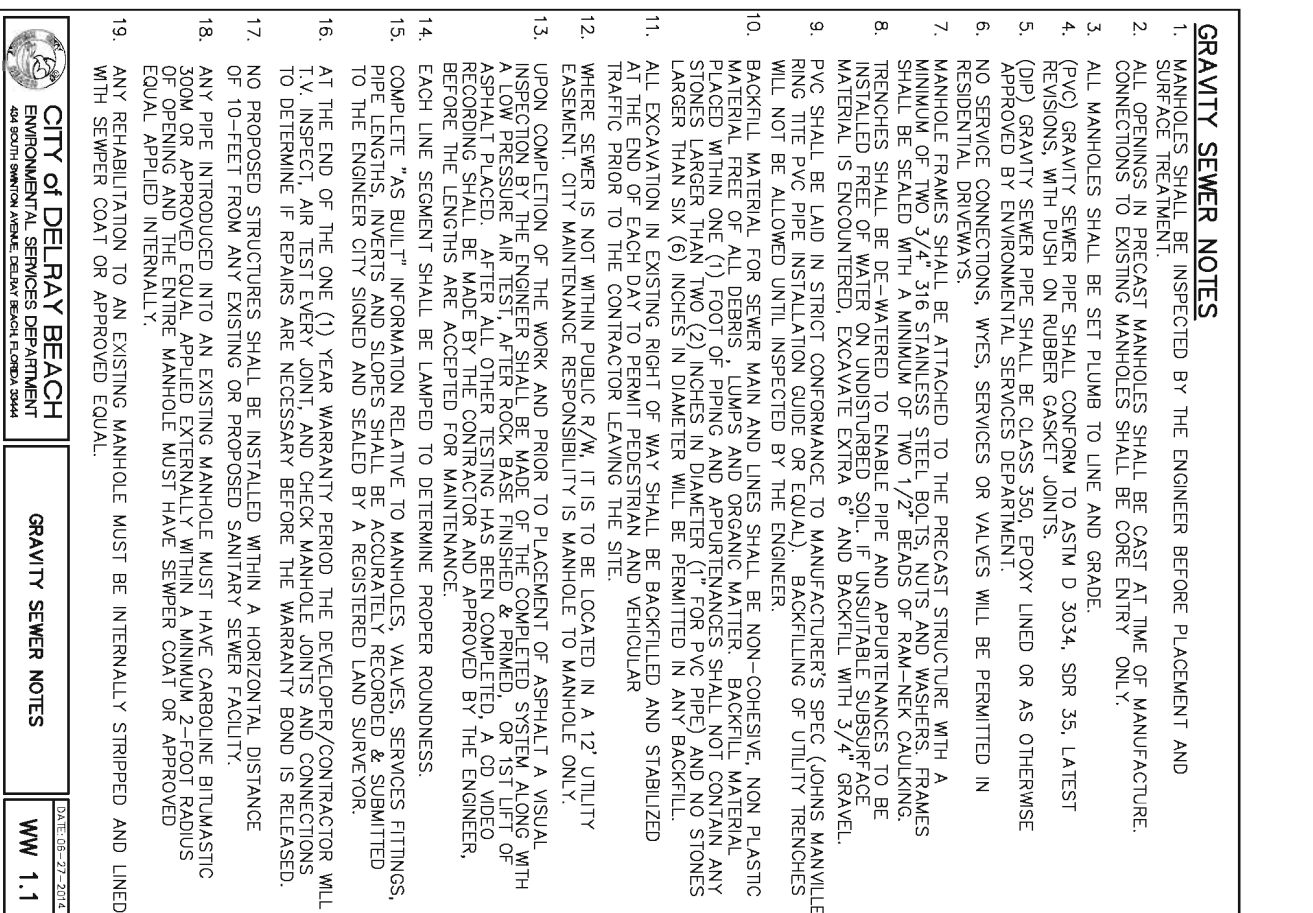
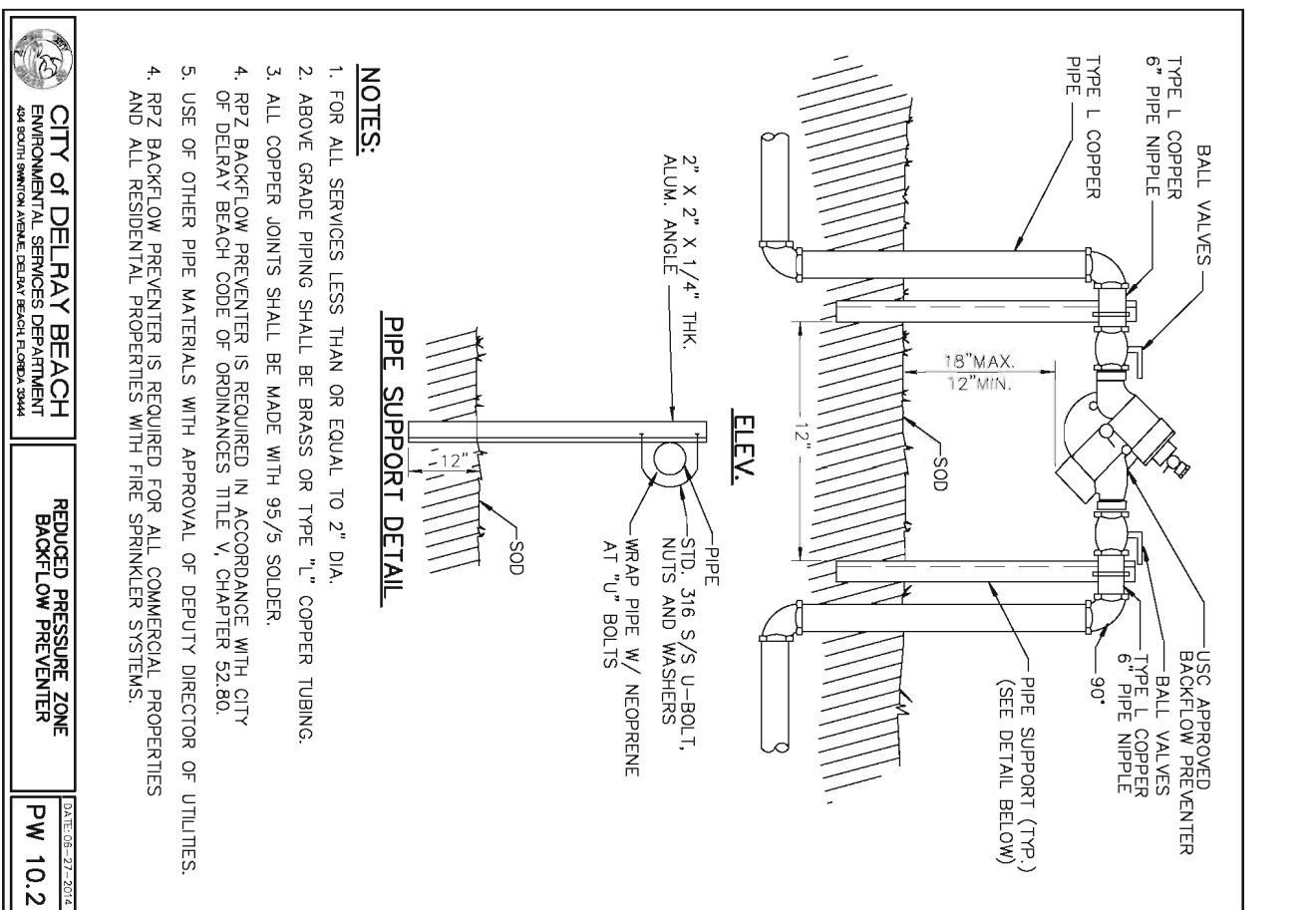
**JOHN A. GRANT, JR., INC**

