

Planning & Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 226 Palm Court, Hacker Medical Office

Project Location: 226 Palm Court, Del-Ida Park Historic District

Request: Certificate of Appropriateness and Class V Site Plan, Landscape Plan,

Architectural Elevations, and a waiver request.

Board: Historic Preservation Board

Meeting Date: March 2, 2016

Board Action:

Denied the Certificate of Appropriateness, Class V Site Plan, Landscape Plan, Architectural Elevations, and waiver request (5 - 1; Andrea Sherman dissented, Rhonda Sexton absent) by finding that the request and approval thereof is not consistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).

Project Description:

The project is located at 226 Palm Court within the Del-Ida Park Historic District and consists of the new construction of a three-story, 15,055 square foot building (under-roof) containing covered parking and an entry lobby on the first floor, a medical office on the second floor, and a single residential unit on the third floor. The property is located within the Residential-Office (RO) zoning district. A waiver request to LDR Section 4.4.17(H)(3) was included with the request to permit the four parking spaces in the area between the street and the structure.

Staff raised concerns regarding the height, scale, and mass; however, the proposal met the requirements to determine visual compatibility for height and scale.

Staff recommended approval on the Site Plan subject to conditions regarding a right-of-way dedication and plat recordation, Landscape Plan, Architectural Elevations, and Waiver request.

Board comments:

The Board commented on the garage door within the front elevation, the Art-deco inspired style was problematic for some and attractive for others, the proposed massing, the number of stories as there are no other three-story buildings within the district) and this one would create a precedent, the relation of the building with the adjacent structures, the Visual Compatibility Standards of Section 4.5.1(E)(8), doesn't honor the rhythm and flow of the neighborhood, and the overall size and scale of the building.

Public input:

A member of the public and resident of the Del-Ida Park Historic District spoke on the item noting its impact on the neighborhood and location among one-story structures.

Associated Actions: All required actions were taken with the Board's denial.

Next Action: HPB action is final. NOTE: An appeal was submitted by the property owner for consideration by the City Commission at an upcoming meeting.

HISTORIC PRESERVATION BOARD CITY OF DELRAY BEACH --- STAFF REPORT---

MEETING DATE: March 2, 2016

ITEM: Class V Site Plan (2015-169) for the new construction of a three-story building

consisting of medical office and residential uses on the property located at 226

Palm Court, Del-Ida Park Historic District.

RECOMMENDATION: Approve with conditions.

GENERAL DATA:

Location..... Southeast corner of George

Bush Boulevard and Palm

Court.

Property Size...... 0.32 Acres

Future Land Use Map..... TRN (Transitional)

Current Zoning...... RO (Residential / Office)

Adjacent Zoning.....North: RO (Residential / Office)

East: RO (Residential / Office)
South: RO (Residential / Office)

Committee (Hookaaniman, Chilos)

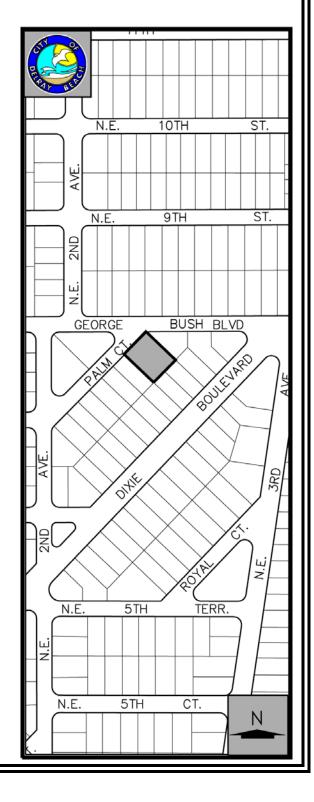
West: RO (Residential / Office)

Existing Land Use...... Duplex

Proposed Land Use..... Medical Office & Residential

Water Service..... Existing on site.

Sewer Service.... Existing on site.



ITEM BEFORE THE BOARD

The action before the Board is approval of a Certificate of Appropriateness, Class V Site Plan, Landscape Plan, and Architectural Elevations for the property located at **226 Palm Court, Del-Ida Park Historic District,** pursuant to LDR Section 2.4.5(F).

BACKGROUND

The subject property consists of Lots 2 & 3, Block 11, Del-Ida Park and is located on the southeast corner of Palm Court and George Bush Boulevard. A Masonry Vernacular duplex constructed in 1958 is located on the property and is considered non-contributing as part of the Del-Ida Park Historic District. A second duplex which previously existed on the subject property was demolished per the HPB approval noted below.

At its meeting of July 16, 2003 the Historic Preservation Board (HPB) approved a COA, Class V site plan, and landscape plan, and design elements to convert the existing duplex to an office building and demolish a second duplex. However, the approved development expired prior to completion of the project, aside from the demolition.

A similar project to the aforenoted approved Class V Site Plan was approved by the HPB at its meeting of July 2, 2008. The approval also expired prior to the commencement of the project.

At its meeting of November 3, 2015, the Board reviewed a Concept Plan Review for the subject proposal and noted concerns primarily associated with the style and its appropriateness to the Del-Ida Park Historic District. The applicant subsequently submitted the subject proposal which has been revised since this non-binding review.

PROJECT DESCRIPTION

A new Class V Site Plan request has been submitted which includes the following:

- Demolition of the existing and vacant non-contributing, one-story duplex;
- Construction of a three-story, mixed-use building with a total of 15,055 square feet under roof.
 - First Floor consists of covered parking for 12 spaces, and a lobby space with elevator access to the second floor.
 - Second Floor consists of 5,052 total square feet of medical office, including two balconies.
 - Third Floor consists of a single-residential unit with three bedrooms consisting of 4,493 total square feet, including a porch and open terrace.
- Installation of four parking spaces at the front of the building including a loading/delivery space, and one handicap space.
- Landscaping improvements throughout the property.

A waiver to LDR Section 4.4.17(H)(3) has been submitted to permit the four parking spaces in the area between the street and the structure.

The Class V Site Plan, Landscape Plan, Architectural Elevations, and waiver request are now before the Board for consideration.

SITE PLAN ANALYSIS

Pursuant to LDR Section 2.4.5(F)(5), Findings, in addition to provisions of Chapter Three, the approving body must make a finding that the development of the property pursuant to the site plan will

be compatible and harmonious with the adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Pursuant to LDR Section 4.4.17(F), Development Standards, the development standards as set forth, for the RO District, in Section 4.3.4(K) apply, as illustrated in the chart below

	Standard	<u>Proposed</u>
Lot Coverage (Maximum)	40%	39.6%
Height (Maximum)	35'	35'
Setbacks		
Front (Northwest/North)	25'	52.4
Side Interior (Northeast/North)	7'6"	8'3" – 17'5"
Side Interior (Southwest/South)	10'	7'7"-16'3"'
Rear (Southeast/South)	10'	10'7"
Open Space (Minimum)	25%	40.2%

Pursuant to LDR Section 4.4.17(G), Supplemental District Regulations, supplemental district regulations as set forth in Article 4.6 are applicable.

Pursuant to LDR 4.4.17(G)(2), parking required for business, medical, and professional offices shall be at the standard of one space per three hundred square feet of net floor area (1/300). However, this requirement may be reduced to 1/400, or at least by one parking space, when there is a mix of residential and office use in the same structure or for an existing structure on a property located within a designated historic district or an individually designated historic site.

The proposed net floor area for the medical use consists of approximately 4,694 square feet. With the residential unit added to the development, the applicable parking calculation is 1 space / 400 square feet. Additionally, the residential unit requires two parking spaces, plus .5 guest spaces. Therefore, the total required amount of parking spaces is 14 (11.735 + 2.5 = 14.24). The proposed parking includes 15 spaces consisting of one space for loading, two handicap spaces, five compact, and seven standard spaces.

Pursuant to LDR Section 4.4.17 (H), Special Regulations, the following apply:

- (1) All buildings and structures shall appear to be residential in character regardless of the actual use therein, shall be kept in a sound and attractive condition, and in established neighborhoods shall be generally compatible in architectural style and scale with the surrounding area.
- (2) A building or structure in the RO District may contain either a residential use, an office use, or a mix of uses.
- (3) All parking for nonresidential principal uses and conditional uses shall be located in the side or rear yard or adjacent to a rear alley. No parking shall be located in the area between any street and the structure (building). Where there are existing buildings, administrative relief [Section 2.4.7(D)] may be sought from this subsection (3) provided it is determined that compliance with these provisions is not feasible and that the residential character of the area will be maintained and that such parking area shall be substantially screened from off-premises view by, at least, a four-foot high hedge.

The proposed building has a generally residential character, moreso found with multi-family residential structures which are not permitted in the RO zoning district, as opposed to single-family, which are permitted in the RO zoning district. The multi-family character primarily stems from the multi-story height and central vehicular access to the covered parking. Nonetheless, the requirement is that the character be of a residential nature, which has been provided. Architecturally, the proposal is compatible; the style is historically found in the district even though it is not a predominant style. The scale, however, is generally larger than the overall historic scale of the Del-Ida Park Historic District

which is made up of one and two-story structures of a smaller scale. The newer structures in the district are inherently of a larger scale and predominantly two-story. Additional analysis regarding the scale is provided under the Architectural Elevations review of this report.

As provided above, the RO district permits a mix of office and residential uses, which has been proposed. The parking for these uses, however, has been provided both below the structure, and between the structure and Palm Court. Administrative relief to this requirement is not permitted as it is new construction, therefore, a waiver has been requested to permit the location of five spaces at the front of the property.

Article 4.6, Supplemental District Regulations

Pursuant to **LDR Section 4.6.8, Lighting**, all developments/redevelopments are encouraged to utilize energy efficiency lighting.

Pursuant to LDR Section 4.6.8(A)(1), General Requirements, Luminaries Height, the maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot.

The proposed lighting consists of two freestanding fixtures with a concrete pole at the front of the property in front of the proposed parking spaces; the parking area will be lit with ceiling mounted fixtures. The freestanding fixtures measure 16'4" in height with the bottom of the luminaire measuring 13' from grade.

Pursuant to LDR Section 4.6.8(A)(2), Cutoff Luminaire Required, all perimeter exterior lighting shall be full cutoff luminaries to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaries shall be directed upwards.

Pursuant to LDR Section 4.6.8(A)(3), Illumination Standards, the applicable illumination standards are as follows:

	Foot Candles				
	Max Permitted Min. Permitted Prov				
Commercial Parking Lot	12	1.0	12 – 1.0		
Building Entrance	10	1.0	2.5 - 1.4		
Parking Garage/Structure					
Day	500	50	52.7 - 5.0		
Night	10	1.0	9.6 - 1.0		

The proposed lighting levels are appropriate at the front of the property as they are within the permitted range with the average lighting level in the middle. The garage parking levels indicated are those for the daylight hours as brighter light is needed and the natural light into this area will be limited. The lighting levels at night will be much lower as they will be automatically dimmed by a sensor to adjust with the darker surroundings. The garage lighting will still provide sufficient lighting for security purposes in the evening, and the spillover is eliminated which will not impact adjacent properties.

Pursuant to Section 4.6.9(C)(1)(c)(3), Number of Parking Spaces Required, General Provisions, Bicycle Parking, bicycle parking facilities shall be provided in a designated area and by a fixed or stationary bike rack for any non-residential use within the City's TCEA which, through the development review process, is determined to generate a demand.

The subject location is not located within the TCEA; however, a bike rack has been provided at the front of the building, adjacent to the entry lobby entrance. It is noted that there are bike lanes planned to be constructed along NE 2nd Avenue/Seacrest Boulevard and George Bush Boulevard in the coming years. Therefore, the provision of the bike rack is appropriate and provides an alternative

Pursuant to LDR Section 4.6.9(D)(3)(b), the point of access to a street or alley shall not be less than 24' for a normal two-way private street or parking lot driveway aisle. Access to the property is provided by a 24' driveway from Palm Court, which is compliant with the subject requirement.

Pursuant to **LDR Section 5.3.1(D)(2)**, and the Transportation Element of the City's Comprehensive Plan, the required right-of-way width for George Bush Boulevard is 80', whereas 50' of right of way presently exists. The Development Services Management Group (DSMG) has reviewed the right of way for George Bush Boulevard determined that 60' of right of way is sufficient. Therefore, a 5' dedication (half the distance of the difference) is required. Installation of a 5' sidewalk is not required as it exists and spans the entire frontage of the property. The existing right of way for Palm Court is 50', and no additional right of way is needed as it is a Local Road. It is noted that the dedication for George Bush Boulevard will be required via the plat process, or may be provided via separate instrument prior to the plat being reviewed and approved. The required 5' dedication has been accommodated with the development proposal.

Pursuant to LDR Section 5.1.3(A), Plat Required, a plat is required for the dedication of any street for public use. Therefore, the applicant will be required to plat the property, and have it recorded prior to the issuance of the Certificate of Occupancy by the Chief Building Official.

Refuse Container Area

The proposed refuse container storage area is located within a reserved and gated area along the southwest side of the building. Roll-out bins for both the trash and recycles will be provided. A separate trash room within the covered parking area is proposed for the residential unit; trash will arrive by a chute from the third floor.

WAIVER REVIEW AND ANALYSIS

Pursuant to LDR Section 2.4.7(B)(5), Procedures for Obtaining Relief From Compliance With Portions of the Land Development Regulations, Waivers, prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and,
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

Pursuant to **LDR Section 4.4.17 (H)(3), Special Regulations**, all parking for nonresidential principal uses and conditional uses shall be located in the side or rear yard or adjacent to a rear alley. No parking shall be located in the area between any street and the structure (building).

In consideration of the criteria, the provision of parking between the building and the street is not permitted in the RO zoning district as a means of maintaining the residential character in the neighborhood by eliminating commercial parking areas adjacent to the street. However, many of the parking areas within this area of the historic district are located between the street and the building, and therefore, the granting of the waiver may not adversely affect the neighboring area as the property is surrounded by other RO zoned properties with parking between the street and the structure. In addition, the amount of parking forward of the structure is minimal, and less likely to be utilized, as patrons would likely prefer the covered parking area. The provision of public facilities will not be impacted, and an unsafe situation should not be created as a result of the parking at the front. Additionally, the loading space is located at the front which permits deliveries to occur on-site, as opposed to parking in the right of way, thereby eliminating the potential for an unsafe situation. With respect to the granting of the waiver request resulting in a special privilege, the development is going to occur on an empty lot once the duplex is demolished and therefore, compliance with the subject requirement should be provided as

there are no existing conditions prohibiting compliance. However, the proposed building is significantly setback from the front property line in order to meet the technical requirements of LDR Section 4.5.1, thereby not permitting the parking in front to be included within the covered area, while providing less building mass. Given the requirement to balance the LDRs while meeting the additional technical requirements for buildings in the historic districts, it can be considered that the waiver is not a special privilege, as it is preferred to meet the historic district standards and seek relief for a rule that is applicable city-wide if it does not result in a negative impact on the neighborhood. As previously noted, there are other properties in the vicinity with parking located between the structure and the right of way. For example, there is a large parking area between the structure at 251 Dixie Boulevard and George Bush Boulevard. The property, which was developed in 2008, has access from both George Bush Boulevard and Dixie Boulevard.

Given the above, the subject waiver can be supported as positive findings can be made.

LANDSCAPE PLAN ANALYSIS

Pursuant to LDR Section 4.6.16(A), Landscape Regulations, Purpose, the objective of this article is to improve the appearance of setback and yard areas in conjunction with the development of commercial, industrial, and residential properties, including off-street vehicular parking and open-lot sales and service areas in the City, and to protect and preserve the appearance, character and value of the surrounding neighborhoods and thereby promote the general welfare by providing minimum standards for the installation and maintenance of landscaping.

The City's Senior Landscape Planner has reviewed the proposed landscaping improvements and determined that they are in compliance with LDR Section 4.6.16. Two existing Sabal Palms will be removed from the site. Proposed improvements include Montgomery Palms along the side (northeast and southwest) property lines, with five Silver Buttonwoods providing a buffer along the rear property line. Snake Palms will be located in front of the building, with additional Montgomery Palms between the parking area and Palm Court. A podocarpus hedge will be planted adjacent to the foremost parking spaces to assist in screening them from the right of way. As compliance with the requirements have been made, positive findings can be made to approve the proposed Landscape Plan. However, the Board should consider additional screening for the front parking spaces with additional hedges provided.

ARCHITECTURAL ELEVATIONS SECTION 4.5.1, HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to LDR Section 2.4.6(H)(5), Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to LDR Section 4.5.1(E), Historic Preservation Sites and Districts, Development Standards, all development regardless of use within individually designated historic properties and/or properties located within historic districts, whether contributing or noncontributing, residential or nonresidential, shall comply with the goals, objectives, and policies of the Comprehensive Plan, these regulations, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to LDR Section 4.5.1(E)(2)(b)1., Major and Minor development, the subject proposal is classified as Major Development as it is new construction in a historic district.

Pursuant to LDR Section 4.5.1(E)(3)(b)1., Buildings, Structures, Appurtenances and Parking, Parking, parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

The proposed parking is primarily located within the ground floor of the building, while four spaces are located in front of the building. Parking adjacent to the building or in the rear of the property is not possible, given the proposed placement of the building. A majority of the parking is covered, with a minimal amount located at the front. Screening has been provided with a hedge, however, as previously noted, the Board may want to consider the provision of additional screening of these spaces. The proposed material for the driveway is brick in a herringbone pattern, which is appropriate for the historic district. The driveway type, which leads into the property and to the covered garage is also appropriate, in that it is akin to a residential driveway leading directly to the garage or carport.

Pursuant to LDR Section 4.5.1(E)(5), Standards and Guidelines, a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standards

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. (Standard # 1)

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. (Standard 9)

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. (Standard 10)

In consideration of the applicable Standards above, the property, which originally contained two, one-story duplexes, will significantly change the low-scale characteristic of the site and surrounding environment by its inherently larger scale and mass notable in new construction. The proposed new construction is clearly influenced by Del-Ida Park's prime example of the streamline design located at 503 NE 2nd Avenue which will differentiate it from the balance of new construction in the district which primarily consists of a mix of vernacular and Spanish influenced styles. The integrity of the district will not be compromised or negatively impacted, and if removed in the future the area would be unimpaired. Therefore, the proposal is generally in keeping with the applicable Standards, with the exception of the proposed new use which is proposing significant change to the site and environment.

Pursuant to LDR Section 4.5.1(E)(7), Demolition, demolition of historic or archaeological sites, or buildings, structures, improvements, and appurtenances within historic districts shall be regulated by

the Historic Preservation Board in the manner described in Section 4.5.1(F). Demolition of any structure, whether contributing or non-contributing, shall not occur until a building permit has been issued for the HPB approved redevelopment. All structures approved for demolition and awaiting issuance of a building permit for the redevelopment shall be maintained in a manner similar to that in which it existed at time of application unless the Chief Building Official determines that an unsafe building condition exists in accordance with Section 4.5.1(G). The subject property contains a non-contributing duplex; however, the duplex cannot be demolished until the building permits for both the demolition and the new construction are issued. This is noted as a reminder to the property owner and/or agent in order to eliminate an issue if the demolition permit is submitted but is subsequently held from issuance.

Pursuant to LDR Section 4.5.1(E)(8)(a-m), Visual Compatibility Standards, new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- (a) Height: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures shall also be determined through application of the Building Height Plane, First Floor Maximum Height, and Upper Story Height(s).
- **(b) Front Facade Proportion**: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- (c) Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- **(d)** Rhythm of Solids to Voids: The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- **(e)** Rhythm of Buildings on Streets: The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- (f), Rhythm of Entrance and/or Porch Projections: The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- (g), Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- **(h) Roof Shapes**: The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- (i) Walls of Continuity: Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- (j) Scale of a Building: The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the

building size and mass of historic buildings and structures within a historic district for all development.

- **(k) Directional Expression of Front Elevation**: A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- (I) Architectural Style: All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The height of the proposed building measures 35' which is the maximum permitted in the RO zoning district. Visual Compatibility with respect to height requires compliance with respect to the Building Height Plan, First Floor Maximum Height of 14', and the Upper Story Height maximum of 12'. The Building Height Plane requires the additional setback of upperstories from the front setback line in order to mitigate an impact on the streetscape. The proposed building is situated 52'4" from the front property line, and the proposal has also provided balconies on the front façade, which permits the Building Height Plane ratio to increase. As a result, the proposed building is in compliance with the requirement. Additionally, the first floor height measures approximately 13', which is less than the maximum 14' permitted, and the upper story heights measure 12' each, which is also permitted.

The front façade width is generally proportionate with the lot width, which would be best suited at that measurement for a one-story building in this district. The upper stories emphasize the width and overall massing of the building, which is larger than the historic buildings in the district, and thereby potentially highlighting an incompatibility with respect to proportion.

The proportion of openings is appropriate for the style of building, and the overall rhythm of solids and voids is compatible. This is evident in each façade. The rhythm of the entrance and the upper story porch projections are appropriate, as well. While the entrance is significantly setback from the front, the entire building is setback more than double the minimum setback required, which assists in the mitigating an impact on the streetscape by the upper stories. However, in looking solely at the entrance, this is not necessarily visually compatible due to its distance from the street which cuts its relationship with the street. The upper story porch projections are appropriate for the building and are not incompatible for the historic district. These projections also assist in breaking up the front façade and creating additional visual interest.

The relationship of materials, primarily stucco and glass, is appropriate, with colors to accent the building details and overall architectural style. The flat roof shape is also appropriate to the style, and is compatible for the district. In consideration of the compatibility of the wall of continuity standard, there are no fences or walls proposed along the street-side of the property. There is landscaping proposed, and hedging within the front yard area adjacent to parking, which are compatible with respect to continuity.

In consideration of the building's scale and mass, buildings wider than 60% of the property width shall be setback an additional 7' for a portion of the front, which has been achieved by the additional 27' setback for the entire building. While the LDRs indicate that the appropriateness of the proposed scale is determined by this additional setback, concerns remain given the surrounding buildings of a smaller scale with the exception any new construction in the vicinity, such as 251 Dixie Boulevard, which was developed in 2008 as a two-story office building. Staff also expressed concerns regarding that building's scale, mass, and height; the noted height for that building is 25' (mean) and 31'9" to the gable ridge. Nonetheless, the proposal meets the technical requirement for determining the appropriateness of the proposed scale.

The directional expression of the front elevation is clear and evident in the design, and is thereby compatible with the district. The architectural style, while minimal in the district, is nonetheless found within the district and is not introducing a new style to the district.

Given the above, positive findings can generally be made with respect to the Visual Compatibility Standards.

REQUIRED FINDINGS

Pursuant to **Section 3.1.1, Required Findings,** prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to consistency with the Future Land Use Map, Concurrency, Comprehensive Plan Consistency, and Compliance with the Land Development Regulations.

Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of Transitional (TRN) and a zoning designation of Residential Office (RO). Pursuant to LDR Section 4.4.17(B)(3), within the RO zoning district, a single residential units, and medical offices are listed as permitted uses. Based upon the above, it is appropriate to make a positive finding with respect to LDR Section 3.1.1(A), Future Land Use Map Consistency.

Section 3.1.1(B) - Concurrency: Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water service will be provided by an extension into the existing 6" water main along George Bush Boulevard. Sewer service exists via a service lateral connection to an 8" sewer main along Palm Court. Adequate fire suppression is provided via an existing fire hydrant on the corner of Palm Court and George Bush Boulevard. Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standards.

Drainage: A preliminary drainage plan has been submitted indicating that drainage will be accommodated on-site via a 15" underground perforated pipe trench.

Streets and Traffic: A traffic study was submitted indicating that the proposed office use will generate 130 net new external daily trips, with 17 net new AM peak hour trips, and 14 net new external PM peak hour trips. The gross daily trips is calculated to be 144.

Schools: A duplex unit has existed on the site since 1958. The two existing units will be removed, with just one unit remaining on site within the new development. Therefore, the project is grandfathered and thereby exempt from School Concurrency.

Parks and Recreation Facilities: The Open Space and Recreation Element of the City's Comprehensive Plan indicates in its conclusion that "the City will have sufficient recreation facilities at build-out to meet the adopted standards". A park impact fee is collected to offset any impacts that the project may have on the City's recreational facilities. Pursuant to LDR Section 5.3.2, a park impact fee

of \$500.00 per dwelling unit will be collected prior to issuance of a building permit for each unit. As two units presently exist on site, whereas just one is proposed, a fee will not be required.

Solid Waste: The proposal calls for the demolition of a duplex, which has sat vacant for many years, and the construction of a mixed-use building. Trash generated each year by the proposed 4,912 square foot office (gross under-air) will be 13.3 tons of solid waste per year $(4,912 \times 5.4 \div 2,000 = 13.3)$ plus the trash for the residential unit (1.99 tons/year) is 15.29. The Solid Waste Authority indicates in its annual report that the established level of service standards for solid waste will be met for all developments until 2047.

Section 3.1.1 (C) – Consistency, Standards for Site Plan Actions:

As described in Appendix A, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

Section 3.1.1 (D) - Compliance with the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, subject to compliance with the noted conditions of approval.

COMPREHENSIVE PLAN POLICIES: A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted:

Future Land Use Objective A-1 Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The proposed development of the site is of an appropriate intensity and density for the site as the Development Standards for the RO zoning district have been met and the proposed uses (medical office and residential) are permitted. These two uses are also complementary with adjacent land uses and will be compatible with the area.

Future Land Use Objective A-4: The redevelopment of land and buildings shall provide for the preservation of historic resources. The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

Future Land Use Policy A-4.1: Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the "Delray Beach Design Guidelines".

The proposed development provides for the redevelopment of a non-historic site within the Del-Ida Park Historic District, thereby not directing impacting the preservation of historic resources. A complete review of LDR Section 4.5.1 has been conducted and positive findings were generally made, as all technical items are in compliance with respect to height and scale. However, Staff has remaining concerns regarding the proposed scale and mass of the building.

Housing Element Policy A-11.3: In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project

shall be modified accordingly or denied.

The proposal, with respect to the uses and overall site design, should not have a negative effect on the stability of the nearby neighborhoods which include the Del-Ida Park Historic District, within which it is located, and the Seacrest/Dell Park Neighborhood to the north. There will be an increase of traffic to the area, but this is to be expected in an area permitted for non-residential use. Additionally, the stability of adjacent residential areas, inclusive of the remaining residential properties within the RO district, will not be impacted, thereby not resulting in the degradation of the neighborhood.

In addition to the above, the conversion of the duplex is consistent with the "Business Development" Section of the Seacrest/Del-Ida Neighborhood Plan which encourages commercial redevelopment through the conversion of existing single family homes and duplexes within the Residential Office (RO) zoning district.

ASSESSMENT AND CONCLUSION

The subject proposal is for the demolition of a vacant, one-story duplex and new construction of a three-story mixed-use building on a visible location within the Del-Ida Park Historic District. The area is deemed transitional between the adjacent single-family neighborhoods to the north and west and the CBD and heavily utilized North Federal Highway to the east.

