



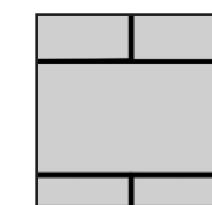
*East Elevation*



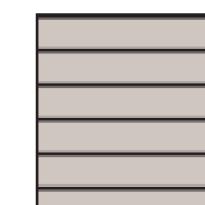
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



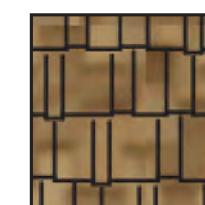
"STONINGTON GRAY"  
(SCORE LINE BASE)



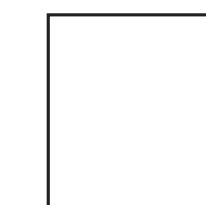
"BERKSHIRE BEIGE"  
(LAP SIDING)



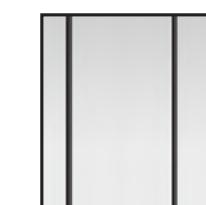
"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
OUTLOOKERS, BRACKETS  
& GABLE ENDS)



"PERFECTION"  
(WOOD CEDAR  
SHINGLE ROOF)

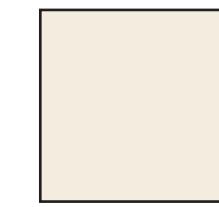


"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

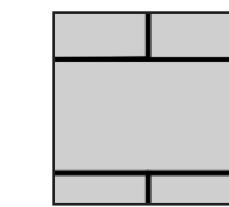
DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*



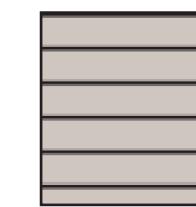
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



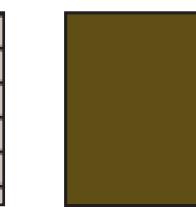
"BRONZE"  
(WINDOWS, DOORS,  
ALUMINUM SHUTTERS  
AND RAILINGS)



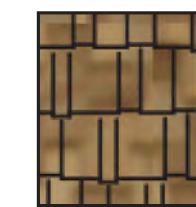
"STONINGTON GRAY"  
(SCORE LINE BASE)



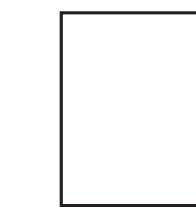
"BERKSHIRE BEIGE"  
(LAP SIDING)



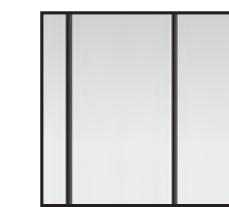
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(WOOD CEDAR  
SHINGLE ROOF)

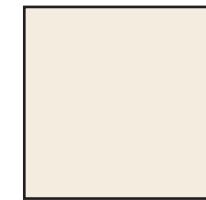


"BRILLIANT WHITE"  
(WOOD TRIM,  
COLUMNS  
& BANDING)



"SANDSTONE"  
(KYNAR 500  
STANDING SEAM  
METAL ROOF)

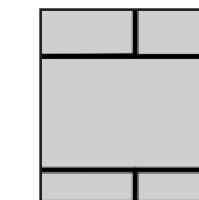
DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*



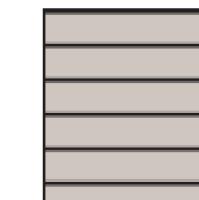
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"BRONZE"  
(WINDOWS, DOORS,  
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AND RAILINGS)



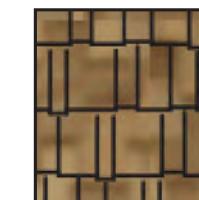
"STONINGTON GRAY"  
(SCORE LINE BASE)



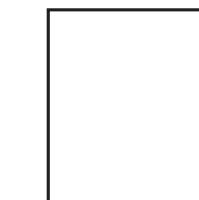
"BERKSHIRE BEIGE"  
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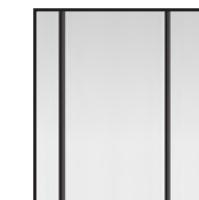
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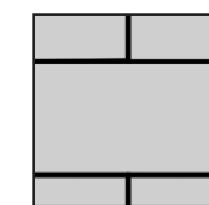
DELRAY BEACH MARRIOTT  
*Delray Beach, Florida*

*West Elevation*

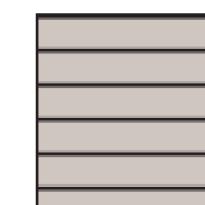
"ACADIA WHITE"  
(SMOOTH STUCCO  
MAIN TOWER)