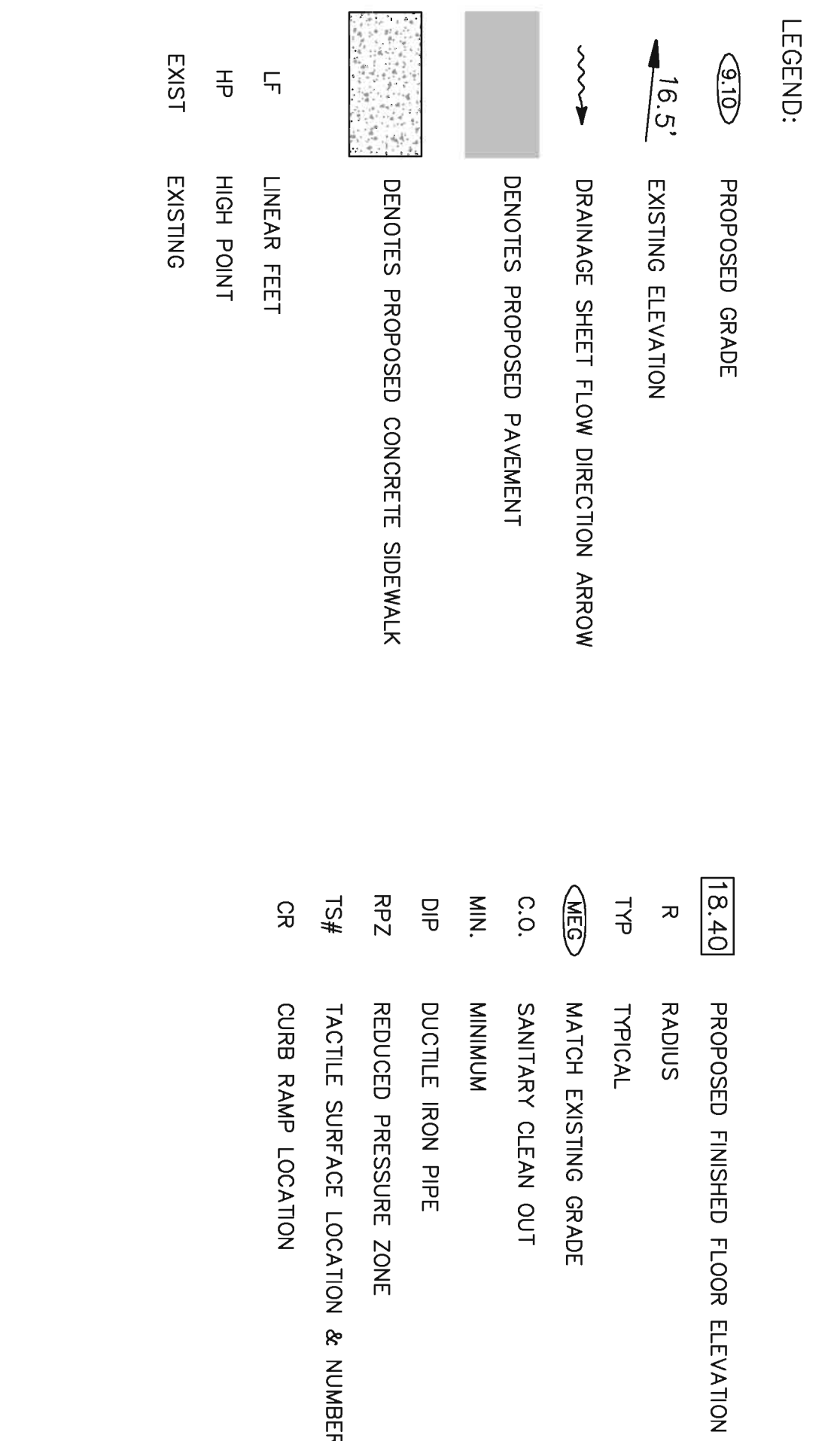
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.

3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 500

PH. NO. 561-399-3333 FAX NO. 561-399-3315  
LICENSED BUSINESS NO. LB 50

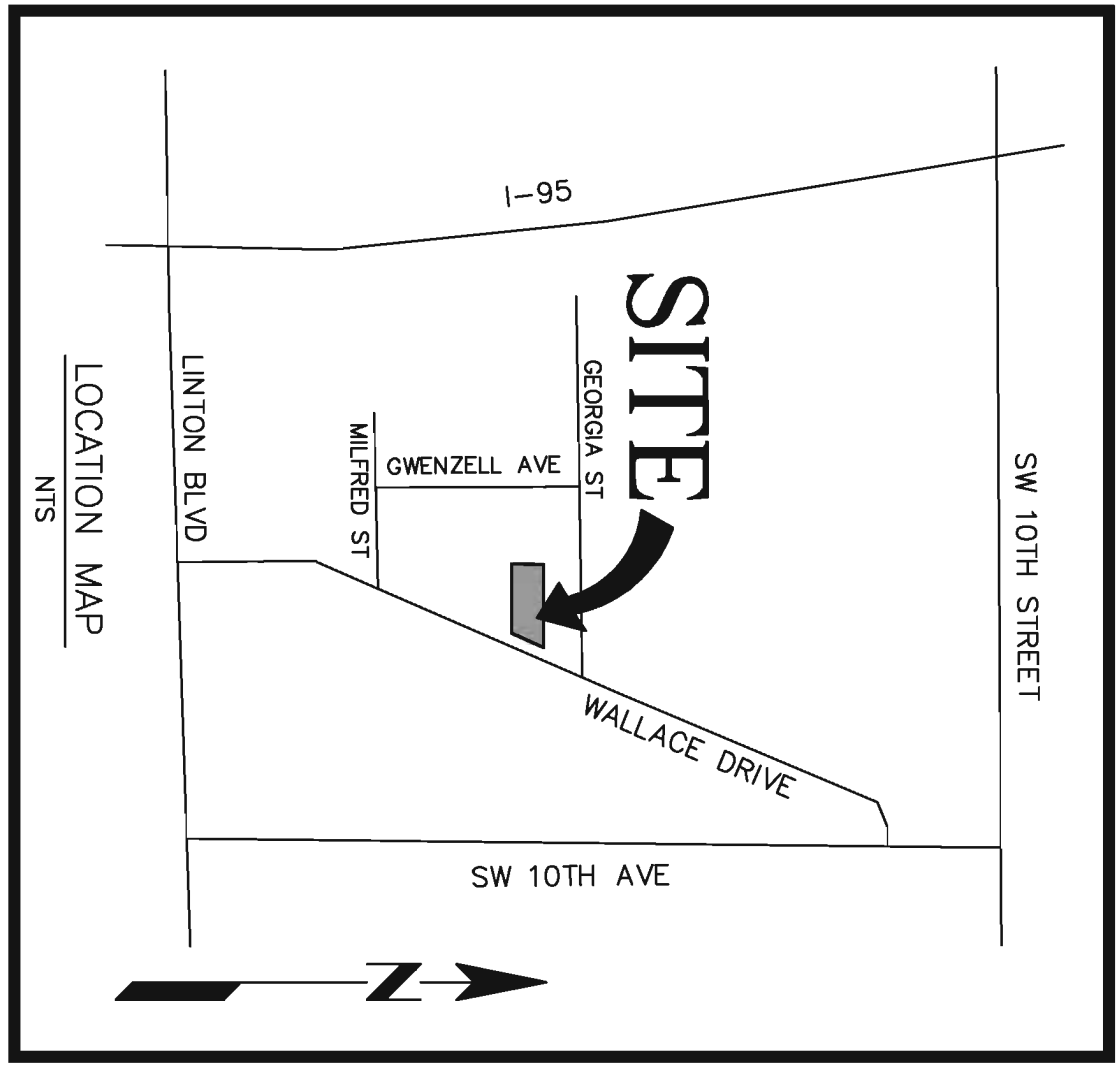
MADE	CHK	DATE	FEB 2015	F.B. N/A	PG	
CHECKED		DATE		SCALE	N.T.S.	
JOB NO.		JG-100-9632		SHEET	4	OF 7

