



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444  
PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: January 9, 2019

File No.: 2017-173-  
SPI-SPR-CL4

Application Type: Class IV Site Plan, Landscape Plan,  
Architectural Elevations and Murals – Taco Bell

#### General Data:

Agent/Applicant: Eduardo Carcache, CKE Group, Inc.

Owner: Lot5070, LLC

Location: 5070 W. Atlantic Avenue, Delray Commons

PCN: 12424614240020000

Property Size: 1.18 Acres

FLUM: GC (General Commercial)

Zoning: PC (Planned Commercial), Four Corners Overlay  
District

#### Adjacent Zoning:

- North: PC
- South: PC
- East: PC
- West: PC

Existing Land Use: Vacant bank with drive-thru service.

Proposed Land Use: 2,053 SF restaurant with drive-thru  
service.

#### Item before the Board:

The action before the Board is the consideration of a Class  
IV Site Plan Modification application for the Taco Bell at  
Delray Commons pursuant to LDR Section 2.4.5 (G),  
including the following:

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations
- ☐ Murals



#### Staff Recommendations:

##### Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

##### Landscape Plan:

Move approval of the Landscape Plan for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

#### Project Planner:

Christine Stivers, Senior Planner;  
[stiversc@mydelraybeach.com](mailto:stiversc@mydelraybeach.com),  
561-330-6056

#### Review Dates:

SPRAB Board: January 9, 2019

#### Attachments:

1. Site Plans
2. Elevations/Murals
3. Landscape Plan
4. Project Narrative
5. Master Development Plan





**Architectural Elevations:**

Move approval of the Architectural Elevations for **Taco Bell at Delray Commons**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

**Murals:**

Move approval of the Murals for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

**Background:**

The subject parcel, also known as a portion of Tract 2 of the Delray Commons Shopping Center, P.B. 85, Page 183, was approved in August of 1999 to create separate, saleable tracts. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, ingress, and parking and drainage easements, as recorded on June 1, 1999 in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 sf of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 sf bank with drive-thru area and associated parking.

The site has a General Commercial (GC) Future Land Use Map designation and a zoning designation of Planned Commercial (PC). In 2007, the Four Corners Overlay District was created for the intersection of South Military Trail and West Atlantic Avenue which included the subject property. All development within the Four Corners Overlay District shall process a Master Development Plan. Additionally, Four Corners Overlay District has a minimum structure size of 4,000 sf. A waiver was requested to reduce the minimum floor area from 4,000 sf to 2,053 sf.

On September 17, 2018, the Planning and Zoning Board approved a Master Development Plan Modification (MDPM) for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

**Project Description:**

The application request includes a Class IV Site Plan Modification and associated Architectural Elevations and Landscape Plans, to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking. Murals are proposed on the east and west side of the proposed structure. The site improvements include the removal of the existing bank and parking lot to accommodate the proposed building, parking, and landscaping. 0.625 acres of the 1.18 acres contained in Tract 2 are proposed to be developed with this application. It is noted that future development is planned in the remaining area of Tract 2.

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

The subject property is zoned within the PC Zoning District, in the Four Corners Overlay District. The Four Corners Overlay District is subject to the standards of the GC Zoning District. The following chart provides the applicable Development Standards for Delray Commons Shopping Center (the Master Development Plan), as well as the Taco Bell site, as provided in LDR Sections 4.4.9, GC Zoning District applicable to the Four Corners Overlay District, Section 4.4.12, PC Zoning District, and Section 4.3.4(K), Development Standards. Pursuant to LDR Section 4.4.9(G)(3)(e)(1)(a), where standards unique to the Four Corners Overlay District conflict with standards contained elsewhere in the zoning code, that unique standard shall apply.

	Required	Provided as noted	Tract 2 leased area (Taco Bell)
<b>PC Zoning District, Development Standards</b>			
Open Space (Minimum for MDP) Delray Commons	25%	24.33%	
Open Space (Minimum) -Tract 2	25%	58.50%	25.6%
Front Setback (Minimum): West Atlantic Avenue	30'	30'	30'
<b>GC Zoning District, Development Standards for the Four Corners Overlay District</b>			
Site Area (Minimum for MDP) Delray Commons	4 acres	8.37 acres	
Lot Coverage (Maximum for MDP) Delray Commons	75%	75.67%	





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Lot Coverage (Maximum) -Tract 2	75%	41.50%	74.4%
Front Perimeter Landscape Buffer (Minimum): West Atlantic Avenue	21'	10' plus existing access road to remain	
Floor Area (Minimum square feet): Tract 2	4,000 sf	2,053 sf*	2,053 sf

\* Waiver granted 9/17/2018 by PZB.

The information provided in the chart above includes Delray Commons Shopping Center as well as site specific information for Tract 2 and the leased area for the Taco Bell development. Any future site construction or substantial footprint changes within Tract 1 and Tract 2 must be processed under the Four Corners Overlay District site development and setback requirements.

### Four Corners Overlay District, Supplemental Regulations:

Pursuant to LDR Section 4.4.9(G)(3), a restaurant with drive-thru service is permitted per Sections 4.4.9(B)(4).

### Lighting:

The proposed lighting consists of wall fixtures on the building and freestanding poles within the parking area. The proposed values are within the permitted minimum and maximum ranges, which comply with the requirements of LDR Section 4.6.8(B)(3), Illumination Standards.

### Minimum Parking Requirements:

LDR Section 4.6.9(C)(3)(e), states that shopping centers shall require 4 spaces per 1,000 sf of gross leasable floor area, irrespective of uses, for up to 400,000 sf. Delray Commons Shopping Center had an existing total building square footage of 72,949 sf (leasable area not studied) per the previous Master Development Plan. Utilizing the total square footage of the existing buildings, a total of 290 parking spaces are required; 365 spaces are provided. With the proposed development changes, the shopping center building square footage will be reduced to 72,141 sf (as shown on the approved Master Development Plan), which will require 288 parking spaces; 306 spaces are provided.

### Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public rights-of-way. The refuse enclosure does not face a public right of way but faces the interior of the center along a drive aisle. The area is enclosed on three sides and provides gates along the drive aisle. **An updated detail of the refuse enclosure gates shall be provided prior to site plan certification. Gates shall be visually compatible with the site architecture.**

### Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. A tree disposition plan was included with the landscape plans. Many of the existing trees will remain in their current location or be relocated within the proposed landscape design. The required landscape buffer along West Atlantic Avenue has been enhanced with the inclusion of additional landscape material. Native species were utilized in the proposed design.

### Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.





Per LDR Section 4.4.9(G)(3)(e)2, the Four Corners Overlay District requires that any free-standing non-residential structure be architecturally consistent with other structures in the Master Development Plan. The proposed facade elevations illustrate that the elements of the surrounding buildings have been considered. Similar design elements from the adjoining restaurant have been proposed that include a tower entry element, similar earth tone colors and entry awning. Although the center is aging and dated in appearance similar base colors used in the center are utilized on the proposed building.

The elevations are generally in good taste and will not materially depreciate the surrounding environment. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

#### **Mural Analysis**

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The building is within the Delray Commons Shopping Center. A mural is proposed on the east and west facades of the structure. The larger mural, located on the west facade of the building, will be painted on fiber cement panels. The size is approximately 16-feet tall by 28-feet in length. The mural located on the eastern façade, along the drive-thru lane, will be painted on dibond panel and is approximately 11-feet tall by 21-feet in length. Both murals appear to be of similar content and color. The mural contains graphics of beach images as well as text in Spanish.

With respect to the murals, staff believes the scale and proportion are adequate on the western façade but could be larger on the eastern façade. The murals do not appear to have Taco Bell branding within the content so they will not be classified as signage. As stated previously, the center is aging and dated in its architectural style. Staff believes the applicant has brought forth a design to individualize the chain restaurant to reflect Delray Beach with the architectural design and the introduction of the murals and therefore, bring needed freshness to the center. Because the murals are located on the east and west facades, they will not face public rights of way.

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

**FUTURE LAND USE MAP:** The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

**CONCURRENCY:** Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

A positive finding of concurrency was made with the review of the Master Development Plan Modification, including a positive concurrency finding for streets and traffic by the Palm Beach County Traffic Division.

**CONSISTENCY:** Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(G)(5)





for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

As described in Appendix A, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions.

**COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs):** Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

**LDR Section 2.4.5(G) (5) - Compatibility (Site Plan Findings):** the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the Master Development Plan for the proposed restaurant:

	Adjacent Zoning	Adjacent Land Use
North	Planned Commercial (PC)	Marketplace at Delray Shopping Center
East	General Commercial (GC) and PC	Gasoline Station, Delray West Shopping Plaza, Bank, Vacant Land and Dunkin Donuts
South	Multiple Family Residential (RM-8)	Gramercy Square
West	PC	Jiffy Lube, Firestone, Various Services and Facilities

The proposed improvements at the Delray Commons Shopping Center are consistent with the PC Zoning district, which allows uses permitted within the Four Corners Overlay District per Section 4.4.9, GC zoning district. The adjacent developments consist of both commercial and residential uses, which have previously been considered as consistent with the center, and no adverse effects are anticipated with the continuation of the current use of the site. Therefore, a positive finding can be made with regard to LDR Section 2.4.5(G)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

**Comprehensive Plan Policies:** A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

**Future Land Use Element Objective A-1** - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property will remain consistent with the GC zoning designation and the Four Corners Overlay District. While the Four Corners Overlay District encourages more intense development incorporating mixed-use development, it not inconsistent with it by further developing the site and providing additional commercial opportunities for the city's residents and visitors.

#### **Review by Others:**

The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA).

#### **Courtesy Notice:**





Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- The Hamlet

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

#### Assessment and Conclusion:

The proposed development is consistent with the policies of the Comprehensive Plan and can be found consistent the Land Development Regulations upon approval of the associated waiver. Also, a positive finding can be made with respect to LDR Section 2.4.5(G)(5), Findings, as the proposed development does not significantly affect surrounding properties. The proposed development within Delray Commons Shopping Center expands on the Center's current uses, improvements are appropriate and will not impact the Center's previously found compatibility with the surrounding area. While the proposed development minimum structure size is less than envisioned in the Four Corners Overlay District, the use is permitted and harmonious with the surrounding shopping center.

#### Alternative Actions:

- Continue with direction.
- Move approval of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E) and Chapter 3, Performance Standards, of the Land Development regulations.
- Move denial of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E), and Chapter 3, Performance Standards, of the Land Development regulations.

#### Recommended Actions:

By Separate Motions:

##### Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

##### Landscape Plan:

Move approval of the Landscape Plan (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

##### Architectural Elevations:

Move approval of the Architectural Elevations (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 2.4.5(I)(5), Section 4.6.18(E) of the Land Development Regulations.





Murals:

Move approval of the Murals (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 4.6.18(E) of the Land Development Regulations.

NOTES:

If the site plan and associated plans are approved, the following must be addressed prior to site plan certification or building permit issuance, as noted:

1. Prior to site plan certification, provide a note on the plans that all signage is to be approved by separate permit.
2. Prior to site plan certification provide an updated detail of the refuse enclosure gates as they front a drive aisle. Gates shall be visually compatible with the site architecture.
3. Prior to site plan certification provide fire code reference –Florida Fire Prevention Code 6<sup>th</sup> Edition – Florida Specific NFPA-1 fire code, 2015 Edition and Florida Specific NFPA 101, Life Safety Code, 2015 Edition on the site plan.
4. Prior to building permit issuance, provide the South Florida Water Management District Permit or permit modification.
5. Prior to building permit issuance, provide the Lake Worth Drainage District or confirmation that no permit is needed.
6. Prior to building permit issuance, provide a Composite Utility Plan signed by a representative of each utility company.
7. Prior to building permit issuance, provide details for fire place, including fuel source (manufacturers specifications, installation manuals, etc. should be provided at time of permit application submittal.

Staff Report Prepared by: *Christine Stivers, Senior Planner*





**APPENDIX "A"-CONCURRENCY FINDINGS:**

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

**Water and Sewer:** The site will connect to an existing 8" water main which transverses through the property and connects within the West Atlantic Avenue right-of-way.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

**Streets and Traffic:** A traffic study has been submitted that indicates that the proposed development will generate 4,139 daily trips, whereas the original MDP approval provided for 4,005 daily trips, therefore, there is an increase of 134 daily trips. A finding of concurrency has been received from the Palm Beach County Traffic Division.

**Parks and Recreation Facilities:** Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

**Solid Waste:** The existing shopping center use (71,748 sq. ft.), which includes all development on the two parcels, generated 261.88 tons of solid waste per year. The proposed improvements decrease the square footage to 70,801 sf therefore the shopping center will generate 258 tons of solid waste per year. The development proposal will result in a 4 ton decrease. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2048.

**Drainage:** Drainage will be accommodated on site. There are no problems anticipated to bring the site into compliance with South Florida Water Management District (SFWMD) requirements in efforts to obtain a surface water permit.

Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.





**APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent





- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent



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[illegible]

VICINITY MAP



LOCATION MAP

## PROJECT NOTES

PROPERTY OWNER	LOT 5070 LLC 2225 N COMMERCE PARKWAY SUITE 4 FORT LAUDERDALE, FL 33326-3271
DEVELOPER	TACO BELL OF AMERICA, LLC 1 GLEN BELL WAY IRVINE, CA 92618 CONTACT: JIM MCNALLY (513) 808-5245
CIVIL ENGINEER	CKE GROUP 15500 NEW BARN RD. SUITE 106 MIAMI LAKES, FL 33014 CONTACT: ED CARCACHE (305) 558-4124
ARCHITECT	CKE GROUP 15500 NEW BARN RD. SUITE 106 MIAMI LAKES, FL 33014 CONTACT: ANA GONZALEZ (305) 558-4124
LANDSCAPE ARCHITECT	RICHARD BARLETT LANDSCAPE, INC. 14417 STIRRUP LANE WELLINGTON, FL 33414 CONTACT: RICHARD BARLETT (561) 795-0443
SURVEYOR	CLARK SURVEYING INC 177 S. TIFFANY DRIVE, UNIT 1 PUEBLO WEST, CO 81007 CONTACT: JUSTIN CROSSON (719) 766-9072
SIGN DESIGNER/VENDOR	EVERBRITE, LLC PO BOX 20020 GREENFIELD, WI 53220 (414) 529-3500

## DESIGN AND DEVELOPMENT CONTACTS

PLANNING AND ZONING	CITY OF DELRAY BEACH PLANNING DEPARTMENT 100 NW 1ST AVE DELRAY BEACH, FL 33444 CONTACT: MARK McDONALD (561) 243-7040 EXT. 6213
BUILDING PERMIT	CITY OF DELRAY BEACH BUILDING DEPARTMENT 100 NW 1ST AVE DELRAY BEACH, FL 33444 CONTACT: DENISE BARKER (561) 243-7200 EXT. 6101
FIRE DEPARTMENT	CITY OF DELRAY BEACH FIRE DEPARTMENT 501 W ATLANTIC AVE DELRAY BEACH, FL 33444 CONTACT: DAVE HERBERT (561) 243-7427 OR (561) 243-7200
TRANSPORTATION	FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 4 3400 WEST COMMERCIAL BOULEVARD FORT LAUDERDALE, FL 33309 CONTACT: GERRY O'REILLY (866) 336-8435
WATER/WASTEWATER	DELRAY BEACH PUBLIC UTILITIES 434 S SWINTON AVE DELRAY BEACH, FL 33444 CONTACT: SCOTT SOLOMON (561) 243-7309
STORMWATER	CITY OF DELRAY BEACH PUBLIC WORKS 100 NW 1ST AVE DELRAY BEACH, FL 33444 CONTACT: STEVE TOBIAS (561) 243-7207

## GOVERNING AGENCIES CONTACTS

ELECTRIC COMPANY	FPL 9269 S. MILITARY TRAIL DELRAY BEACH, FL 33438 CONTACT: FRANK PUEYO (561) 742-2000
WATER/WASTEWATER	DELRAY BEACH PUBLIC UTILITIES 434 S. SWINTON AVE DELRAY BEACH, FL 33444 CONTACT: SCOTT SOLOMON (561) 243-7309
STORMWATER	CITY OF DELRAY BEACH PUBLIC WORKS 100 NW 1ST AVE DELRAY BEACH, FL 33444 CONTACT: STEVE TOBIAS (561) 243-7207
NATURAL GAS	FLORIDA PUBLIC UTILITIES 1641 WORTHINGTON RD, SUITE 220 WEST PALM BEACH, FL 33409 CONTACT: JARRETT SMITH (561) 537-0462
TELEPHONE / CATV	AT&T 321 SE 2ND STREET DELRAY BEACH, FL 33483 CONTACT: PAUL BRYAN (561) 988-6519

## UTILITY CONTACTS

		03/02/2018	REVISION 1	REVISION 2	REVISION 3															
<b>CIVIL</b>																				
CV-1	COVER SHEET																			
CV-2	LEGEND AND GENERAL NOTES	●																		
D-1	DEMOLITION PLAN	●																		
C-0.1	EXISTING MASTER DEVELOPMENT PLAN CITY OF DELRAY COMMONS	●																		
C-0.2	MASTER DEVELOPMENT PLAN CITY OF DELRAY COMMONS	●																		
C-1	SITE PLAN	●																		
C-2	GRADING AND DRAINAGE PLAN	●																		
C-3	UTILITY PLAN	●																		
C-4	PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN																			
C-5	PHASE 2 EROSION AND SEDIMENTATION CONTROL PLAN	●																		
CO-1	COMPOSITE OVERLAY PLAN																			
CD-1	CONSTRUCTION DETAILS	●																		
CD-2	CONSTRUCTION DETAILS	●																		
CD-3	CONSTRUCTION DETAILS	●																		
CD-4	CONSTRUCTION DETAILS	●																		
CD-5	CONSTRUCTION DETAILS	●																		
CD-6	CONSTRUCTION DETAILS																			
TE-1	TRASH ENCLOSURE DETAILS																			
GT-1	GREASE TRAP DETAILS																			
GT-2	GREASE TRAP DETAILS																			
<b>ARCHITECTURE</b>																				
A-1.0	FLOOR PLAN	●																		
A-4.0	EXTERIOR ELEVATIONS BLACK AND WHITE																			
A-4.1	EXTERIOR ELEVATIONS BLACK AND WHITE																			
-	COLOR RENDERING	●																		
T2.0	LIFE SAFETY																			
<b>REFERENCE</b>																				
T	OF 1 LAND SURVEY	●																		
L-1	LANDSCAPE PLAN	●																		
L-2	TREE DISPOSITION PLAN	●																		
L-3	IRRIGATION PLAN	●																		
L-4	SPECIFICATIONS	●																		
E1.0	PHOTOMETRIC PLAN	●																		
E1.1	PHOTOMETRIC PLAN DETAILS	●																		
PH-1	PHOTOGRAPHS																			

## SHEET INDEX

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES

**ALERT TO CONTRACTOR**

[illegible]

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Blvd.  
Delray Bch., FL



T-40  
OPEN KITCHEN  
DELRAY BEACH SOL

COVER  
SHEET

CV-1

PLOT DATE: 08-23-2018



PROPOSED LEGEND

	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE BUFFER LINE
	TRENCH CURB
	TRENCH CURB BY OTHERS
	TYPE "F" CURB
	BUILDING
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	3' WIDE MILL AND OVERLAY
	TRAFFIC ARROW
	PARKING COUNT SYMBOL
	SITE LIGHTING POLE
	FLOW LINE
	SLOPE AND FLOW ARROW
	SPOT ELEVATION
	DRAINAGE STRUCTURE CALLOUT (TYPE, NAME, RIM)
	STORM WATER PIPE
	STORM CATCH BASIN
	STORM CLEANOUT
	LIMITS OF SUB-BASIN
	RIDGE LINE
	YARD DRAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	NATURAL GAS LINE
	SANITARY SEWER
	WATER MAIN
	UNDERGROUND LIGHTING SCHEMATIC
	IRRIGATION SLEEVE
	UNDERGROUND CABLE
	FIRE LINE
	REUSE WATER MAIN
	SANITARY SEWER CLEANOUT
	SANITARY SEWER STRUCTURE SYMBOL
	GROUND TO BE CLEARED AND GRUBBED
	CONCRETE CURB TO BE REMOVED
	UTILITY CONDUIT/PIPE TO BE REMOVED
	LIMITS OF SAWCUT AND PAVEMENT REMOVAL
	LIMITS OF DISTURBANCE
	DIRECTION OF OVERLAND FLOW
	TEMPORARY SILT FENCE
	SILT DIKE ON PAVEMENT
	SWPPP INFORMATION SIGN
	CONSTRUCTION EXIT
	TEMPORARY INLET PROTECTION (REFER TO SHEET C-0.3 FOR DETAIL)

EXISTING LEGEND

	SITE BENCHMARK
	FOUND MONUMENT (AS NOTED)
	SANITARY MANHOLE
	CLEANOUT
	STORM INLET (RECTANGLE)
	IRRIGATION CONTROL VALVE
	LIGHT POLE
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	UTILITY POLE
	A/C UNIT
	MONITOR WELL
	HANDICAP PARKING
	REGULAR PARKING SPACES
	PILLAR
	DECIDUOUS TREE
	PALM TREE
	LANDSCAPED AREA
	BOLLARD
	SIGN
	STORM LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	WATER LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	ELECTRIC LINE (UNDERGROUND)
	ELECTRIC LINE (OVERHEAD)
	FIBEROPTIC LINE (UNDERGROUND)
	TELEPHONE LINE (UNDERGROUND)
	PLASTIC FENCE
	CONCRETE AREA
	MEASURED
	RECORD
	POLYVINYL CHLORIDE PIPE
	CORRUGATED METAL PIPE

STANDARD ABBREVIATIONS

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
BC	BOTTOM OF CURB
BL	BASELINE
BLDG	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
GC	GRADE CHANGE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOD	LIMITS OF DISTURBANCE
LDP	LOW POINT
ME	MATCH EXISTING
MAX	MAXIMUM
MIN	MINIMUM
MJ	MECHANICAL JOINT
OC	ON CENTER
R	RADIUS
RCR	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE
SG	SPOT GRADE
SMH	SANITARY MANHOLE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TC	TOP OF CURB
TEL	TELEPHONE
TG	TOP OF GRATE
TP	TOP OF PAVEMENT OR CONCRETE
TW	TOP OF WALK
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAIR WALLS, FENCES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE REMOVED TO A SUSTAINABLE MATERIAL, AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPES AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN. ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR SHALL LIMIT SAW-CUT A PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGHOUT THE REMOVAL OF ANY CONFLICT OR EQUIPMENT WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTORS EXPENSE.

GENERAL SITE NOTES:

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.A. STANDARDS.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
  - ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
  - ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
  - CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
  - THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
  - THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCESS TO THE PROJECT SITE.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.
  - EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN REMOVED AND REPLACED.
  - THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION WORK. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.
  - IF REQUESTED BY THE OWNER, PROVIDE TEMPORARY CONSTRUCTION FENCING, MINIMUM 6' HIGH, AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENTS STANDARDS. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST HOLES.
  - ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC UNLESS NOTED OTHERWISE).
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
  - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, FENCING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING APPURTENANCES, STAIRS, RAMPS, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OR RECORD BEFORE COMMENCING WORK. FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
  - IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
  - THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
  - ALL VEGETATION FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE.
  - CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GOVERNING AGENCY STANDARDS.
  - ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
- GENERAL PAVING AND GRADING NOTES:**
- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
  - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
  - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL WQDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE

- AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.
- ALL REINFORCED CONCRETE PIPE SHALL BE CLASS B UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
  - ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. IN 28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5-FOOT CENTERS AND EXPANSION JOINTS PLACED ON 60-FOOT CENTERS. CHANGES IN DIRECTION, AND ABUTTING SEPARATE PORTIONS. CONTRACT JOINT SPACING MATCHES WIDTH OF SIDEWALK AND EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM OF 24 FEET. THIS WOULD MEAN 24 FEET FOR 8 INCH CURB. PAVEMENT JOINTS SHALL BE SPACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR DETAILS.
  - ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND GEOTECHNICAL REPORT.
  - THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LINEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNSUITABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
  - CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DRAINAGE MAY BE REQUIRED.
  - IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND ARCHITECT/ENGINEER PRIOR TO EXCAVATION.
  - STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
  - FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
  - CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
  - THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS WHERE CONSTRUCTION IS COMPLETED.

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR EQUIPMENT THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PAVING SCHEDULE OUTLINING THE TIME AND LOCATION OF ANY CONSTRUCTION INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "TUB OUTS" FOR POWER, TELEPHONE, FIBER OPTIC, WATER AND/OR GAS (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY. THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE, BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 4000+ P.S.I.
- REFER TO ARCHITECTURAL PLUMBING DRAWINGS FOR 1/8" OF ALL UTILITIES.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER, LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS, IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECTIONS CLOSE TO OPEN ENDS OF PIPE AND FITTINGS WITH A WATER TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.
- AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS. THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND ANY OTHER INFORMATION AS REQUIRED. THE CITY ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONNEL. ANY WORK PERFORMED PRIOR TO NOTIFYING THE CITY ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATER TIGHT PIPE WITH SEALED WATER TIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM HORIZONTAL DISTANCE OF THREE FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.). EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- ALL DIP SHALL BE CLASS 50 OR HIGHER. DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- TREES SHALL BE PLACED 30 AS TO AVOID BURIED UTILITIES.
- ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
- PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY AND/OR FIRE DEPARTMENT.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.
- WHERE SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. DIP IS NOT REQUIRED FOR STORM SEWERS. SUFFICIENT LENGTH OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL TIMES.
- ALL CROSSINGS SHOULD BE ARRANGED SO THAT THE SEWER MAIN PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING (PIPES CENTERED ON CROSSING), WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) AND THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- ALL DIP SHALL BE CLASS 50 OR HIGHER. DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- ALL FIRE HYDRANTS SHALL BE INSTALLED WITH HOSE CONNECTIONS FACING THE BUILDING.
- NO LANDSCAPE PLANTS, OTHER THAN SOD, SHALL BE PLACED WITHIN 7.5 FEET OF EACH SIDE AND THE FRONT, AND WITH 4 FOOT CLEARANCE TO THE REAR OF THE FIRE HYDRANTS PER 2004 IFPC.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:  
(PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISION, WITH PUSH ON RUBBER GASKET JOINTS.
- POTABLE WATER LINES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:  
1"-3" - DR21 (CLASS 200), PER ASTM D2241  
4"-12" - C-900 DR-18 (CLASS 150), PER AWWA C900
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER OVER ALL WATER LINES.

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EB#0004432

SEAL

EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
ANA A. GONZALEZ VALDEZ  
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△		
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△		
△		

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Blvd.  
Delray Bch., FL



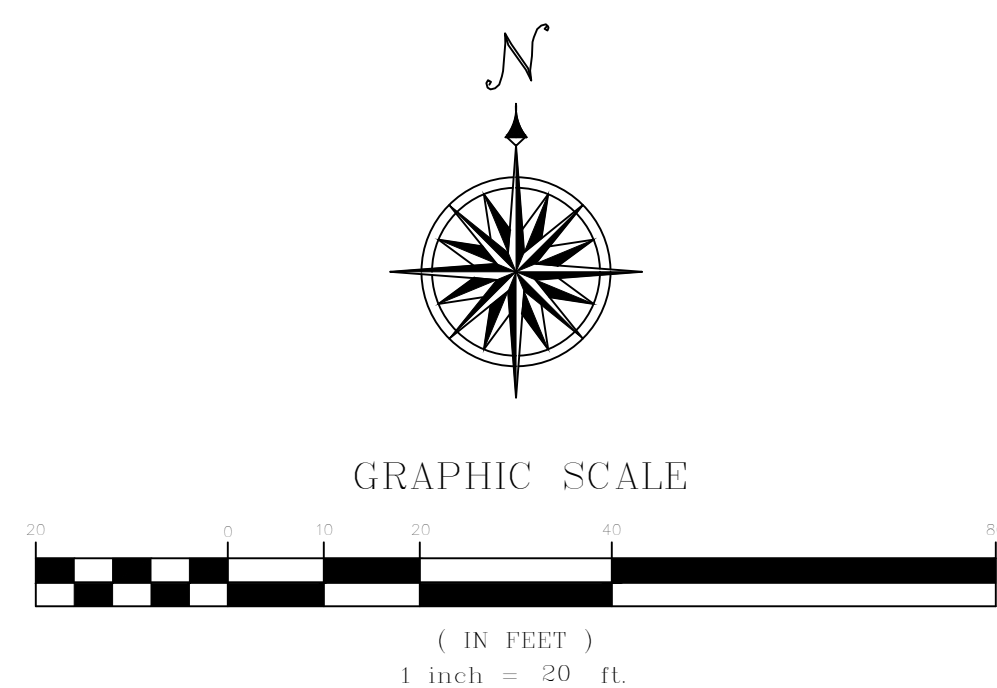
OPEN KITCHEN  
DELRAY BEACH SOL

LEGEND &  
GEN. NOTES

CV-2

PLOT DATE: 08-23-2018

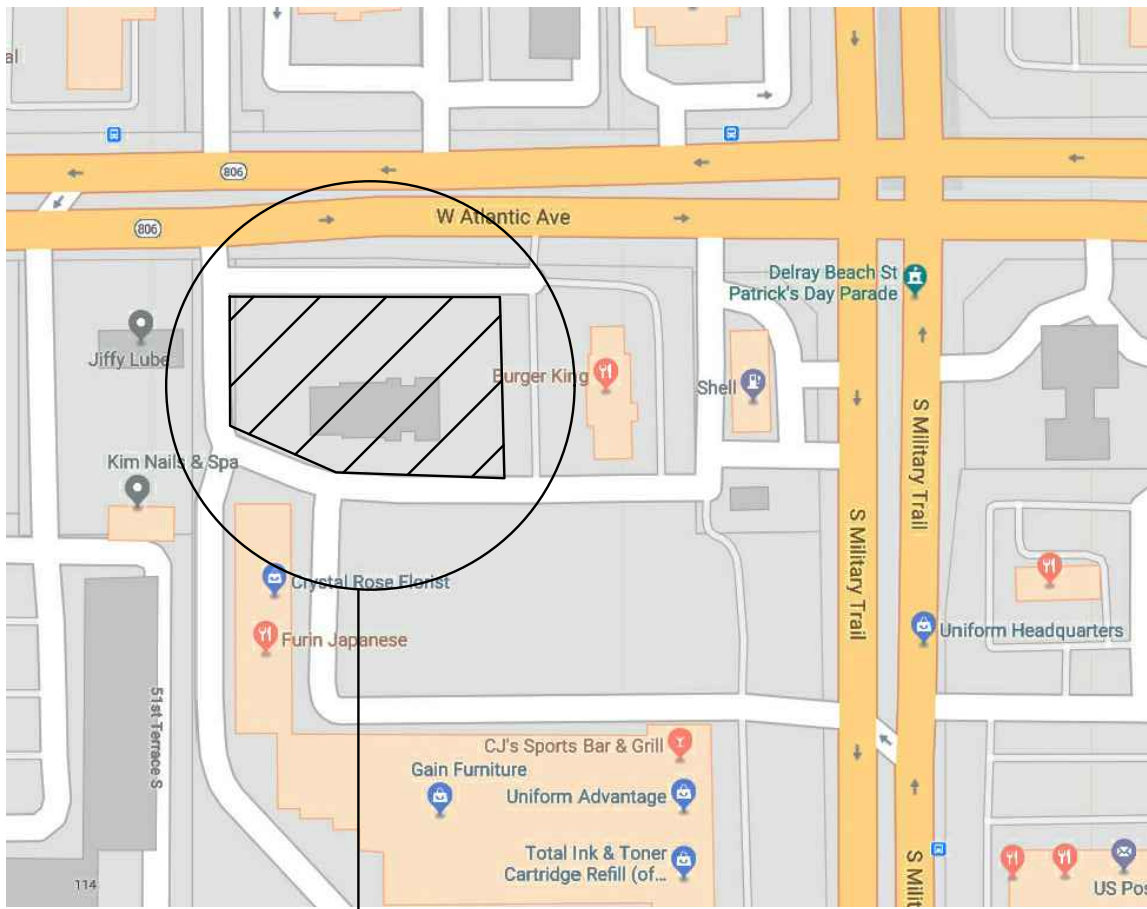
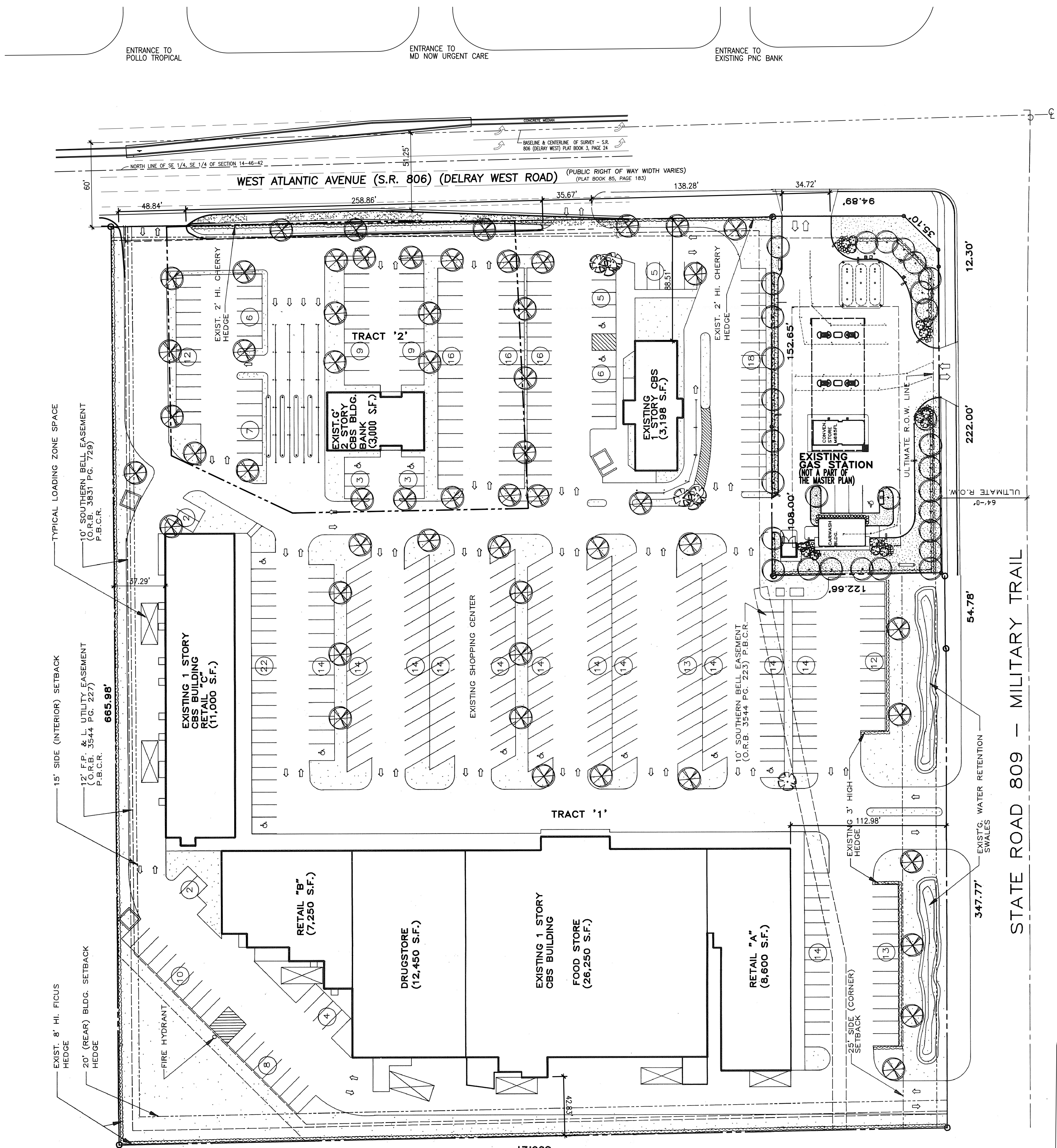




PLOT DATE: 12-06-2018

ARCHITECT-AR 97769





LOCATION SKETCH  
NOT TO SCALE

DELRAY COMMONS OVERALL SITE DATA CHART

	TOTAL	TRACT 1	TRACT 2
TOTAL PARCEL AREA (MASTER DEVELOPMENT PLAN TOTAL AREA)	367,898.00 SF / 8.446 Ac.	316,410.00SF / 7.263 Ac.	51,487.39 SF / 1.182 Ac.
TOTAL BUILDING AREA (LOT COVERAGE)	72,949.00 SF / 1.675 Ac. (19.83%)	70,088.58 SF (22.15%)	2,860.42 SF (5.56%)
TOTAL LANDSCAPE (OPEN SPACE)	68,695.30 SF / 1.577 Ac. (18.67%)	59,374.12 SF (18.76%)	9,321.18 SF (18.10%)
TOTAL PAVED AREA & WALKS	226,253.70 SF / 5.194 Ac. (61.50%)	186,947.91 SF (59.08%)	39,305.79 SF (76.34%)
PREVIOUS AREA	68,695.30 SF / 1.577 Ac. (18.67%)	59,374.12 SF (18.76%)	9,321.18 SF (18.10%)
IMPERVIOUS AREA	299,202.70 SF / 6.869 Ac. (81.33%)	257,036.58 SF (81.24%)	42,166.21 SF (81.90%)

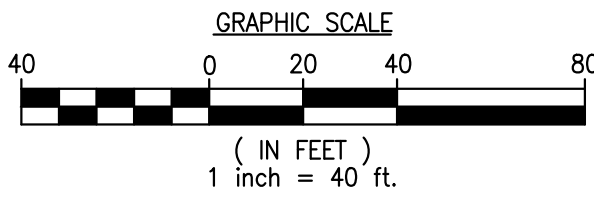
PERIMETER BUFFER

	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	21 FT.	10 FT. (PLUS ACCESS ROAD, NON-COMPLIANT)
EAST SIDE - MILITARY TRAIL	10 FT.	16.47 FT.
SOUTH SIDE - REAR	10 FT.	22.59 FT.
WEST SIDE - SIDE	10 FT.	128.38 FT.