In consideration of the site plan aspects of the proposal, the proposal has met the requirements for concurrency, and substantially complies with the Performance Standards. Given careful consideration, the positive findings can be made as the proposal is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations with the exception of the parking provided between the structure and the right of way. While the scale and mass are of concern, the technical requirements provided in the Visual Compatibility Standards of Section 4.5.1 have been met which determine the compatibility and appropriateness of height and scale.

REVIEW BY OTHERS

The **Community Redevelopment Agency (CRA)** reviewed the subject proposal at its meeting of February 11, 2016, where the consensus was to support the proposal.

Courtesy notices were sent to the following organizations: Del-Ida Park Homeowners Association, Seacrest Homeowner's Association, and the Delray Citizen's Coalition. Any letters of support or concern for the project will be provided to the Board if submitted.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Certificate of Appropriateness, Class V Site Plan, Architectural Elevations, Landscape Plan, and Waiver request (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).
- C. Move denial of the Certificate of Appropriateness, Class V Site Plan, Architectural Elevations, Landscape Plan, and Waiver request (2015-169) for **226 Palm Court, Del-Ida Park Historic**

District, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is not consistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(F)(5), 2.4.6(H)(5), and 2.4.7(B)(5).

STAFF RECOMMENDATION

By Separate Motions:

Waiver

Approve the waiver request to LDR Section 4.4.17(H)(3), to permit parking between the building and right of way, based upon positive findings with respect to LDR Section 2.4.7(B)(5).

COA and Site Plan

Approve the Certificate of Appropriateness and Class V Site Plan (2015-169) for **226 Palm Court, Del- Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(F)(5) and 2.4.6(H)(5), subject to the following conditions:

- 1. That a five foot right of way dedication for the portion adjacent to George Bush Boulevard be approved by the City Commission prior to issuance of a building permit; and,
- 2. That a Plat be recorded prior to the issuance of a Certificate of Occupancy for the development.

Landscape Plan

Approve the Landscape Plan (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Section 4.6.16.

Architectural Elevations

Approve the Architectural Elevation (2015-169) for **226 Palm Court, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Section 4.5.1(E)(8).

Report prepared by: Amy Alvarez, AICP, Senior Planner

APPENDIX A STANDARDS FOR SITE PLAN ACTIONS

Α.	Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
	Not applicable Meets intent of standard Does not meet intent X
В.	Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
	Not applicable Meets intent of standard Does not meet intent
C.	Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
	Not applicable X Meets intent of standard Does not meet intent
D.	The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
	Not applicable X Meets intent of standard Does not meet intent
Ε.	Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
	Not applicable X Meets intent of standard Does not meet intent
F.	Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
	Not applicable Meets intent of standard Does not meet intent X

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's

226 Palm Court; 2015-169 HPB Meeting March 2, 2016 14 / 14

	demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
	Not applicable Meets intent of standard Does not meet intent
Н.	The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
	Not applicable Meets intent of standard Does not meet intent X
l.	Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
	Not applicable Meets intent of standard Does not meet intent
J.	Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
	Not applicable X Meets intent of standard Does not meet intent

226 Palm Court, Del-Ida Park Historic District



226 Palm Court, Del-Ida Park Historic District





226 Palm Court, Del-Ida Park Historic District





RECEIVED BY

JAN 2 0 2016

Chy of Delray Beach
Planning & Zoning

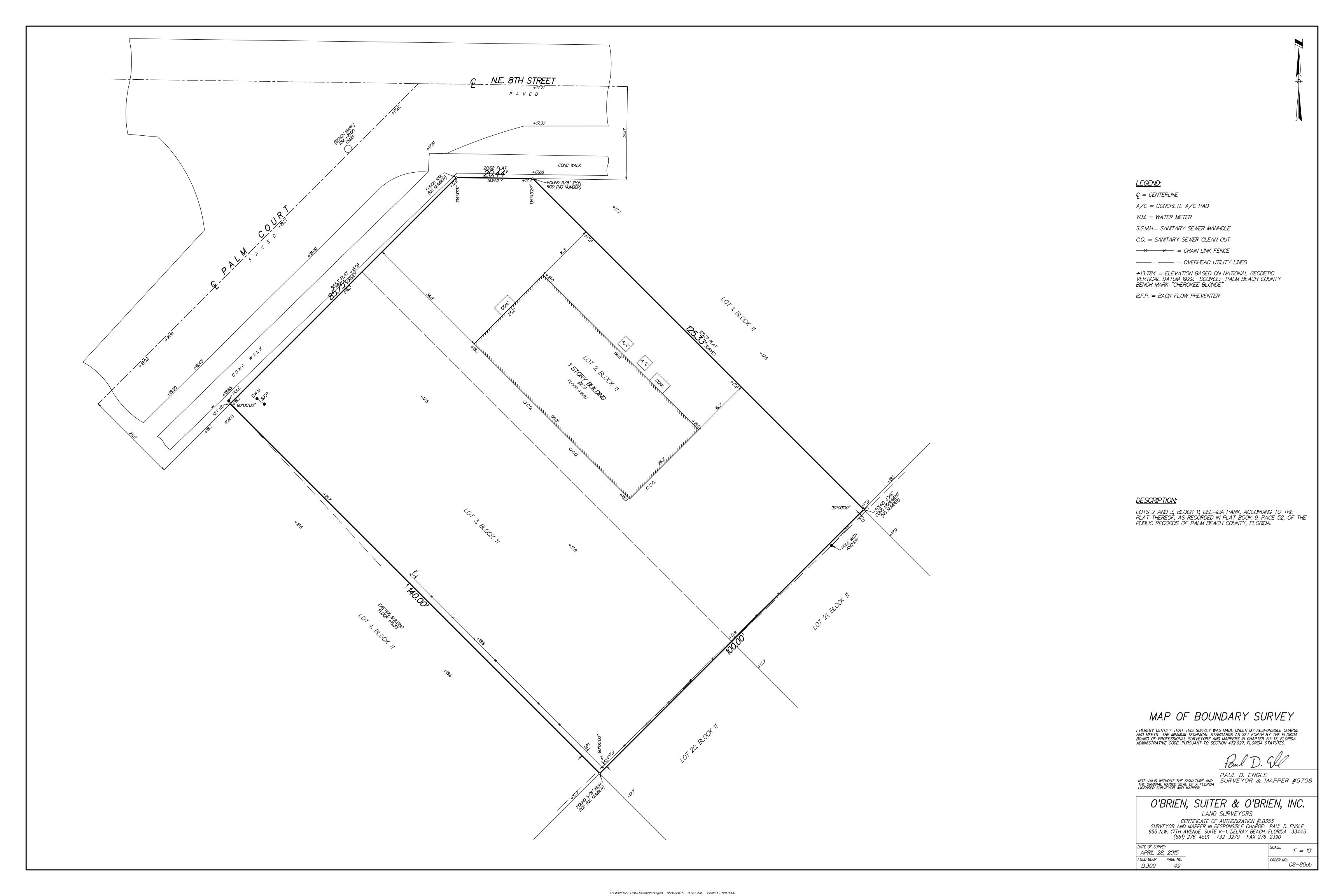
MEDICAL OFFICE BUILDING

Delray Beach, Florida

(TREE PLACEMENT IN RENDERING DOES NOT REPRESENT FINAL DESIGN - SEE LANDSCAPE DRAWINGS FOR ALL PROPOSED TREE TYPES AND LOCATIONS)

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COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES

MAY BE TAKEN THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING (ABOVE OR BELOW GRADE), OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. EACH CONTRACTOR AND OR SUBCONTRACTOR SHALL BE EXPECTED TO INSPECT THE SITE FOR ALL EXISTING CONDITIONS WHICH COULD AFFECT THE WORK THEY ARE BIDDING FOR AND SHALL BE RESPONSIBLE FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON THEIR WORK.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2014 EDITION, AND ALL APPLICABLE NATIONAL AND LOCAL RULES, REGULATIONS AND ORDINANCES. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

DO NOT SCALE THE DRAWINGS.

FIELD VERIFY ALL DIMENSIONS.

ALL AREA CALCULATIONS ARE APPROXIMATE

11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).

ALL INTERIOR FINISHES FOR FOR OFFICE ARE TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER

THE DESIGN AND CONSTRUCTION OF ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1991, FBC 2012 & ALL LOCAL CODES OR STANDARDS FOR ACCESSIBILITY SHALL APPLY WHEN THEY SPECIFY A MORE STRINGENT REQUIREMENT.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY OF THESE CONTRACT DOCUMENTS OR SHOULD DISCOVER ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, THE BIDDER IS DEMANDED TO HAVE ESTIMATED THE MOST EXPENSIVE WAY OF DOING THE WORK

16) THE CONTRACTOR SHALL PROVIDE OWNER WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT, WHICH COULD CHANGE THE DAY TO DAY OPERATIONS.

17) THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

18) NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL, CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ARCHITECT/OWNER FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS

19) DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, U.N.O. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.

20) PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE.

21) ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

22) TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS

23) DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. NOTE: CONTRACTOR TO COORDINATE W/ TENANT TO VERIFY ALL ITEMS TO BE SALVAGED OR REMOVED FROM SITE - PRIOR TO DEMOLITION.

24) NOTE: EXISTING ONE STORY BUILDING TO BE DEMOLISHED. NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL PLANS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT / GEN. CONTRACTOR CONCERNING ANY EXISTING SITE CONDITIONS.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS: AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

26) ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT & OR ASSOCIATED PROFESSIONALS, AT THEIR DISCRETION.

27) THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL AND MECHANICAL. TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN I' WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS. NOTE: ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.

28) SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR ONLY FOR REVIEW PRIOR TO FABRICATION.

29) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

30) ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE

31) ALL EXTERIOR METAL FASTENERS, NAILS, AND BOLTS SHALL BE ZINC PLATED, HOT DIPPED GALVANIZED. (IF APPLICABLE)

32) TOP OF PROPOSED CONCRETE SLAB / FINISH FLOOR = 0'-0" (18.91' N.G.V.D.) (VERIFY W/ SURVEY) FOR REFERENCE ONLY.

33) PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL

CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. 34) IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND

REGULATIONS 35) CONTRACTOR TO PROVIDE TECHNICAL DATA SHEETS ON ALL CHEMICALS TO BUILDING DEPT. FOR APPROVAL.-HEPTACHIOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS.

36) ALL EXTERIOR AND INTERIOR PAINT COLORS TO BE SELECTED BY OWNER/ARCHITECT. NOTE: ALL COLORS DEPICTED ON PLANS FOR PRICING PURPOSES ONLY. (PAINT SUB-CONTRACTOR TO PROVIDE PAINT SAMPLES FOR APPROVAL PRIOR TO PAINTING BUILDINGS).

37) NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATING OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVOE, DUPONT, 4 PORTER ARE CONSIDERED EQUAL

38) CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

39) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.

MEDICAL OFFICE /

MIXED USE BUILDING

226 PALM COURT

"HPB SUBMITTAL

DELRAY BEACH, FL.

APPLICABLE CODES

2014 FLORIDA BUILDING CODE

2014 FLORIDA MECHANICAL CODE

2014 FLORIDA PLUMBING CODE 2014 NATIONAL ELECTRICAL CODE (NFPA-70)

2012 FLORIDA FIRE PREVENTION CODE 5th EDITION-FLORIDA SPECIFIC NFPA-1.

2012 N.F.P.A 101 LIFE SAFETY CODE EDITION - FLORIDA SPECIFIC NFPA-1.

2012 FLORIDA ACCESSIBILITY CODE / ADA 94

OCCUPANCY CLASSIFICATION

GROUP 'S-2' (LOW HAZARD) PARKING GARAGE GROUP 'B' BUSINESS GROUP 'R2' RESIDENTIAL

TYPE OF CONSTRUCTION

TYPE IV

UNPROTECTED

SPRINKLERED)

LANDSCAPE ARCHITECT

DAVE BODKER AND ASSOC.

| LANDSCAPE ARCHITECTURE

SUITE 105 A Delray Beach,

601 N. CONGRESS AVE.

PH. (561) 276-6311

FAX (561) 276-3869

Florida 33445

ZONING

RO (HISTORIC DEL-IDA)

ALLOWABLE AREA GROUP B/27,000 S.F

ALLOWABLE HEIGHT 35 FEET (LDR)

LEGAL DESCRIPTION

LOTS 2 AND 3, BLOCK 11, OF "DEL-IDA PARK", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9 PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

	SHEET SCHEDULE								
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE				
	SURVEY		CIVIL ENGINEER		LANDSCAPE				
	EXISTING SURVEY	1	PAVING & DRAINAGE PLAN	⊥ .1	EXISTING PLANTING PLAN				
		2	PAVING & DRAINAGE DETAILS	∟.2	PROPOSED PLANTING PLAN				
	ARCHITECTURAL	3	PAVING & DRAINAGE DETAILS	L.3	PLANTING SPEC'S AND DETAILS				
A1.00	PROPOSED SITE PLAN	4	PAVING & DRAINAGE DETAILS						
Al.Øl	TYPICAL SITE DETAILS	5	WATER & WASTEWATER DETAILS		ELECTRICAL PHOTOMETRIC'S				
A2.00	PROPOSED GROUND FLOOR PLAN	6	WATER & WASTEWATER DETAILS	PSP-1	PHOTOMETRIC'S PLAN				
A2.Ø1	PROPOSED SECOND FLOOR PLAN	٦	POLLUTION PREVENTION PLAN						
A2.Ø2	PROPOSED THIRD PLAN								
A3.00	PROPOSED ELEVATIONS								
A3.Ø1	PROPOSED ELEVATIONS								

40) THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF

41) ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF THE OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION

42) THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER THE CONTRACTOR SHALL PROVIDE LABOR 4 MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

43) ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMAN-LIKE MANNER THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.

TRAFFIC ENGINEER | SURVEYOR

1920 WEKIVA WAY, SUITE 200 | 955 NW 17 AVE, SUITE K-1

West Palm Beach, Fl. 33411 | Delray Beach, Fl. 33445

KIMLEY-HORN & ASSOC.

PH. (561) 845-0665

44) SUBSURFACE SOIL CONDITION INFORMATION WERE NOT AVAILABLE: ALL FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT/STRUCTURAL ENGINEER PRIOR TO COMMENCING WORK.

O'BRIEN, SUITER & O'BRIEN

PH. (561) 276-4501

FAX (561) 276-2390

45) THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:

MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).

PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.

TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION. - COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF

MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.

REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER /AGENT. REMOVE ALL TRASH FROM PREMISES. · ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

46) ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECTS PROPERTY. NO CHANGES, ADDITIONS, OR DELETIONS SHALL BE MADE WITH OUT WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.

CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES

Delray Beach, Fl. 33444

PH. (561) 274-6500

FAX (561) 274-8558

298 PINEAPPLE GROVE WAY

47) ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER / ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS

48) ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UN.O.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.

49) CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT IN-TENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR IN-TENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECTS APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

REQUIRED RESTROOMS, SHALL HAVE FLOORS & WALLS OF IMPERVIOUS MATERIALS TO HAVE A HEIGHT OF 60' A.F. (ALL FLOORS SHALL BE 'NONSKID' COMMERCIAL GRADE) AND COMPLY ADA.

ARCHITECTS

MECHANICAL ENGINEERS

THOMPSON ENGINEERING CONS.

902 Clint Moore Rd. Suite 142

Boca Raton, Florida 33487

PH. (561) 274-0200

FAX (561) 274-0222

ge architecture, inc. 1045 E. Atlantic Ave Suite 303 Delray Beach, Florida 33483

FL. LIC. AA0003179 PH. (561) 276-6011 FAX (561) 276-6129



52) OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION

53) OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

54) ALL EXTERIOR DOORS TO HAVE 1/2" MAX. BEVELED THRESHOLD.

55) ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE (NOTE: SIDEWALKS (WALKWAYS) SHALL NOT EXCEED 2% SLOPE.

56) FLASHING, DRIPS & ETC. TO BE 16 OZ. COPPER.

57) PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

58) INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

59) CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW.

60) THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, ELECTRICAL, STRUCTURAL AND LANDSCAPING DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY CONSTRUCT THE PROJECT.

61) ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT THE PROPERTY AND VERIFY EXISTING SITE CONDITIONS PRIOR TO SUBMITTING PROPOSALS, VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY, NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL

62) THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

63) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

64) THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

65) ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

66) HEPTACHLOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS.

67) CONTRACTOR TO COORDINATE W/ OWNER ON COLORS AND STYLE OF ALL REQUIRED SIGNAGE, (NOTE: ALL ARE REQUIRED TO COMPLY W/ ADA ACCESSIBILITY).

68) ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION.

69) CONTRACTOR TO VERIFY AND COORDINATE ALL FINISH MATERIALS WITH OWNER. 70) DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC,

MILCOR PRODUCTS ARE ACCEPTABLE. 71) ALL INTERIOR PAINT COLORS SELECTED BY OWNER.

72) PROVIDE WATERPROOF GYPSUM WALL BOARD (M.R.) IN ALL TOILET ROOMS /

BATHROOMS / KITCHENS. 73) ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT PARTITIONS, U.N.O.

74) ALL DRYWALL PARTITIONS WILL BE TAPED, SPAKLED, SANDED, PRIMED AND PAINTED. (LEVEL IV FINISHES IN OFFICE AND LEVEL V IN RESIDENCE).

75) SIGNS AND/OR LIGHTING LOGO NOT IN CONTRACT. ELECTRICAL SUBCONTRACTOR TO SEE ELECTRICAL PLANS & VERIFY W/ OWNER.

76) THE CONTRACTOR WILL PROVIDE THE NECESSARY TEMPORARY CLOSING OF ALL OPENINGS IN WALLS OR ROOF AT THE END OF EACH DAY'S WORK TO KEEP THE

BUILDING WEATHER TIGHT AND SECURE. 78) ALL INTERIOR FINISHES SHALL COMPLY W/ NFPA LATEST EDITION, FOR FLAME SPREAD RESTRICTIONS. ALL INTERIOR FINISHES TO BE SUPPLIED AND APPROVED BY OWNER,

INSTALLED BY CONTRACTOR - U.O.N. 79) ALL INTERIOR FLOORING TO BE APPROVED BY OWNER AND INSTALLED BY GEN. CONTRACTOR

80) ALL INTERIOR FIXTURES ARE FOR REFERENCE ONLY, ACTUAL SIZE AND LOCATIONS TO BE PROVIDED TO CONTRACTOR BY OWNER (TYP.).

81) ALL INTERIOR PARTITIONS ARE TO BE 4 1/8" 4 4 1/8" UN.O.

FIRE DEPARTMENT NOTES:

82) ENTIRE BUILDING TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR TO PROVIDE SIGNED & SEALED SHOP DRAWINGS ON AUTOMATIC FIRE SPRINKLER SYSTEM. 83) ALL INTERIOR FINISHES SHALL COMPLY W/ F.B.C. 2014 FOR FLAME SPREAD

RESTRICTIONS & LIFE SAFETY 101 2012 EDITION (CLASS A,B & C).

84) MAINTAIN FIRE RATING AT ALL PENETRATIONS OF RATED WALL AND FLOOR ASSEMBLIES I.E. MECHANICAL AND ELECTRICAL SERVICE RUNS.

85) SEE FLOOR PLAN FOR LOCATION OF 5LB. (ABC) RATING FIRE EXTINGUISHER AND WALL HANGERS TOP OF EXTINGUISHERS MAX. 40' ABOVE TOP OF FLOOR. 86) EXIT AIGLES SHALL BE MAINTAINED AT A 36' MIN. CLEAR.

EGRESS DOORS AND PATH OF EGRESS NOTES

REQUIRED DOORS SHALL SWING IN THE DIRECTION OF TRAVEL TO THE EXIT DISCHARGE. ALL REQUIRED EXIT DOORS SHALL BE CLEARLY MARKED AND SHALL NOT BE CAPABLE OF BEING LOCKED AGAINST EGRESS. ALL ELECTRONIC LOCKING DEVICES SHALL RELEASE UPON ACTIVATION OF THE BUILDING FIRE ALARM OR SMOKE/HEAT DETECTION DEVICES OR OTHER MEANS THAT DO NOT RELY SOLELY ON HUMAN ACTION IF ALARM OR SMOKE DETECTOR IS NOT INSTALLED IN THIS OCCUPANCY, POWER FAILURE SHALL ALSO RELEASE LOCKS. ALL REQUIRED EXIT DOOR THRESHOLDS SHALL BE LEVEL ON BOTH SIDES OF THE DOOR FOR AT LEAST THE WIDTH OF THE DOOR THAT SERVES THE EXIT.

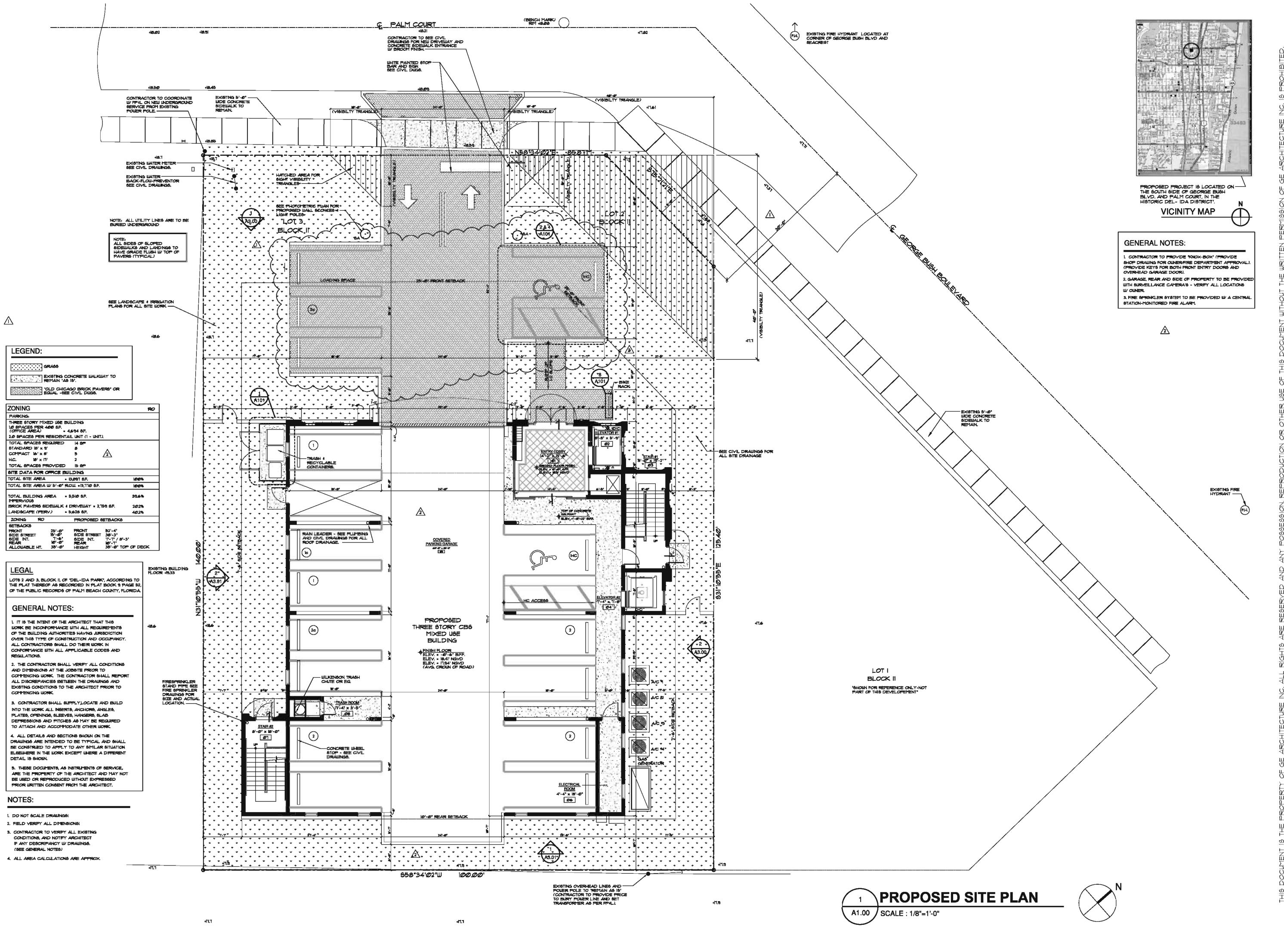
NEW FIRE DEPARTMENT CONNECTION AND HYDRANTS (IF APPLICABLE)

ALL FIRE DEPARTMENT CONNECTIONS, HYDRANTS AND ACCESS POINT SHALL BE FREE OF DEBRIS OR OTHER HINDRANCES FOR EASY ACCESS AT ALL TIMES. ROADWAYS SHALL HAVE A 12'-0' WIDE LANE AT ALL TIMES. FAILURE TO COMPLY WILL RESULT IN THE SITE SHUT DOWN UNTIL COMPLIANCE IS OBTAINED, AND POSSIBLE FINES. FIRE LANES SHALL BE MARKED IN FRONT OF ALL FDC'S FOR A DISTANCE OF AT LEAST 20'-0" ON EITHER SIDE OF THE CONNECTION: ALL FDC'S SHALL HAVE A PLACARD THAT DESIGNATES WHAT PORTION OF THE SYSTEM THEY SERVE. THEY SHALL BE PAINTED RED AND HAVE ALL PERTINATE HYDRAULIC INFORMATION PERMANENTLY AFFIXED TO THEM. BUILDINGS WITH MULTIPLE RISERS, SYSTEM SHALL BE INTERCONNECTED SO THAT ANY CONNECTION FEEDS ALL SPRINKLERS AND/OR STANDPIPES. <u>EXIT LIGHTS</u>

PROVIDE EXIT LIGHTS ALONG THE PATH OF EGRESS SO THAT FROM ANY PLACE IN THE ROOM OR BUILDING, THE WAY TO AN EXIT IS ALWAYS VISIBLE. THIS WILL BE TESTED AT TIME OF C.O. INSPECTION, ALL REQUIRED EXITS SHALL BE KEPT ACCESIBLE AND CLEAR AT ALL TIMES. NUMBERS OF EXITS MUST BE SUFFICIENT FOR THE DESIGN OF THIS SPACE, EXIT SIGNS MUST BE OVER ALL REQUIRED EXIT DOORS, AND DOOR BANKS SERVING AS EXITS AND OVER CORRIDOR ENTRANCES THAT LEAD TO AN EXIT. ANY DOOR WITH AN EXIT SIGN WILL BE TREATED AS AN EXIT AND WILL BE HELD TO THE SAME STANDARDS AS A REQUIRED EXIT.

REVISED Ø1. 15. 16 - AS PER FIRE DEPARTMENT COMMENTS: APPLICABLE FIRE CODES / EDITIONS.

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING



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ISSUED FOR

BIDS

PERMIT 5. 22. 15

CONSTRUCTION

PROJECT TITLE

PROPOSED MIXED USE BUILDING

226 PALM COURT DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

REVISED 1022.15 AS PER P4Z
COMMENTS:

1) PROVIDED ADDITIONAL
5'-0' ROW
2. CREATE LOADING SPACE.
3. ADDED OVERHEAD GARAGE
DOOR 4 UPDATED PARKING
CALC'S.

