



*Planning & Zoning Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 226 Palm Court, Hacker Medical Office  
**Project Location:** 226 Palm Court, Del-Ida Park Historic District  
**Request:** Certificate of Appropriateness and Class V Site Plan, Landscape Plan, Architectural Elevations, and a waiver request.

**Board:** Historic Preservation Board  
**Meeting Date:** March 2, 2016

**Board Action:**

Denied the Certificate of Appropriateness, Class V Site Plan, Landscape Plan, Architectural Elevations, and waiver request (5 – 1; Andrea Sherman dissented, Rhonda Sexton absent) by finding that the request and approval thereof is not consistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).

**Project Description:**

The project is located at 226 Palm Court within the Del-Ida Park Historic District and consists of the new construction of a three-story, 15,055 square foot building (under-roof) containing covered parking and an entry lobby on the first floor, a medical office on the second floor, and a single residential unit on the third floor. The property is located within the Residential-Office (RO) zoning district. A waiver request to LDR Section 4.4.17(H)(3) was included with the request to permit the four parking spaces in the area between the street and the structure.

Staff raised concerns regarding the height, scale, and mass; however, the proposal met the requirements to determine visual compatibility for height and scale.

Staff recommended approval on the Site Plan subject to conditions regarding a right-of-way dedication and plat recordation, Landscape Plan, Architectural Elevations, and Waiver request.

**Board comments:**

The Board commented on the garage door within the front elevation, the Art-deco inspired style was problematic for some and attractive for others, the proposed massing, the number of stories as there are no other three-story buildings within the district) and this one would create a precedent, the relation of the building with the adjacent structures, the Visual Compatibility Standards of Section 4.5.1(E)(8), doesn't honor the rhythm and flow of the neighborhood, and the overall size and scale of the building.

**Public input:**

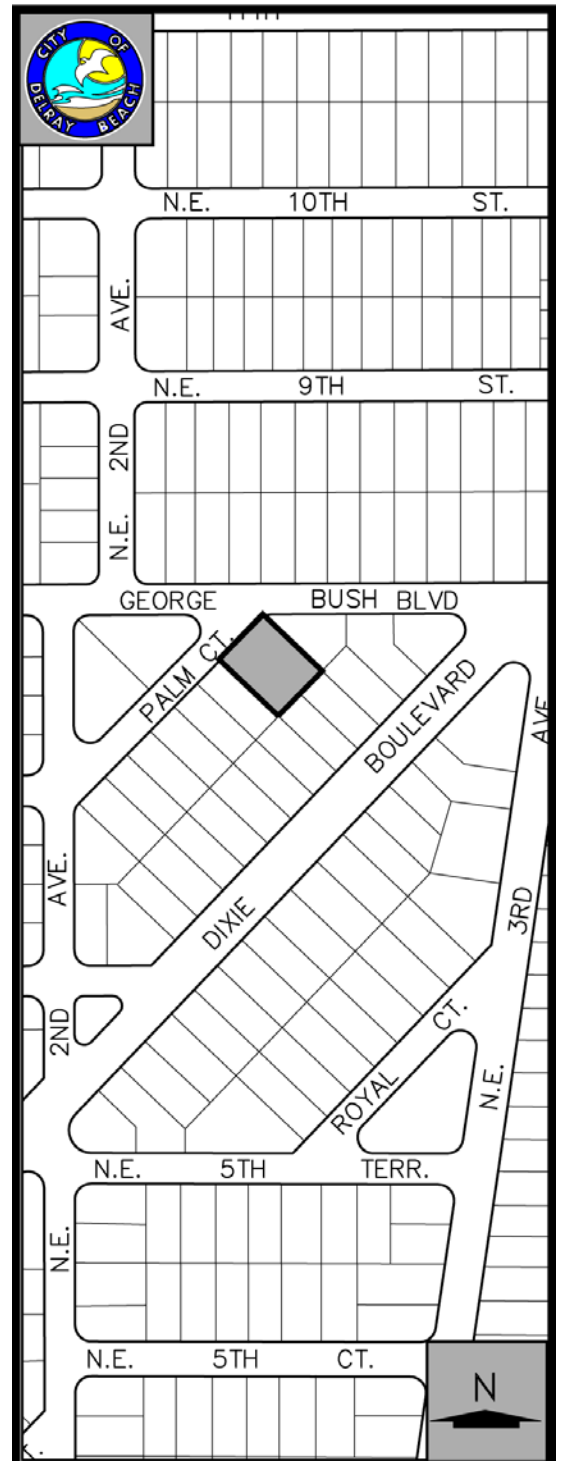
A member of the public and resident of the Del-Ida Park Historic District spoke on the item noting its impact on the neighborhood and location among one-story structures.

**Associated Actions:** All required actions were taken with the Board's denial.

**Next Action:** HPB action is final. NOTE: An appeal was submitted by the property owner for consideration by the City Commission at an upcoming meeting.

**---STAFF REPORT---**

**ITEM:** Class V Site Plan (2015-169) for the new construction of a three-story building consisting of medical office and residential uses on the property located at **226 Palm Court, Del-Ida Park Historic District.**



## ITEM BEFORE THE BOARD

The action before the Board is approval of a Certificate of Appropriateness, Class V Site Plan, Landscape Plan, and Architectural Elevations for the property located at **226 Palm Court, Del-Ida Park Historic District**, pursuant to LDR Section 2.4.5(F).

## BACKGROUND

The subject property consists of Lots 2 & 3, Block 11, Del-Ida Park and is located on the southeast corner of Palm Court and George Bush Boulevard. A Masonry Vernacular duplex constructed in 1958 is located on the property and is considered non-contributing as part of the Del-Ida Park Historic District. A second duplex which previously existed on the subject property was demolished per the HPB approval noted below.

At its meeting of July 16, 2003 the Historic Preservation Board (HPB) approved a COA, Class V site plan, and landscape plan, and design elements to convert the existing duplex to an office building and demolish a second duplex. However, the approved development expired prior to completion of the project, aside from the demolition.

A similar project to the aforementioned approved Class V Site Plan was approved by the HPB at its meeting of July 2, 2008. The approval also expired prior to the commencement of the project.

At its meeting of November 3, 2015, the Board reviewed a Concept Plan Review for the subject proposal and noted concerns primarily associated with the style and its appropriateness to the Del-Ida Park Historic District. The applicant subsequently submitted the subject proposal which has been revised since this non-binding review.

## PROJECT DESCRIPTION

A new Class V Site Plan request has been submitted which includes the following:

- Demolition of the existing and vacant non-contributing, one-story duplex;
- Construction of a three-story, mixed-use building with a total of 15,055 square feet under roof.
  - First Floor consists of covered parking for 12 spaces, and a lobby space with elevator access to the second floor.
  - Second Floor consists of 5,052 total square feet of medical office, including two balconies.
  - Third Floor consists of a single-residential unit with three bedrooms consisting of 4,493 total square feet, including a porch and open terrace.
- Installation of four parking spaces at the front of the building including a loading/delivery space, and one handicap space.
- Landscaping improvements throughout the property.

A waiver to LDR Section 4.4.17(H)(3) has been submitted to permit the four parking spaces in the area between the street and the structure.

The Class V Site Plan, Landscape Plan, Architectural Elevations, and waiver request are now before the Board for consideration.

## SITE PLAN ANALYSIS

Pursuant to **LDR Section 2.4.5(F)(5), Findings**, in addition to provisions of Chapter Three, the approving body must make a finding that the development of the property pursuant to the site plan will

be compatible and harmonious with the adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Pursuant to **LDR Section 4.4.17(F), Development Standards**, the development standards as set forth, for the RO District, in Section 4.3.4(K) apply, as illustrated in the chart below

	<u>Standard</u>	<u>Proposed</u>
Lot Coverage (Maximum)	40%	39.6%
Height (Maximum)	35'	35'
Setbacks		
Front (Northwest/North)	25'	52.4
Side Interior (Northeast/North)	7'6"	8'3" – 17'5"
Side Interior (Southwest/South)	10'	7'7"-16'3"
Rear (Southeast/South)	10'	10'7"
Open Space (Minimum)	25%	40.2%

Pursuant to **LDR Section 4.4.17(G), Supplemental District Regulations**, supplemental district regulations as set forth in Article 4.6 are applicable.

Pursuant to **LDR 4.4.17(G)(2)**, parking required for business, medical, and professional offices shall be at the standard of one space per three hundred square feet of net floor area (1/300). However, this requirement may be reduced to 1/400, or at least by one parking space, when there is a mix of residential and office use in the same structure or for an existing structure on a property located within a designated historic district or an individually designated historic site.

The proposed net floor area for the medical use consists of approximately 4,694 square feet. With the residential unit added to the development, the applicable parking calculation is 1 space / 400 square feet. Additionally, the residential unit requires two parking spaces, plus .5 guest spaces. Therefore, the total required amount of parking spaces is 14 ( $11.735 + 2.5 = 14.24$ ). The proposed parking includes 15 spaces consisting of one space for loading, two handicap spaces, five compact, and seven standard spaces.

Pursuant to **LDR Section 4.4.17 (H), Special Regulations**, the following apply:

- (1) All buildings and structures shall appear to be residential in character regardless of the actual use therein, shall be kept in a sound and attractive condition, and in established neighborhoods shall be generally compatible in architectural style and scale with the surrounding area.
- (2) A building or structure in the RO District may contain either a residential use, an office use, or a mix of uses.
- (3) All parking for nonresidential principal uses and conditional uses shall be located in the side or rear yard or adjacent to a rear alley. No parking shall be located in the area between any street and the structure (building). Where there are existing buildings, administrative relief [Section 2.4.7(D)] may be sought from this subsection (3) provided it is determined that compliance with these provisions is not feasible and that the residential character of the area will be maintained and that such parking area shall be substantially screened from off-premises view by, at least, a four-foot high hedge.

The proposed building has a generally residential character, moreso found with multi-family residential structures which are not permitted in the RO zoning district, as opposed to single-family, which are permitted in the RO zoning district. The multi-family character primarily stems from the multi-story height and central vehicular access to the covered parking. Nonetheless, the requirement is that the character be of a residential nature, which has been provided. Architecturally, the proposal is compatible; the style is historically found in the district even though it is not a predominant style. The scale, however, is generally larger than the overall historic scale of the Del-Ida Park Historic District



which is made up of one and two-story structures of a smaller scale. The newer structures in the district are inherently of a larger scale and predominantly two-story. Additional analysis regarding the scale is provided under the Architectural Elevations review of this report.

As provided above, the RO district permits a mix of office and residential uses, which has been proposed. The parking for these uses, however, has been provided both below the structure, and between the structure and Palm Court. Administrative relief to this requirement is not permitted as it is new construction, therefore, a waiver has been requested to permit the location of five spaces at the front of the property.

#### **Article 4.6, Supplemental District Regulations**

Pursuant to **LDR Section 4.6.8, Lighting**, all developments/redevelopments are encouraged to utilize energy efficiency lighting.

Pursuant to **LDR Section 4.6.8(A)(1), General Requirements, Luminaries Height**, the maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot.

The proposed lighting consists of two freestanding fixtures with a concrete pole at the front of the property in front of the proposed parking spaces; the parking area will be lit with ceiling mounted fixtures. The freestanding fixtures measure 16'4" in height with the bottom of the luminaire measuring 13' from grade.

Pursuant to **LDR Section 4.6.8(A)(2), Cutoff Luminaire Required**, all perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

Pursuant to **LDR Section 4.6.8(A)(3), Illumination Standards**, the applicable illumination standards are as follows:

	Foot Candles		
	Max Permitted	Min. Permitted	Provided
Commercial Parking Lot	12	1.0	12 – 1.0
Building Entrance	10	1.0	2.5 - 1.4
Parking Garage/Structure			
Day	500	50	52.7 - 5.0
Night	10	1.0	9.6 - 1.0

The proposed lighting levels are appropriate at the front of the property as they are within the permitted range with the average lighting level in the middle. The garage parking levels indicated are those for the daylight hours as brighter light is needed and the natural light into this area will be limited. The lighting levels at night will be much lower as they will be automatically dimmed by a sensor to adjust with the darker surroundings. The garage lighting will still provide sufficient lighting for security purposes in the evening, and the spillover is eliminated which will not impact adjacent properties.

Pursuant to **Section 4.6.9(C)(1)(c)(3), Number of Parking Spaces Required, General Provisions, Bicycle Parking**, bicycle parking facilities shall be provided in a designated area and by a fixed or stationary bike rack for any non-residential use within the City's TCEA which, through the development review process, is determined to generate a demand.

The subject location is not located within the TCEA; however, a bike rack has been provided at the front of the building, adjacent to the entry lobby entrance. It is noted that there are bike lanes planned to be constructed along NE 2<sup>nd</sup> Avenue/Seacrest Boulevard and George Bush Boulevard in the coming years. Therefore, the provision of the bike rack is appropriate and provides an alternative

Pursuant to **LDR Section 4.6.9(D)(3)(b)**, the point of access to a street or alley shall not be less than 24' for a normal two-way private street or parking lot driveway aisle. Access to the property is provided by a 24' driveway from Palm Court, which is compliant with the subject requirement.

Pursuant to **LDR Section 5.3.1(D)(2)**, and the Transportation Element of the City's Comprehensive Plan, the required right-of-way width for George Bush Boulevard is 80', whereas 50' of right of way presently exists. The Development Services Management Group (DSMG) has reviewed the right of way for George Bush Boulevard determined that 60' of right of way is sufficient. Therefore, a 5' dedication (half the distance of the difference) is required. Installation of a 5' sidewalk is not required as it exists and spans the entire frontage of the property. The existing right of way for Palm Court is 50', and no additional right of way is needed as it is a Local Road. It is noted that the dedication for George Bush Boulevard will be required via the plat process, or may be provided via separate instrument prior to the plat being reviewed and approved. The required 5' dedication has been accommodated with the development proposal.

Pursuant to **LDR Section 5.1.3(A), Plat Required**, a plat is required for the dedication of any street for public use. Therefore, the applicant will be required to plat the property, and have it recorded prior to the issuance of the Certificate of Occupancy by the Chief Building Official.

#### **Refuse Container Area**

The proposed refuse container storage area is located within a reserved and gated area along the southwest side of the building. Roll-out bins for both the trash and recycles will be provided. A separate trash room within the covered parking area is proposed for the residential unit; trash will arrive by a chute from the third floor.

### **WAIVER REVIEW AND ANALYSIS**

Pursuant to **LDR Section 2.4.7(B)(5), Procedures for Obtaining Relief From Compliance With Portions of the Land Development Regulations, Waivers**, prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and,
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

Pursuant to **LDR Section 4.4.17 (H)(3), Special Regulations**, all parking for nonresidential principal uses and conditional uses shall be located in the side or rear yard or adjacent to a rear alley. No parking shall be located in the area between any street and the structure (building).

In consideration of the criteria, the provision of parking between the building and the street is not permitted in the RO zoning district as a means of maintaining the residential character in the neighborhood by eliminating commercial parking areas adjacent to the street. However, many of the parking areas within this area of the historic district are located between the street and the building, and therefore, the granting of the waiver may not adversely affect the neighboring area as the property is surrounded by other RO zoned properties with parking between the street and the structure. In addition, the amount of parking forward of the structure is minimal, and less likely to be utilized, as patrons would likely prefer the covered parking area. The provision of public facilities will not be impacted, and an unsafe situation should not be created as a result of the parking at the front. Additionally, the loading space is located at the front which permits deliveries to occur on-site, as opposed to parking in the right of way, thereby eliminating the potential for an unsafe situation. With respect to the granting of the waiver request resulting in a special privilege, the development is going to occur on an empty lot once the duplex is demolished and therefore, compliance with the subject requirement should be provided as

there are no existing conditions prohibiting compliance. However, the proposed building is significantly setback from the front property line in order to meet the technical requirements of LDR Section 4.5.1, thereby not permitting the parking in front to be included within the covered area, while providing less building mass. Given the requirement to balance the LDRs while meeting the additional technical requirements for buildings in the historic districts, it can be considered that the waiver is not a special privilege, as it is preferred to meet the historic district standards and seek relief for a rule that is applicable city-wide if it does not result in a negative impact on the neighborhood. As previously noted, there are other properties in the vicinity with parking located between the structure and the right of way. For example, there is a large parking area between the structure at 251 Dixie Boulevard and George Bush Boulevard. The property, which was developed in 2008, has access from both George Bush Boulevard and Dixie Boulevard.

Given the above, the subject waiver can be supported as positive findings can be made.

## LANDSCAPE PLAN ANALYSIS

Pursuant to **LDR Section 4.6.16(A), Landscape Regulations, Purpose**, the objective of this article is to improve the appearance of setback and yard areas in conjunction with the development of commercial, industrial, and residential properties, including off-street vehicular parking and open-lot sales and service areas in the City, and to protect and preserve the appearance, character and value of the surrounding neighborhoods and thereby promote the general welfare by providing minimum standards for the installation and maintenance of landscaping.

The City's Senior Landscape Planner has reviewed the proposed landscaping improvements and determined that they are in compliance with LDR Section 4.6.16. Two existing Sabal Palms will be removed from the site. Proposed improvements include Montgomery Palms along the side (northeast and southwest) property lines, with five Silver Buttonwoods providing a buffer along the rear property line. Snake Palms will be located in front of the building, with additional Montgomery Palms between the parking area and Palm Court. A podocarpus hedge will be planted adjacent to the foremost parking spaces to assist in screening them from the right of way. As compliance with the requirements have been made, positive findings can be made to approve the proposed Landscape Plan. However, the Board should consider additional screening for the front parking spaces with additional hedges provided.

## ARCHITECTURAL ELEVATIONS SECTION 4.5.1, HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to **LDR Section 2.4.6(H)(5), Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings**, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to **LDR Section 4.5.1(E), Historic Preservation Sites and Districts, Development Standards**, all development regardless of use within individually designated historic properties and/or properties located within historic districts, whether contributing or noncontributing, residential or nonresidential, shall comply with the goals, objectives, and policies of the Comprehensive Plan, these regulations, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to **LDR Section 4.5.1(E)(2)(b)1., Major and Minor development**, the subject proposal is classified as Major Development as it is new construction in a historic district.

Pursuant to **LDR Section 4.5.1(E)(3)(b)1., Buildings, Structures, Appurtenances and Parking, Parking**, parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

The proposed parking is primarily located within the ground floor of the building, while four spaces are located in front of the building. Parking adjacent to the building or in the rear of the property is not possible, given the proposed placement of the building. A majority of the parking is covered, with a minimal amount located at the front. Screening has been provided with a hedge, however, as previously noted, the Board may want to consider the provision of additional screening of these spaces. The proposed material for the driveway is brick in a herringbone pattern, which is appropriate for the historic district. The driveway type, which leads into the property and to the covered garage is also appropriate, in that it is akin to a residential driveway leading directly to the garage or carport.

Pursuant to **LDR Section 4.5.1(E)(5), Standards and Guidelines**, a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

### **Standards**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. (Standard # 1)

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. (Standard 9)

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. (Standard 10)

In consideration of the applicable Standards above, the property, which originally contained two, one-story duplexes, will significantly change the low-scale characteristic of the site and surrounding environment by its inherently larger scale and mass notable in new construction. The proposed new construction is clearly influenced by Del-Ida Park's prime example of the streamline design located at 503 NE 2<sup>nd</sup> Avenue which will differentiate it from the balance of new construction in the district which primarily consists of a mix of vernacular and Spanish influenced styles. The integrity of the district will not be compromised or negatively impacted, and if removed in the future the area would be unimpaired. Therefore, the proposal is generally in keeping with the applicable Standards, with the exception of the proposed new use which is proposing significant change to the site and environment.

Pursuant to **LDR Section 4.5.1(E)(7), Demolition**, demolition of historic or archaeological sites, or buildings, structures, improvements, and appurtenances within historic districts shall be regulated by

the Historic Preservation Board in the manner described in Section 4.5.1(F). Demolition of any structure, whether contributing or non-contributing, shall not occur until a building permit has been issued for the HPB approved redevelopment. All structures approved for demolition and awaiting issuance of a building permit for the redevelopment shall be maintained in a manner similar to that in which it existed at time of application unless the Chief Building Official determines that an unsafe building condition exists in accordance with Section 4.5.1(G). The subject property contains a non-contributing duplex; however, the duplex cannot be demolished until the building permits for both the demolition and the new construction are issued. This is noted as a reminder to the property owner and/or agent in order to eliminate an issue if the demolition permit is submitted but is subsequently held from issuance.

Pursuant to **LDR Section 4.5.1(E)(8)(a-m), Visual Compatibility Standards**, new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

**(a) Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures shall also be determined through application of the Building Height Plane, First Floor Maximum Height, and Upper Story Height(s).

**(b) Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.

**(c) Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.

**(d) Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.

**(e) Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.

**(f), Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.

**(g), Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.

**(h) Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.

**(i) Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.

**(j) Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the

building size and mass of historic buildings and structures within a historic district for all development.

**(k) Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.

**(l) Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The height of the proposed building measures 35' which is the maximum permitted in the RO zoning district. Visual Compatibility with respect to height requires compliance with respect to the Building Height Plan, First Floor Maximum Height of 14', and the Upper Story Height maximum of 12'. The Building Height Plane requires the additional setback of upperstories from the front setback line in order to mitigate an impact on the streetscape. The proposed building is situated 52'4" from the front property line, and the proposal has also provided balconies on the front façade, which permits the Building Height Plane ratio to increase. As a result, the proposed building is in compliance with the requirement. Additionally, the first floor height measures approximately 13', which is less than the maximum 14' permitted, and the upper story heights measure 12' each, which is also permitted.

The front façade width is generally proportionate with the lot width, which would be best suited at that measurement for a one-story building in this district. The upper stories emphasize the width and overall massing of the building, which is larger than the historic buildings in the district, and thereby potentially highlighting an incompatibility with respect to proportion.

The proportion of openings is appropriate for the style of building, and the overall rhythm of solids and voids is compatible. This is evident in each façade. The rhythm of the entrance and the upper story porch projections are appropriate, as well. While the entrance is significantly setback from the front, the entire building is setback more than double the minimum setback required, which assists in the mitigating an impact on the streetscape by the upper stories. However, in looking solely at the entrance, this is not necessarily visually compatible due to its distance from the street which cuts its relationship with the street. The upper story porch projections are appropriate for the building and are not incompatible for the historic district. These projections also assist in breaking up the front façade and creating additional visual interest.

The relationship of materials, primarily stucco and glass, is appropriate, with colors to accent the building details and overall architectural style. The flat roof shape is also appropriate to the style, and is compatible for the district. In consideration of the compatibility of the wall of continuity standard, there are no fences or walls proposed along the street-side of the property. There is landscaping proposed, and hedging within the front yard area adjacent to parking, which are compatible with respect to continuity.

In consideration of the building's scale and mass, buildings wider than 60% of the property width shall be setback an additional 7' for a portion of the front, which has been achieved by the additional 27' setback for the entire building. While the LDRs indicate that the appropriateness of the proposed scale is determined by this additional setback, concerns remain given the surrounding buildings of a smaller scale with the exception any new construction in the vicinity, such as 251 Dixie Boulevard, which was developed in 2008 as a two-story office building. Staff also expressed concerns regarding that building's scale, mass, and height; the noted height for that building is 25' (mean) and 31'9" to the gable ridge. Nonetheless, the proposal meets the technical requirement for determining the appropriateness of the proposed scale.

The directional expression of the front elevation is clear and evident in the design, and is thereby compatible with the district. The architectural style, while minimal in the district, is nonetheless found within the district and is not introducing a new style to the district.

Given the above, positive findings can generally be made with respect to the Visual Compatibility Standards.

## REQUIRED FINDINGS

Pursuant to **Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to consistency with the Future Land Use Map, Concurrency, Comprehensive Plan Consistency, and Compliance with the Land Development Regulations.

### **Section 3.1.1(A) - Future Land Use Map:**

The subject property has a Future Land Use Map designation of Transitional (TRN) and a zoning designation of Residential Office (RO). Pursuant to LDR Section 4.4.17(B)(3), within the RO zoning district, a single residential units, and medical offices are listed as permitted uses. Based upon the above, it is appropriate to make a positive finding with respect to LDR Section 3.1.1(A), Future Land Use Map Consistency.

**Section 3.1.1(B) - Concurrency:** Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

**Water and Sewer:** Water service will be provided by an extension into the existing 6" water main along George Bush Boulevard. Sewer service exists via a service lateral connection to an 8" sewer main along Palm Court. Adequate fire suppression is provided via an existing fire hydrant on the corner of Palm Court and George Bush Boulevard. Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standards.

**Drainage:** A preliminary drainage plan has been submitted indicating that drainage will be accommodated on-site via a 15" underground perforated pipe trench.

**Streets and Traffic:** A traffic study was submitted indicating that the proposed office use will generate 130 net new external daily trips, with 17 net new AM peak hour trips, and 14 net new external PM peak hour trips. The gross daily trips is calculated to be 144.

**Schools:** A duplex unit has existed on the site since 1958. The two existing units will be removed, with just one unit remaining on site within the new development. Therefore, the project is grandfathered and thereby exempt from School Concurrency.

**Parks and Recreation Facilities:** The Open Space and Recreation Element of the City's Comprehensive Plan indicates in its conclusion that "the City will have sufficient recreation facilities at build-out to meet the adopted standards". A park impact fee is collected to offset any impacts that the project may have on the City's recreational facilities. Pursuant to LDR Section 5.3.2, a park impact fee

of \$500.00 per dwelling unit will be collected prior to issuance of a building permit for each unit. As two units presently exist on site, whereas just one is proposed, a fee will not be required.

**Solid Waste:** The proposal calls for the demolition of a duplex, which has sat vacant for many years, and the construction of a mixed-use building. Trash generated each year by the proposed 4,912 square foot office (gross under-air) will be 13.3 tons of solid waste per year ( $4,912 \times 5.4 \div 2,000 = 13.3$ ) plus the trash for the residential unit (1.99 tons/year) is 15.29. The Solid Waste Authority indicates in its annual report that the established level of service standards for solid waste will be met for all developments until 2047.

**Section 3.1.1 (C) – Consistency, Standards for Site Plan Actions:**

As described in Appendix A, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

**Section 3.1.1 (D) - Compliance with the Land Development Regulations:**

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, subject to compliance with the noted conditions of approval.

**COMPREHENSIVE PLAN POLICIES:** A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted:

**Future Land Use Objective A-1** Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The proposed development of the site is of an appropriate intensity and density for the site as the Development Standards for the RO zoning district have been met and the proposed uses (medical office and residential) are permitted. These two uses are also complementary with adjacent land uses and will be compatible with the area.

**Future Land Use Objective A-4:** The redevelopment of land and buildings shall provide for the preservation of historic resources. The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

**Future Land Use Policy A-4.1:** Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the "Delray Beach Design Guidelines".

The proposed development provides for the redevelopment of a non-historic site within the Del-Ida Park Historic District, thereby not directing impacting the preservation of historic resources. A complete review of LDR Section 4.5.1 has been conducted and positive findings were generally made, as all technical items are in compliance with respect to height and scale. However, Staff has remaining concerns regarding the proposed scale and mass of the building.

**Housing Element Policy A-11.3:** In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project



shall be modified accordingly or denied.

The proposal, with respect to the uses and overall site design, should not have a negative effect on the stability of the nearby neighborhoods which include the Del-Ida Park Historic District, within which it is located, and the Seacrest/Dell Park Neighborhood to the north. There will be an increase of traffic to the area, but this is to be expected in an area permitted for non-residential use. Additionally, the stability of adjacent residential areas, inclusive of the remaining residential properties within the RO district, will not be impacted, thereby not resulting in the degradation of the neighborhood.

In addition to the above, the conversion of the duplex is consistent with the "Business Development" Section of the Seacrest/Del-Ida Neighborhood Plan which encourages commercial redevelopment through the conversion of existing single family homes and duplexes within the Residential Office (RO) zoning district.

## ASSESSMENT AND CONCLUSION

The subject proposal is for the demolition of a vacant, one-story duplex and new construction of a three-story mixed-use building on a visible location within the Del-Ida Park Historic District. The area is deemed transitional between the adjacent single-family neighborhoods to the north and west and the CBD and heavily utilized North Federal Highway to the east.

In consideration of the site plan aspects of the proposal, the proposal has met the requirements for concurrency, and substantially complies with the Performance Standards. Given careful consideration, the positive findings can be made as the proposal is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations with the exception of the parking provided between the structure and the right of way. While the scale and mass are of concern, the technical requirements provided in the Visual Compatibility Standards of Section 4.5.1 have been met which determine the compatibility and appropriateness of height and scale.

## REVIEW BY OTHERS

The **Community Redevelopment Agency (CRA)** reviewed the subject proposal at its meeting of February 11, 2016, where the consensus was to support the proposal.

Courtesy notices were sent to the following organizations: Del-Ida Park Homeowners Association, Seacrest Homeowner's Association, and the Delray Citizen's Coalition. Any letters of support or concern for the project will be provided to the Board if submitted.

## ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Certificate of Appropriateness, Class V Site Plan, Architectural Elevations, Landscape Plan, and Waiver request (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).
- C. Move denial of the Certificate of Appropriateness, Class V Site Plan, Architectural Elevations, Landscape Plan, and Waiver request (2015-169) for **226 Palm Court, Del-Ida Park Historic**

**District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is not consistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).

<b>STAFF RECOMMENDATION</b>
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By Separate Motions:

**Waiver**

Approve the waiver request to **LDR Section 4.4.17(H)(3)**, to permit parking between the building and right of way, based upon positive findings with respect to LDR Section 2.4.7(B)(5).

**COA and Site Plan**

Approve the Certificate of Appropriateness and Class V Site Plan (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(F)(5) and 2.4.6(H)(5), subject to the following conditions:

1. That a five foot right of way dedication for the portion adjacent to George Bush Boulevard be approved by the City Commission prior to issuance of a building permit; and,
2. That a Plat be recorded prior to the issuance of a Certificate of Occupancy for the development.

**Landscape Plan**

Approve the Landscape Plan (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Section 4.6.16.

**Architectural Elevations**

Approve the Architectural Elevation (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Section 4.5.1(E)(8).

**Report prepared by:** Amy Alvarez, AICP, Senior Planner

<b>APPENDIX A</b> <b>STANDARDS FOR SITE PLAN ACTIONS</b>
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- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's**

**demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

226 Palm Court, Del-Ida Park Historic District





226 Palm Court, Del-Ida Park Historic District



226 Palm Court, Del-Ida Park Historic District





MEDICAL OFFICE BUILDING

WEST ELEVATION



*West Elevation*

RECEIVED BY

JAN 20 2016

City of Delray Beach  
Planning & Zoning

MEDICAL OFFICE BUILDING

*Delray Beach, Florida*

(TREE PLACEMENT IN RENDERING DOES NOT REPRESENT FINAL DESIGN - SEE LANDSCAPE DRAWINGS FOR ALL PROPOSED TREE TYPES AND LOCATIONS)

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**ge**  
architecture, inc.