SETBACKS

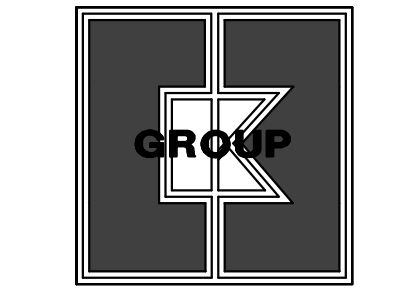
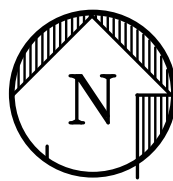
	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	30 FT.	88.51 FT.
EAST SIDE - MILITARY TRAIL	25 FT.	112.98 FT.
SOUTH SIDE - REAR	20 FT.	42.83 FT.
WEST SIDE - SIDE	15 FT.	37.29 FT.

NOTE: MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.



EXISTING MASTER  
DEVELOPMENT PLAN  
OF DELRAY COMMONS

1"=40'-0"



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SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
ANA A. GONZALEZ VALDEZ  
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	(NEW SHEET)
△	12-05-18	
△		
△		
△		
△		
△		
△		

CONTRACT DATE: -----  
BUILDING TYPE: CUSTOM  
PLAN VERSION: 1  
SITE NUMBER: 309797  
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.  
Delray Bch., FL



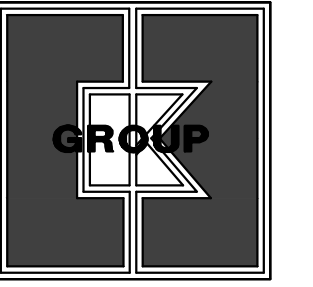
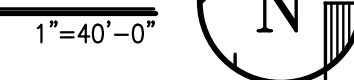
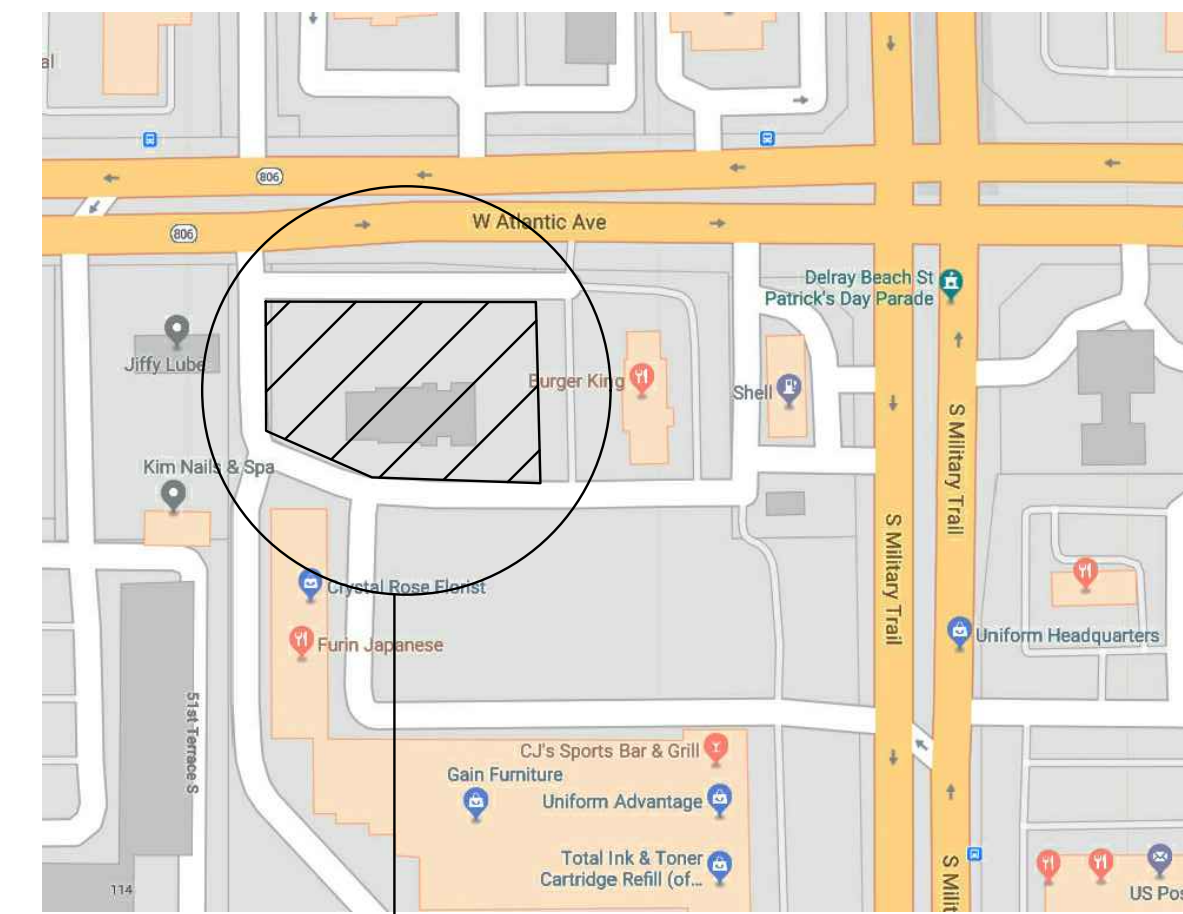
T-40  
OPEN KITCHEN  
DELRAY BEACH SOL

C-0.1

DEVELOPMENT PLAN AND  
MASTER DATA CHART

PLOT DATE: 12-06-2018

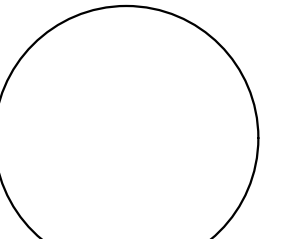




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NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	(NEW SHEET)
△	09-05-18	
△	12-05-18	
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△		

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Ave.  
Delray Bch., FL



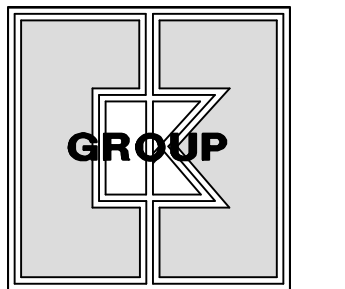
T-40  
OPEN KITCHEN  
DELRAY BEACH SOL

**C-0.2**

MASTER DEVELOPMENT PLAN  
POST CONSTRUCTION

PLOT DATE: 12-06-2018





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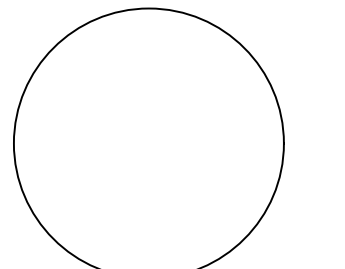
SUITE 106

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### KEYED NOTES:

- A. PROPOSED TACO BELL RESTAURANT. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- B. PROPOSED ACCESSIBLE PARKING STALL MARKINGS. REFER TO SHEET CD-1 FOR DETAIL.
- C. PROPOSED STRIPED ACCESSIBLE ACCESS AISLE. REFER TO SHEET CD-1 FOR DETAIL.
- D. PROPOSED DRIVE THRU WINDOW SENSOR LOOP.
- E. PROPOSED ACCESSIBLE CURB RAMP. REFER TO SHEET CD-3 FOR DETAIL.
- F. PROPOSED STANDARD ACCESSIBLE PARKING SPACE SIGNAGE. REFER TO SHEET CD-1 FOR DETAILS.
- G. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- H. PROPOSED 6" WIDE CROSSWALK WITH 24" WHITE STRIPING SPACED 3' ON CENTER. REFER TO SHEET CD-1 FOR DETAIL.
- I. PROPOSED 'TYPE D' CONCRETE CURB. REFER TO SHEET CD-2 FOR DETAILS.
- J. PROPOSED PAINTED TRAFFIC ARROWS. REFER TO SHEET CD-1 FOR DETAILS.
- K. PROPOSED DUMPSTER PAD AND ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
- L. PROPOSED CONCRETE DRIVE-THRU LANE. REFER TO SHEET CD-2 FOR DETAILS.
- M. PROPOSED PROTOTYPICAL LANDSCAPE FOCAL POINT PER TACO BELL STANDARDS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- N. PROPOSED PROTOTYPICAL CLEARANCE BAR. REFER TO SHEET CD-1 FOR DETAILS.
- O. PROPOSED OUTDOOR PATIO AND SEATING. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- P. PROPOSED SIX (6) INCH WIDE WHITE PARKING SPACE STRIPING. REFER TO SHEET CD-1 FOR DETAILS.
- Q. PROPOSED PROTOTYPICAL TACO BELL FREESTANDING SIGN. SIGN TO BE DESIGNED AND PERMITTED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR TO COORDINATE WITH APPROVED SIGNAGE VENDOR FOR INSTALLATION REQUIREMENTS.
- R. PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-2 FOR DETAIL.
- S. PROPOSED BIKE RACK. REFER TO SHEET CD-2 FOR DETAILS. (5 SPACES MIN.)
- T. PROPOSED TURNED DOWN CONCRETE CURB AND SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- U. PROPOSED PAINTED 'STOP' AND 'STOP BAR'. REFER TO SHEET CD-1 FOR DETAILS.
- V. PROPOSED 'STOP' SIGN. REFER TO SHEET CD-1 FOR DETAIL.
- W. PROPOSED 'STOP' AND 'DO NOT ENTER' SIGNS. REFER TO SHEET CD-1 FOR DETAIL.
- X. PROPOSED STORM SEWER MANHOLE. REFER TO SHEET CD-3 FOR DETAILS.
- Y. EXISTING SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Z. PROPOSED SITE LIGHTING. REFER TO SHEET E1.0 AND E1.1 FOR DETAILS.
- AA. EXISTING SIDEWALK TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AB. PROPOSED CONCRETE TRANSFORMER PAD TO BE INSTALLED BY FLORIDA POWER AND LIGHT. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- AC. PROPOSED OCB/CANOPY. REFER TO SHEET CD-1 FOR DETAILS.
- AD. PROPOSED MENU BOARD. REFER TO SHEET CD-1 FOR DETAILS.
- AE. PROPOSED TACO BELL 'ENTER' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AF. PROPOSED TACO BELL 'EXIT' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AG. PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
- AH. PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
- AI. PROPOSED CONCRETE WHEEL STOP. TYP. OF 9. REFER TO SHEET CD-3 FOR DETAILS.
- AJ. PROPOSED CONCRETE RAMP. REFER TO SHEET CD-3 FOR DETAILS.
- AK. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AL. PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.
- AM. PROPOSED SANITARY SEWER GREASE TRAP. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- AN. PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
- AO. EXISTING SPLICE BOX TO REMAIN.
- AP. 3' WIDE MILL AND OVERLAY. REFER TO SHEET CD-3 FOR DETAIL.

### SITE NOTES:

1. REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
2. REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
3. REFER TO SHEET C-2 FOR GRADING AND DRAINAGE PLAN.
4. REFER TO SHEET C-3 FOR UTILITY PLAN.
5. REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
6. REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
7. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO SOD ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
9. ANY ADJACENT EXISTING LANDSCAPE MATERIAL DISTURBED DURING CONSTRUCTION SHALL BE REPLACED PER AUTHORITIES HAVING JURISDICTION.
10. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN UNDERGROUND SYSTEM PROVIDING 100% COVERAGE. IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS.

NO.	DATE	DESCRIPTION
1	03-02-18	
2	07-26-18	
3	12-05-18	
4		
5		
6		
7		
8		
9		
10		

CONTRACT DATE:	*****
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

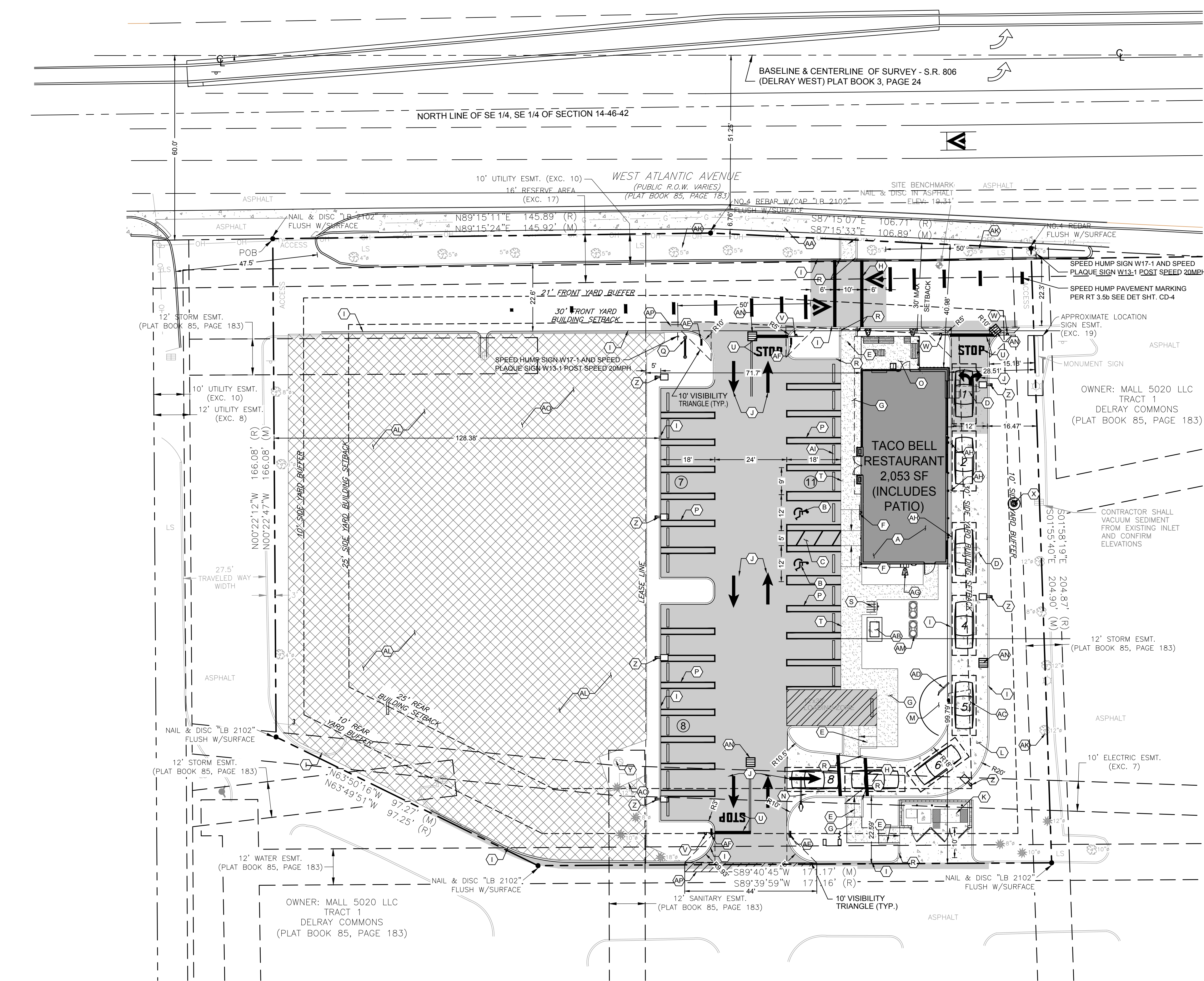
5070 W. Atlantic Ave.  
Delray Bch., FL



T-40  
OPEN KITCHEN  
DELRAY BEACH SOL  
SITE PLAN

C-1

PLOT DATE: 12-06-2018



### SITE DATA TABLE

PARCEL ID No.	12-42-46-14-24-002-0000
CURRENT ZONING	PLANNED COMMERCIAL (PC) FOUR CORNERS OVERLAY DISTRICT
EXISTING USE	RETAIL BANK WITH DRIVE-THRU SERVICE
PROPOSED USE	RESTAURANT INCLUDING DRIVE-IN AND DRIVE-THRU (PERMITTED PER ZONING SECTION 4.4.9 (B)(4)(a))
TOTAL PARCEL AREA	27,280 SF / 0.625 AC (LEASE AREA ONLY)
EXISTING IMPERVIOUS AREA	23,139 SF / 0.53 AC (84.8%) (LEASE AREA ONLY)
EXISTING OPEN SPACE	4,140 SF / 0.095 AC (15.2%) (LEASE AREA ONLY)
PROPOSED IMPERVIOUS AREA	20,304 SF / 0.466 AC (74.4%) (LEASE AREA ONLY)
PROPOSED OPEN SPACE	6,976 SF / 0.160 AC (25.6%) (LEASE AREA ONLY)
MAXIMUM IMPERVIOUS AREA	21,780 SF / 0.50 AC (80%)

### BUILDING DATA TABLE

	EXISTING	PROPOSED
BUILDING SIZE	2,860 SF	2,053 SF
BUILDING COVERAGE	2,860 SF / 0.0663 AC (5.53%)	2,053 SF / 0.0471 AC (7.53%)
	ALLOWABLE	PROPOSED
BUILDING HEIGHT	48 FEET	28 FEET
SETBACKS	REQUIRED BUILDING REQUIRED LANDSCAPING	PROPOSED BUILDING PROPOSED LANDSCAPING
FRONT (W. ATLANTIC)	30 FEET 21 FEET	40.98 FEET 3.98 FEET*
SIDE (EAST)	25 FEET 10 FEET	28.51 FEET 16.93 FEET
SIDE (WEST)	25 FEET 10 FEET	71.70 FEET** 5.00 FEET**
REAR (SOUTH)	25 FEET 10 FEET	99.79 FEET 22.26 FEET

\*EXISTING CONDITION TO REMAIN

\*\* TO LEASE LINE

#### NOTES:

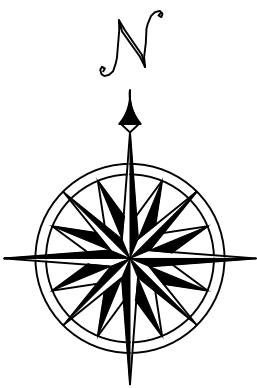
1. MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.
2. WAIVER TO LDR SECTION 4.4.9(G)(3)(R)(2), MINIMUM STRUCTURE SIZE, TO REDUCE THE MINIMUM FLOOR AREA FROM 4,000 S.F. TO 2,053 WAS APPROVED BY THE PLANNING AND ZONING BOARD ON SEPT. 17, 2018.

### PARKING TABLE

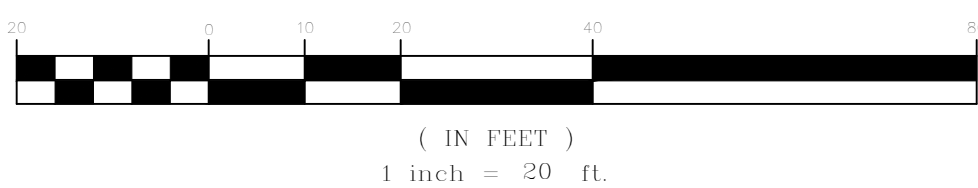
	REQUIRED (SEE BELOW)	PROVIDED
STANDARD (9' x 18')	23 SPACES	24 SPACES
ADA (12' x 18')	2 SPACES	2 SPACES
TOTAL	25 SPACES	26 SPACES
LOADING ZONE	12'X30'	12'X30'

\*PARKING REQUIREMENT: 12 SPACES PER 1,000 SF OF GROSS FLOOR AREA.  
\*\*2,053SF / 1,000SF = 2.05  
\*\*\*2.05 x 12 SPACES = 24 SPACES

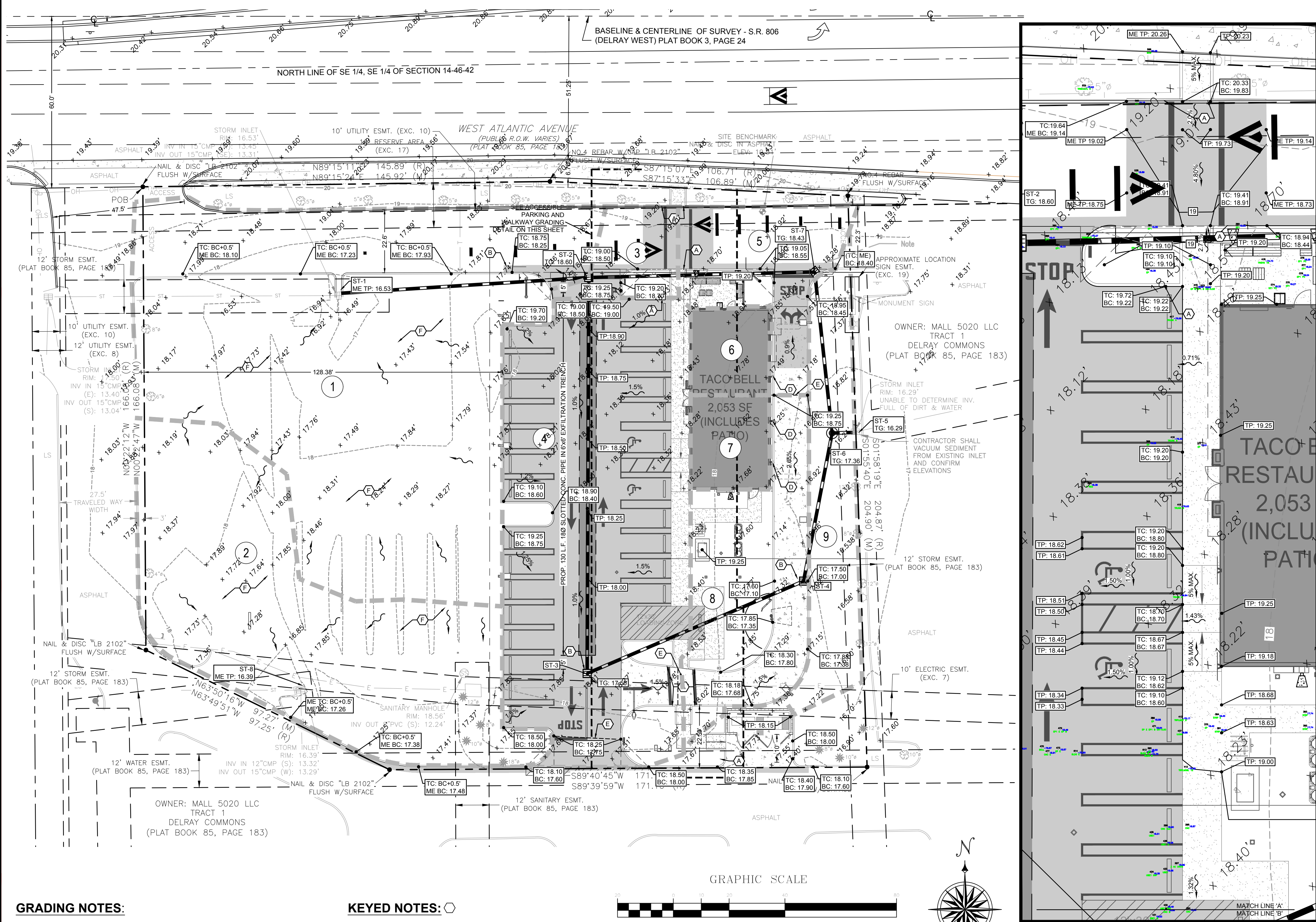
NOTE:  
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2. REFER TO LANDSCAPE PLANS.



GRAPHIC SCALE

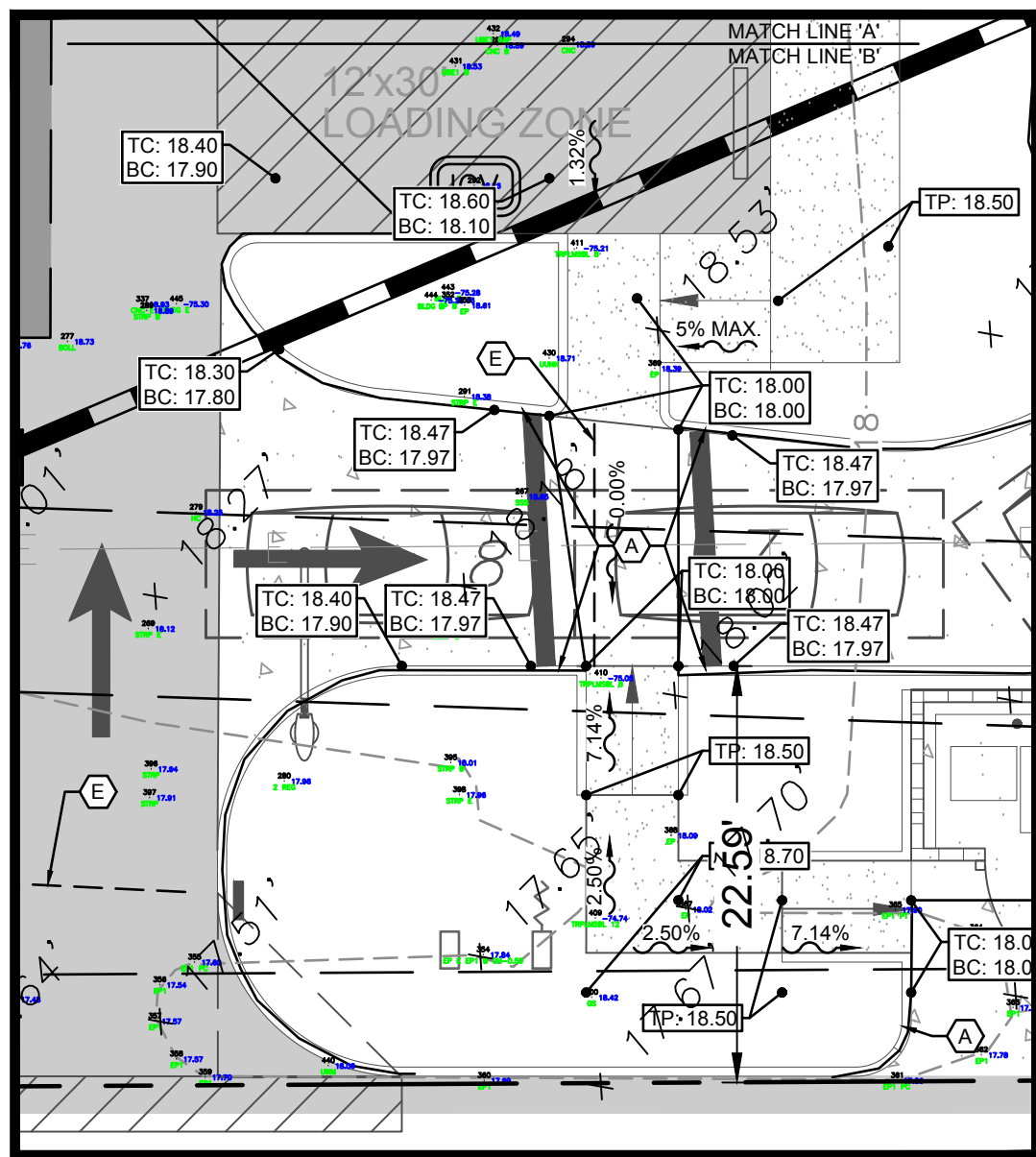






SUBBASIN TABLE					
AREA	SQ FT			ACRES	
	Impervious	Pervious	Total	Impervious	Pervious
1	4,136.3	12,061.7	16,198.0	0.095	0.277
2	369.8	8,895.2	9,265.0	0.008	0.204
3	971.1	72.4	1,043.6	0.022	0.002
4	10,314.7	677.1	10,991.8	0.237	0.016
5	2,275.7	174.2	2,449.9	0.052	0.004
6	894.3	-	894.3	0.021	0.000
7	1,285.4	-	1,285.4	0.030	0.000
8	1,902.6	1,615.9	3,518.5	0.044	0.037
9	-	2,694.3	2,694.3	0.000	0.062

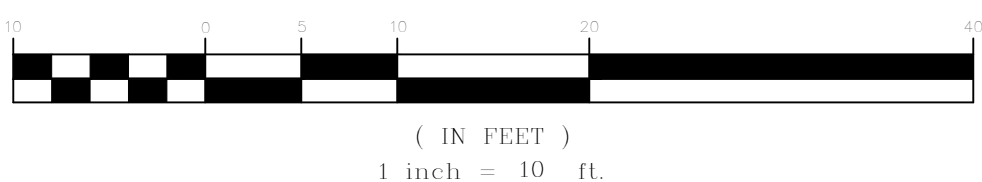
3 LIMITS OF SUB-BASIN SUB-BASIN



ACCESSIBLE PARKING AND WALKWAY GRADING DETAIL 1 1"=10'

ACCESSIBLE PARKING AND WALKWAY GRAING DETAIL 2 1"=10'

GRAPHIC SCALE



#### GRADING NOTES:

- REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
- REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
- REFER TO SHEET C-3 FOR UTILITY PLAN.
- REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
- REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
- STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 1% MINIMUM SLOPE IN PERVIOUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM. SITE BENCHMARK: NAIL AND DISC IN ASPHALT AS SHOWN, WITH AN ELEVATION OF 19.31'.
- THE PROPERTY SHOWN HEREON APPEARS TO BE IN ZONE X500, IN ACCORDANCE WITH THE PALM BEACH COUNTY FLOOD ZONE MAP AND WITH FEMA FIRM MAP No. 120192 0205 B, MAP DATED OCTOBER 15, 1982.
- PER THE WEB SOIL SURVEY OF DELRAY BEACH FLORIDA, THE SITE IS COMPRISED OF MOSTLY MIYAKKA FINE SAND AND A SMALL PERCENTAGE OF IMMOKALEE FINE SAND.