"BRONZE"  
(WINDOWS, DOORS,  
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AND RAILINGS)



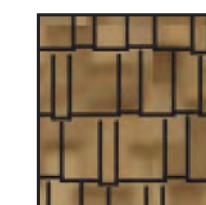
"STONINGTON GRAY"  
(SCORE LINE BASE)



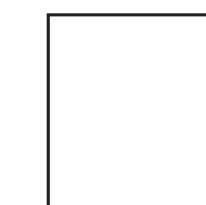
"BERKSHIRE BEIGE"  
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"TUDOR BROWN"  
(WOOD TRIM, COLUMNS,  
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COLUMNS  
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"SANDSTONE"  
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**DELRAY BEACH MARRIOTT**  
*Delray Beach, Florida*







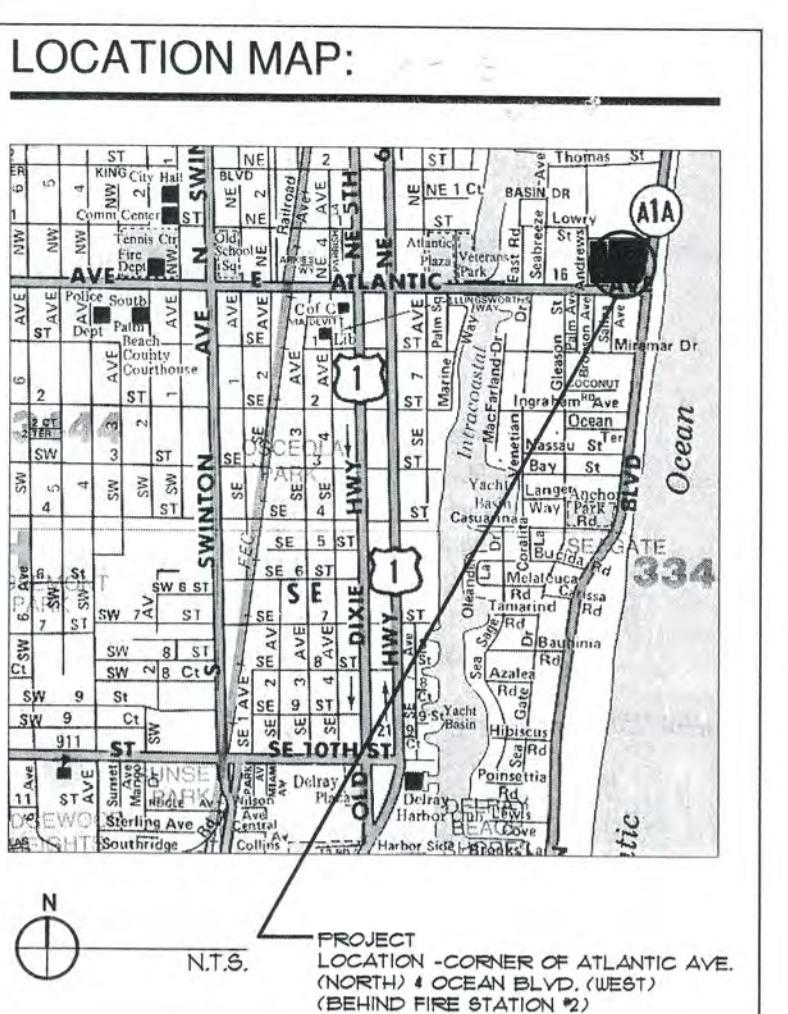




BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)						
ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE	
NORTH OCEAN BLVD.	FINISHED GRADE TO 31'-0" 39'-0" LOT FRONTAGE	10% / 90%	10'-0" MAX.	38'-3" / 48'-0"	0'	
	REMAINING LENGTH	15'-0" MIN.	51' / 50'	41'-0" / 0"		
	ALLOWABLE MIN. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	38'-3" + 10% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	ALLOWABLE MAX. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	48'-0" + 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK	0'-0" + 0"				
	PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK	41'-0" = 100%				
	BUILDING HEIGHT OPEN SPACE	REQUIRED: MIN. 28'-0" / 48'-0" REQUIRED: 10%	PROVIDED: 18'-6" (TOP OF CABANA SUITES) PROVIDED: 11.3%			