**LEGEND:**

CL = CENTERLINE

A/C = CONCRETE A/C PAD

W.M. = WATER METER

S.S.M.H. = SANITARY SEWER MANHOLE

C.O. = SANITARY SEWER CLEAN OUT

—x—x— = CHAIN LINK FENCE

— — — = OVERHEAD UTILITY LINES

+13.784 = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929. SOURCE: PALM BEACH COUNTY BENCH MARK "CHEROKEE BLONDE"

B.F.P. = BACK FLOW PREVENTER

**DESCRIPTION:**

LOTS 2 AND 3, BLOCK 11, DEL-DA PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**MAP OF BOUNDARY SURVEY**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Paul D. Engle*

PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**O'BRIEN, SUITER & O'BRIEN, INC.**

LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY  
APRIL 28, 2015  
FIELD BOOK  
D.309

PAGE NO.  
49

SCALE: 1" = 10'  
ORDER NO.: 08-800b



GENERAL NOTES

- 1) THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS, WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.
- 2) ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.
- 3) THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.
- 4) ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING (ABOVE OR BELOW GRADE), OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. EACH CONTRACTOR AND OR SUBCONTRACTOR SHALL BE EXPECTED TO INSPECT THE SITE FOR ALL EXISTING CONDITIONS WHICH COULD AFFECT THE WORK THEY ARE BIDDING FOR AND SHALL BE RESPONSIBLE FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON THEIR WORK.
- 5) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2014 EDITION, AND ALL APPLICABLE NATIONAL AND LOCAL RULES, REGULATIONS AND ORDINANCES. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THE TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 6) ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.
- 7) THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- 8) DO NOT SCALE THE DRAWINGS.
- 9) FIELD VERIFY ALL DIMENSIONS.
- 10) ALL AREA CALCULATIONS ARE APPROXIMATE
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.
- 12) THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).
- 13) ALL INTERIOR FINISHES FOR FOR OFFICE ARE TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER.
- 14) THE DESIGN AND CONSTRUCTION OF ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1991, FBC 2012 & ALL LOCAL CODES OR STANDARDS FOR ACCESSIBILITY SHALL APPLY WHEN THEY SPECIFY A MORE STRINGENT REQUIREMENT.
- 15) THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY OF THESE CONTRACT DOCUMENTS OR SHOULD DISCOVER ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, THE BIDDER IS DEMANDDED TO HAVE ESTIMATED THE MOST EXPENSIVE WAY OF DOING THE WORK.
- 16) THE CONTRACTOR SHALL PROVIDE OWNER WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT, WHICH COULD CHANGE THE DAY TO DAY OPERATIONS.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.
- 18) NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ARCHITECT/OWNER FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.
- 19) DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.
- 20) PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE.
- 21) ALL WORK MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 22) TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY COMMUNITATIONS.
- 23) DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. NOTE: CONTRACTOR TO COORDINATE W/ TENANT TO VERIFY ALL ITEMS TO BE SALVAGED OR REMOVED FROM SITE - PRIOR TO DEMOLITION.
- 24) NOTE: EXISTING ONE STORY BUILDING TO BE DEMOLISHED. NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL PLANS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT / GEN. CONTRACTOR CONCERNING ANY EXISTING SITE CONDITIONS.
- 25) THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DESIGN, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS; AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.
- 26) ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT & OR ASSOCIATED PROFESSIONALS, AT THEIR DISCRETION.
- 27) THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL AND MECHANICAL TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. ALL DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS. NOTE: ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
- 28) SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR ONLY FOR REVIEW PRIOR TO FABRICATION.
- 29) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE ANY REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.
- 30) ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- 31) ALL EXTERIOR METAL FASTENERS, NAILS, AND BOLTS SHALL BE ZINC PLATED, HOT DIPPED GALVANIZED, (IF APPLICABLE)
- 32) TOP OF PROPOSED CONCRETE SLAB / FINISH FLOOR = 0'-0" (18.31" NGVD.) (VERIFY W/ SURVEY) FOR REFERENCE ONLY.
- 33) PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 34) IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 35) CONTRACTOR TO PROVIDE TECHNICAL DATA SHEETS ON ALL CHEMICALS TO BUILDING DEPT. FOR APPROVAL-HEPTACHLOR, TECHNICAL CHLORODANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS.
- 36) ALL EXTERIOR AND INTERIOR PAINT COLORS TO BE SELECTED BY OWNER/ARCHITECT. NOTE: ALL COLORS DEPICTED ON PLANS FOR PRICING PURPOSES ONLY. (PAINT SUB-CONTRACTOR TO PROVIDE PAINT SAMPLES FOR APPROVAL PRIOR TO PAINTING BUILDINGS).
- 37) NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATING OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVCO, DUPONT, & FORTIER ARE CONSIDERED EQUAL.
- 38) CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- 39) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.



APPLICABLE CODES

2014 FLORIDA BUILDING CODE  
2014 FLORIDA MECHANICAL CODE  
2014 FLORIDA PLUMBING CODE  
2014 NATIONAL ELECTRICAL CODE (NFPA-70)  
2012 FLORIDA FIRE PREVENTION CODE 5th EDITION-  
FLORIDA SPECIFIC NFPA-1.  
2012 N.F.P.A 101 LIFE SAFETY CODE EDITION - FLORIDA SPECIFIC NFPA-1.  
2012 FLORIDA ACCESSIBILITY CODE / ADA 94

OCCUPANCY CLASSIFICATION

GROUP 'S-2' (LOW HAZARD) PARKING GARAGE  
GROUP 'B' BUSINESS  
GROUP 'R2' RESIDENTIAL

TYPE OF CONSTRUCTION

TYPE IV  
UNPROTECTED  
SPRINKLERED



ZONING

RO (HISTORIC DEL-IDA)

MEDICAL OFFICE /  
MIXED USE BUILDING  
226 PALM COURT  
DELRAY BEACH, FL.

"HPB SUBMITTAL"

ALLOWABLE AREA

GROUP B/27,000 S.F.

ALLOWABLE HEIGHT

35 FEET (LDR)

LEGAL DESCRIPTION

LOTS 2 AND 3, BLOCK 11, OF "DEL-IDA PARK",  
ACCORDING TO THE PLAT THEREOF AS RECORDED  
IN PLAT BOOK 9 PAGE 52, OF THE PUBLIC  
RECORDS OF PALM BEACH COUNTY, FLORIDA.

SHEET SCHEDULE

SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
	SURVEY		CIVIL ENGINEER		LANDSCAPE
	EXISTING SURVEY	1	PAVING & DRAINAGE PLAN	L.1	EXISTING PLANTING PLAN
		2	PAVING & DRAINAGE DETAILS	L.2	PROPOSED PLANTING PLAN
	ARCHITECTURAL	3	PAVING & DRAINAGE DETAILS	L.3	PLANTING SPEC'S AND DETAILS
A1.00	PROPOSED SITE PLAN	4	PAVING & DRAINAGE DETAILS		
A1.01	TYPICAL SITE DETAILS	5	WATER & WASTEWATER DETAILS		ELECTRICAL PHOTOMETRIC'S
A2.00	PROPOSED GROUND FLOOR PLAN	6	WATER & WASTEWATER DETAILS	P&P-1	PHOTOMETRIC'S PLAN
A2.01	PROPOSED SECOND FLOOR PLAN	7	POLLUTION PREVENTION PLAN		
A2.02	PROPOSED THIRD PLAN				
A3.00	PROPOSED ELEVATIONS				
A3.01	PROPOSED ELEVATIONS				

- 40) THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.
- 41) ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF THE OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 42) THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 43) ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMAN-LIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.
- 44) SUBSURFACE SOIL CONDITION INFORMATION WERE NOT AVAILABLE; ALL FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 7500 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT/STRUCTURAL ENGINEER PRIOR TO COMMENCING WORK.

- 45) THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:
- MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
  - PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
  - TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
  - COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
  - REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER /AGENT. REMOVE ALL TRASH FROM PREMISES.
  - ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.
- 46) ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. NO CHANGES, ADDITIONS, OR DELETIONS SHALL BE MADE WITH OUT WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.

- 47) ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER / ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.
- 48) ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.
- 49) CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.
- 50) PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.
- 51) REQUIRED RESTROOMS, SHALL HAVE FLOORS & WALLS OF IMPERVIOUS MATERIALS TO HAVE A HEIGHT OF 60" AFF. (ALL FLOORS SHALL BE "NONSKID" COMMERCIAL GRADE) AND COMPLY ADA.

TRAFFIC ENGINEER	SURVEYOR	LANDSCAPE ARCHITECT	CIVIL ENGINEER	MECHANICAL ENGINEERS	ARCHITECTS
KIMLEY-HORN & ASSOC. 1920 WEKIVA WAY, SUITE 200 West Palm Beach, Fl. 33411	O'BRIEN, SUITER & O'BRIEN 955 NW 17 AVE, SUITE K-1 Delray Beach, Fl. 33445	DAVE BODKER AND ASSOC. LANDSCAPE ARCHITECTURE 601 N. CONGRESS AVE. SUITE 105 A Delray Beach, Florida 33445	ENVIRODESIGN ASSOCIATES PINEAPPLE GROVE WAY Delray Beach, Fl. 33444	T.E.C. THOMPSON ENGINEERING CONS. 902 Clint Moore Rd. Suite 142 Boca Raton, Florida 33487	ge architecture, inc. 1045 E. Atlantic Ave Suite 303 Delray Beach, Florida 33483 FL. LIC. AA0003179
PH. (561) 845-0665	PH. (561) 276-4501 FAX (561) 276-2390	PH. (561) 276-6311 FAX (561) 276-3869	PH. (561) 274-6500 FAX (561) 274-8558	PH. (561) 274-0200 FAX (561) 274-0222	PH. (561) 276-6011 FAX (561) 276-6129



- 52) OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION.
- 53) OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.
- 54) ALL EXTERIOR DOORS TO HAVE 1/2" MAX BEVELED THRESHOLD.
- 55) ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE (NOTE: SIDEWALKS (WALKWAYS) SHALL NOT EXCEED 2% SLOPE.
- 56) FLASHING, DRIPS & ETC. TO BE 16 OZ COPPER.
- 57) PROVIDE FIRE STOPPING AT ROOF WALLS, AND CEILING AS REQUIRED.
- 58) INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ADJUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.
- 59) CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW.
- 60) THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, ELECTRICAL, STRUCTURAL AND LANDSCAPING DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY CONSTRUCT THE PROJECT.
- 61) ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT THE PROPERTY AND VERIFY EXISTING SITE CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXISTG CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL.
- 62) THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- 63) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.
- 64) THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE, ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- 65) ALL GYPSUM WALLBOARD TO BE SCORED APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.
- 66) HEPTACHLOR, TECHNICAL CHLORODANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS.
- 67) CONTRACTOR TO COORDINATE W/ OWNER ON COLORS AND STYLE OF ALL REQUIRED SIGNAGE. (NOTE: ALL ARE REQUIRED TO COMPLY W/ ADA ACCESSIBILITY.)
- 68) ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION.
- 69) CONTRACTOR TO VERIFY AND COORDINATE ALL FINISH MATERIALS WITH OWNER.
- 70) DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.
- 71) ALL INTERIOR PAINT COLORS SELECTED BY OWNER.
- 72) PROVIDE WATERPROOF GYPSUM WALL BOARD (MR) IN ALL TOILET ROOMS / BATHROOM / KITCHENS.
- 73) ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT PARTITIONS, UNO.
- 74) ALL DRYWALL PARTITIONS WILL BE TAPED, SPAKLED, SANDED, PRIMED AND PAINTED. (LEVEL IV FINISHES IN OFFICE AND LEVEL V IN RESIDENCE).
- 75) SIGNS AND/OR LIGHTING LOGO NOT IN CONTRACT. ELECTRICAL SUBCONTRACTOR TO SEE ELECTRICAL PLANS & VERIFY W/ OWNER.
- 76) THE CONTRACTOR WILL PROVIDE THE NECESSARY TEMPORARY CLOSING OF ALL OPENINGS IN WALLS OR ROOF AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.
- 78) ALL INTERIOR FINISHES SHALL COMPLY W/ NFPA LATEST EDITION, FOR FLAME SPREAD RESTRICTIONS. ALL INTERIOR FINISHES TO BE SUPPLIED AND APPROVED BY OWNER. INSTALLED BY CONTRACTOR - UNO.
- 79) ALL INTERIOR FLOORING TO BE APPROVED BY OWNER AND INSTALLED BY GEN. CONTRACTOR.
- 80) ALL INTERIOR FIXTURES ARE FOR REFERENCE ONLY. ACTUAL SIZE AND LOCATIONS TO BE PROVIDED TO CONTRACTOR BY OWNER (P.F.).
- 81) ALL INTERIOR PARTITIONS ARE TO BE 4 3/8" & 4 1/2" UNO.

REQUIRED DOORS SHALL SWING IN THE DIRECTION OF TRAVEL TO THE EXIT DISCHARGE. ALL REQUIRED EXIT DOORS SHALL BE CLEARLY MARKED AND SHALL NOT BE CAPABLE OF BEING LOCKED AGAINST EGRESS. ALL ELECTRONIC LOCKING DEVICES SHALL RELEASE UPON ACTIVATION OF THE BUILDING FIRE ALARM OR SMOKE/HEAT DETECTION DEVICES OR OTHER MEANS THAT DO NOT RELY SOLELY ON HUMAN ACTION IF ALARM OR SMOKE DETECTOR IS NOT INSTALLED IN THIS OCCUPANCY. POWER FAILURE SHALL ALSO RELEASE LOCKS. ALL REQUIRED EXIT DOOR THRESHOLDS SHALL BE LEVEL ON BOTH SIDES OF THE DOOR FOR AT LEAST THE WIDTH OF THE DOOR THAT SERVES THE EXIT.

NEW FIRE DEPARTMENT CONNECTION AND HYDRANTS (IF APPLICABLE)

ALL FIRE DEPARTMENT CONNECTIONS, HYDRANTS AND ACCESS POINT SHALL BE FREE OF DEBRIS OR OTHER HINDRANCES FOR EASY ACCESS AT ALL TIMES. ROADWAYS SHALL HAVE A 12'-0" WIDE LANE AT ALL TIMES. FAILURE TO COMPLY WILL RESULT IN THE SITE SHUT DOWN UNTIL COMPLIANCE IS OBTAINED, AND POSSIBLE FINES. FIRE LANES SHALL BE MARKED IN FRONT OF ALL FDC'S FOR A MINIMUM OF LEAST 30' OF EITHER SIDE OF THE CONNECTION. ALL FDC'S SHALL HAVE A PLACARD THAT DESIGNATES WHAT PORTION OF THE SYSTEM THEY SERVE. THEY SHALL BE PAINTED RED AND HAVE ALL PERTINATE HYDRAULIC INFORMATION PERMANENTLY AFFIXED TO THEM. BUILDINGS WITH MULTIPLE RISEN SYSTEM SHALL BE INTERCONNECTED SO THAT ANY CONNECTION FEEDS ALL SPRINKLERS AND/OR STANDPIPES.

EXIT LIGHTS

PROVIDE EXIT LIGHTS ALONG THE PATH OF EGRESS SO THAT FROM ANY PLACE IN THE ROOM (IN THE BUILDING, THE WAY TO AN EXIT IS ALWAYS VISIBLE. THIS WILL BE TESTED AT TIME OF C.O. INSPECTION. ALL REQUIRED EXITS SHALL BE KEPT ACCESSIBLE AND CLEAR AT ALL TIMES. NUMBERS OF EXITS MUST BE SUFFICIENT FOR THE DESIGN OF THIS SPACE. EXIT SIGNS MUST BE OVER ALL REQUIRED EXITS. DOORS, AND STAIRWAYS SHALL BE MARKED SERVING AS EXITS AND DOOR ENTRANCES THAT LEAD TO AN EXIT. ANY DOOR WITH AN EXIT SIGN WILL BE TREATED AS AN EXIT AND WILL BE HELD TO THE SAME STANDARDS AS A REQUIRED EXIT.

REVISD 01.15.16 - AS PER FIRE DEPARTMENT COMMENTS:  
APPLICABLE FIRE CODES / EDITIONS.

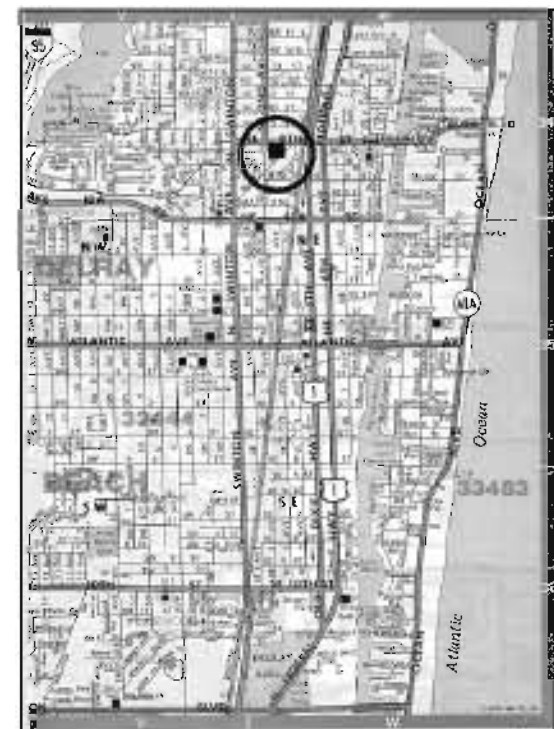
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REVIEW AND/OR PRELIMINARY PRICING  
ONLY.





Architect, Planner and Designer  
AA-26002044

205 George Bush Blvd.  
Delroy Beach, Florida 33444  
TEL: 561-276-6011  
FAX: 561-276-6129



PROPOSED PROJECT IS LOCATED ON THE SOUTH SIDE OF GEORGE BUSH BLVD. AND PALM COURT, IN THE HISTORIC DEL-IDA DISTRICT.

VICINITY MAP

#### GENERAL NOTES:

1. CONTRACTOR TO PROVIDE 10'X6'-0" (PROVIDE SHOP DRAWING FOR OVERFIRE DEPARTMENT APPROVAL). (PROVIDE KEYS FOR BOTH FRONT ENTRY DOORS AND OVERHEAD GARAGE DOOR).
2. GARAGE, REAR AND SIDE OF PROPERTY TO BE PROVIDED WITH SURVEILLANCE CAMERAS - VERIFY ALL LOCATIONS W/ OWNER.
3. FIRE SPRINKLER SYSTEM TO BE PROVIDED W/ A CENTRAL STATION-MONITORED FIRE ALARM.

PROJECT TITLE

## PROPOSED MIXED USE BUILDING

226 PALM COURT  
DELRAY BEACH, FL

CLIENT APPROVAL

#### REVISIONS

- REVISED 10/22/13 AS PER P&Z COMMENTS:
1. PROVIDED ADDITIONAL 5'-0" ROW.
  2. CREATE LOADING SPACE.
  3. ADDED OVERHEAD GARAGE DOOR & UPDATED PARKING CALC'S.
- REVISED 01/15/16 AS PER P&Z COMMENTS:
1. PROVIDED 5'-0" LANDSCAPE ISLAND.
  2. PROVIDED (1) ADDITIONAL EXIT.
  3. ELIMINATED (1) PARKING SPACE.
- REVISED 2/4/16 AS PER P&Z COMMENTS:
- PROVIDED 6" CURBS IN FRONT PARKING AREA AS INDICATED.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER

0302A100

DRAWING TITLE

## PROPOSED SITE PLAN

DATE

04.07.15

DRAWN BY

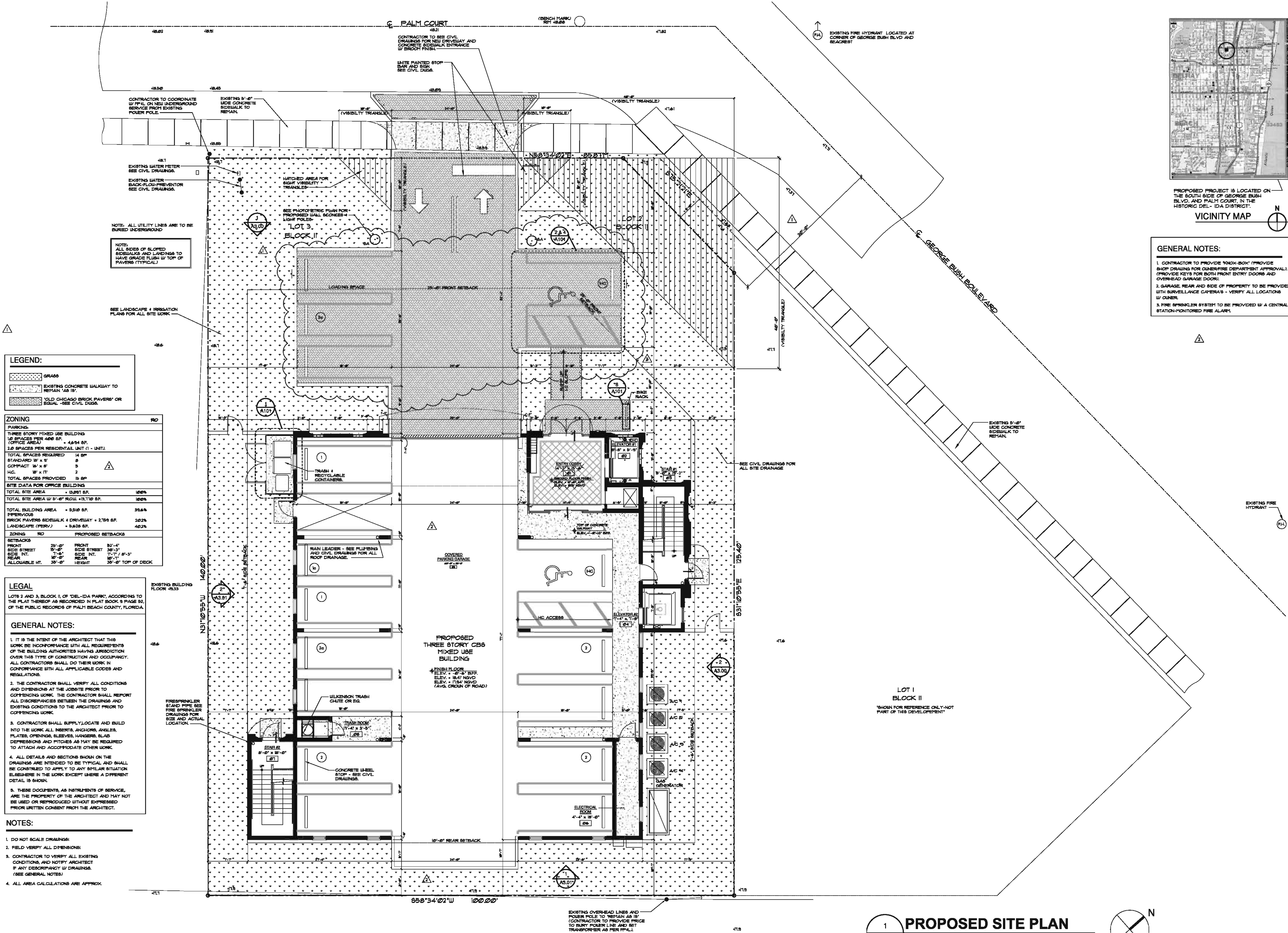
GE/JC

JOB NUMBER

20150302

DRAWING NUMBER

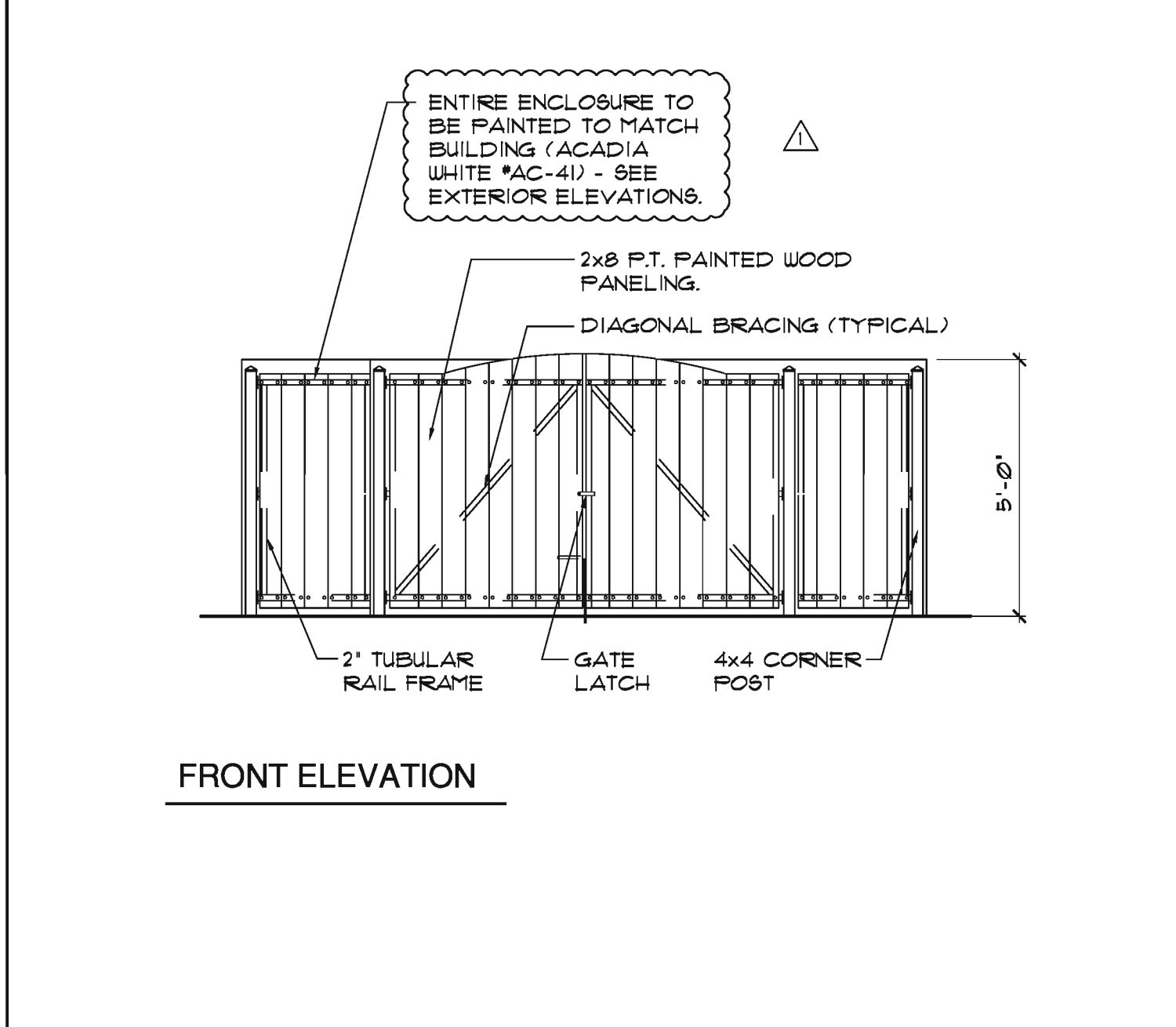
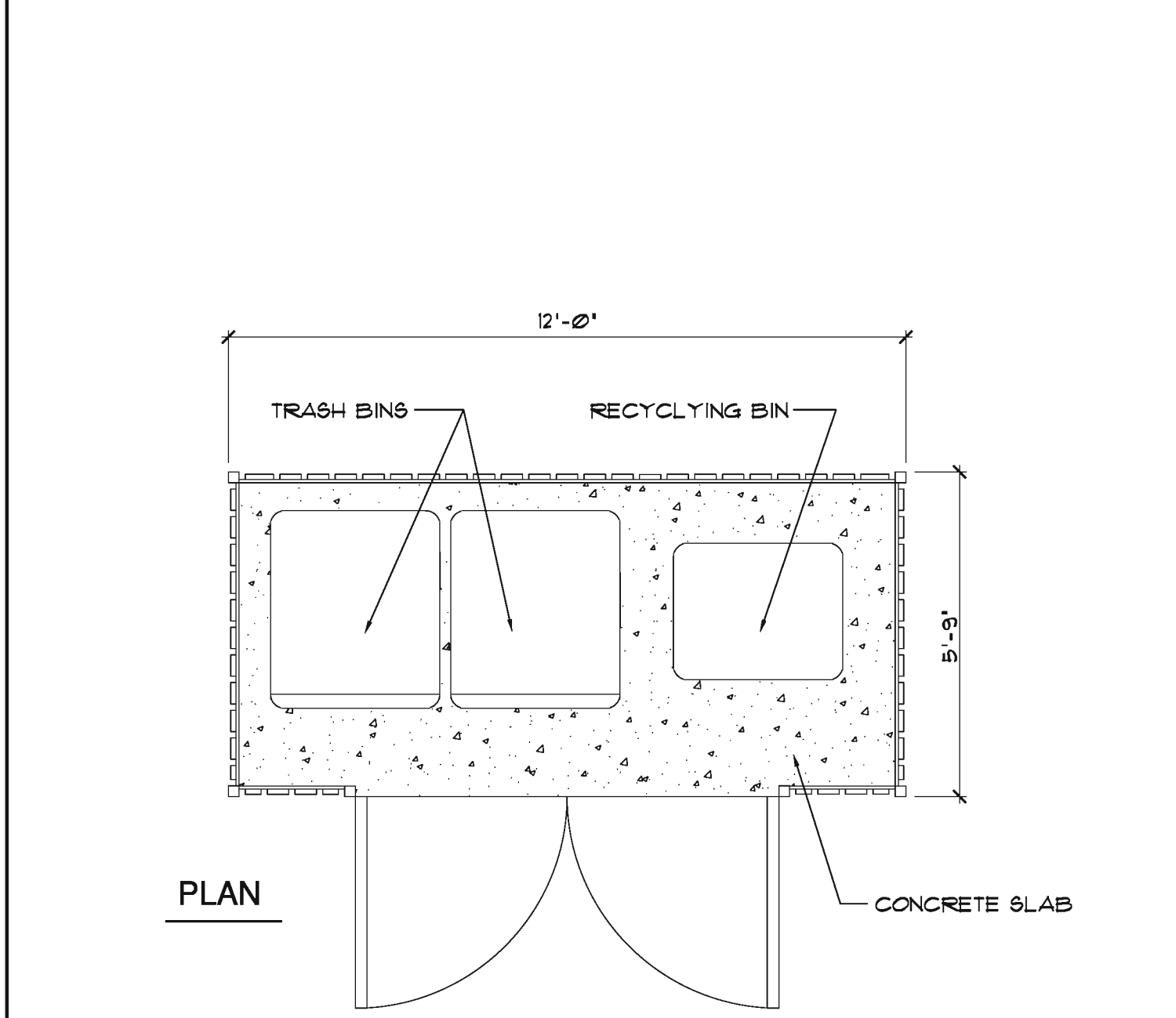
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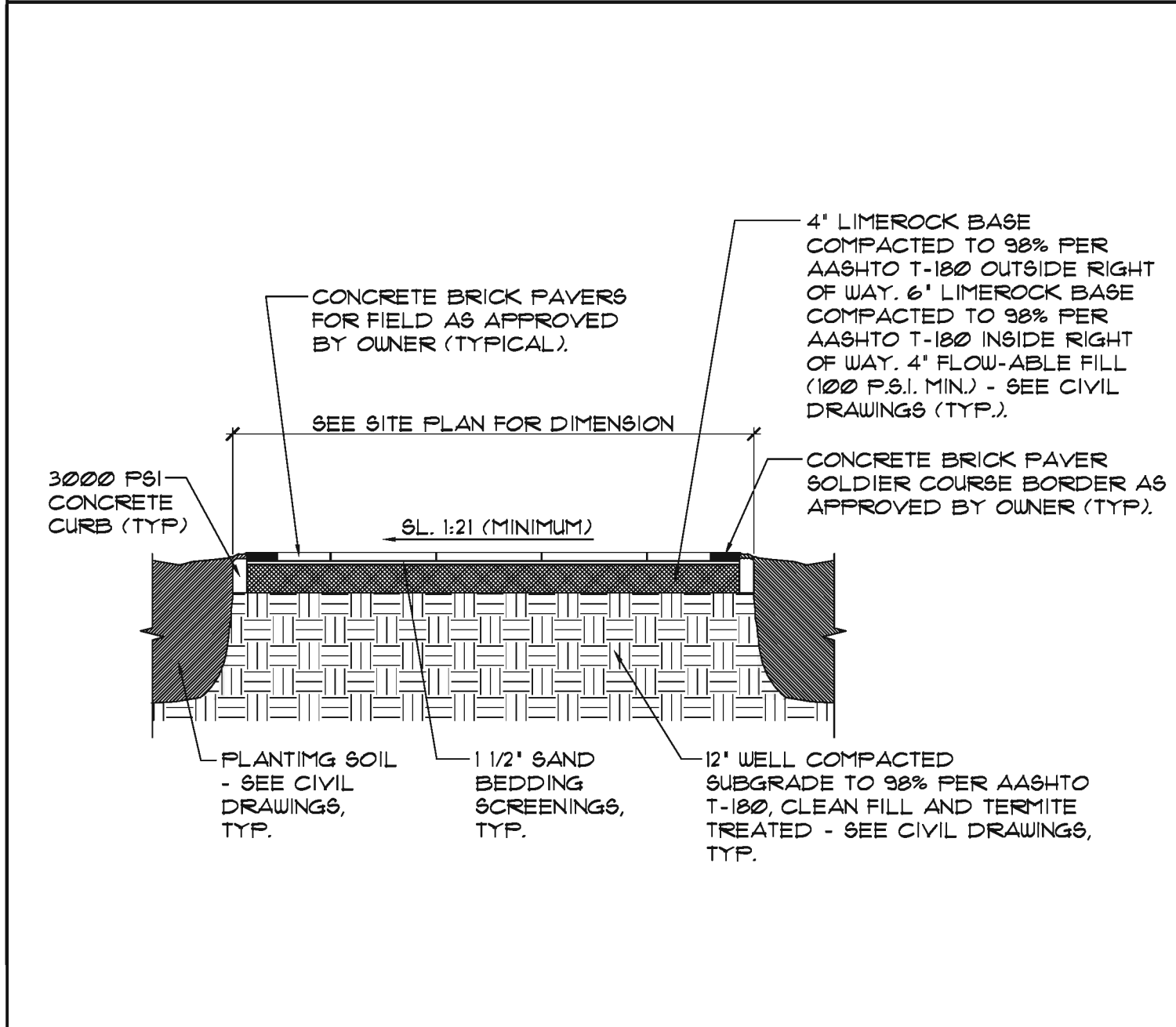
1  
A1.00  
SCALE: 1/8"=1'-0"



