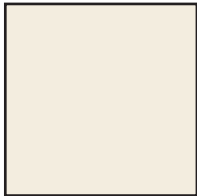




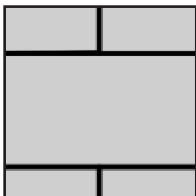
*East Elevation*



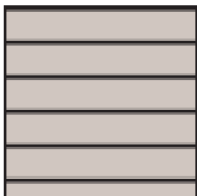
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



"STONINGTON GRAY"  
(SCORE LINE BASE)



"BERKSHIRE BEIGE"  
(LAP SIDING)



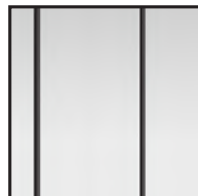
"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
OUTLOOKERS, BRACKETS  
& GABLE ENDS)



"PERFECTION"  
(WOOD CEDAR  
SHINGLE ROOF)



"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



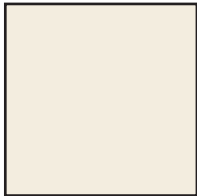
"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*





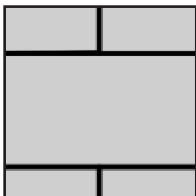
*North Elevation*



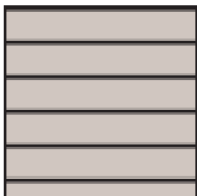
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



"STONINGTON GRAY"  
(SCORE LINE BASE)



"BERKSHIRE BEIGE"  
(LAP SIDING)



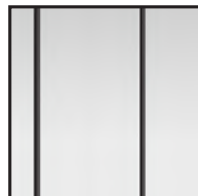
"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
OUTLOOKERS, BRACKETS  
& GABLE ENDS)



"PERFECTION"  
(WOOD CEDAR  
SHINGLE ROOF)



"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*

(TREE PLACEMENT IN RENDERING DOES NOT REPRESENT FINAL DESIGN - SEE LANDSCAPE DRAWINGS FOR ALL PROPOSED TREE TYPES AND LOCATIONS)

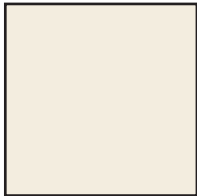
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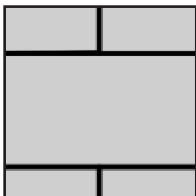
*South Elevation*



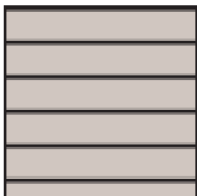
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



"STONINGTON GRAY"  
(SCORE LINE BASE)



"BERKSHIRE BEIGE"  
(LAP SIDING)



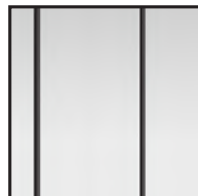
"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
OUTLOOKERS, BRACKETS  
& GABLE ENDS)



"PERFECTION"  
(WOOD CEDAR  
SHINGLE ROOF)



"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

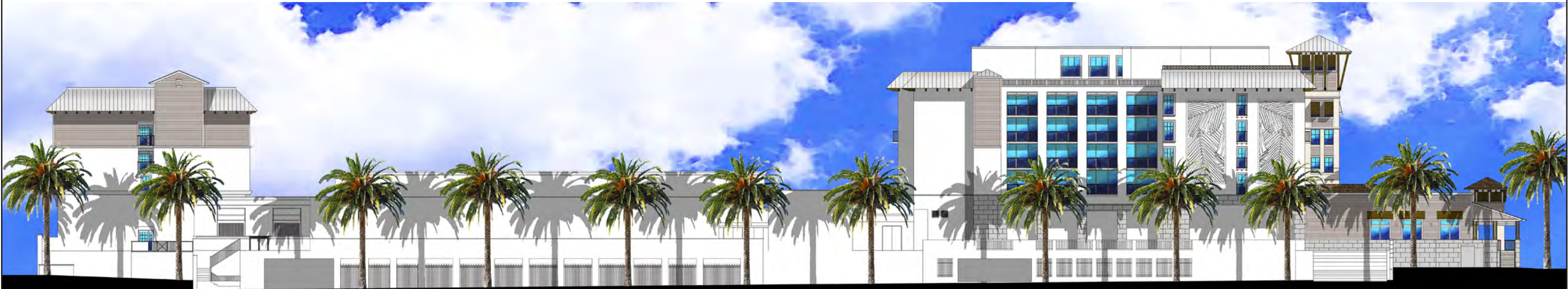
DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*