THE POLIBLIC AS PER POZ COMMENTS: 1. PROVIDED 9'-0" LANDSCAPE ISLAND. 2. PROVIDED (I) ADDITIONAL EXIT. 3. ELIMINATED (I) PARKING SPACE.

REVISED 24.16 AS PER PAZ COMMENTS: PROVIDED 6' CURBS IN FRONT PARKING AREA AS INDICATED.

> THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING

0302A100 DRAWING TITLE

FILE NUMBER

PROPOSED SITE PLAN

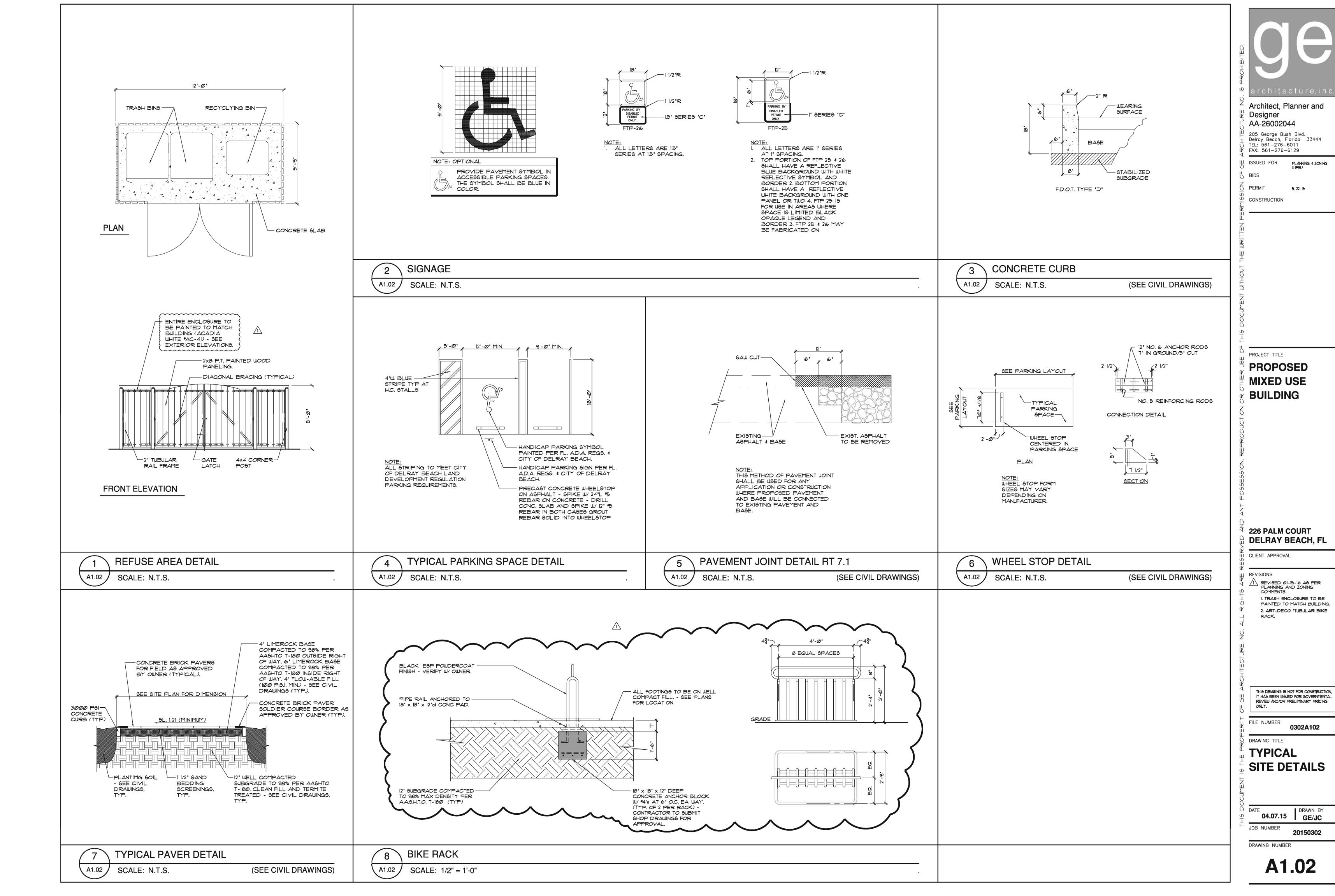
04.07.15 JOB NUMBER

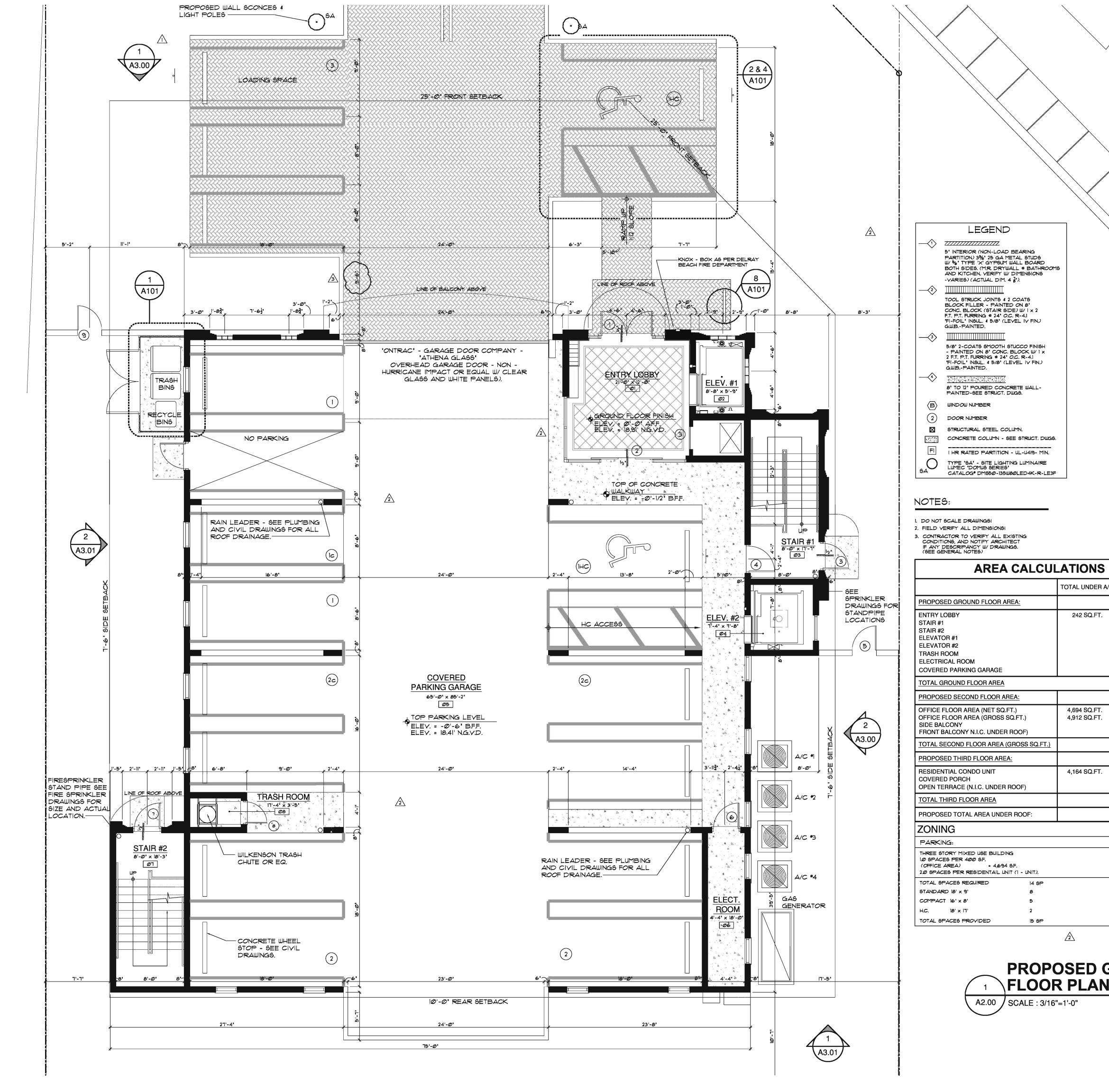
DATE

20150302 DRAWING NUMBER

DRAWN BY

GE/JC







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CONSTRUCTION

PROJECT TITLE **PROPOSED MIXED USE BUILDING**

226 PALM COURT **DELRAY BEACH, FL**

CLIENT APPROVAL

TOTAL UNDER A/C TOTAL UNDER ROOF

150 SQ.FT.

144 SQ.FT.

50 SQ.FT.

56 SQ.FT.

20 SQ.FT

78 SQ.FT.

4,770 SQ.FT.

5,510 SQ.FT.

140 SQ.FT.

128 SQ.FT.

5,052 SQ.FT.

329 SQ.FT.

680 SQ.FT.

4,493 SQ.FT.

15,055 SQ.FT.

RO

242 SQ.FT.

4,694 SQ.FT.

4,912 SQ.FT.

4,164 SQ.FT.

PROPOSED GROUND

15 SP

FLOOR PLAN

/ SCALE : 3/16"=1'-0"

REVISIONS REVISED 1022.15 AS PER P&Z COMMENTS: I. LOADING SPACE & OVERHEAD GARAGE DOOR

REVISED Ø1.15.16 AS PER P&Z COMMENTS:

I. PROVIDED 9'-0' LANDSCAPE

2. PROVIDED (1) ADDITIONAL EXIT. 3. ELIMINATED (1) PARKING SPACE. 4. KNOX BOX AT MAIN ENTRANCE. REVISED 0201.16 AS PER P&Z COMMENTS:

1. ADJUSTED CONCRETE CURBING.

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

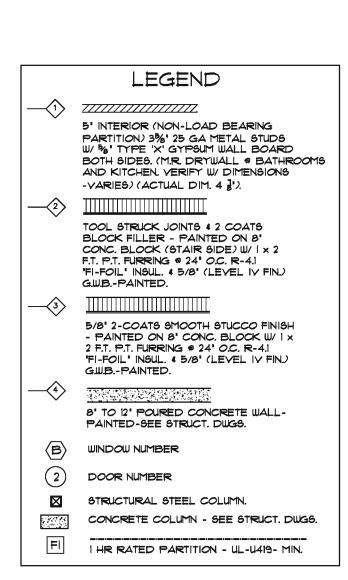
FILE NUMBER 0302A200

DRAWING TITLE

PROPOSED GROUND **FLOOR PLAN**

04.07.15 | GE/JC JOB NUMBER 20150302

DRAWING NUMBER

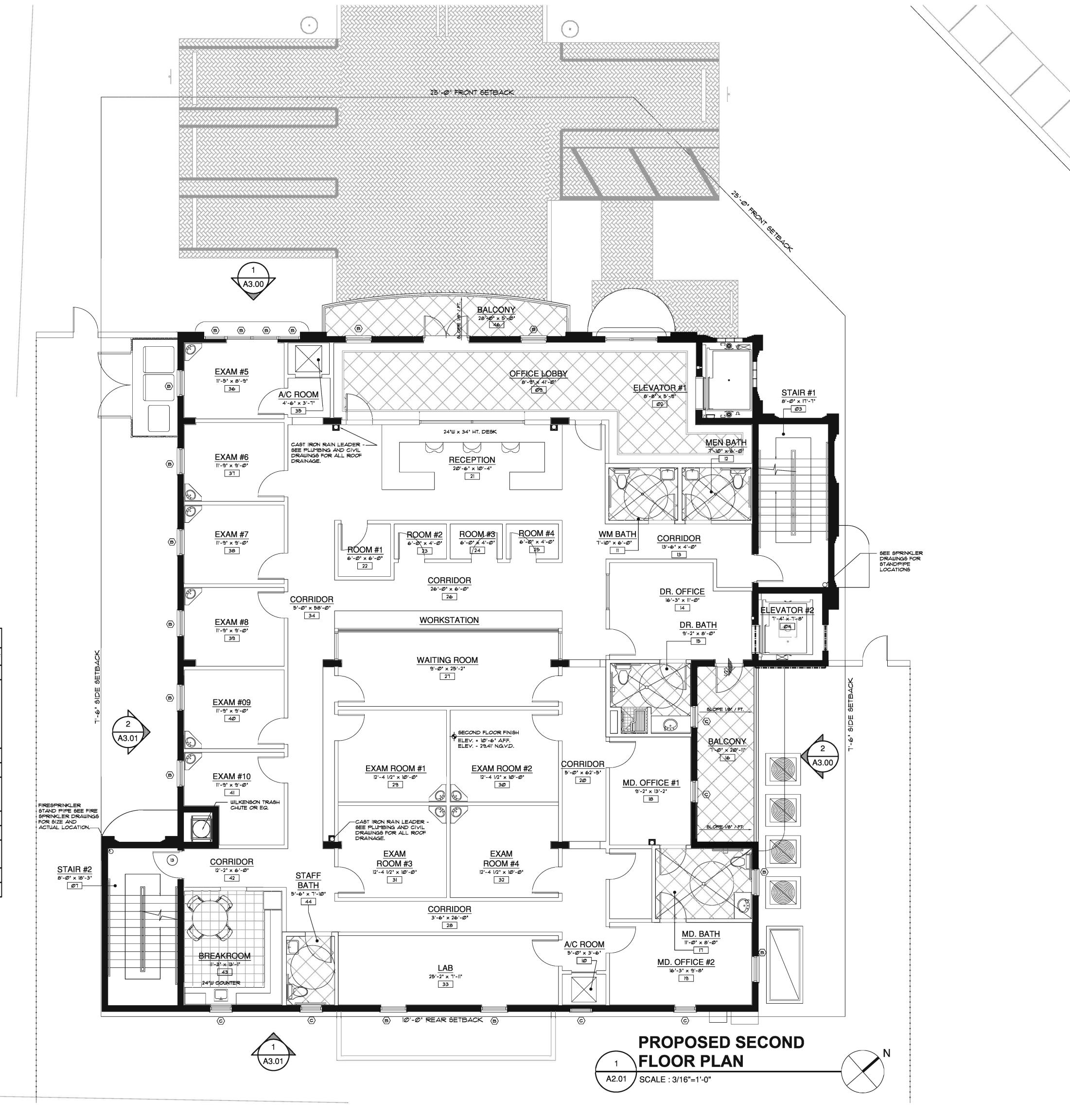


NOTES

- I. DO NOT SCALE DRAWINGS!
- 2. FIELD VERIFY ALL DIMENSIONSI
 3. CONTRACTOR TO VERIFY ALL EXISTI
 CONDITIONS AND NOTIFY APPLITED.

3.	CONTRACTOR TO VERIFY ALL EXISTIN CONDITIONS, AND NOTIFY ARCHITECT
	IF ANY DESCRIPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

AREA CALCULATIONS							
	TOTAL UNDER A/C	TOTAL UNDER ROOF					
PROPOSED GROUND FLOOR AREA:							
ENTRY LOBBY STAIR #1 STAIR #2 ELEVATOR #1 ELEVATOR #2 TRASH ROOM ELECTRICAL ROOM COVERED PARKING GARAGE	242 SQ.FT.	150 SQ.FT. 144 SQ.FT. 50 SQ.FT. 56 SQ.FT. 20 SQ.FT. 78 SQ.FT. 4,770 SQ.FT.					
TOTAL GROUND FLOOR AREA		5,510 SQ.FT.					
PROPOSED SECOND FLOOR AREA:							
OFFICE FLOOR AREA (NET SQ.FT.) OFFICE FLOOR AREA (GROSS SQ.FT.) SIDE BALCONY FRONT BALCONY N.I.C. UNDER ROOF)	4,694 SQ.FT. 4,912 SQ.FT.	140 SQ.FT. 128 SQ.FT.					
TOTAL SECOND FLOOR AREA (GROSS SQ.FT.)		5,052 SQ.FT.					
PROPOSED THIRD FLOOR AREA:							
RESIDENTIAL CONDO UNIT COVERED PORCH OPEN TERRACE (N.I.C. UNDER ROOF)	3,812 SQ.FT.	816 SQ.FT. 543 SQ.FT.					
TOTAL THIRD FLOOR AREA		4,628 SQ.FT.					
PROPOSED TOTAL AREA UNDER ROOF:		15,187 SQ.FT.					





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I ISSUED FOR PLANNING & ZONING (HPB)

BIDS

5. 22. 15

PERMIT CONSTRUCTION

PROJECT TITLE

PROPOSED
MIXED USE
BUILDING

226 PALM COURT DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

0302A201

ONLY.

FILE NUMBER

DRAWING TITLE

PROPOSED SECOND FLOOR PLAN

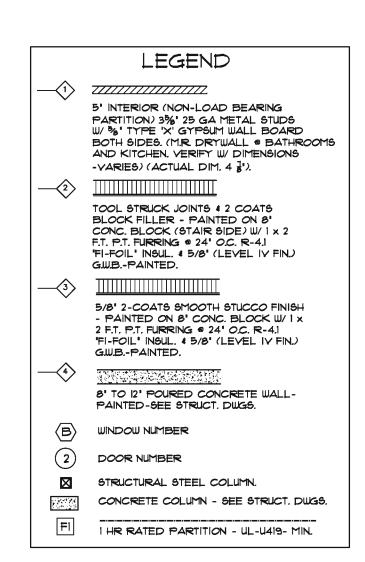
 DATE
 DRAWN BY

 04.07.15
 GE/JC

 JOB NUMBER
 20150302

DRAWING NUMBER

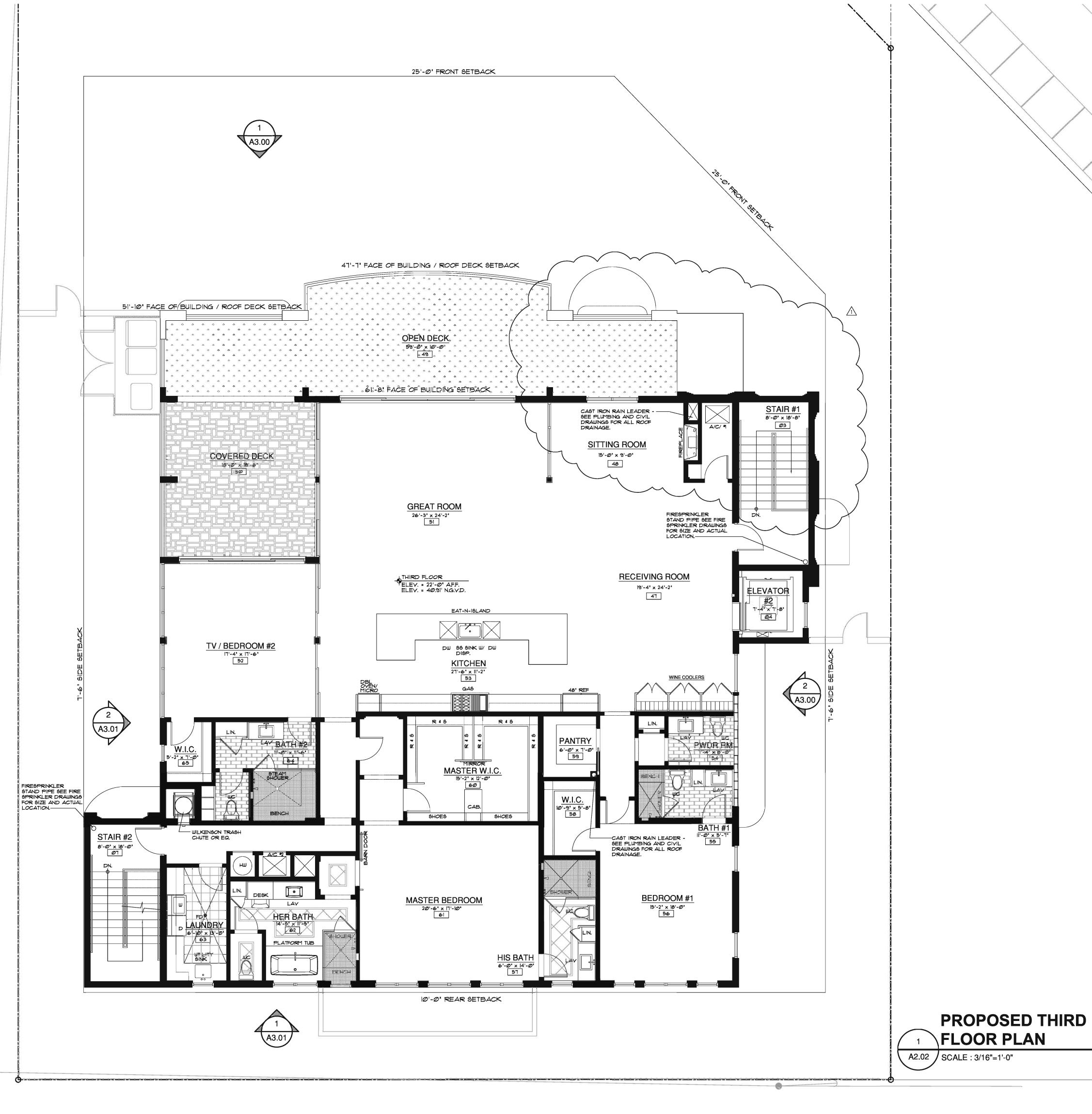
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NOTES:

- I. DO NOT SCALE DRAWINGSI
- 2. FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DESCRIPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

AREA CALCULATIONS						
	TOTAL UNDER A/C	TOTAL UNDER ROOF				
PROPOSED GROUND FLOOR AREA:						
ENTRY LOBBY STAIR #1 STAIR #2 ELEVATOR #1 ELEVATOR #2 TRASH ROOM ELECTRICAL ROOM COVERED PARKING GARAGE	242 SQ.FT.	150 SQ.FT. 144 SQ.FT. 50 SQ.FT. 56 SQ.FT. 20 SQ.FT. 78 SQ.FT. 4,770 SQ.FT.				
TOTAL GROUND FLOOR AREA		5,510 SQ.FT.				
PROPOSED SECOND FLOOR AREA:						
OFFICE FLOOR AREA (NET SQ.FT.) OFFICE FLOOR AREA (GROSS SQ.FT.) SIDE BALCONY FRONT BALCONY N.I.C. UNDER ROOF)	4,694 SQ.FT. 4,912 SQ.FT.	140 SQ.FT. 128 SQ.FT.				
TOTAL SECOND FLOOR AREA (GROSS SQ.FT.)		5,052 SQ.FT.				
PROPOSED THIRD FLOOR AREA:						
RESIDENTIAL CONDO UNIT COVERED PORCH OPEN TERRACE (N.I.C. UNDER ROOF)	4,164 SQ.FT.	329 SQ.FT. 680 SQ.FT.				
TOTAL THIRD FLOOR AREA		4,493 SQ.FT.				
PROPOSED TOTAL AREA UNDER ROOF:		15,055 SQ.FT.				





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BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

PROPOSED MIXED USE BUILDING

226 PALM COURT DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

REVISED Ø1.15.16 AS PER P&Z
COMMENTS:

1. REDUCED WAIVER REQUEST FROM BUILDING HEIGHT PLANE FROM 6'-7' DOWN TO 3'-6'.

FILE NUMBER 0302A202

DRAWING TITLE

PROPOSED THIRD FLOOR PLAN

GE/JC JOB NUMBER 20150302

DRAWING NUMBER

A2.02

LIGHT FIXTURES ACCESS LIGHTING 'POSEIDON BULKHEAD' *H0049 OUTDOOR WALL SCONCE OR EQUAL ALL LIGHT FIXTURES TO BE APPROVED BY

PAINT LEGEND ALL SURFACES TO BE CLEANED 4 PRIMED AS PER BENJAMIN MOORE.

P-I ACADIA WHITE *AC-41 (MAIN BODY OF BUILDING) P-2 BONE WHITE *1-03 (CONCRETE EYEBR

(CONCRETE EYEBROWS 4 STUCCO BANDING)

P-3 KENDAL CHARCOAL - TO BE ALUMINUM LOUVERS AND RAILINGS. KENDAL CHARCOAL - *HC-166

P-4 BRILLIANT WHITE DOORS, WINDOWS AND BANDING, NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY, CONTRACTOR TO PROVIDE SAMPLES FOR OUNER APPROVAL.

TRIBUTARY	ZON	IE (4)	ZONE (5)	
AREA (ft) ²	(+) POSITIVE	(-) NEGATIVE	(+) POSITIVE	(-) NEGATIV
1 TO 20	43.1	-46.7	43.1	-57.7
21 TO 5Ø	40.9	-445	40.9	-532
51 TO 100	38.6	-422	38.6	-48.7
101 TO 150	36.7	-403	36.7	-44.8
151 TO 25Ø	35.6	-39.2	35.6	-42.6

EXTERIOR STUCCO

METAL LATH APPLICATION: 1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE. 2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.

3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT, APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.

4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS & TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM. 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH TOTAL (1) INCH THICK, AREAS TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH

6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR

1. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8' SLOPE FOR PROPER SHEDDING OF RAIN WATER. 8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER

COMPLING WITH ASTM D 578 AND WEIGHING NOT LESS THAN 8 OZ. PER SQUARE YARD.

NOTES: I. DO NOT SCALE DRAWINGSI 2. FIELD VERIFY ALL DIMENSIONS! 3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DESCRIPANCY W/ DRAWINGS. (SEE GENERAL NOTES) 4. ALL AREA CALCULATIONS ARE APPROX. 5. ALL EXTERIOR DOOR & WINDOW LOCATIONS TO MATCH EXTERIOR ELEVATIONS-SEE SHEETS A300 4 A301. 6. CONTRACTOR TO PROVIDE "KNOX-BOX" (PROVIDE KEYS FOR BOTH FRONT ENTRY DOORS AND OVERHEAD GARAGE DOOR). GARAGE, REAR AND SIDES OF PROPERTY

TO BE PROVIDED WITH SURVEILLANCE

8. FIRE SPRINKLER SYSTEM TO BE PROVIDED

CAMERA'S - VERIFY ALL LOCATIONS

W/ A CENTRAL STATION-MONITORED

W/ OWNER.

FIRE ALARM.

4' x 21' ROUNDED RAISED VERTICAL (CURVED SMOOTH STUCCO BANDING - PAINTED (TYP.).

6'HT. x 12' CURYED P.I.P. CONC. HEADER - EYEBROWS (W/ 1'-0' EXTENSIONS BEYOND JAMB), PAINTED (TYP. . I' \times $\frac{1}{2}$ 'd RECESSED JOINT FRY-REGLET OR EQUAL SCORED DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE. 6' POURED IN PLACE CURVERED CONCRETE CANOPY

ALUMINUM DECORATIVE RAILING W/ POWDER COAT FINISH

CONTRACTOR TO PROVIDE "KNOX-BOX" AS PER DELRAY FIRE DEPT. (ACCESS FOR MAIN ENTRY AND GARAGE DOOR). EXTERIOR STUCCO TO EXTEND A MIN. 1'-0' BELOW

IN A 45 DEGREE OPEN POSITION W/ E.S.P. POWDER COAT FINISH (COLOR - CHARCOAL GREY) - BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL.