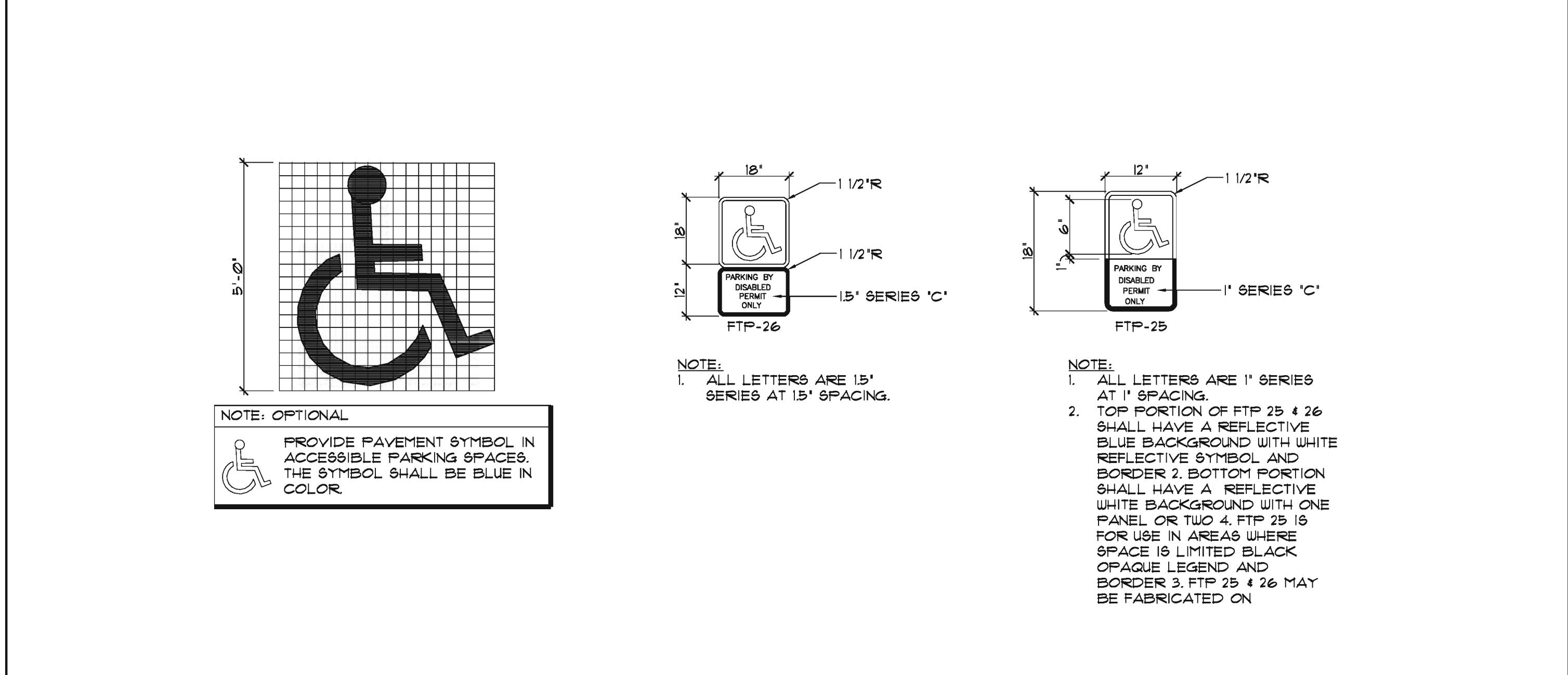




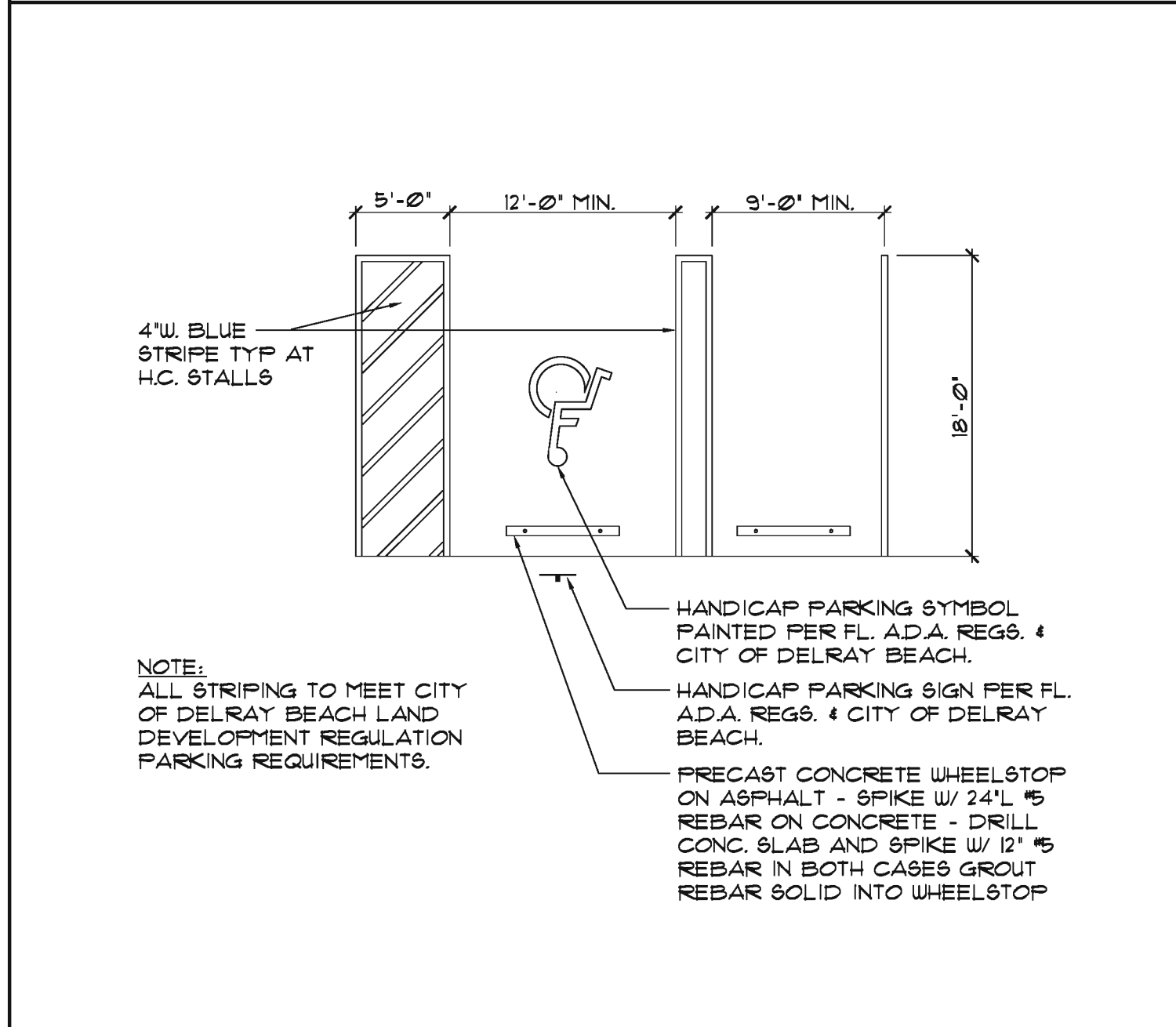
1 REFUSE AREA DETAIL  
A1.02 SCALE: N.T.S.



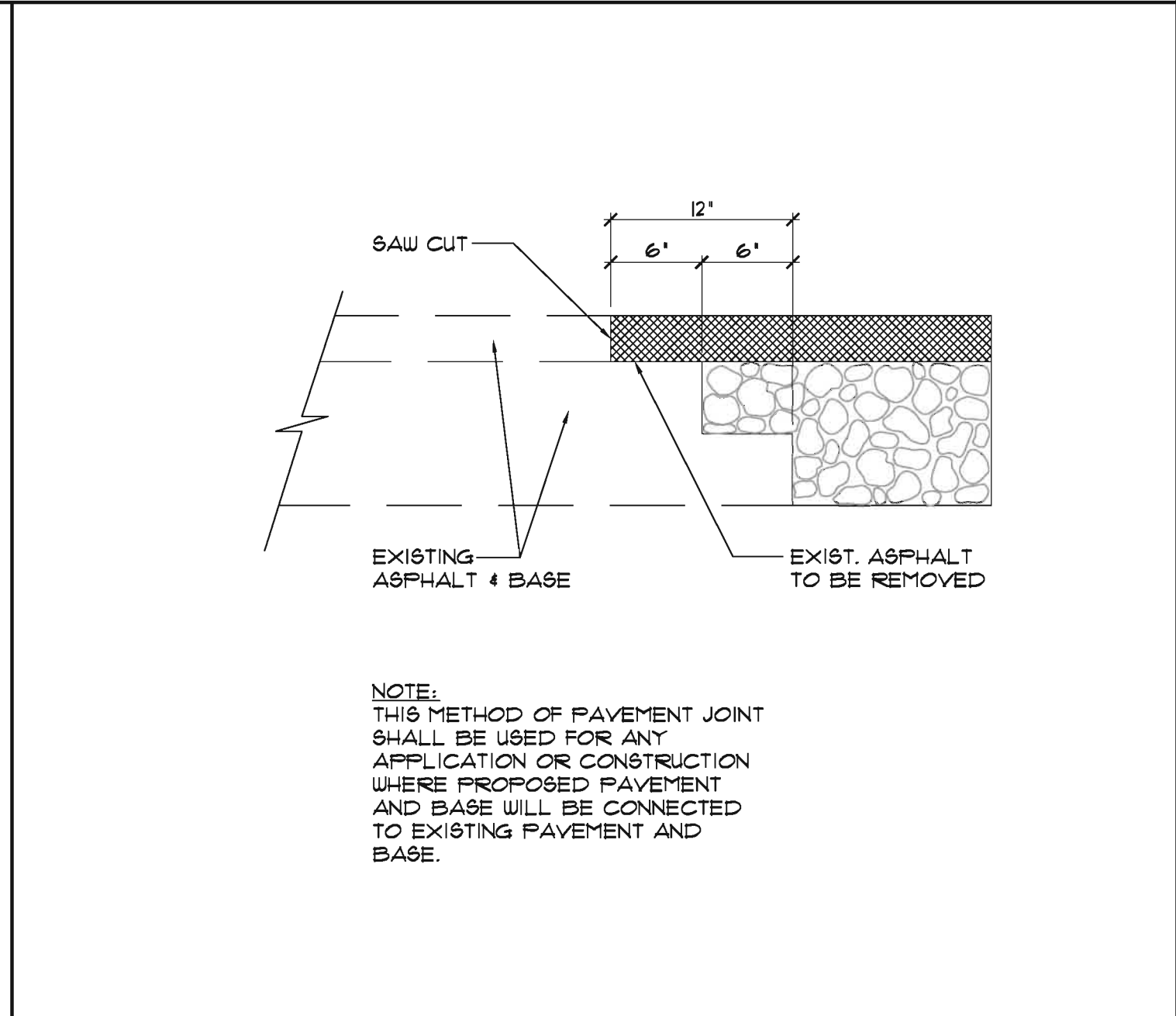
7 TYPICAL PAVER DETAIL  
A1.02 SCALE: N.T.S. (SEE CIVIL DRAWINGS)



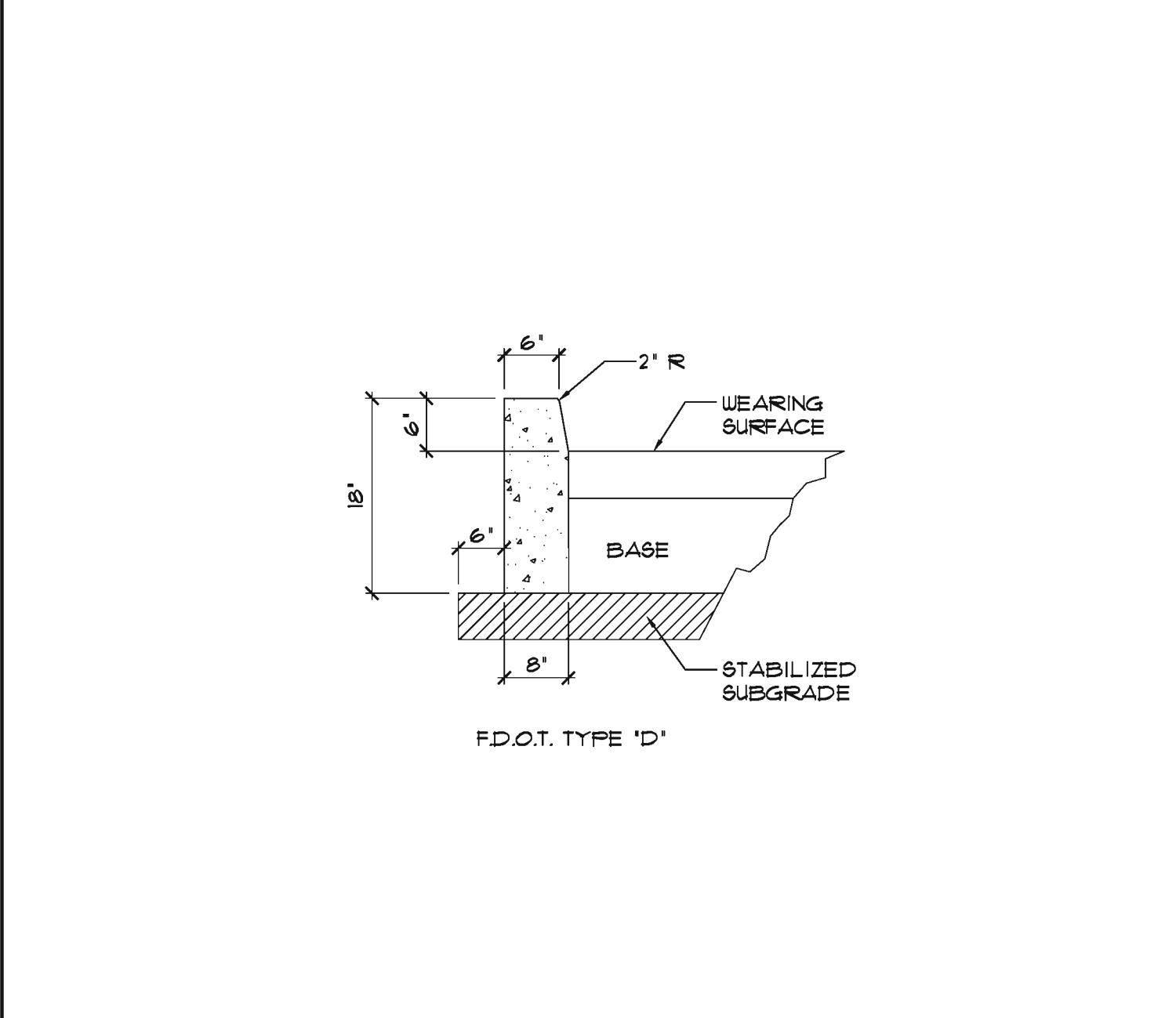
2 SIGNAGE  
A1.02 SCALE: N.T.S.



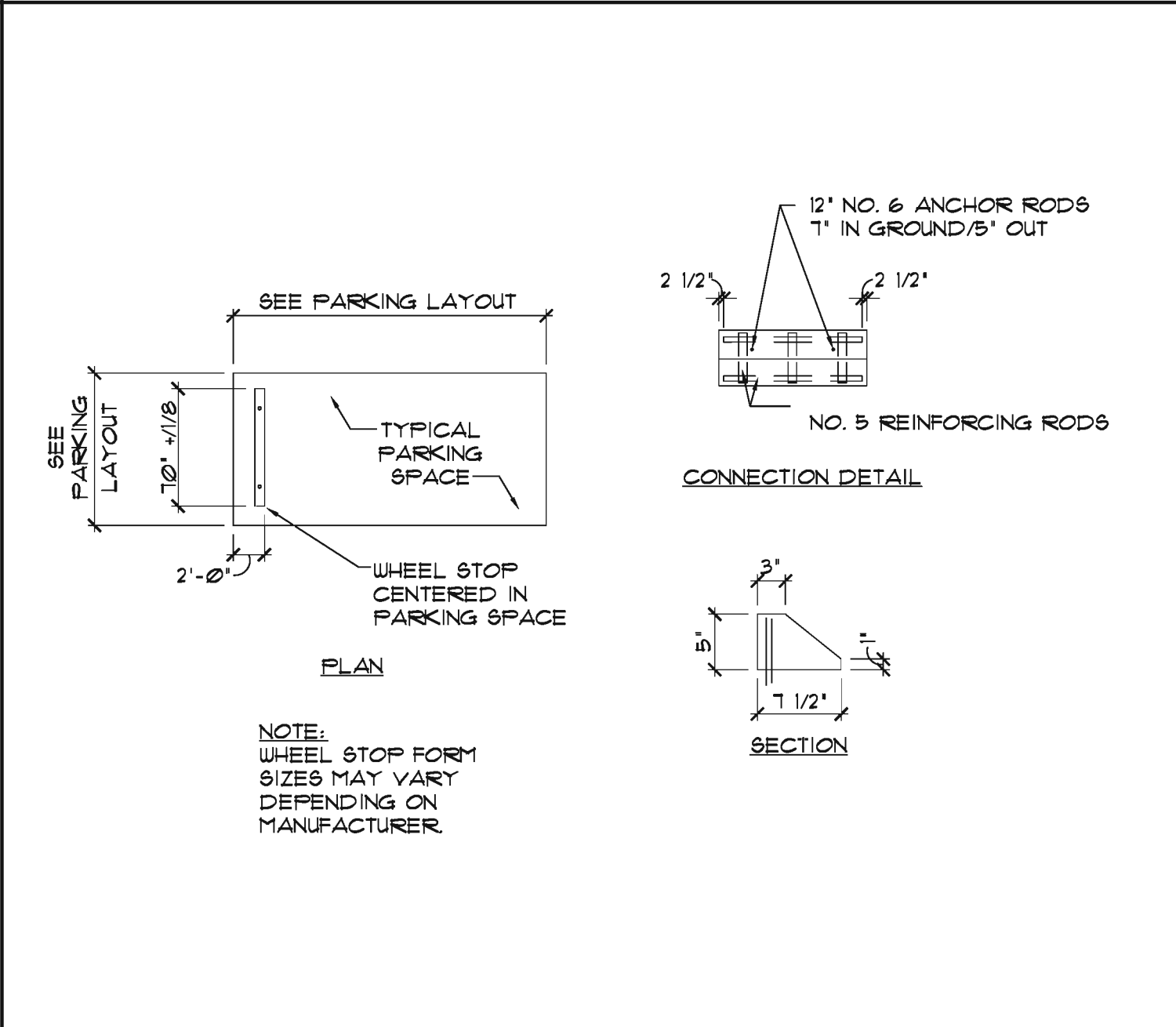
4 TYPICAL PARKING SPACE DETAIL  
A1.02 SCALE: N.T.S.



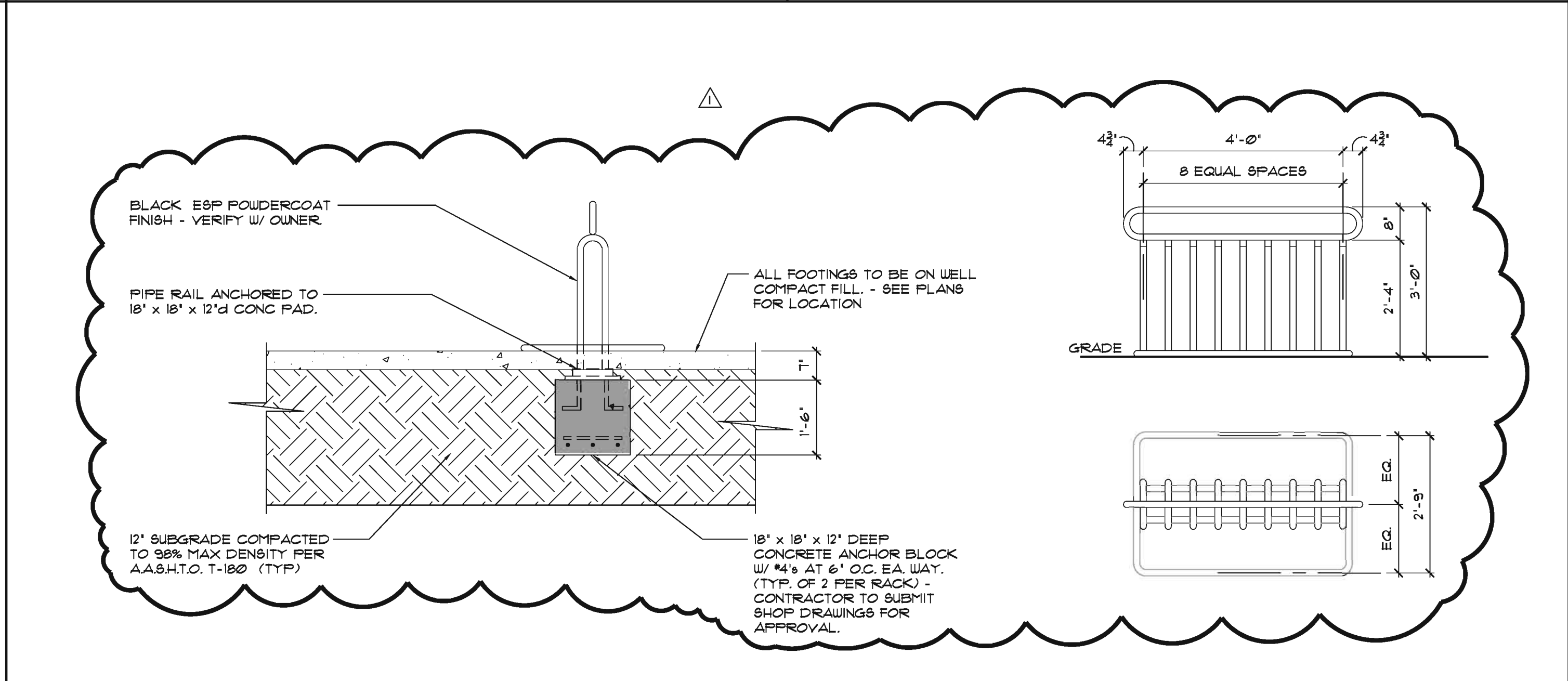
5 PAVEMENT JOINT DETAIL RT 7.1  
A1.02 SCALE: N.T.S. (SEE CIVIL DRAWINGS)



3 CONCRETE CURB  
A1.02 SCALE: N.T.S. (SEE CIVIL DRAWINGS)

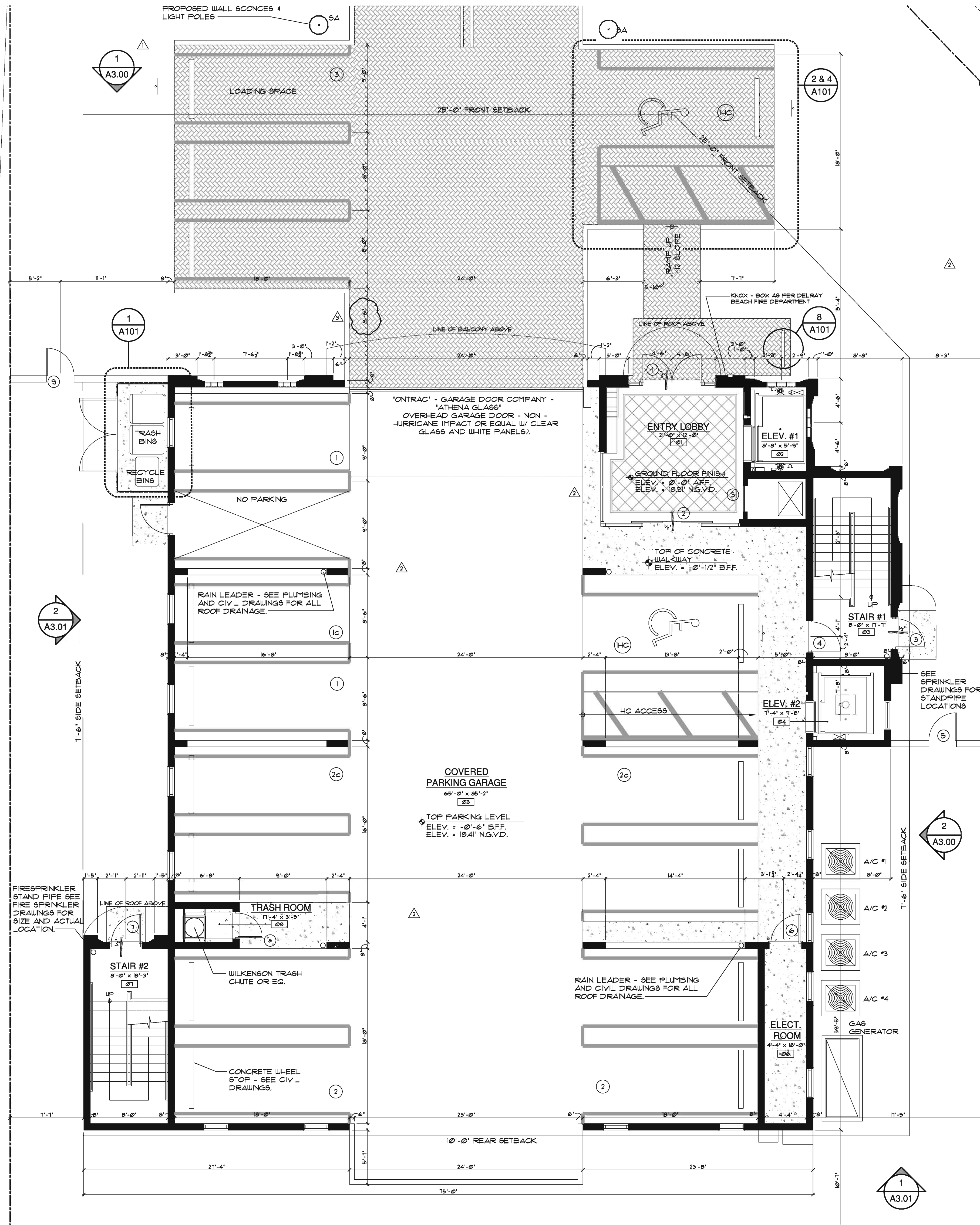


6 WHEEL STOP DETAIL  
A1.02 SCALE: N.T.S. (SEE CIVIL DRAWINGS)



8 BIKE RACK  
A1.02 SCALE: 1/2" = 1'-0"





**LEGEND**

- 5' INTERIOR (NON-LOAD BEARING) PARTITION 3/8" 25 GA METAL STUDS W/ 1/2" TYPE 'X' GYPSUM WALL BOARD BOTH SIDES. (MR. DRYWALL) \* BATHROOMS AND KITCHEN VERIFY W/ DIMENSIONS - VARIES (ACTUAL DIM. 4 1/2")
- TOOL STRUCK JOINTS & 2 COATS BLOCK FILLER - PAINTED ON 8" CONC. BLOCK (STAIR SIDE) W/ 1 x 2 FT. P.T. FURRING @ 24" O.C. (R-4) "FI-FOIL" INSUL. & 5/8" (LEVEL IV FIN) G.W.B.-PAINTED.
- 5/8" 2-COATS SMOOTH STUCCO FINISH - PAINTED ON 8" CONC. BLOCK W/ 1 x 2 FT. P.T. FURRING @ 24" O.C. (R-4) "FI-FOIL" INSUL. & 5/8" (LEVEL IV FIN) G.W.B.-PAINTED.
- 8" TO 12" POURED CONCRETE WALL - PAINTED-SEE STRUCT. DUGS.
- WINDOW NUMBER
- DOOR NUMBER
- STRUCTURAL STEEL COLUMN
- CONCRETE COLUMN - SEE STRUCT. DUGS.
- 1 HR RATED PARTITION - UL-445B- MIN.
- TYPE 'SA' - SITE LIGHTING LUMINAIRE LUMINEC 'DOTUS' SERIES' CATALOG# DM155D-135WB0LED4K-R-LE3P

**NOTES:**

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

AREA CALCULATIONS		
	TOTAL UNDER A/C	TOTAL UNDER ROOF
PROPOSED GROUND FLOOR AREA:		
ENTRY LOBBY	242 SQ.FT.	
STAIR #1		150 SQ.FT.
STAIR #2		144 SQ.FT.
ELEVATOR #1		50 SQ.FT.
ELEVATOR #2		56 SQ.FT.
TRASH ROOM		20 SQ.FT.
ELECTRICAL ROOM		78 SQ.FT.
COVERED PARKING GARAGE		4,770 SQ.FT.
TOTAL GROUND FLOOR AREA		5,510 SQ.FT.
PROPOSED SECOND FLOOR AREA:		
OFFICE FLOOR AREA (NET SQ.FT.)	4,694 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	4,912 SQ.FT.	
SIDE BALCONY		140 SQ.FT.
FRONT BALCONY (N.I.C. UNDER ROOF)		128 SQ.FT.
TOTAL SECOND FLOOR AREA (GROSS SQ.FT.)		5,052 SQ.FT.
PROPOSED THIRD FLOOR AREA:		
RESIDENTIAL CONDO UNIT	4,164 SQ.FT.	
COVERED PORCH		329 SQ.FT.
OPEN TERRACE (N.I.C. UNDER ROOF)		680 SQ.FT.
TOTAL THIRD FLOOR AREA		4,493 SQ.FT.
PROPOSED TOTAL AREA UNDER ROOF:		15,055 SQ.FT.
ZONING		RO
PARKING:		
THREE STORY MIXED USE BUILDING		
120 SPACES PER 400 SF.		
(OFFICE AREA) * 4,694 SF.		
220 SPACES PER RESIDENTIAL UNIT (1 - UNIT).		
TOTAL SPACES REQUIRED		14 SP
STANDARD 18' x 9'		8
COMPACT 16' x 8'		5
H.C. 18' x 11'		2
TOTAL SPACES PROVIDED		15 SP

**PROPOSED GROUND FLOOR PLAN**

1 A2.00 SCALE : 3/16"=1'-0"

Architect, Planner and Designer  
AA-26002044

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ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PLANNING & ZONING (HFB)

5.22.15

PROJECT TITLE

**PROPOSED MIXED USE BUILDING**

226 PALM COURT  
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

REVISED 10/22/15 AS PER P4Z COMMENTS:  
1. LOADING SPACE & OVERHEAD GARAGE DOOR

REVISED 01/16/16 AS PER P4Z COMMENTS:  
1. PROVIDED 9'-0" LANDSCAPE ISLAND.  
2. PROVIDED (1) ADDITIONAL EXIT.  
3. ELIMINATED (1) PARKING SPACE.  
4. KNOX BOX AT MAIN ENTRANCE. REVISED 02/01/16 AS PER P4Z COMMENTS:  
1. ADJUSTED CONCRETE CURBING.