(TREE PLACEMENT IN RENDERING DOES NOT REPRESENT FINAL DESIGN - SEE LANDSCAPE DRAWINGS FOR ALL PROPOSED TREE TYPES AND LOCATIONS)

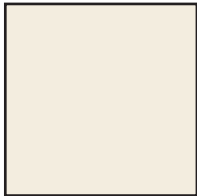
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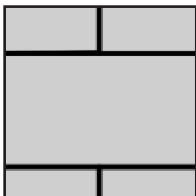
*West Elevation*



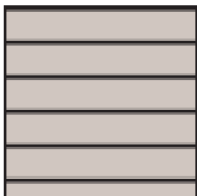
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



"STONINGTON GRAY"  
(SCORE LINE BASE)



"BERKSHIRE BEIGE"  
(LAP SIDING)



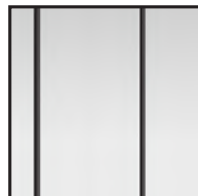
"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
OUTLOOKERS, BRACKETS  
& GABLE ENDS)



"PERFECTION"  
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SHINGLE ROOF)



"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*

(TREE PLACEMENT IN RENDERING DOES NOT REPRESENT FINAL DESIGN - SEE LANDSCAPE DRAWINGS FOR ALL PROPOSED TREE TYPES AND LOCATIONS)

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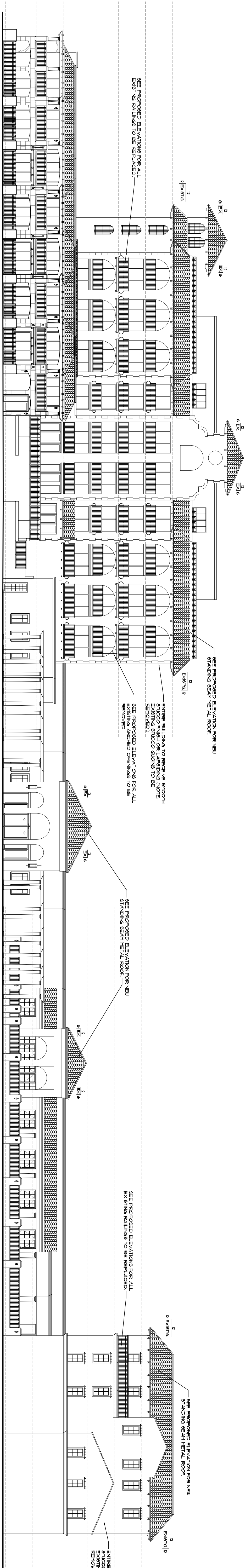




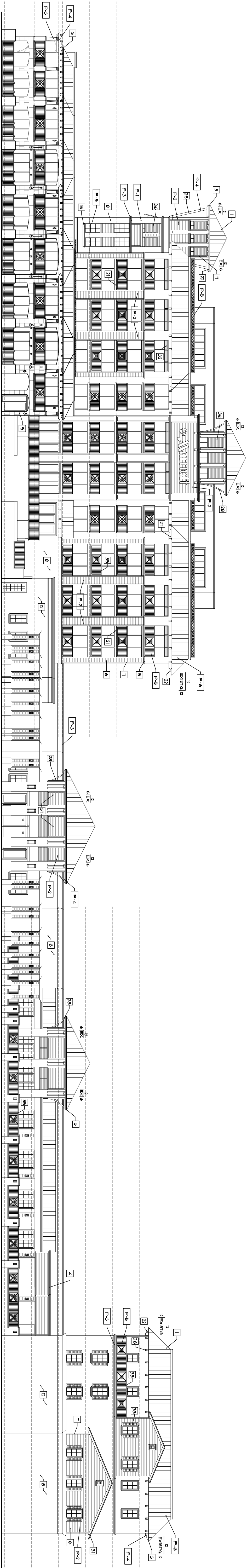


NOTES:

1. DO NOT SCALE DRAWING!  
2. ALL DIMENSIONS ARE IN FEET AND INCHES.  
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY.  
(SEE GENERAL NOTES) (SEE GENERAL NOTES)