SECTION 12, TOWNSHIP 46 SOUTH, RANGE 43 EAST



THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. 1B 50

SECTION 12, TOWNSHIP 46 SOUTH, RANGE 43 EAST

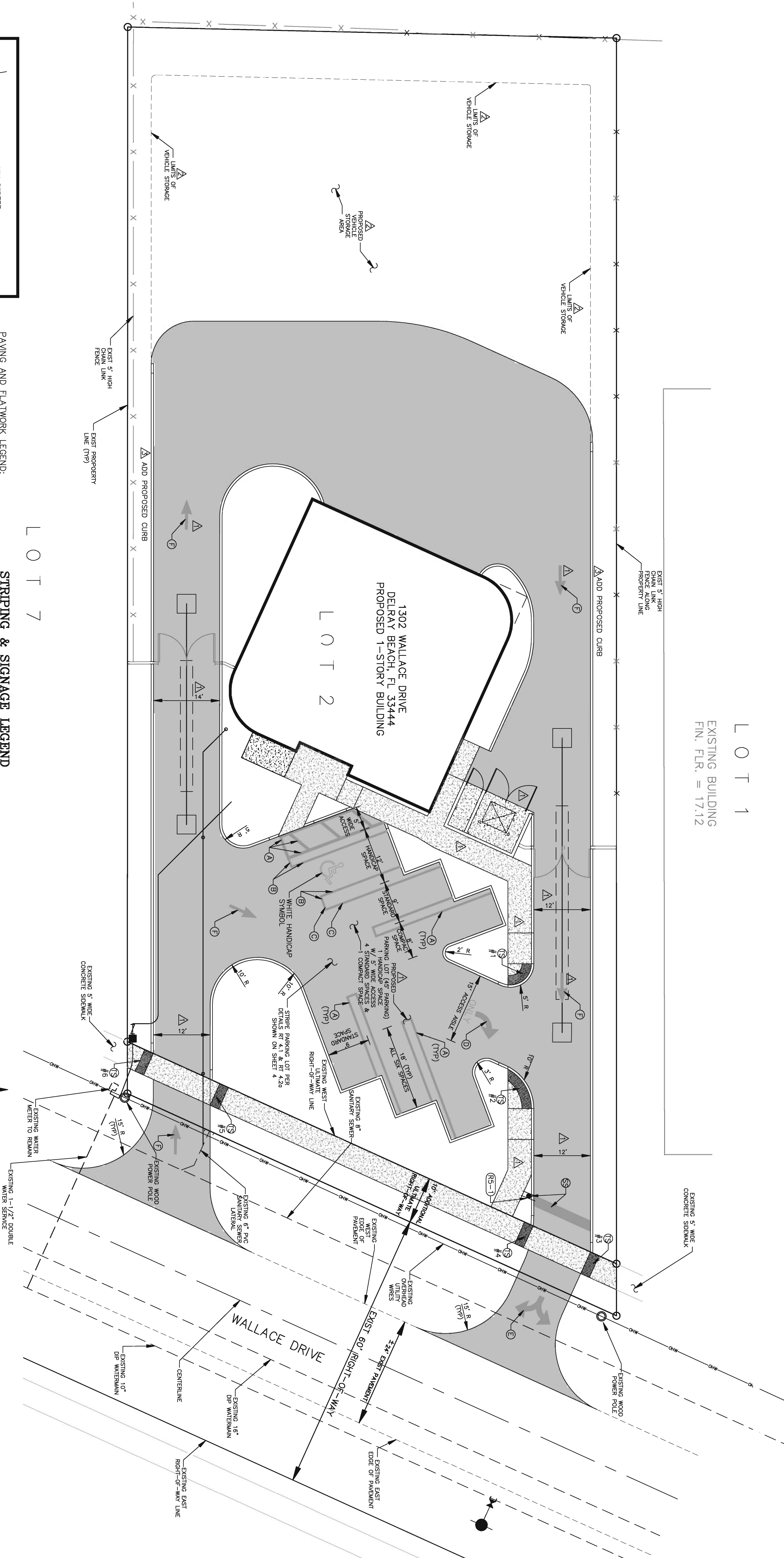


- PAVING AND FLATWORK LEGEND:**
- DENOTES PROPOSED PAVEMENT
  - DENOTES PROPOSED CONCRETE SIDEWALK
  - R RADIUS
  - EXIST EXISTING
  - MIN. MINIMUM
  - TYP TYPICAL

- STRIPING & SIGNAGE LEGEND**
- PROPOSED STOP SIGN (R1-1) WITH 24" SOLID WHITE STOP BAR
  - PROPOSED "DO NOT ENTER" SIGN (R5-1; 24" X 24")
  - PROPOSED 6" SOLID WHITE STRIPE
  - PROPOSED 4" SOLID BLUE STRIPE
  - PROPOSED 4" SOLID WHITE STRIPE
  - PROPOSED WHITE RIGHT TURN ARROW & "ONLY"
  - PROPOSED WHITE STRAIGHT ARROW
  - PROPOSED TACTILE SURFACE LOCATION & NUMBER

- NOTES:**
- CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL (811) FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - CONSTRUCT CONCRETE SIDEWALK & CURB RAMPS PER FOOT INDEX 304 AND 310.
  - CONTRACTOR TO REMOVE EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONSTRUCT PAVING MODIFICATIONS EXCEPT AS NOTED.
  - ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNDISTURBED EXCEPT AS NOTED.
  - ALL TYPE "D" CURB TO BE CONSTRUCTED PER FOOT INDEX NO. 300.
  - REFER TO SHEET 2 THROUGH 4 FOR STORMWATER EROSION CONTROL DETAILS, GENERAL NOTES, CROSS SECTIONS, DRAINAGE DETAILS, PAVING DETAILS AND PAVING SPECIFICATIONS.
  - REFER TO SHEET 5 FOR APPLICABLE WATER AND SEWER DETAILS.
  - REFER TO SHEET 7 FOR STRIPING AND SIGNAGE INFORMATION. REFER TO SHEET 8 FOR ELEVATION DATA AND SHEET 9 FOR DETAIL PAVING LOT STRIPING INFORMATION.
  - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1985 (NAVD83).

LOT 7



SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST

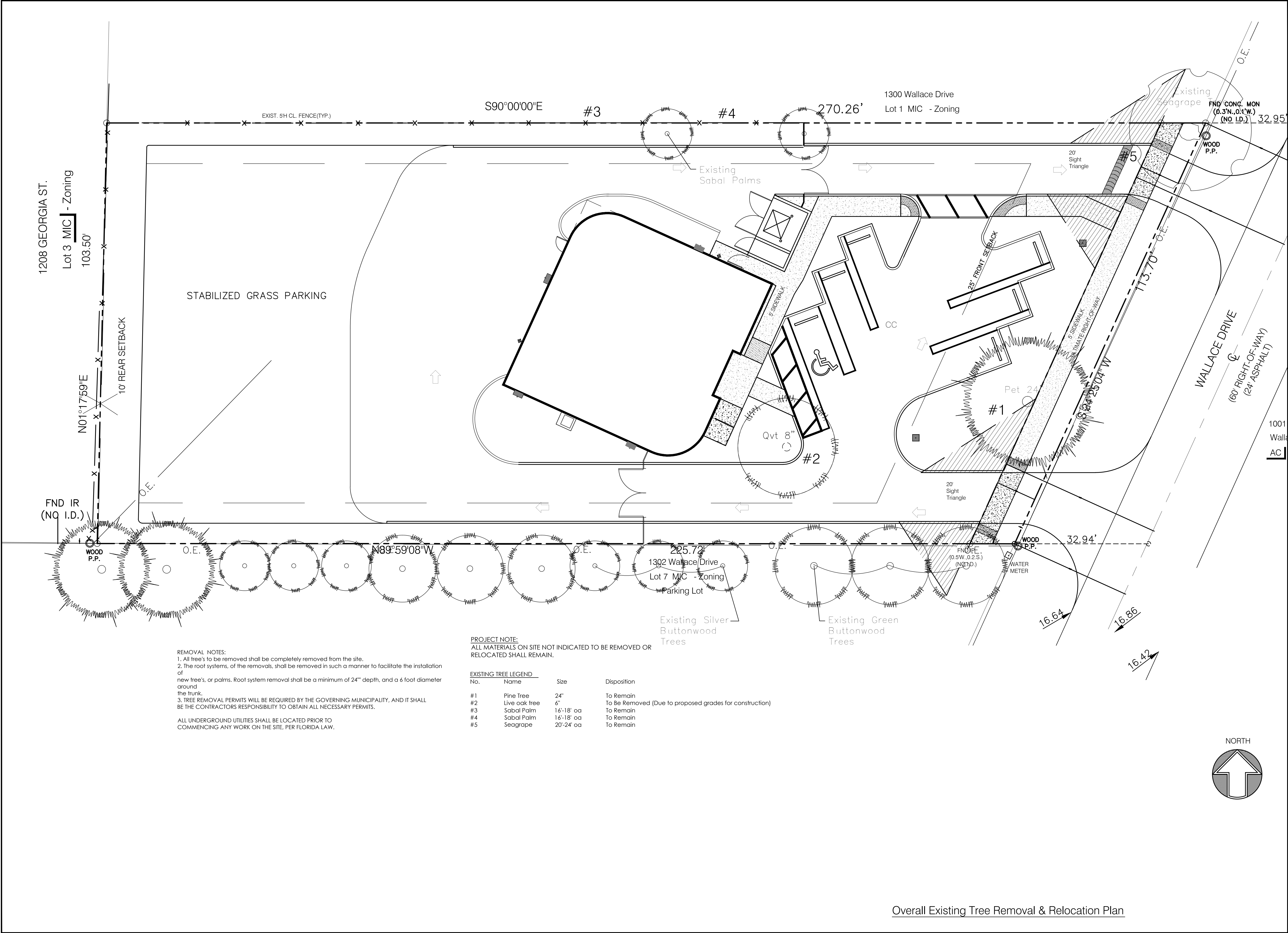
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy, Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 50

REVISIONS PER REVISED SITE PLAN LAYOUT	CRK	MAR 2016
REVISIONS PER REVISED SITE PLAN LAYOUT	CRK	JAN 2016
REVISIONS PER REVISED SITE PLAN LAYOUT	CRK	AUG 2015
NO. REVISION	BY	DATE

STRIPING & SIGNAGE  
PLAN

1302 WALLACE DRIVE  
DELRAY BEACH, FLORIDA 33444

MADE	CHK.	DATE	F.B.	MA.	PG.
CHECKED	DATE	SCALE	1" = 10'	OF	7
JOB NO.	JG-100-8632	SHEET	7	OF	7



REMOVAL NOTES:  
1. All tree's to be removed shall be completely removed from the site.  
2. The root systems, of the removals, shall be removed in such a manner to facilitate the installation of new tree's, or palms. Root system removal shall be a minimum of 24" depth, and a 6 foot diameter around the trunk.  
3. TREE REMOVAL PERMITS WILL BE REQUIRED BY THE GOVERNING MUNICIPALITY, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.

ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO COMMENCING ANY WORK ON THE SITE, PER FLORIDA LAW.

PROJECT NOTE:			
ALL MATERIALS ON SITE NOT INDICATED TO BE REMOVED OR RELOCATED SHALL REMAIN.			
EXISTING TREE LEGEND			
No.	Name	Size	Disposition
#1	Pine Tree	24"	To Remain
#2	Live oak tree	6"	To Be Removed (Due to proposed grades for construction)
#3	Sabal Palm	16'-18' o.d.	To Remain
#4	Sabal Palm	16'-18' o.d.	To Remain
#5	Seagrape	20'-24' o.d.	To Remain

REVISIONS	BY
REVISED 7-14-15 PER REVISED SITE PLAN (CITY COMMENTS)	
REVISED 1-11-16 PER REVISED SITE PLAN	
REVISED 3-9-16 PER REVISED SITE PLAN	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th AVE. Delray Beach, FL 33483  
LA. 831  
561-272-9621

Landscape for:  
**Schmidt Ivestment Properties**  
1302 Wallace Drive, Delray Beach, Florida

DRAWN SKP
CHECKED D.H.C.
DATE 1.07.15
SCALE 1" = 10'
JOB NO. 1.15.15
SHEET
L-1
OF 6 SHEETS



- NOTES:
1. All Trees, Shrubs & Plants used on this site shall conform to the requirements of "Low watering needs" materials as specified in the South Florida Water Management District's "Waterwise" publication.
  2. All proposed utility structures shall be planted on three sides with "Waterwise" Cocoplum hedges
  - 3.All landscape areas containing trees and vegetation shall be first filled with city inspected clean fill soil.
  4. Clean fill. All planted areas on the site shall first be filled with clean fill to a depth of one foot from the surface along the entire length of the green space, island, or landscape buffer.
  - 5.Inspection. The city shall inspect all clean fill, irrigation systems and landscape improvements prior to installation.

**Note:**  
All Above Ground Mechanical Equipment Such As, But Not Limited To, Exterior Utility Boxes, Meters, And Transformers Shall Be Depicted On All Plans And Shall Be Visually Screened. Backflow Preventers Shall Be Painted To Match Principle Structure.

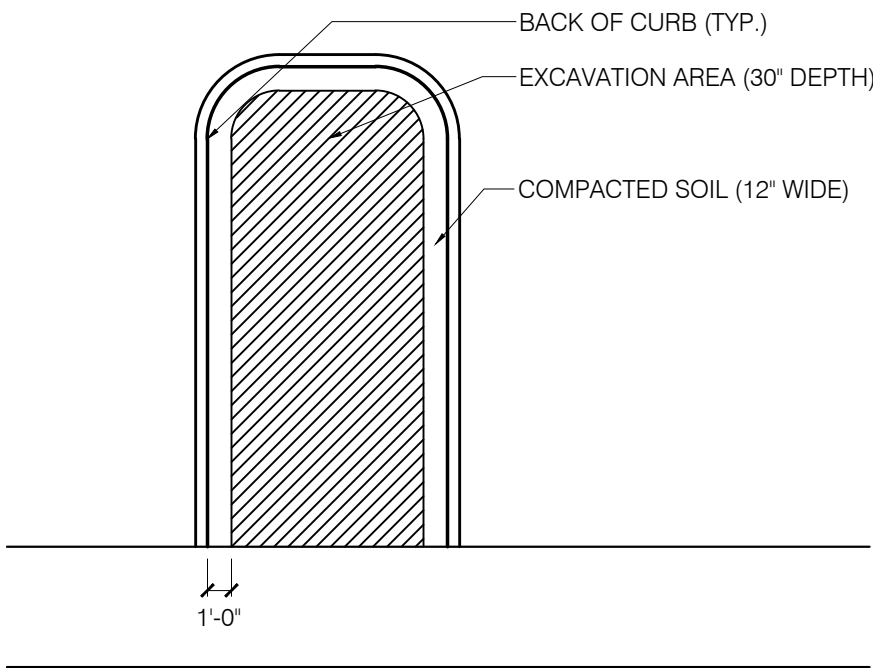
Automatic Irrigation system to provide 100% irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & Turf zones are to be separated. THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS

NOTE: All Landscape With-in Sight Triangles Shall Provide Unobstructed Cross-visibility At A Horizontal Level Between 30 Inches And 8 Feet, Including Trunks From Pavement.

MATERIAL SCHEDULE			
Qty.	Key	Botanical / common name	Size
4	Cest*	Conocarpus E. Serectius /Silver buttonwood tree	14-16'x7' B&B
4	Qvt*	Quercus virginiana/ Live oak tree	16'x8' 7" caliper
3	Smt*	Swietenia mahogany/ Mahogany tree	16'x7' B&B
2	Vmp-d*	Veitchia Montgomeryana/ Montgomery Palm, double	16' oa mtchg. hvy. calip. dble.
1	Vmp-t*	Veitchia Montgomeryana/ Montgomery Palm, triple	16' oa mtchg. hvy. calip. trple.
10	Sp*	Sabal Palm	16-18'oa.
1	Sp-t*	Sabal Palm Relocate	16-18'oa. Relocated
3	Pep*	Ptychosperma elegans / Alexander palm	16', oa
6	Cef	Conocarpus erectus/green buttonwood tree	16'x7' B&B
6	Ici*	Ilex Cassine/ Dahoon Holly	14-17'x7' B&B
300	A*	Annuals	4" pot@6"oc
76	Cl*	Chrysobalanus icaco/ Cocoplum	24"3g.@24"oc.
48	Pm-7	Podocarpus makii/ Yew	5-6'oa. columnar form
55	Mg	Muhly Grass	15" 3gal. @15"oc
115	Gif*	Ficus microcarpa/ Green island ficus	18"3g.@15" oc.
3	Ce-7*	Conocarpus erectus/ Gm bttnwood	4.5-5' oa @30"oc.
120	Ce-4*	Conocarpus erectus/ Gm bttnwood	4'x2' @48"oc.
120	D-bf	Dianella tasmanica/Blue flax lily	15-18"3g.@20"oc.
25	Ba-v	Brassia Arbocola /Varigated trinet	18"3g.@20"oc.
85	Cg*	Clusia guttifera/ Small leaf clusia	24"3g.@24"oc.
55	Mi	Moraea iridioides/ White african iris	24"3g.@24"oc.
10	Sr*	Serenoa repens/ Saw palmetto	15"3g.@30"oc.