SIGNAGE LIGHTING / NUMBERS TO BE BY OTHERS (UNDER SEPARATE PERMIT) - VERIFY W/ OWNER (CONTRACTOR TO PROVIDE POWER).

POURED IN PLACE CONC SLAB. SEE STRUC DIGGS (TYP.) ALL BALCONIES TO SLOPE 1/8"/FT.

CONT 1 1/4'HT. x 4' COPPER DRIP EDGE . ALL BALCONIES.

ALL BALCONIES/PORCHES TO RECEIVE 'STONE PAVERS' OR EQUAL. NON-SLIP W/ BULLNOSE AT THE OUTER EDGE.
DECK TO BE MUDSET OVER .125' LIQUID WATERPROFING. ON CONC. DECK, 'VULKEM 360' OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL).

'ONTRAC' - GARAGE DOOR COMPANY - 'ATHENA GLASS' OVERHEAD GARAGE DOOR - NON - HURRICANE IMPACT OR EQUAL. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF 'GRACE VYCOR PLUS' OR EQUAL & CONCRETE THRESHOLD/ CONCRETE SILL. ALL WINDOWS TO HAVE 1 x F.T. WD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL

ALL EXTERIOR DOORS & WINDOWS TO HAVE 'VULKEM' CAULKING @ BUCK/CMU/ALUM. FRAME CONDITIONS (TYP.) "PGT" CASEMENT / FIXED ALUM. WINDOWS TO BE IMPACT RESISTANT AND COMPLY WALL DADE COUNTY IMPACT AND

WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO

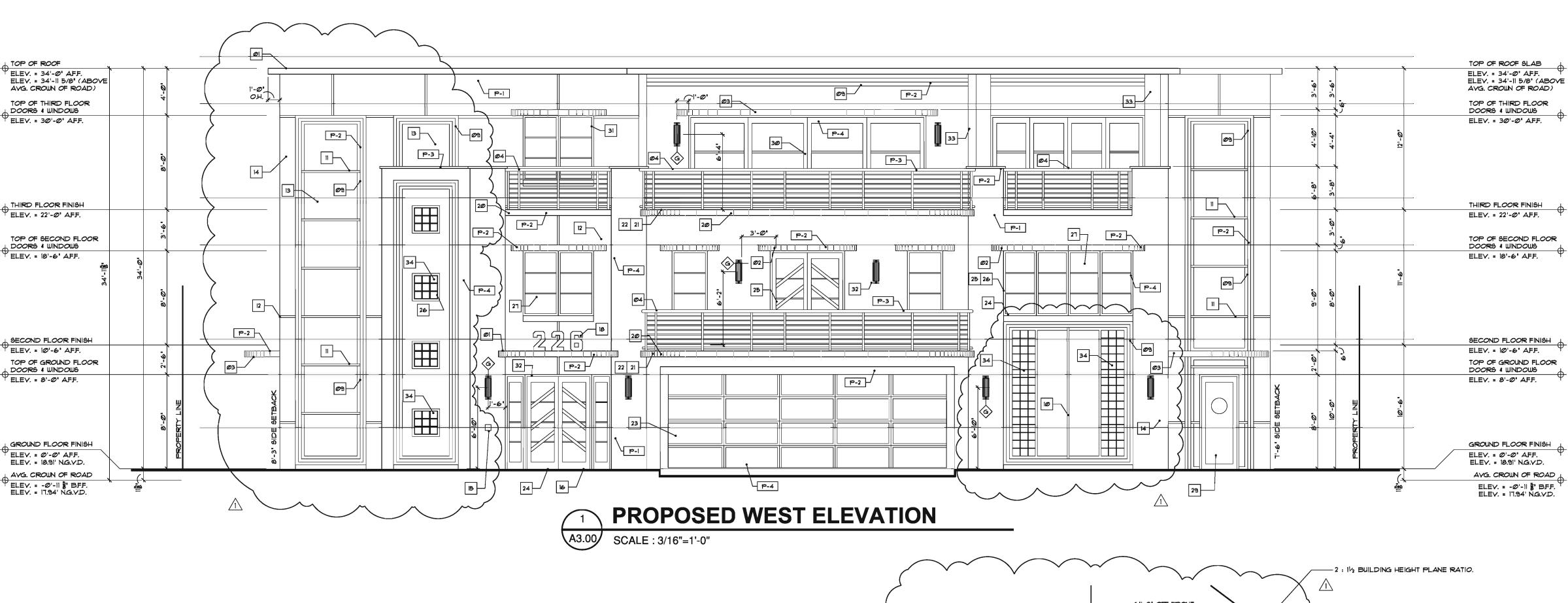
IMPACT RESISTANT 'PGT 3500 4 3550 SERIES' SYSTEM SURFACE APPLIED CLOSURE W/ 'KYNAR 500' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS

ALL EXTERIOR DOORS TO BE IMPACT RESISTANT & HAVE PRODUCT APPROVAL ("FLEMING" D - SERIES OR

WINDOOR' SERIES SIDO ALUM. SLIDING DOORS (COLOR WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE

'PGT' - FAUX - FIXED WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK (TYP.). SEE ELECTRICAL DRAWING FOR ALL EXTERIOR 32 LIGHTING FIXTURES 4 SPECS. (SUBMIT SHOP

DRAWINGS FOR APPROVAL.) SEE FLOOR PLANS FOR LOCATION OF 'TAPERED' CONCRETE COLUMNS W/ %' 2-COATS SMOOTH STUCCO -



61'-8' OFF FRONT SETBACK TOP OF ROOF SLAB TOP OF ROOF SLAB 4 PARAPET ELEV. = 34'-0' AFF. ELEV. = 35'-0" AFF. ELEV. = 34'-11 5/8" (ABOVE ₽-2 AVG. CROWN OF ROAD) 12 25 26 TOP OF THIRD FLOOR TOP OF THIRD FLOOR DOORS & WINDOWS ELEV. = 30'-0' AFF. DOORS & WINDOWS ELEY. = 31'-0' AFF. P-1 P-1 24 P-2 THIRD FLOOR FINISH THIRD FLOOR FINISH Ψ ELEV. = 22'-Ø' AFF. ELEY. = 23'-0' AFF. P-2 TOP OF SECOND FLOOR TOP OF SECOND FLOOR DOORS & WINDOWS ELEV. = 19'-0' AFF. DOORS & WINDOWS TELEV. = 18'-6' AFF. 25 26 P-4 P-2 SECOND FLOOR FINISH SECOND FLOOR FINISH ELEV. = 10'-6' AFF. ELEY. = 11'-0' AFF. TOP OF GROUND FLOOR TOP OF GROUND FLOOR P-2 03 DOORS & WINDOWS DOORS & WINDOWS [†] ELEV. = 8'-0' AFF. ELEV. = 8'-0" AFF. P-2 GROUND FLOOR FINISH GROUND FLOOR FINISH ELEV. = 0'-0' AFF. ELEV. = 0'-0" AFF. ELEV. = 18.91' N.G.Y.D. ELEV. = 18.91' N.G.V.D. AVG. CROWN OF ROAD PELEV. = -0'-11 है' BFF. AVG. CROWN OF ROAD PROPOSED NORTH ELEVATION ELEV. = 0'-0" AFF. ELEV. = 17.94' NG.V.D. SCALE: 3/16"=1'-0"

ELEVATION NOTES

SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN).

(COLOR CHARCOAL GREY.) - TOP OF RAIL MIN. 36'
(BOTTOM RAIL MAX. 2' AFF. - TYP.) - PROVIDE SHOP

34" SCORED LINES IN SMOOTH STUCCO FINISH-PAINTED.

DECORATIVE - STEPPED RAISED SMOOTH STUCCO

I" TH. x 6"HT. SMOOTH RAISED STUCCO SILL/HEADER

CONT. 3 LAYER STEPPED RAISED SMOOTH STUCCO

BANDING - IN RECESSED PANELS - PAINTED (TYP.).

4' x 2] ROUNDED RAISED SMOOTH STUCCO BANDING SURROUND - PAINTED (TYP.).

2 STEPPED RAISED SMOOTH STUCCO BANDING -

WINDOW BANDING, PAINTED (TYP.) - SLOPED FOR POSITIVE DRAINAGE.

EQUAL. (SEE DETAILS ON SHEET AS Q4.)

BAND W/ ROUNDED EDGES, PAINTED (TYP.).

DRAWINGS / SAMPLE. BY 'SOUTH FLORIDA ALUMINUM' OR

6' CONCRETE 9LAB - ROOF DECK W/ 12' OVERHANG (NOTE: TOP OF DECK TO BE PROTECTED W/ 'HYDRO-STOP' PREMIUM COAT SYSTEM OVER ENTIRE 2' RAISED HORIZONTAL SMOOTH STUCCO BANDING -

> 12 1' x 1/2 'd RECESSED SO.... STUCCO LINES - PAINTED. RECESSED SMOOTH STUCCO PANEL ON 6' CONCRETE

| 14 | 5/8' 2-COATS SMOOTH STUCCO PAINTED FINISH.

PER PRODUCT APPROVAL. GRADE (TYP. . ENTIRE PERIMETER). DECORATIVE FIXED ALUMINUM LOUVER SHUTTERS SET

PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). OR EQUAL - ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & 19 4' x 12' EMERGERO : 100 FINISHED ROOF DECK). 4" x 12" EMERGENCY ROOF SCUPPER (2" MIN. 4" MAX. ABOVE

HURRICANE IMPACT 'GLASS BLOCK' BY PITTSBURGH CORNING (THICKSET 90 BLOCK - ENDURA PATTERN) OR

rchitecture,ina

Architect, Planner and Designer AA-26002044 205 George Bush Blvd.

FAX: 561-276-6129 ISSUED FOR BIDS

Delray Beach, Florida 33444

PERMIT 5. 22. 15 CONSTRUCTION

TEL: 561-276-6011

PROJECT TITLE

PROPOSED MIXED USE BUILDING

226 PALM COURT **DELRAY BEACH, FL**

CLIENT APPROVAL

REVISIONS

REVISED Ø1.15.16 AS PER P4Z 1. REDUCED AMOUNT OF STUCCO AND ADDED 'GLASS-BLOCK' -

WINDOWS. 2. ADDED 'KNOX-BOX' AT MAIN

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING

FILE NUMBER 0302A300

DRAWING TITLE

ONLY.

PROPOSED ELEVATIONS

DRAWN BY 04.07.15 GE/JC

20150302

DRAWING NUMBER

JOB NUMBER

LIGHT FIXTURES ACCESS LIGHTING: "HOO49" OUTDOOR WALL SCONCE OR EQUAL ALL LIGHT FIXTURES TO BE APPROVED BY PAINT LEGEND ALL SURFACES TO BE CLEANED 4 PRIMED AS PER BENJAMIN MOORE.

P-I ACADIA WHITE *AC-41 (MAIN BODY OF BUILDING)

P-2 TOFFEE ORANGE 2161-40 (CONCRETE EYEBROWS 4 STUCCO BANDING)

P-3 KENDAL CHARCOAL - *HC-166 ALUMINUM LOUVERS AND RAILINGS.

P-4 BRILLIANT WHITE DOORS, WINDOWS AND BANDING, NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY, CONTRACTOR TO PROVIDE SAMPLES FOR OUNER APPROVAL.

WIND PRESSURES (PSF EXTERIOR DOORS, WINDOWS, WALLS, COMPONENTS AND CLADDING TRIBUTARY ZONE (4) ZONE (5) AREA (ft) (+) POSITIVE (-) NEGATIVE (+) POSITIVE (-) NEGATIVE -57.7 1 TO 20 43.1 -46.7 21 TO 50 40.9 -532 40.9 -445 -422 -48.7 51 TO 100 101 TO 150 -403 36.7 -44.8 151 TO 250 -39.2 -42.6 NOTES: ZONE 5 IS DEFINED AS ANY DOOR OR WINDOW WITHIN 4'-0' FROM ANY CORNER OF THE BUILDING. ALL OTHER LOCATIONS ARE DEFINED AS ZONE 4

EXTERIOR STUCCO

METAL LATH APPLICATION: 1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE. 2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER LEAVE ROUGH TO RECEIVE FINISH COAT.

3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT, APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER

4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS + TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM. 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH! TOTAL (1) INCH THICK, AREAS! TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH

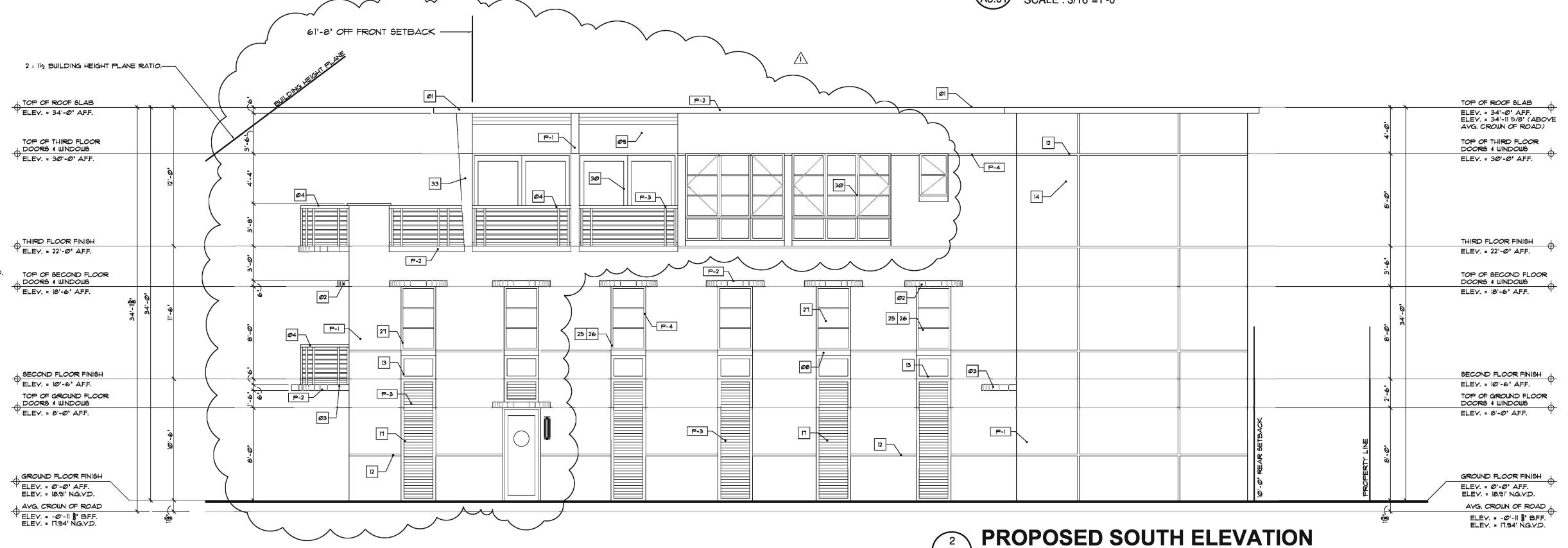
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR

7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8' SLOPE FOR PROPER SHEDDING OF RAIN WATER.

8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMPLING WITH ASTM D 578 AND WEIGHING NOT LESS THAN 8 OZ. PER SQUARE YARD.

NOTES:	
. DO NOT SCALE DRAWINGSI 2. FIELD VERIFY ALL DIMENSIONSI	
B. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DESCRIPANCY W/DRAWINGS. (SEE GENERAL NOTES)	
4. ALL AREA CALCULATIONS ARE APPROX.	
5. ALL EXTERIOR DOOR & WINDOW LOCATION TO MATCH EXTERIOR ELEVATIONS- SEE SHEETS A300 & A301.	18
6. CONTRACTOR TO PROVIDE "KNOX-BOX" (PROVIDE KEYS FOR BOTH FRONT ENTRY DOORS AND OVERHEAD GARAGE DOOR).	
 GARAGE, REAR AND SIDES OF PROPERTY TO BE PROVIDED WITH SURVEILLANCE CAMERA'S - VERIFY ALL LOCATIONS W/OUNER FIRE SPRINKLER SYSTEM TO BE PROVIDED 	
W/ A CENTRAL STATION-MONITORED FIRE ALARM.	

TOP OF ROOF SLAB	01		P-2					- - - 	TOP OF ROOF SLAB
FLEV. = 34'-0' AFF. ELEV. = 34'-11 5/8' (ABOVE AVG. CROWN OF ROAD)									ELEV. = 34'-0' AFF. ELEV. = 34'-11 5/8' (ABOVE AVG. CROWN OF ROAD)
TOP OF THIRD FLOOR DOORS & WINDOWS								n n	TOP OF THIRD FLOOR DOORS & WINDOWS
# ELEV. = 30'-0' AFF.	P-I	25 26 P-4	27		25 26				ELEV. = 30'-0' AFF. Y
THIRD FLOOR FINISH ELEY. = 22'-0' AFF.								***	THIRD FLOOR FINISH ELEV. = 22'-0' AFF.
TOP OF SECOND FLOOR		12		P-2		Ø8/		- m	TOP OF SECOND FLOOR
DOORS 4 WINDOWS ELEV. = 18'-6' AFF.		Ø2 -		Ø2				6	DOORS & WINDOWS ELEV. = 18'-6' AFF.
94'-II	14	27 P-4	27		12	25 26			
SECOND FLOOR FINISH		13	Ø8-/		13				SECOND FLOOR FINISH A
ELEV. = 10'-6' AFF. TOP OF GROUND FLOOR		P-3			32 7	P-3			ELEV. = 10'-6" AFF. TOP OF GROUND FLOOR
DOORS & WINDOWS ELEV. = 8'-0' AFF.	V								DOORS & WINDOWS ELEV. = 8'-0' AFF.
	DE 9ETBAQ		□	DVERED PARKING	17	п	DE 9ETBAC	RTY LINE 10'-6'	
GROUND FLOOR FINISH ELEY. = 0'-0' AFF. ELEY. = 18.91' NG.Y.D.	70 70 70 70 70 70 70			[P-					GROUND FLOOR FINISH ELEV. = 0'-0' AFF. ELEV. = 18.91' NG.V.D.
AVG. CROWN OF ROAD									AVG. CROWN OF ROAD
ELEV. = -0'-11 8' BFF.						PROPOSED	EAST ELEVA	TION	ELEV. = -0'-11 \$' BFF. ^Y ELEV. = 17.94' NG.YD.
					AS	3.01 SCALE : 3/16"=1'-0"			
	61'-8" OFF FRO	ONT SETBACK							
2: 1½ BUILDING HEIGHT PLANE RATIO.——	WE LEGAL F. C. AME			\triangle					
L TOP OF ROOF SLAB		Ø1	P-2	\sim	0				TOP OF ROOF SLAB



SCALE: 3/16"=1'-0"

ELEVATION NOTES

6' CONCRETE SLAB - ROOF DECK W/ 12' OVERHANG (NOTE: TOP OF DECK TO BE PROTECTED W/ 'HYDRO-STOP' PREMIUM COAT SYSTEM OVER ENTIRE

1'-0' EXTENSIONS BEYOND JAMB), PAINTED (TYP. . DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE 6' POURED IN PLACE CURVERED CONCRETE CANOPY 3 | SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN).

6'HT. x 12' CURVED P.I.P. CONC. HEADER - EYEBROWS (W/

ALUMINUM DECORATIVE RAILING W/ POWDER COAT FINISH (COLOR CHARCOAL GREY.) - TOP OF RAIL MIN. 36'
(BOTTOM RAIL MAX. 2' AFF. - TYP.) - PROVIDE 9HOP DRAWINGS / SAMPLE. BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (SEE DETAILS ON SHEET AS Q4.)

| 5 | 34' SCORED LINES IN SMOOTH STUCCO FINISH-PAINTED.

DECORATIVE - STEPPED RAISED SMOOTH STUCCO 6 BAND W/ ROUNDED EDGES, PAINTED (TYP.).

2 STEPPED RAISED SMOOTH STUCCO BANDING -

I' TH. x 6'HT. SMOOTH RAISED STUCCO SILL/HEADER WINDOW BANDING, PAINTED (TYP.) - SLOPED FOR POSITIVE DRAINAGE.

CONT. 3 LAYER STEPPED RAISED SMOOTH STUCCO 9 BANDING - IN RECESSED PANELS - PAINTED (TYP.).

4' \times $2^{1\over2}$ ' ROUNDED RAISED SMOOTH STUCCO BANDING SURROUND - PAINTED (TYP.).

4' x 2½' ROUNDED RAISED VERTICAL (CURVED SMOOTH STUCCO BANDING - PAINTED (TYP.).

2' RAISED HORIZONTAL SMOOTH STUCCO BANDING -PAINTED (TYP.). I' \times $last_2$ 'd RECESSED JOINT FRY-REGLET OR EQUAL SCORED

12 STUCCO LINES - PAINTED. RECESSED SMOOTH STUCCO PANEL ON 6' CONCRETE 13 BLOCK - PAINTED.

14 5/8' 2-COATS SMOOTH STUCCO PAINTED FINISH.

CONTRACTOR TO PROVIDE 'KNOX-BOX' AS PER DELRAY FIRE DEPT. (ACCESS FOR MAIN ENTRY AND GARAGE DOOR).

EXTERIOR STUCCO TO EXTEND A MIN. 1'-0' BELOW GRADE (TYP. . ENTIRE PERIMETER). DECORATIVE FIXED ALUMINUM LOUVER SHUTTERS SET

IN A 45 DEGREE OPEN POSITION W/ E.S.P. POWDER COAT FINISH (COLOR - CHARCOAL GREY) - BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. SIGNAGE LIGHTING / NUMBERS TO BE BY OTHERS (UNDER SEPARATE PERMIT) - VERIFY W/ OWNER

(CONTRACTOR TO PROVIDE POWER). 4' x 12' EMERGENCY ROOF SCUPPER (2' MIN. 4' MAX. ABOVE

POURED IN PLACE CONC SLAB. SEE STRUC DIUGS (TYP.) 20 ALL BALCONIES TO SLOPE 1/FT.

21 CONT 1 1/4"HT. x 4" COPPER DRIP EDGE # ALL BALCONIES

BALCONIES. 22 ALL BALCONIES/PORCHES TO RECEIVE 'STONE PAVERS' OR EQUAL. NON-SLIP W/ BULLNOSE AT THE OUTER EDGE. DECK TO BE MUDSET OVER .125' LIQUID WATERPROOFING ON CONC. DECK, "VULKEM 360" OR EQ. (REQ. GAMPLE

FOR OWNER APPROVAL). ONTRAC' - GARAGE DOOR COMPANY - 'ATHENA GLASS'
OVERHEAD GARAGE DOOR - NON - HURRICANE IMPACT OR EQUAL. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN

24 MASTIC OVER (1) LAYER OF 'GRACE VYCOR PLUS' OR EQUAL 4 CONCRETE THRESHOLD/ CONCRETE SILL. ALL WINDOWS TO HAVE I x F.T. WD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.

26 ALL EXTERIOR DOORS & WINDOWS TO HAVE 'VULKEM' CAULKING ® BUCK/CMU/ALUM, FRAME CONDITIONS (TYP.) 'PGT' CASEMENT / FIXED ALUM. WINDOWS TO BE IMPACT RESISTANT AND COMPLY WALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO

IMPACT RESISTANT 'PGT 3500 4 3550 SERIES' SYSTEM 28 OR EQUAL- ALUMINUM GLAZED STOREFRONT ENTRY SYSTEM WITH STANDARD PUSH & PULL HARDWARE & SURFACE APPLIED CLOSURE W'KYNAR 500' OR EQUAL FINISH - (COLOR TO BE WHITE) - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS

PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).

ALL EXTERIOR DOORS TO BE IMPACT RESISTANT & HAVE PRODUCT APPROVAL ('FLEMING' D - SERIES OR

'WINDOOR' SERIES SIDE ALUM. SLIDING DOORS (COLOR WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE

'PGT' - FAUX - FIXED WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK (TYP.) SEE ELECTRICAL DRAWING FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (SUBMIT SHOP DRAWINGS FOR APPROVAL.)

SEE FLOOR PLANS FOR LOCATION OF 'TAPERED' CONCRETE COLUMNS W/ %' 2-COATS SMOOTH STUCCO - PAINTED FINISH.

HURRICANE IMPACT "GLASS BLOCK" BY PITTSBURGH CORNING (THICKSET 90 BLOCK - ENDURA PATTERN) OR EQUAL.

226 PALM COURT **DELRAY BEACH, FL**

rchitecture,inc

Architect, Planner and

Designer

! ISSUED FOR

CONSTRUCTION

PROJECT TITLE

PROPOSED

MIXED USE

BUILDING

BIDS

PERMIT

AA-26002044

205 George Bush Blvd.

FAX: 561-276-6129

Delray Beach, Florida 33444 TEL: 561-276-6011

PLANNING & ZONING

5. 22. 15

CLIENT APPROVAL

COMMENTS:

ENTRANCE.