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FILE NUMBER

0302A200

DRAWING TITLE

**PROPOSED GROUND FLOOR PLAN**

DATE

04.07.15

DRAWN BY

GE/JC

JOB NUMBER

20150302

DRAWING NUMBER

**A2.00**



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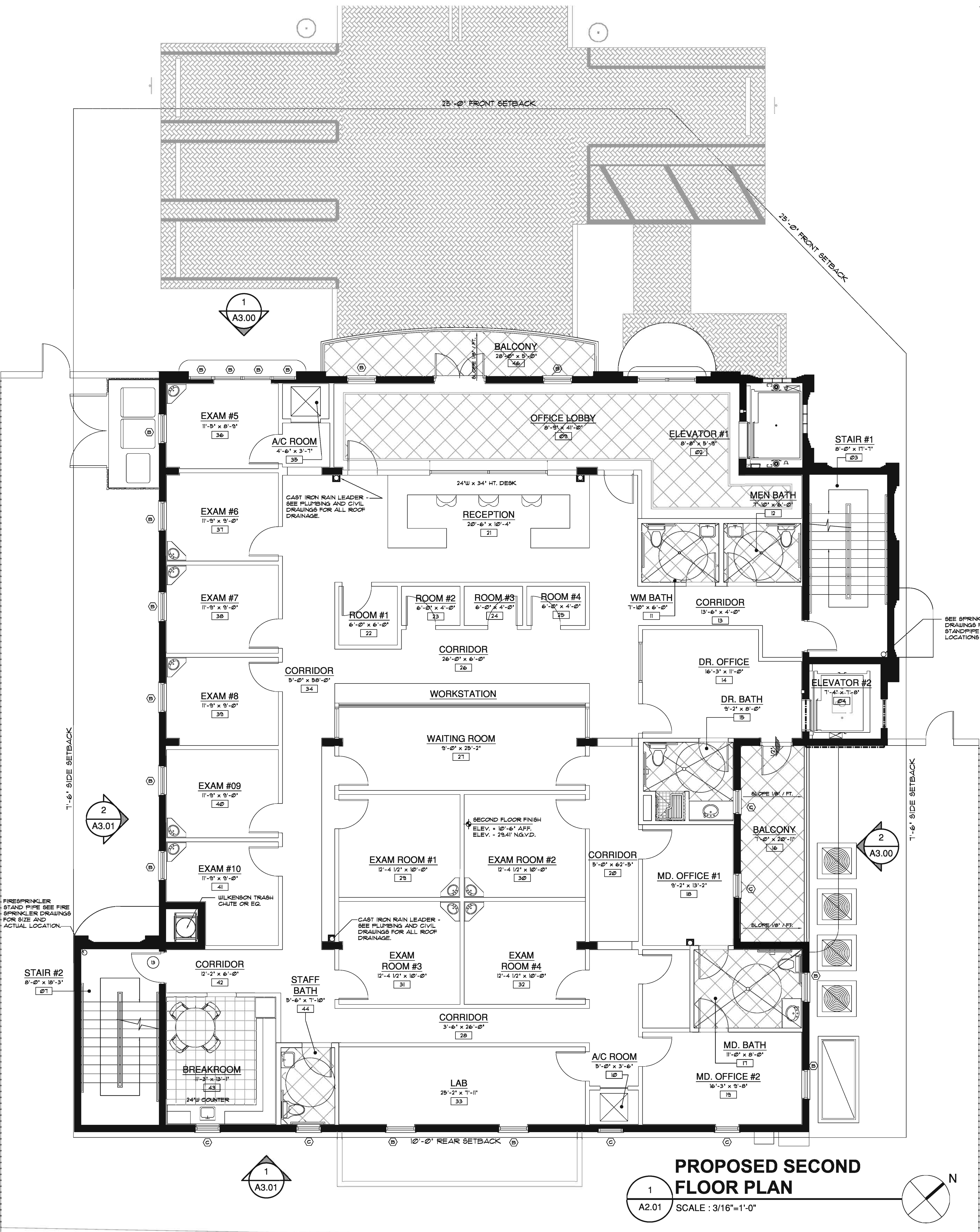
**LEGEND**

- 5' INTERIOR (NON-LOAD BEARING PARTITION) 3/8" 29 GA METAL STUDS W/ 1/2" TYPE "X" GYPSUM WALL BOARD BOTH SIDES (MFR DRY WALL @ BATHROOMS AND KITCHEN. VERIFY W/ DIMENSIONS -VARIES) / ACTUAL DIM: 4 3/4"
- TOOL STRUCK JOINTS + 2 COATS BLOCK FILLER - PAINTED ON 8' CONC. BLOCK (STAIR SIDE) W/ 1 x 2 FT. F.T. FURRING @ 24" O.C. R-4J "FI-FOIL" INSUL. @ 5/8" (LEVEL IV FIN) G.W.B.-PAINTED.
- 5/8" 2-COATS SMOOTH STUCCO FINISH - PAINTED ON 8' CONC. BLOCK W/ 1 x 2 FT. F.T. FURRING @ 24" O.C. R-4J "FI-FOIL" INSUL. @ 5/8" (LEVEL IV FIN) G.W.B.-PAINTED.
- 8' TO 12' POURED CONCRETE WALL - PAINTED-SEE STRUCT. DUGS.
- WINDOW NUMBER
- DOOR NUMBER
- STRUCTURAL STEEL COLUMN
- CONCRETE COLUMN - SEE STRUCT. DUGS.
- 1 HR RATED PARTITION - UL-419+ MIN.

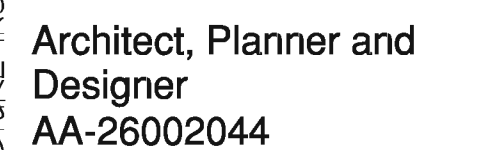
**NOTES:**

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

AREA CALCULATIONS		
	TOTAL UNDER A/C	TOTAL UNDER ROOF
<b>PROPOSED GROUND FLOOR AREA:</b>		
ENTRY LOBBY	242 SQ.FT.	
STAIR #1		150 SQ.FT.
STAIR #2		144 SQ.FT.
ELEVATOR #1		50 SQ.FT.
ELEVATOR #2		56 SQ.FT.
TRASH ROOM		20 SQ.FT.
ELECTRICAL ROOM		78 SQ.FT.
COVERED PARKING GARAGE		4,770 SQ.FT.
<b>TOTAL GROUND FLOOR AREA</b>		<b>5,510 SQ.FT.</b>
<b>PROPOSED SECOND FLOOR AREA:</b>		
OFFICE FLOOR AREA (NET SQ.FT.)	4,694 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	4,912 SQ.FT.	
SIDE BALCONY		140 SQ.FT.
FRONT BALCONY (N.I.C. UNDER ROOF)		128 SQ.FT.
<b>TOTAL SECOND FLOOR AREA (GROSS SQ.FT.)</b>		<b>5,052 SQ.FT.</b>
<b>PROPOSED THIRD FLOOR AREA:</b>		
RESIDENTIAL CONDO UNIT	3,812 SQ.FT.	
COVERED PORCH		816 SQ.FT.
OPEN TERRACE (N.I.C. UNDER ROOF)		543 SQ.FT.
<b>TOTAL THIRD FLOOR AREA</b>		<b>4,828 SQ.FT.</b>
<b>PROPOSED TOTAL AREA UNDER ROOF:</b>		<b>15,187 SQ.FT.</b>







ISSUED FOR

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PERMIT

## CONSTRUCTION

PROJECT TITLE

**PROPOSED  
MIXED USE  
BUILDING**

226 PALM COURT  
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1 REVISED 01.15.16 AS PER P#Z  
COMMENTS:

1. REDUCED WAIVER REQUEST FROM BUILDING HEIGHT PLANE FROM 6'-1" DOWN TO 3'-6".

FILE NUMBER **0302A202**

DRAWING TITLE

### PROPOSED THIRD FLOOR PLAN

DATE **10.08.15** | DRAWN BY **GE/JC**

JOB NUMBER **20150302**

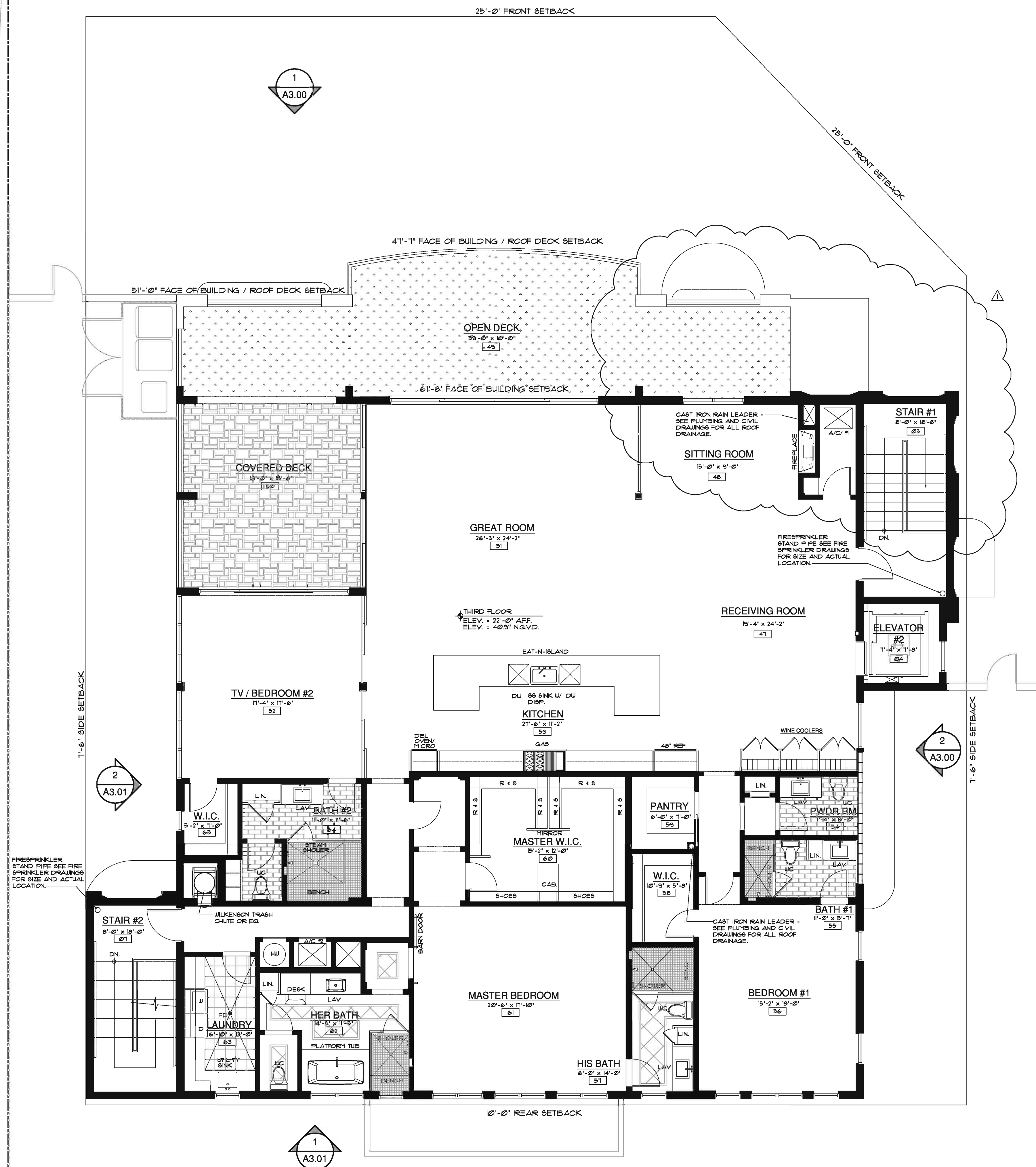
DRAWING NUMBER

## A2.02



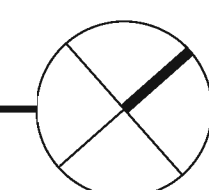
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

AREA CALCULATIONS		
	TOTAL UNDER A/C	TOTAL UNDER ROOF
<u>PROPOSED GROUND FLOOR AREA:</u>		
ENTRY LOBBY	242 SQ. FT.	
STAIR #1		150 SQ. FT.
STAIR #2		144 SQ. FT.
ELEVATOR #1		50 SQ. FT.
ELEVATOR #2		58 SQ. FT.
TRASH ROOM		20 SQ. FT.
ELECTRICAL ROOM		78 SQ. FT.
COVERED PARKING GARAGE		4,770 SQ. FT.
<u>TOTAL GROUND FLOOR AREA</u>		5,510 SQ. FT.
<u>PROPOSED SECOND FLOOR AREA:</u>		
OFFICE FLOOR AREA (NET SQ. FT.)	4,694 SQ. FT.	
OFFICE FLOOR AREA (GROSS SQ. FT.)	4,912 SQ. FT.	
SIDE BALCONY		140 SQ. FT.
FRONT BALCONY (N.I.C. UNDER ROOF)		128 SQ. FT.
<u>TOTAL SECOND FLOOR AREA (GROSS SQ. FT.)</u>		5,052 SQ. FT.
<u>PROPOSED THIRD FLOOR AREA:</u>		
RESIDENTIAL CONDO UNIT	4,164 SQ. FT.	
COVERED PORCH		329 SQ. FT.
OPEN TERRACE (N.I.C. UNDER ROOF)		680 SQ. FT.
<u>TOTAL THIRD FLOOR AREA</u>		4,493 SQ. FT.
<u>PROPOSED TOTAL AREA UNDER ROOF:</u>		15,055 SQ. FT.



## PROPOSED THIRD FLOOR PLAN

SCALE : 3/16"=1'-0"



LIGHT FIXTURES

ACCESS LIGHTING

'FOSSON BULKHEAD' 4100249

OUTDOOR WALL SCONCE OR EQUAL.

ALL LIGHT FIXTURES TO BE APPROVED BY OWNER/ARCHITECT

PAIN LEGEND

ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

P-1ACADIA WHITE MC-41 (MAIN BODY OF BUILDING)

P-2BONE WHITE 1-03 (CONCRETE EYEBROWS & STUCCO BANDINGS)

P-3KENDAL CHARCOAL - 1C-166 ALUMINUM LOUVERS AND RAILINGS

P-4BRILLIANT WHITE DOORS, WINDOWS AND BANDING.

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.

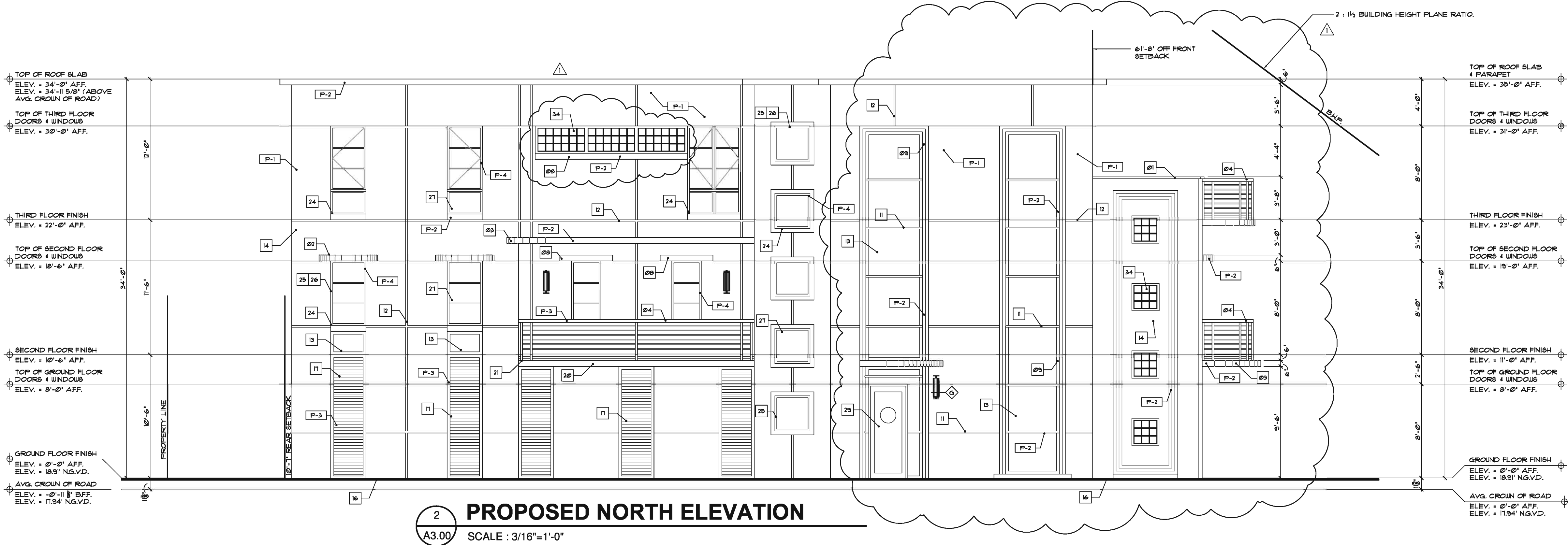
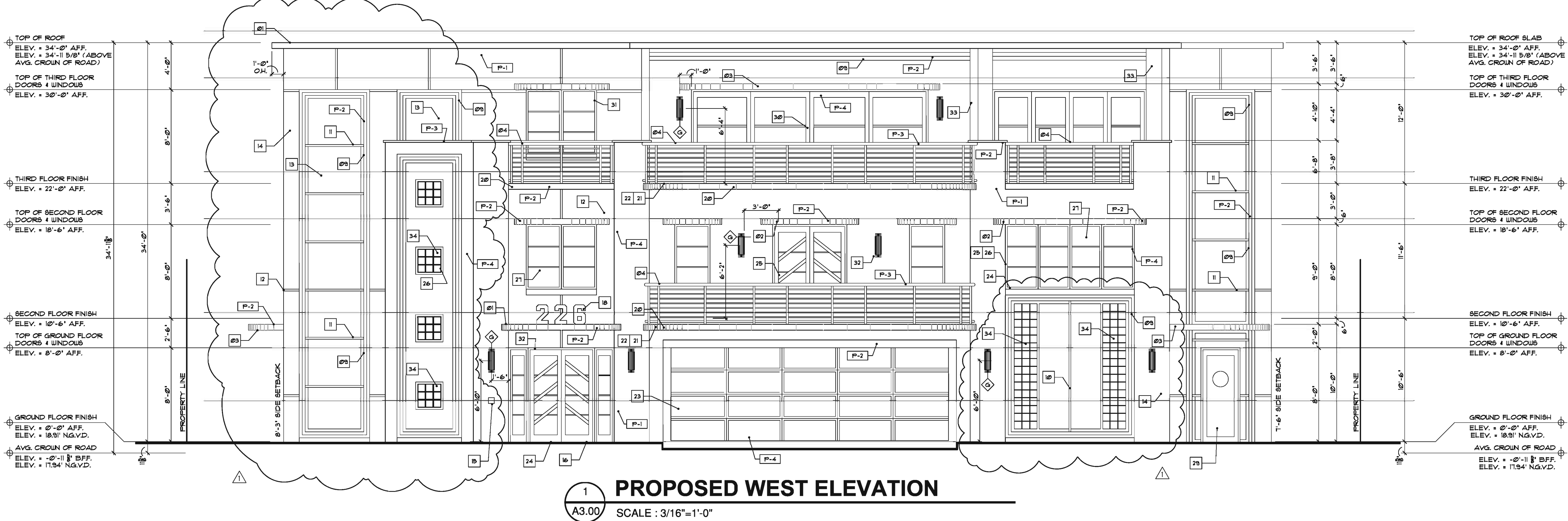
TRIBUTARY AREA (ft) <sup>2</sup>	WIND PRESSURES (PSF)		EXTERIOR DOORS, WINDOWS, WALLS, COMPONENTS AND CLADDING	
	ZONE (4)		ZONE (5)	
	(+) POSITIVE	(-) NEGATIVE	(+) POSITIVE	(-) NEGATIVE
1 TO 20	43.1	-46.7	43.1	-51.7
21 TO 50	40.9	-44.5	40.9	-53.2
51 TO 100	38.6	-42.2	38.6	-48.7
101 TO 500	36.7	-40.3	36.7	-44.8
501 TO 2500	35.6	-39.2	35.6	-42.6

NOTES:  
ZONE 5 IS DEFINED AS ANY DOOR OR WINDOW WITHIN 4'-0" FROM ANY CORNER OF THE BUILDING. ALL OTHER LOCATIONS ARE DEFINED AS ZONE 4.

EXTERIOR STUCCO

- METAL LATH APPLICATION:
1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
  2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
  3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
  4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS+ TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
  5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH+ TOTAL (7) INCH THICK AREAS+ TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
  6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
  7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
  8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMFILING WITH ASTM D 518 AND WEIGHING NOT LESS THAN 5 OZ. PER SQUARE YARD.

- NOTES:
1. DO NOT SCALE DRAWINGS!
  2. FIELD VERIFY ALL DIMENSIONS!
  3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
  4. ALL AREA CALCULATIONS ARE APPROX.
  5. ALL EXTERIOR DOOR & WINDOW LOCATIONS TO MATCH EXTERIOR ELEVATIONS - SEE SHEETS A3.00 & A3.01.
  6. CONTRACTOR TO PROVIDE 'KNOX-BOX' (PROVIDE KEYS FOR BOTH FRONT ENTRY DOORS AND OVER-HEAD GARAGE DOOR).
  7. GARAGE, REAR AND SIDES OF PROPERTY TO BE PROVIDED WITH SURVEILLANCE CAMERA'S - VERIFY ALL LOCATIONS W/ OWNER.
  8. FIRE SPRINKLER SYSTEM TO BE PROVIDED W/ A CENTRAL STATION-MONITORED FIRE ALARM.



ELEVATION NOTES

- 1

6" CONCRETE SLAB - ROOF DECK W/ 1" OVERSHANG (NOTE: TOP OF DECK TO BE PROTECTED W/ 'HYDRO-STOP' PREMIUM COAT SYSTEM OVER ENTIRE DECK).
- 2

6"HT. x 12" CURVED PIP CONC. HEADER - EYEBROWS (W/ 1'-0" EXTENSIONS BEYOND JAMB), PAINTED (TYP. # DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- 3

6" FURRED IN PLACE CURVED CONCRETE CANOPY SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN).
- 4

ALUMINUM DECORATIVE RAILING W/ POWDER COAT FINISH (COLOR CHARCOAL GREY) - TOP OF RAIL MIN. 36" (BOTTOM RAIL MAX 2" AFF. - TYP.). PROVIDE SHOP DRAWINGS / SAMPLE BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (SEE DETAILS ON SHEET A3.04)
- 5

3/4" SCORED LINES IN SMOOTH STUCCO FINISH-PAINTED.
- 6

DECORATIVE - STEPPED RAISED SMOOTH STUCCO BAND W/ ROUNDED EDGES, PAINTED (TYP.).
- 7

2 STEPPED RAISED SMOOTH STUCCO BANDING - PAINTED (TYP.).
- 8

1" TH. x 6"HT. SMOOTH RAISED STUCCO SILL-HEADER WINDOW BANDING, PAINTED (TYP.) - SLOPED FOR POSITIVE DRAINAGE.
- 9

CONT. 3 LAYER STEPPED RAISED SMOOTH STUCCO BANDING - IN RECESSED PANELS - PAINTED (TYP.).
- 10

4" x 3 1/2" ROUNDED RAISED SMOOTH STUCCO BANDING SURROUND - PAINTED (TYP.).
- 11

2" RAISED HORIZONTAL SMOOTH STUCCO BANDING - PAINTED (TYP.).
- 12

1" x 1/4" RECESSED JOINT RRY-REGLET OR EQUAL SCORED STUCCO LINES - PAINTED.
- 13

RECESSED SMOOTH STUCCO PANEL ON 6" CONCRETE BLOCK - PAINTED.
- 14

5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.
- 15

CONTRACTOR TO PROVIDE 'KNOX-BOX' AS PER DELRAY FIRE DEPT. (ACCESS FOR MAIN ENTRY AND GARAGE DOOR).
- 16

EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. # ENTIRE PERIMETER).
- 17

DECORATIVE FIXED ALUMINUM LOUVER SHUTTERS SET IN A 45 DEGREE OPEN POSITION W/ 5/8" POWDER COAT FINISH (COLOR - CHARCOAL GREY) - BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL.
- 18

SIGNAGE LIGHTING / NUMBERS TO BE BY OTHERS (UNDER SEPARATE PERMIT) - VERIFY W/ OWNER (CONTRACTOR TO PROVIDE POWER).
- 19

4" x 12" EMERGENCY ROOF SCUPPER (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK).
- 20

FOURED IN PLACE CONC SLAB. SEE STRUC DUGS (TYP.) ALL BALCONIES TO SLOPE 1/8"/FT.
- 21

CONT. 1 1/4"HT. x 4" COPPER DRIP EDGE # ALL BALCONIES.
- 22

ALL BALCONIES/PORCHES TO RECEIVE 'STONE PAVERS' OR EQUAL. NON-SLIP W/ BULLMOSE AT THE OUTER EDGE. DECK TO BE MUDSET OVER 1/25" LIQUID WATERPROOFING ON CONC. DECK. 'VALKIEH' 360" OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL).
- 23

'ONTRAC' - GARAGE DOOR COMPANY - 'ATHENA GLASS' OVER-HEAD GARAGE DOOR - NON - HURRICANE IMPACT OR EQUAL.
- 24

ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF 'GARAGE VYCKOR PLUS' OR EQUAL & CONCRETE THRESHOLD. CONCRETE SILL.
- 25

ALL WINDOWS TO HAVE 1 x F.T. WD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.
- 26

ALL EXTERIOR DOORS & WINDOWS TO HAVE 'VALKIEH' CAULKING # BUCK/QUALITY FRAME CONDITIONS (TYP.).
- 27

'PGT' CASHEMENT / FIXED ALUM. WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).
- 28

IMPACT RESISTANT 'PGT 3500 & 3550 SERIES' SYSTEM OR EQUAL - ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & SURFACE APPLIED CLOSURE W/ 'KYNAR 500' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).
- 29

ALL EXTERIOR DOORS TO BE IMPACT RESISTANT & HAVE PRODUCT APPROVAL ('FLEMING' D - SERIES OR EQUAL).
- 30

'WINDOW' SERIES 8100 ALUM. SLIDING DOORS (COLOR WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).
- 31

'PGT' - PAUX - FIXED WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK (TYP.).
- 32

SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (SUBMIT SHOP DRAWINGS FOR APPROVAL).
- 33

SEE FLOOR PLANS FOR LOCATION OF 'TAPERED' CONCRETE COLUMNS W/ 1/2" 2-COATS SMOOTH STUCCO - PAINTED FINISH.
- 34

HURRICANE IMPACT 'GLASS BLOCK' BY PITTSBURGH CORNING (THICKSET 90 BLOCK - ENDURA PATTERN) OR EQUAL.