1  
A3.01  
EXISTING EAST ELEVATION  
(FOR REFERENCE ONLY)



2  
A3.01  
PROPOSED EAST ELEVATION  
SCALE: 1/16\"/>

- EXTERIOR STUCCO:**
1. APPLY SMOOTH COAT WITH SUFFICIENT PRESSURE TO SET INTO LATH MODEL. AFTER INITIAL SET AND BRANCH TO ROUGHEN SURFACE.
  2. BRUSHED COAT. INTERMEDIATE COAT. USE SET OF 40/60 MESH BRUSH. LEAVE ROUGH TO RECEIVE FINISH COAT.
  3. FINISH COAT. COAT. FINISH TO MATCH EXISTING STUCCO. APPROVED BY OWNER.
  4. TWO (2) COAT WORK (ON HOLLOW). APPLY TWO (2) COAT STUCCO TO CONCRETE AND HOLLOW.
  5. AREAS TOTAL HOLLOW. FIVE EIGHTS (5/8) INCH MINIMUM STUCCO TO RETAIL LATH. TOTAL (1) INCH THICK.
  6. RUN PIPE GROOVES IN STUCCO. PROVIDE RUN PIPE GROOVES IN EXTERIOR DOORWAY RECES AND 1. ALL STUCCO HEADERS, SILL AND BANDING TO BE PROVIDED WITH A MIN. 1/8\"/>

ELEVATION NOTES

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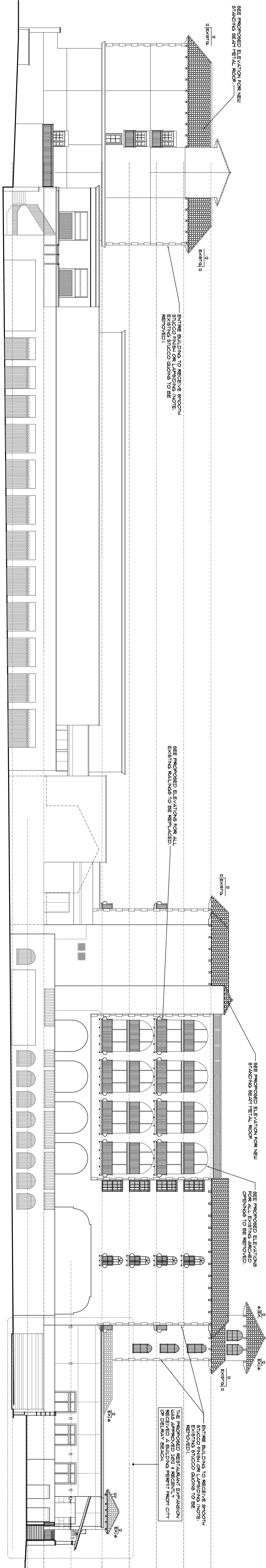
LIGHT FIXTURES	
1. 4' LED WALL MOUNT CHANDLER	2. 4' LED WALL MOUNT CHANDLER
3. 4' LED WALL MOUNT CHANDLER	4. 4' LED WALL MOUNT CHANDLER
5. 4' LED WALL MOUNT CHANDLER	6. 4' LED WALL MOUNT CHANDLER
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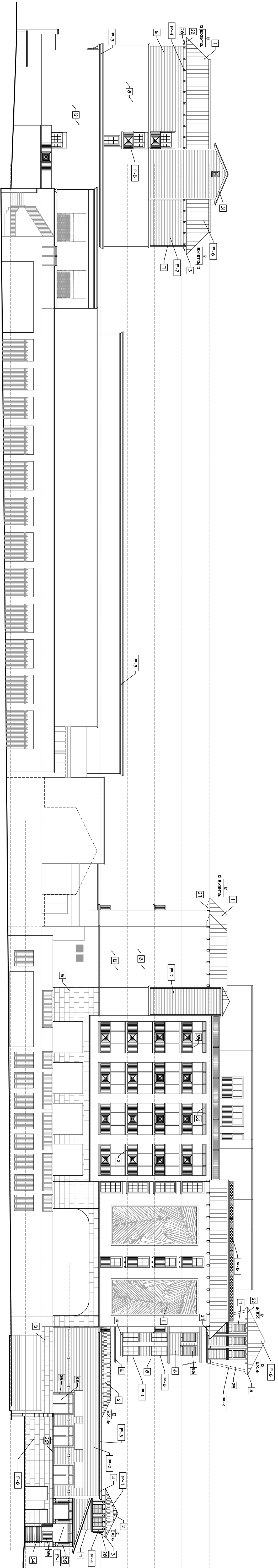