REVISIONS REVISED Ø1.15.16 AS PER P&Z

> I. REDUCED AMOUNT OF STUCCO AND ADDED 'GLASS-BLOCK' -WINDOWS. 2. ADDED 'KNOX-BOX' AT MAIN

THIS DRAWING IS NOT FOR CONSTRUCTION,

IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

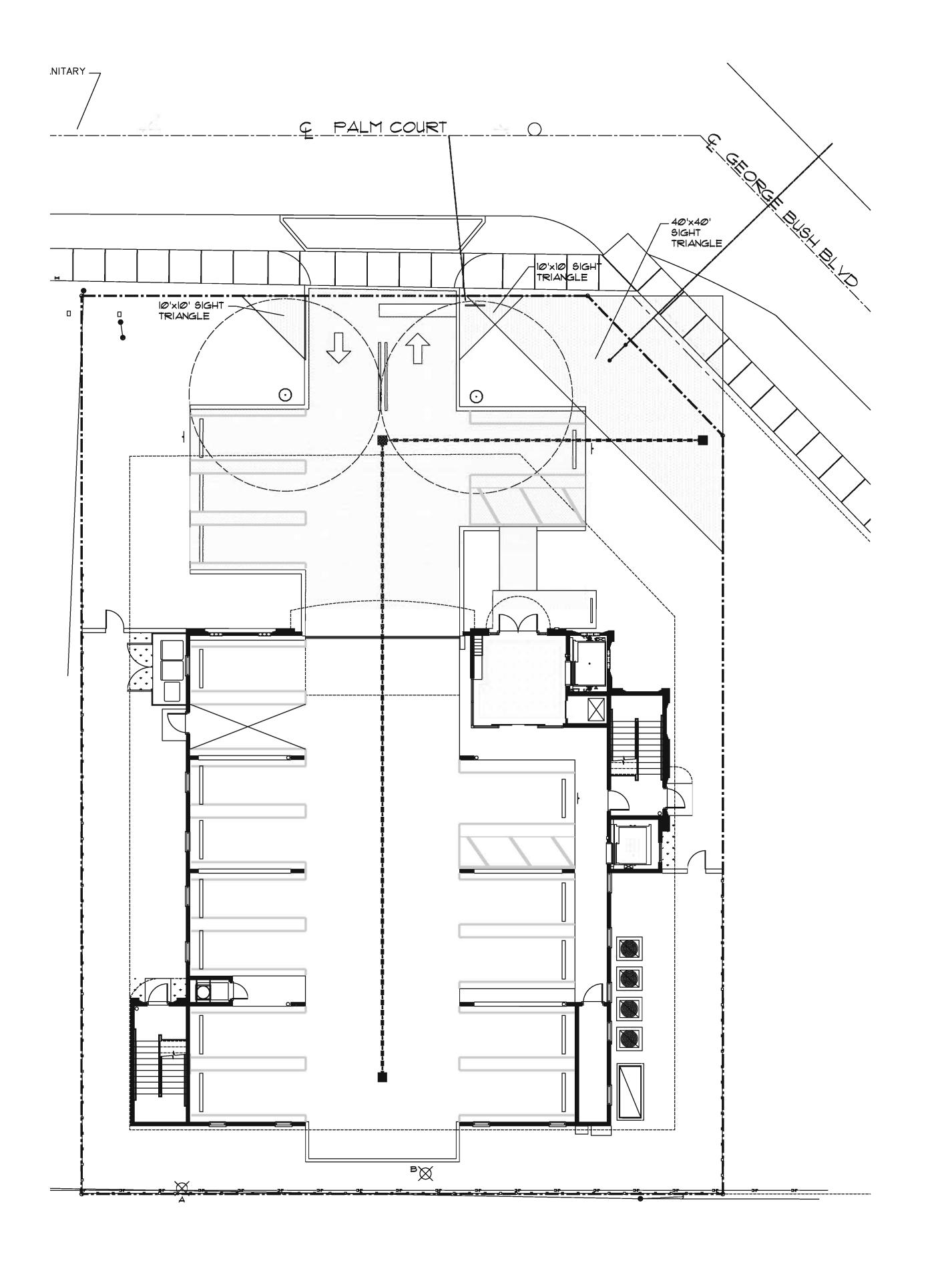
FILE NUMBER 0302A301

DRAWING TITLE

PROPOSED ELEVATIONS

DRAWN BY 04.07.15 GE/JC JOB NUMBER 20150302

DRAWING NUMBER



EXISTING TREE LIST

<u>STATUS</u> 14' o.a. ht., 18" cal. remove 25' o.a. ht. good condition

LEGEND

X EXISTING TREES TO BE REMOVED

(•) EXISTING PALMS TO REMAIN

PROPOSED PALMS

PROPOSED TREES

project: **medical**

office building

delray beach
florida

dave bodker landscape architecture/planning inc.

601 n. congress ave.. suite 105-a delray beach, florida 33445 561-276-6311

#LAO000999

sheet title:

existing

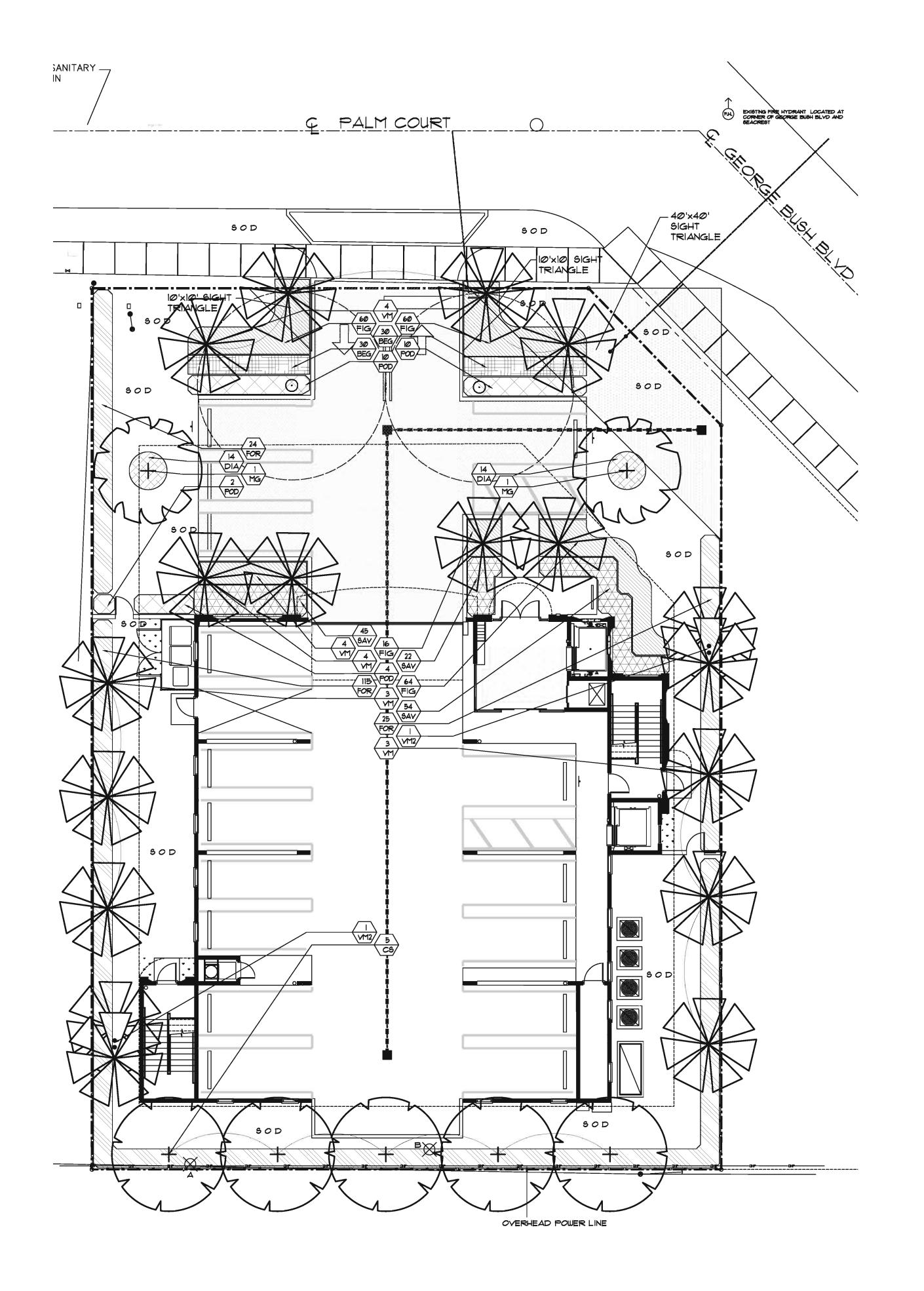
tree plan

project number: 3515 date: scale: drawn by: 12-8-15 1° = 10° jae

revisions: 1-18-16 comments 2-8-16

sheet:





PLANT LIST

St. Augustine Floratam

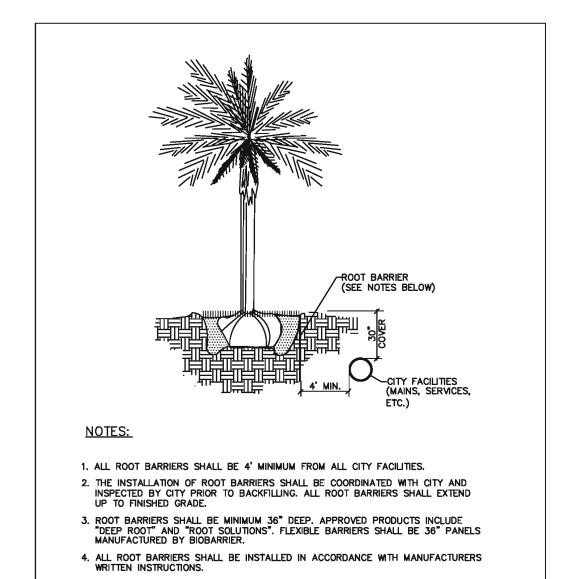
<u>5YM</u> C5	BOTANICAL/COMMON NAME Conocarpus e. sericeus Silver Buttonwood	SPECIFICATIONS 12' ht. × 6' spr., 2" cal.	<u>QTY</u> 5
MG	Magnolia grandiflora Southern Magnolia	16' ht. x 5' spr., 3" cal.	2
VM	Vietchia montgomeryana Montgomery Palm	20' oa. ht.	18
√ M2	Vietchia montgomeryana Double Montgomery Palm	20' o.a. ht., double trunk	2
BEG	Begonia 'angelwing' White Angelwing Begonia	18" ht. x 18" spr., 18" o.c.	60
DIA	Dianella tasmanica Blueberry Flax Lily	12" ht. x 12" spr., 18" o.c.	28
FIG	Ficus microcarpa Green Island	10" ht. x 10" spr., 18" o.c.	200
FOR	Forestiera segregata Florida Privet	24" ht. x 18" spr., 24" o.c.	164
POD	Podocarpus macrophyllus Podocarpus Hedge	48" ht. x 24" spr., 24" o.c.	26
SAY	Sansevieria variegata Variegated Snake Plant	12" ht. x 12" spr., 18" o.c.	12
SOD	Stenotaphrum secundatum	full, fresh sod	as reqic

CODE COMPLIANCE DATA

A	TOTAL LOT AREA		13 © TTEI
8	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		8310 3
c	TOTAL PERVIOUS LOT AREA	C = (A - B)	5460 8
D	AREA OF SHRUBS AND GROUND COVERS REQUIRED	D = (C x 3Ø)	1638 8
E	AREA OF SHRUBS AND GROUND COVERS PROVIDED		ie Fiel
F	NATIVE VEGETATION REQUIRED	F = (D x 25)	410 8
G	NATIVE VEGETATION PROVIDED		384 83
н	TOTAL PAVED VEHICULAR USE AREA		2133 8
1	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I = (H x .1∅)	213 6
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		900 8.
K	TOTAL INTERIOR SHADE TREES REQUIRED	K = (1/125 9F.)	2 TREE
L	TOTAL INTERIOR SHADE TREES PROVIDED		3 TREE
М	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS!		2 <i>0</i> 9 Li
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N = (M/3Ø) N = (M/25) IF ADJACENT TO PROPERTY IN RESIDENTIAL USE	7 TREE
0	TOTAL NUMBER OF PERIMETER TREES PROVIDED		8 TREE
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE		I TRE
a	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q = ((K + N) x 50)	5 TREE
R	TOTAL NUMBER OF NATIVE TREES PROVIDED		1 TREE
8	TOTAL NUMBER OF TREES ON PLAN		II TREE

* VII.A NOT UNDER BUILDING

- ALL PLANT MATERIAL SHALL BE FLORIDA I GRADE OR BETTER
 MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
 ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
 ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.
 SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
 THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
 ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1,1 & LD 12.



TYPICAL TREE WITH ROOT BARRIER LD 1.1

THE CONTRACTOR MUST ADHERE TO THE FOLLOWING:

(n) Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing

grade, except for a 12" buffer from the inside of curb or pavement (see diagram below). A suitable planting soil mixture of fifty/fifty (50/50),

sixty/forty (60/40) (sand/topsoil) or as otherwise indicated by the Registered Landscape Architect, shall either be backfilled in place of

the native soil or efficiently mixed with the native soil to create an

to be mixed, it shall first be screened to remove rocks and debris larger

than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed

inspection prior to backfilling to insure the thirty (30) inch depth has

BACK OF CURB (TYP)

EXCAVATION AREA (30" DEPTH)

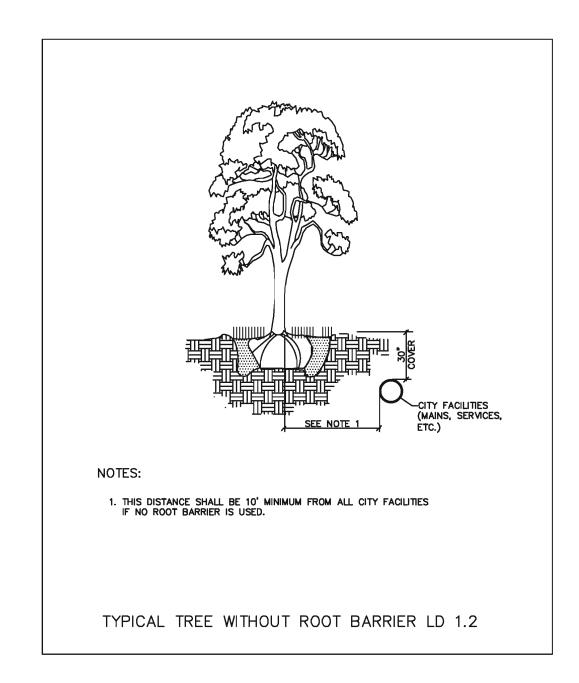
COMPACTED SOIL (12" WIDE)

optimum environment for successful root development. If native soil is

DETAIL

been met. [Amd. Ord. 6-12 2/21/12]

1'0"---



project: medical office building delray beach florida

dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

#LA0000999

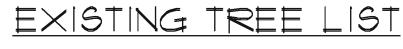
sheet title: planting

plan

project number: 3515 date: 12-8-15 scale: 1' = 10' drawn by:

revisions: ⚠ 1-18-16 comments <u>A</u> 2-8-16

sheet:



TREE TYPE Sabal palm Sabal palm

DESCRIPTION 14' o.a. ht., 18" cal. 25' o.a. ht. good condition

LEGEND EXISTING TREES TO BE REMOVED

•) EXISTING PALMS TO REMAIN

PROPOSED PALMS

PROPOSED TREES



<u>STATUS</u>

remove

remove

Applicable Documents

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and

A. The work epecified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, equipment, materials, services and incidentals necessary complete the work as indicated on the Plans and in the Specifications, as well as all other related esponsibilities, including all change and repairs incident

B. The work shall include, but not be limited to, furnishing the public excavation, installation, backfilling, grading fertilizing, mulching, staking and guying where required watering, pruning where required, sod installation, weeding

C. Quantities and Location: The Landscape Architect reserved the right to adjust the numbers and locations of the esignated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.

D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive

E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The ntractor's unit prices shall be the basis for said payment. The final amount of payment may or may not be the total eum of the contract depending on the number of units installed.

F. Ten percent (10%) of the total contract price will be held as retainer for 30 days after final written acceptance.

G. The Landscape Contractor will coordinate his work with all other trades at the job site.

(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to until The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an

(3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third

(4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

I. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants"

J. Plant material shall not be accepted when the ball of earth

K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

A. Sod shall be solid sod and shall be standard quality grade Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida Inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to suppor when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been moued at least three times with a lawn mower with final mowing not more than

seven days prior to the sod being cut for placement. The soc shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh ar uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architec etains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory of defective material at any time during the progress of work shrubs within I days from the project site.

B. Responsibility for Assuring Quality Work:

(1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation project area and coordination between the nursery and

(2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be maible for maintaining the quality of the material

(3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape

friable condition.

A. Mulch shall be:

(1) "Floramulch

A. New and existing Trees and Palms

per manufacturer's recommendations.

C. Annuals: Fertilize with Osmocote - Sierra

biend 14-14-14 or approved equal.

(1) Plant material shall be Florida 9 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

(2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been cut back from larger arades to meet certain specification requirements will be

(3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bank, plant diseases, insect past aggs, barers, and all forms of infestations or objectionable disfigurements.

A. All plant material, unless indicated otherwise, shall be

installed with a planting soil composed of sandy loam (50%

sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a

calcium or carbonate. Soil shall be delivered in a loose

A. Potable, from municipal water supplies or other sources which

are approved by a public health department.

Fertilize with 8-2-12 palm fertilizer with micronutrients

B. New and existing thrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a

D. Composition and Quality: All fertilizer shall be uniform in

E. All fertilizer shall comply with the State of Florida

composition and dry. Granular fertilizer shall be free

flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's

slight acid reaction (5.5 to 6.5 ph) and without an excess of

Delivery, Handling and Storage:

(1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.

(2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be covered to prevent wind damage during transit.

(1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.

A. Written request for approval to substitute a plant species or a plants designation (B4B, WB4B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availa the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is

B. Any request for the approval of an equal shall be in writing. roval shall be given by the Landscape Architect before the material is delivered and installed on the project.

C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.

D. If requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these naterials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item. showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also,

requirement of staking or guying.

EXECUTION

jurisdiction the project is located in.

A. Utilities (Above Ground and Underground):

have been indicated on the Plans.

batters used in staking and guying shall not be attached to the plant material with nails. Any method of staking and

installation. Under no circumstances will approval be given

B. The Contractor is responsible for performing all staking and

(1) The work area may have existing utilities, such as, but

not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities

guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local

guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their

to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or

E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered

and installed on the project. eample and analysis of the mulch for approval by the Landscape If requested by the Owner or Landscape Architect, submit a Architect before the material is delivered and installed on

Submit three prints of shop drawing for all staking an guying methods to be used if the ones indicated in these specifications and on the Plans are not to be implemented. staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of

J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the

quarantee of plant material.

K. Submit in writing any hindrance to the timely completion of the installation.

. Submit and Certificate of inspection of plant material as may be required by, State , local or Federal Authorities.

 When the specifies plant designation (B4B, WB4B, CG etc.) type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along wit written, documented proof that the plant designation (B4B, WB4B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitted in writing and approved as a substitute by the Landscape ct. Also, ant changes, if any, to the contract amou because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the

However, no quarantee is implied that the Plans are

the Contractor to verify the location of all such

accurate or complete. It shall be the responsibility of

utilities, structures, etc., bu hand excavation or other

could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a

thorough search of the site for utilities, structures,

etc., before work is commenced in any particular

(2) The Contractor shall take immediate steps to repair.

replace, or restore all services to any utilities or

to maintain uninterrupted use of the facilities. Al

ther facilities which are disrupted due to his or he

additional outside services which may be necessary t

prosecute repairs on a continuous "around the clock

basis until services are restored. He or she shall also

costs involved in the repairs and restoring disrupted

service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or

she shall be fully responsible for any and all claims

(3) Should utilities, structures, etc., be encountered which

(4) The Contractor shall not purposefully disrupt or

interfere with the work, the Landscape Architect shall

be consulted immediately in order for a decision to be

made on the relocation of the work so it will clear the

disconnect any type of utility whatsoever without first

writing and received by the Landscape Architect at least

72 hours prior to the time of the requested interruption.

conforms to surrounding grades and is at the proper elevation

obtaining the written permission of the Landscape

Architect. Requests for disconnection must be in

A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas

with relation to walks, paving, drain structures and other

B. Plant Area Next to Pavement: All planting areas next to

A. Staking Plant Locations: Stake or mark plant material

locations prior to plant hole excavation, based on

pavement areas, such as, but not limited to, curbs, roads,

the TOP OF THE MULCH IS I INCH BELOW THE TOP OF THE

PAYEMENT AREA or as indicated otherwise on the plans

Edge and weed all shrubs, groundcover and flower beds

irives, walks, terraces, decks and slabs shall be set so that

resulting from the damage.

provide and operate any supplemental temporary service

appropriate measures before performing any work that

A. The guarantee shall not begin until the day final written eptance is given.

B. All plant material, except sod, trees and palms, shall be guaranteed for a minimum of I year from the time of final icceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final

C. The quarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hall, freeze, lightning, and winds which exceed hurricans force, providing the plant was in a healthy growing condition prior to these "Acts of God".

D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantes períod.

A. The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the

(2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications.

(3) It is dead.

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

C. Size, Quality, and Grade:

(1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined

B. Spacing of Groundcover 4 Shrubs: The location of a planting bed (shrub or groundcover) next to another bed, walkway, structure, etc., shall have the plants along the

without growing into the other bed, walkway, structure, etc C. The rootballs of B4B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.

perimeter spaced so that the plants can mature properly

D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerock proper plant survival and growth and therefore removal of this material is part of the scope of work for the project The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, dril rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to

E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are rcceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residua which have been established are not altered.

F. Excavation of Plant Holes:

a. Excavation of plant holes shall be roughly sylindrical in shape with the sides appro vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.

b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the

Installation:

Groundcovers

Trees

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

B. Setting of Plants:

off the job site.

(1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the plantin pits with water. The plant hole shall be backfilled with topeoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air bockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and apped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil

However, if for some reason, the plant to be replaced is

replacement shall be at least equal to the originally

(3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the

Plans and Specifications, the Contractor shall refer the same

In resolving conflicts between the Plans and Specifications THE PLANS SHALL GOVERN over the Specifications. The

apparent errors or omissions in the Plans and Specification

ssary for the proper fulfillment of the intent of the

and to make such interpretations as he or she may deem

Landscape Architect shall have the right to correct

A. The Contractor shall procure all necessary permits to

B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and

and/or Federal jurisdiction the project is located in.

A. The Contractor shall not start on any changes or additional

4. The words "Job site", "project site", "Job", "project" and

"site" shall be synonymous with one another when used in

A. In performing the ecope of work, all eafety on of off the job

site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or

work in the project until a written agreement setting forth

the adjusted contract amount has been executed by the Owne

additional work prior to the execution of a written agreement

and the Contractor. Any work performed on any changes or

code requirements from the appropriate city, county, state

to the Landscape Architect for an interpretation and decision.

(2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee

smaller than the size originally specifies, the

Plan and Specification Interpretation:

Plans and Specifications.

accomplish all of the work

Changes and Additional Work

"Job Site, "Project Site Etc.":

Safety On and Off the Job Site:

may or may not be compensated for.

(2) All sabal and queen palms shall be backfilled with clear thoroughly washed in during the planting operation. (3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or paim

(4) Plant material of the strub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks Girdling, bank slippage, limb breakage and any other damage that might occur by improper handling o

pit and maintained in place.

(5) All trees and paims shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

(6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.

C. Bod:

(1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner: a. Uniformly apply formula 8-8-8 fertilizer over the

area at a rate of 25 pounds per 1,000 square feet. b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.

c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

On Site Observations and Inspections

A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.

B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in

C. An inspections at the growing site does not preclude the right of rejection at the project site. D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work of

work omitted, or work performed which is not in accordance

with the contract requirements, shall not bar the Landscape

Architect from subsequently rejecting such work at a later E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take

charge, organize or manage the Contractor while performing the ecope of work indicated in these Specifications.

Plant Material

A. Plant material shall be nursery grown except:

(1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant material which is only available as a collected item from sources such as residences.

B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida 4, or better, at plant material to remain or to be relocated shall be excluded *ro*m this requirement.

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound healthy, vigorous and free from insects, plant diseases and

(2) Placing Sod:

 Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.

b. Water sod every day for a period of three weeks. c. Fertilize cod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawn

d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State or Federal Department of Agriculture.

(3) Maintenance of Sod: a. It shall be the responsibility of the Contractor to

replace any areas of sod that are not in healthy growing condition.

b. The Contractor shall completely maintain the soci until final acceptance by mowing or epraying as necessary.

(1) Spread eix inches of topsoil mixture uniformly over the entire planting area.

(2) Spread 50% organic fertilizer at a rate of 4 pounds pe 1000 square feet uniformly over the groundcover area.

(3) Rotor mix, or by other approved method, to a depth of (4) Fine grade to remove all trash, rocks, and debris to

(5) Regrade to finish grade before adding two inches mulch. (6) Thoroughly water and firm the plants into the soil mixture.

E. Mulch: (1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before

(2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

project:

medical

(1) in the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

2" as follows:

CALIPER

55" or more

a. Rootball: Requirements for the measurement of

MIN BALL DIA.

Increase in

minimum rootball diameter and depth shall comply

and Standards for Nursery Plants, Part 1 and Part

Height: The height of plant material shall be measured from finish grade and continue up to where

branches, limbs or fronds, which extend out beyond

the main mass of the plant uniformly ends. The

parts of the plant, such as leaves, shoots,

the main mass of the plant.

planting on the project

indicated on the plane.

soil away from the roots.

F. Watering

height shall not include any singular or isolated

E. Die-Back and Leaf Drop: plant material showing signs of die-

Architect. Therefore, any plant material with tendencies

back of leaf-drop will not be accepted and must be removed

from the project immediately if so directed by the Landscape

to provide a sound network of hair roots prior to relocation

F. Mechanical Destruction of Foliage: Mechanical destruction of foliage resulting from root pruning shall not effect more

project. Loss of foliage caused by seasonal change will be

than 10% of the total foliage prior to planting on the

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists

on plant material, it shall be completely removed prior to

(1) Remove a minimum of fronds from the crown of the palms

to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth of

(1) Initially, water the plant material to develop uniform

(2) Provide continuous watering of plant material after

to establish plants. Water shall be applied as

necessary and the amount of water and frequency of

plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This

shall be watered, only during this period. Do not rely

required, without flooding areas beyond where water is

needed and/or over watering other landscape material.

shrubs, groundcover and sod may be watered by using the

onsible for supplying water for watering, by suc

on the irrigation system, if there is one, to achieve

rrigation system, if there is one hand water

(3) If there is no source for water available at the

means as a water truck or tank

any pruning and thinning.

G. Pruning and Thinning:

approved for use, then the Contractor shall be

(1) The amount of general pruning and thinning shall be

limited to the minimum necessary to remove dead or

injured twigs and branches and to compensate for the

oss of roots as a result of transplanting operations.

watering shall begin after the plant is planted and

approximately 3 inches, or other depth as indicated

trees and palms in sod areas and any other areas as

otherwise, over all shrub and groundcover areas, around

coverage and deep water penetration to the full depth of

the root zone. Avoid erosion, puddling, and washing

planting in order to achieve optimum growth conditions

watering shall be based on the specific needs of each

toward leaf-drop or die-back must be root pruned early enough

with the Florida Department of Agriculture's "Grade

MIN. BALL DEPTH

60% of dia.

60% of dia.

60% of dia.

then decrease i

proportion for larger

up to 48",

GENERAL NOTES

I. ALL PLANTS TO BE FLORIDA NO. I OR BETTER

NO BUBBTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A

4. GUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY.
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN
ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLANT

LIST IN ALL CASES, SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING 5. CONTRACTOR 16 RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE

6. CONTRACTOR 18 RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS SHOUN ON LANDSCAPE ARCHITECT'S PLANTING PLANS. 1. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS,

ETC., IN A PERPENDICULAR LINE. 8. ALL TREES AND PALMS TO BE STAKED AND GUYED.

9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3". 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND

50% SAND AND BE FERTILE, AND FRIABLE, II. GROUNDCOVER AND CHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN. 12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS, THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.

13. TREES AND PALMS TO BE GUARANTEED FOR ONE (1) YEAR, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED FOR NINETY (90) DAYS AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE. ST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT

LAND8CAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' B. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY COUNTY, STATE) SHALL BE ERADICATED PROM THE SITE. THIS

NCLUDE6 BUT 16 NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER

ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.

18. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

19. ALL PLANTING BEDS THAT ARE ADJACENT TO PAYING ARE TO BE LOWER THAN THE ADJACENT PAYING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAYING. 20. ALL PLANTING IBLANDS WITHIN THE PARKING LOT AREA MUST HAVE A MINIMUM 3" DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD GLIALITY, TO PROMOTE PLANT GROWITH, OR OF REPLACEMENT SOIL (50% MICK, 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS.

specifications details, notes

date: 12-8-15 scale: n.t.s. drawn by: jae

revisions:

especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if directed by the Landscape Architect. For wire, hog wire shall be used and it shall be placed around the root before before the plant is removed from the hole for relocation. The wire shall be looped and tensioned until the burlapped ball is substantially packaged by

i. Removal of Plant Material: (1) All plant material to be removed shall be removed completely, including the rootball, from the Job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting so as directed by the Landscape Architect.

determined by the Landscape Architect prior to (2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with requirements as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2", as

(1) All existing plant material to be relocated shall be

root pruned a minimum of 4 weeks or for a period as

J. Existing Plant Material to be Relocated:

CALIPER MIN. BALL DIA MIN. BALL DEPTH 1 - 15" 15% of dia. 65% of dia. 65% of dia. 2 - 2.5" 65% of dia. 65% of dia. 4 - 45" 60% of dia. 45 - 5" 60% of dia. 5 - 55" 60% of dia. 60% of dia. up to 48", then decrease in proportion for larger

size diameter. (3) Root pruning shall be accomplished by digging a trench completely around the plant about 18 inches deep. All

(4) A mixture of good organic fertilizer and planting soil

(5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the roots during handling.

A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis paved areas including curbs and sidewalks which have been

B. Excess Fill: All excess fill which results from the installation of the project shall remain the property of the Owner and remain on the project at the option of the Owner. All excess fill which the Owner does not want shall be removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from the site until approved by the Owner or Landscape Architect Excess fill shall be disposed of as directed.

B. Protection Against Mechanical Damage: The Contractor's responsibility for protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which becomes damaged as a result of any negligence of the Contractor or his or her employees in complying with these

completion as defined below, of the entire project, the Landscape Architect, along with other appropriate parties, will make an inspection within 48 hours after the written notice. If all construction provided for and compensated b the contract is found to be completed in accordance with the contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be notified in writing of final acceptance as of the date of the

from the Job or as directed by the Landscape Architect. And strewn with soil, sod waste, fertilizer or other debris shall be thoroughly swept.

A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury

Completion and Final Acceptance:

A. Upon written notice from the Contractor of the presumptive

B. If however, the inspection mentioned in paragraph A, above

of work, another inspection will be made which shall

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

atisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate on this final inspection.

Owner and/or Landscape Architect will give the Contractor the necessary instructions or "punch lists". Upon correction

discloses any work in whole or in part, as being

is a partial list of certain responsibilities. It is not a mplete list, but only a summary of certain responsibilities A. The Contractor is responsible for the entire project prior to written acceptance. B. The Contractor is responsible for safety on and off the job

C. Completion of the work shall mean the full and exact

D. Final acceptance shall not be given until all construction

writing by the Owner or their representative.

provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans

. Final acceptance shall not be official until acknowledged in

The guarantee shall not begin until the day final acceptance

Certain responsibilities prior to Final Acceptance: The following

C. Maintenance Prior to Final Acceptance (1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance. (2) Plant maintenance shall include watering, mowing edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys stakes, braces, etc., replacement of sick or dead

litter removal, and all other care needed for proper growth of the plants. (3) Immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional

plants, replacement of sod areas which do not become

established, resetting plants to proper grades or

upright position, maintenance of the watering saucer,

(4) All plant material shall be weeded once a week in the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect, if necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undestrable vegetation at the expense of the Contractor.

(5) Edge and mow sod once a week.

Architect, prior to implementation.

safequards and protection.

nformation from the plans.

Preparation

compliance and conformity with the provisions expressed or implied in the Plans and Specifications including any and all "bunch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion o (7) Remove all litter once a week

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommende the County Agent, and approved by the Landscape

(9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a quillies, washouts, or other causes shall be repaired b filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense.

(10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged of injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper

(11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains. D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

Survival and Conditions: The Contractor shall be responsible

for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance. Replacement: Replacement of plant material shall be the esponsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others.
All plant material shall be alive and in good growing condition for each specific kind of plant at the time of

. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plane and in these Specifications at the time of



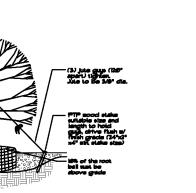
2" x 2" x 8' FTP stake no suich sithin 6" of trurks

NOTE: Stake all trees up to 2" cal. # 2 per tree. Guy all trees larger than 2" cal.

EXISTING TREE PROTECTION

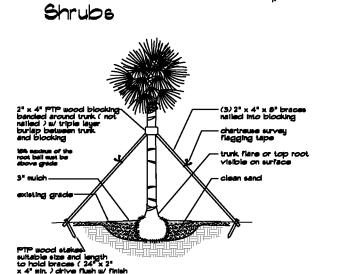
> — Dripline of existing tree — 6' ht. etgel fence poet driven into — Orange plastic mesh fencing

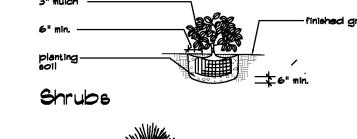




BARRIER DETAIL

3" mulch





PTP wood stakes suitable size and length to hold braces (24" x 2" x 4" min.) drive flush w/ finish grade, stake nailed to brace. Straight Trunk Palme

Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant. (2) The Landscape Architect shall be contacted prior to office building performing any major pruning and thinning. The Landscape Architect may elect to be present during

landscape architecture/planning inc. 601 n. congress ave., suite 105-a delray beach, florida 33445

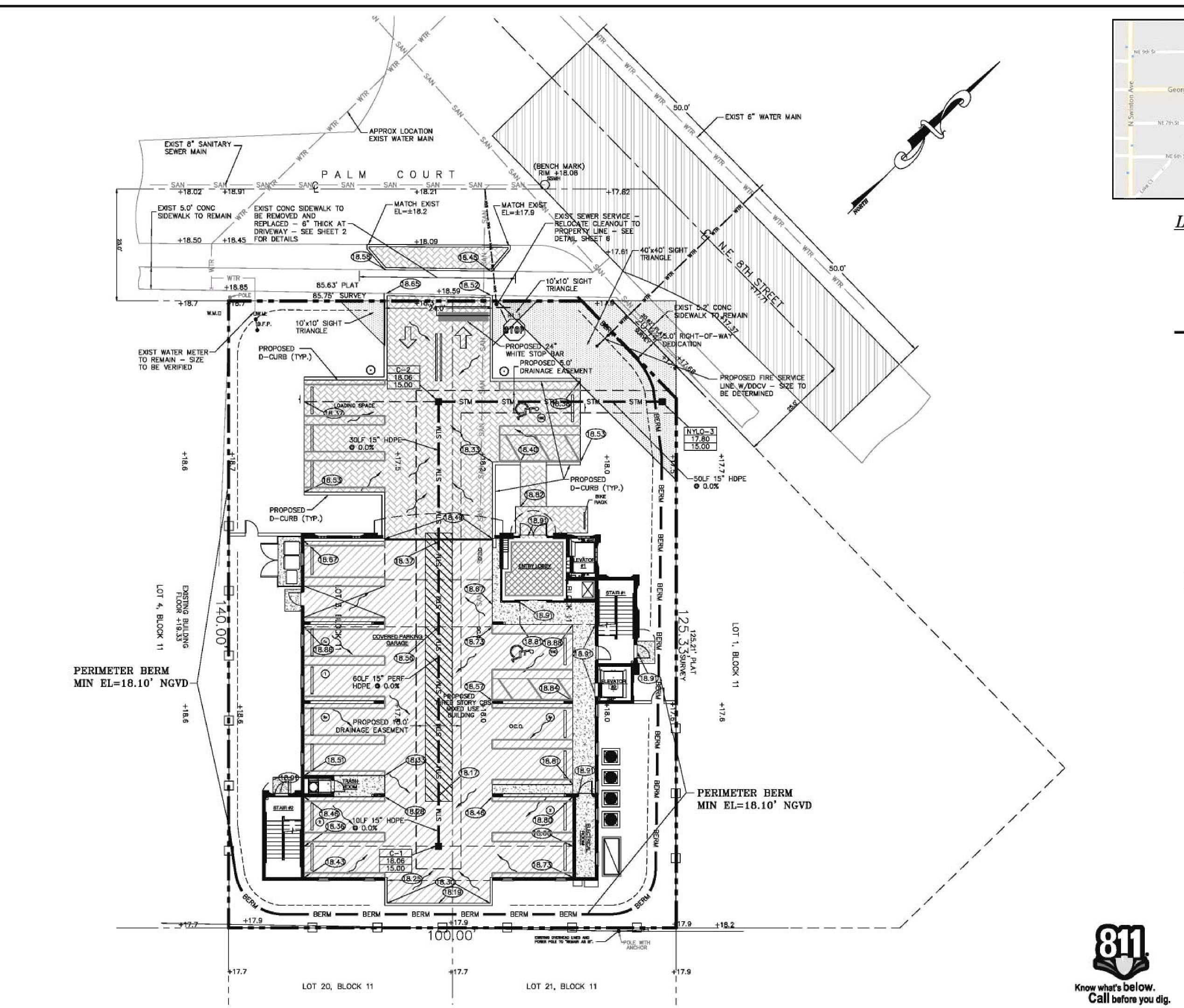
dave bodker

561-276-6311

#LA0000999 sheet title:

project number: 3515

sheet:









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LEGEND:

PROPERTY LINE



SECTION IDENTIFIER PLAN PAGE DETAIL PAGE



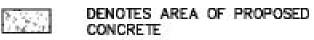
PROPOSED ELEVATION



DENOTES AREA OF PROPOSED ASPHALT PAVING



DENOTES AREA OF PROPOSED MILLING & RESURFACING OF EXISTING ASPHALT



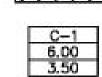
CONCRETE

DENOTES AREA OF PROPOSED PAVERS

PROPOSED CATCH BASIN

HIGH-DENSITY POLYETHYLENE PIPE

DENOTES 15" PERF HDPE PIPE IN 6' WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL= 14.00)



STRUCTURE NUMBER RIM ELEVATION INVERT ELEVATION

PROPOSED WATER METER

EXISTING MANHOLE

SANITARY SEWER CLEANOUT SINGLE SANITARY SERVICE WITH CLEANOUT

NOTE: ALL ROOF DRAINAGE TO BE COLLECTED THRU GUTTERS AND/OR ROOF DRAINS AND CONNECTED TO UDNERGROUND DRAINAGE SYSTEM VIA ROOF DRAIN LEADERS PROVIDED

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

> CALL 48 HOURS BEFORE YOU DIG. IT'S THE LAW 1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1'' = 10'

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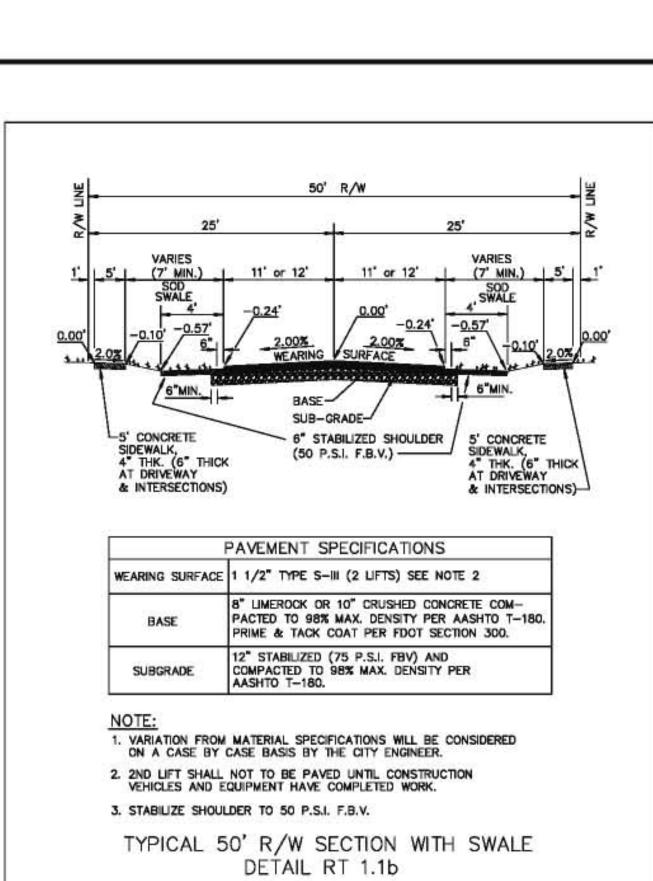
FLORIDA

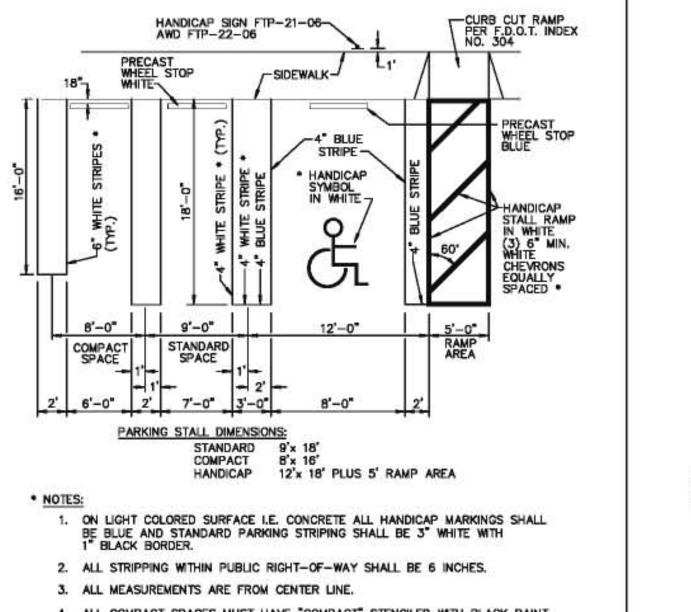
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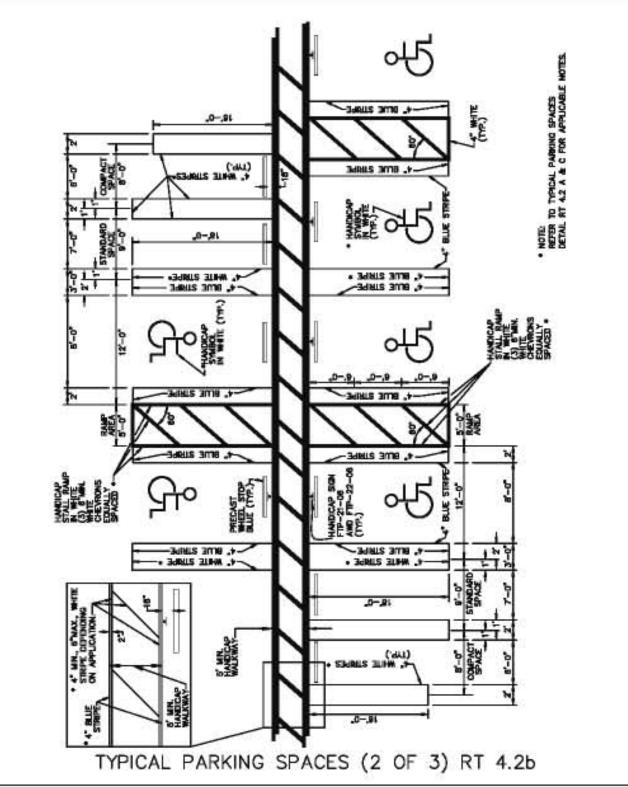
J.A.P. DATE: 2/19/16 JOB NO.

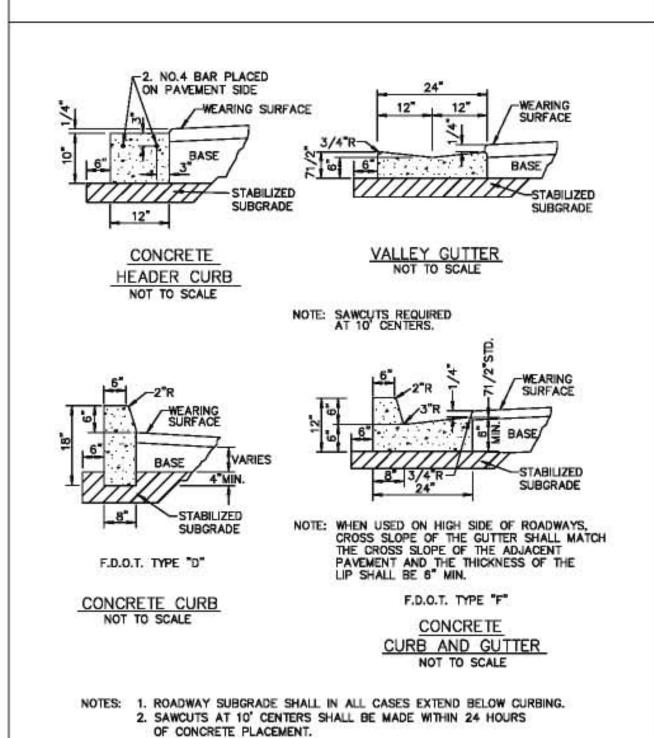
15042-ENG SHEET NO. 1 of 7



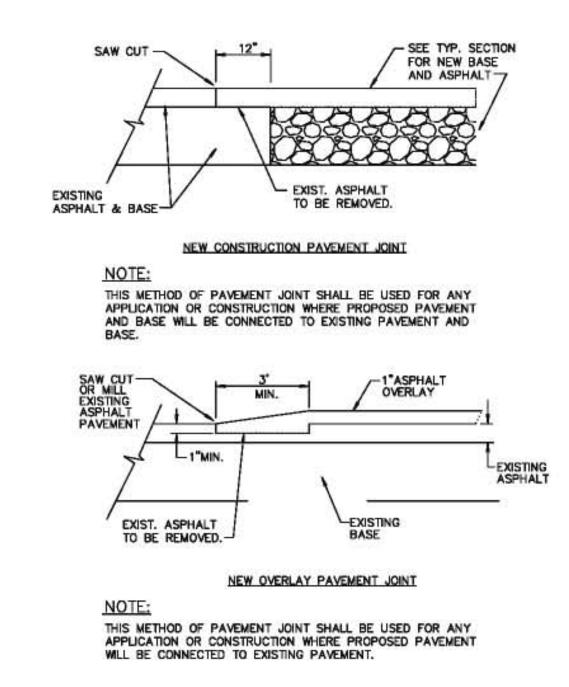


4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP. 5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE 6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1 TYPICAL PARKING SPACES (1 OF 3) DETAIL RT 4.2a

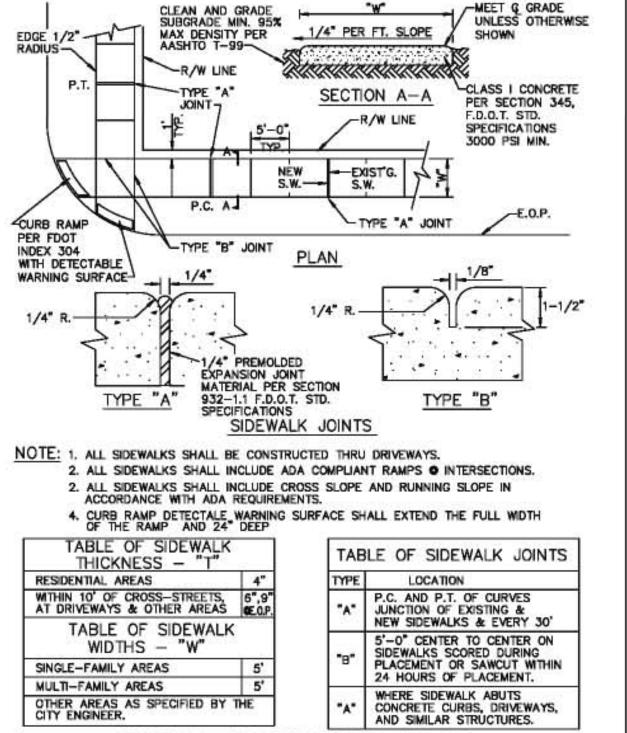




CURB AND GUTTER SECTIONS RT 6.1



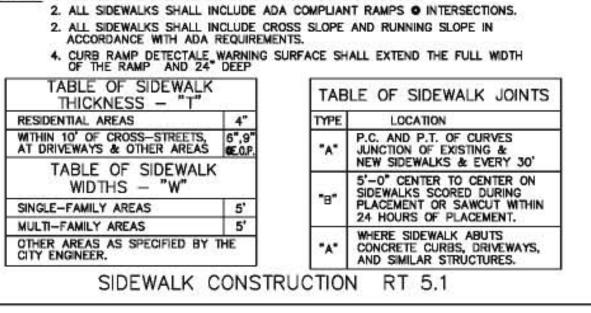
PAVEMENT JOINT DETAIL RT 7.1



1/4" PER FT. SLOPE

MEET & GRADE UNLESS OTHERWISE

SHOWN





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DRAWN: CHECKED: 12/03/15 JOB NO. 15042-DTL

M.T.J.

J.A.P.

DATE:

SHEET NO.

2 of 7

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PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

PERMANENT MARKINGS

All markings shall be installed by the extruded

- Markings shall be free of weaves, bows, drips,
- drags, and other degrading items. Chalk shall be used for all layout markings
- Materials: All materials shall be alkyd or hydrocarbon thermoplastic meeting all FDOT specifications.
- All markings shall be installed to yield 90 mils

of material measured above the pavement surface.

- Reflective glass sheres are to be applied to all stripes and markings per FDOT specifications. Alternate Material:
- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.
- Layout shall be made using marking chalk. It is recommended that marking layout be inspected by the City Engineer prior to the placement of

TEMPORARY MARKINGS

specifications.

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Surface:

- Only foll backed marking tape is allowed.
 All tape shall be totally removed concurrent with permanent marking placement.
- Other Pavement Surfaces: Intermediate povement surfaces may be marked with FDOT approved materials, designs, and

PAVEMENT MARKING SPECIFICATIONS RT 8.1a (Sheet 1 of 2)

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

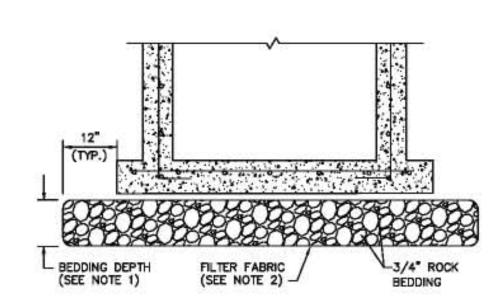
- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyd thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1b (Sheet 2 of 2)

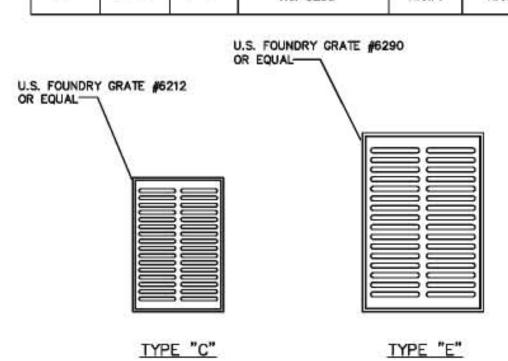
Povement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public rifgt—of—way.



- 1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
- 2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.

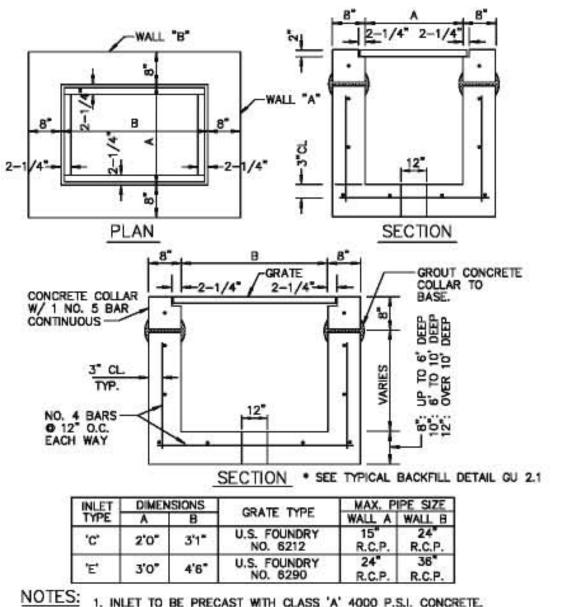
STANDARD BEDDING D 3.1

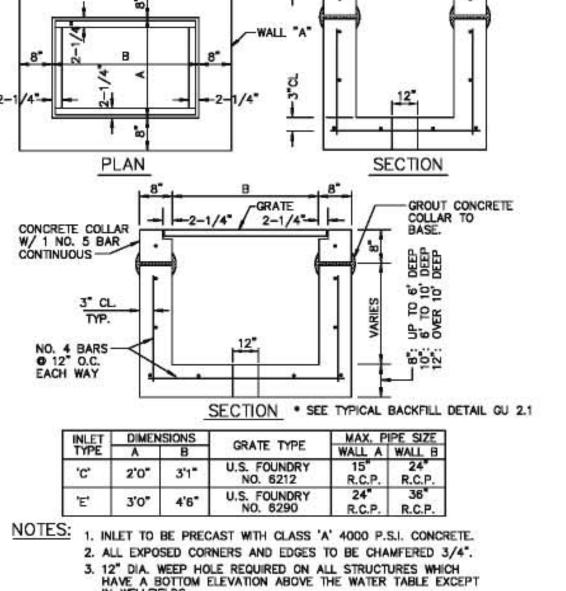
INLET TYPE	DIMENSIONS		GRATE	MAX. PIPE SIZE	
	A	В	TYPE	WALL A	WALL E
,c,	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24* R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P



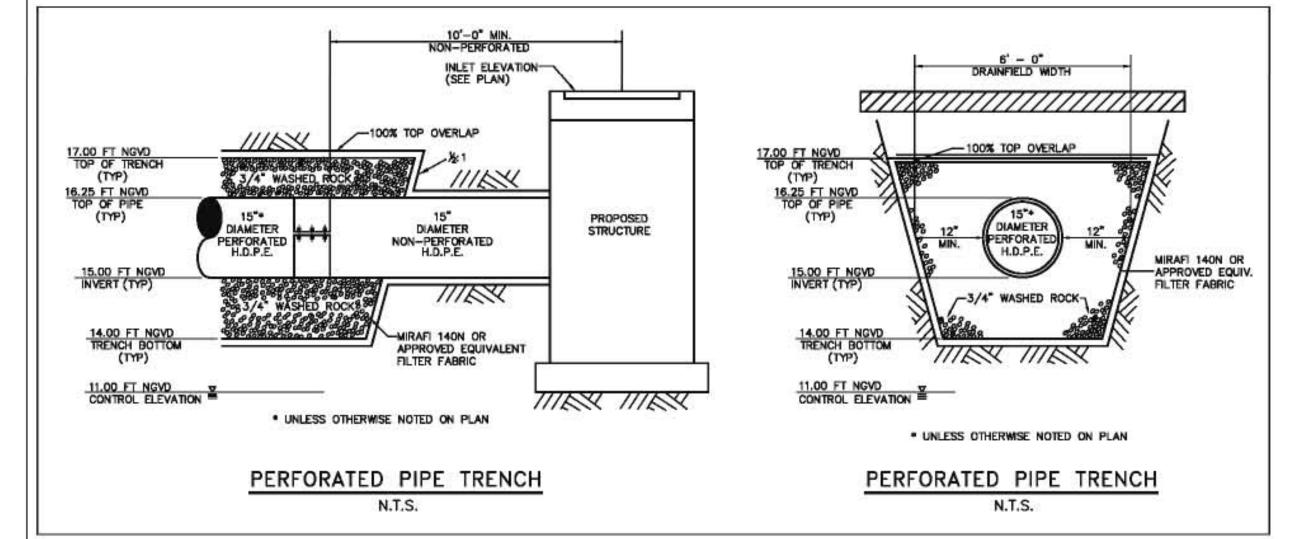
- ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING
- (HIGHWAY TRAFFIC LOADS) 2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

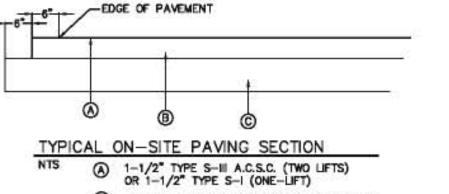
TYPE C & E INLET GRATE DETAIL D 6.1





- 4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES. 5. SEE BEDDING DETAIL D 3.1
- 6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.
- TYPE C & E INLET DETAIL D 7.1





B 8" LIMEROCK BASE COMPACTED TO 98% MAX DENSITY PER AASHTO T-180. PRIME & TACK COAT PER FDOT SECTION 300.