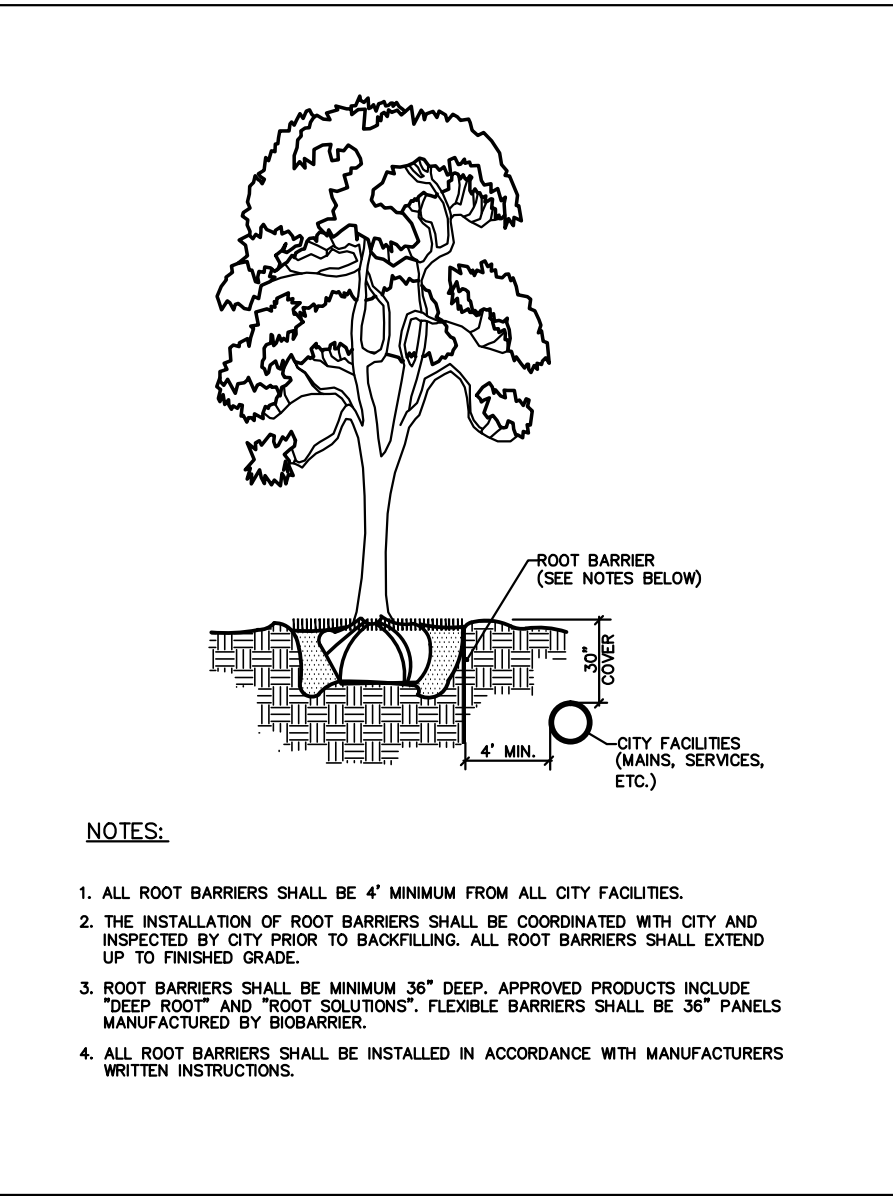
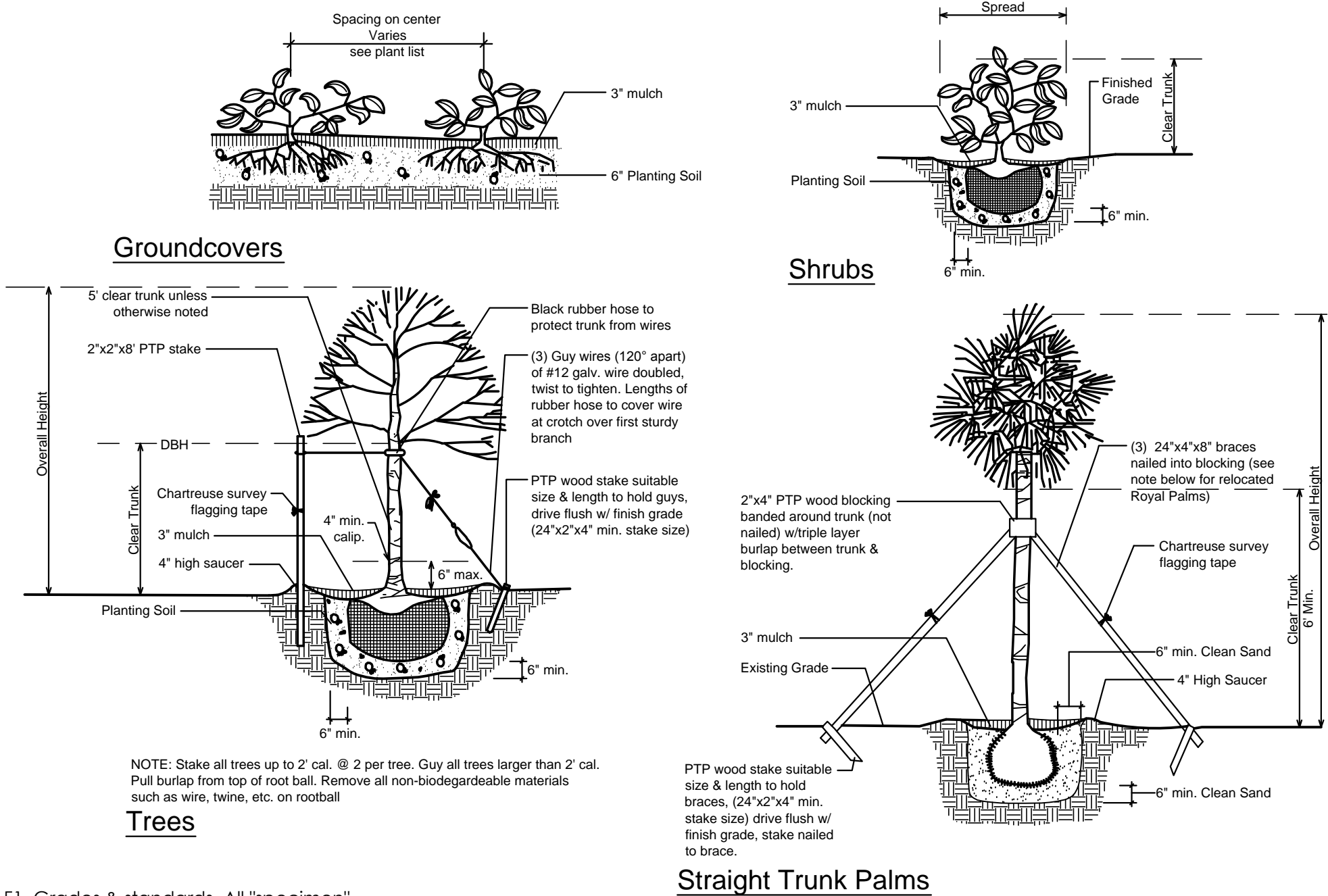
\* - Denotes native, or highly drought tolerant plant materials, per SFWMD, "Waterwise Manual".

Planting soils, see specs. & details  
Mulch, see specs. & details  
Sod Solid Floratam and Bahia as noted  
77% Native plant materials used.



Parking Area Soil Replacement Detail

NOTE:  
Existing native soil within all landscape inslands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see detail). A suitable planting soil mixture of fifty/fifty (50/50), sixty/forty (60/40) (sand / planting soil) shall eith be backfilled in place of the native soil or efficiently mixed with the native soil create an optimum environment for succesful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



- NOTES:
1. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
  2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
  3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 30" PANELS MANUFACTURED BY BIOBARRIER.
  4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Any Trees or shrubs placed within water, sewer or drainage easements shall conform to the City Standard Detail requirements.

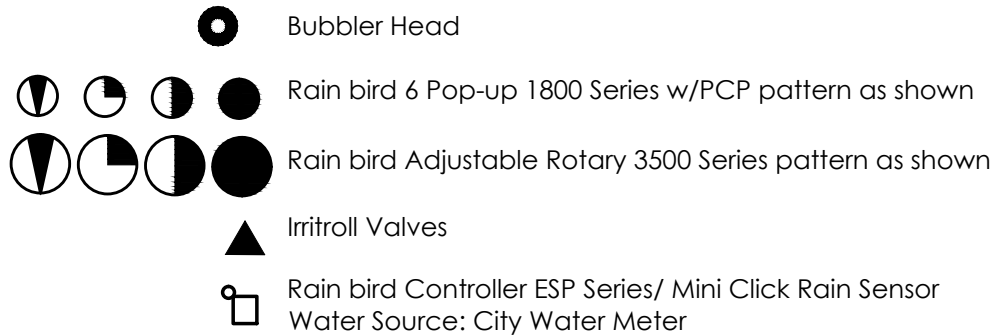
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**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th AVE. Delray Beach, FL 33483  
LA. 831  
561-272-9621

Landscape for:  
**Schmidt Ivestment Properties**  
1302 Wallace Drive. Delray Beach, Florida

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L-3
OF 6 SHEETS

IRRIGATION LEGEND



NOTE: Main line & valve locations are shown for graphic clarity only.  
All main lines & valves are to be located within landscape area's on-site.  
IRRIGATION NOTES:

Notes:  
Automatic Irrigation System  
Water demand/ zone  
Pressure required (refer to plan)

GENERAL  
System shall be installed in accordance with a Federal, State, and local codes, Contract drawings and Contract Specifications.  
Irrigation design is based on "Planting Plan" dated 01.11.16  
Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant locations.  
The water source for this system shall be City Water source.  
The master shut-off valve shall be activated via the automatic controller, and shall be used to depressurize the zone lines when the system is not operational.  
Contractor shall adjust the irrigation, where noted on the plans for actual field conditions, and shall install the system in accordance with South Florida Irrigation Society Standards and specifications.  
To insure proper operation of this system, pump size, pressure required, pipe and wire sizes, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications.  
Irrigation system shall provide 100% coverage, with a 50% overlap minimum, utilizing "rust-free" water source. If a well & pump system is to be utilized, the contractor shall provide a "chemical injection system" to inhibit rust stains, if water sample testing indicates that there will be "rust" staining from the well water.

PIPING  
ALL PIPING SHALL BE PURPLE PIPE FOR FUTURE AVAILABILITY OF RECLAIMED WATER  
Pipe routing is schematic only, and shall be field adjusted for on-site conditions.  
All pipe shall be installed in accordance with local codes, and per manufactures recommendations.  
Pipe routed under paver surfaces, and through planter walls shall be sleeved in SCH 40 PVC. Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Contractor shall verify the location, depth & size of all existing sleeves, as required.  
Pipe installed above grade for the backflow preventer shall be SCH 40 Galvanized pipe. All other piping shall be PVC. The main line shall be SCH 40 PVC, laterals sized from 1" to 2" shall be SDR 26, Class 160, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe.