#### KEYED NOTES:

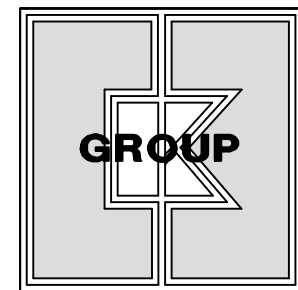
- PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-3 FOR DETAIL.
- PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
- PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
- PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
- PROPOSED RIDGE LINE.
- PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.

NOTE:  
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#### DRAINAGE SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/ RIM ELEV.	INVERT ELEV.	DOWNSTEAM PIPE INFORMATION PIPE LENGTH (FEET)	PIPE SIZE/TYPE
ST-1	TYPE C INLET	16.53	13.45 (W) / 13.31 (E)	89	15" HDPE
ST-2	TYPE C INLET	18.60	12.42 (W) / 12.22 (E) 14.5 (S)	81	15" HDPE
ST-3	TYPE C INLET	17.50	12.23 (E) 14.5 (N)	85	15" HDPE
ST-4	TYPE C INLET	17.00	11.38 (W) / 11.18 (N)	55	15" HDPE
ST-5	TYPE C INLET	16.29	10.35 (W) 10.15 (E)*	-	15" CMP
ST-6	MANHOLE	17.36	10.63 (N&S) / 10.43 (E)	8	15" HDPE
ST-7	TYPE C INLET	18.43	11.41 (W) / 11.21 (S)	58	15" HDPE
ST-8	TYPE C INLET	16.39	13.32 (S) / 13.29 (W)	-	15" HDPE

\*ASSUMED ELEVATION. CONTRACTOR TO CONFIRM.



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SUITE 106  
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FAX: (305) 826-0619  
EB#0004432

SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
ANA A. GONZALEZ VALDEZ  
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
1	03-02-18	
2	07-26-18	
3	12-05-18	
4		
5		
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7		
8		
9		

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: CUSTOM  
PLAN VERSION: 1  
SITE NUMBER: 309797  
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.  
DeLray Bch., FL

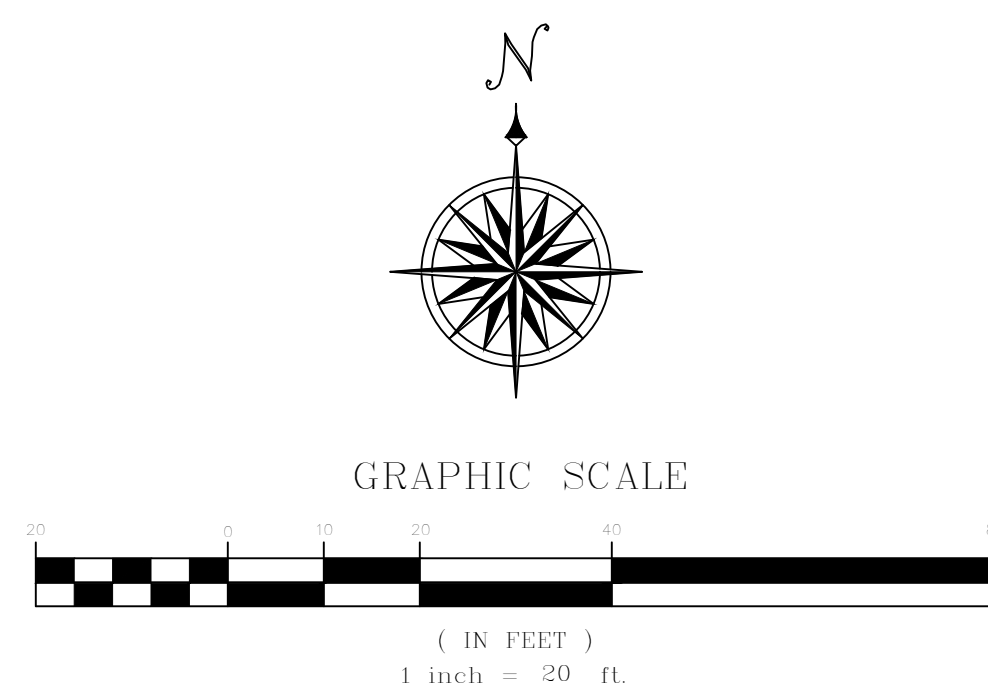


T-40  
OPEN KITCHEN  
DELRAY BEACH SOL  
GRADING  
PLAN

C-2

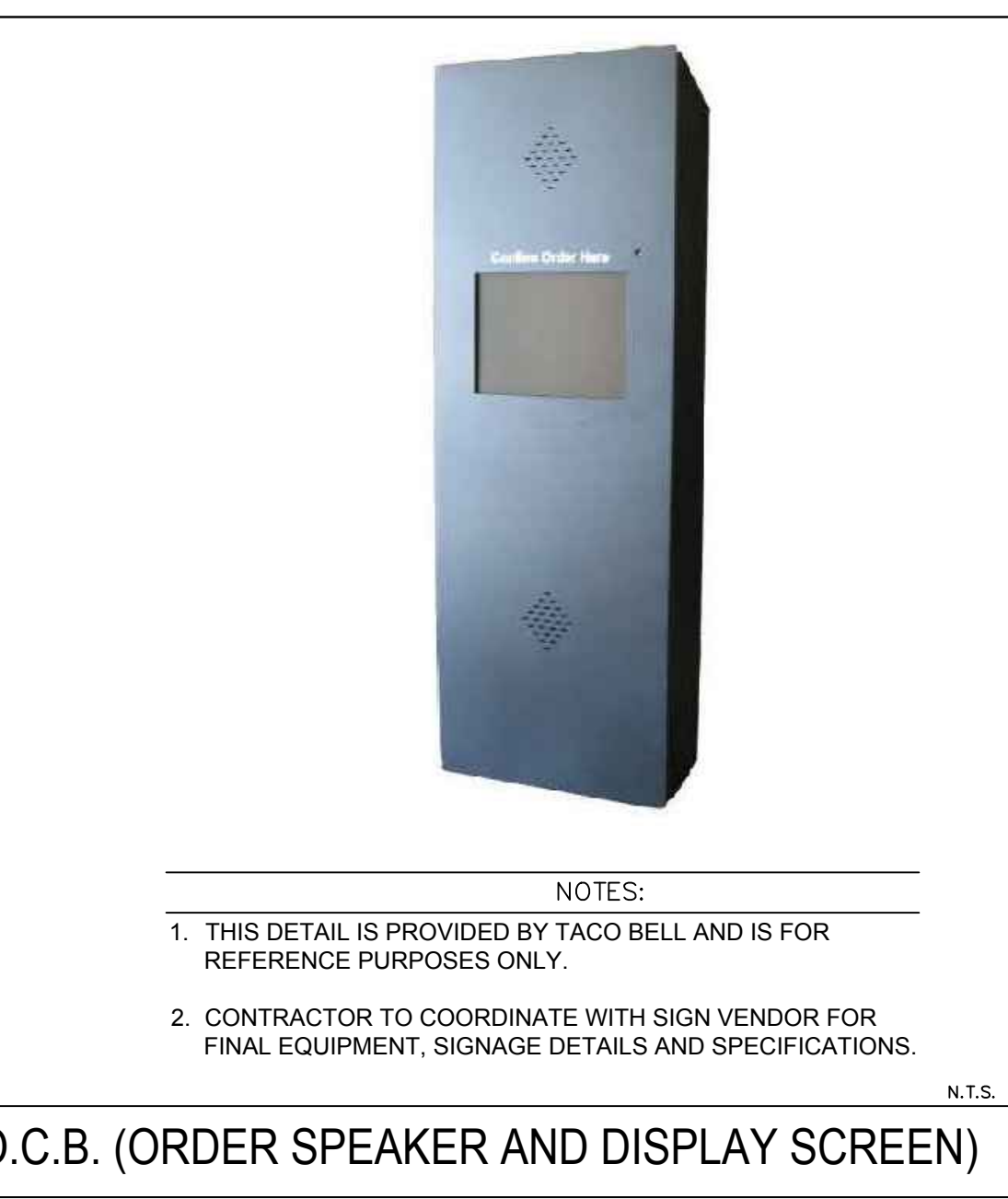
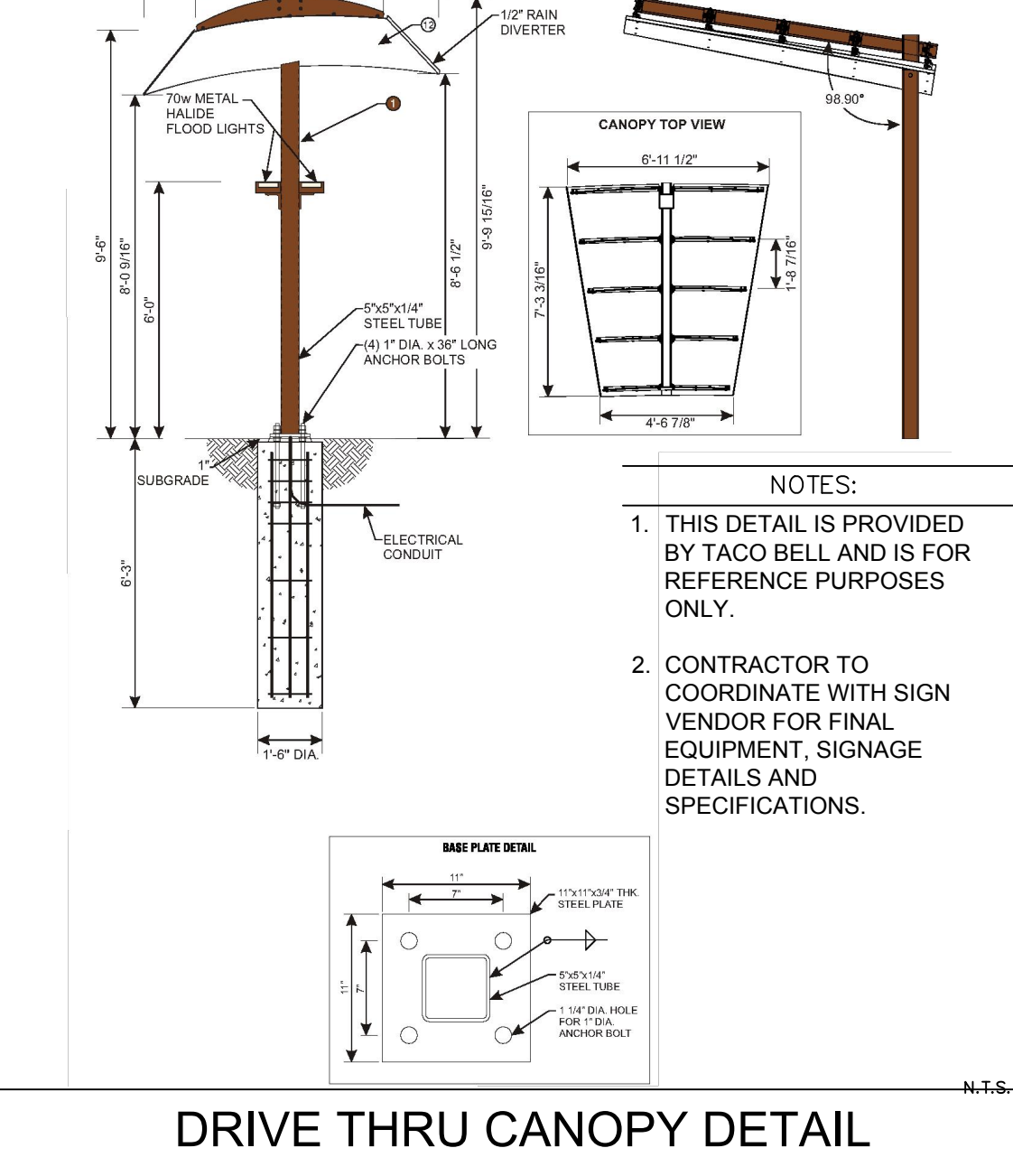
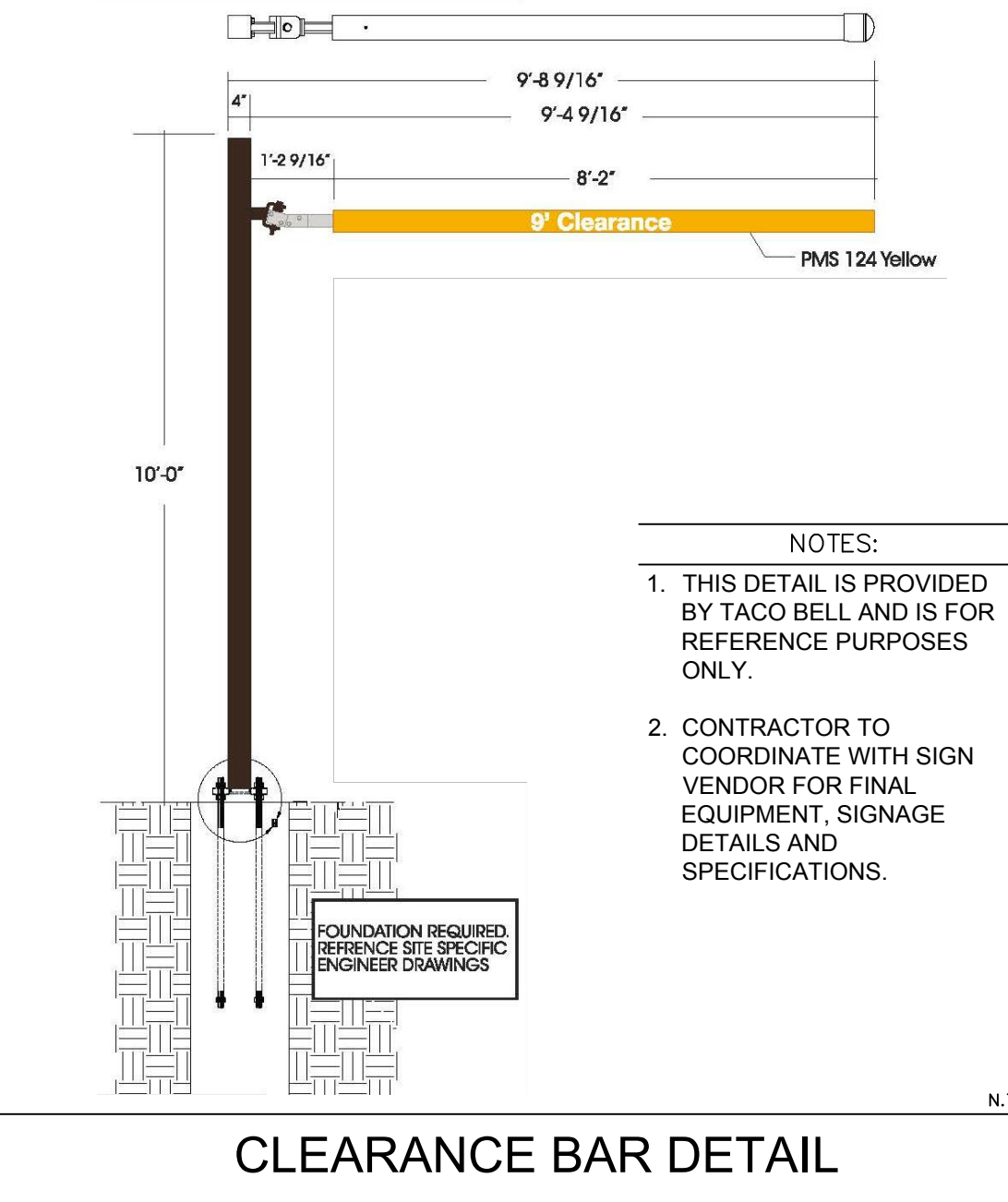
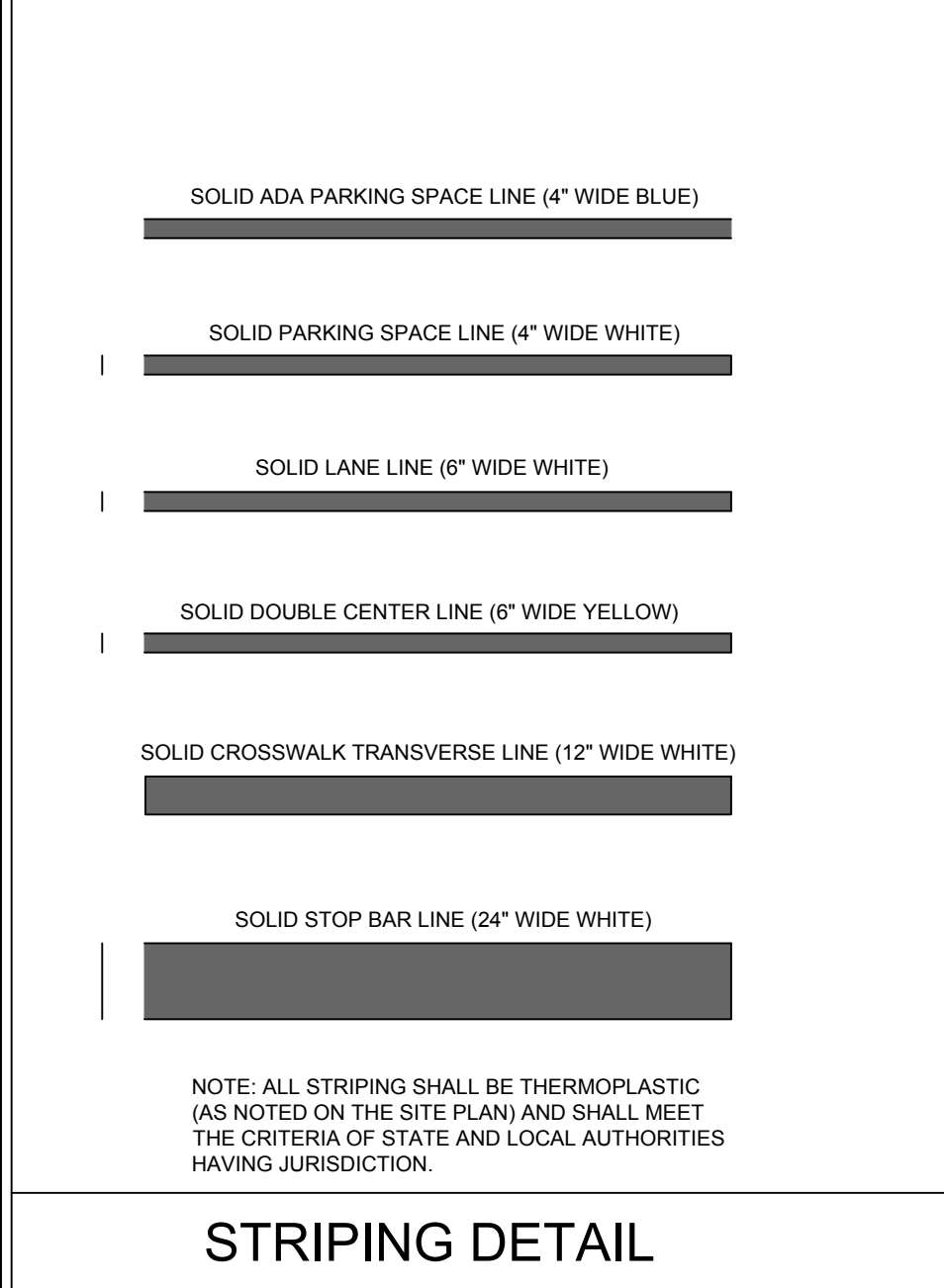
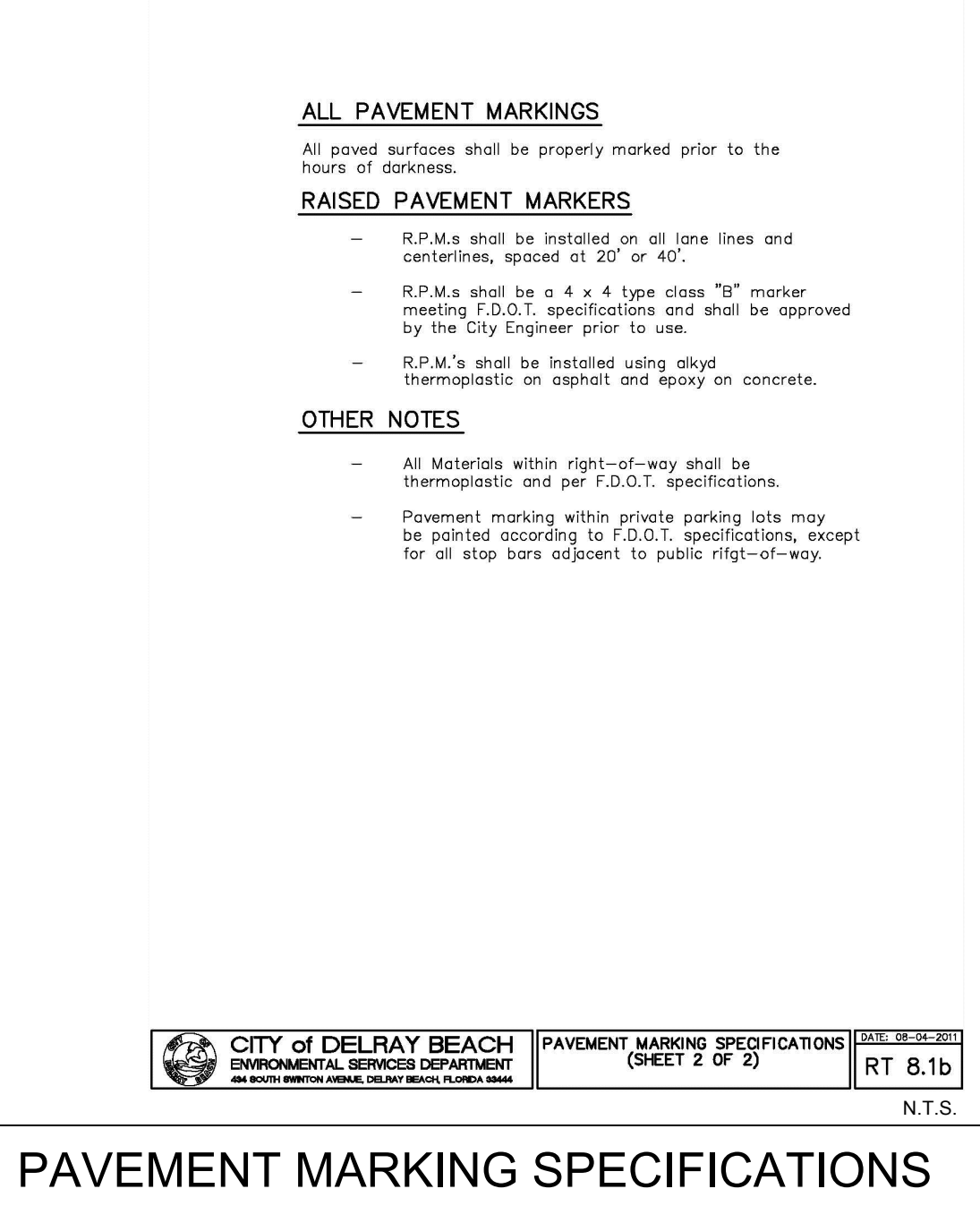
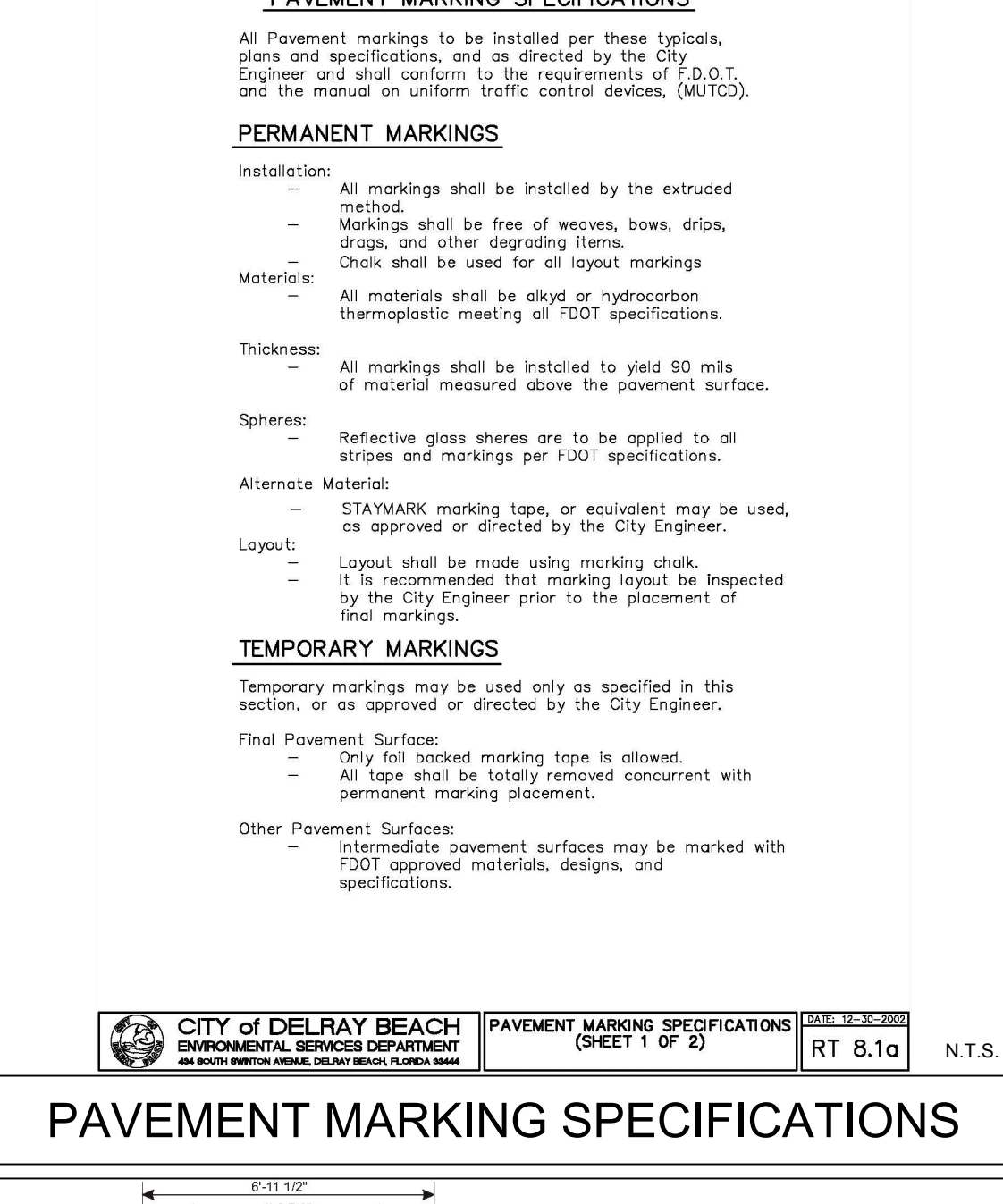
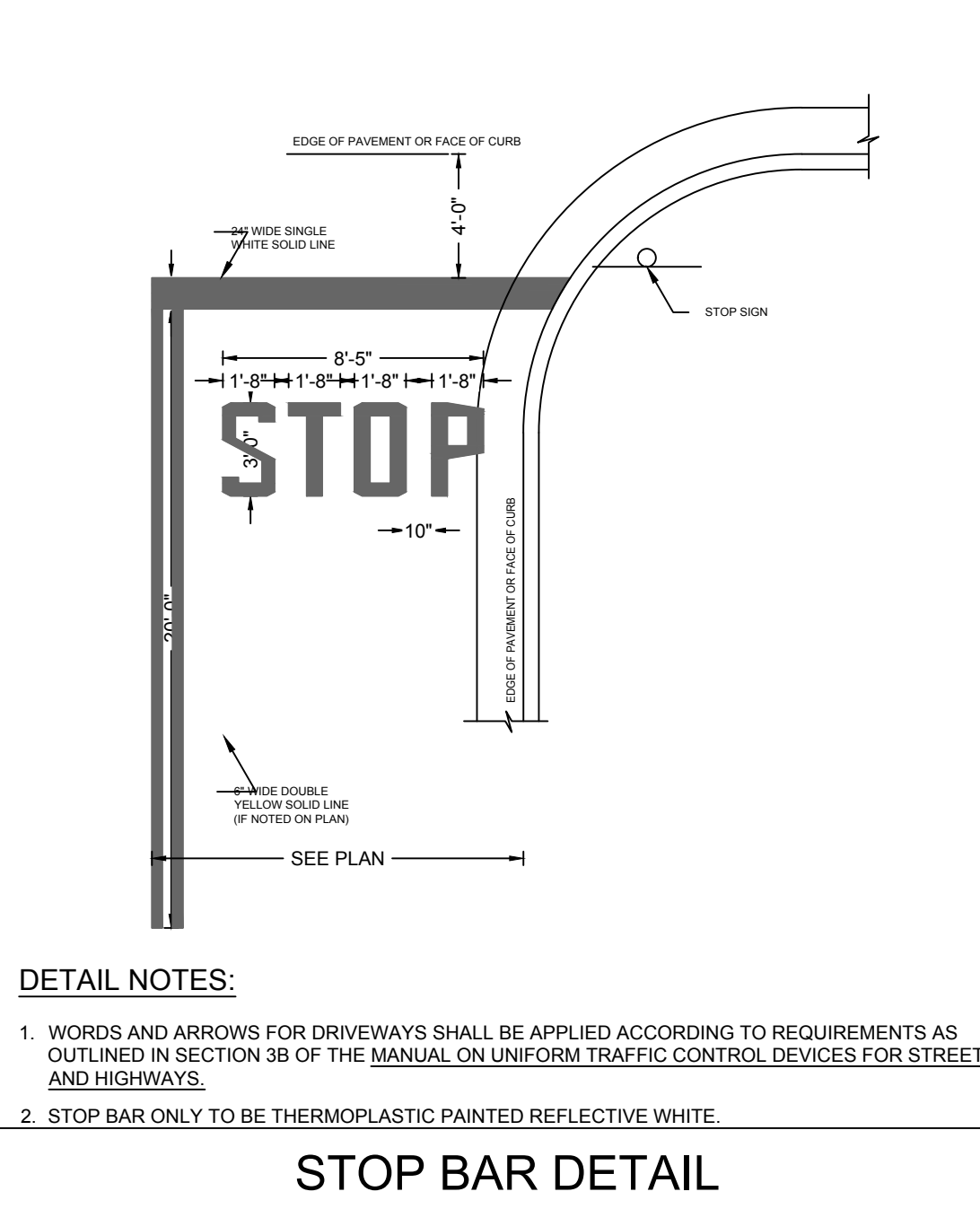
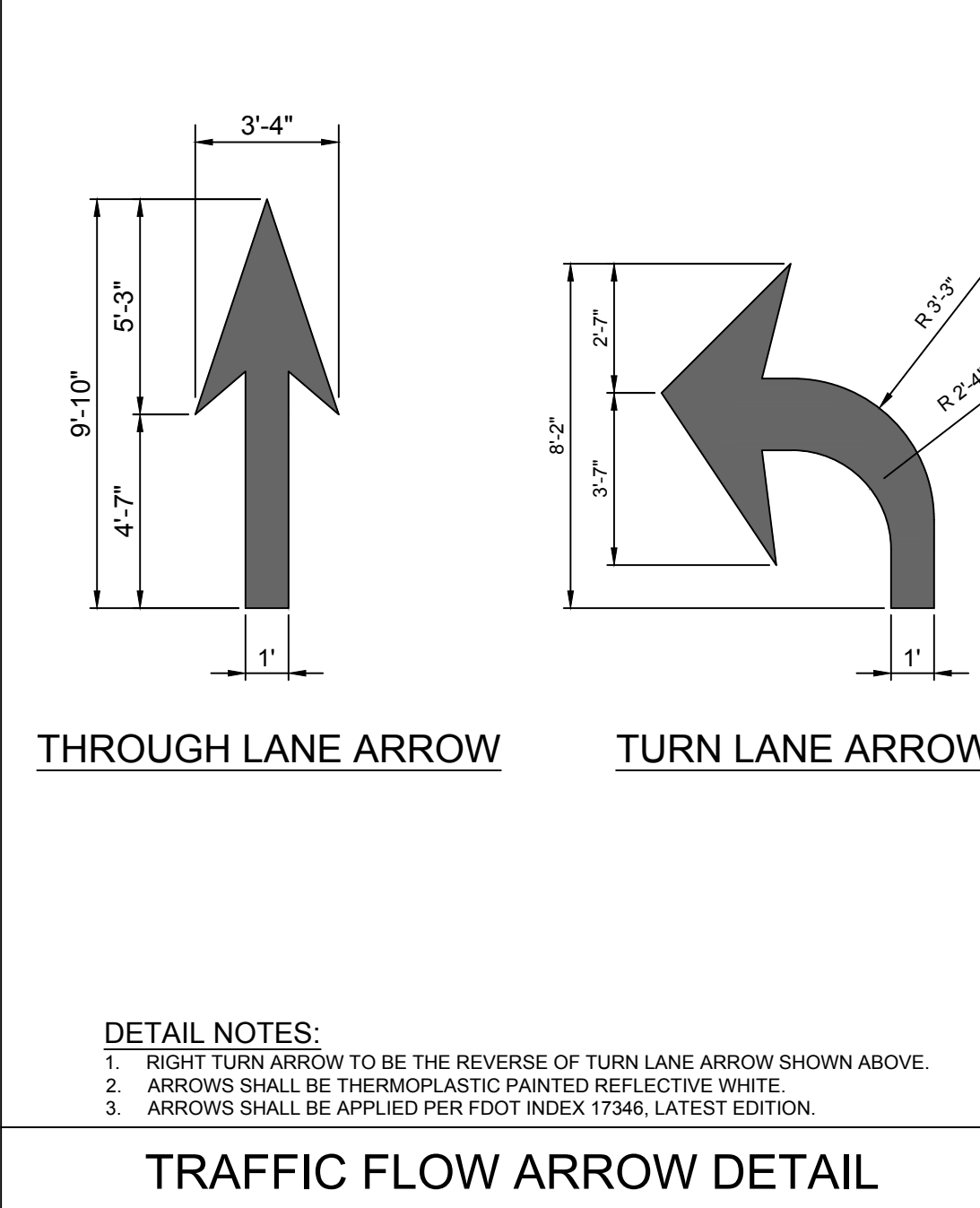
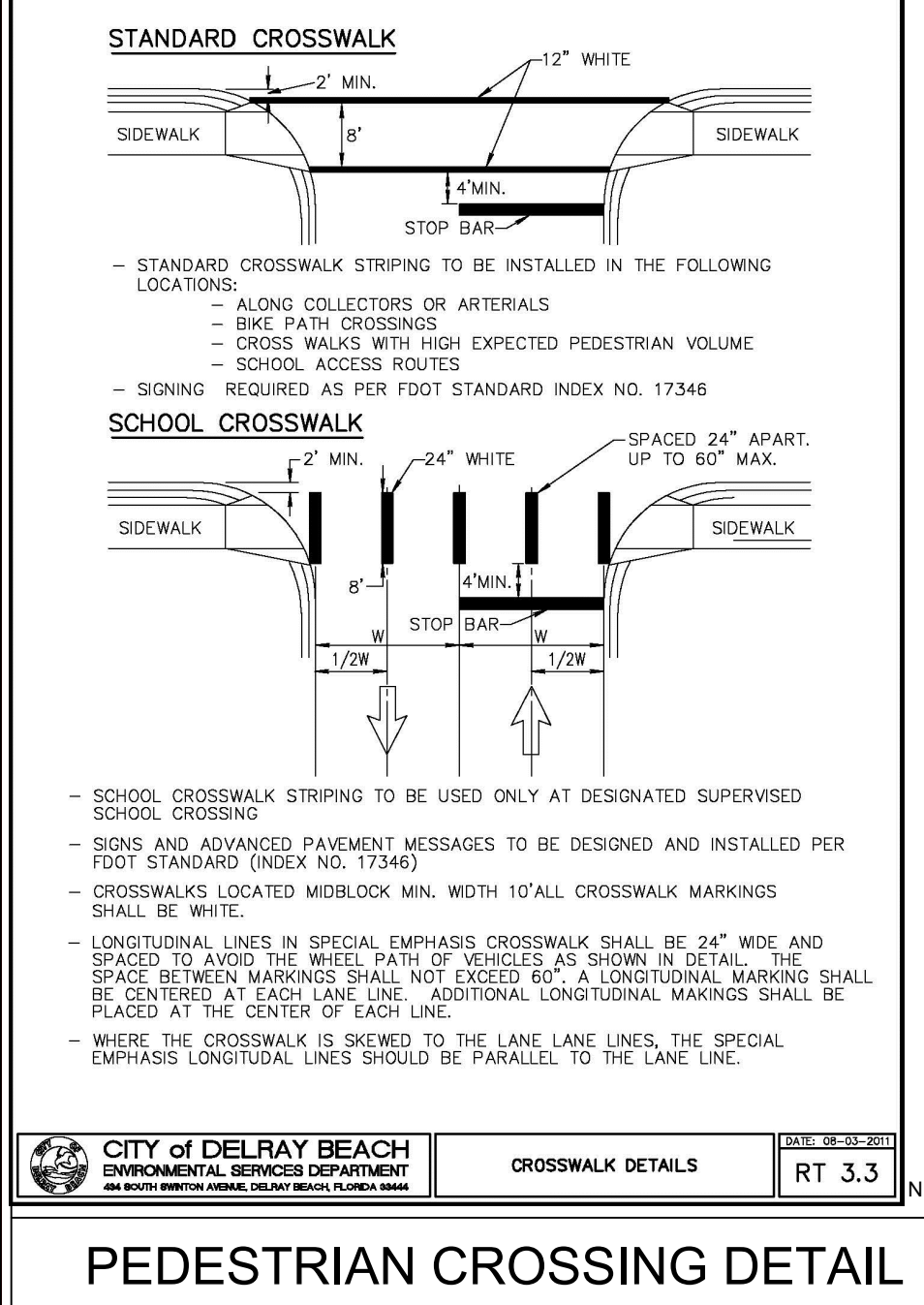
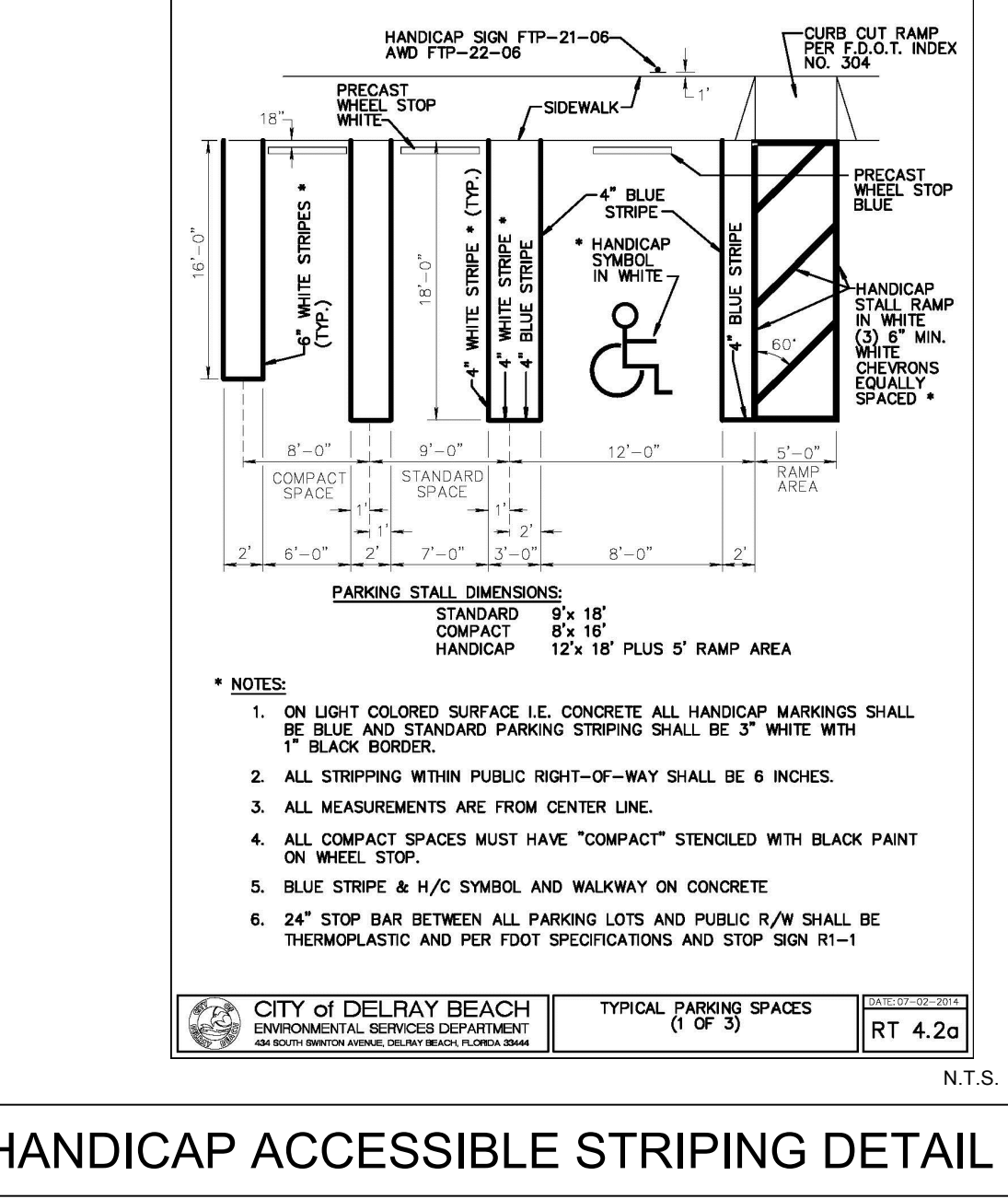
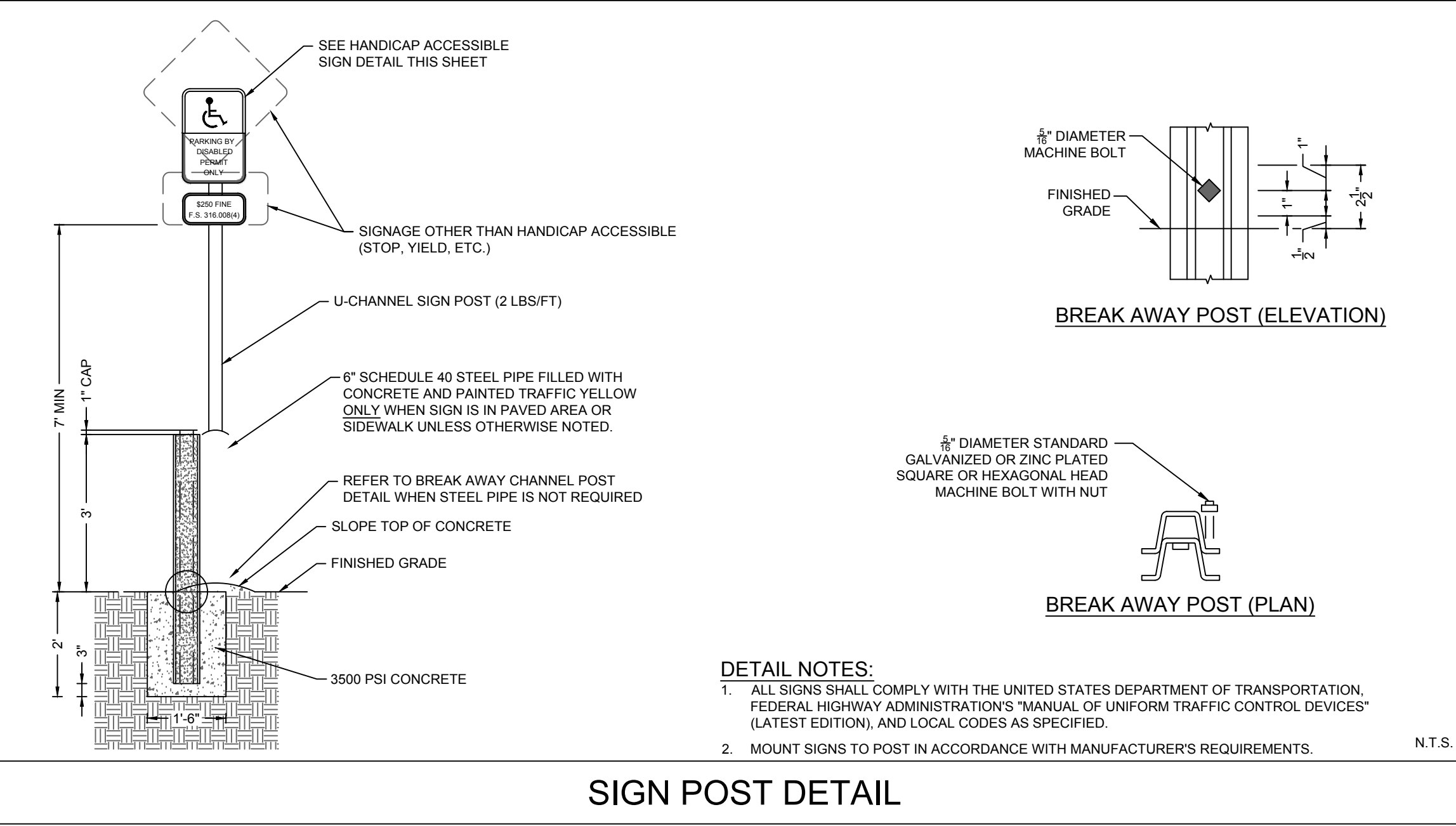
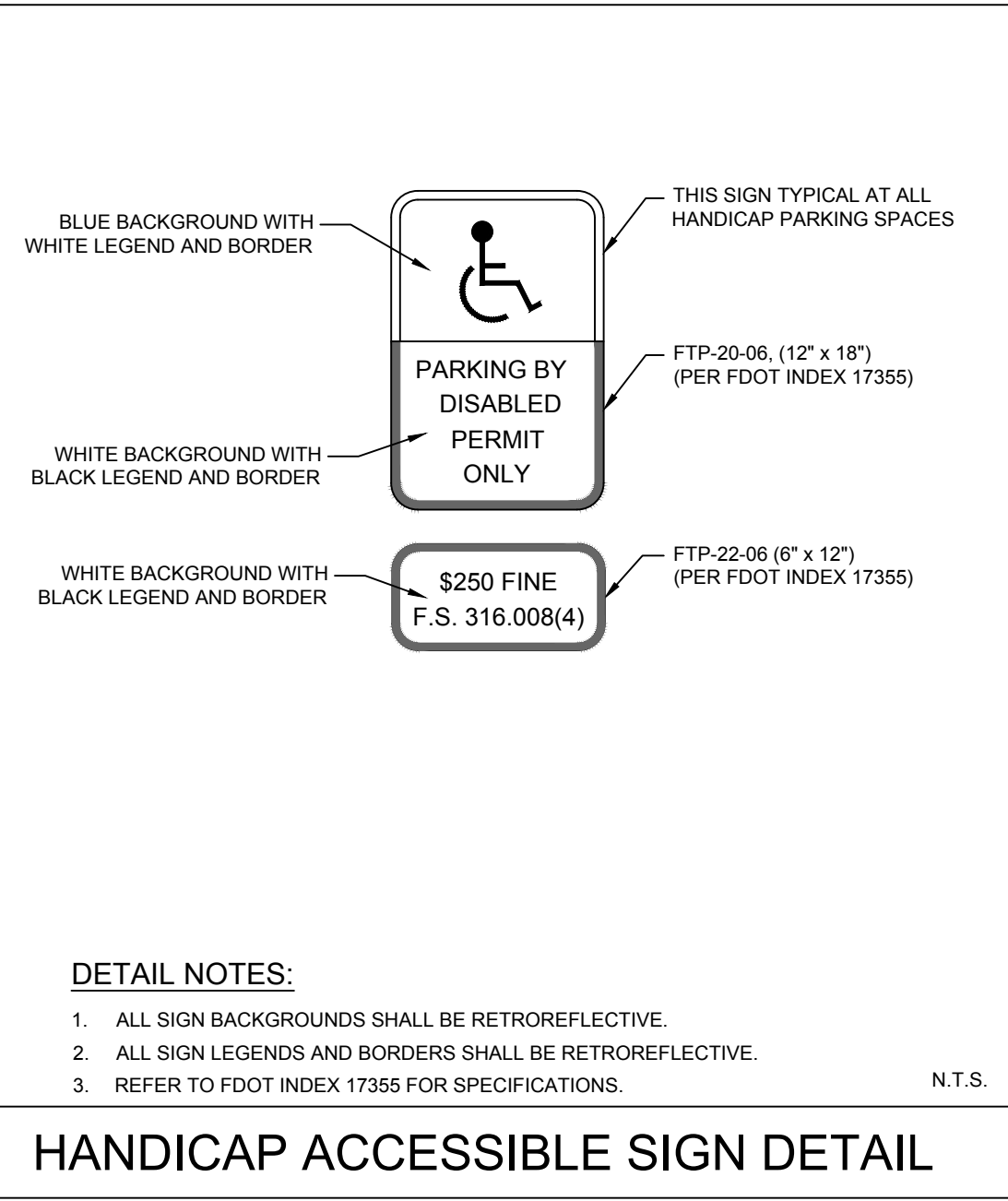
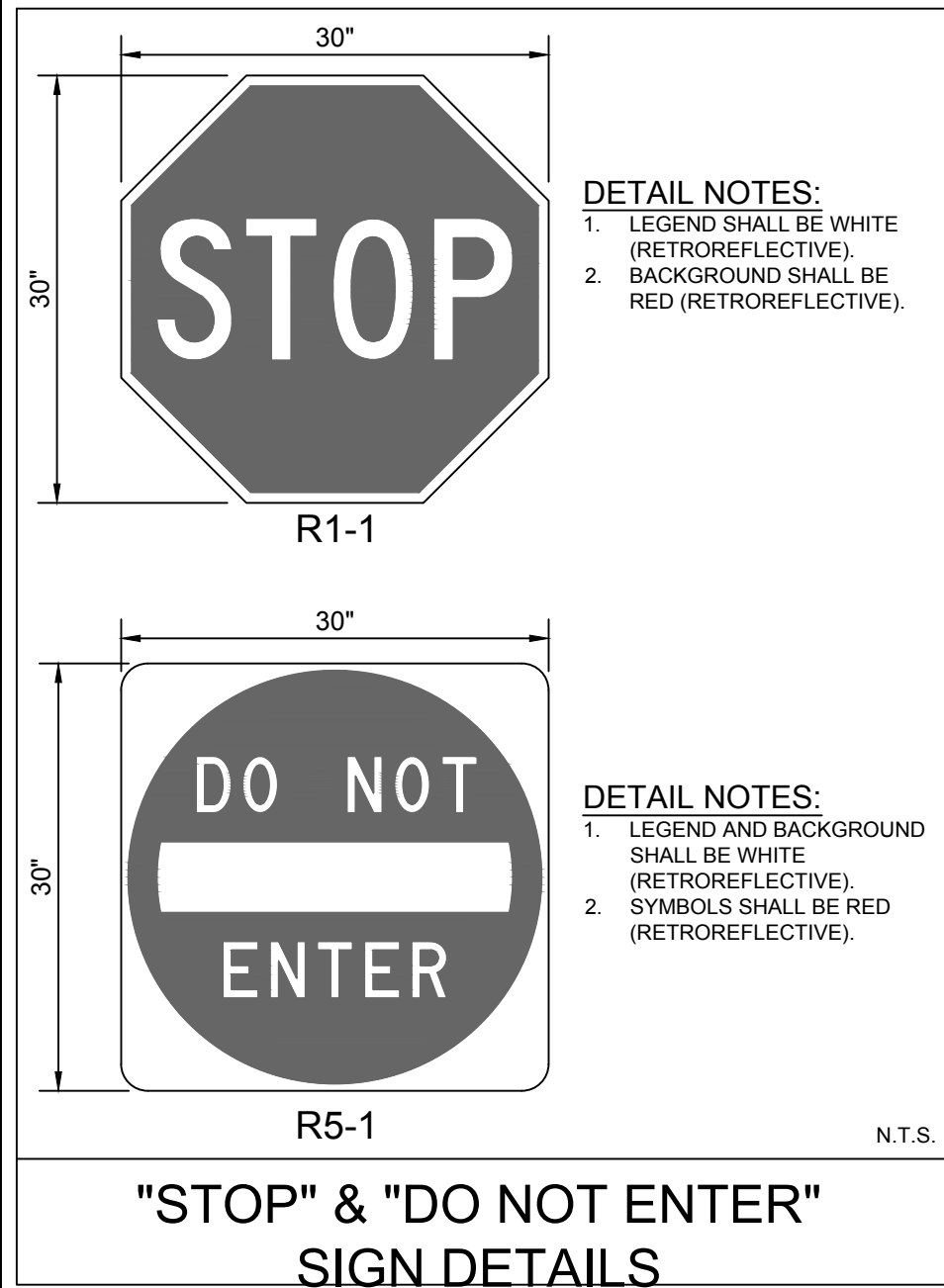
PLOT DATE: 12-06-2018