© 12" COMPACTED SUBGRADE COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.



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12/03/15

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MEDICA
230 PAI
DELRAY

JOB NO. 15042-DTL

DRAWN: M.T.J.

CHECKED:

J.A.P.

DATE:

SHEET NO. 3 of 7

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.
- COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER. TYPE "F" CURB & GUTTER. OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED. THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.
- 3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIA DEPARTEMENT OF TRANSPORATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.
- 4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- MUCK AND PEAT IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA. THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL, IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.
- WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.
- CLEARING AND GRUBBING WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
- GUMBO WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED. THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER
- PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.
- TACK COAT BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.

CITY OF DELRAY BEACH GENERAL NOTES

ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS

THEIR ORIGINAL CONTENT.

DETAILS; LD 1.1 & LD 1.2

DIVISION.

TOPS AND BOTTOMS OF ALL RAMPS.

SANITARY SEWER LINES AT 561-243-7312.

ENVIRODESIGN ASSOCIATES, INC.

PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM

CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING

3. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS

4. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES. UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD

ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT

CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR

8. THE EXISTING SANITARY SEWER LINE MUST BE TELEVISED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.

UPON APPROVAL AND RECIEPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.

 ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES

11. ALL CITY OF DELRAY BEACH 2015 STANDARD DETAILS INCLUDED IN THIS SET OF

PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.

5. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE

ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS.

UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO

APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
- 12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS, CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS, COMPRESSIVE STRENGTH.
- PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTOL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-10-001, WHERE APPLICABLE.
- 14. SEQUENCE OF CONSTRUCTION THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
- INLETS AND MANHOLES ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION. WHERE APPLICABLE.
- GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
- GRADES SHOWN ARE FINISHED GRADES.
- 18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. TBD' N.G.V.D.
- 19. REINFORCED CONCRETE PIPE THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
- 20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- 21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
- 22. PIPE BACKFILL REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
- 23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
- 24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS, CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COAST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBD (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).
- 6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- COMPLYING WITH ALL PERMIT(S) CONDITIONS.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND

- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE
- 10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS, CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION, CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.

- 11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- 12. ENVIRODESIGN ASSOC, INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
- 13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
- 14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- 15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.1
- 16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
- 17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
- 18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED
- 19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST
- 20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)

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CALL 48 HOURS BEFORE YOU DIG. IT'S THE LAW 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC. PAVING MEDI 230 P. DELRA DRAWN: M.T.J. CHECKED: J.A.P. DATE: 12/03/15

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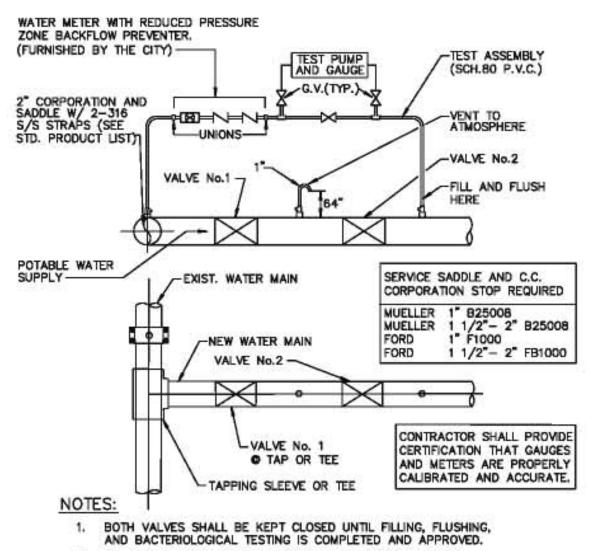
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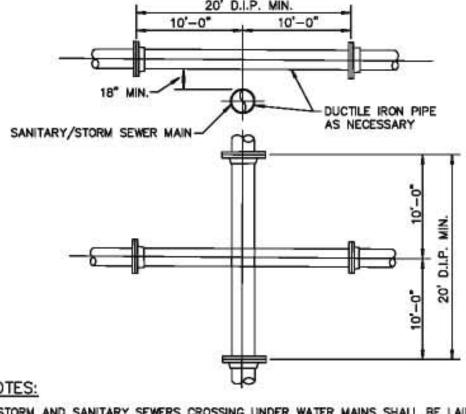
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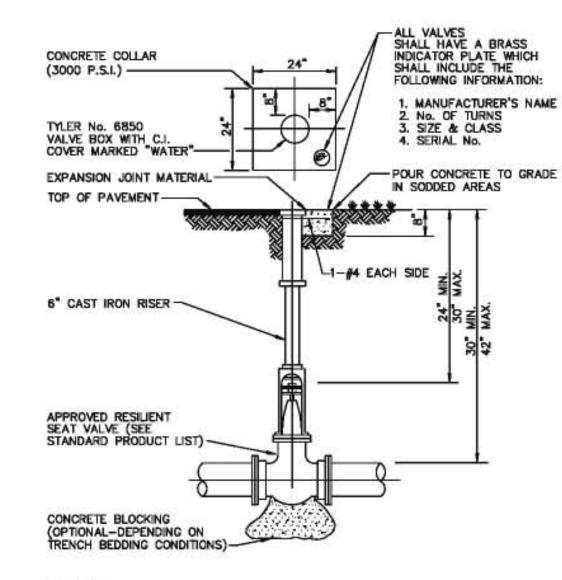
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- GAUGE AND RISER TO BE REMOVED AFTER PRESSURE TEST.
- CITY SHALL BE NOTIFIED BEFORE FILLING AND FLUSHING.
- 4. AFTER RELEASE FROM THE HEALTH DEPARTMENT, BOTH VALVES TO BE LEFT OPEN WITH VALVE BOX INSTALLED ON BOTH VALVES.
- 5. PRESSURE TEST PUMP MAY CONNECT TO SERVICE LINE, FIRE HYDRANTS OR BLOWOFF, NO EXTRA TAPS ARE PERMITTED SOLELY FOR TESTING PURPOSES UNLESS PRECEEDING ARE NOT PRESENT IN TEST SECTION.
- 6. TAPPING SADDLE OR SLEEVE (PER CURRENT CITY PRODUCT LIST) IS REQUIRED ON EXISTING MAIN.
- 7. SETUP FOR ALL DOUBLE VALVE CONNECTIONS TO INCLUDE ATMOSPHERE
- VENTS AS SHOWN ABOVE.
- 8. OUTLET ON VENT TO ATMOSPHERE A MINIMUM 24" ABOVE EXISTING GRADE. FILL & FLUSH DETAIL PW 1.1

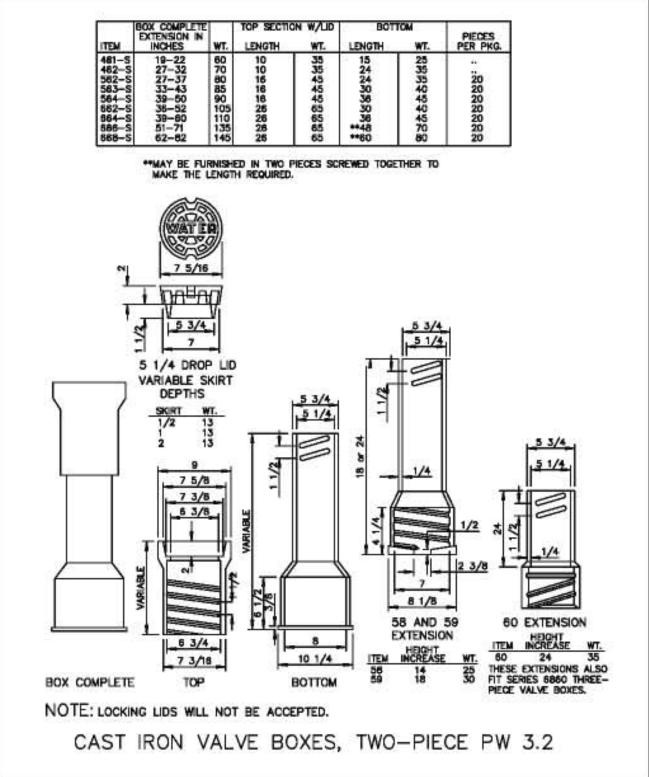


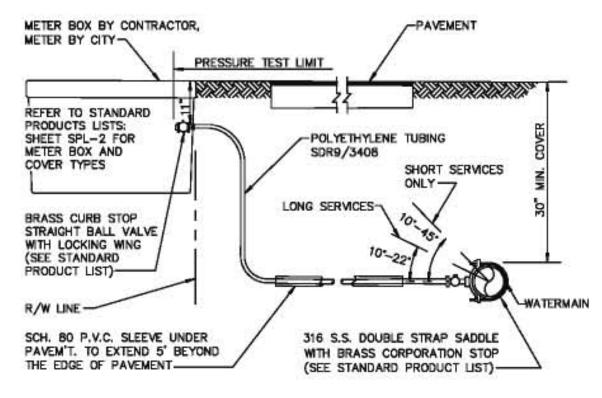
- 1. STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN JOINTS ARE EQUIDISTANT FROM POINT OF CROSSING WITH NO LESS THAN (10) FEET BETWEEN ANY TWO JOINTS AND BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STARTED ABOVE, SHALL BE REQUIRED AND BOTH PIPES SHALL BE CLASS 52 D.I.P. IRRESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- MAINTAIN (10) FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN, AS A MINIMUM.
- SEWER SERVICE LATERALS SHALL CROSS UNDER WATERMAINS WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE D.I.P. AND THE SANITARY LATERAL C-900 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6)
- WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATERMAIN SHALL BE D.I.P., AND THE SEWER LATERAL SHALL BE C-900 SDR-18 OR BETER. WATER MAIN & SEWER CONFLICT DETAIL PW 2.1



- WHEN VALVE IS DEEPER THAN 30" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED.
- 2. AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS, TIERODS, OR OTHER

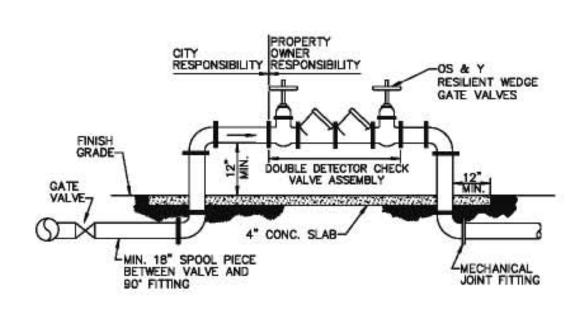
TYPICAL GATE VALVE DETAIL 4" THRU 12" PW 3.1





- 1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- 2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
- 4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH
- ASSEMBLY. MAXIMUM SERVICE LENGTH IS 100' TO METER.
- 6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14".
 ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- 11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.

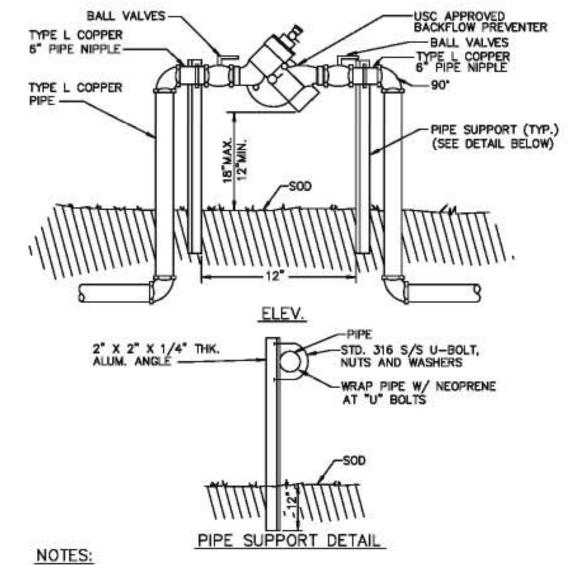
TYPICAL SERVICE CONNECTION PW 9.1a



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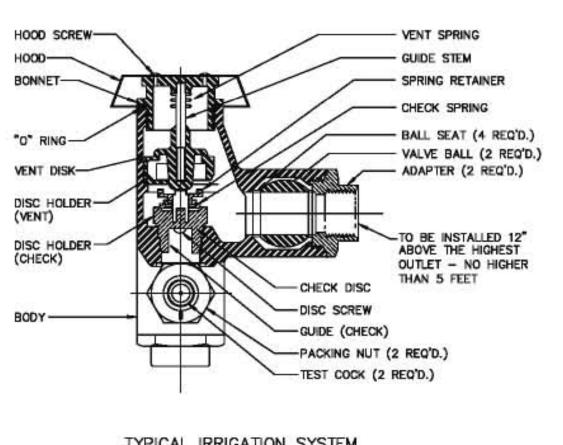
- 1. FOR ALL SERVICES GREATER THAN 2" DIA.
- 2. ALL PIPE AND FITTINGS SHALL BE CLASS 52 DUCTILE IRON CEMENT LINED WITH CEMENT LINED DUCTILE IRON FLANGE FITTINGS FOR ABOVE GROUND USE. MECHANICAL JOINT SHALL BE USED UNDERGROUND IN ACCORDANCE WITH AWWA STANDARDS.
- THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY SHALL MEET AWWA C511-89, AND APPROVAL OF ENVIRONMENTAL SERVICES DEPARTMENT.
- CERTIFICATION OF PROPER INSTALLATION AND OPERATION WILL BE REQUIRED FROM A CERTIFIED BACKFLOW PREVENTION TECHNICIAN PRIOR TO WATER MAIN ACCEPTANCE BY THE CITY OF DELRAY BEACH.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND TESTING OF THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY.
- 6. BOLLARDS TO BE USED IF THE ASSEMBLY IS WITHIN 5' OF THE PAVEMENT, REFER TO
- BOLLARD DETAIL PW 5.2. 7. ALL TWO INCH DOUBLE DETECTOR CHECK VALVE, SHALL BE BRASS OR
- TYPE "L" COPPER TUBING
- 8. USE OF OTHER PIPE MATERAILS WITH APPROVAL OF WATER SEWER MANAGER.
- 9. CITY MAINTAINS UP TO THE FIRST O S & Y VALVE.

DOUBLE DETECTOR CHECK VALVE PW 10.1



- 1. FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
- 2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
- 3. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
- 4. RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.80.
- 5. USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIRECTOR OF UTILITIES.
- 4. RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER PW 10.2



TYPICAL IRRIGATION SYSTEM ANTI-SIPHON PRESSURE TYPE VACUUM BREAKER

NOTES:

- 1. WATTS REGULATOR COMPANY OR EQUIVALENT.
- 2. VALVE SHALL MEET OR EXCEED THE A.S.S.E., BS&A AND U.S.C.F. REQUIREMENTS.
- 3. SHALL ALSO BE LISTED BY IAPMO (UPC).
- 4. USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIR. OF UTILITIES.
- 5. ABOVE GRADE PIPING SHALL BE PVC OR COPPER.

ANTI-SIPHON PRESSURE TYPE VACUUM BREAKER PW 10.3



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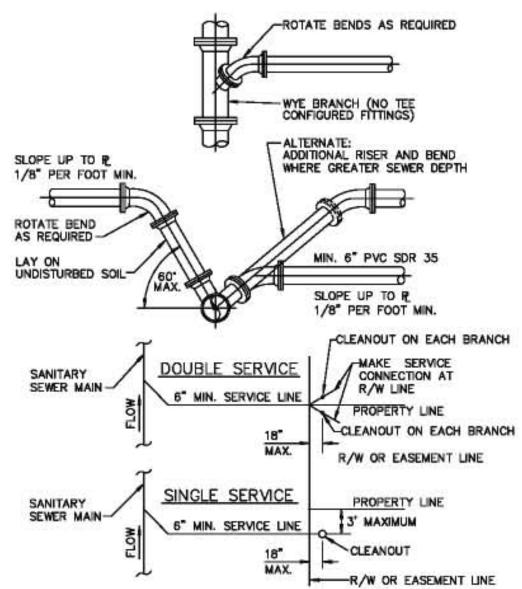
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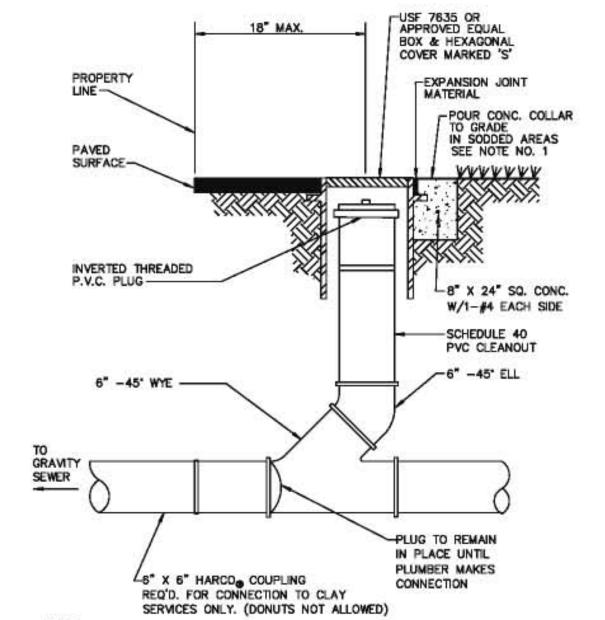
- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
- 2. ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
- 3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE. (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
- (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, EPCXY LINED OR AS OTHERWISE APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.
- 6. NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN
- RESIDENTIAL DRIVEWAYS. MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM—NEK CAULKING.
- TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
- PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER. 10. BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY
- STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL. ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
- WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
- 13. UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
- 14. EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
- 15. COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
- 16. AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
- 17. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
- 18. ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED
- 19. ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.

GRAVITY SEWER NOTES WW 1.1



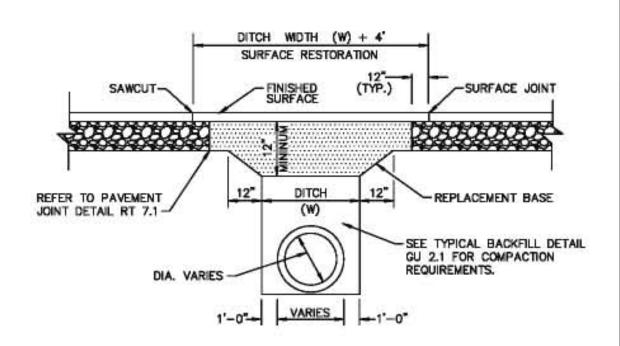
- 1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
- 2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTIONS WW 4.1



- 1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
- 2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL COMMERCIAL CLEANOUT WW 5.2

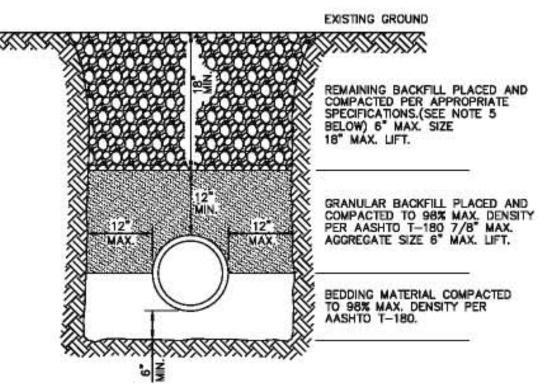


- . REPLACEMENT BASE TO BE AT MIN. 12" THICK.
- 2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT
- COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6"). 2b. 12" EXCAVATABLE FLOWABLE FILL

EQUAL APPLIED INTERNALLY.

- MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- 5. SURFACE MATERIAL SHALL BE F.D.O.T. TYPE S-I OR S-III ASPHALTIC CONC. (MIN. THICKNESS 1 1/2").
- ANY PAVT, CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.
- 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.

PAVEMENT REPAIR DETAIL GU 1.1

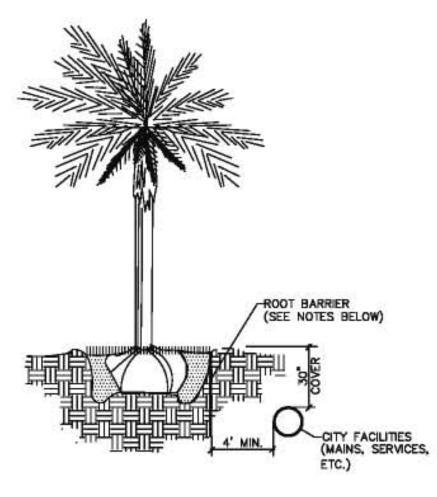


- . UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8"
- THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- 3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH. 4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS
- LARGE ROCK, MUCK, AND DEBRIS. 5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND

TO 95% DENSITY ELSEWHERE.(AASHTO T-180)

6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

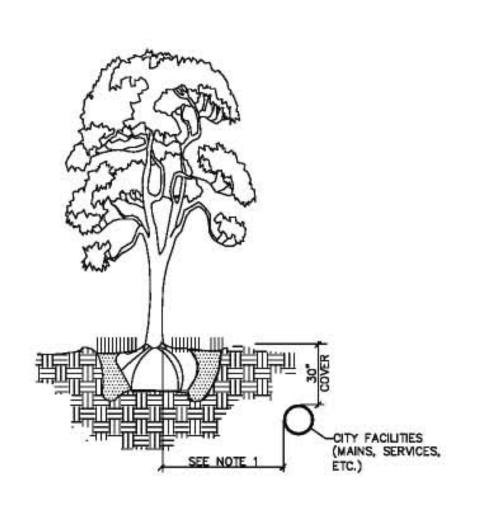
TYPICAL BACKFILL DETAIL GU 2.1



NOTES:

- 1. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY FACILITIES.
- 2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND
- 3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS
- 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1



IF NO ROOT BARRIER IS USED.

1. THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES

TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2



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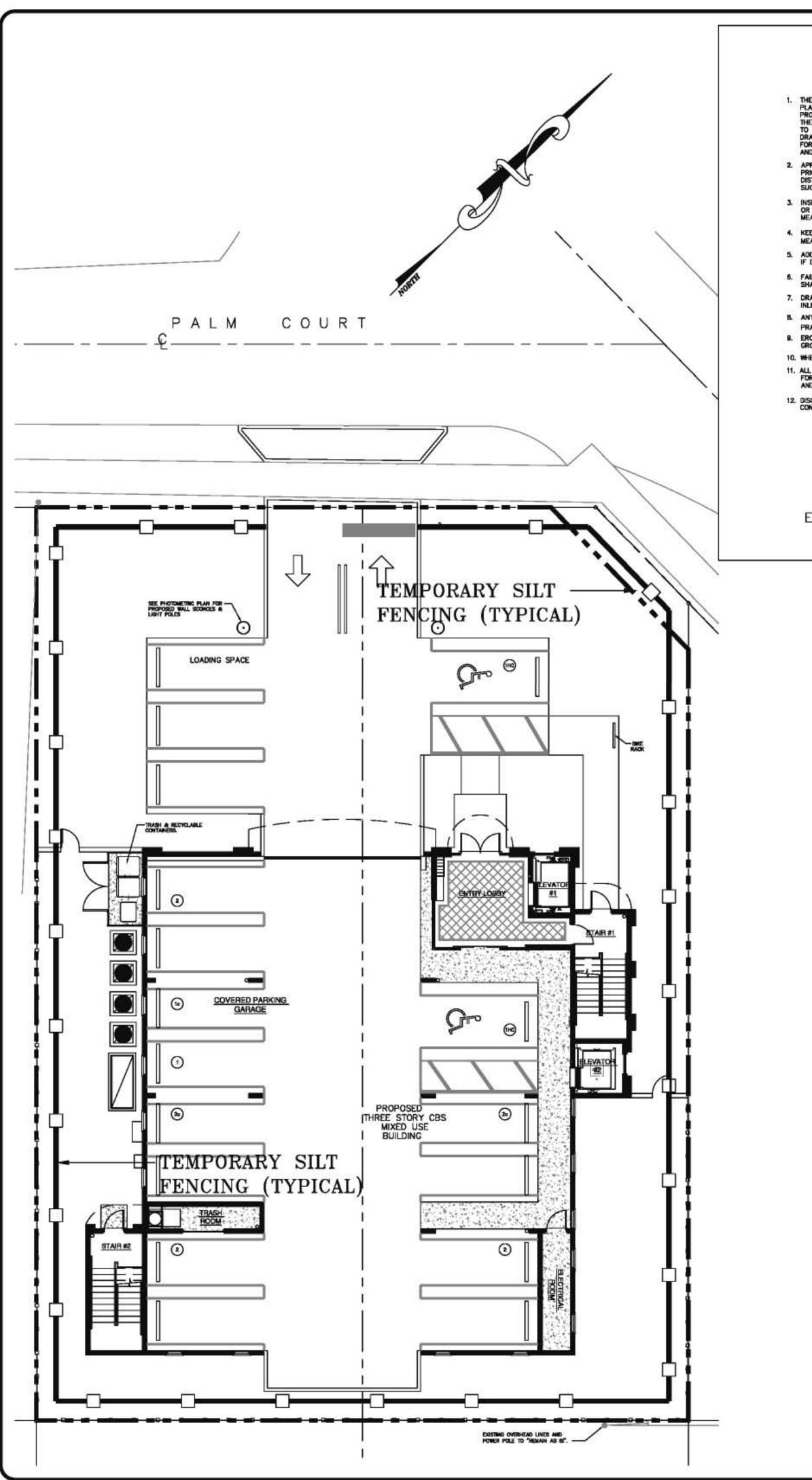
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THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURSDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.

 APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTY, AS NEEDED.