Pipe shall be installed so the backfill depths are maintained at 18" , for main lines and all lateral lines routed beneath pavement, and at 12" for all other lines. The depths from 1" to 2" shall be SDR 26, Class 160, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe.  
Backfill material shall be suitable material, free of rocks, stones, or other debris that could damage components of the irrigation system.

SPRINKLERS  
Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, hardscape elements, etc., to provide 100% coverage with a no overthrow onto paved surfaces, or building facades.  
Pop-up spray heads shall be Toro series 6", and 12" type, which are to be installed on flexible swing joints of Toro thick-walled poly pipe with 1/2" insert elbows. THERE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THE PROJECT.  
Shrub heads shall be installed at a uniform height of 6" above the plantings, and are to be located within planting masses so as to be concealed from view.  
Shrub type spray heads shall be Toro 570 series, and are to be installed on a 1/2" SCH 40 PVC risers.  
Bubblers are to be installed on a SCH 40 PVC risers at the base of the plant material, for low-level watering.  
All SCH 40 PVC risers are to be painted "Forest green", or Brown, to be less conspicuous.  
Toro 12" pop-up sprinklers shall be installed in ground-cover areas at the parking-lot islands, and at other critical locations, as determined in the field by the Landscape Architect.

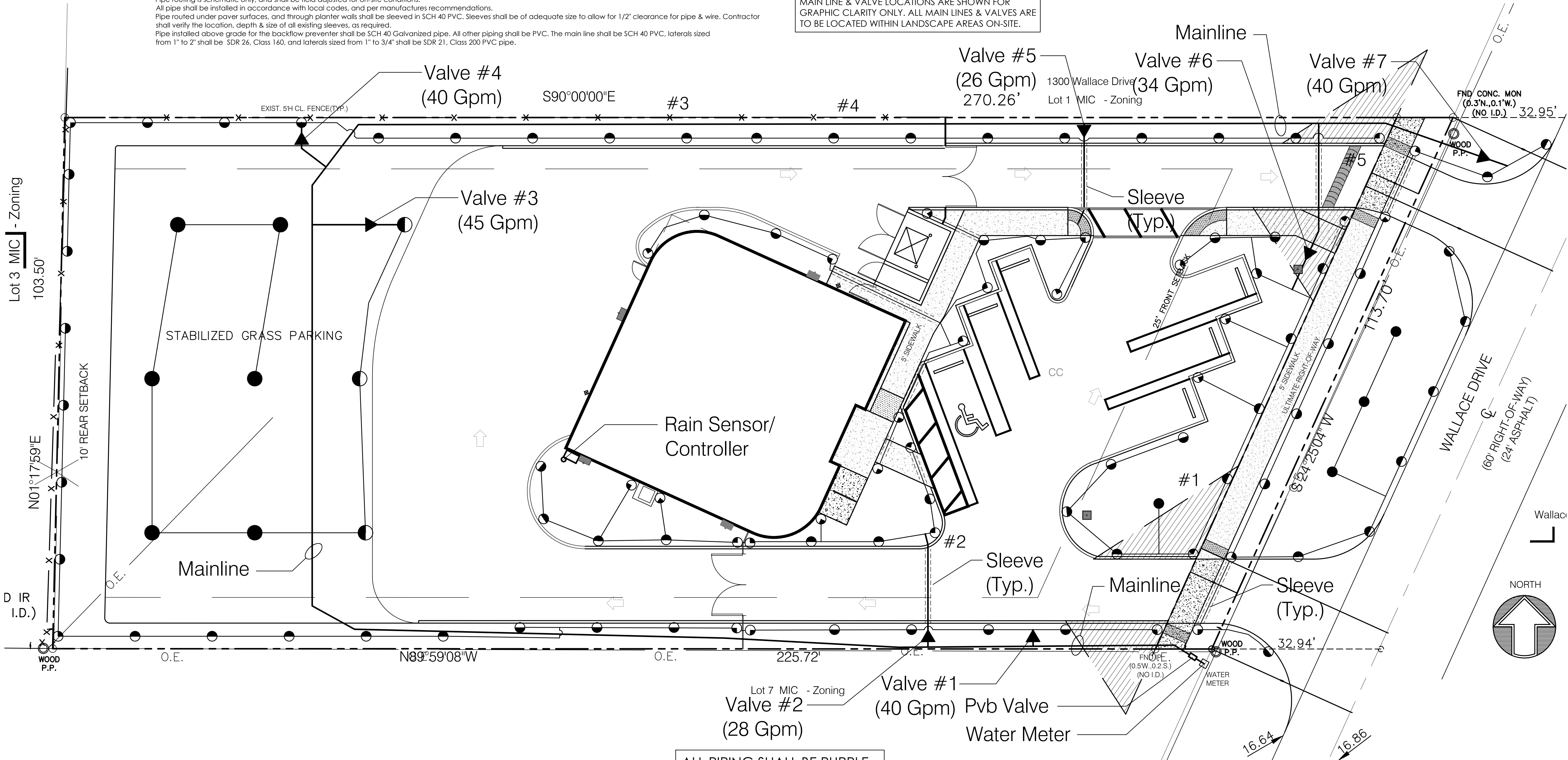
Sprinklers located adjacent to pavement, sidewalks, decks, patios, buildings, etc., shall be installed 8" from the edge. Unless other-wise noted on the plans, pop-up sprinklers shall be installed 6" from the edge, and shrub sprinklers shall be installed 18" from the edge. Shrub risers are not to be installed at walk-way intersections, or where-ever a "trip & fall" hazard may occur.  
Adjustment feature of sprinklers specified shall be utilized to insure proper coverage, while minimizing undesirable overthrow.  
Contractor shall use precaution in locating, and setting sprinkler heads in planting areas adjacent to parking spaces to minimize the damage to sprinklers be overhanging car bumpers.  
Pop-up sprinklers with :low angle" nozzles shall be installed amid masses of tall shrubs, for low level watering. Contractor shall install sprinklers at optimum locations for the most effective coverage.

CONTROL SYSTEM  
Rainbird control system shall be installed, per manufactures recommendations, to activate in-line valves, and the master shut-off valve.  
Proper grounding equipment shall be installed, for the controller.  
Controller location shall be approved by the Landscape Architect, and project supervisor.  
The irrigation contractor shall supply the controller, however the physical installation there-of, and the electrical hook-up shall be by others.

VALVES  
Richdale, or approved equal, electric valves shall be installed per manufactures recommendations, and as per details. All valves are to be installed in a 10" Armetex valve box, see details.

RAIN SENSOR  
Mini-click" rain sensor shall be installed, per manufactures recommendations. Rain sensor location shall be approved by the Landscape Architect.

IRRIGATION MAIN LINE NOTE:  
MAIN LINE & VALVE LOCATIONS ARE SHOWN FOR GRAPHIC CLARITY ONLY. ALL MAIN LINES & VALVES ARE TO BE LOCATED WITHIN LANDSCAPE AREAS ON-SITE.