PLOT DATE: 12-06-2018





NO.	DATE	DESCRIPTION
△	03-02-18	
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CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630



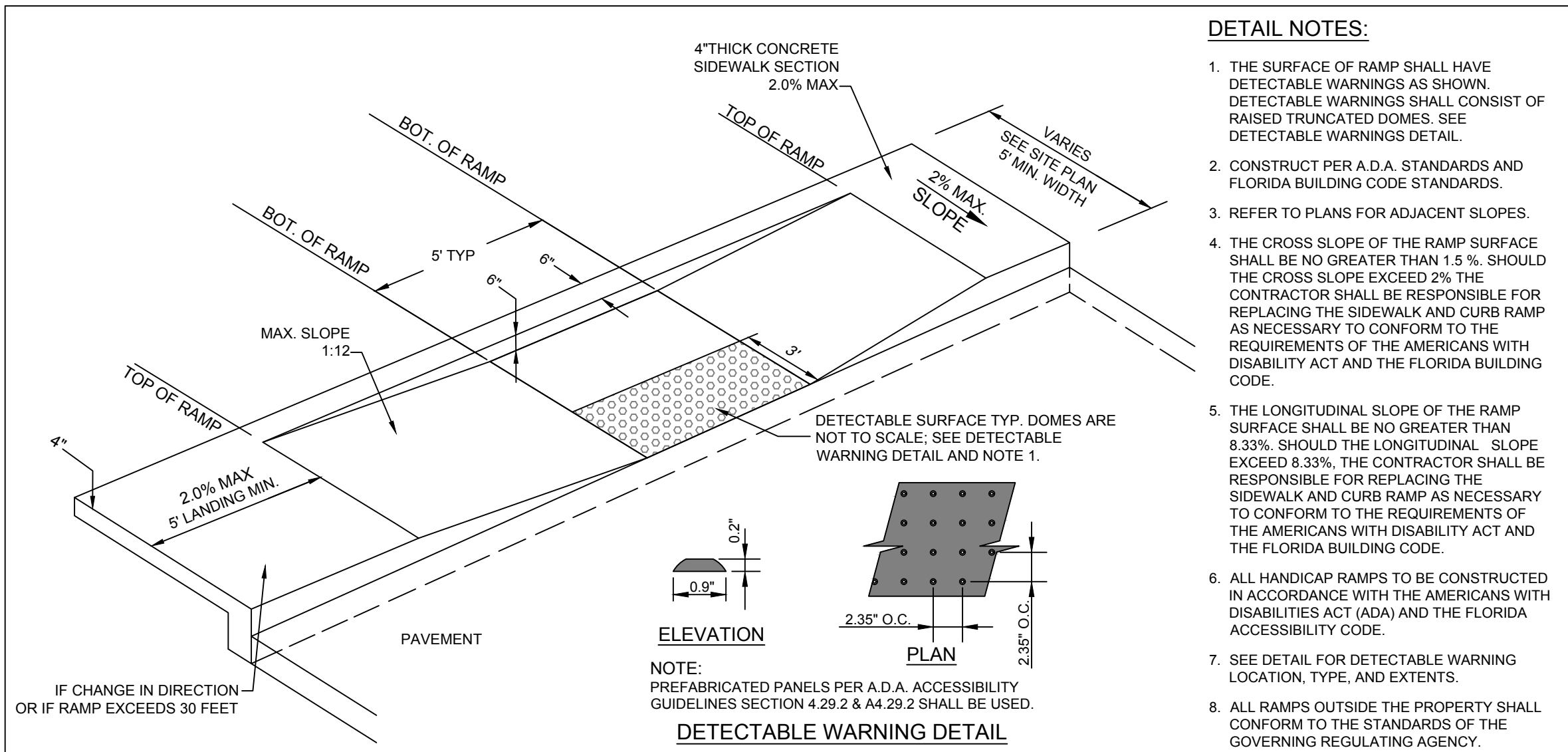
**CD-1**

PLOT DATE: 12-06-2018

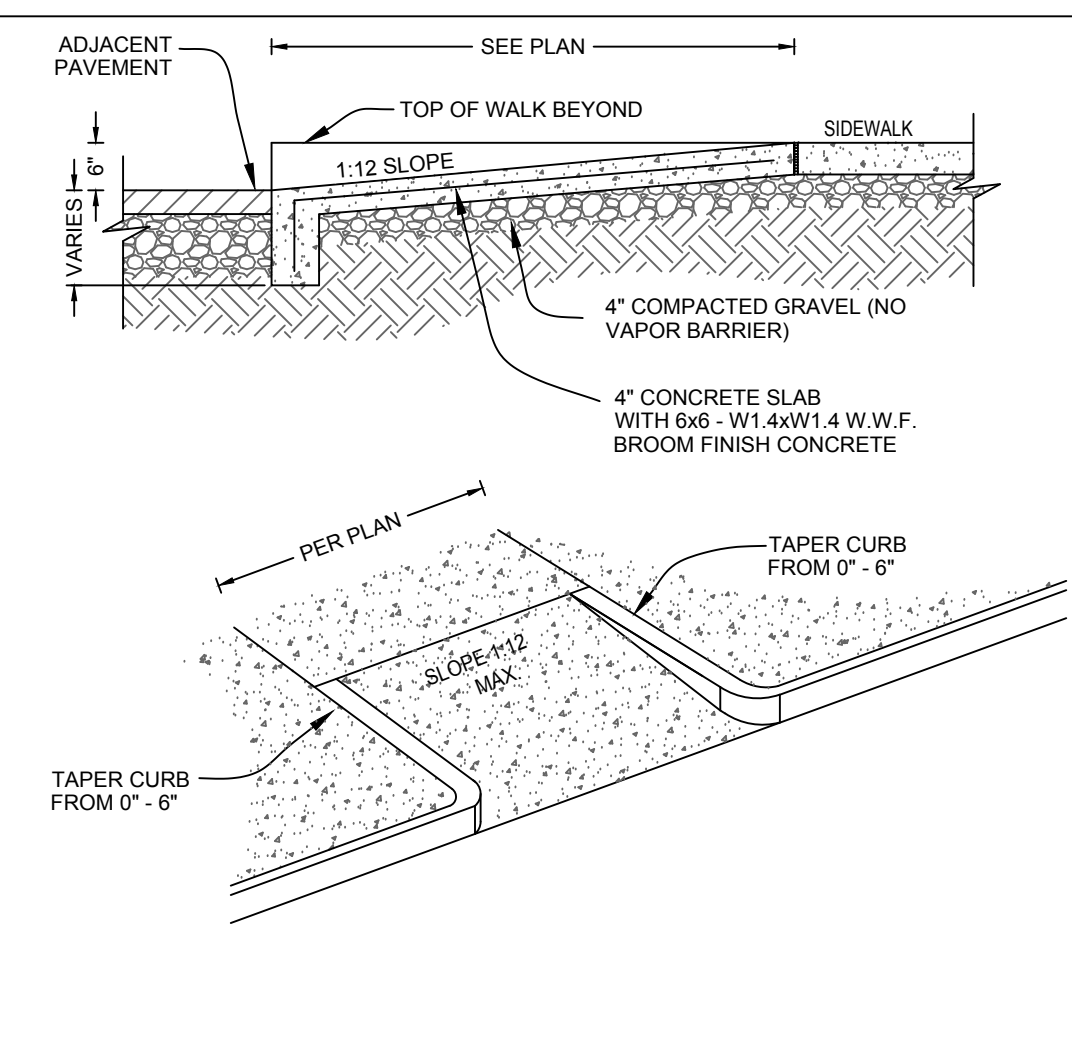




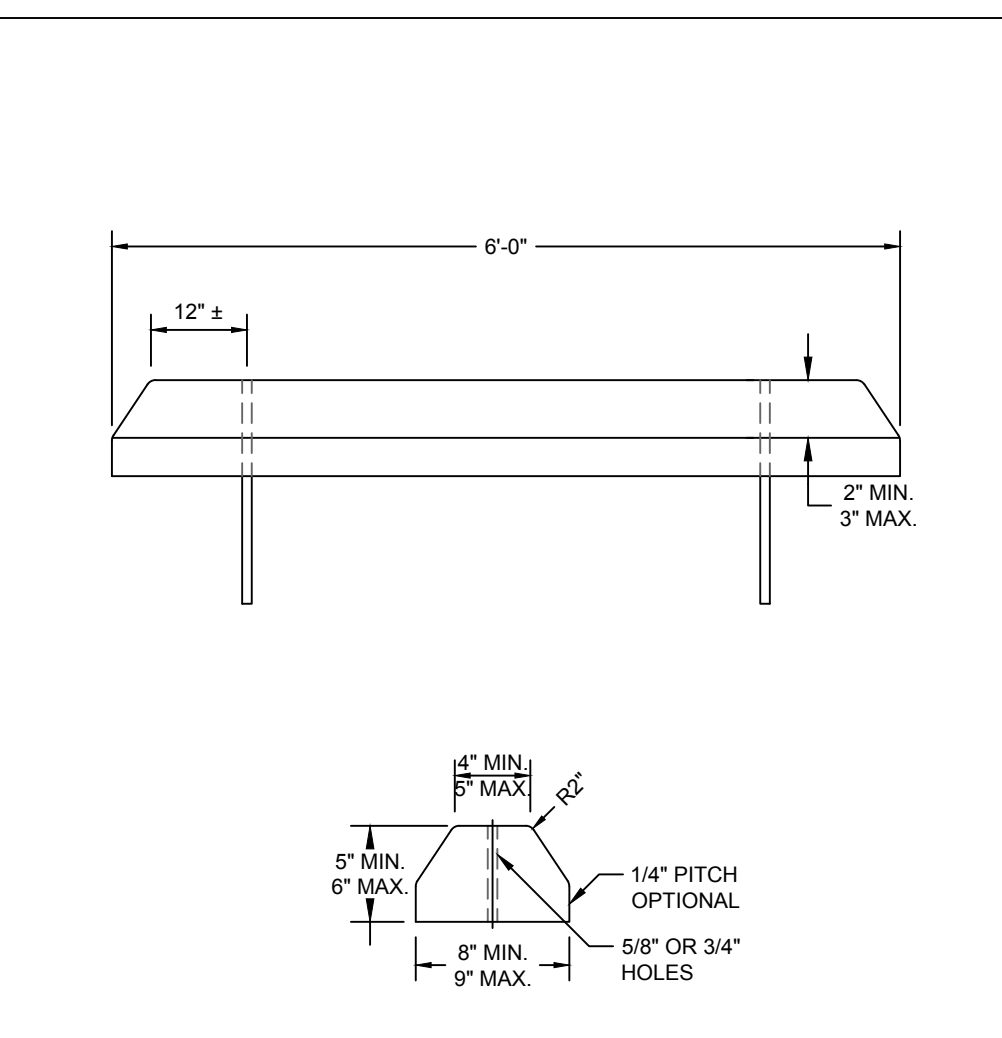




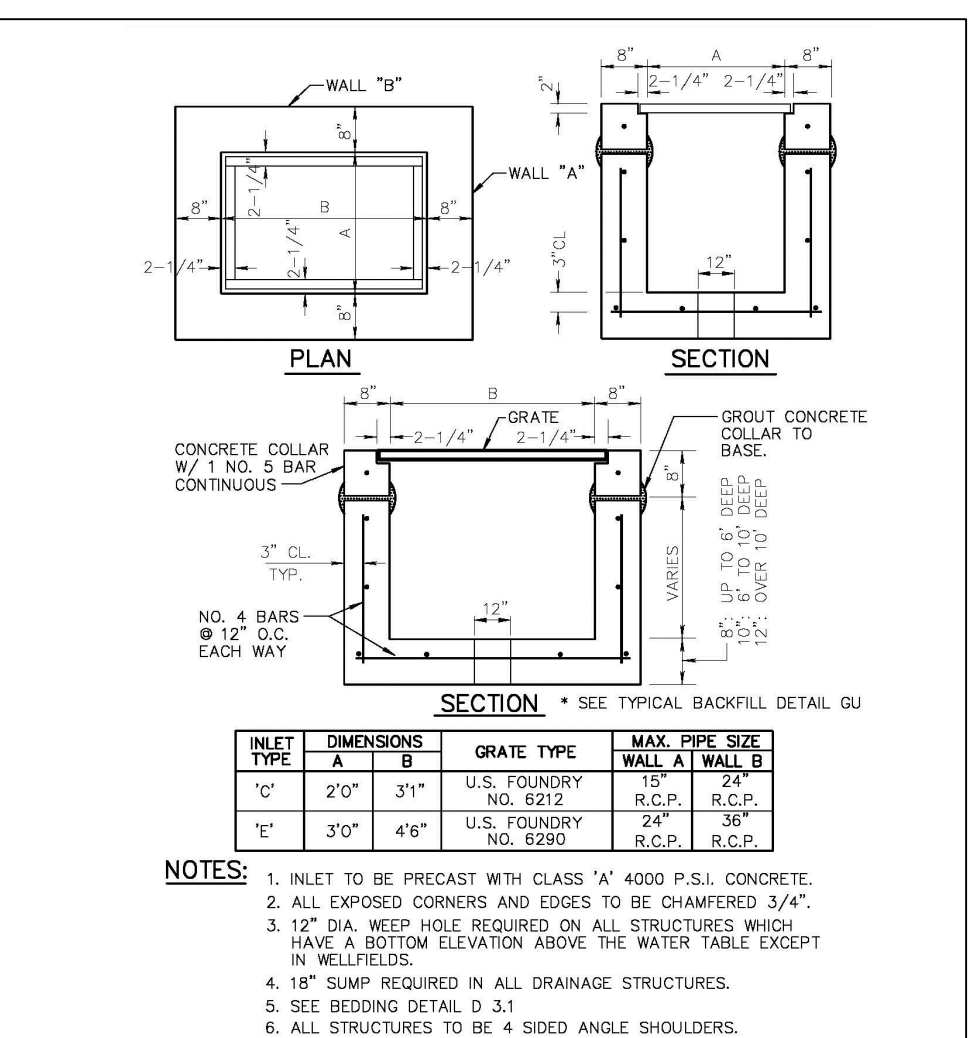
### COMMERCIAL PROPERTY - ADA RAMP DETAIL