NOTES:

1. DO NOT SCALE DRAWING!  
2. ALL DIMENSIONS ARE IN FEET AND INCHES.  
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT (SEE GENERAL NOTES)



1  
A303  
EXISTING WEST ELEVATION  
SCALE: 1/16" = 1'-0"  
(FOR REFERENCE ONLY)



2  
A303  
PROPOSED WEST ELEVATION  
SCALE: 1/16" = 1'-0"

- EXTERIOR STUCCO:**
- APPLY SMOOTH COAT WITH SUFFICIENT PRESSURE TO KEY INTO LATH. FINISH, AFTER INITIAL SET AND SCRATCH TO SOFTEN SURFACE.
  - STUCCO FINISH COAT AFTER SMOOTH COAT. THIS SET SHOULD BE ALLOWED TO CURE FOR 24 HOURS BEFORE APPLYING FINISH COAT.
  - FINISH COAT SHOULD BE APPLIED TO THE ENTIRE SURFACE. FINISH COAT SHOULD BE APPLIED TO THE ENTIRE SURFACE. FINISH COAT SHOULD BE APPLIED TO THE ENTIRE SURFACE.
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ELEVATION NOTES

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## CONSTRUCTION

**PROPOSED  
MARRIOTT  
EXPANSION  
(PHASE II)**

1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND LOCATIONS, AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE EXISTING STRUCTURE AND FINISH THE FOLLOWING: STEEL BEAMS, SLEEPERS, HANGERS, SLAB DEPRESSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE CONSIDERED AS THE MINIMUM REQUIREMENTS TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE SHOWN OTHERWISE.
5. THESE DOCUMENTS AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. VERIFY ALL PARKING LOT DIMENSIONS AND SLOPES WITH CIVIL DUG'S.

SITE:		
TOTAL SITE AREA	±/- 202,180 SF.	100%
EXISTING BASEMENT		
PARKING GARAGE	± 117,413 SF.	
EXISTING BASEMENT FLOOR	± 61,934 SF.	30.1%
EXISTING MEZZANINE	± 2,938 SF.	
EXISTING SECOND FLOOR	± 31,411 SF.	
EXISTING THIRD FLOOR	± 31,341 SF.	
EXISTING FOURTH FLOOR	± 30,662 SF.	
EXISTING FIFTH FLOOR	± 30,401 SF.	
EXISTING FIFTH/FOURTH SUITES	± 5,414 SF.	
TOTAL EXISTING BUILDING AREA	± 312,135 SF.	

WESTSIDE EXPANSION (4 STORY COMMERCIAL HOTEL GUEST SUITE)		
PROPOSED GROUND FLOOR (RETAIL SPACES & RESTAURANT)	9,807 SF.	4.8
PROPOSED MEZZANINE LEVEL (HOTEL SUITES & ICE CREAM SHOP)	4,574 SF.	
(HOTEL SUITES)	6,041 SF.	
(HOTEL SECOND FLOOR)	6,260 SF.	
PROPOSED THIRD FLOOR (HOTEL SUITES)	26,420 SF.	
TOTAL BLDG. AREA		

EASTSIDE EXPANSION (2 STORY HOTEL, CABANA GUEST SUITES)

* PROPOSED GROUND FLOOR	■ 5,160 SF.
PROPOSED SECOND FLOOR	■ 5,417 SF.
TOTAL EASTSIDE ADDITION	■ 10,577 SF.

• PAVILION & TIKI HUT	• 2,500 SF.	5
• BANQUET KITCHEN EXPANSION	• 1,120 SF.	12
• TOTAL BUILDING FOOTPRINT	• 78,844 SF.	38.9
• IMPERVIOUS	• 100,530 SF.	49.8
• LANDSCAPE (PERV.)	• 22,806 SF.	11.3

SETBACKS,		
SIDE INT.	0'-0"	N.A. EXISTING
FRONT	5'-0"/10'-0"	2'-5"/5'-0"/10'-0"
		(ALONG ATLANTIC AVE)
REAR	10'-0"	N.A. EXISTING
SIDE STREET	5'-0"/10'-0"	8'-2"
		(ALONG ANDREW AVE)
ALLOWABLE HT.	48'-0"	

PARCEL 3, SEACREST HOTEL PROPERTY -FLAT NO. 2  
ACCORDING TO THE PLAT THEREOF AS RECORDED IN  
FLAT BOOK 84, PAGE 35 OF THE PUBLIC RECORDS OF  
PALM BEACH COUNTY, FLORIDA.