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)						
ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE	
ATLANTIC AVENUE (LOWER LEVEL)	FINISHED GRADE TO 31'-0" 39'-0" LOT FRONTAGE	10% / 90%	10'-0" MAX.	21'-0" / 35'	283'-6"	
	REMAINING LENGTH	15'-0" MIN.	40' / 11'	49'-0"		
ATLANTIC AVENUE (UPPER LEVEL)	31'-0" TO 48'-0" 39'-0" LOT FRONTAGE	10% / 90%	15'-0" MIN.	21'-0" / 35'	385'-0"	
	REMAINING LENGTH	5'-0" MIN.	40' / 11'	40'-0" (10%)		
	ALLOWABLE MIN. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	21'-0" = 10% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	ALLOWABLE MAX. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	385'-0" + 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK	12'-0" + 0"				
	PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK	41'-0" = 100%				
	BUILDING HEIGHT OPEN SPACE	REQUIRED: MIN. 28'-0" / 48'-0" REQUIRED: 10%	PROVIDED: 18'-6" (TOP OF CABANA SUITES) PROVIDED: 11.3%			

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)						
ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE	
ANDREWS AVENUE	FINISHED GRADE TO 42'-11" THE 39'-0" LOT FRONTAGE	10% / 90%	10'-0" MAX.	54' / 70'	12'-0"	
	REMAINING LENGTH	15'-0" MIN.	40' / 11'	49'-0"		
ATLANTIC AVENUE (UPPER LEVEL)	31'-0" TO 48'-0" 39'-0" LOT FRONTAGE	10% / 90%	15'-0" MIN.	21'-0" / 35'	385'-0"	
	REMAINING LENGTH	5'-0" MIN.	40' / 11'	40'-0" (10%)		
	ALLOWABLE MIN. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	21'-0" = 10% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	ALLOWABLE MAX. BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.	385'-0" + 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
	PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK	12'-0" + 0"				
	PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK	41'-0" = 100%				
	BUILDING HEIGHT OPEN SPACE	REQUIRED: MIN. 28'-0" / 48'-0" REQUIRED: 10%	PROVIDED: 42'-11" (ROOF DECK ABOVE AVG. CROWN OF RD.) PROVIDED: 11.3%			



Architecture, Planning and Design  
AA-26002044  
205 George Bush Blvd.  
Delray Beach, Florida 33444  
TEL: 561-276-6011  
FAX: 561-276-6129  
ISSUED FOR SFRB  
BIDS  
PERMIT 06/05/12  
CONSTRUCTION

PROJECT TITLE  
**PROPOSED MARRIOTT EXPANSION (PHASE II)**

## 10 N. OCEAN BLVD., DELRAY BCH, FL.

REVISIONS  
 □ REVISED 03/19/08 AS PER P 4 Z DEPT. COMMENTS.  
 □ REVISED 10/01/08 AS PER P 4 Z DEPT. COMMENTS.  
 □ REVISED 10/01/09 AS PER P 4 Z DEPT. COMMENTS. BOTT. OF RAMP ADDED. ST. OF SIGN & BAR ADDED. BLDG. FRONTAGE HT. SETBACK.  
 □ REVISED 12/05/10 AS PER OWNER COMMENTS. MODIFY EXTG. DRIVEWAY @ ATLANTIC AVE. & POOL DECK.  
 □ REVISED 03/05/11 AS PER PLANNING AND ZONING DEPT. COMMENTS. PROVIDE NOTES FOR ST. BAR AND SIGN.  
 □ REVISED 06/22/12 AS PER OWNER COMMENTS. PROJECT PHASING.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER 921A101