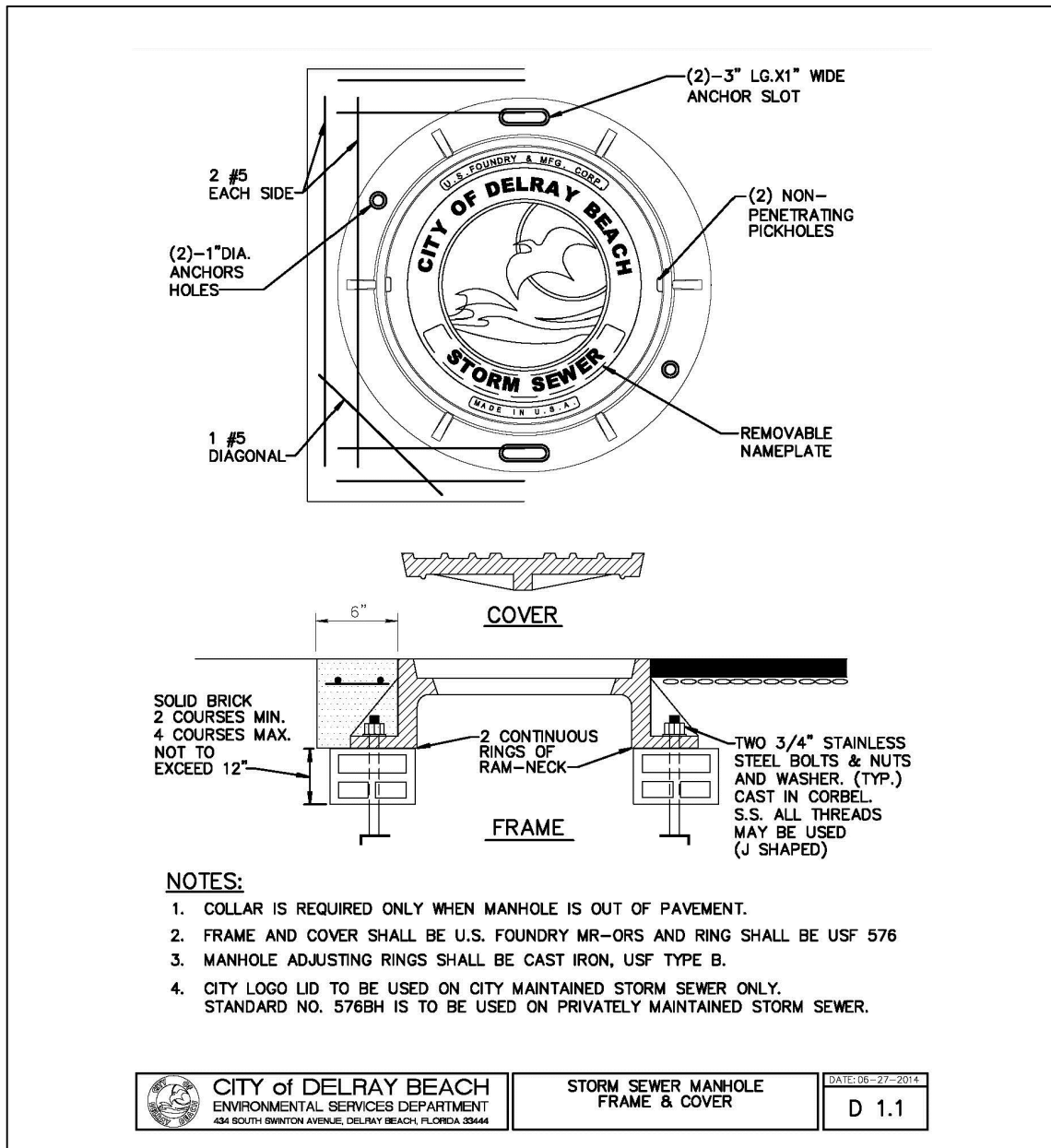
### CURB RAMP IN SIDEWALK



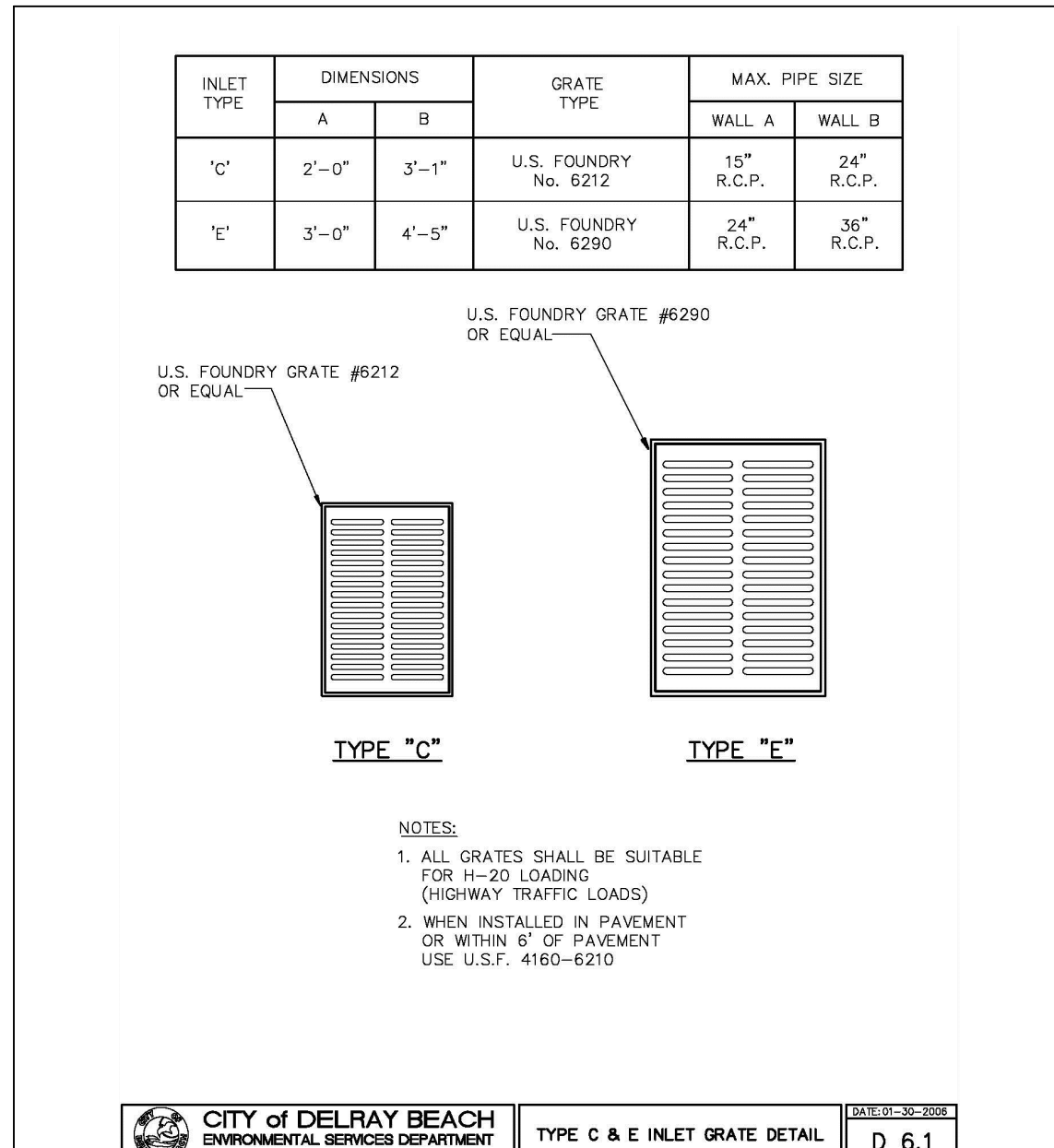
### WHEEL STOP DETAIL



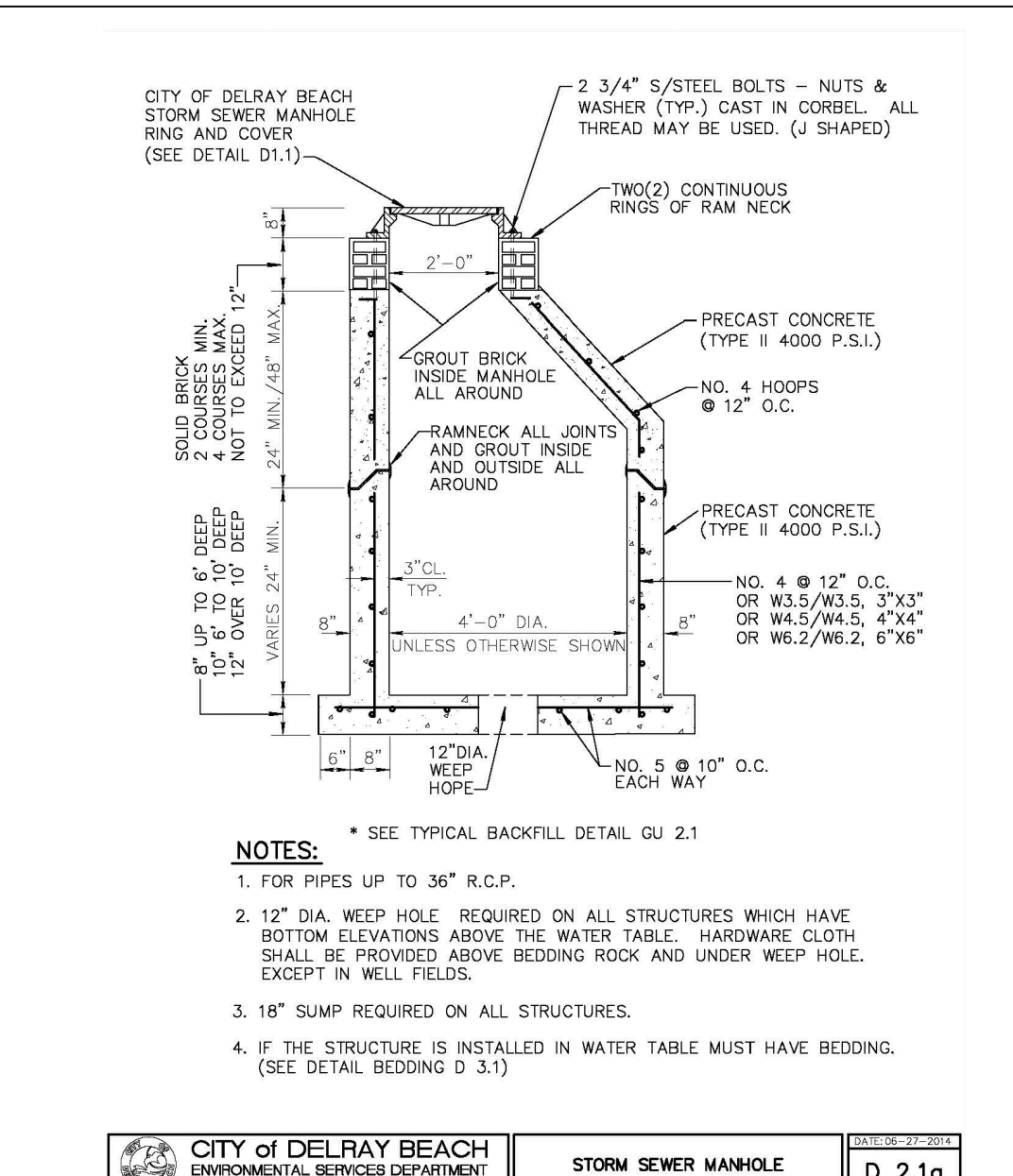
### INLET DETAIL



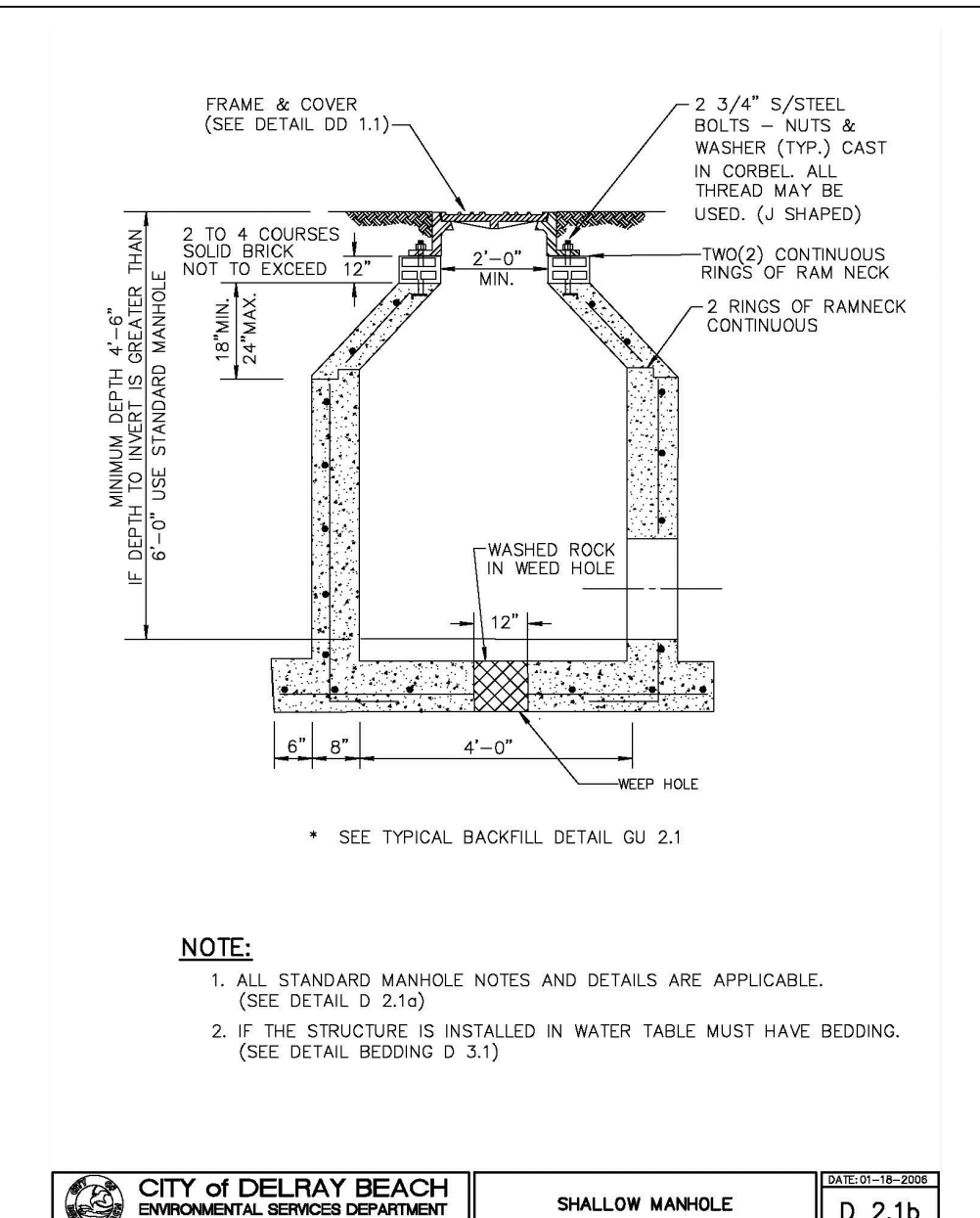
### STORM SEWER MANHOLE FRAME AND COVER



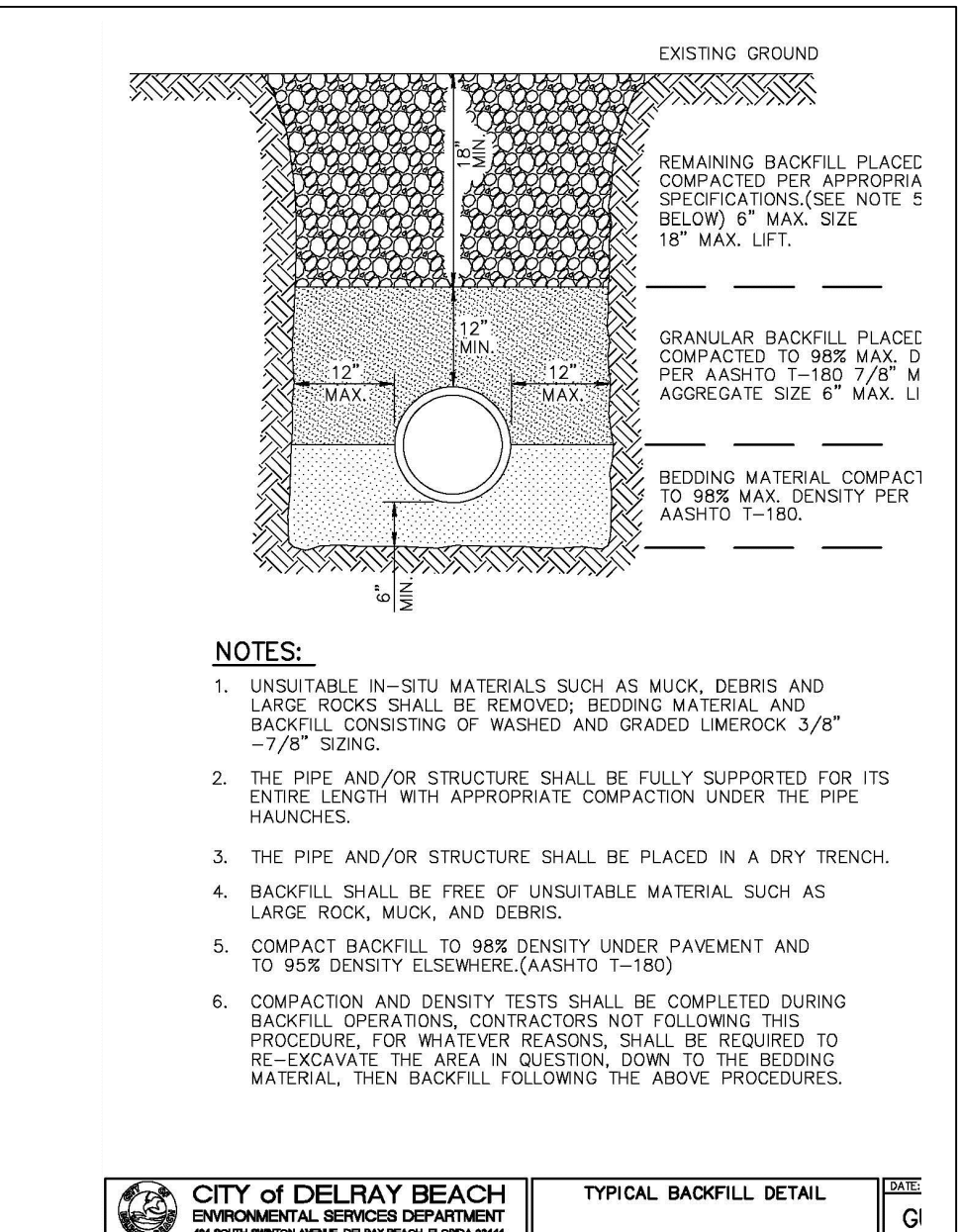
### INLET GRATE DETAIL



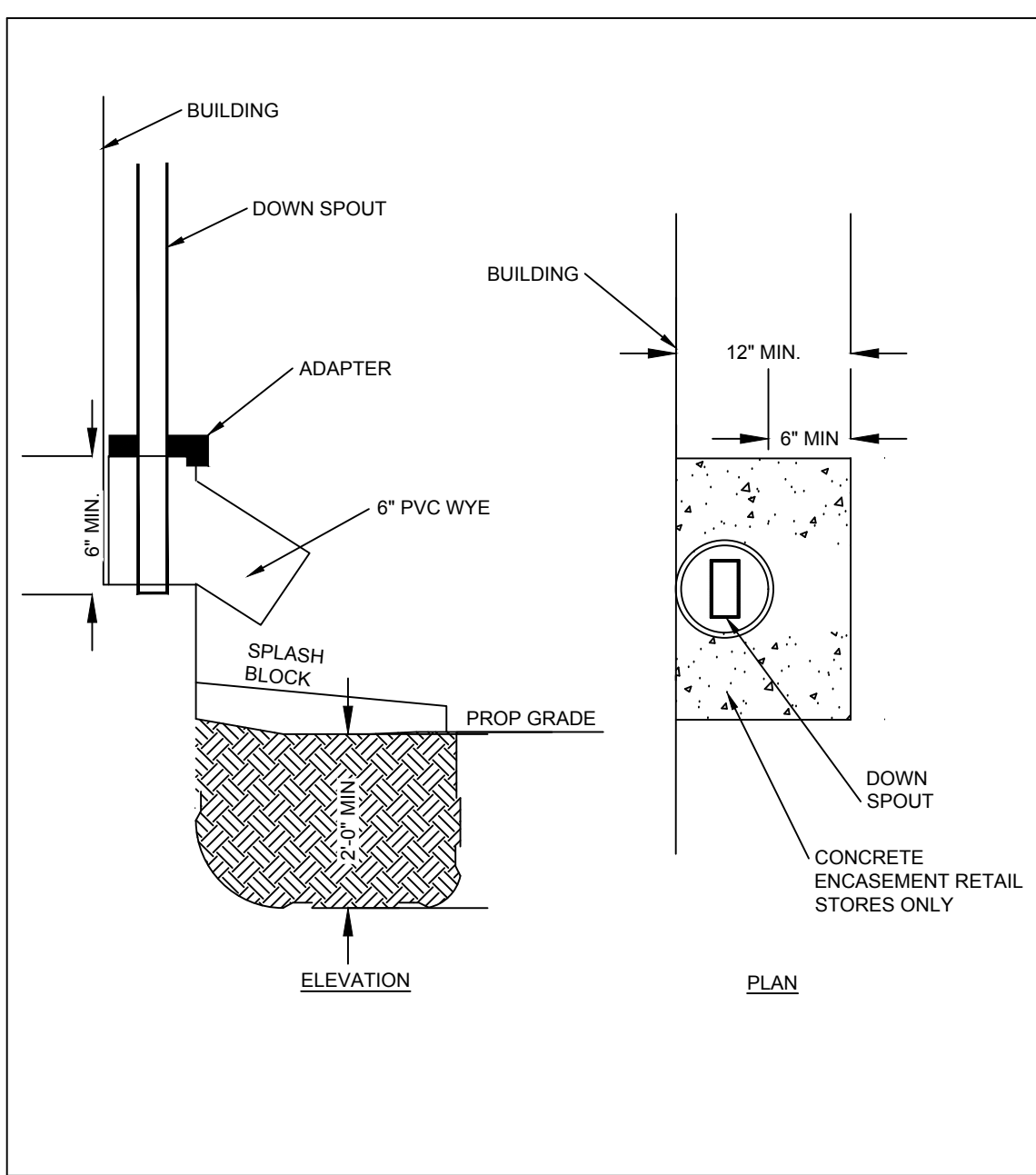
### STANDARD MANHOLE



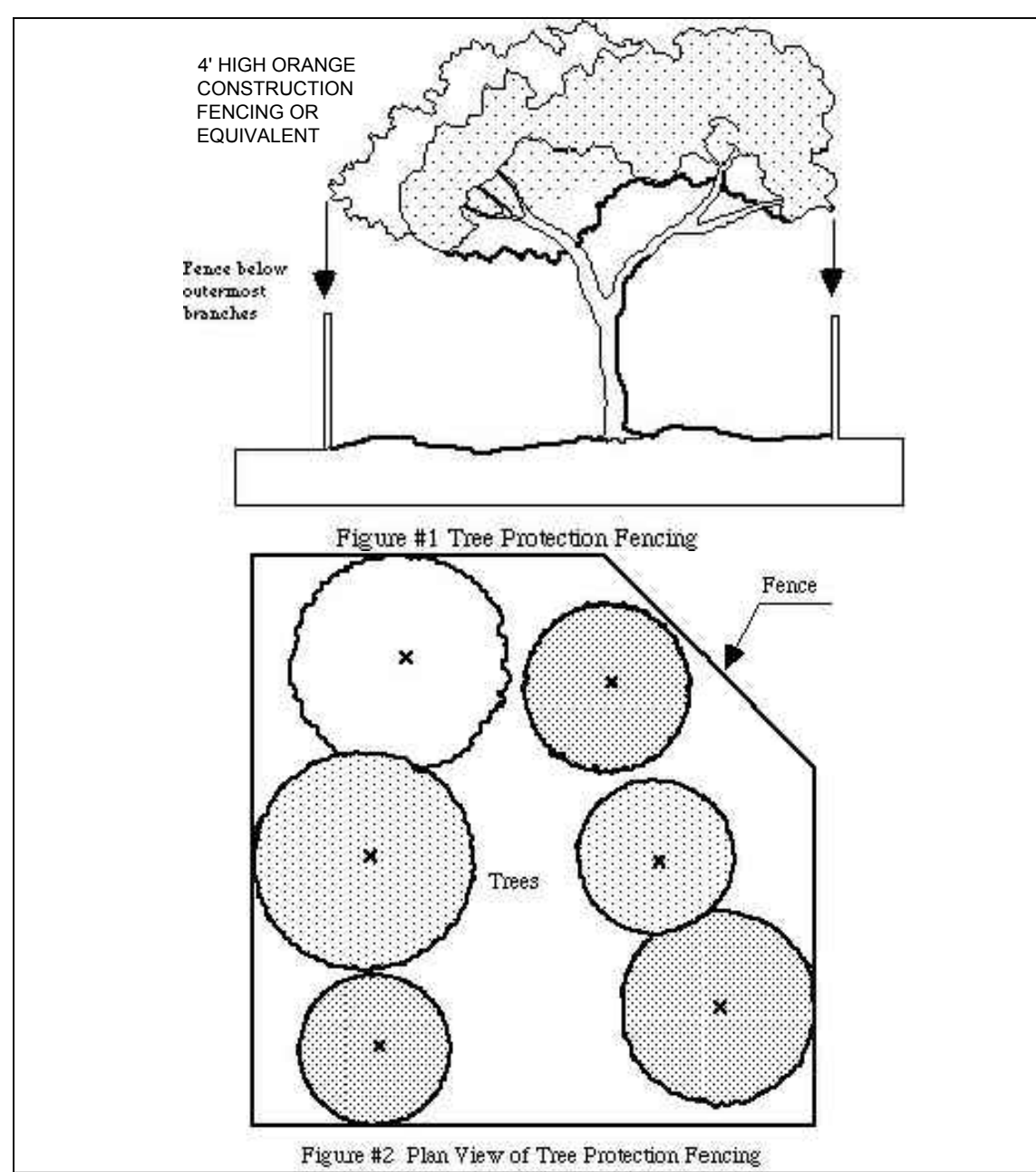
### SHALLOW MANHOLE



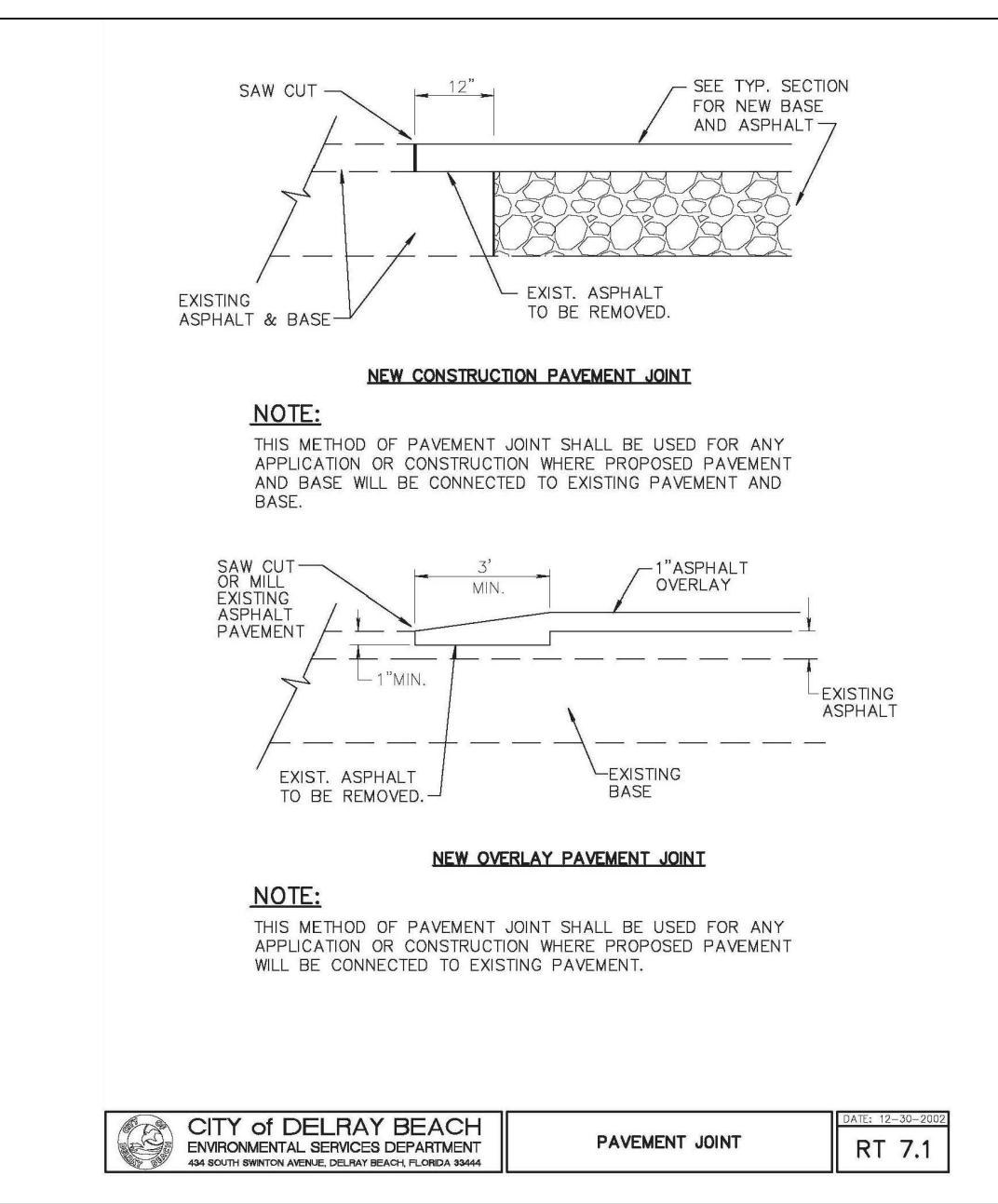
### BACKFILL DETAIL



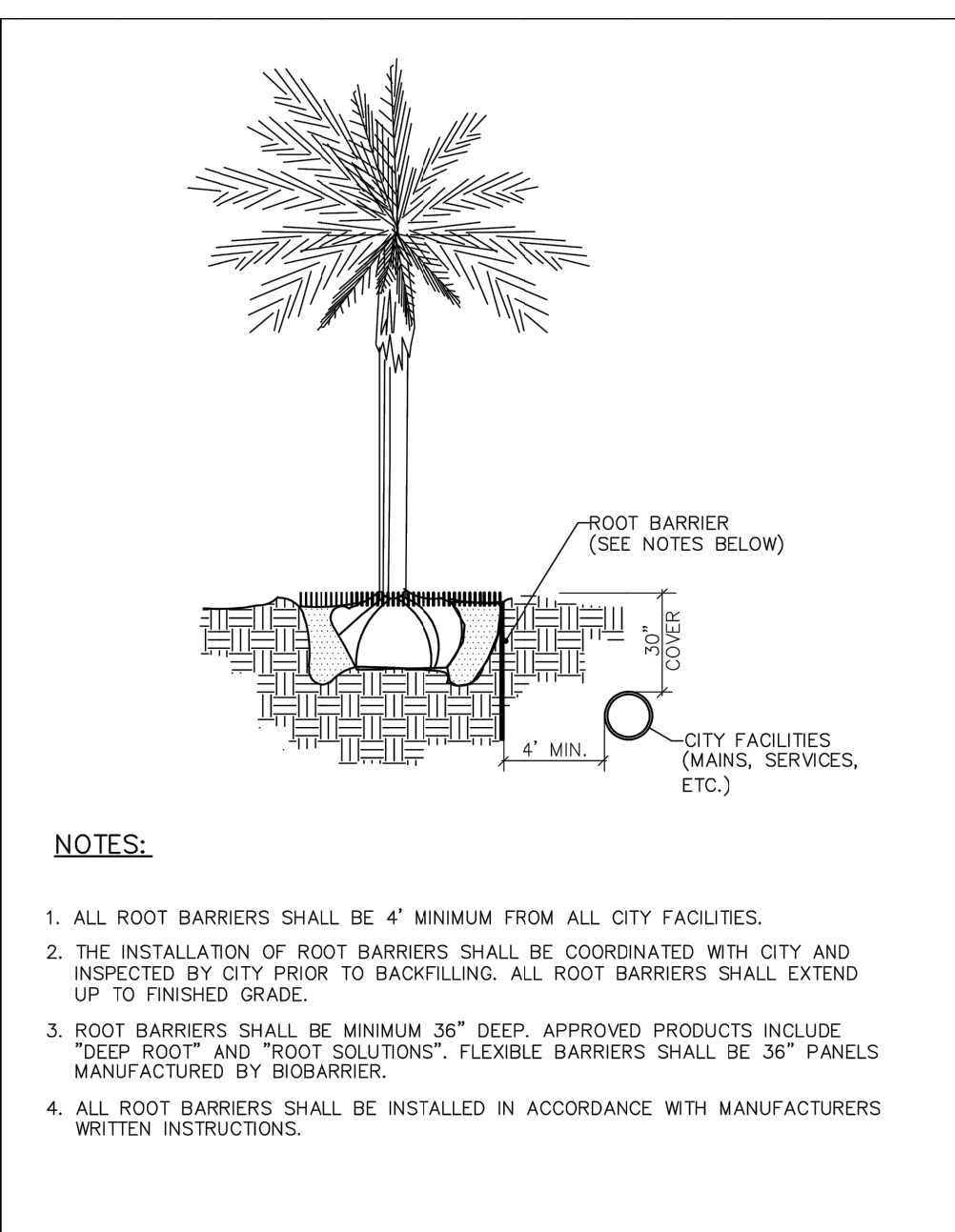
### SPLASH BLOCK DETAIL



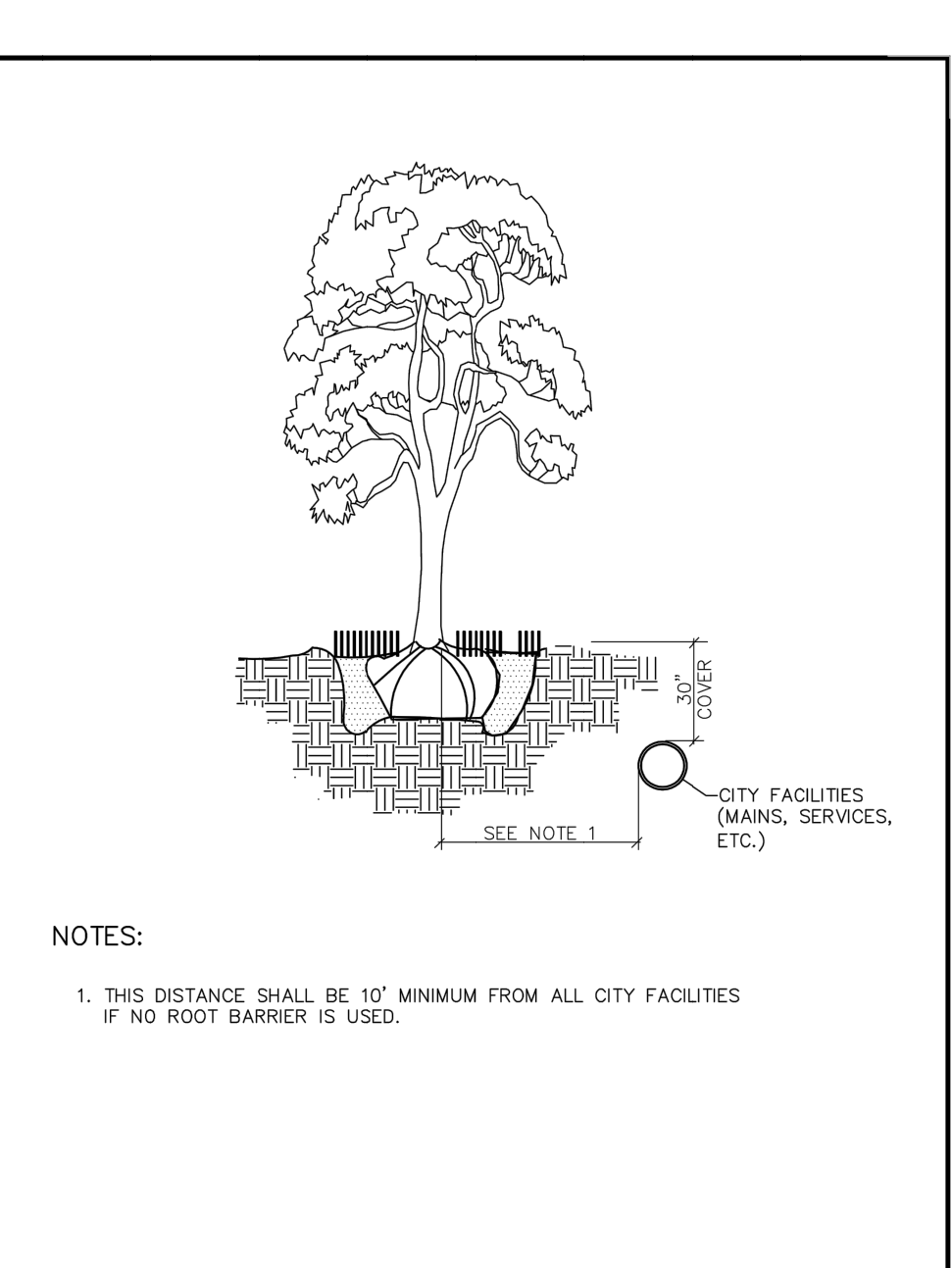
### TREE PROTECTION DETAIL



### MILL AND OVERLAY DETAIL



### TYPICAL TREE WITH ROOT BARRIER



### TYPICAL TREE WITHOUT ROOT BARRIER

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FAX: (305) 826-0619  