Architect, Planner and Designer  
AA-26002044

205 George Bush Blvd.  
Delray Beach, Florida 33444  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR PLANNING & ZONING (HFB)

BIDS

PERMIT 5.22.15

CONSTRUCTION

PROJECT TITLE  
**PROPOSED  
MIXED USE  
BUILDING**

**226 PALM COURT  
DELRAY BEACH, FL**

CLIENT APPROVAL

- REVISIONS
- 1

REVISED 01/5/16 AS PER P&Z COMMENTS:  
1. REDUCED AMOUNT OF STUCCO AND ADDED 'GLASS-BLOCK' WINDOWS.  
2. ADDED 'KNOX-BOX' AT MAIN ENTRANCE.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER **0302A300**

DRAWING TITLE

**PROPOSED  
ELEVATIONS**

DATE **04.07.15** | DRAWN BY **GE/JC**

JOB NUMBER **20150302**

DRAWING NUMBER

**A3.00**



LIGHT FIXTURES

ACCESS LIGHTING

PROSEIDON BULLHEAD® 4400449

OUTDOOR WALL SCONCE OR EQUAL.

ALL LIGHT FIXTURES TO BE APPROVED BY OWNER/ARCHITECT

PAINT LEGEND

ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

ACADIA WHITE MC-41 (MAIN BODY OF BUILDING)

TOFFEE ORANGE 2161-40 (CONCRETE EYEBROWS & STUCCO BANDINGS)

KENDAL CHARCOAL - MC-166 ALUMINUM LOUVERS AND RAILINGS

BRIGHT WHITE DOORS, WINDOWS AND BANDING.

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.

TRIBUTARY AREA (ft) <sup>2</sup>	ZONE (4)		ZONE (5)	
	(+) POSITIVE	(-) NEGATIVE	(+) POSITIVE	(-) NEGATIVE
1 TO 20	431	-46.7	431	-51.1
21 TO 50	40.9	-44.9	40.9	-53.2
51 TO 100	30.6	-42.2	30.6	-48.1
101 TO 500	36.7	-40.3	36.7	-44.8
501 TO 2500	35.6	-39.2	35.6	-42.6

NOTES:

ZONE 5 IS DEFINED AS ANY DOOR OR WINDOW WITHIN 4'-0" FROM ANY CORNER OF THE BUILDING. ALL OTHER LOCATIONS ARE DEFINED AS ZONE 4.

## EXTERIOR STUCCO

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS+ TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH+ TOTAL (1) INCH THICK AREAS+ TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMPLYING WITH ASTM D 5198 AND WEIGHING NOT LESS THAN 9 OZ. PER SQUARE YARD.

### NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. ALL EXTERIOR DOOR & WINDOW LOCATIONS TO MATCH EXTERIOR ELEVATIONS. SEE SHEETS A3.00 & A3.01.
6. CONTRACTOR TO PROVIDE 'KNOX-BOX' (PROVIDE KEYS FOR BOTH FRONT ENTRY DOORS AND OVERHEAD GARAGE DOOR).
7. GARAGE, REAR AND SIDES OF PROPERTY TO BE PROVIDED WITH SURVEILLANCE CAMERAS - VERIFY ALL LOCATIONS W/ OWNER.
8. FIRE SPRINKLER SYSTEM TO BE PROVIDED W/ A CENTRAL STATION-MONITORED FIRE ALARM.

## ELEVATION NOTES

1

6" CONCRETE SLAB - ROOF DECK W/ 12" OVERHANG (NOTE: TOP OF DECK TO BE PROTECTED W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER ENTIRE DECK).

2

6"HT x 12" CURVED PIP. CONC. HEADER - EYEBROWS (W/ 1'-0" EXTENDING BEYOND LATH) PAINTED (TYP.) & DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE.

3

6" POURED IN PLACE CURVED CONCRETE CANOPY SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN).

4

ALUMINUM DECORATIVE RAILING W/ POWDER COAT FINISH (COLOR CHARCOAL GREY) - TOP OF RAIL MIN. 36" (BOTTOM RAIL MAX. 2' AFF. - TYP.). PROVIDE SHOP DRAWINGS & SAMPLE BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (SEE DETAILS ON SHEET A0.04.)

5

¾" SCORED LINES IN SMOOTH STUCCO FINISH-PAINTED.

6

DECORATIVE - STEPPED RAISED SMOOTH STUCCO BAND W/ ROUNDED EDGES, PAINTED (TYP.).

7

2 STEPPED RAISED SMOOTH STUCCO BANDING - PAINTED (TYP.).

8

1" TH. x 6"HT. SMOOTH RAISED STUCCO BILL/HEADER WINDOW BANDING PAINTED (TYP.) - SLOPED FOR POSITIVE DRAINAGE.

9

CONT. 3 LAYER STEPPED RAISED SMOOTH STUCCO BANDING - IN RECESSED PANELS - PAINTED (TYP.).

10

4" x 2½" ROUNDED RAISED SMOOTH STUCCO BANDING SURROUND - PAINTED (TYP.).

11

4" x 2½" ROUNDED RAISED VERTICAL (CURVED SMOOTH STUCCO BANDING - PAINTED (TYP.).

12

2" RAISED HORIZONTAL SMOOTH STUCCO BANDING - PAINTED (TYP.).

13

1" x ½" RECESSED JOINT FRY-REGLET OR EQUAL SCORED STUCCO LINES - PAINTED.

14

RECESSED SMOOTH STUCCO PANEL ON 6" CONCRETE BLOCK - PAINTED.

15

5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.

16

CONTRACTOR TO PROVIDE 'KNOX-BOX' AS PER DELRAY FIRE DEPT. (ACCESS FOR MAIN ENTRY AND GARAGE DOOR).

17

EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP.) & ENTIRE PERIMETER).

18

DECORATIVE FIXED ALUMINUM LOUVER SHUTTERS SET IN A 45 DEGREE OPEN POSITION W/ 5/8" POWDER COAT FINISH (COLOR - CHARCOAL GREY) - BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL.

19

4" x 12" EMERGENCY ROOF SCUPPER (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK).

20

POURED IN PLACE CONC. SLAB, SEE STRUCT. DUGS (TYP.) ALL BALCONIES TO SLOPE ¼" / FT.

21

CONT. 1 1/4"HT. x 4" COPPER DRIP EDGE & ALL BALCONIES.

22

ALL BALCONIES/PORCHES TO RECEIVE 'STONE PAVERS' OR EQUAL NON-SLIP W/ BULLHOLE AT THE OUTER EDGE. DECK TO BE 'NUDSET OVER 125' LIQUID WATERPROOFING ON CONC. DECK. 'VULKEM 360' OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL).

23

'CONTRAC' - GARAGE DOOR COMPANY - 'ATHENA GLASS' OVERHEAD GARAGE DOOR - NON - HURRICANE IMPACT OR EQUAL.

24

ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF 'ORACE VYCOR PLUS' OR EQUAL & CONCRETE THRESHOLD/ CONCRETE SILL.

25

ALL WINDOWS TO HAVE 1 x FT. UD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.

26

IMPACT RESISTANT 'PG1 3600' & 3350 SERIES' SYSTEM OR EQUAL - ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & SURFACE APPLIED CLOSURE W/ 'MYLAR 900' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).

27

IMPACT RESISTANT 'PG1 3600' & 3350 SERIES' SYSTEM OR EQUAL - ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & SURFACE APPLIED CLOSURE W/ 'MYLAR 900' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).

28

IMPACT RESISTANT 'PG1 3600' & 3350 SERIES' SYSTEM OR EQUAL - ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & SURFACE APPLIED CLOSURE W/ 'MYLAR 900' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).

29

ALL EXTERIOR DOORS TO BE IMPACT RESISTANT & HAVE PRODUCT APPROVAL ('FLEMING' D - SERIES OR EQUAL.

30

'WINDOOR' SERIES 8100 ALUM. SLIDING DOORS (COLOR WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).

31

'PG1' - FAUX - FIXED WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK (TYP.).

32

SEE ELECTRICAL DRAWING FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (SUBMIT SHOP DRAWINGS FOR APPROVAL).

33

SEE FLOOR PLANS FOR LOCATION OF 'TAPERED' CONCRETE COLUMNS W/ ¾" 2-COATS SMOOTH STUCCO - PAINTED FINISH.

34

HURRICANE IMPACT 'GLASS BLOCK' BY PITTSBURGH CORNING (THICKSET 90 BLOCK - ENDURA PATTERN) OR EQUAL.

TOP OF ROOF SLAB  
ELEV. + 34'-0" AFF.  
ELEV. + 34'-11 5/8" (ABOVE AVG. CROWN OF ROAD)

TOP OF THIRD FLOOR DOORS & WINDOWS  
ELEV. + 30'-0" AFF.

THIRD FLOOR FINISH  
ELEV. + 22'-0" AFF.

TOP OF SECOND FLOOR DOORS & WINDOWS  
ELEV. + 18'-6" AFF.

SECOND FLOOR FINISH  
ELEV. + 10'-6" AFF.

TOP OF GROUND FLOOR DOORS & WINDOWS  
ELEV. + 8'-0" AFF.

GROUND FLOOR FINISH  
ELEV. + 0'-0" AFF.  
ELEV. + 18'8" NGVD.

AVG. CROWN OF ROAD  
ELEV. + 0'-11 1/8" BFF.  
ELEV. + 17.94' NGVD.

PROPERTY LINE

61'-8" OFF FRONT SETBACK

2 : 1½ BUILDING HEIGHT PLANE RATIO.

6'1"-8" OFF FRONT SETBACK

10'-0" REAR SETBACK

PROPERTY LINE

OPEN TO COVERED PARKING

1  
A3.01

## PROPOSED EAST ELEVATION

SCALE : 3/16"=1'-0"

TOP OF ROOF SLAB  
ELEV. + 34'-0" AFF.  
ELEV. + 34'-11 5/8" (ABOVE AVG. CROWN OF ROAD)

TOP OF THIRD FLOOR DOORS & WINDOWS  
ELEV. + 30'-0" AFF.

THIRD FLOOR FINISH  
ELEV. + 22'-0" AFF.

TOP OF SECOND FLOOR DOORS & WINDOWS  
ELEV. + 18'-6" AFF.

SECOND FLOOR FINISH  
ELEV. + 10'-6" AFF.

TOP OF GROUND FLOOR DOORS & WINDOWS  
ELEV. + 8'-0" AFF.

GROUND FLOOR FINISH  
ELEV. + 0'-0" AFF.  
ELEV. + 18'8" NGVD.

AVG. CROWN OF ROAD  
ELEV. + 0'-11 1/8" BFF.  
ELEV. + 17.94' NGVD.

PROPERTY LINE

61'-8" OFF FRONT SETBACK

2 : 1½ BUILDING HEIGHT PLANE RATIO.

6'1"-8" OFF FRONT SETBACK

10'-0" REAR SETBACK

PROPERTY LINE

OPEN TO COVERED PARKING

2  
A3.01

## PROPOSED SOUTH ELEVATION

SCALE : 3/16"=1'-0"

ge  
architecture, inc.

Architect, Planner and Designer  
AA-26002044

205 George Bush Blvd.  
Delray Beach, Florida 33444  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR PLANNING & ZONING (P&Z)

BIDS PERMIT 5.22.15

CONSTRUCTION

PROJECT TITLE

## PROPOSED MIXED USE BUILDING

226 PALM COURT  
DELRAY BEACH, FL

CLIENT APPROVAL

### REVISIONS

1. REVISED 01.15.16 AS PER P&Z COMMENTS.

1. REDUCED AMOUNT OF STUCCO AND ADDED 'GLASS-BLOCK' - WINDOWS.

2. ADDED 'KNOX-BOX' AT MAIN ENTRANCE.

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FILE NUMBER 0302A301

DRAWING TITLE

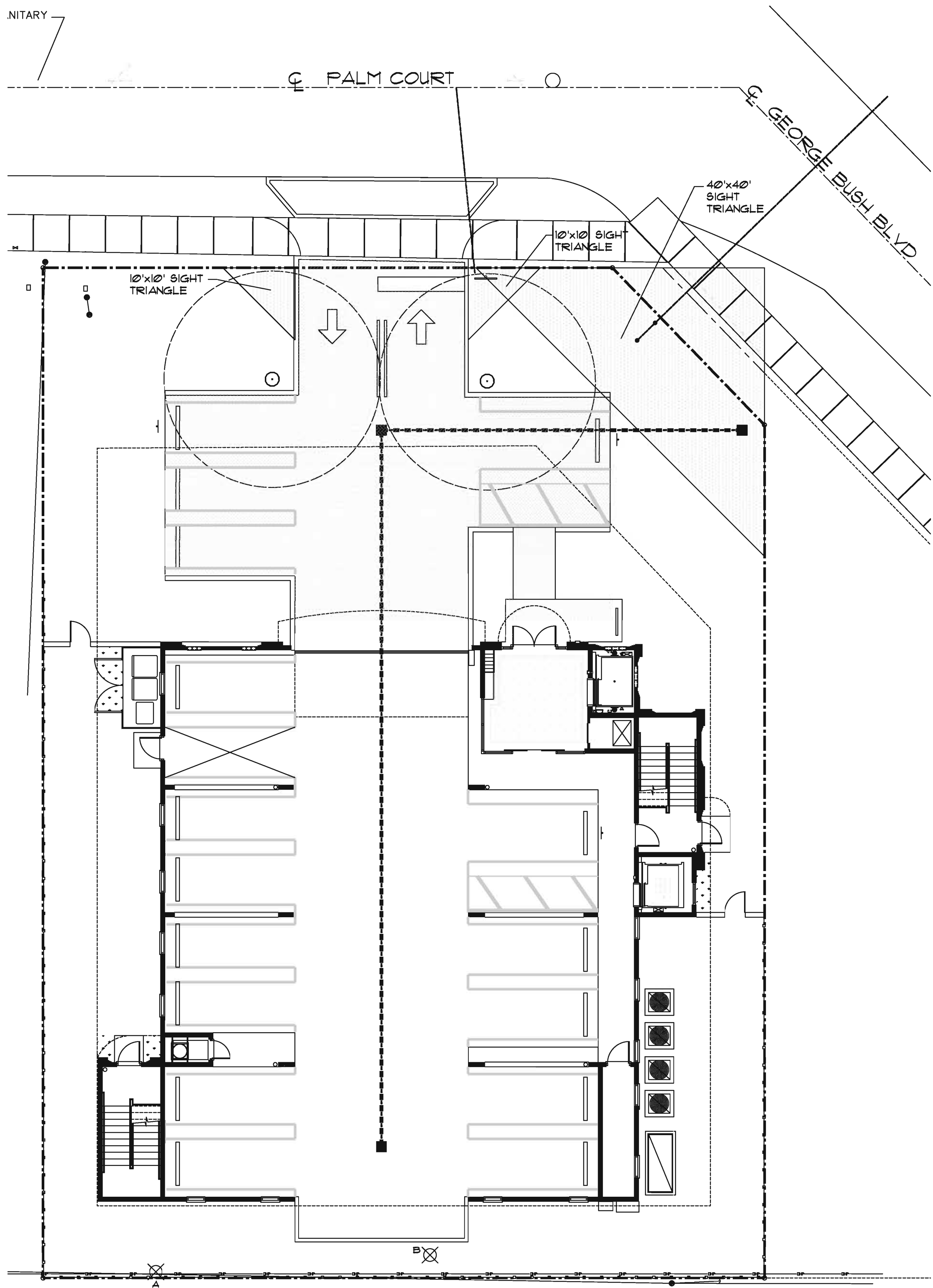
## PROPOSED ELEVATIONS

DATE 04.07.15 | DRAWN BY GE/JC

JOB NUMBER 20150302

DRAWING NUMBER

A3.01



EXISTING TREE LIST

SYM	TREE TYPE	DESCRIPTION	STATUS
A	Sabal palm	14' o.a. ht., 18" cal.	remove
B	Sabal palm	25' o.a. ht. good condition	remove

LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING PALMS TO REMAIN
- PROPOSED PALMS
- PROPOSED TREES

project:  
medical  
office building  
delray beach  
florida

dave bodker  
landscape architecture/planning inc.

601 n. congress ave., suite 105-a  
delray beach, florida 33445  
561-276-6311

#LA0000999

sheet title:  
existing  
tree plan

project number:  
3515  
date:  
12-8-15  
scale:  
1" = 10'  
drawn by:  
joe

revisions:  
1-18-16 comments  
2-8-16

sheet:

L-1

1 of 3 sheets

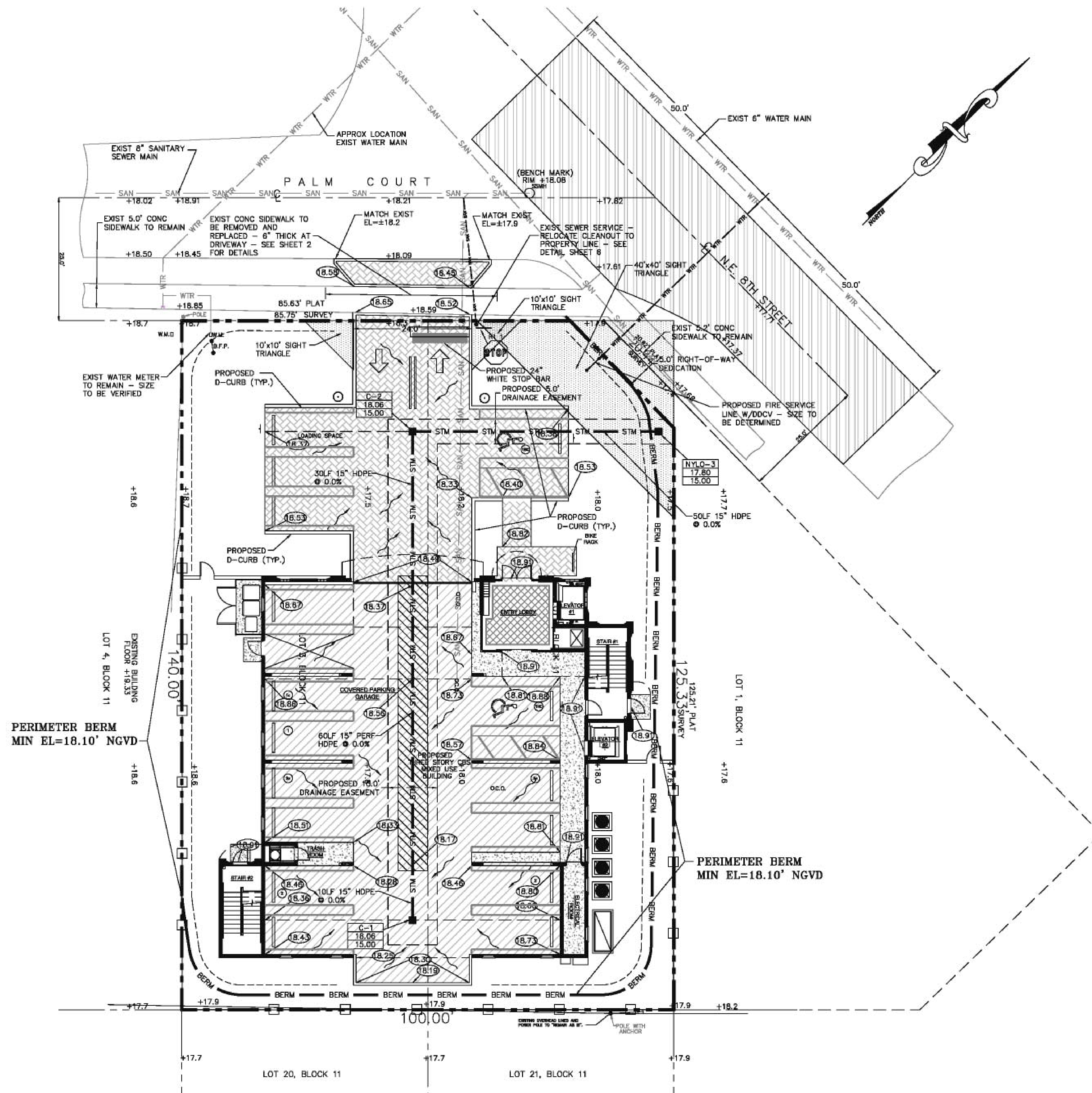












LOCATION MAP  
N.T.S.

LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER  
PLAN PAGE DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA OF PROPOSED MILLING & RESURFACING OF EXISTING ASPHALT
- DENOTES AREA OF PROPOSED CONCRETE
- DENOTES AREA OF PROPOSED PAVERS
- PROPOSED CATCH BASIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- DENOTES 15" PERF HDPE PIPE IN 6" WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL= 14.00)
- STRUCTURE NUMBER  
RIM ELEVATION  
INVERT ELEVATION
- PROPOSED WATER METER
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT

NOTE: ALL ROOF DRAINAGE TO BE COLLECTED THRU GUTTERS AND/OR ROOF DRAINS AND CONNECTED TO UNDERGROUND DRAINAGE SYSTEM VIA ROOF DRAIN LEADERS PROVIDED

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

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SCALE: 1" = 10'  
0 5 10 20



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PAVING & DRAINAGE PLAN FOR:  
MEDICAL OFFICE  
230 PALM CT  
DELRAY BEACH, FLORIDA

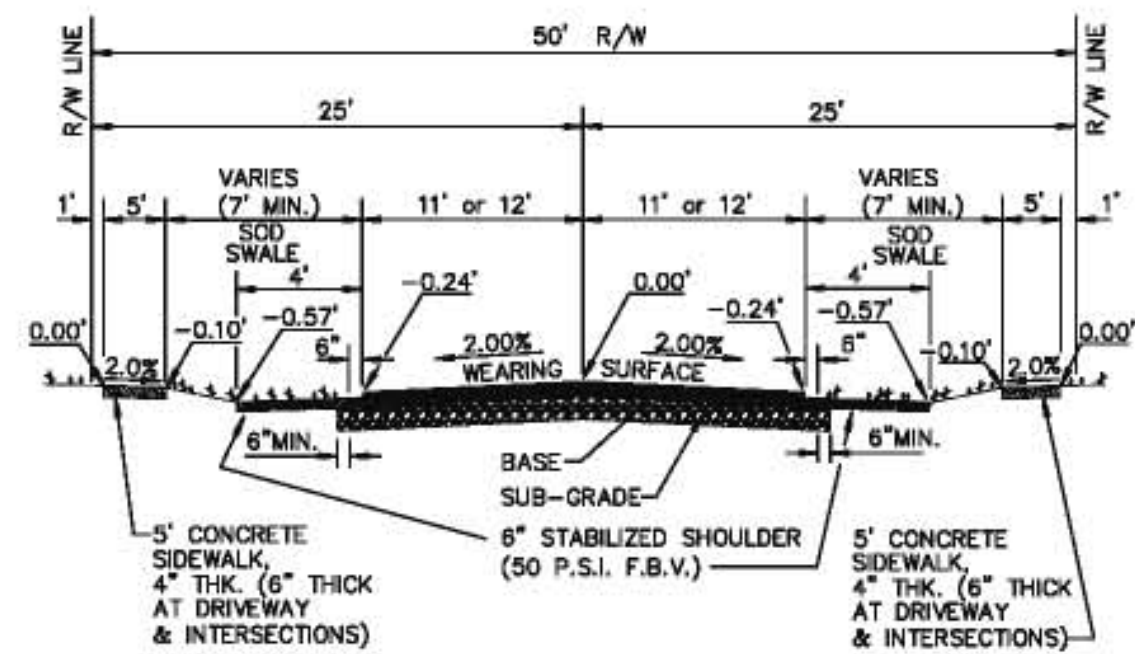
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FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506  
238 Pineapple Grove Way Delray Beach, Florida 33444  
Phone: (561) 274-8500 Fax: (561) 274-8558

DRAWN:  
M.T.J.  
CHECKED:  
J.A.P.  
DATE:  
2/19/16  
JOB NO.  
15042-ENG  
SHEET NO.  
1 OF 7

NO.	DATE	REVISIONS	BY:
1	12/9/15	REVISED PER COMMENTS FROM CITY 6/29/15	MTJ
2	1/18/16	SITE PLAN UPDATED	TAL

NOT VALID WITHOUT  
ENGINEER'S SEAL  
JOSEPH A. PIKE, P.E.  
FL REG # 42866

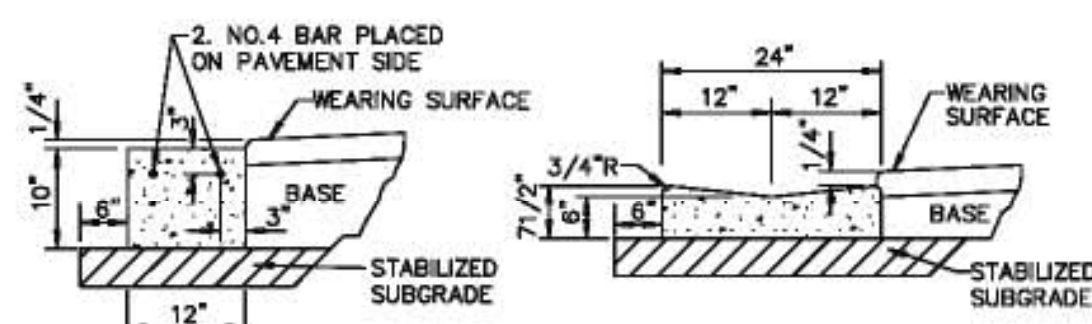




PAVEMENT SPECIFICATIONS	
WEARING SURFACE	1 1/2" TYPE S-III (2 LIFTS) SEE NOTE 2
BASE	6" LIMEROCK OR 10" CRUSHED CONCRETE COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180, PRIME & TACK COAT PER FDOT SECTION 300.
SUBGRADE	12" STABILIZED (75 P.S.I. FBV) AND COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.

- NOTE:**
1. VARIATION FROM MATERIAL SPECIFICATIONS WILL BE CONSIDERED ON A CASE BY CASE BASIS BY THE CITY ENGINEER.
  2. 2ND LIFT SHALL NOT BE PAVED UNTIL CONSTRUCTION VEHICLES AND EQUIPMENT HAVE COMPLETED WORK.
  3. STABILIZE SHOULDER TO 50 P.S.I. F.B.V.

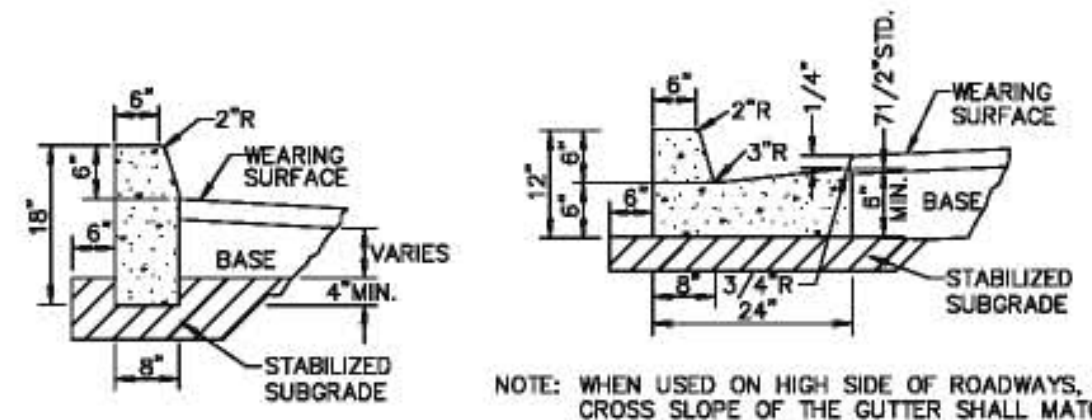
TYPICAL 50' R/W SECTION WITH SWALE  
DETAIL RT 1.1b



CONCRETE  
HEADER CURB  
NOT TO SCALE

VALLEY GUTTER  
NOT TO SCALE

NOTE: SAWCUTS REQUIRED  
AT 10' CENTERS.



F.D.O.T. TYPE "D"

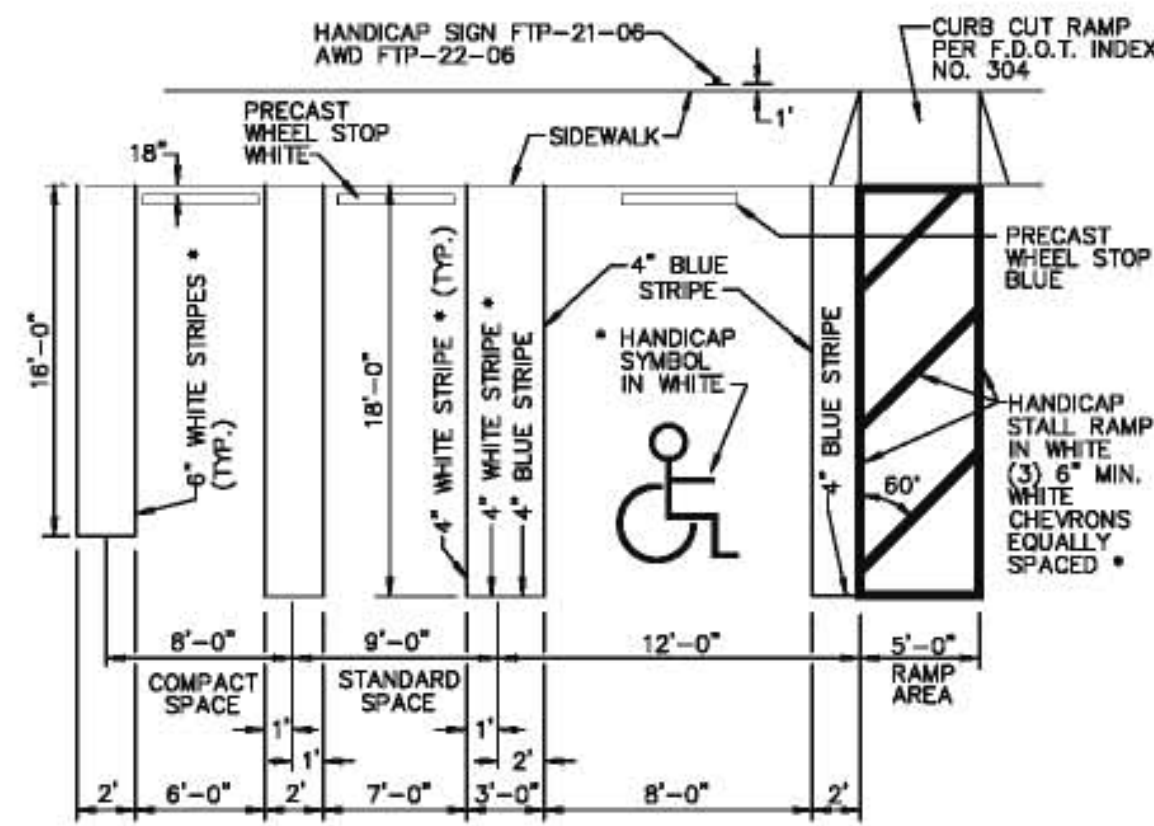
NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS,  
CROSS SLOPE OF THE GUTTER SHALL MATCH  
THE CROSS SLOPE OF THE ADJACENT  
PAVEMENT AND THE THICKNESS OF THE  
LIP SHALL BE 6" MIN.