DRAWING TITLE

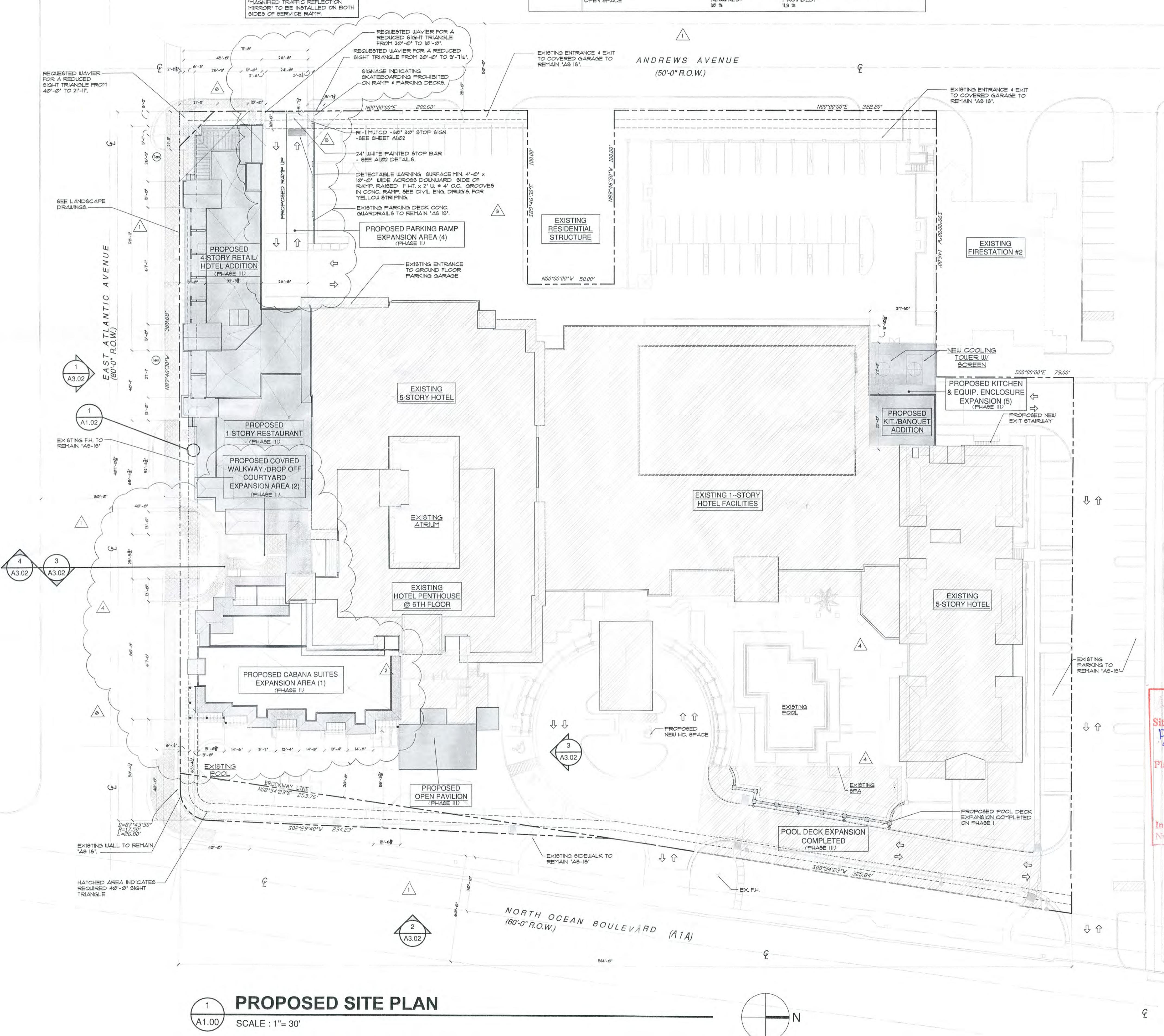
## PROPOSED SITE PLAN FLOOR PLAN

DATE 12.05.10 DRAWN BY GE/JC

JOB NUMBER 24091

DRAWING NUMBER

A1.01



**SITE PLAN APPROVAL**

Site Plan Review & Appearance Board 08/1/2012

Define these (3) phases and mitigate undeveloped and exterior Cabana suites by reducing rooms from 9 to 8.

Planning Dept. Paul Donly 10/18/2012 Name & Date

All Applications For Permits Must Conform In Every Respect To These Approved Plans.

In-Lieu Parking N/A Yes Amount Due \$

MMJ

TOTAL PARKING REQUIRED FOR HOTEL RENOVATION/ADDITION = 3444.8 SPACES 35 SPACES.

TOTAL PARKING REQUIRED FOR EXISTING HOTEL = 383 SPACES.

EXISTING HOTEL (REQUIRED) = 383 SPACES.

PROPOSED HOTEL RENOV/ADDITION = 95 SPACES.

TOTAL PARKING REQUIRED = 478 SPACES.

PROPOSED HOTEL RENOV/ADDITION WILL ELIMINATE 32 EXISTING SURFACE PARKING SPACES.

EXISTING PARKING = 493 SPACES.

EXISTING H. PARKING = 2 SPACES.

EXISTING PARALLEL PARKING = 4 SPACES.

EXISTING STANDARD PARKING = 26 SPACES.

TOTAL SPACES ELIMINATED = 32 SPACES.

EXISTING PARKING = 457 SPACES.

TOTAL SPACES PROVIDED = 501 SPACES.

(1) ADDITIONAL HC SPACE = 508 SPACES.

REQUIRED 418 SPACE - PROVIDED 508 SPACES.