EB#0004432

SEAL

EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
ANA A. GONZALEZ VALDEZ  
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
1	03-02-18	
2		
3		
4		
5		
6		
7		
8		
9		
10		

CONTRACT DATE: -----  
BUILDING TYPE: CUSTOM  
PLAN VERSION: 1  
SITE NUMBER: 309797  
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.  
Delray Bch., FL

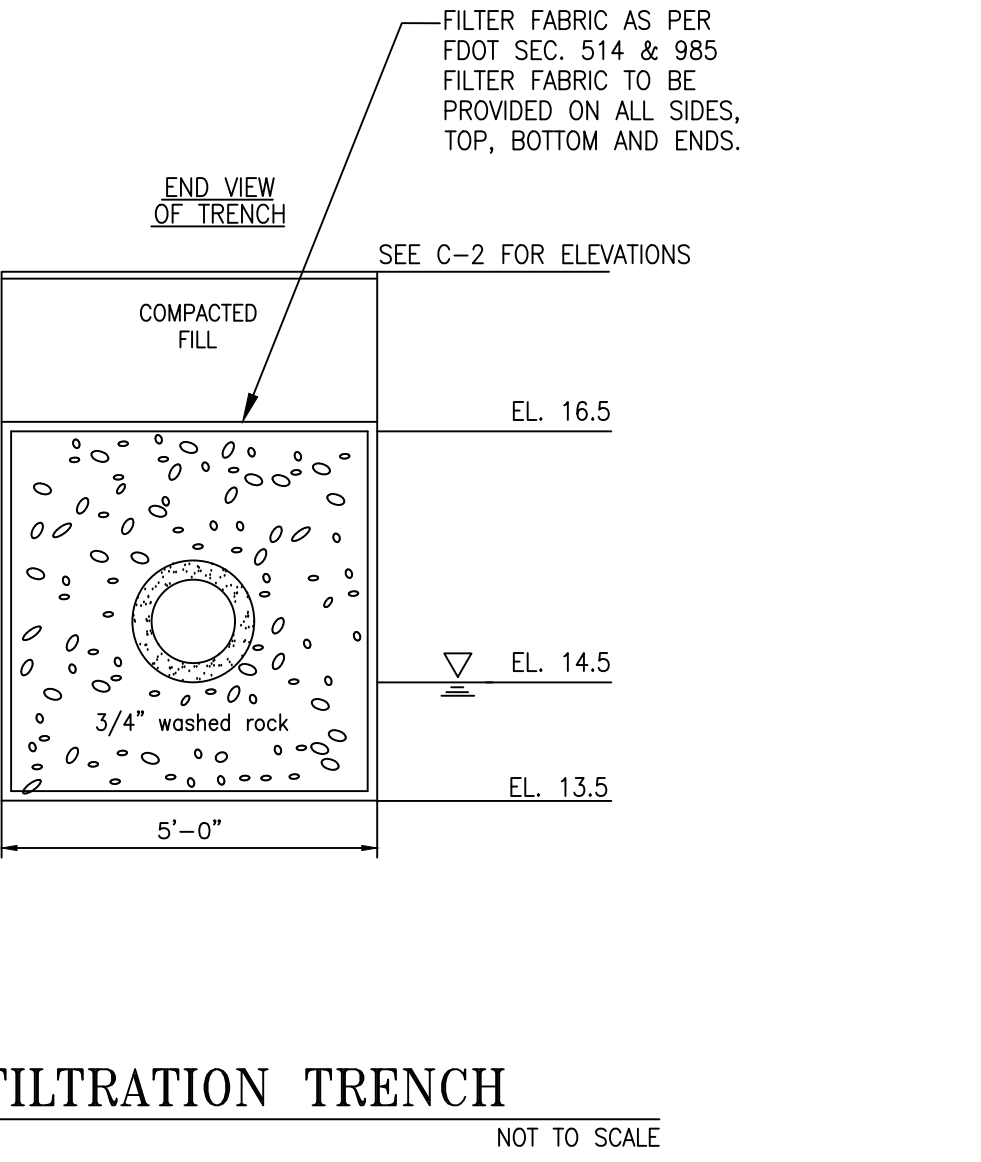
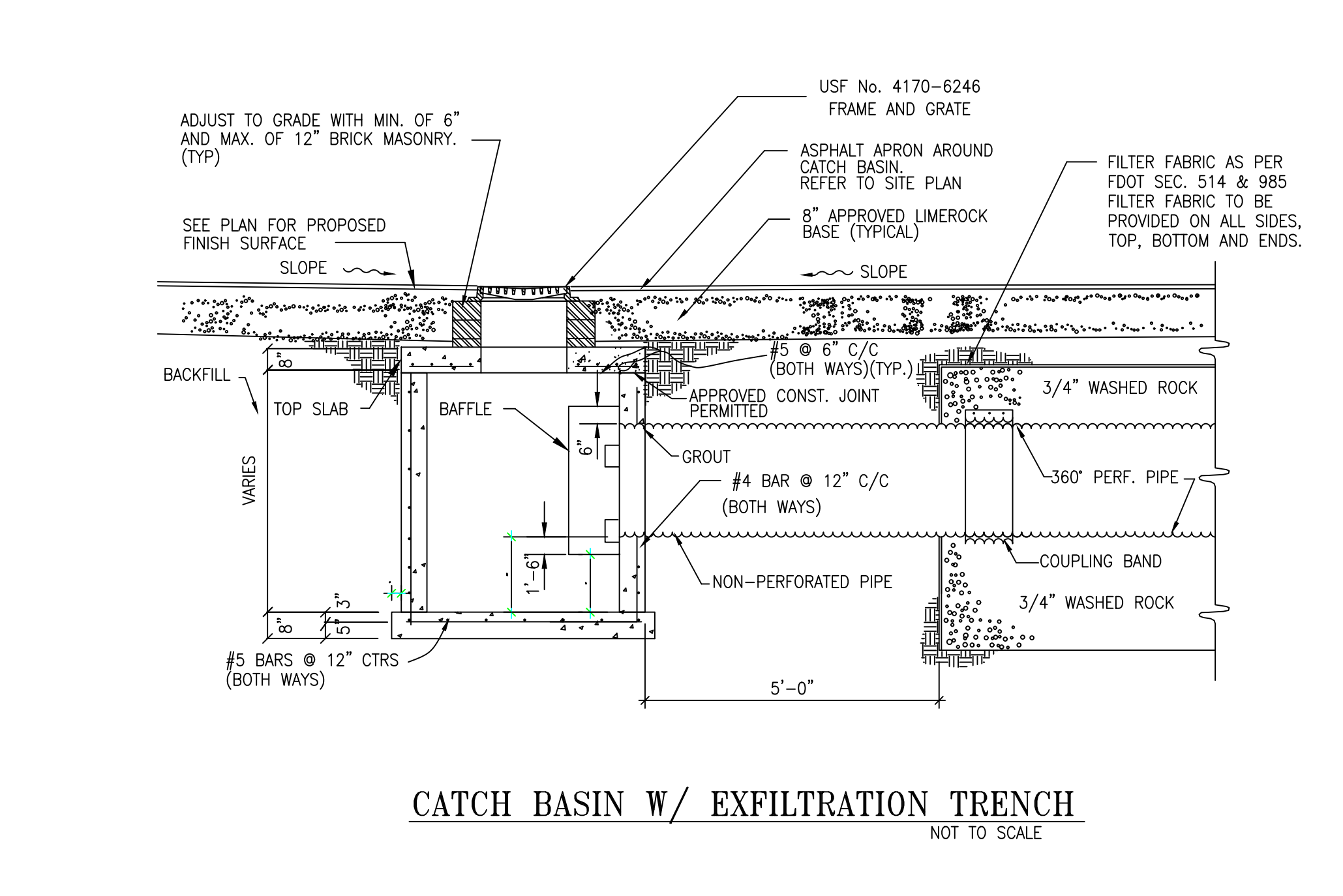
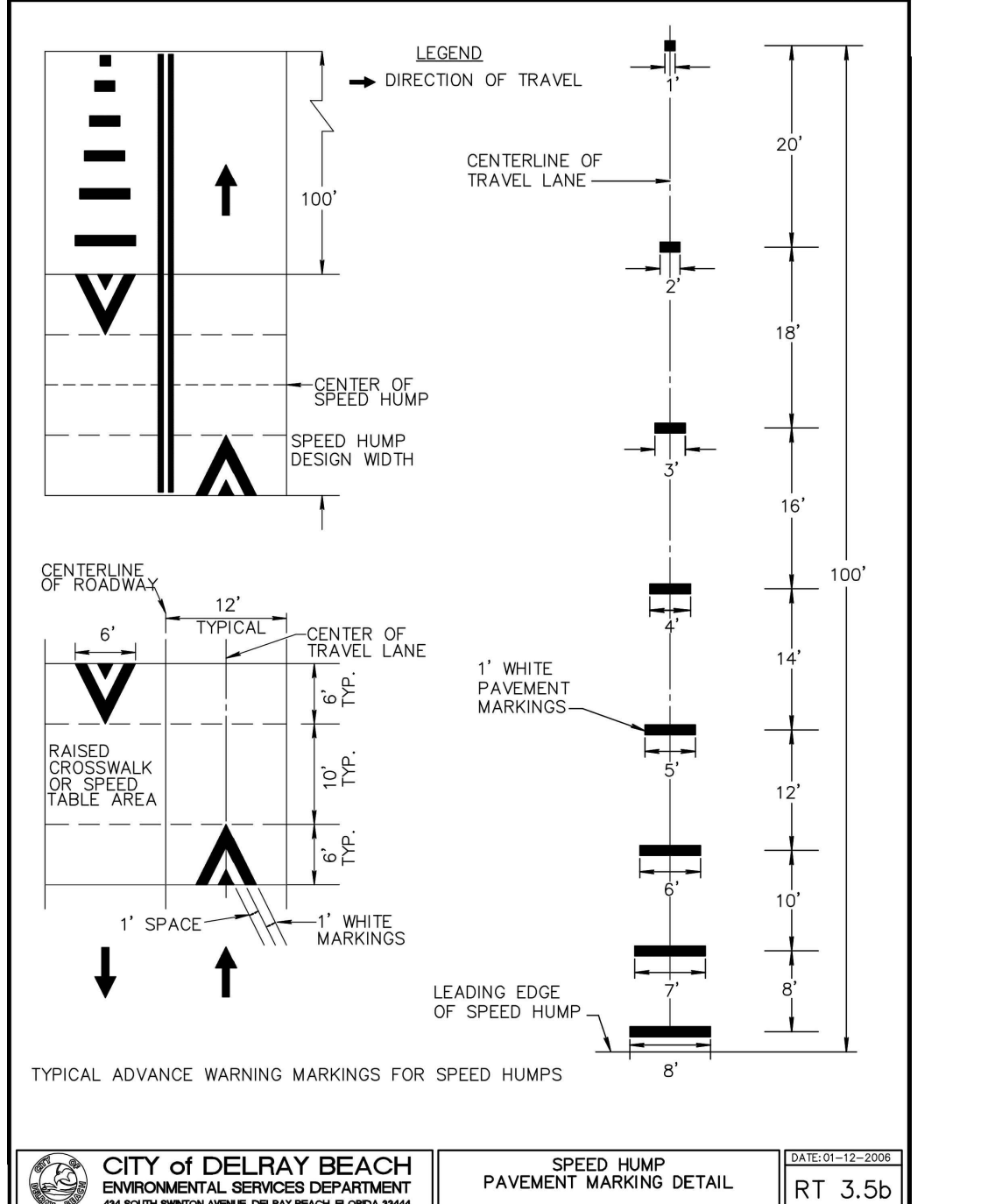
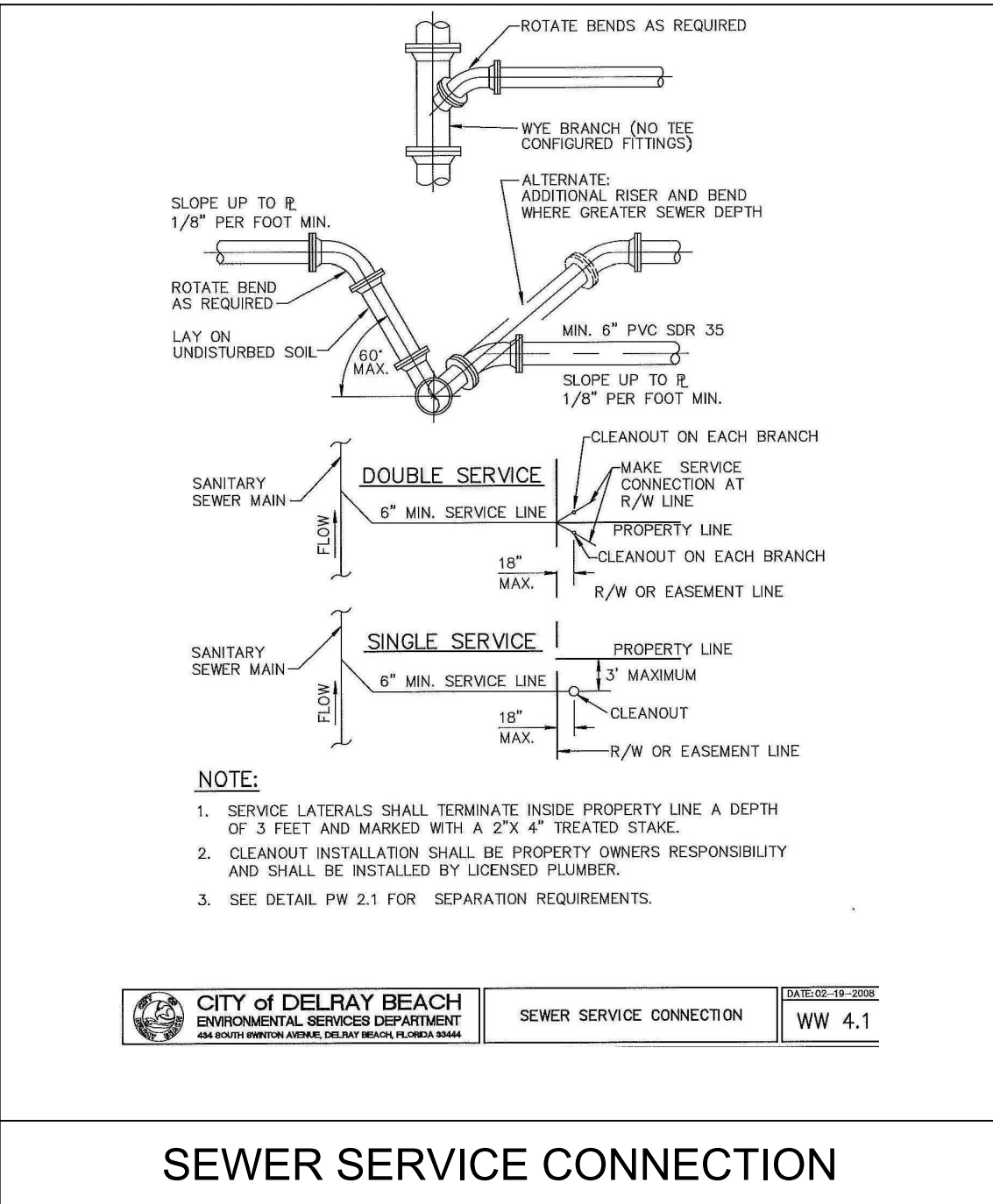
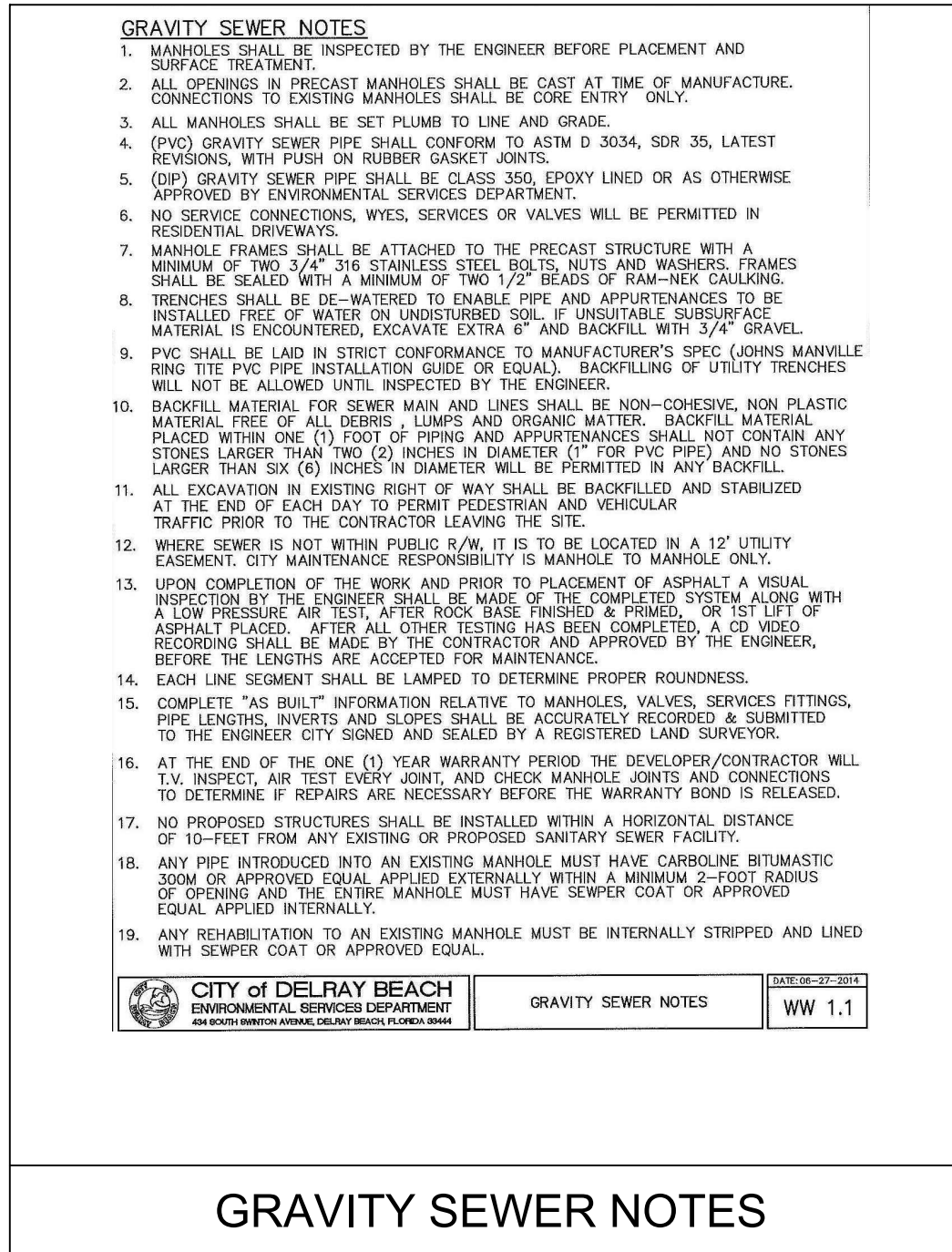
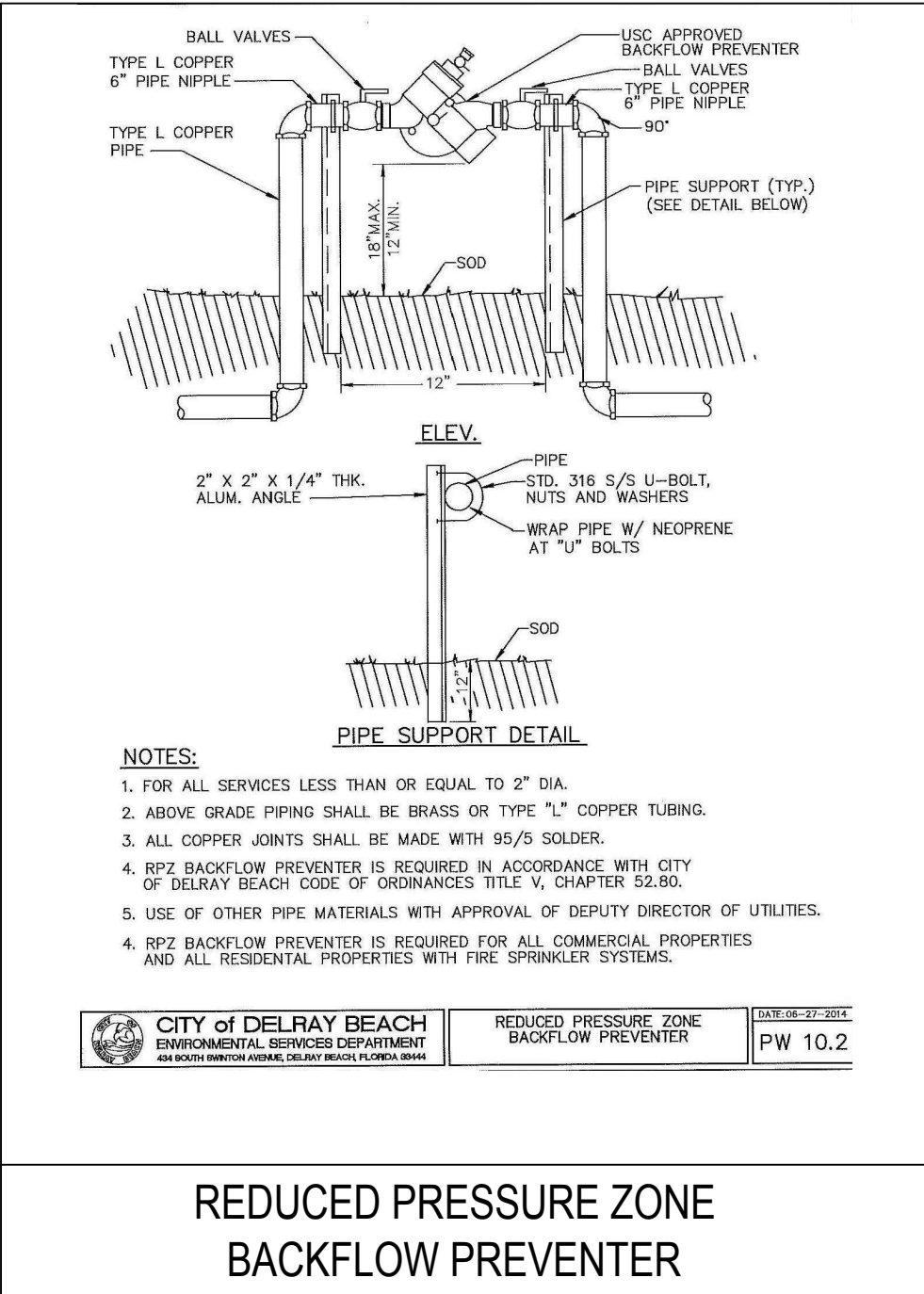
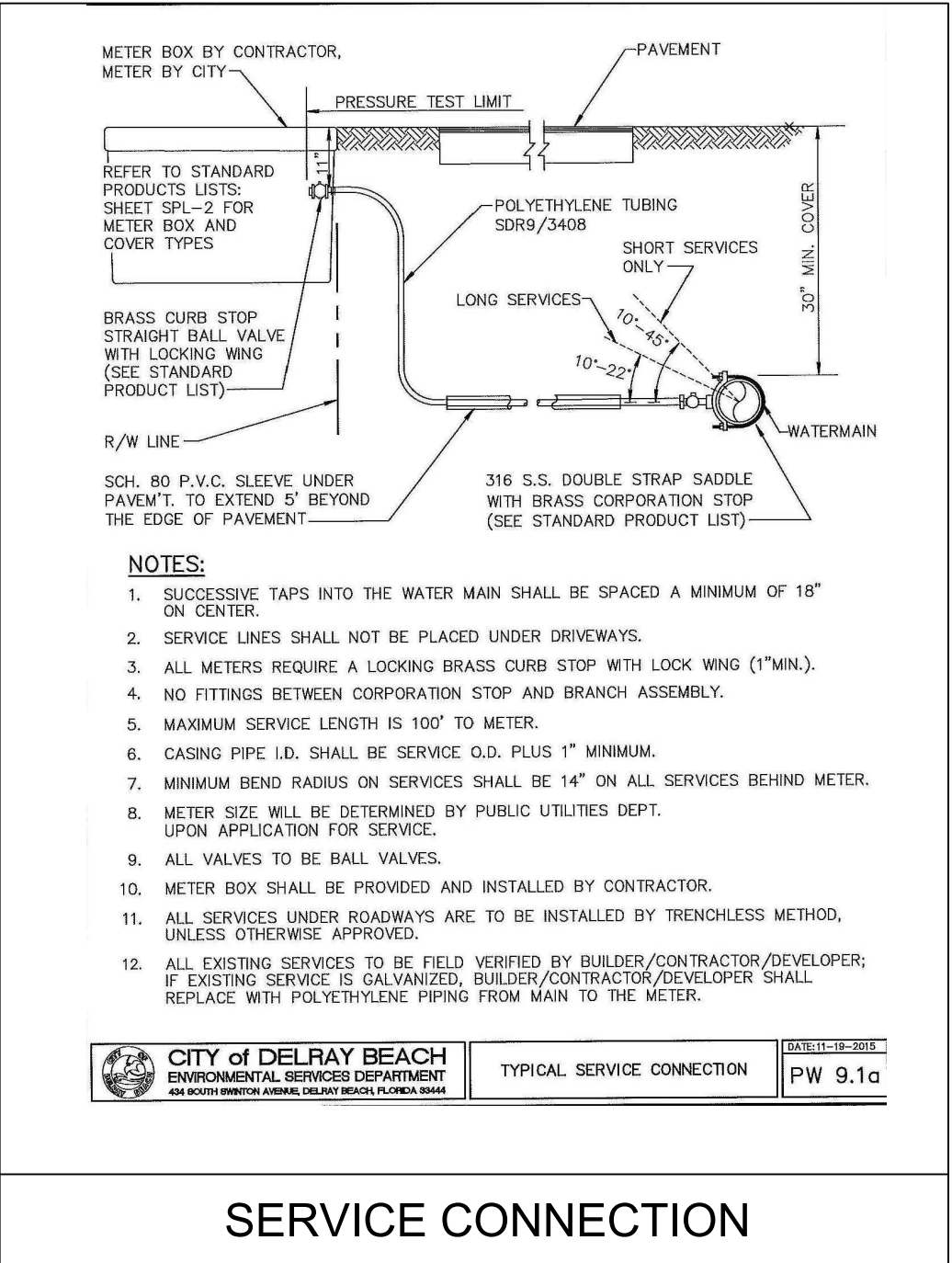
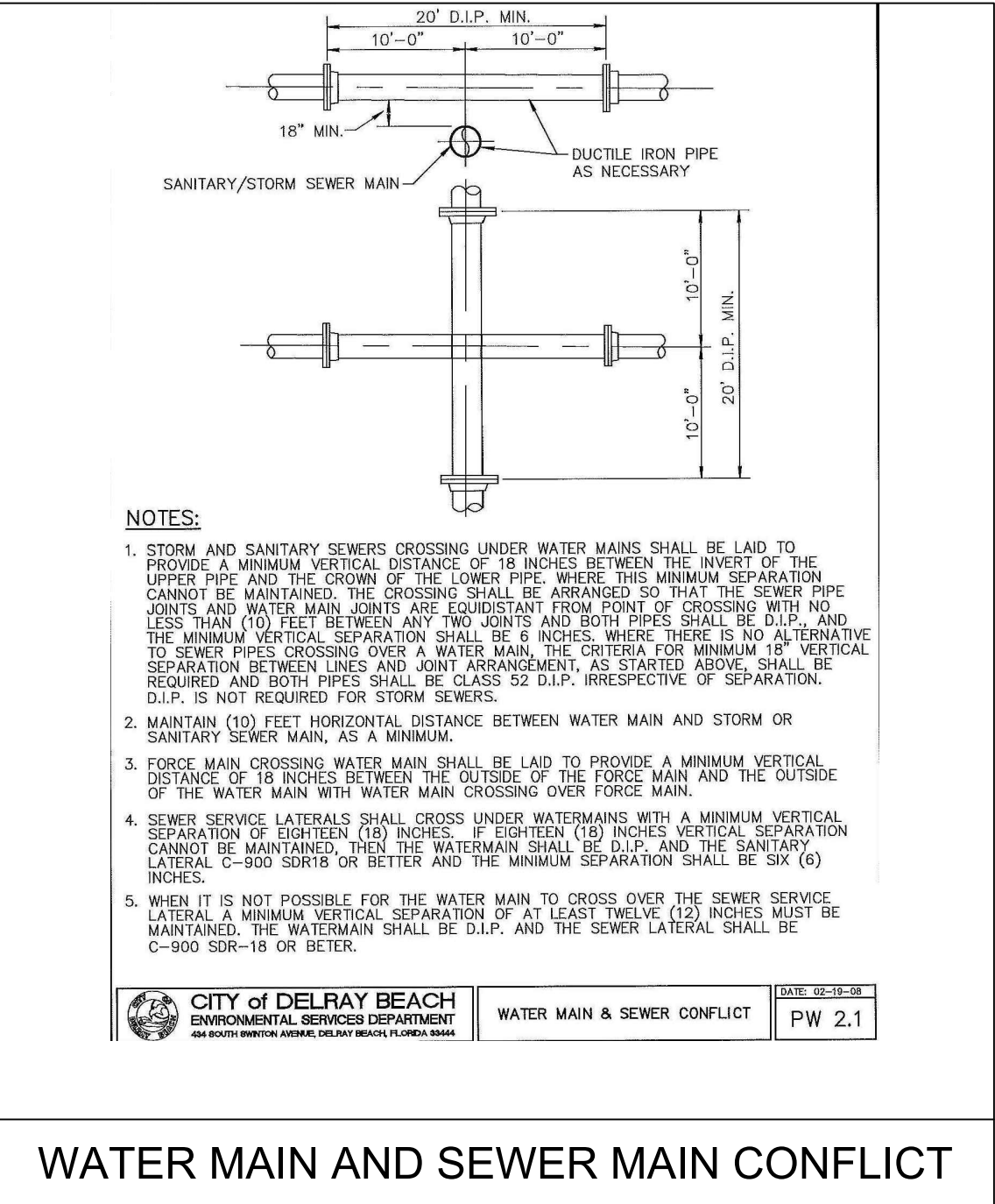
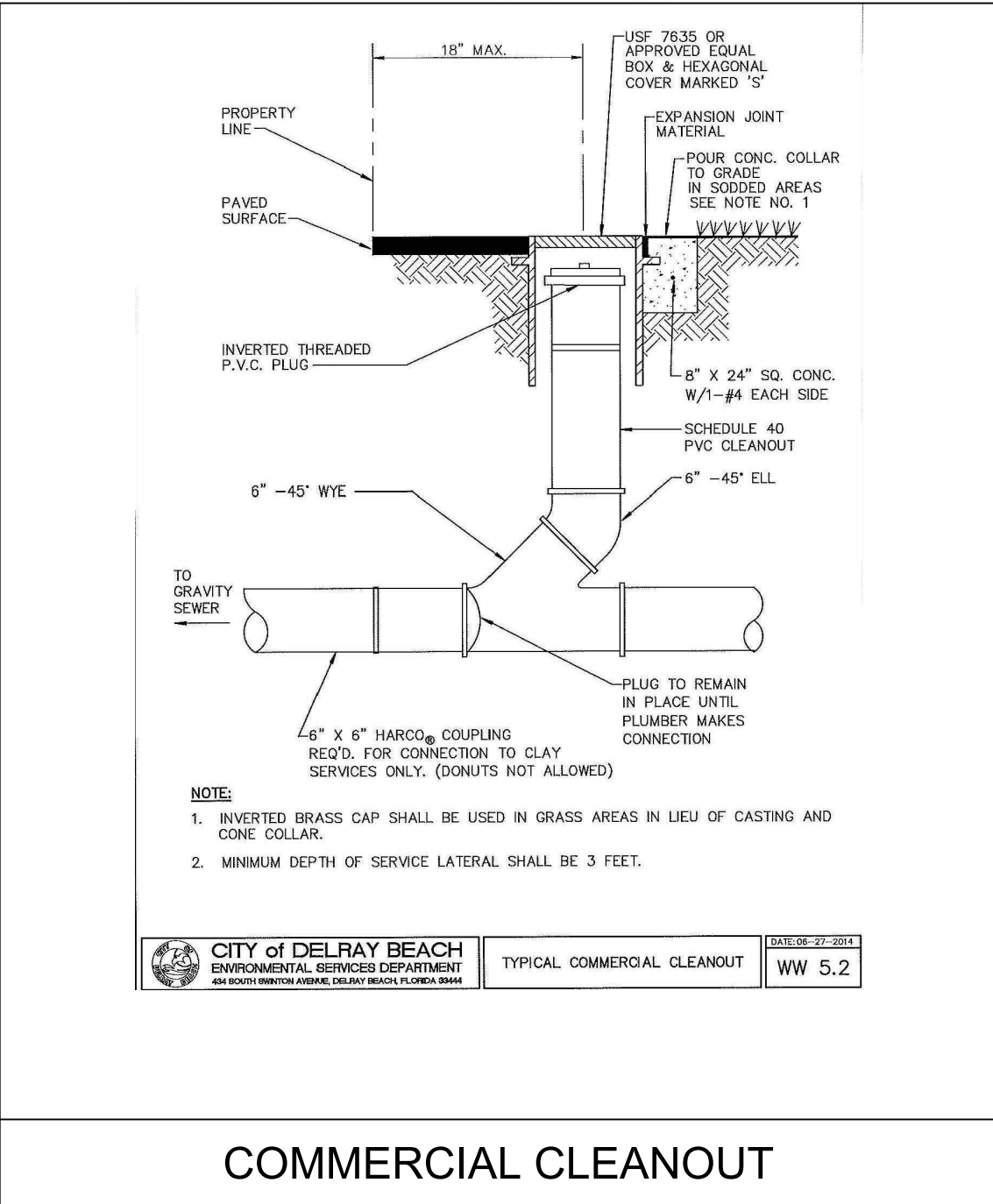
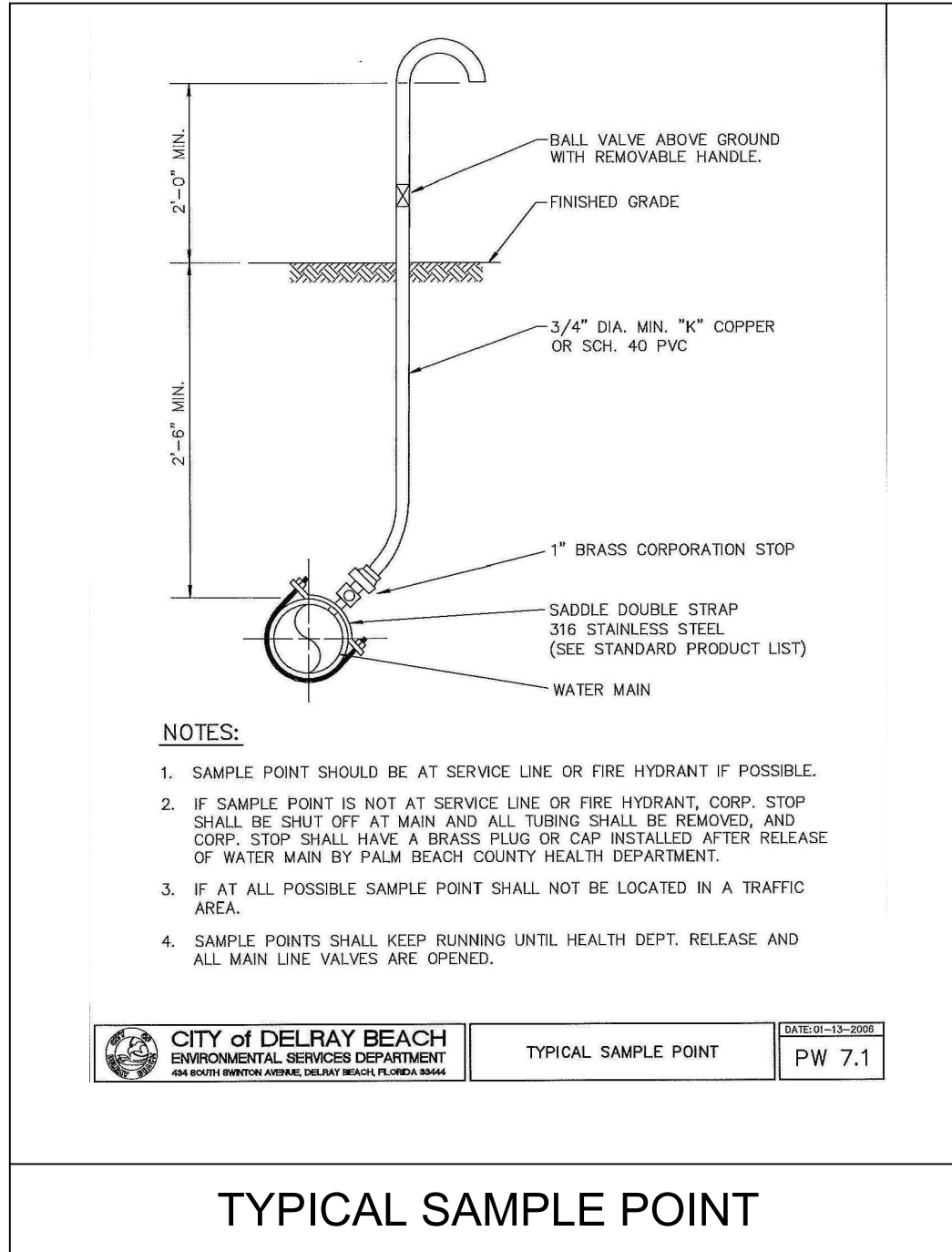
TACO BELL