ALL PIPING SHALL BE PURPLE PIPE FOR FUTURE AVAILABILITY OF RECLAIMED WATER

Irrigation Plan

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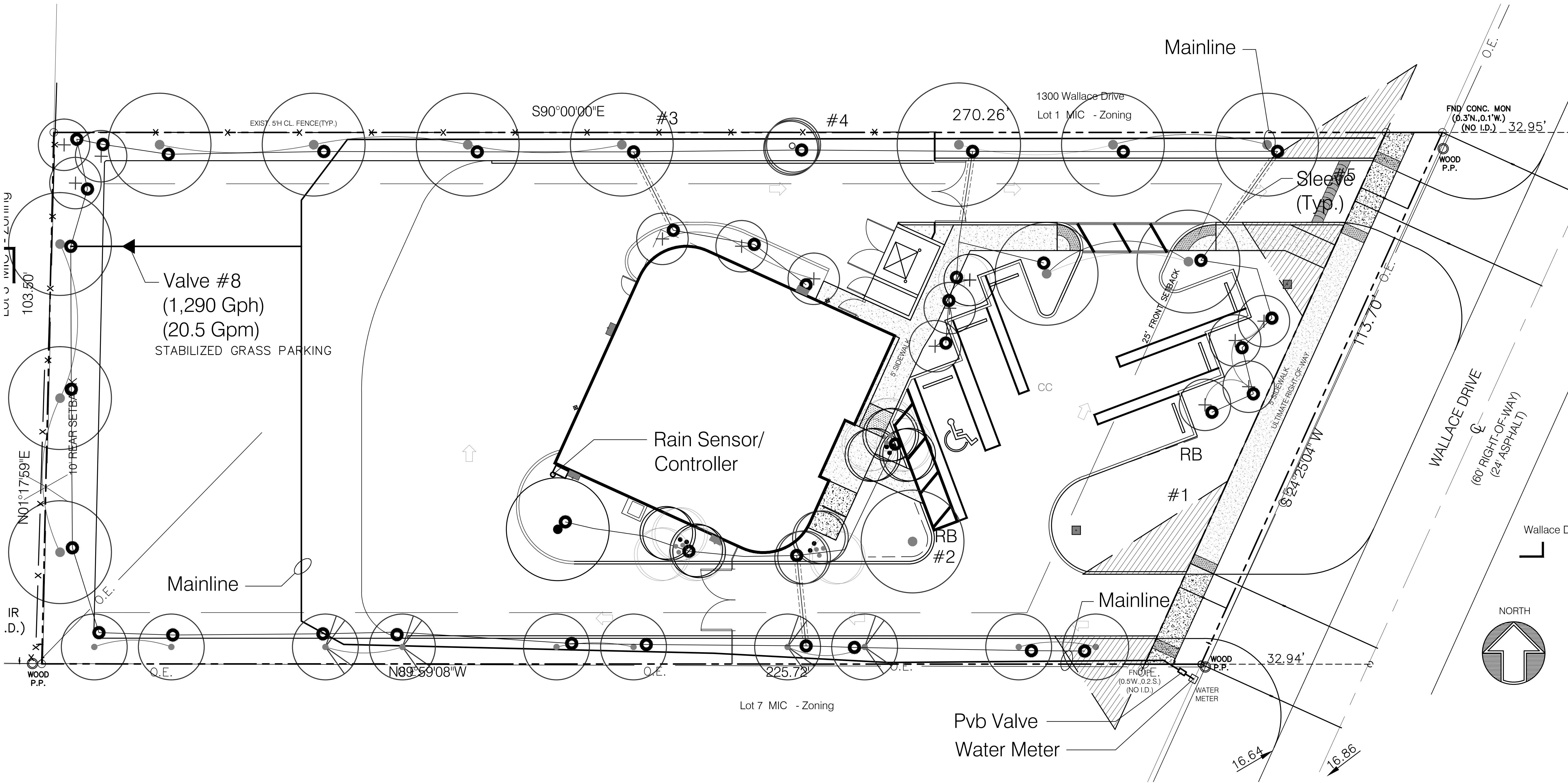
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IRRIGATION LEGEND

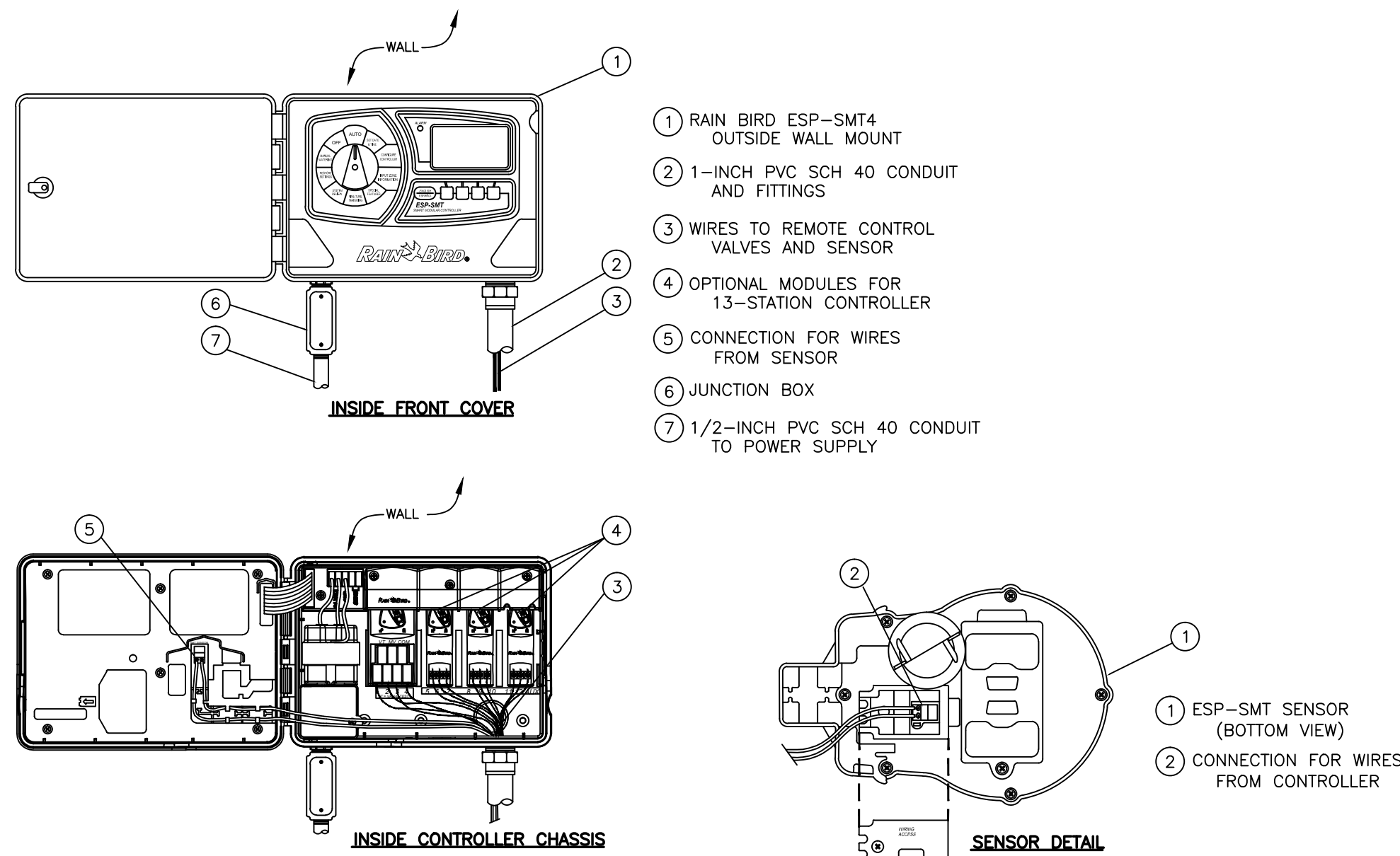
- Bubbler Head
- Intitroll Valves
- Rain bird Controller/ Mini Click Rain Sensor
- Water Source: Well & Pump System

IRRIGATION NOTE:  
ALL LANDSCAPE AREAS TO RECEIVE 100% IRRIGATION  
COVERAGE WITH 50% OVERLAP MIN. SYSTEM TO BE FULLY  
AUTOMATIC WITH A "PROGRAMMABLE" CONTROLLER,  
LOW VOLTAGE VALVES AND RAIN SENSOR.

IRRIGATION MAIN LINE NOTE:  
MAIN LINE & VALVE LOCATIONS ARE SHOWN FOR GRAPHIC CLARITY  
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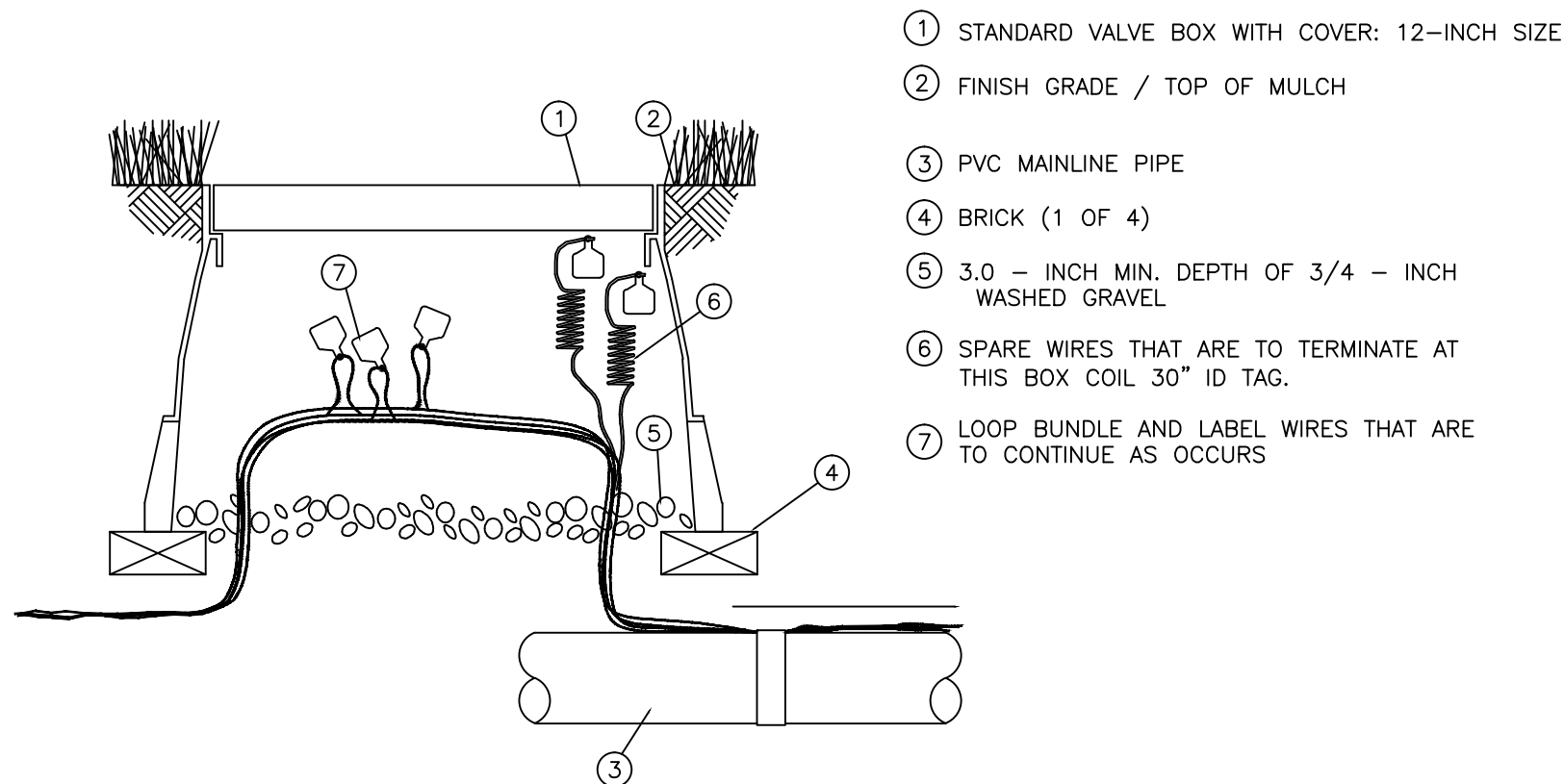