EXISTING P H A S E I  
COMPLETED







P H A S E III (FUTURE PHASE)  
AREAS TO REMAIN 'AS IS' OR  
CONVERTED TO OPEN SPACE  
-SEE LANDSCAPE PLAN

PAVERS AS PER CITY SPECIFICATION

REMAINER OF DRIVEWAYS  
TO BE ASPHALT -SEE CIVIL DWG5.

PROPOSED RENOVATION/ADDITION OF HOTEL  
EXPANSION AREA CALCULATIONS:  
2 STORY HOTEL WING ADDITION  
PROPOSED SOUTH EAST CORNER - (3) 2-STORY  
CABANA, HOTEL GUESTROOM SUITES  
(RANGING FROM 921 SQFT. TO 1183 SQFT.)  
7.1 SPACES/ROOM (REQUIRED) = 7.1 SPACES  
PROPOSED OUTDOOR PAVILION @ 1380 SQFT.  
(HOTEL GUEST ONLY.) = (NO ADDIT. PARKING REQ.)  
PROPOSED OUTDOOR TIKI-HUT @ 322 SQFT.  
(HOTEL GUEST ONLY.) (NO ADDIT. PARKING REQ.)  
1 STORY RESTAURANT/KITCHEN ADDITION  
PROPOSED RESTAURANT/PARTY ROOM @ 4233 SQFT.  
@ 10 SPACES/1000 SQFT. (REQUIRED) = 43 SPACES  
PROPOSED OUTDOOR SEATING  
(NOTED: RELOCATING EXISTING 1000 SQFT.)  
@ 24 ADDIT. SQFT. @ 10 SPACES/1000 SQFT.  
= (.84 SPACES) 1 SPACE  
PROPOSED COVERED COURTYARD SEATING  
@ 560 SQFT. @ 10 SPACES/1000 SQFT. = .56 SPACES  
1 STORY BANQUET/KITCHEN ADDITION  
PROPOSED KITCHEN ADDITION @ NUI CORNER/1300 SQFT.  
(HOTEL GUEST ONLY) NO ADDIT. PARKING REQUIRED  
4 STORY CREAM HALL GUEST SUITES ADDITION  
PROPOSED ICE CREAM SHOP  
@ 1500 SQFT. @ 4.5 SPACES/1000 SQFT. (REQUIRED)  
= (6.75 SPACES) 7 SPACES  
PROPOSED RETAIL BAY #1  
@ 1173 SQFT. @ 4.5 SPACES/1000 SQFT.  
= (5.27 SPACES) 6 SPACES  
PROPOSED RETAIL BAY #2  
@ 169 SQFT. @ 4.5 SPACES/1000 SQFT. (REQUIRED)  
= (.36 SPACES) 4 SPACES  
PROPOSED RETAIL BAY #3  
@ 630 SQFT. @ 4.5 SPACES/1000 SQFT. (REQUIRED)  
= (.3) SPACES 4 SPACES  
PROPOSED (2B) 4-STORY HOTEL GUESTROOM SUITES  
(SE CORNER) ANALOGY: 1000 SQFT. @ 4.5 SPACES/1000 SQFT.  
= (.45 SPACES) 5 SPACES

## REVISIONS

 REVISED 03/09/00 AS PER P 4 Z DEPT. COMMENTS.  
 REVISED 10/07/00 AS PER P 4 Z DEPT. COMMENTS.  
 REVISED 10/07/00 AS PER P 4 Z DEPT. COMMENTS: BOTTOM OF RAINF. ADDED STOP SIGN BARS, ADDED "BLDG. MOUNTAGE HT. 15' BARS".  
 REVISED 12/05/00 AS PER OWNER COMMENTS: MODIFY EXT.G. DRIVEWAY @ ATLANTIC AVE. & POOL DECK.  
 REVISED 03/29/01 AS PER PLANNING AND ZONING DEPT. COMMENTS: ADD NOTE FOR STOP BAR AND SIGN.  
 REVISED 06/22/02 AS PER OWNER COMMENTS: PROJECT PHASING.

FILE NUMBER 921A101

DRAWING TITLE

DATE **12.05.10** | DRAWN BY **GE/JC**  
JOB NUMBER **240921**

DRAWING NUMBER

**A1 01**

## A1.01