T-40  
OPEN KITCHEN  
DELRAY BEACH SOL  
CONSTRUCTION  
DETAILS

CD-3

PLOT DATE: 12-06-2018





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NO.	DATE	DESCRIPTION
Δ	03-02-18	
Δ	12-05-18	
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Ave.  
Delray Bch., FL

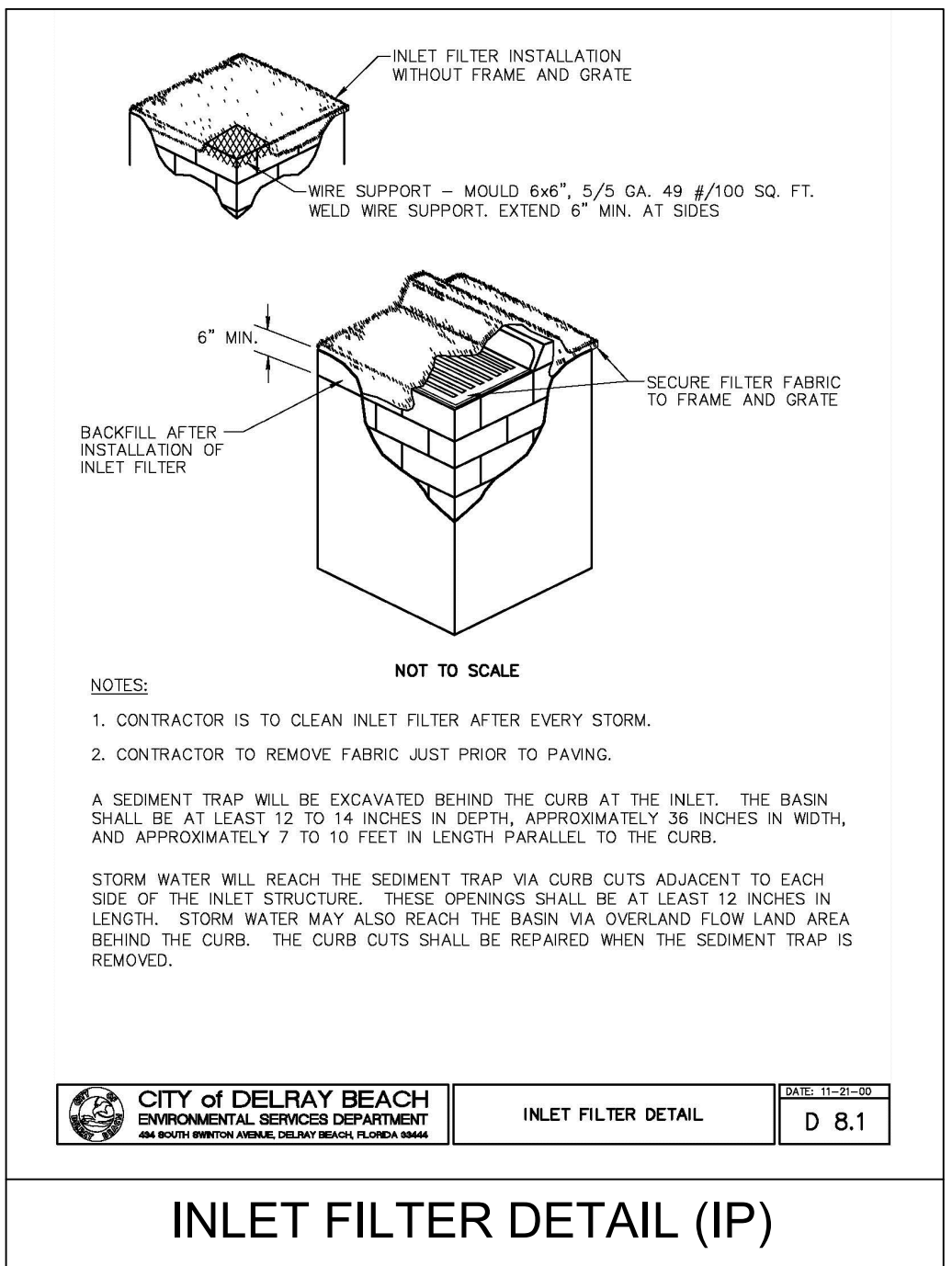
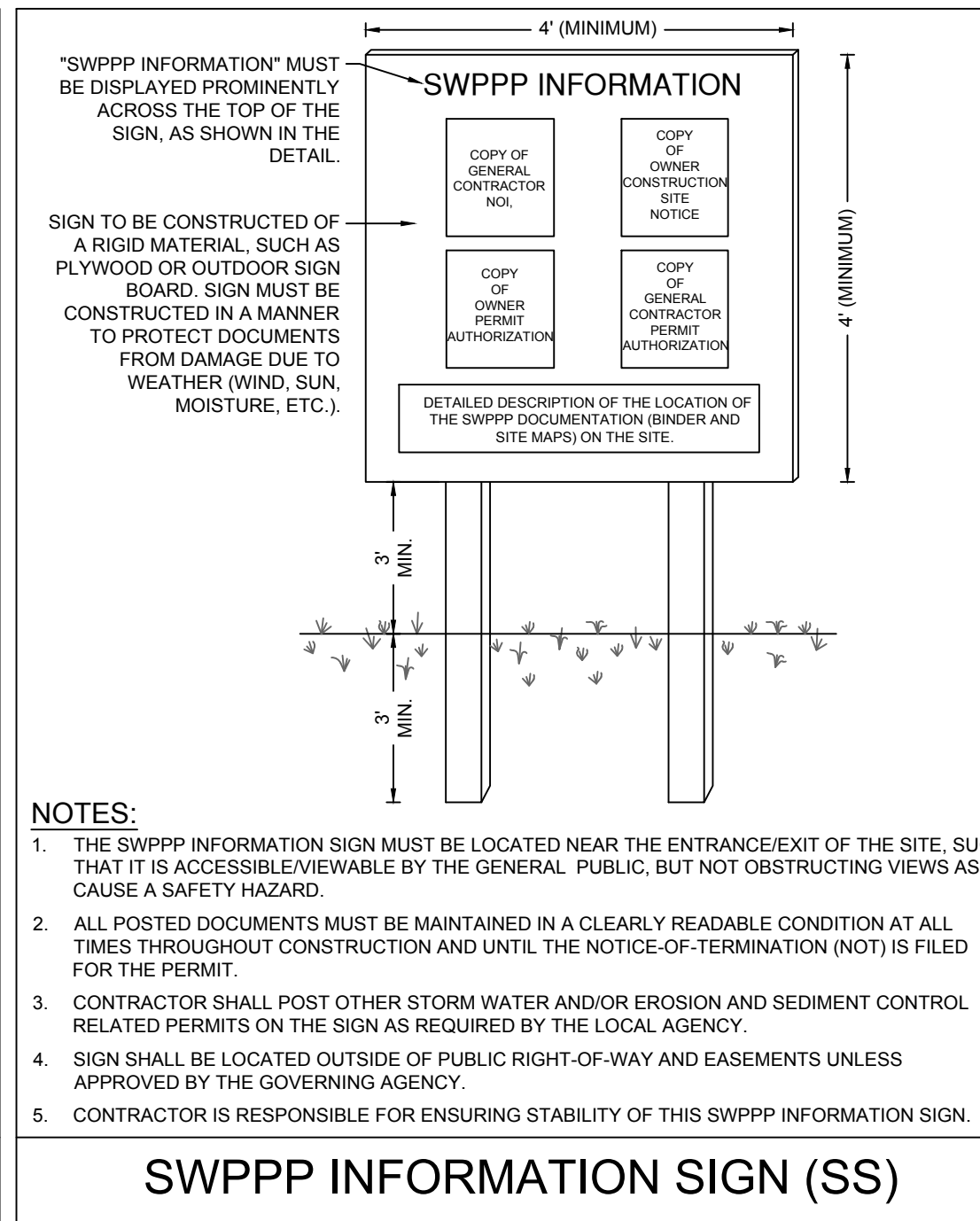
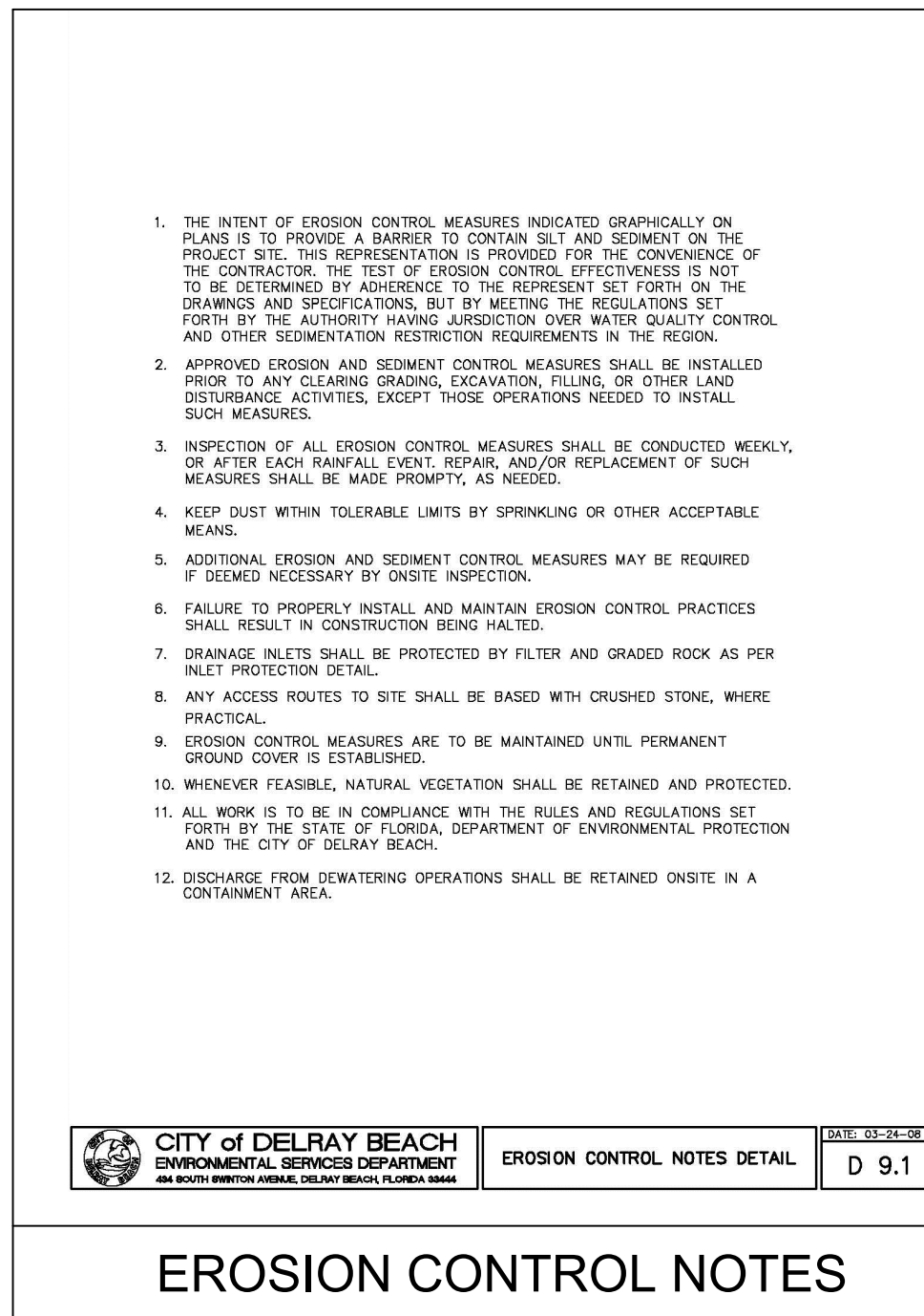
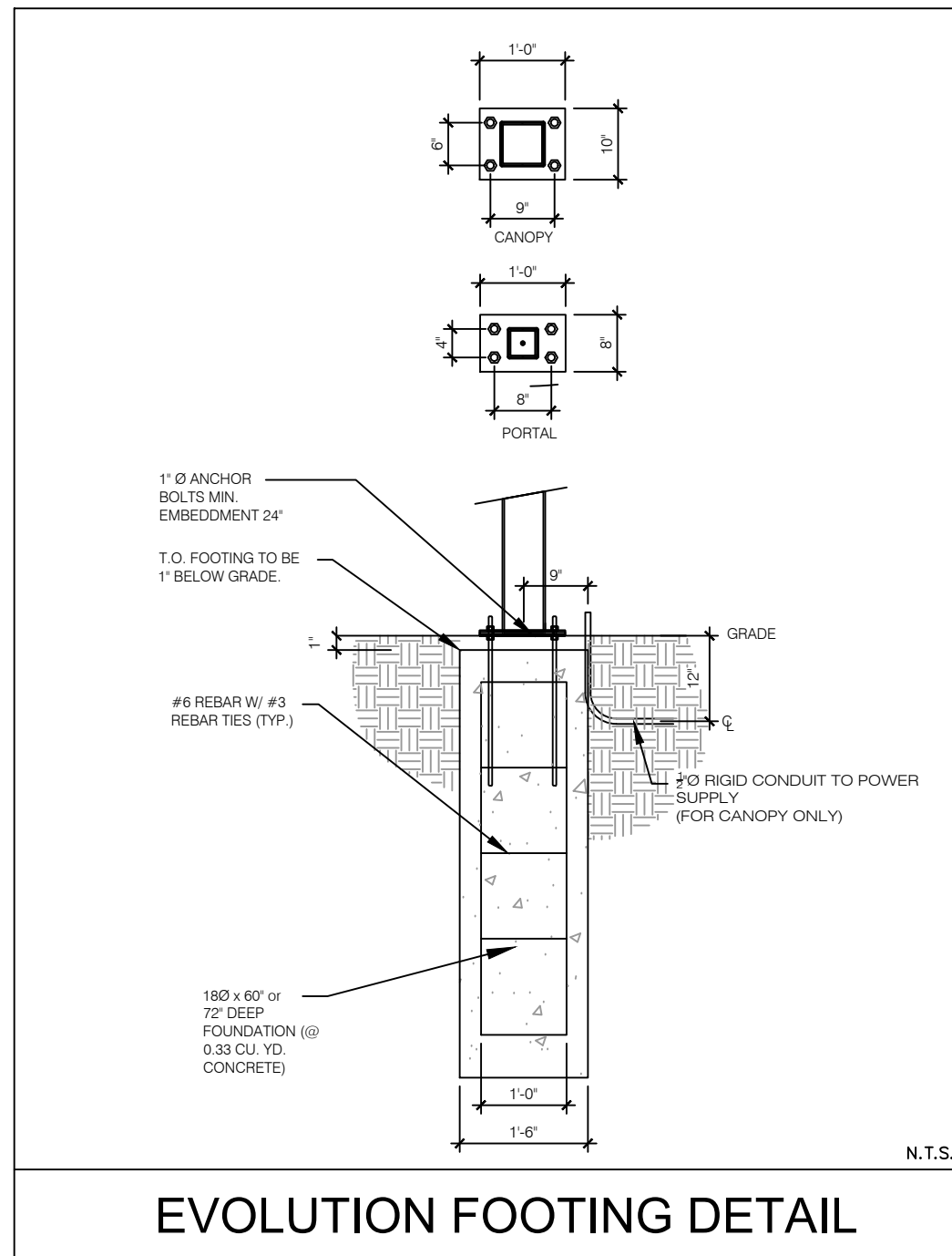
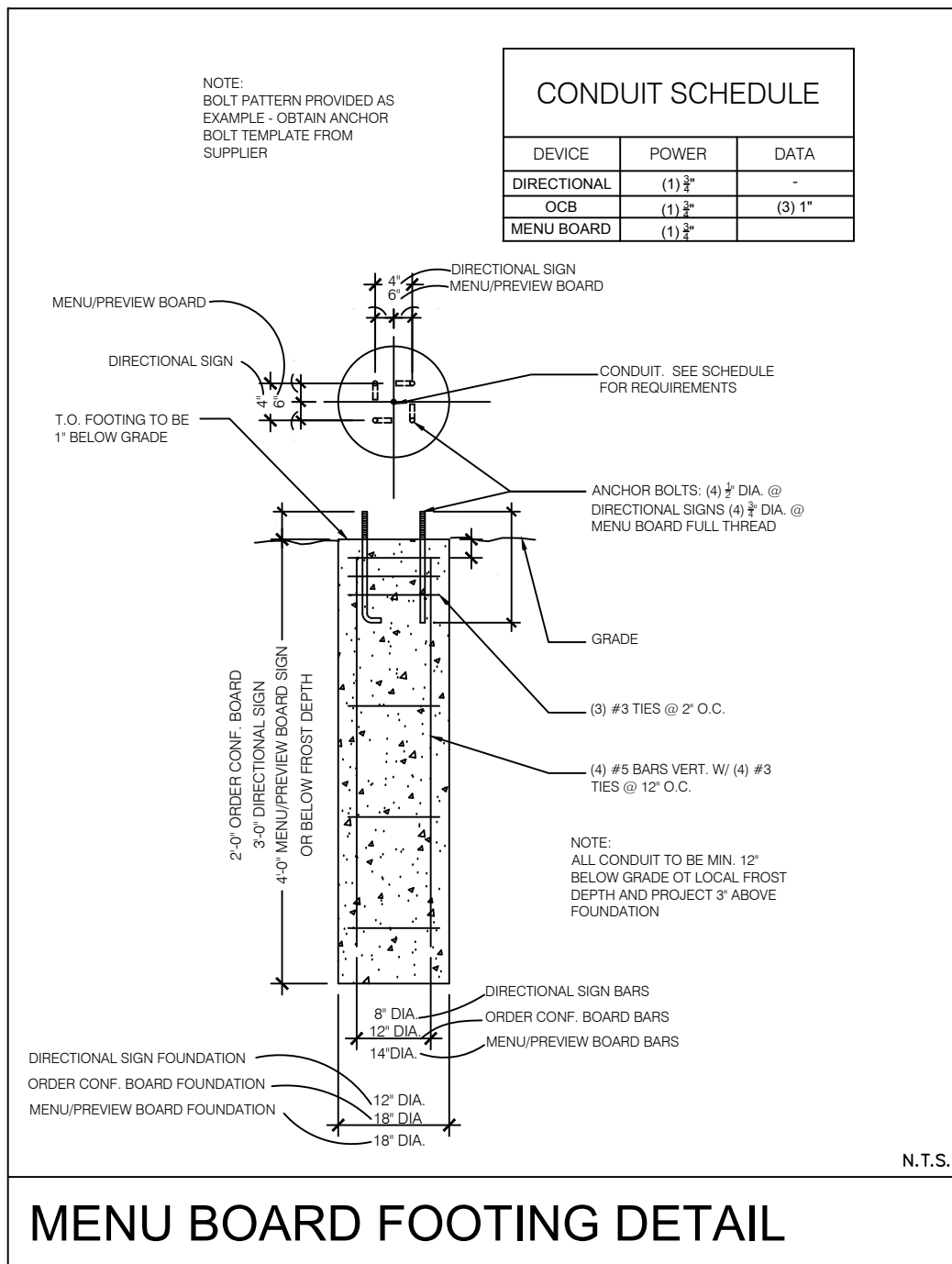
**TACO BELL**