4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE

5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED

IF DEEMED NECESSARY BY ONSITE INSPECTION.

FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.

 DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL. B. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE

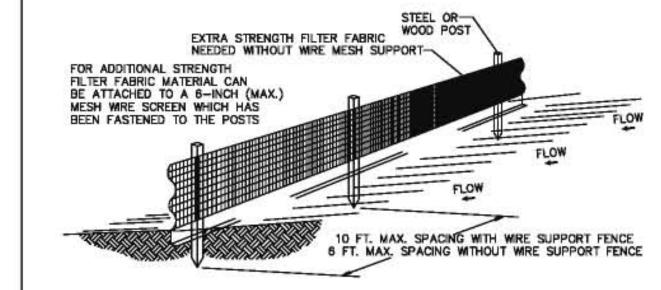
EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.

ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.

DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL D9.1



1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).

2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.

3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT

4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.

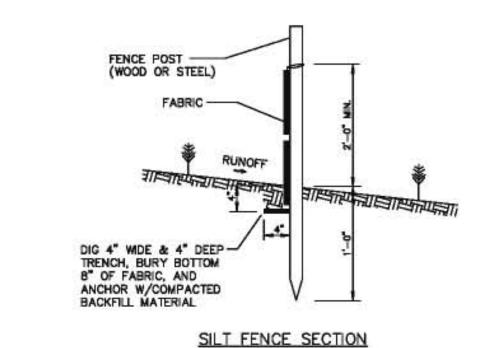
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE. AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGIONAL GROUND SURFACE.

7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. 8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).

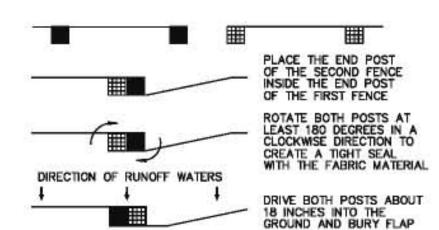
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a Sheet 1 of 2

-INLET FILTER INSTALLATION

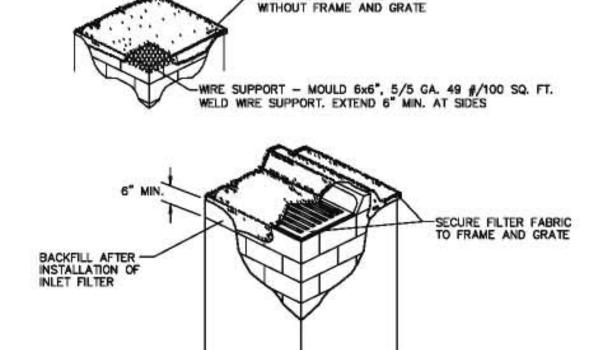


NOT TO SCALE



ATTACHING TWO SILT FENCES NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b Sheet 2 of 2



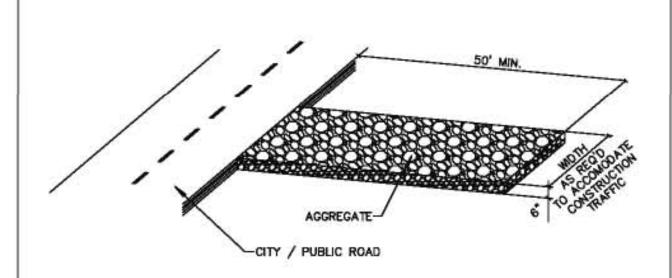
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM. 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

NOT TO SCALE

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS

INLET FILTER DETAIL D 8.1



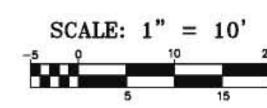
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THINK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C

IT'S THE LAW 1-800-432-4770

CALL 48 HOURS BEFORE YOU DIG.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



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UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL Call before you dig. ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

Know what's below.

ORIDA

POLLUT MEDI(230 PA DELRA

DRAWN:

CHECKED:

12/08/15

SHEET NO.

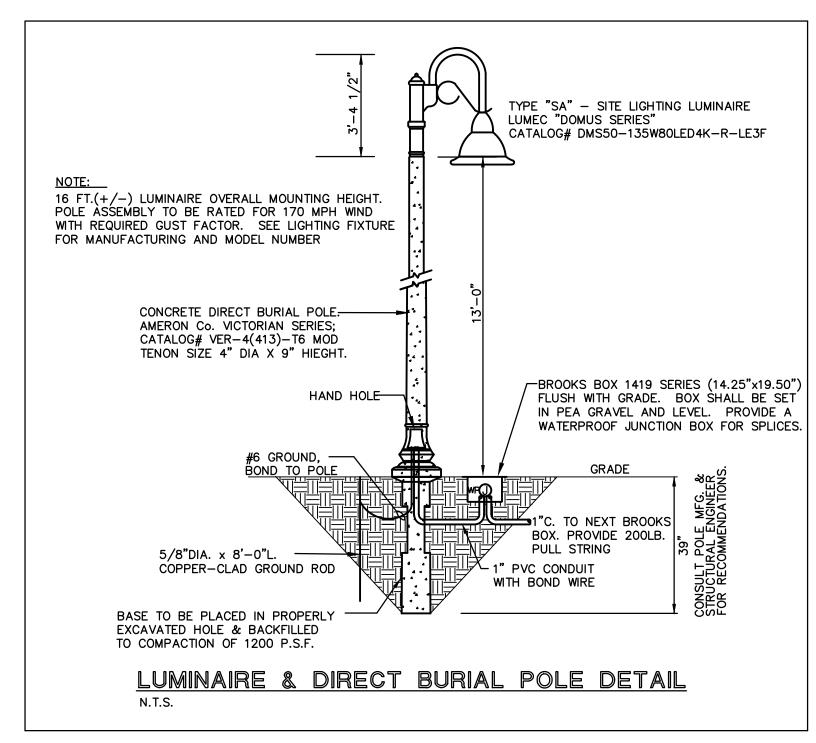
7 of 7

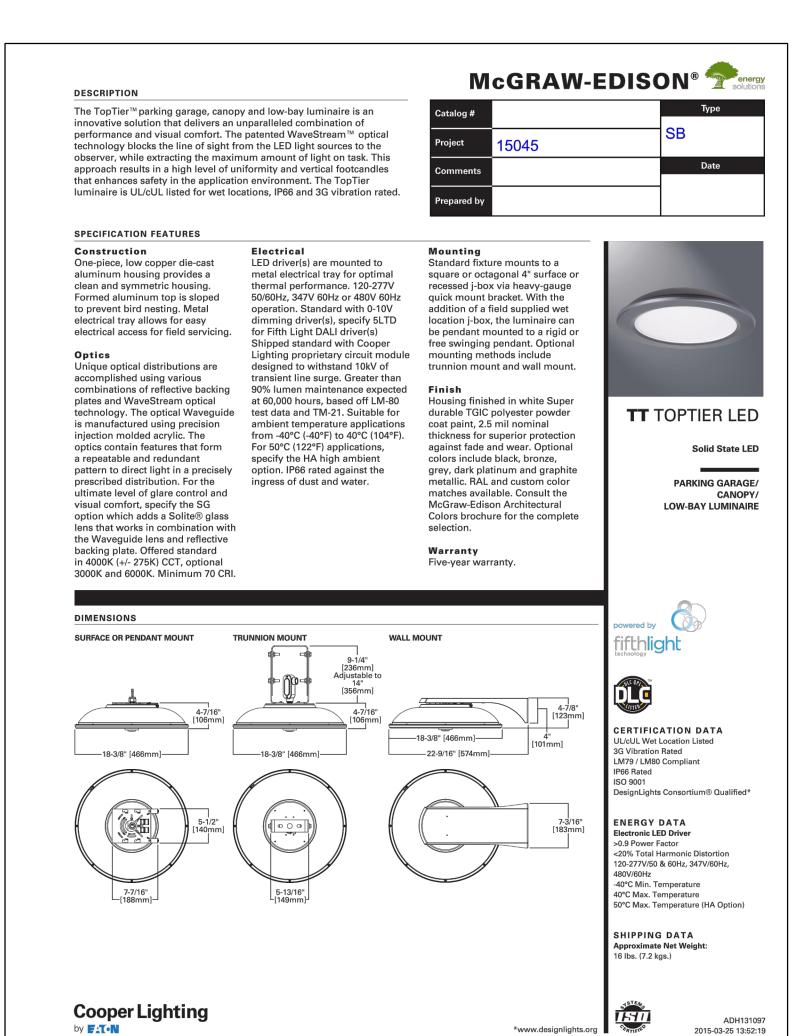
M.T.J.

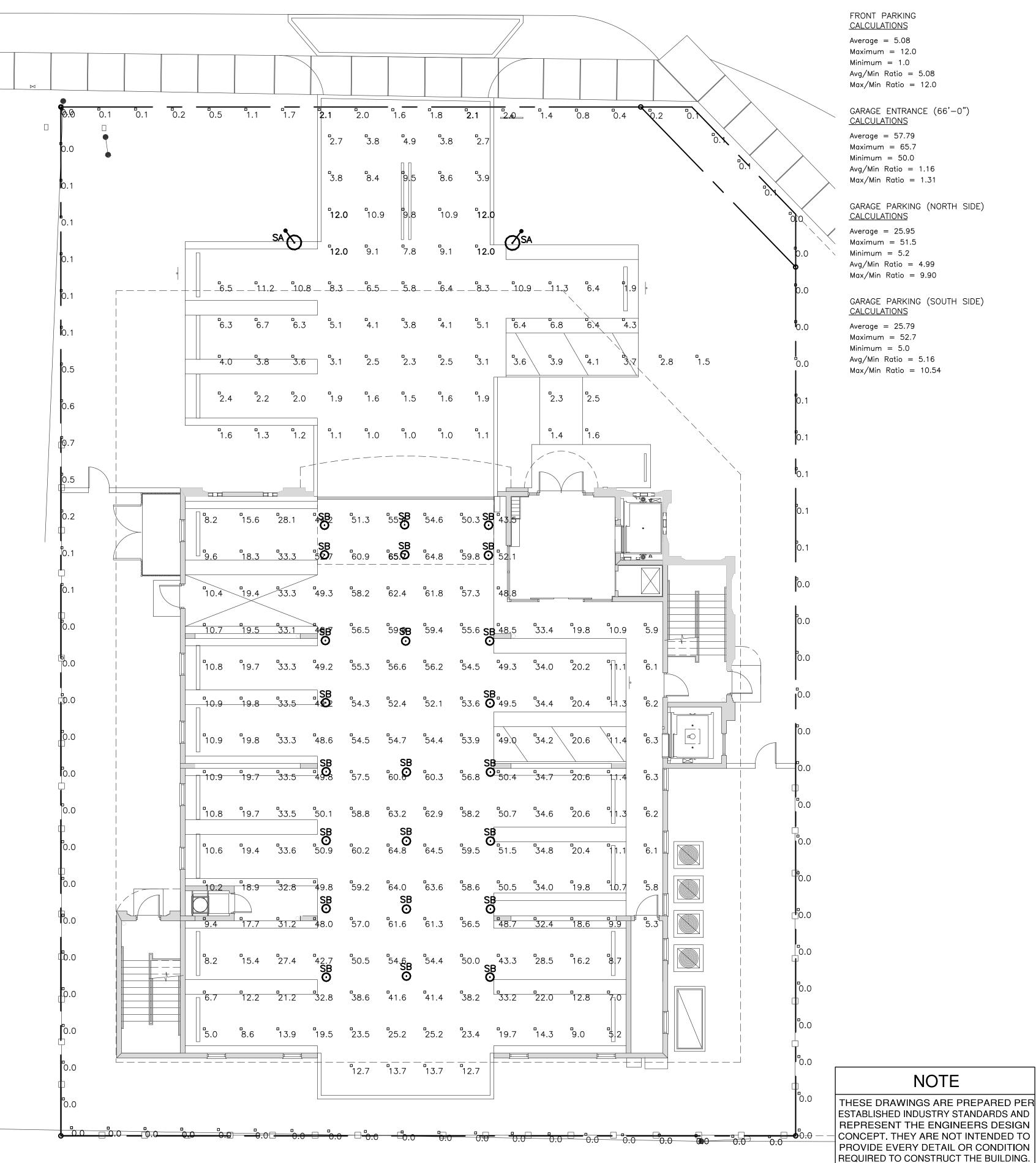
J.A.P.

DATE:

JOB NO. 15042-PPP







PROPERTY LINE **CALCULATIONS**

Average = 0.27Maximum = 2.1Minimum = 0.0Avg/Min Ratio = 0.0Max/Min Ratio = 0.0

FRONT PARKING <u>CALCULATIONS</u> Average = 5.08Maximum = 12.0Minimum = 1.0Avg/Min Ratio = 5.08Max/Min Ratio = 12.0

GARAGE ENTRANCE (66'-0") <u>CALCULATIONS</u> Average = 57.79

Maximum = 65.7Minimum = 50.0Avg/Min Ratio = 1.16Max/Min Ratio = 1.31

GARAGE PARKING (NORTH SIDE) <u>CALCULATIONS</u> Average = 25.95Maximum = 51.5Minimum = 5.2Avg/Min Ratio = 4.99

GARAGE PARKING (SOUTH SIDE) <u>CALCULATIONS</u>

Average = 25.79Maximum = 52.7Minimum = 5.0Avg/Min Ratio = 5.16Max/Min Ratio = 10.54 architecture, in d

Architect, Planner and Designer AA-26002044 205 George Bush Blvd.
Delray Beach, Florida 33444
TEL: 561-276-6011

FAX: 561-276-6129 ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC C.o.A. NO. 25996 NO. 51758

STATE OF

902 CLINT MOORE ROAD, SUITE #142 BOCA RATON, FL 33487 V: 561-274-0200 E: tec@tecfla.com www.tecfla.com

PROJECT TITLE

PROPOSED MIXED-USE BUILDING

226 PALM COURT **DELRAY BEACH, FL**

CLIENT APPROVAL

REVISIONS REVISED 10.22.15 AS PER P&Z COMMENTS:

I. PROVIDED ADDITIONAL 2. CREATE LOADING SPACE.

3. ADDED OVERHEAD GARAGE

DOOR & UPDATED PARKING CALC'S. PEVISED Ø1.15.16 AS PER P&Z COMMENTS:

1. PROVIDED 9'-0" LANDSCAPE

2. PROVIDED (1) ADDITIONAL EXIT.

3. ELIMINATED (1) PARKING SPACE.

FILE NUMBER

NOTE

THE CONTRACTOR THROUGH SUBMITTALS

AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A

COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

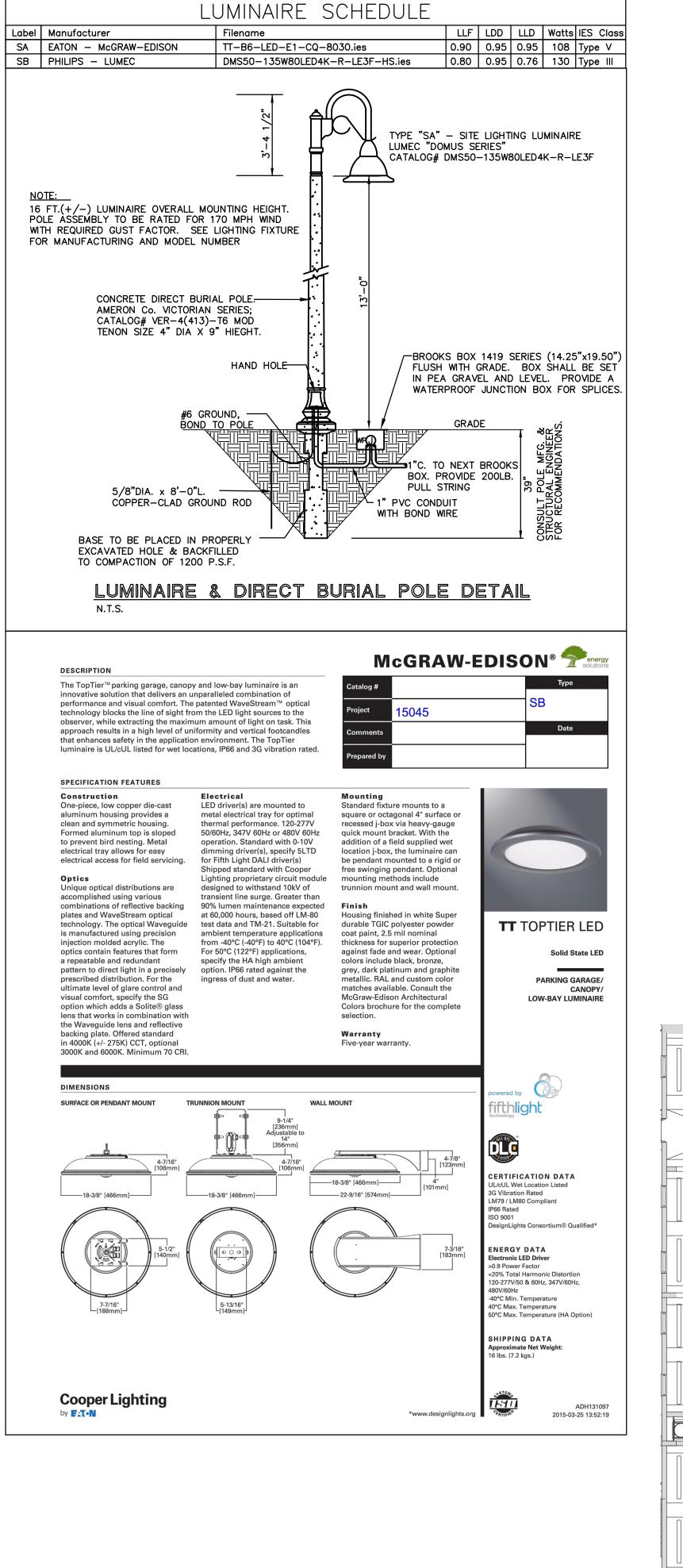
DRAWING TITLE

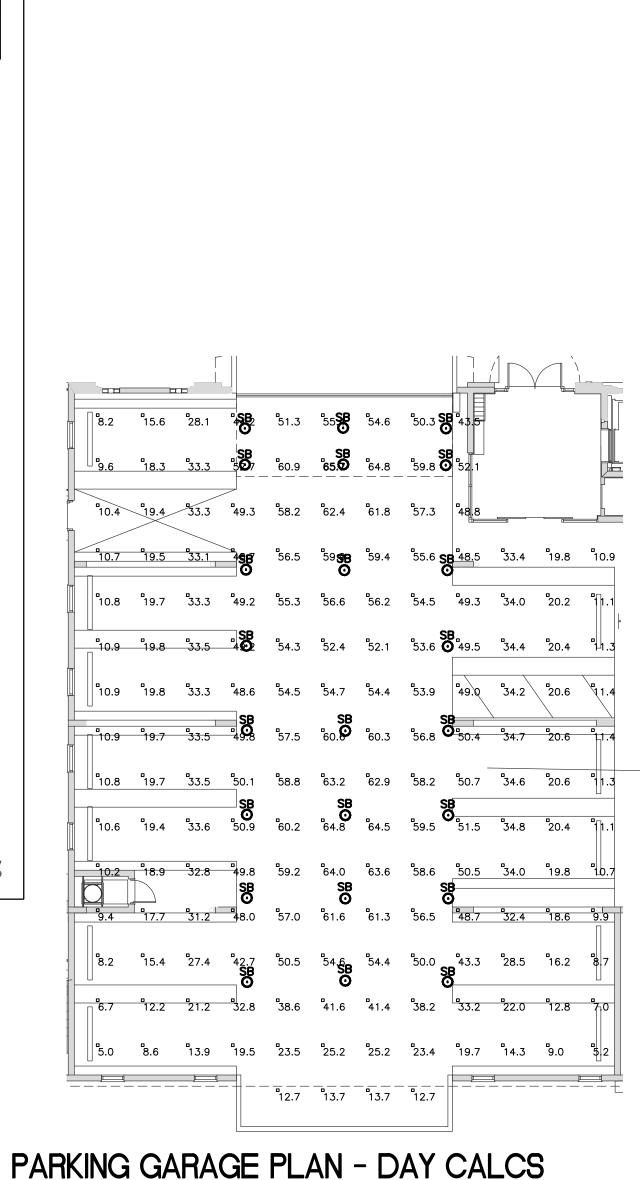
PHOTOMETRIC SITE PLAN

DRAWN BY May 22, 2015 TYEC

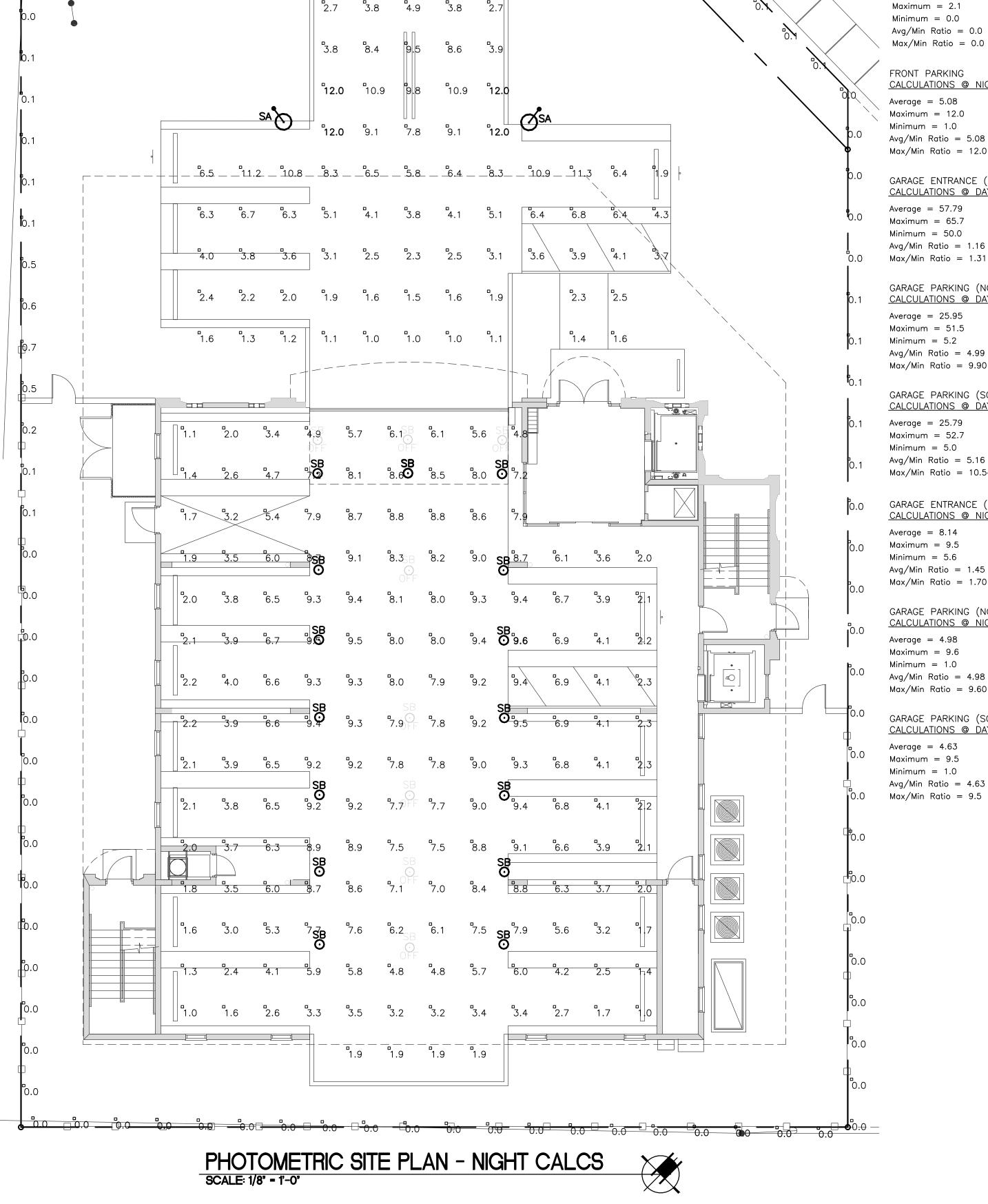
JOB NUMBER 20150302 / 15045 DRAWING NUMBER

PHOTOMETRIC SITE PLAN SCALE: 1/8" = 1'-0"





SCALE: 3/32" = 1'-0"



1.6 1.8 **2.1** 2.0 1.4 0.8 0.4

2.1

PROPERTY LINE CALCULATIONS @ NIGHT

Average = 0.27Maximum = 2.1Minimum = 0.0Avg/Min Ratio = 0.0

Max/Min Ratio = 0.0FRONT PARKING CALCULATIONS @ NIGHT Average = 5.08

Maximum = 12.0Minimum = 1.0Avg/Min Ratio = 5.08Max/Min Ratio = 12.0

GARAGE ENTRANCE (66'-0") CALCULATIONS @ DAY Average = 57.79Maximum = 65.7Minimum = 50.0Avg/Min Ratio = 1.16

GARAGE PARKING (NORTH SIDE) CALCULATIONS @ DAY Average = 25.95Maximum = 51.5Minimum = 5.2Avg/Min Ratio = 4.99Max/Min Ratio = 9.90

GARAGE PARKING (SOUTH SIDE) CALCULATIONS @ DAY Average = 25.79Maximum = 52.7Minimum = 5.0Avg/Min Ratio = 5.16Max/Min Ratio = 10.54

GARAGE ENTRANCE (66'-0") CALCULATIONS @ NIGHT Average = 8.14Maximum = 9.5Minimum = 5.6Avg/Min Ratio = 1.45Max/Min Ratio = 1.70

GARAGE PARKING (NORTH SIDE) CALCULATIONS @ NIGHT

Average = 4.98 Maximum = 9.6Minimum = 1.0Avg/Min Ratio = 4.98Max/Min Ratio = 9.60

> GARAGE PARKING (SOUTH SIDE) CALCULATIONS @ DAY Average = 4.63

> > NOTE

THESE DRAWINGS ARE PREPARED PER

ESTABLISHED INDUSTRY STANDARDS AND

REPRESENT THE ENGINEERS DESIGN

CONCEPT. THEY ARE NOT INTENDED TO

PROVIDE EVERY DETAIL OR CONDITION

REQUIRED TO CONSTRUCT THE BUILDING.

THE CONTRACTOR THROUGH SUBMITTALS

AND OTHER COORDINATION EFFORTS IS

FULLY RESPONSIBLE FOR PROVIDING A

COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

Maximum = 9.5Minimum = 1.0Avg/Min Ratio = 4.63Max/Min Ratio = 9.5

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Architect, Planner and Designer AA-26002044

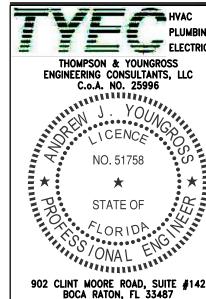
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FILE NUMBER

DRAWING TITLE

PHOTOMETRIC SITE PLAN

DRAWN BY May 22, 2015 TYEC

JOB NUMBER 20150302 / 15045 DRAWING NUMBER

PSP-1