F.D.O.T. TYPE "F"

CONCRETE  
CURB AND GUTTER  
NOT TO SCALE

- NOTES:**
1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.
  2. SAWCUTS AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.

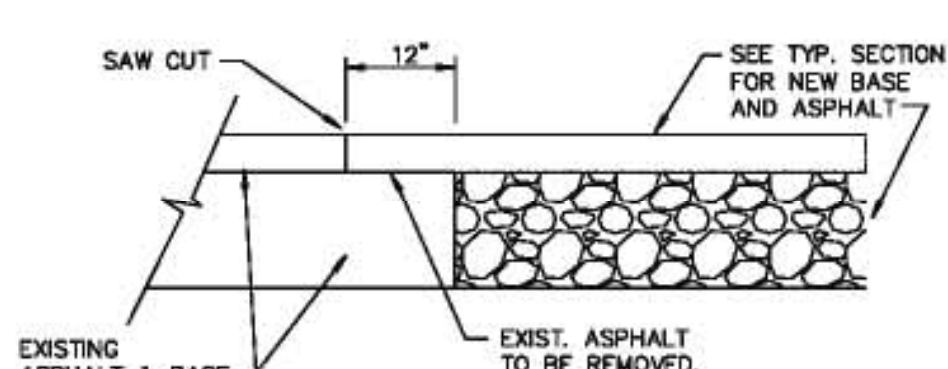
CURB AND GUTTER SECTIONS RT 6.1



TYPICAL PARKING SPACES  
(1 OF 3)  
DETAIL RT 4.2a

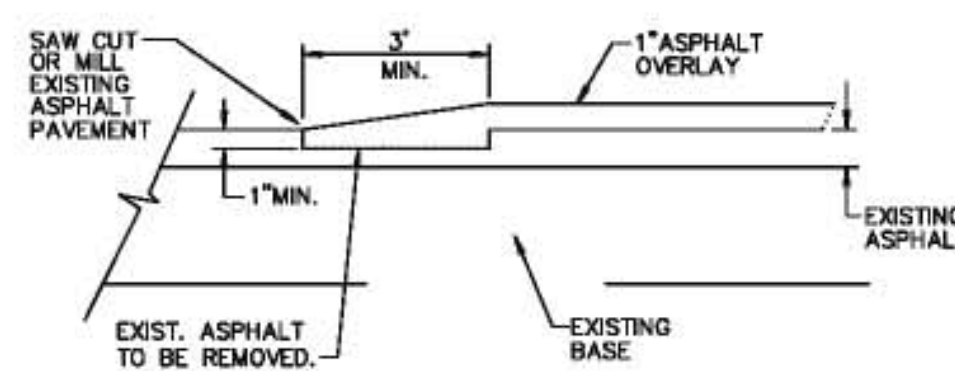
- \* NOTES:**
1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
  2. ALL STRIPPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
  3. ALL MEASUREMENTS ARE FROM CENTER LINE.
  4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
  5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE.
  6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1.

TYPICAL PARKING SPACES  
(1 OF 3)  
DETAIL RT 4.2a



NEW CONSTRUCTION PAVEMENT JOINT

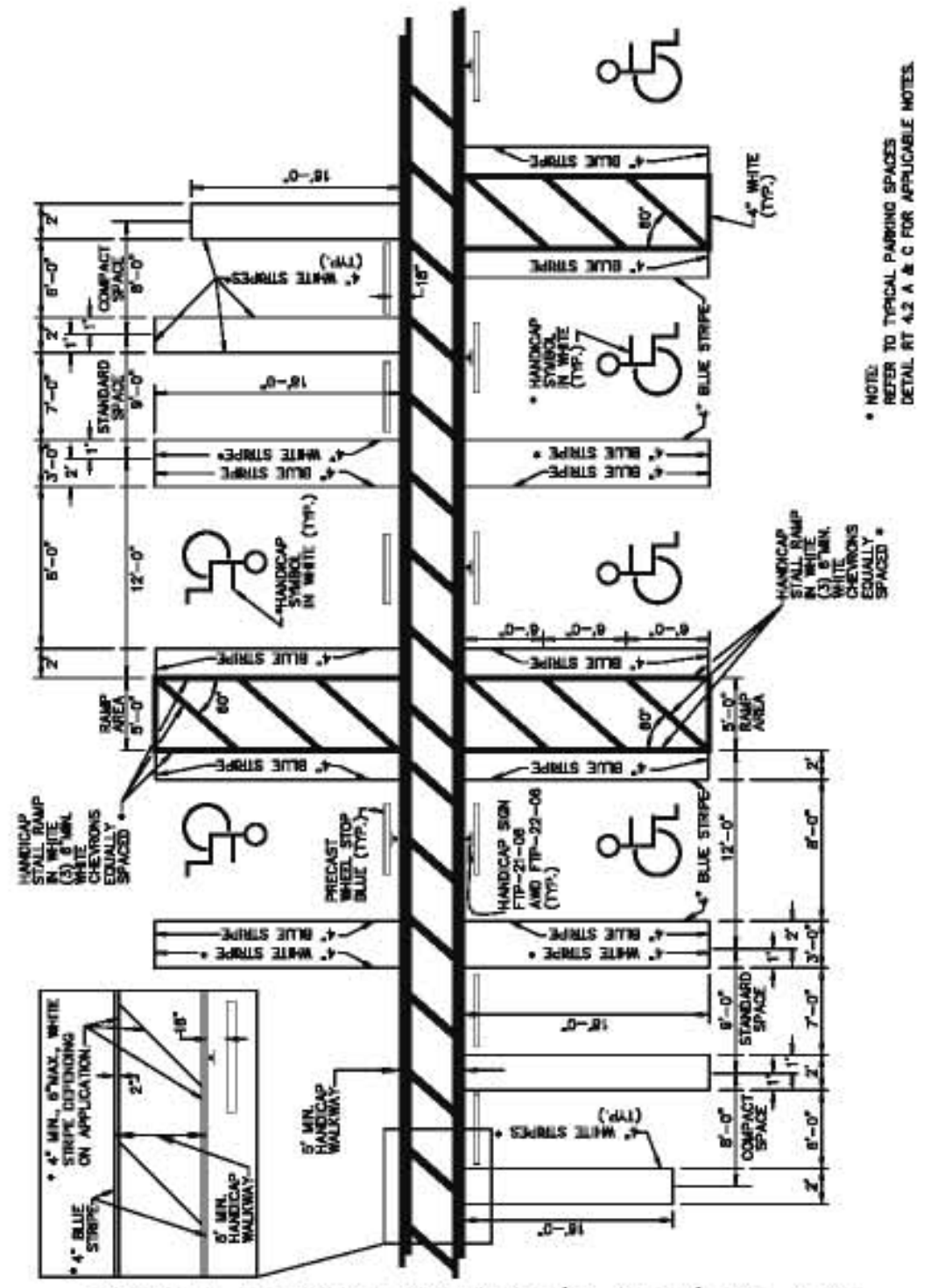
- NOTE:**
- THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.



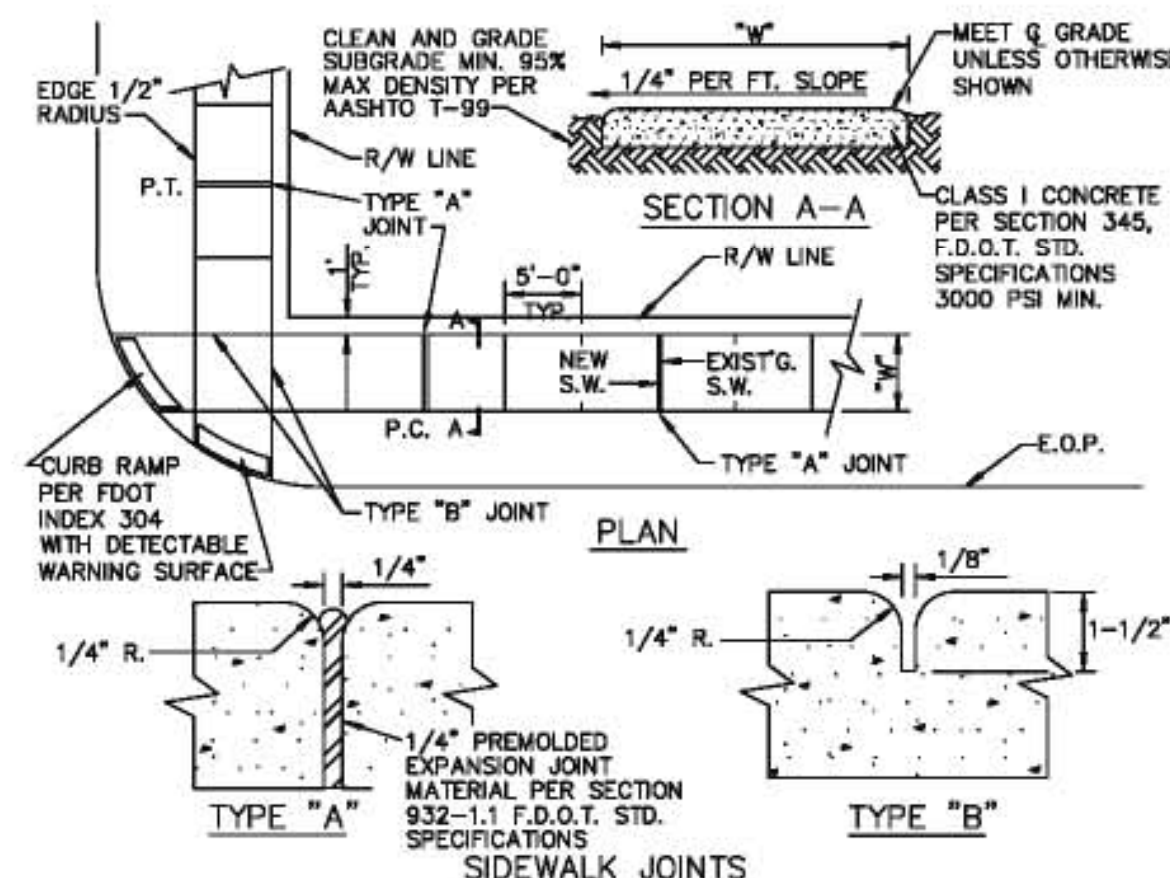
NEW OVERLAY PAVEMENT JOINT

- NOTE:**
- THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT WILL BE CONNECTED TO EXISTING PAVEMENT.

PAVEMENT JOINT DETAIL RT 7.1



TYPICAL PARKING SPACES (2 OF 3) RT 4.2b



- NOTE:**
1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
  2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMP @ INTERSECTIONS.
  3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
  4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.

TABLE OF SIDEWALK THICKNESS - "T"	
RESIDENTIAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, DRIVEWAYS & OTHER AREAS	6", 9" @ O.P.
TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS, AS SPECIFIED BY THE CITY ENGINEER.	

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.

SIDEWALK CONSTRUCTION RT 5.1



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15042-DTL  
SHEET NO.  
2 OF 7



# PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

## PERMANENT MARKINGS

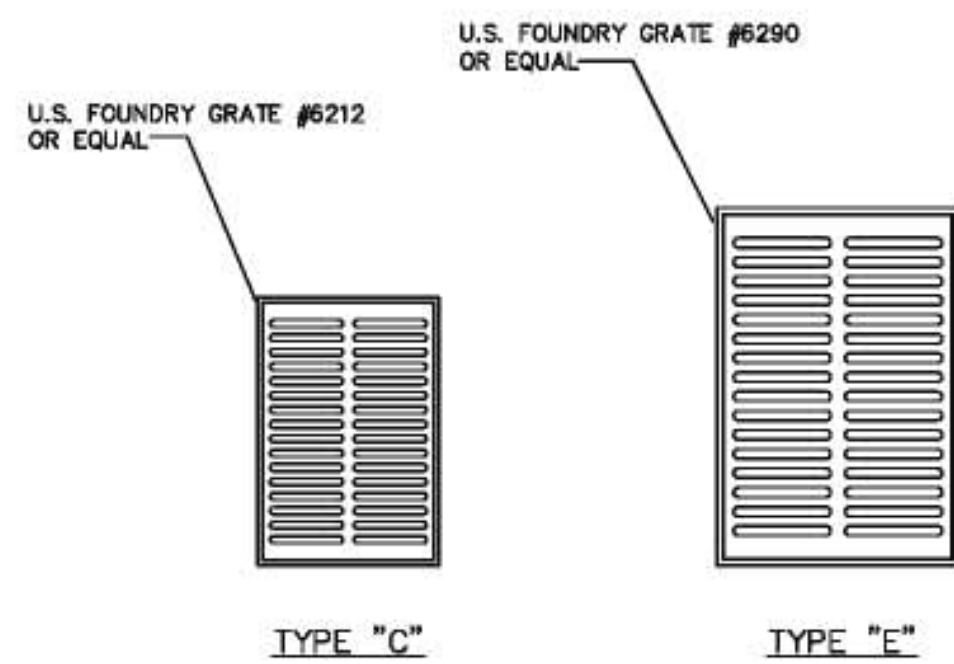
- Installation:**
- All markings shall be installed by the extruded method.
  - Markings shall be free of weaves, bows, drips, drops, and other degrading items.
  - Chalk shall be used for all layout markings.
- Materials:**
- All materials shall be alkyd or hydrocarbon thermoplastic meeting all FDOT specifications.
- Thickness:**
- All markings shall be installed to yield 90 mils of material measured above the pavement surface.
- Spheres:**
- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.
- Alternate Material:**
- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.
- Layout:**
- Layout shall be made using marking chalk.
  - It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

## TEMPORARY MARKINGS

- Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.
- Final Pavement Surface:**
- Only full backed marking tape is allowed.
  - All tape shall be totally removed concurrent with permanent marking placement.
- Other Pavement Surfaces:**
- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a  
(Sheet 1 of 2)

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
"C"	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
"E"	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.



- NOTES:**
- ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
  - WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

TYPE C & E INLET GRATE DETAIL D 6.1

# ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

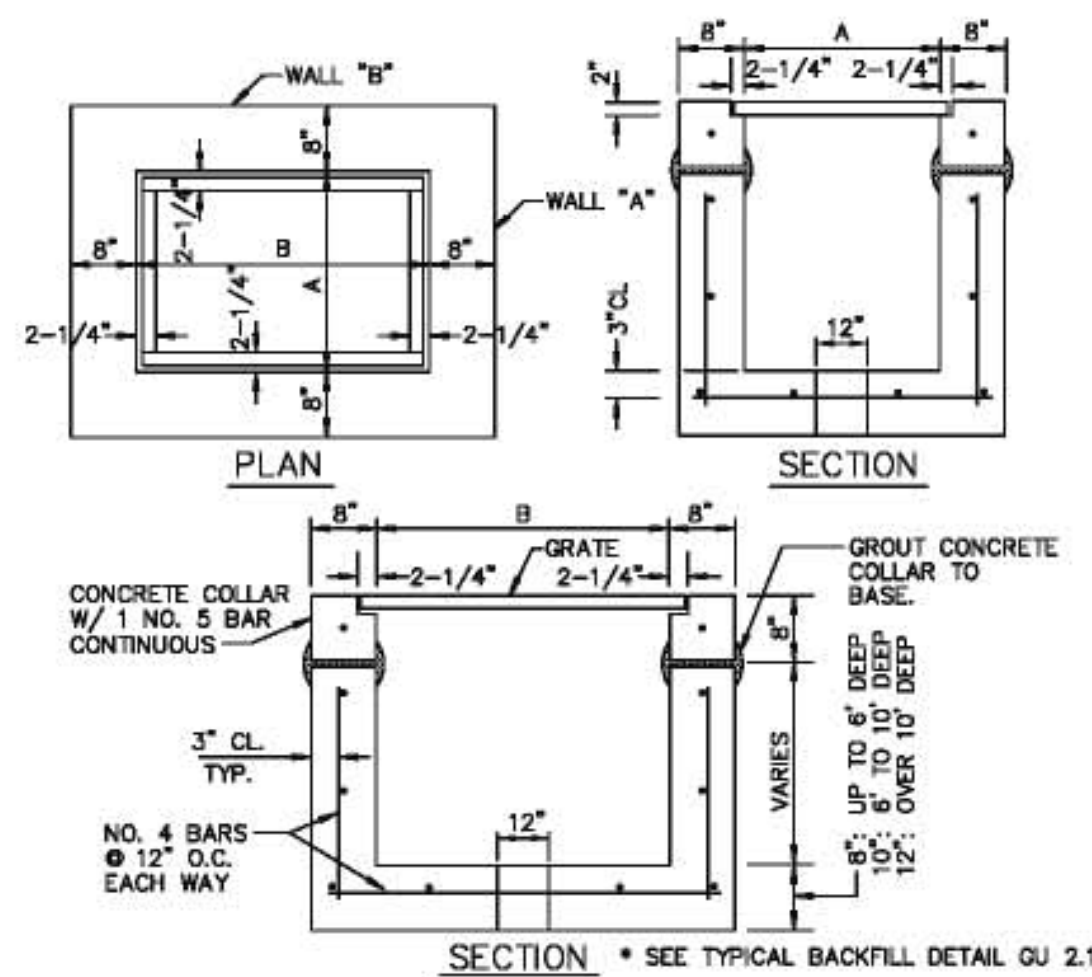
## RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.s shall be installed using alkyd thermoplastic on asphalt and epoxy on concrete.

## OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

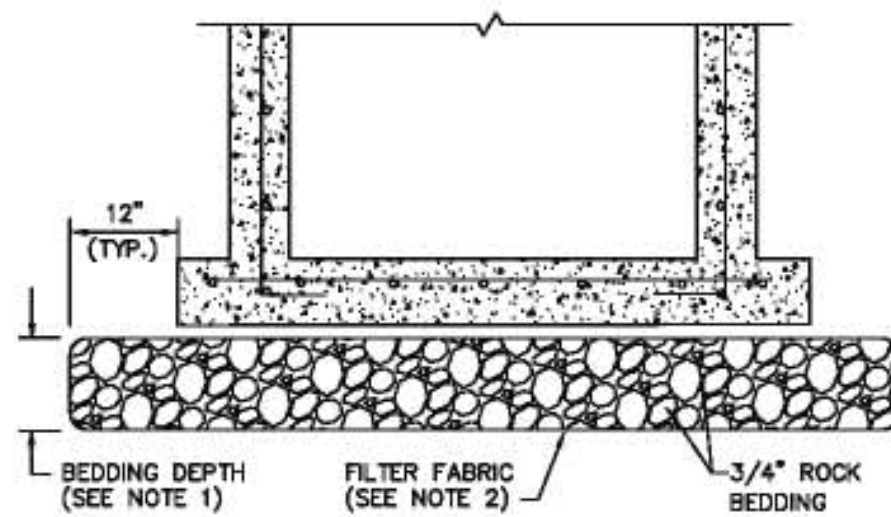
PAVEMENT MARKING SPECIFICATIONS RT 8.1b  
(Sheet 2 of 2)



INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
"C"	2'0"	3'1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
"E"	3'0"	4'6"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.

- NOTES:**
- INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
  - ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
  - 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WELLFIELDS.
  - 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
  - SEE BEDDING DETAIL D 3.1
  - ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

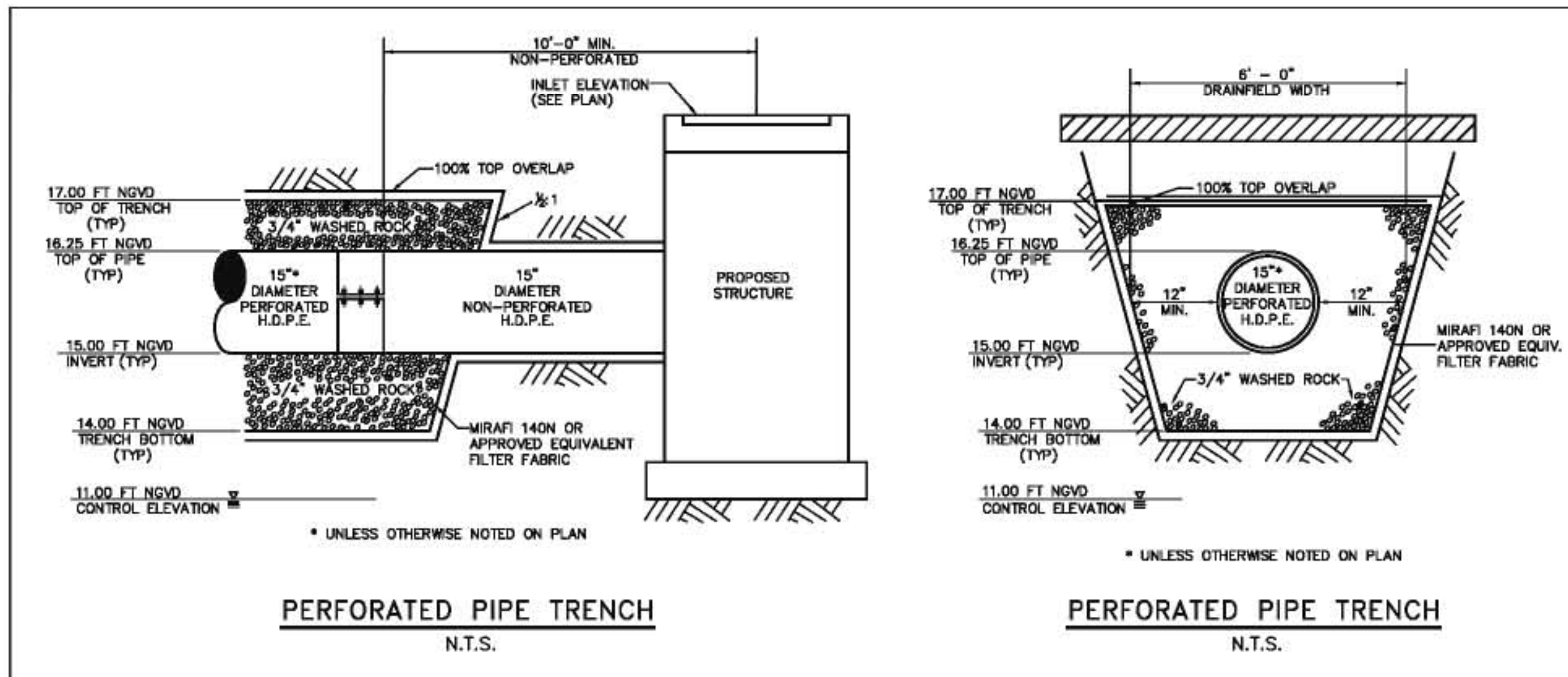
TYPE C & E INLET DETAIL D 7.1



## NOTES:

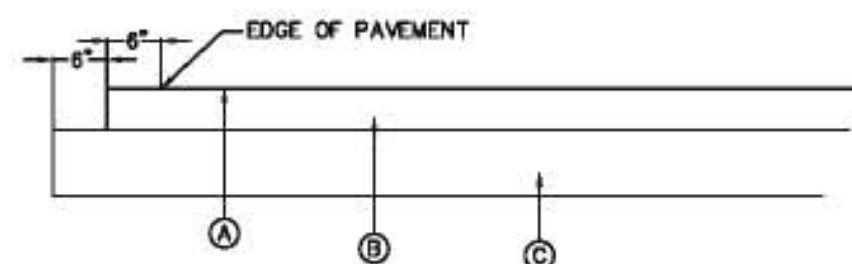
- BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
- ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.

STANDARD BEDDING D 3.1



PERFORATED PIPE TRENCH  
N.T.S.

PERFORATED PIPE TRENCH  
N.T.S.



- TYPICAL ON-SITE PAVING SECTION**
- NTS
- 1-1/2" TYPE S-III A.C.S.C. (TWO LIFTS) OR 1-1/2" TYPE S-I (ONE-LIFT)
  - 8" LIMEROCK BASE COMPACTED TO 98% MAX DENSITY PER AASHTO T-180. PRIME & TACK COAT PER FDOT SECTION 300.
  - 12" COMPACTED SUBGRADE COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.



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**DRAWN:**  
M.T.J.

**CHECKED:**  
J.A.P.

**DATE:**  
12/03/15

**JOB NO.**  
15042-DTL

**SHEET NO.**  
3 OF 7

NO.	DATE	REVISIONS	BY:
1	12/3/15	REVISED PER COMMENTS FROM CITY 6/25/15	MTJ

NOT VALID WITHOUT  
ENGINEER'S SEAL

JOSEPH A. PIKE, P.E.  
FL REG # 42886



PAVING, GRADING AND DRAINAGE NOTES	
1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.	11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "T" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.	12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.	13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-10-001, WHERE APPLICABLE.
4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.	14. SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
5. MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.	15. INLETS AND MANHOLES - ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.	16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
7. CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.	17. GRADES SHOWN ARE FINISHED GRADES.
8. GUMBO - WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.	18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. TBD' N.G.V.D.
9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.	19. REINFORCED CONCRETE PIPE - THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
10. TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.	20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
	21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
	22. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
	23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
	24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

CITY OF DELRAY BEACH GENERAL NOTES	
1. ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.	
2. CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.	
3. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.	
4. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.	
5. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2	
6. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.	
7. CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312.	
8. THE EXISTING SANITARY SEWER LINE MUST BE TELEVISED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.	
9. UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.	
10. ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.	
11. ALL CITY OF DELRAY BEACH 2015 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.	

GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COAST TO THE OWNER.	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
5. ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBD (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.1
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)



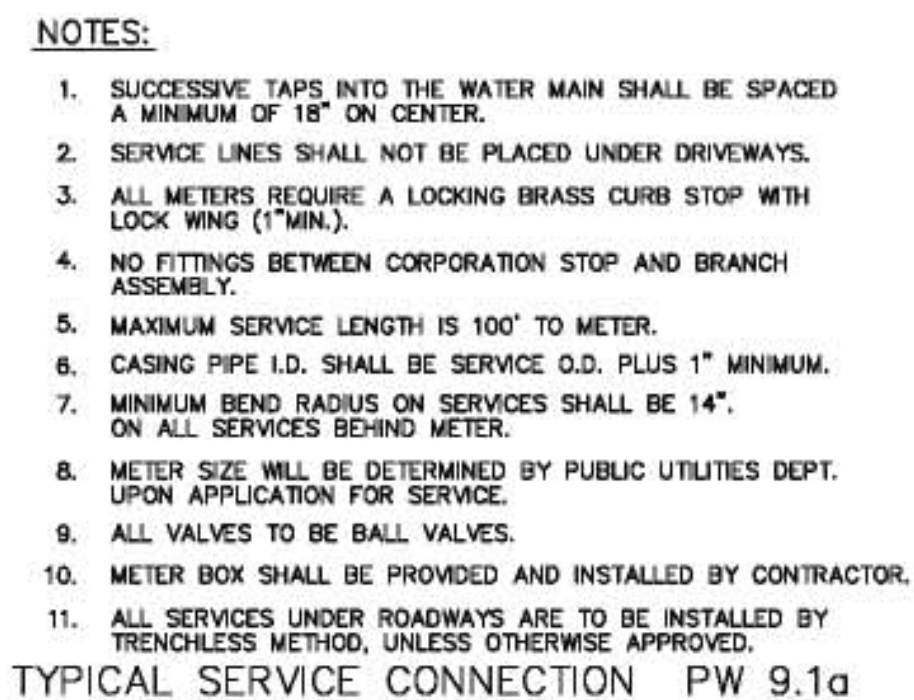
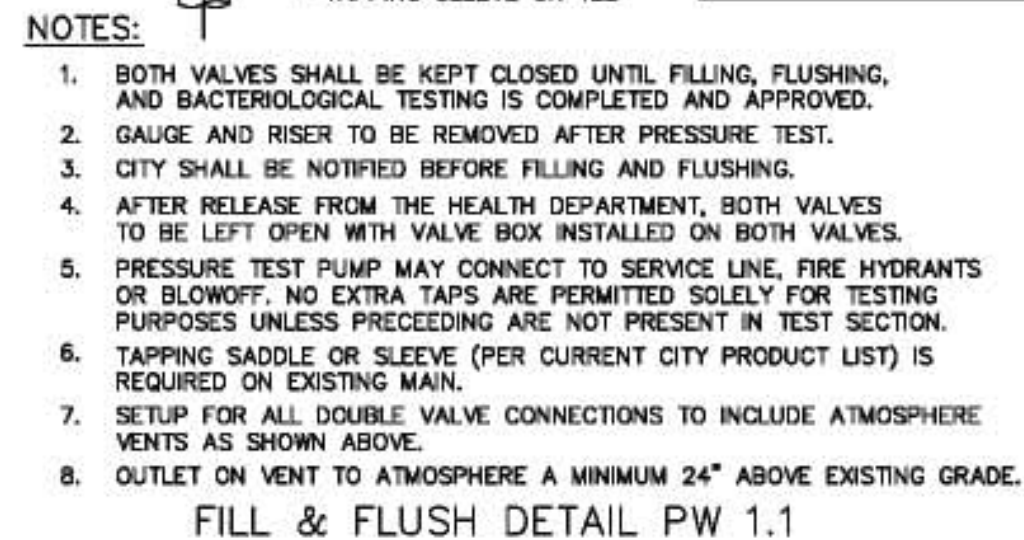
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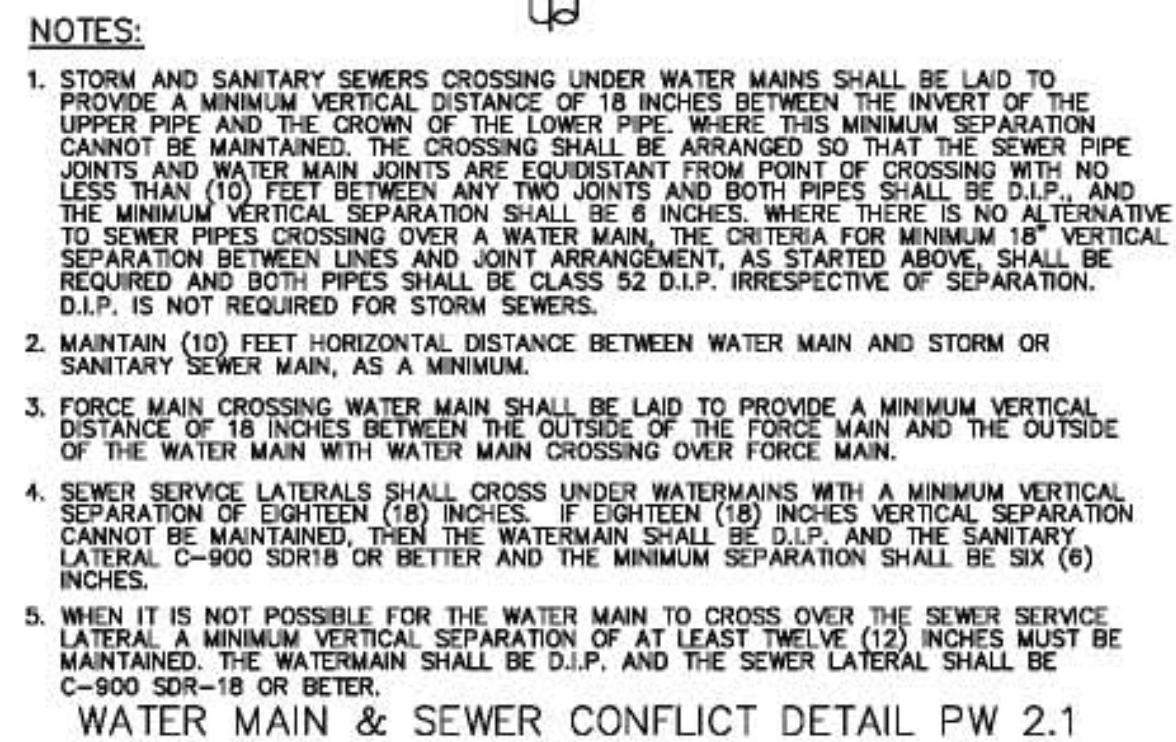
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MEDICAL OFFICE			
230 PALM CT			
DELRAY BEACH, FLORIDA			
NO. 1		DATE	
REVISIONS			
NOT VALID WITHOUT ENGINEER'S SEAL			
JOSEPH A. PIKE, P.E. FL REG # 42886			
EnviroDesign Associates Inc. www.envirodesign.com			
ENGINEERS • ENVIRONMENTAL CONSULTANTS			
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-8500 Fax: (561) 274-8558			
DRAWN: M.T.J.			
CHECKED: J.A.P.			
DATE: 12/03/15			
JOB NO. 15042-DTL			
SHEET NO. 4 OF 7			

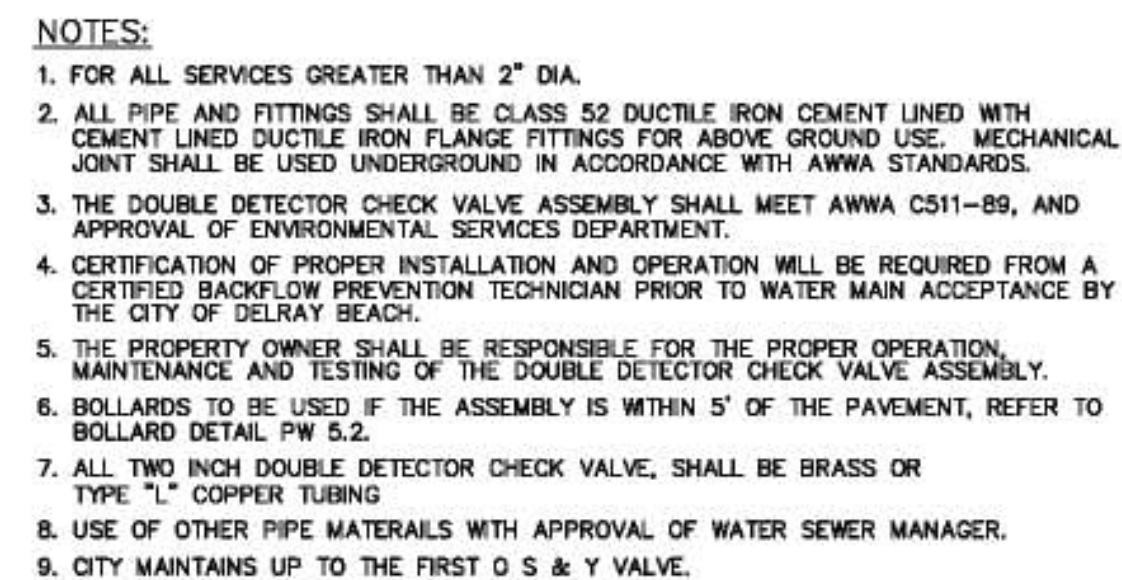




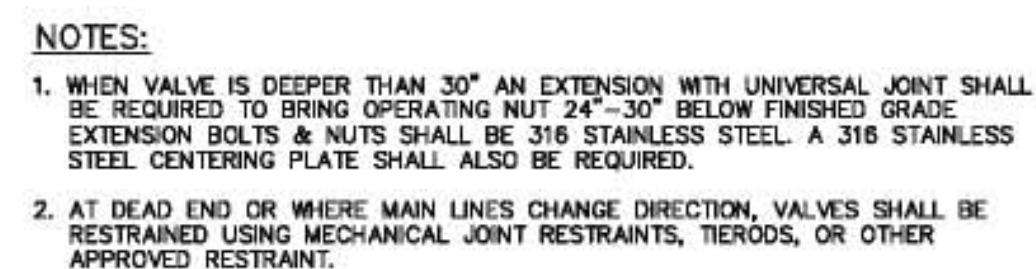
TYPICAL SERVICE CONNECTION PW 9.1a



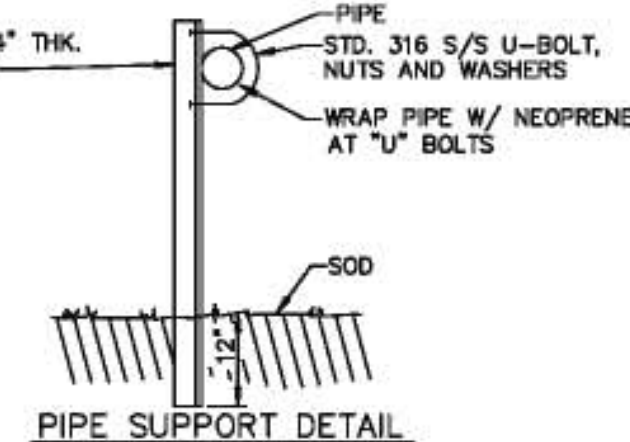
WATER MAIN & SEWER CONFLICT DETAIL PW 2.1



DOUBLE DETECTOR CHECK VALVE PW 10.1

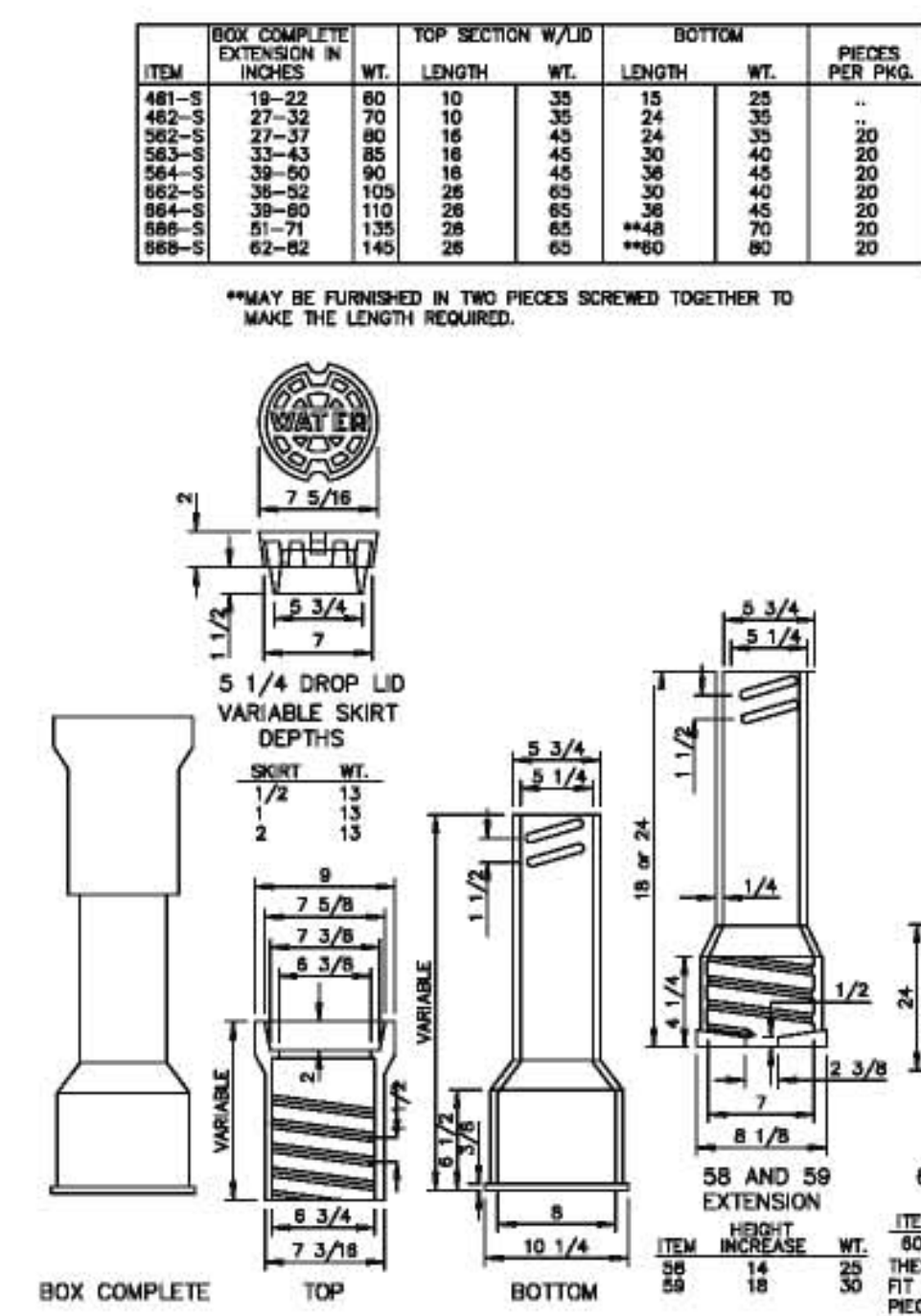


TYPICAL GATE VALVE DETAIL  
4" THRU 12" PW 3.1

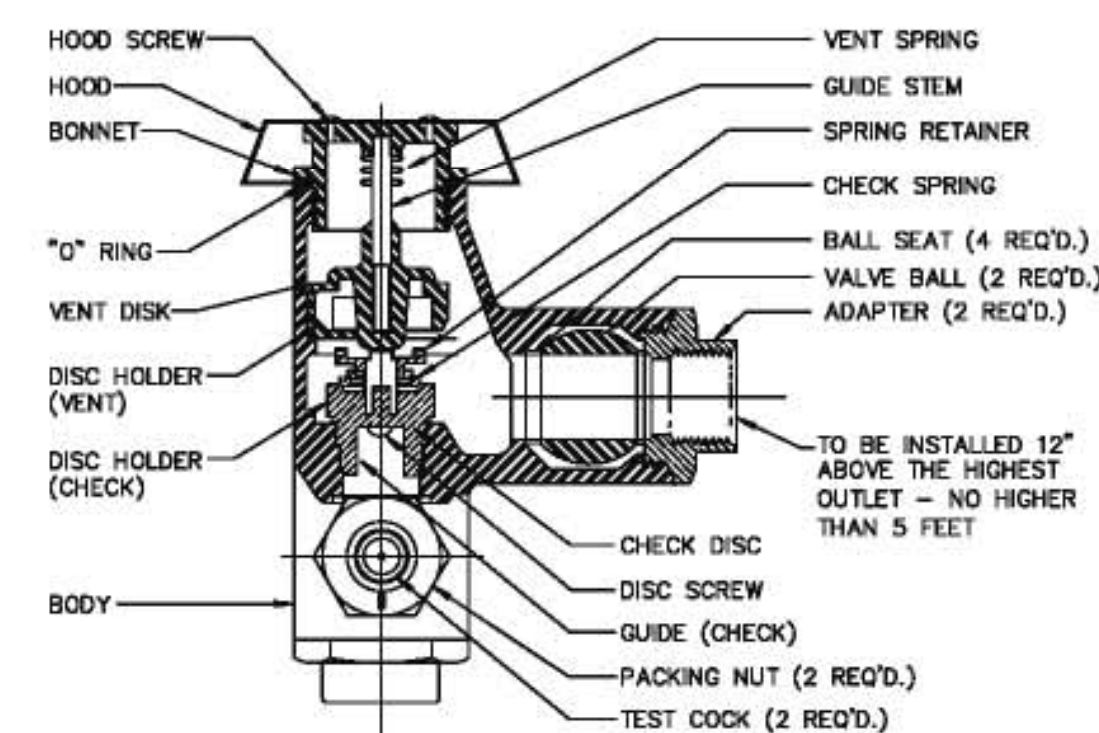


### PIPE SUPPORT DETAIL

REDUCED PRESSURE ZONE BACKFLOW PREVENTER PW 10.2



CAST IRON VALVE BOXES, TWO-PIECE PW 3.2



TYPICAL IRRIGATION SYSTEM  
ANTI-SIPHON PRESSURE TYPE  
VACUUM BREAKER

ANTI-SIPHON PRESSURE TYPE VACUUM BREAKER  
PW 10.3

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**WATER & WASTEWATER DETAILS FOR:**  
**MEDICAL OFFICE**  
**230 PALM CT**  
**DELRAY BEACH, FLORIDA**

 **EnviroDesign Associates Inc.**  
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**ENGINEERS • ENVIRONMENTAL CONSULTANTS**

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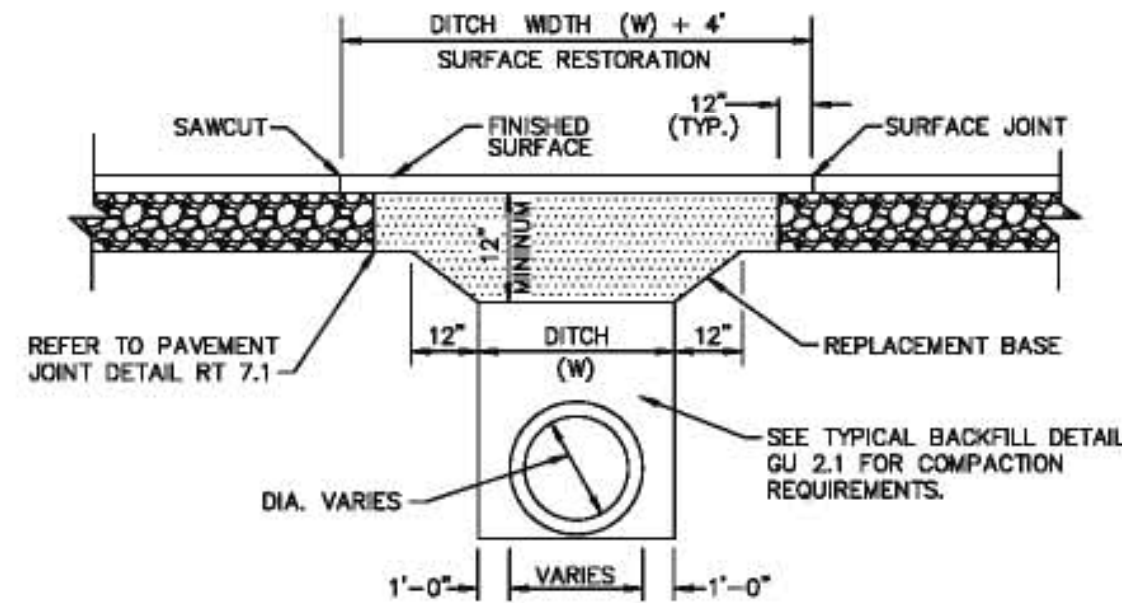
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# GRAVITY SEWER NOTES

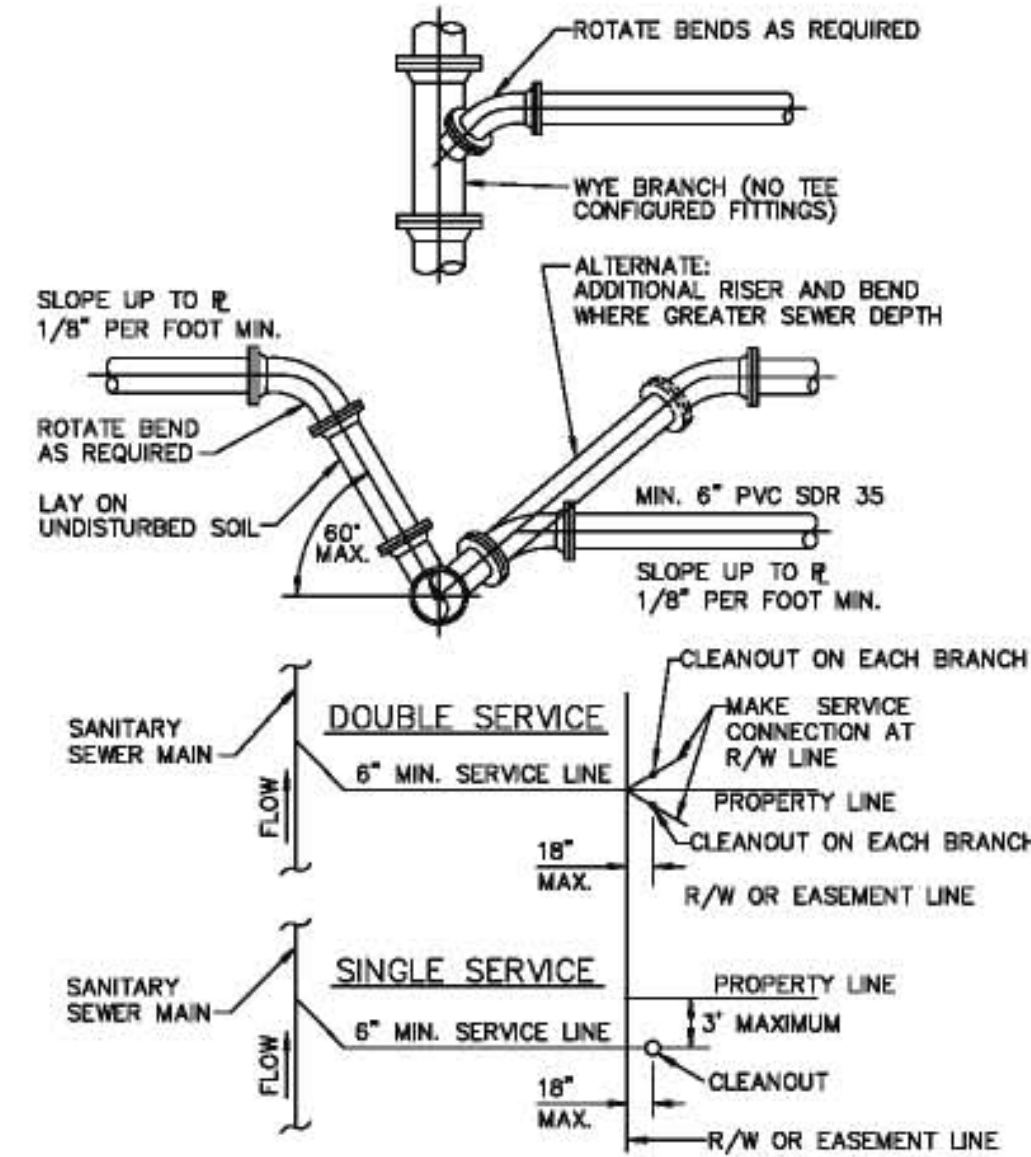
1. MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
2. ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
4. (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
5. (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, EPOXY LINED OR AS OTHERWISE APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.
6. NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
7. MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
8. TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
9. PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHN'S MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
10. BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
11. ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
12. WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
13. UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
14. EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
15. COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
16. AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
17. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FOET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
18. ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEMPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
19. ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEMPER COAT OR APPROVED EQUAL.

## GRAVITY SEWER NOTES WW 1.1



1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
- 2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
- 2b. 12" EXCAVATABLE FLOWABLE FILL, MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWS.
4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
5. SURFACE MATERIAL SHALL BE F.O.O.T. TYPE S-1 OR S-II ASPHALTIC CONC. (MIN. THICKNESS 1 1/2").
6. ANY PAVT. CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

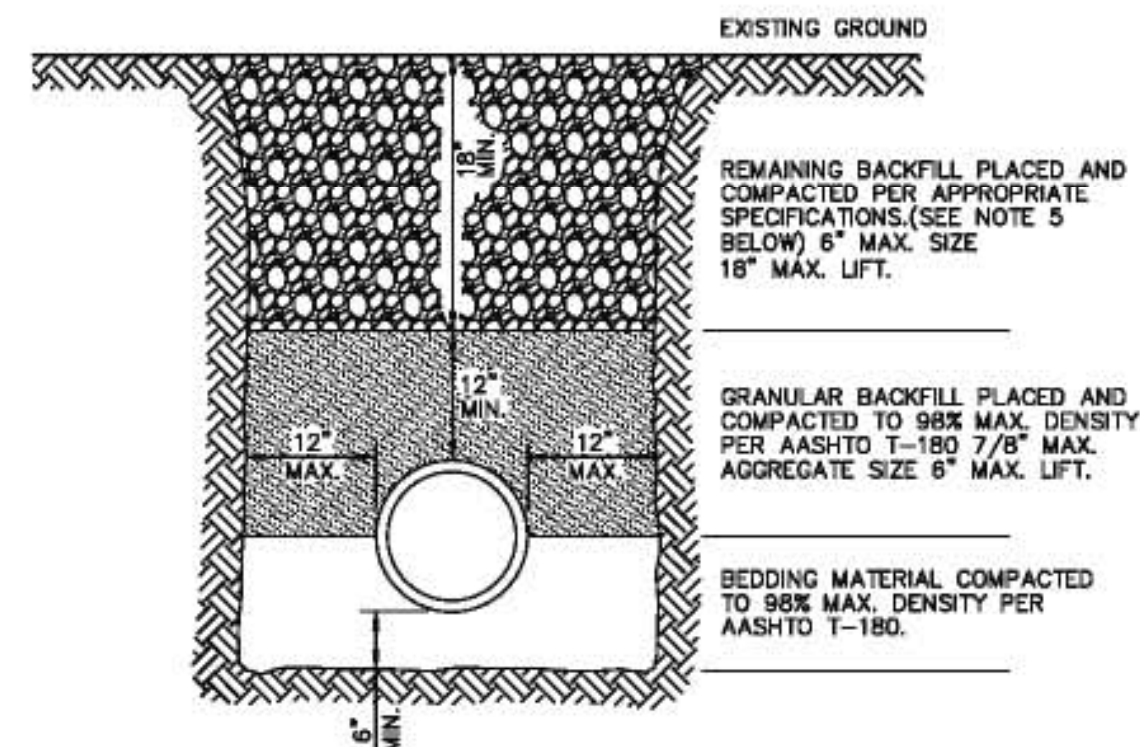
## PAVEMENT REPAIR DETAIL GU 1.1



### NOTE:

1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
3. SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.

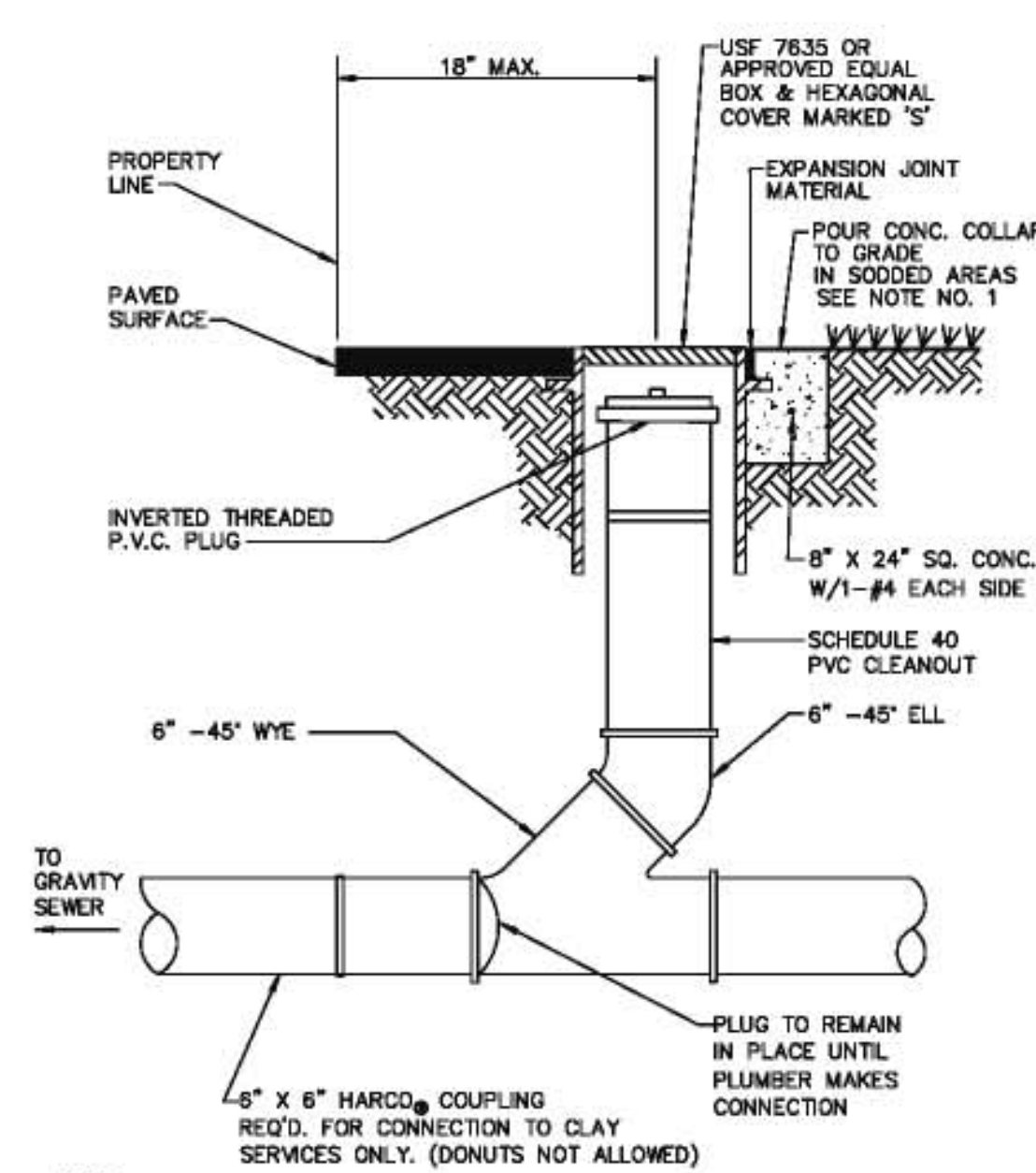
## SEWER SERVICE CONNECTIONS WW 4.1



### NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED, BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180).
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

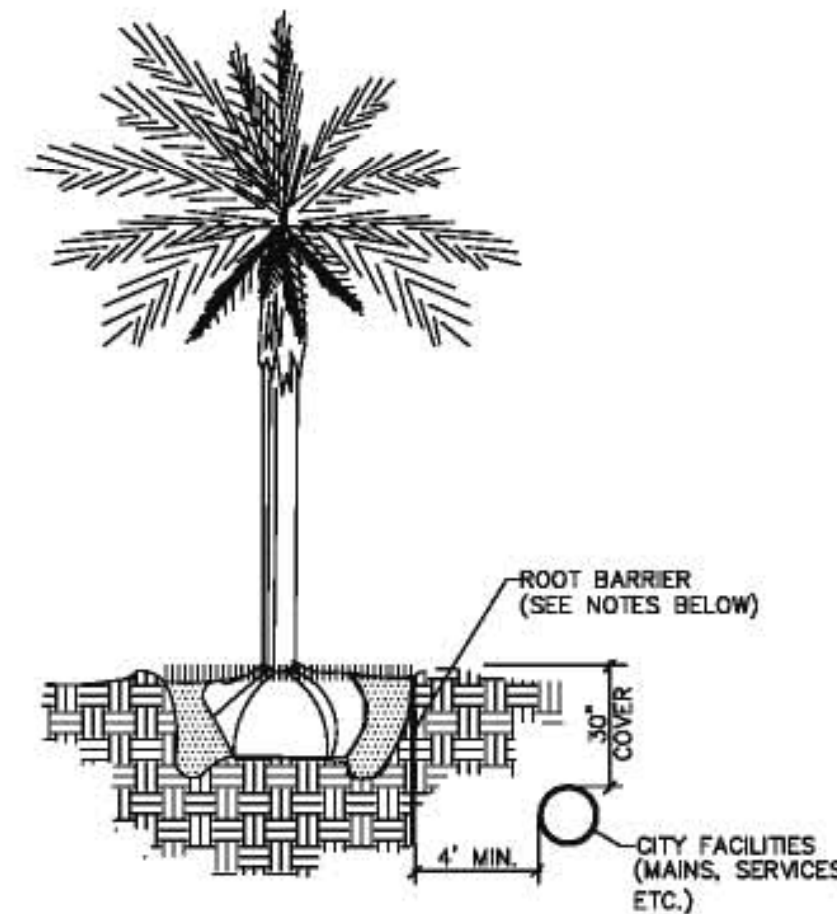
## TYPICAL BACKFILL DETAIL GU 2.1



### NOTE:

1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

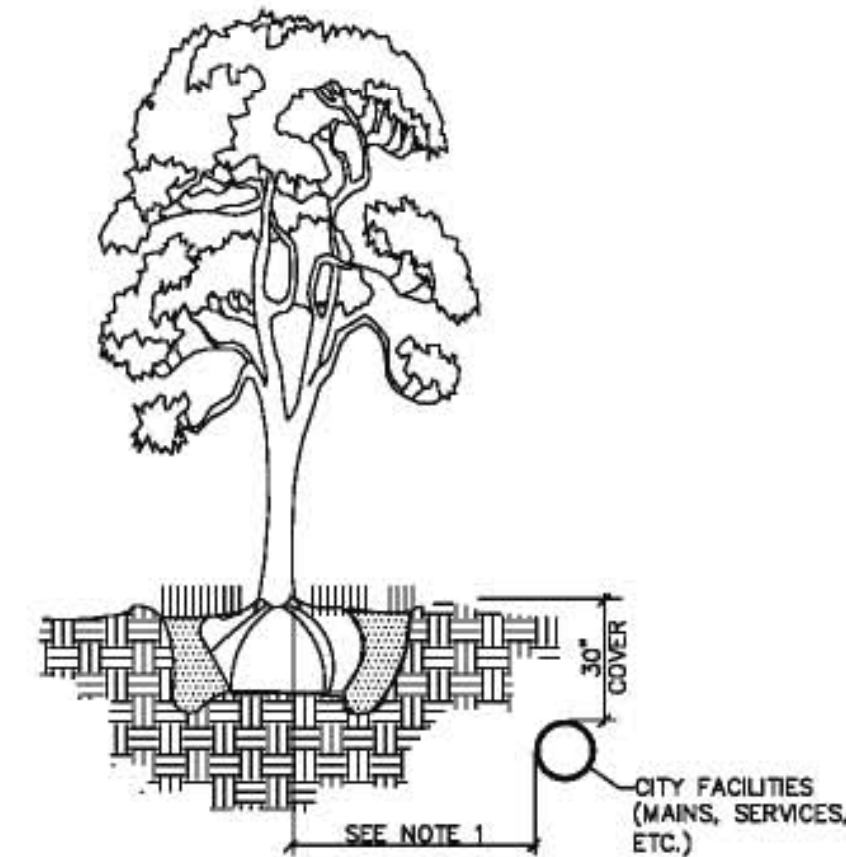
## TYPICAL COMMERCIAL CLEANOUT WW 5.2



### NOTES:

1. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

## TYPICAL TREE WITH ROOT BARRIER LD 1.1



### NOTES:

1. THIS DISTANCE SHALL BE 10" MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

## TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2



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WATER & WASTEWATER DETAILS FOR:

MEDICAL OFFICE

230 PALM CT

DELRAY BEACH, FLORIDA

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DRAWN:  
M.T.J.