Bubbler Plan

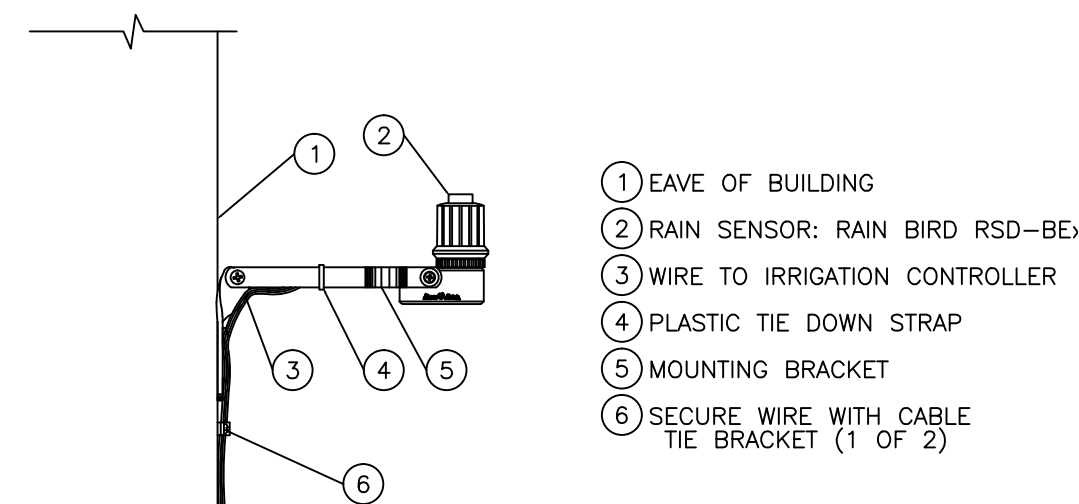


NOTE:  
WIRE LENGTH FROM CONTROLLER  
TO SENSOR NOT TO EXCEED 200  
FEET.

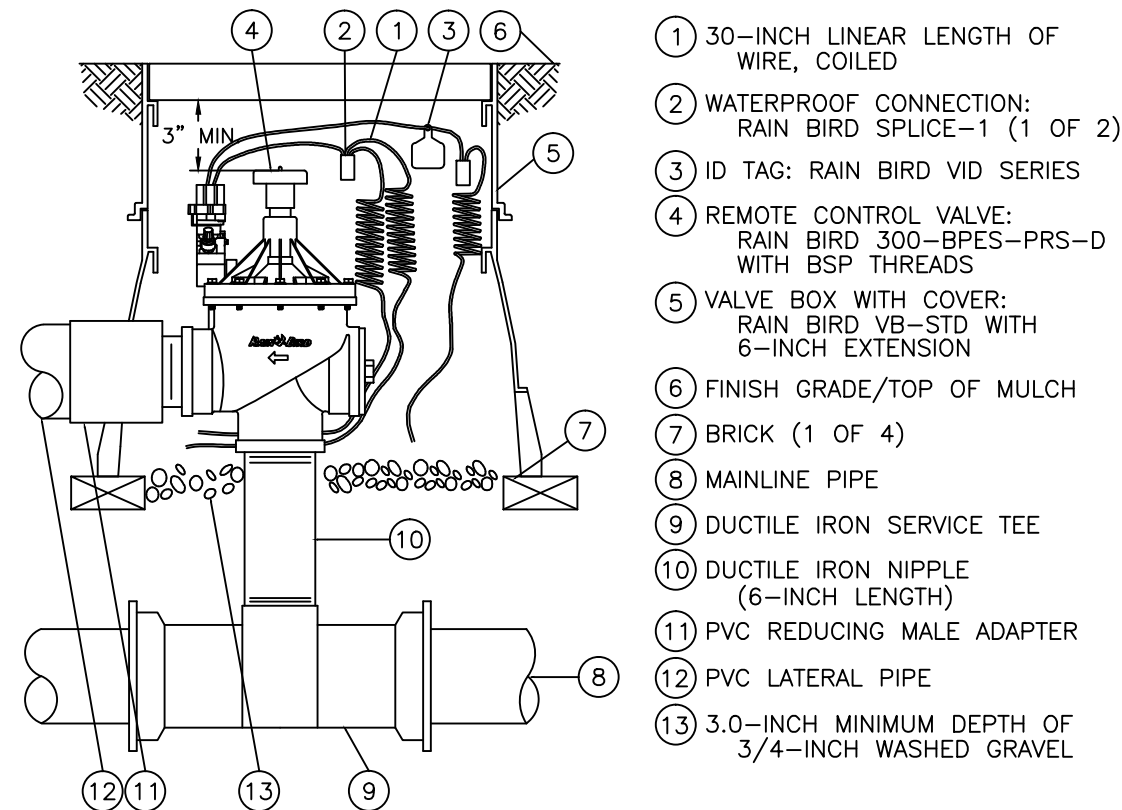
1 ESP-SMT SMART CONTROL SYSTEM  
N.T.S.



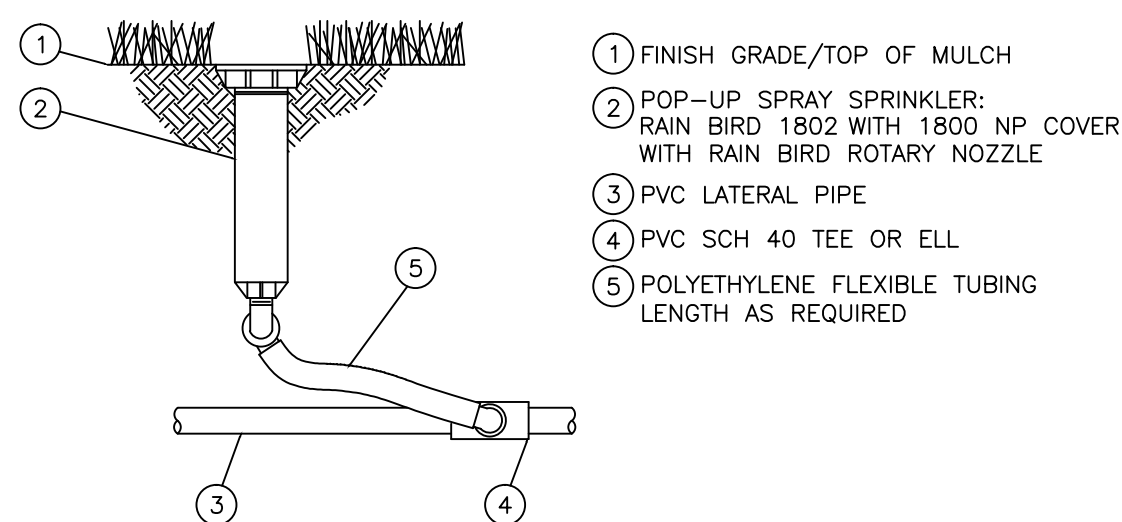
2 WIRE BUNDLE JUNCTION BOX  
N.T.S.



3 RAIN SENSOR- RSD-BEx WALL BRACKET  
N.T.S.



4 ELECTRIC REMOTE CONTROL VALVE  
N.T.S.



5 ROTARY SPRAY ASSEMBLY  
N.T.S.

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