CHECKED:  
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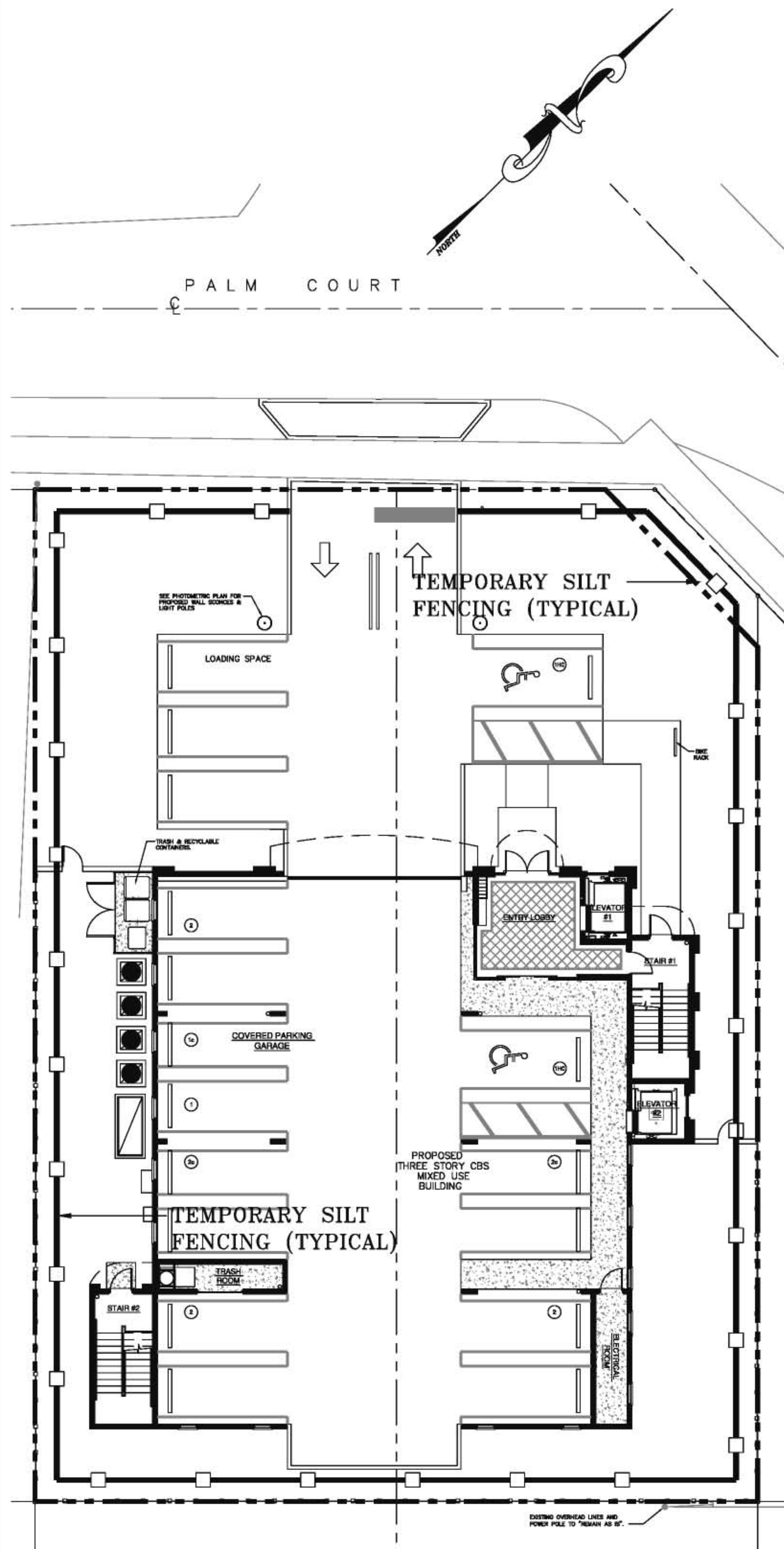
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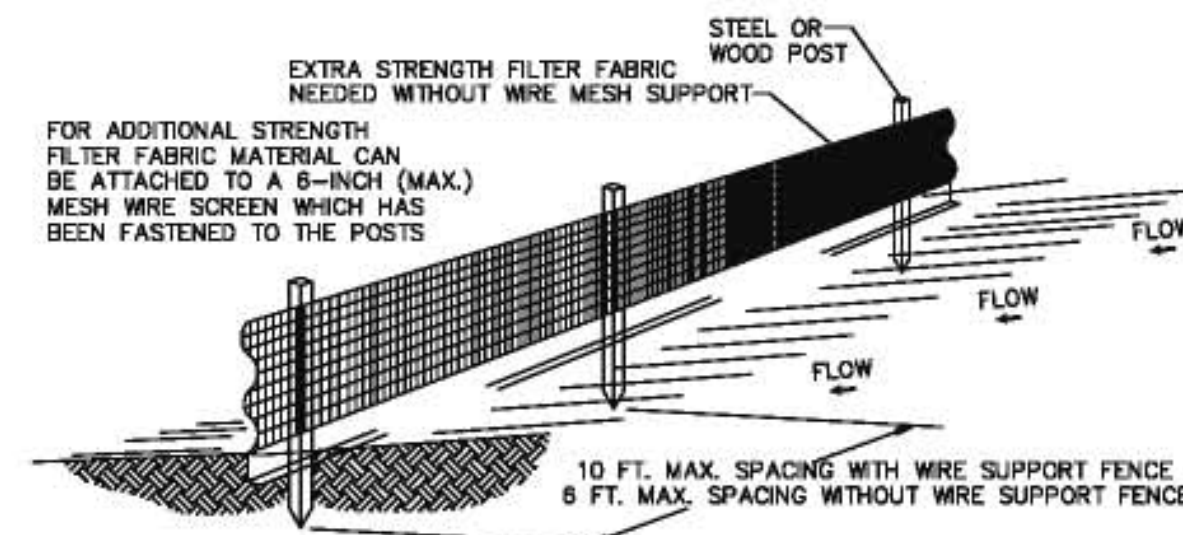
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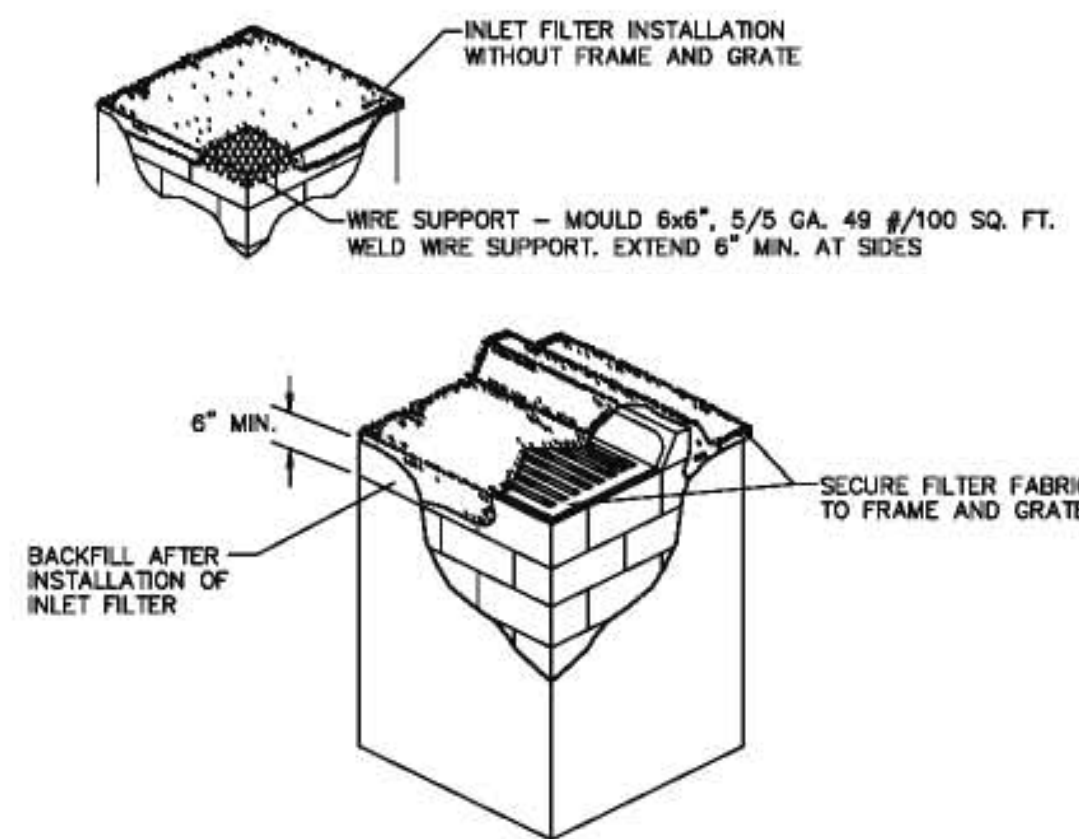
EROSION CONTROL NOTES DETAIL D9.1

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.



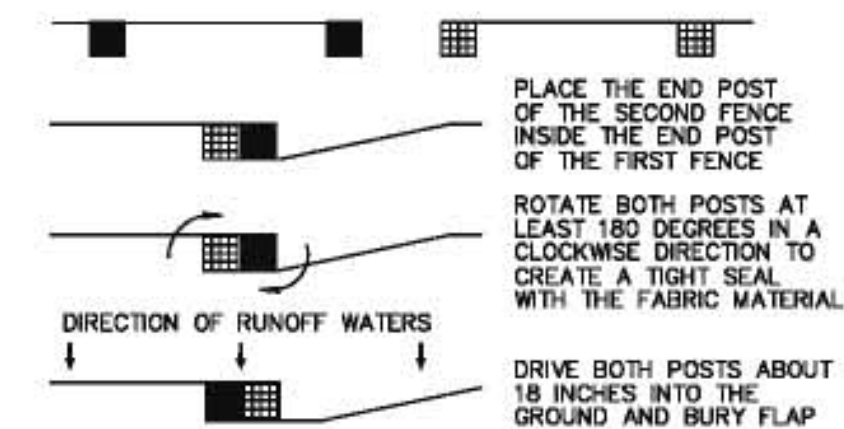
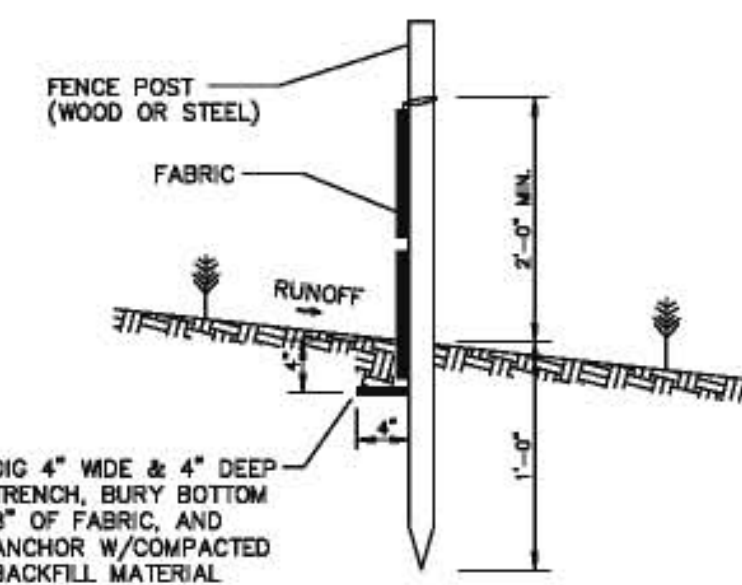
- NOTES:**
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a  
Sheet 1 of 2



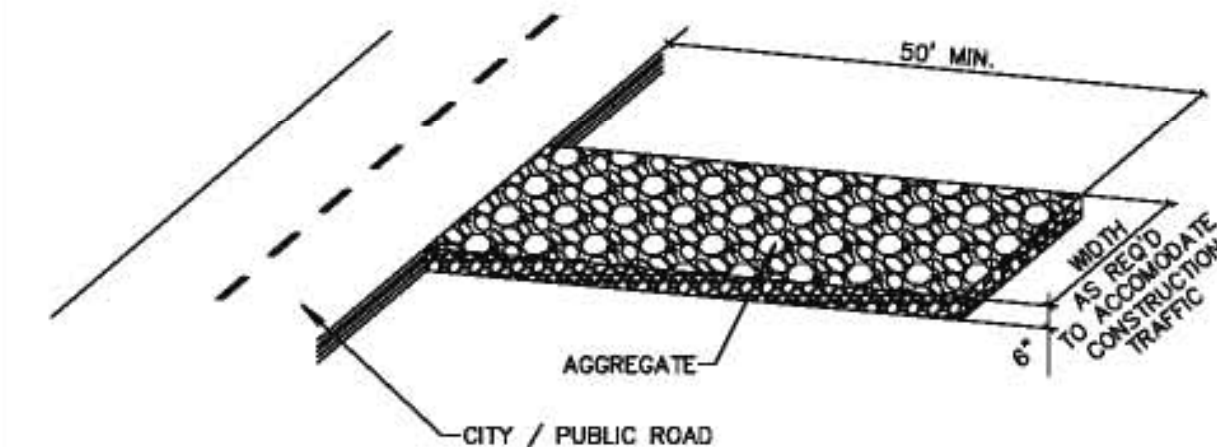
- NOTES:**
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D 8.1



ATTACHING TWO SILT FENCES  
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b  
Sheet 2 of 2



- NOTE:**
- A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



CALL 48 HOURS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'  
0 5 10 15 20

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POLLUTION PREVENTION PLAN FOR:  
**MEDICAL OFFICE**  
230 PALM CT  
DELRAY BEACH, FLORIDA

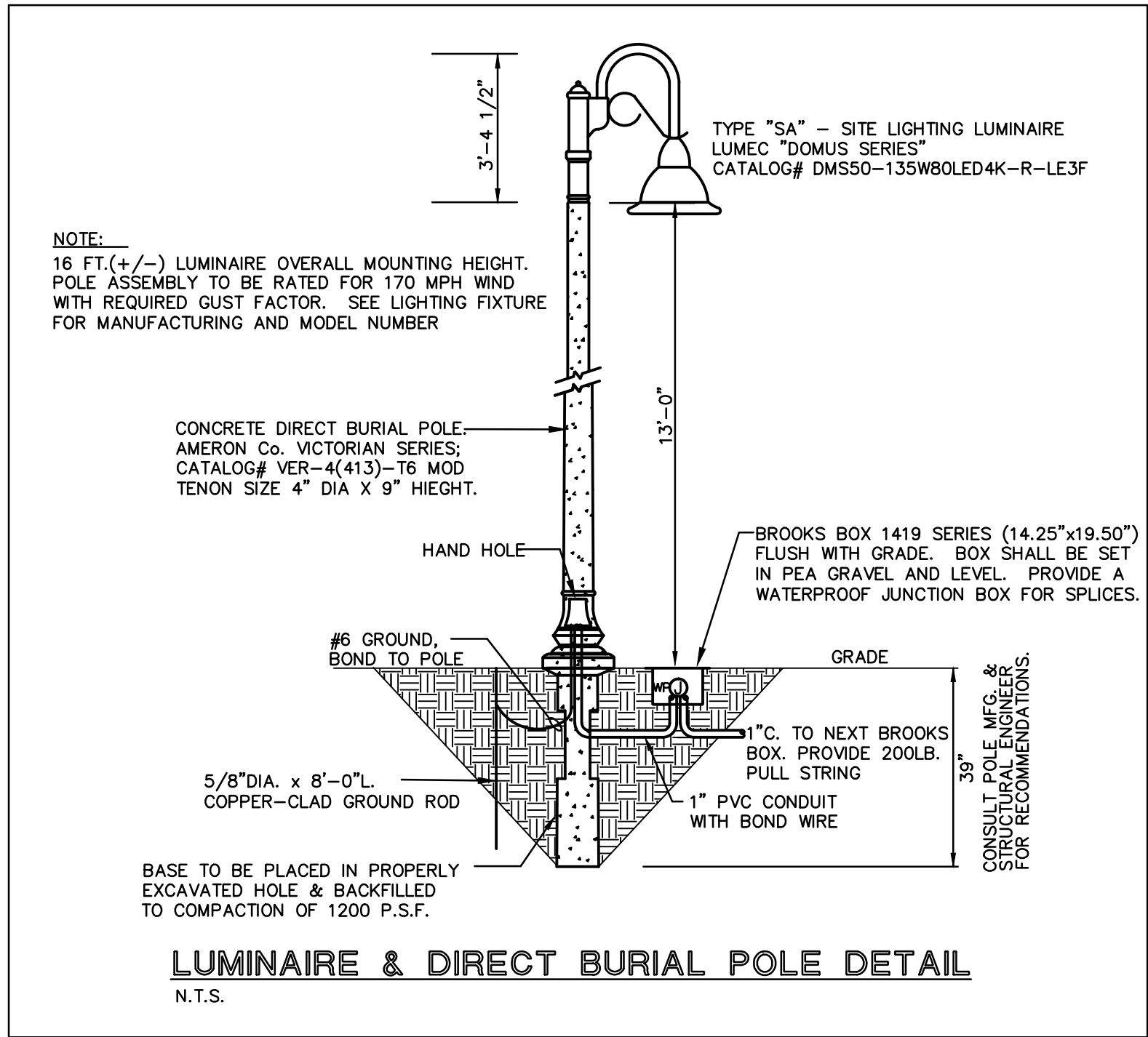
**EnviroDesign Associates Inc.**  
www.envirodesign.com  
**ENGINEERS • ENVIRONMENTAL CONSULTANTS**  
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6508  
298 Pineapple Grove Way Delray Beach, Florida 33444  
Phone: (561) 274-8558 Fax: (561) 274-8558

**DRAWN:**  
M.T.J.  
**CHECKED:**  
J.A.P.  
**DATE:**  
12/08/15  
**JOB NO.**  
15042-PPP  
**SHEET NO.**  
7 OF 7



Z:\TYEC Projects 2015\15045\_(HACKER MEDICAL OFFICE BUILDING)\ELEC DESIGN\PHOTOMETRIC\15045\_PSP-1.dwg, 1/18/2016 14:26 PM, MATT

LUMINAIRE SCHEDULE								
Label	Manufacturer	Filename	LLF	LDD	LLD	Watts	IES Class	
SA	EATON	McGRAW-EDISON	TT-B6-LED-E1-CQ-8030.ies	0.90	0.95	0.95	108	Type V
SB	PHILIPS	LUMEC	DMS50-135W80LED4K-R-LE3F-HS.ies	0.80	0.95	0.76	130	Type III



**DESCRIPTION**

The TopTier™ parking garage, canopy and low-bay luminaire is an innovative solution that delivers an unparalleled combination of performance and visual comfort. The patented WaveStream™ optical technology blocks the line of sight from the LED light sources to the observer, while extracting the maximum amount of light on task. This approach results in a high level of uniformity and vertical footcandles that enhances safety in the application environment. The TopTier luminaire is UL/cUL listed for wet locations, IP66 and 3G vibration rated.

**SPECIFICATION FEATURES**

**Construction**  
One-piece, low copper die-cast aluminum housing provides a clean and symmetric housing. Formed aluminum top is sloped to prevent bird nesting. Metal electrical tray allows for easy electrical access for field servicing.

**Optics**  
Unique optical distributions are accomplished using various combinations of reflective backing plates and WaveStream optical technology. The optical Waveguide is manufactured using precision injection molded acrylic. The optics contain features that form a repeatable and redundant pattern to direct light in a precisely prescribed distribution. For the ultimate level of glare control and visual comfort, specify the SG option which adds a Solite® glass lens that works in combination with the Waveguide lens and reflective backing plate. Offered standard in 4000K (+/- 275K) CCT, optional 3000K and 6000K. Minimum 70 CRI.

**Electrical**  
LED driver(s) are mounted to metal electrical tray for optimal thermal performance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 0-10V dimming driver(s), specify SLTD for Fifth Light DALI driver(s). Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. Greater than 90% lumen maintenance expected at 60,000 hours, based off LM-80 test data and TM-21. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F). For 50°C (122°F) applications, specify the HA high ambient option. IP66 rated against the ingress of dust and water.

**Mounting**  
Standard fixture mounts to a square or octagonal 4" surface or recessed J-box via heavy-gauge quick mount bracket. With the addition of a field supplied wet location J-box, the luminaire can be pendant mounted to a rigid or free swinging pendant. Optional mounting methods include trunnion mount and wall mount.

**Finish**  
Housing finished in white Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include black, bronze, grey, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.

**TT TOPTIER LED**

Solid State LED

PARKING GARAGE/  
CANOPY/  
LOW-BAY LUMINAIRE

**DIMENSIONS**

SURFACE OR PENDANT MOUNT

TRUNNION MOUNT

WALL MOUNT

**CERTIFICATION DATA**

UL/cUL Wet Location Listed  
3G Vibration Rated  
LM79 / LM80 Compliant  
IP66 Rated  
ISO 9001  
DesignLights Consortium® Qualified\*

**ENERGY DATA**

Electronic LED Driver  
+0.3 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz  
40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

**SHIPPING DATA**

Approximate Net Weight:  
16 lbs. (7.2 kgs.)

**Cooper Lighting**

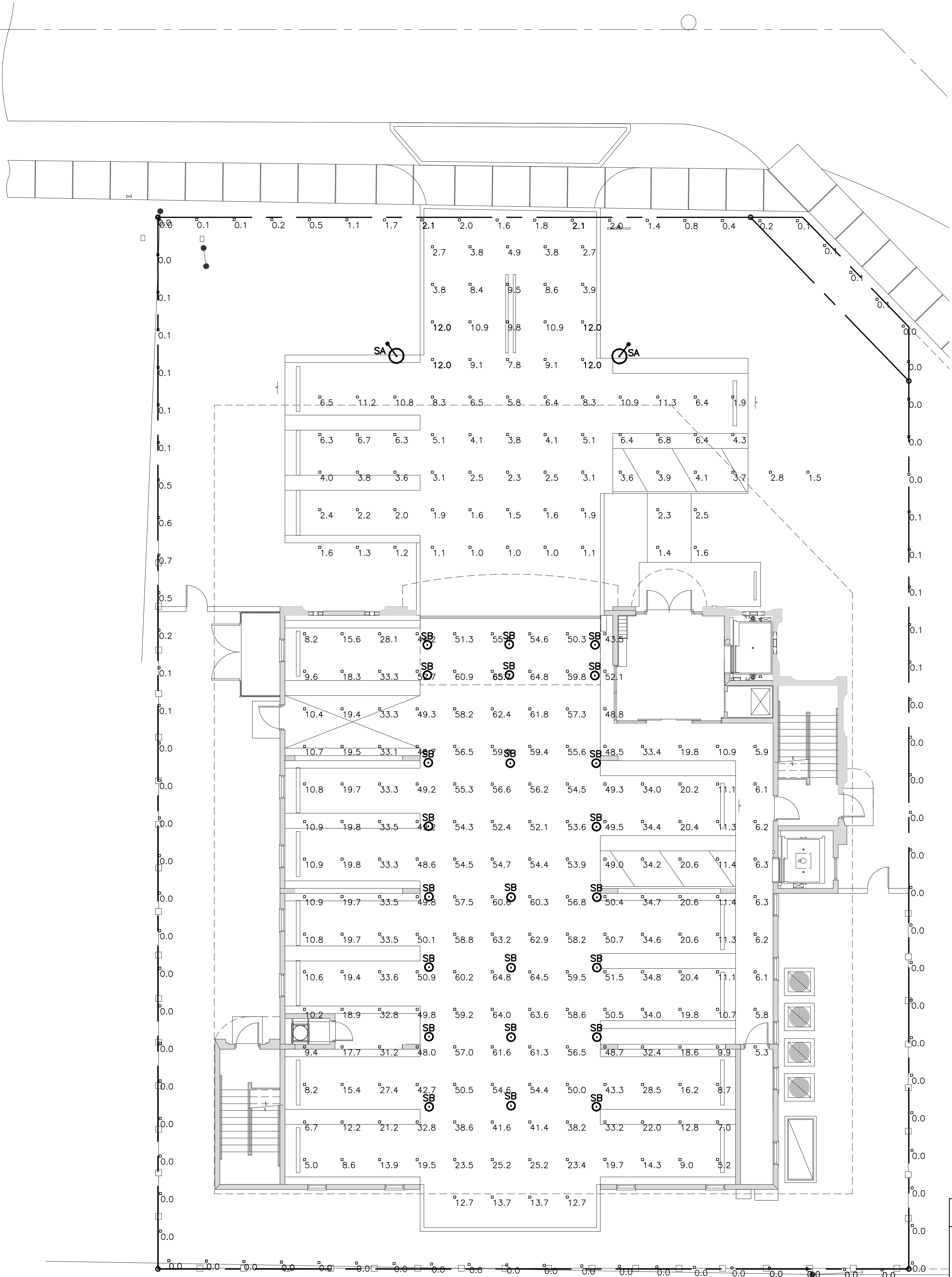
by **ET-IL**

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2015-03-25 13:52:19

**ADH131087**

2015-03-25 13:52:19



PROPERTY LINE  
CALCULATIONS

Average = 0.27  
Maximum = 2.1  
Minimum = 0.0  
Avg/Min Ratio = 0.0  
Max/Min Ratio = 0.0

FRONT PARKING  
CALCULATIONS

Average = 5.08  
Maximum = 12.0  
Minimum = 1.0  
Avg/Min Ratio = 5.08  
Max/Min Ratio = 12.0

GARAGE ENTRANCE (66'-0")  
CALCULATIONS

Average = 57.79  
Maximum = 65.7  
Minimum = 50.0  
Avg/Min Ratio = 1.16  
Max/Min Ratio = 1.31

GARAGE PARKING (NORTH SIDE)  
CALCULATIONS

Average = 25.95  
Maximum = 51.5  
Minimum = 5.2  
Avg/Min Ratio = 4.99  
Max/Min Ratio = 9.90

GARAGE PARKING (SOUTH SIDE)  
CALCULATIONS

Average = 25.79  
Maximum = 52.7  
Minimum = 5.0  
Avg/Min Ratio = 5.16  
Max/Min Ratio = 10.54

NOTE

THESE DRAWINGS ARE PREPARED PER  
ESTABLISHED INDUSTRY STANDARDS AND  
REPRESENT THE ENGINEERS DESIGN  
CONCEPT. THEY ARE NOT INTENDED TO  
PROVIDE EVERY DETAIL OR CONDITION  
REQUIRED TO CONSTRUCT THE BUILDING.  
THE CONTRACTOR THROUGH SUBMITTALS  
AND OTHER COORDINATION EFFORTS IS  
FULLY RESPONSIBLE FOR PROVIDING A  
COMPLETE AND OPERATIONAL BUILDING  
WHETHER INDICATED ON THE PLANS OR NOT.

ge  
architecture inc.

Architect, Planner and  
Designer  
AA-26002044

205 George Bush Blvd.  
Delray Beach, Florida 33444  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

**TYEC** HVAC  
PLUMBING  
ELECTRICAL

THOMPSON & YOUNGROSS  
ENGINEERING CONSULTANTS, LLC  
C.A.A. NO. 25596

ANDREW J. YOUNGROSS  
LICENCE  
NO. 51758  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

902 CLINT MOORE ROAD, SUITE #142  
BOCA RATON, FL 33487  
V: 561-274-2000  
E: tec@tecflo.com  
www.tecflo.com

PROJECT TITLE

**PROPOSED  
MIXED-USE  
BUILDING**

**226 PALM COURT  
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS

REVISD 10/22/15 AS PER P42  
COMMENTS:

1. PROVIDED ADDITIONAL  
9'-0" ROW.

2. CREATE LOADING SPACE.

3. ADDED OVERHEAD GARAGE  
DOOR & UPDATED PARKING CALC'S.

REVISD 01/16/16 AS PER P42  
COMMENTS:

1. PROVIDED 9'-0" LANDSCAPE  
ISLAND.

2. PROVIDED (1) ADDITIONAL EXIT.

3. ELIMINATED (1) PARKING SPACE.

FILE NUMBER

DRAWING TITLE

**PHOTOMETRIC  
SITE PLAN**

DATE  
May 22, 2015

DRAWN BY  
TYEC

JOB NUMBER  
20150302 / 15045

DRAWING NUMBER

**PSP-1**