T-40  
OPEN KITCHEN  
DELRAY BEACH SOL  
CONSTRUCTION  
DETAILS

**CD-4**

PLOT DATE: 12-06-2018





**GROUP**

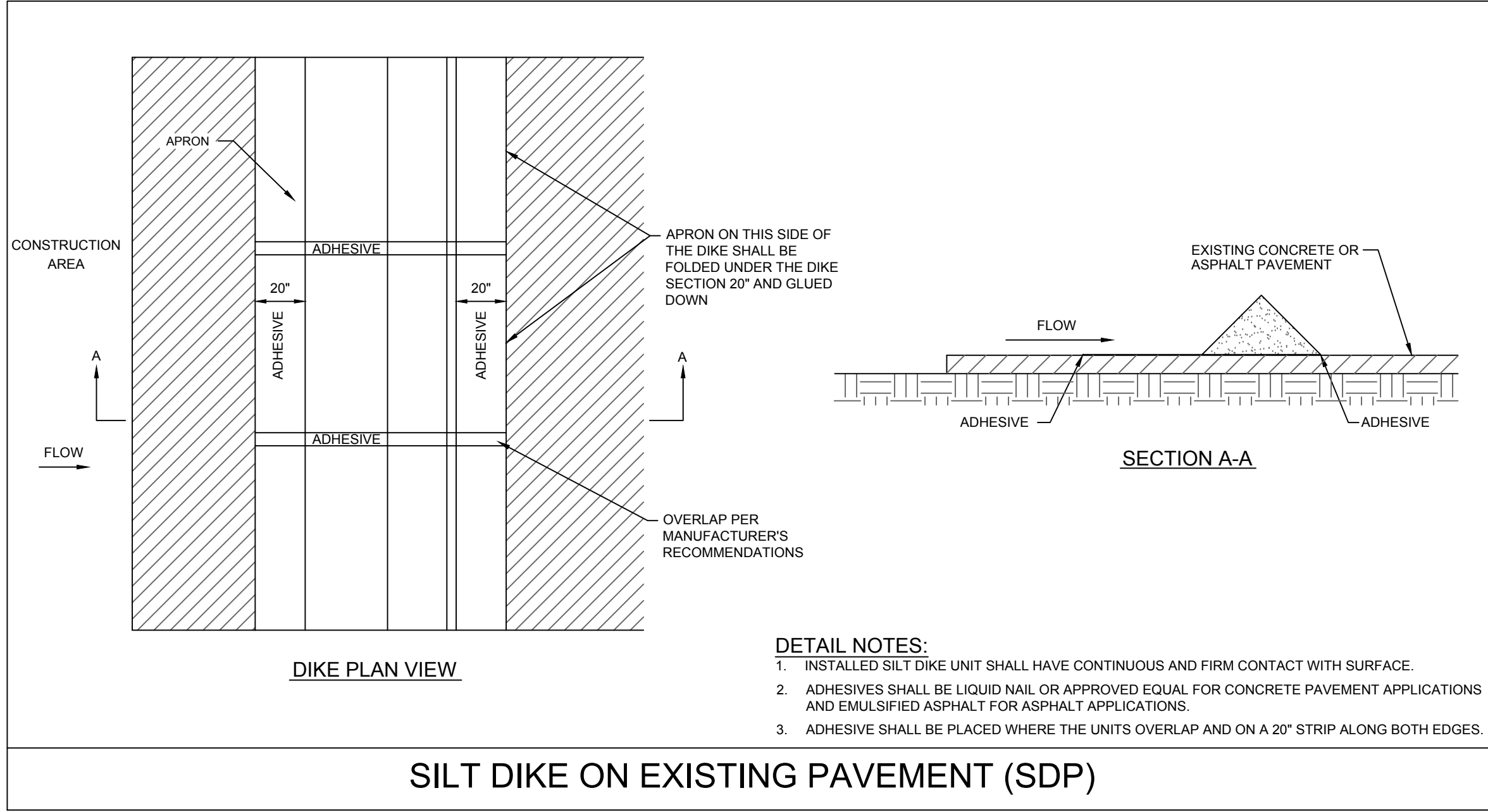
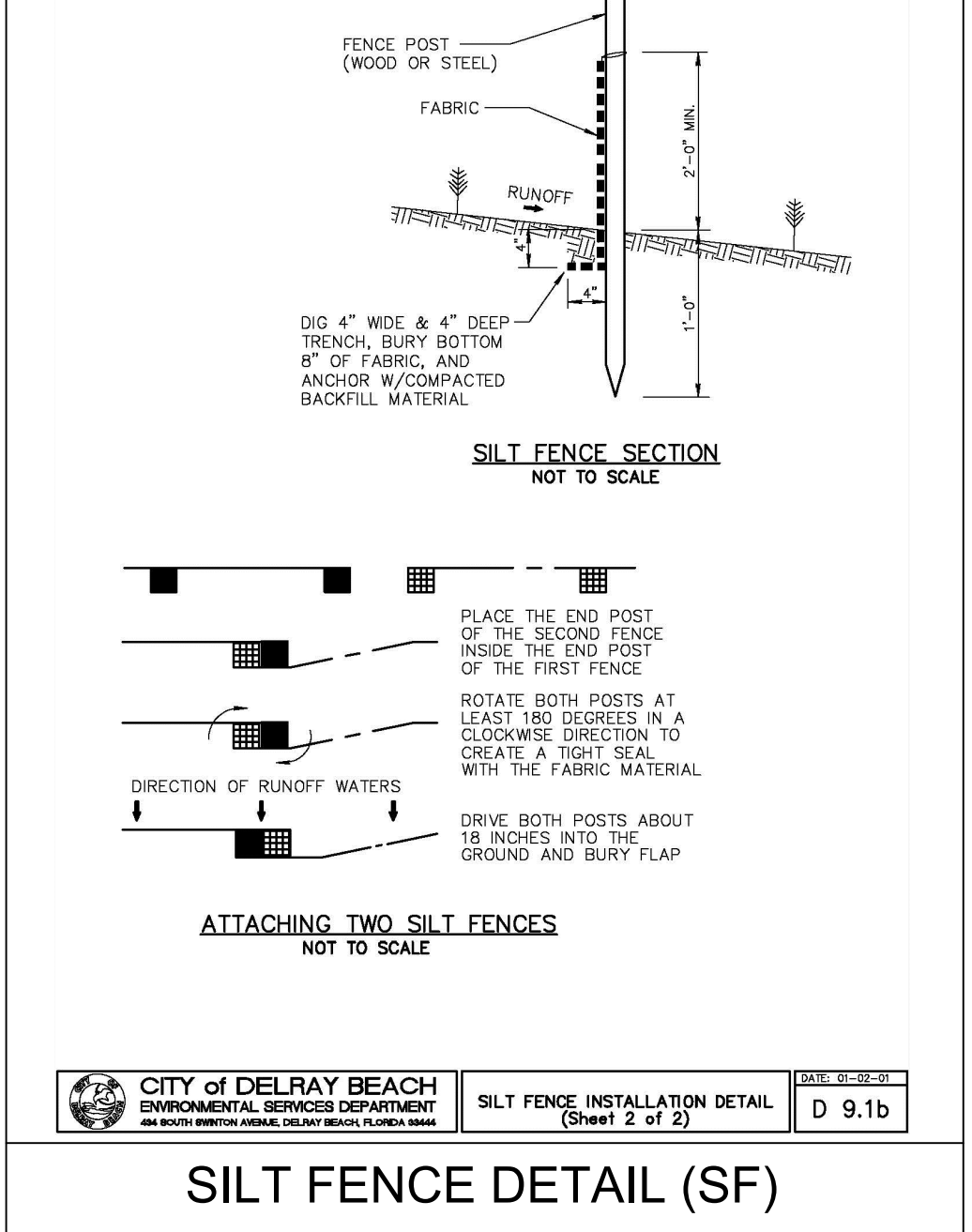
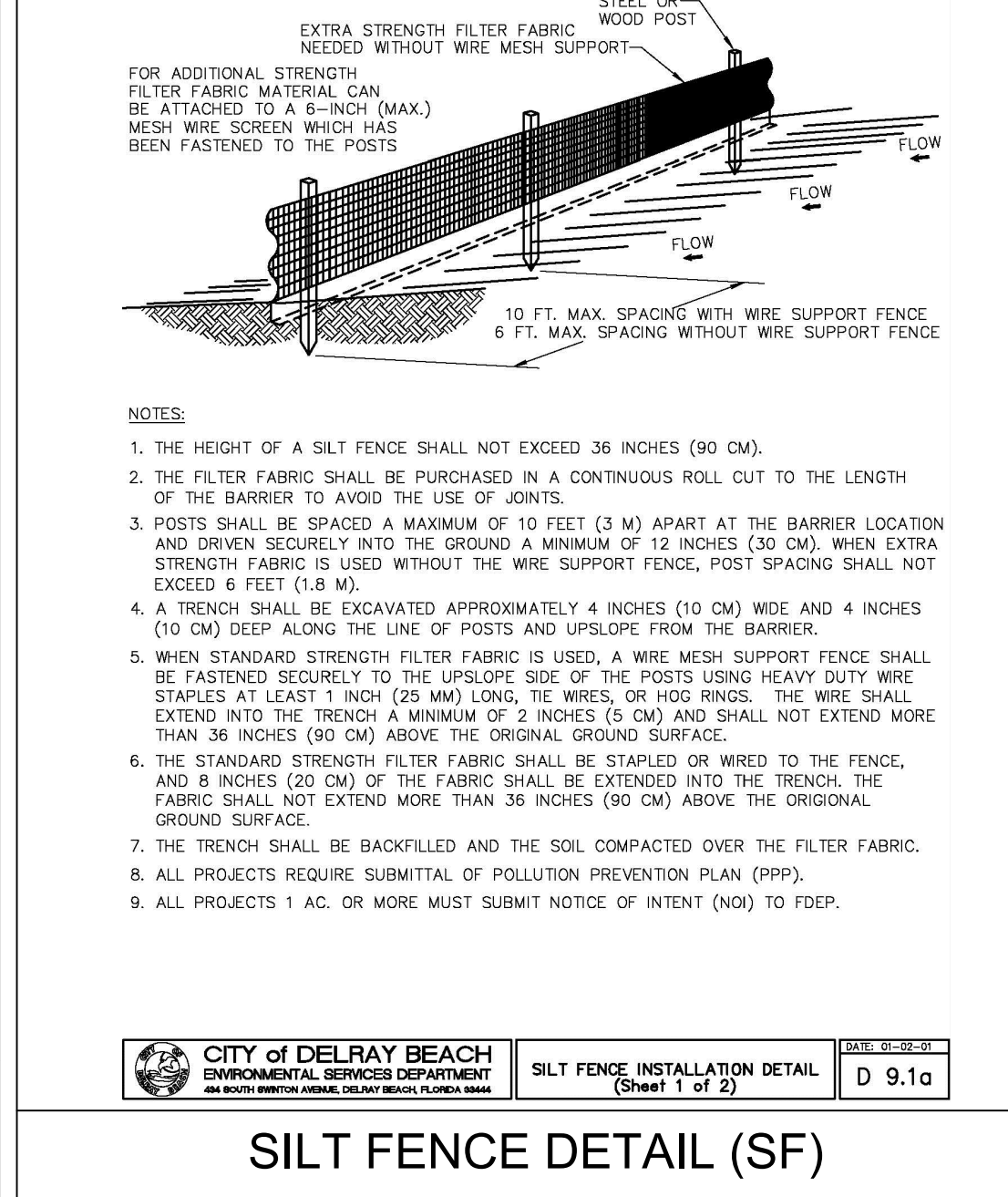
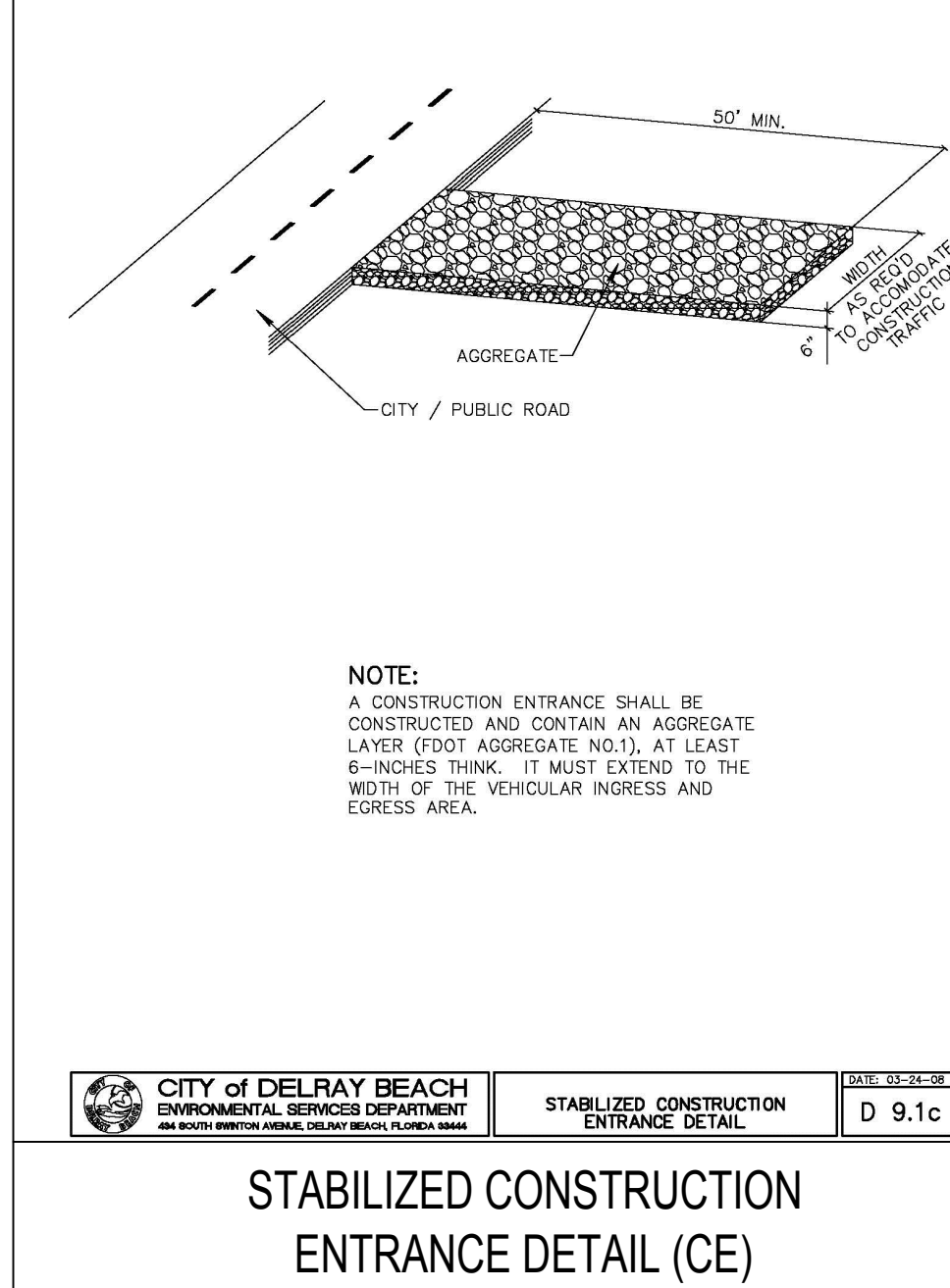
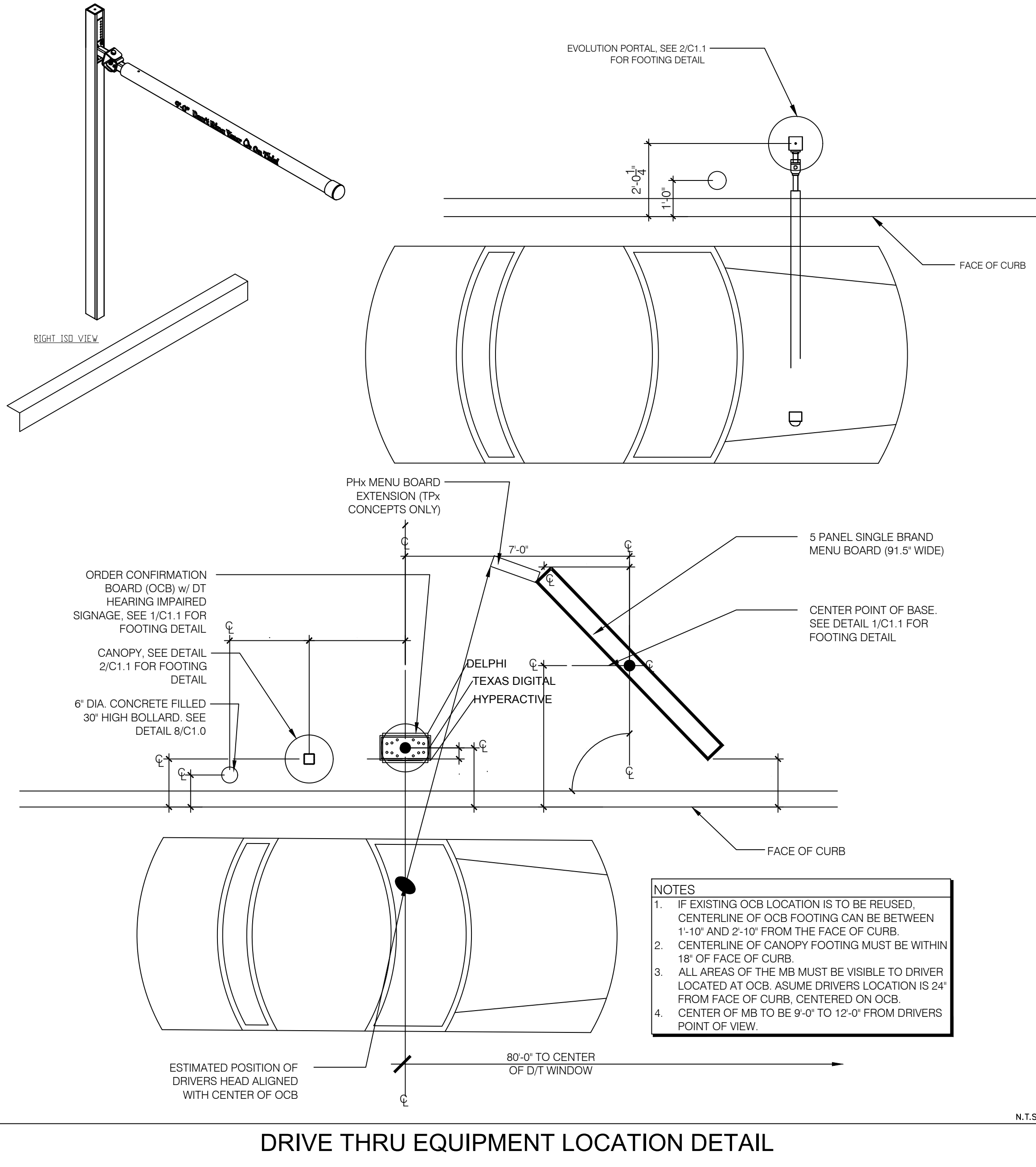
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ARCHITECT-AR 97769



NO.	DATE	DESCRIPTION
△	03-02-18	
△		
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△		
△		
△		

CONTRACT DATE: -----

BUILDING TYPE: CUSTOM

PLAN VERSION: 1

SITE NUMBER: 309797

STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.  
DeLray Bch., FL

TACO BELL

T-40

OPEN KITCHEN

DELRAY BEACH SOL

CONSTRUCTION

DETAILS

CD-5

PLOT DATE: 12-06-2018









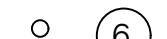
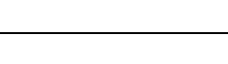
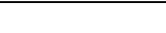








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ARCHITECT-AR 97769



REGION 7 - SOUTHEAST						MATERIALS LEGEND			LANDSCAPE NOTES		
NO.	MATERIAL	QTY	SIZE	HGT.	SP						
①	INDIAN HAWTHORNE RAPHIOLEPIS INDICA 'PINK LADY'	PER PLAN	3 GAL.	12"	12"		①		④		⑦
②	CHINESE HOLLY LLEX CORNUTA	PER PLAN	3 GAL.	15"	15"		②		⑤		
③	SPANISH BAYONET YUCCA ALOIFOLIA	PER PLAN	5 GAL.				③		⑥		
④	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"						
⑤	LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A							
⑥	GRAVEL MULCH RED GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A							
⑦	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A						

- GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER & CONCRETE CURB. ALSO UNDER ALL PLANTS
- PROVIDE WEED BARRIER UNDER GRAVEL MULCH
- PROVIDE A INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES
- PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE AND SOIL AMMENDEMENTS
- SEE SHEET C1.0 AND C1.1 FOR ADDITIONAL TACO BELL SPECIFIC DETAILS INCLUDING THE MENU BOARD, ENTRY PORTALL AND OCB/CANOPY.

CONTRACTOR TO REFER TO LANDSCAPING PLANS FOR  
PROJECT SPECIFIC PLANTINGS AND DETAILS

### PROTOTYPICAL MENU BOARD LANDSCAPING DETAIL

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	
SITE NUMBER:	30979
STORE NUMBER:	42063

TACO BELL

5070 W. Atlantic Ave  
Delray Bch., FL



T-40  
 OPEN KITCHEN  
 DELRAY BEACH SOL  
 CONSTRUCTION  
 DETAILS

CD-6

PLOT DATE: 12-06-2018



NO.	DATE	DESCRIPTION
△	03-02-18	
△		
△		
△		
△		
△		
△		
△		

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: CUSTOM  
PLAN VERSION: 1  
SITE NUMBER: 309797  
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.  
Delray Bch., FL

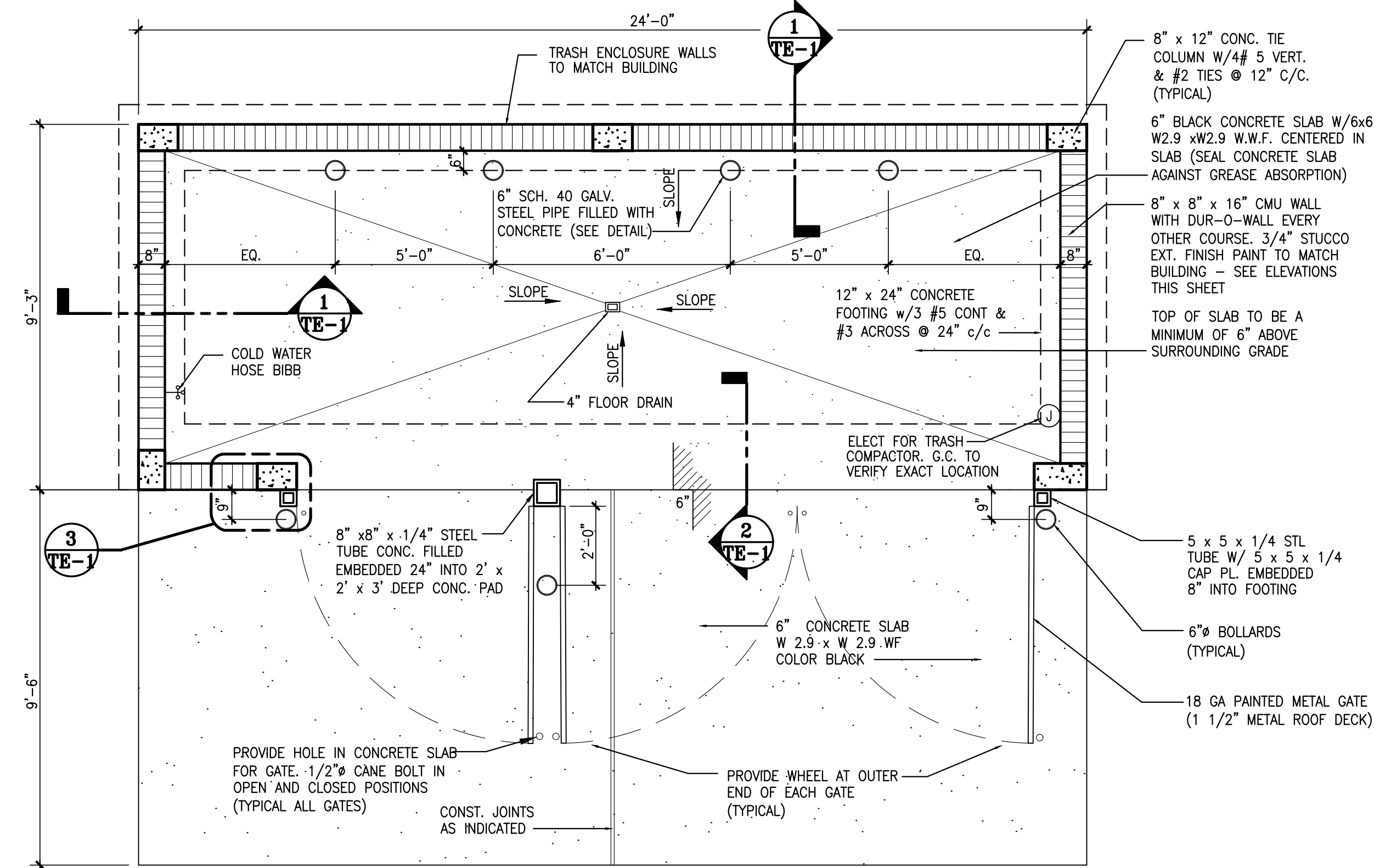


T-40  
OPEN KITCHEN  
DELRAY BEACH SOL

TE-1

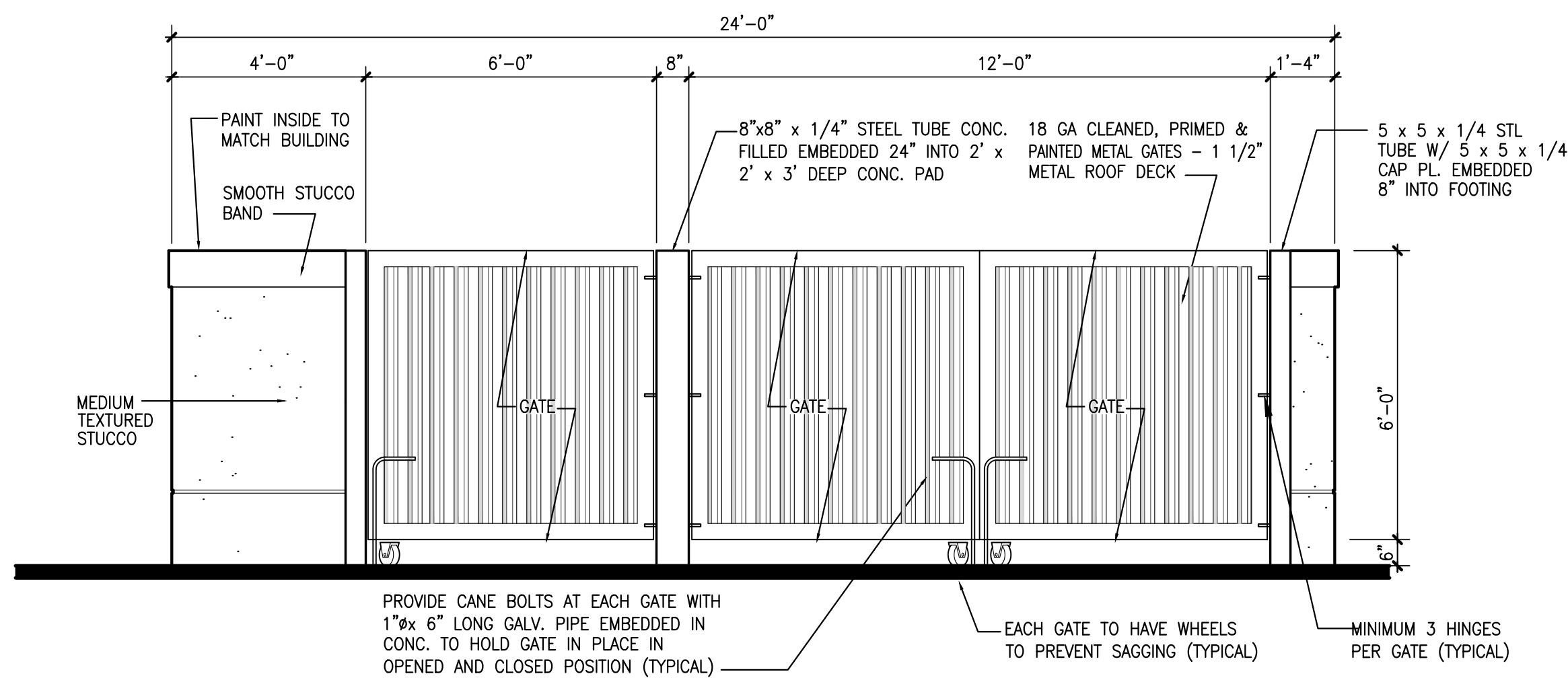
TRASH ENCLOSURE DETAILS

PLOT DATE: 12-06-2018



TRASH & RECYCLING ENCLOSURE PLAN

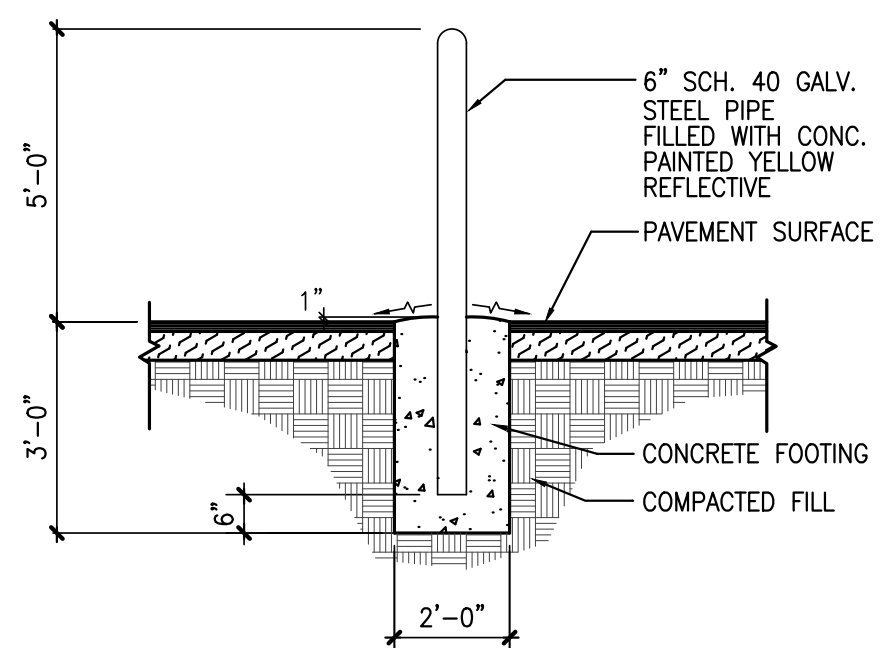
3/8" = 1'-0"



FRONT ELEVATION

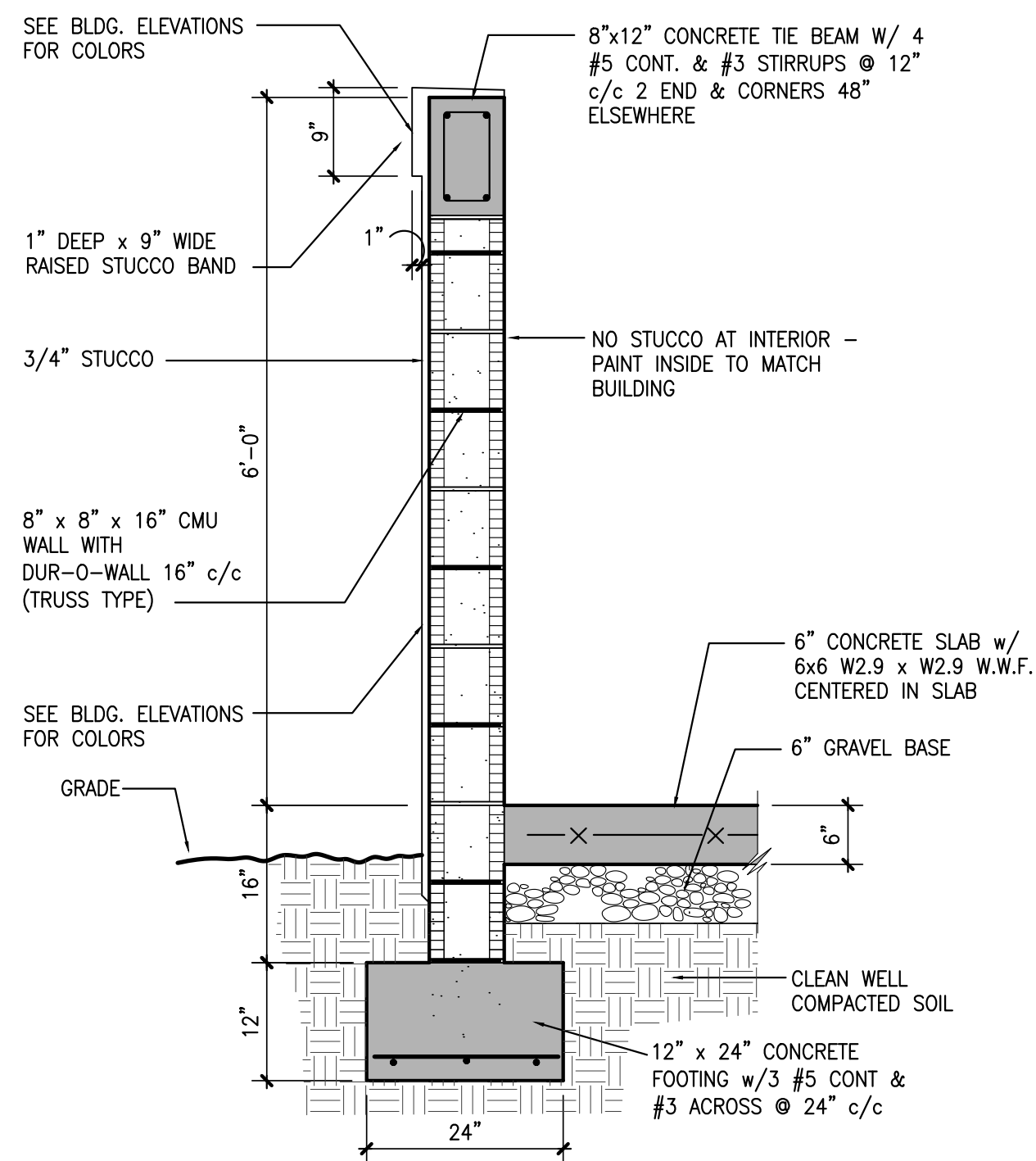
3/8" = 1'-0"

NOTE:  
STEEL BOLLARDS NOT SHOWN REFER TO PLAN FOR LOCATIONS.



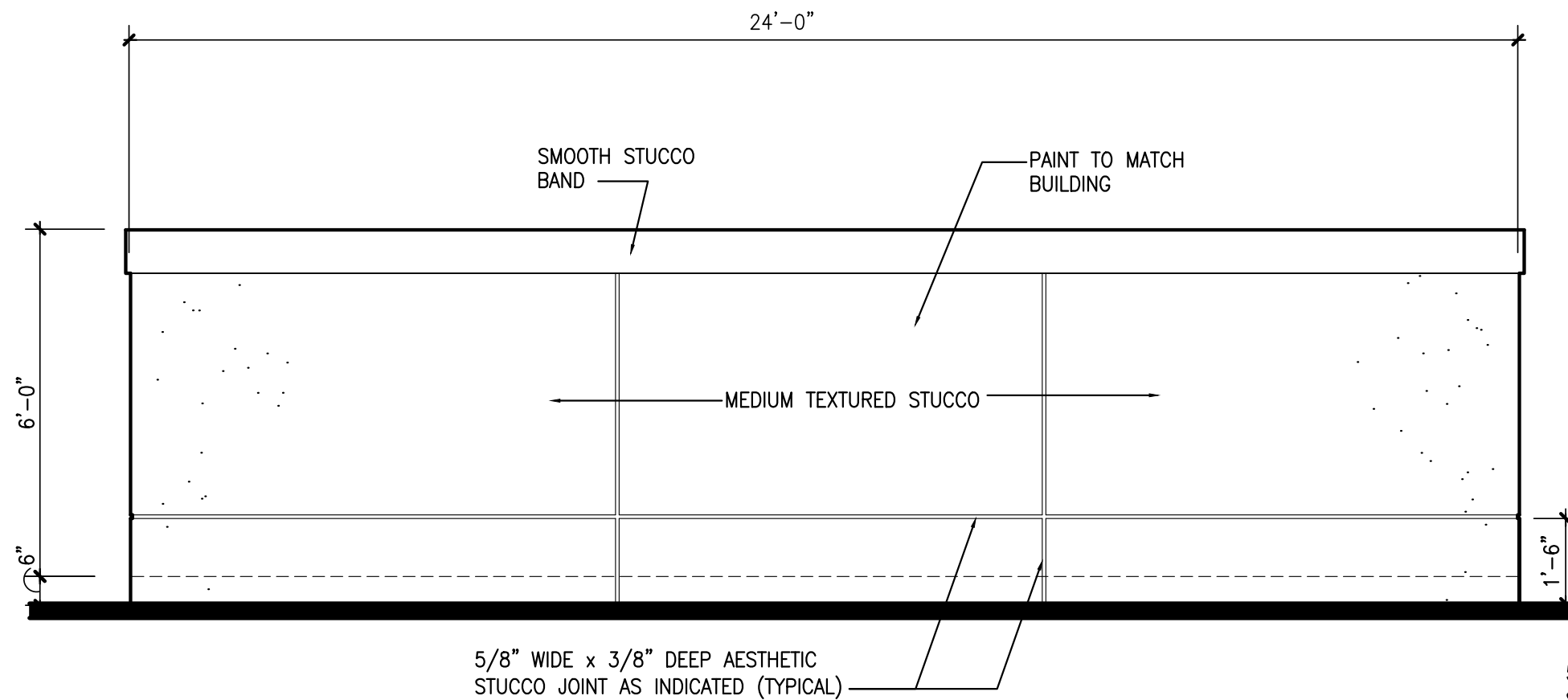
STEEL BOLLARD DETAIL

NOT TO SCALE



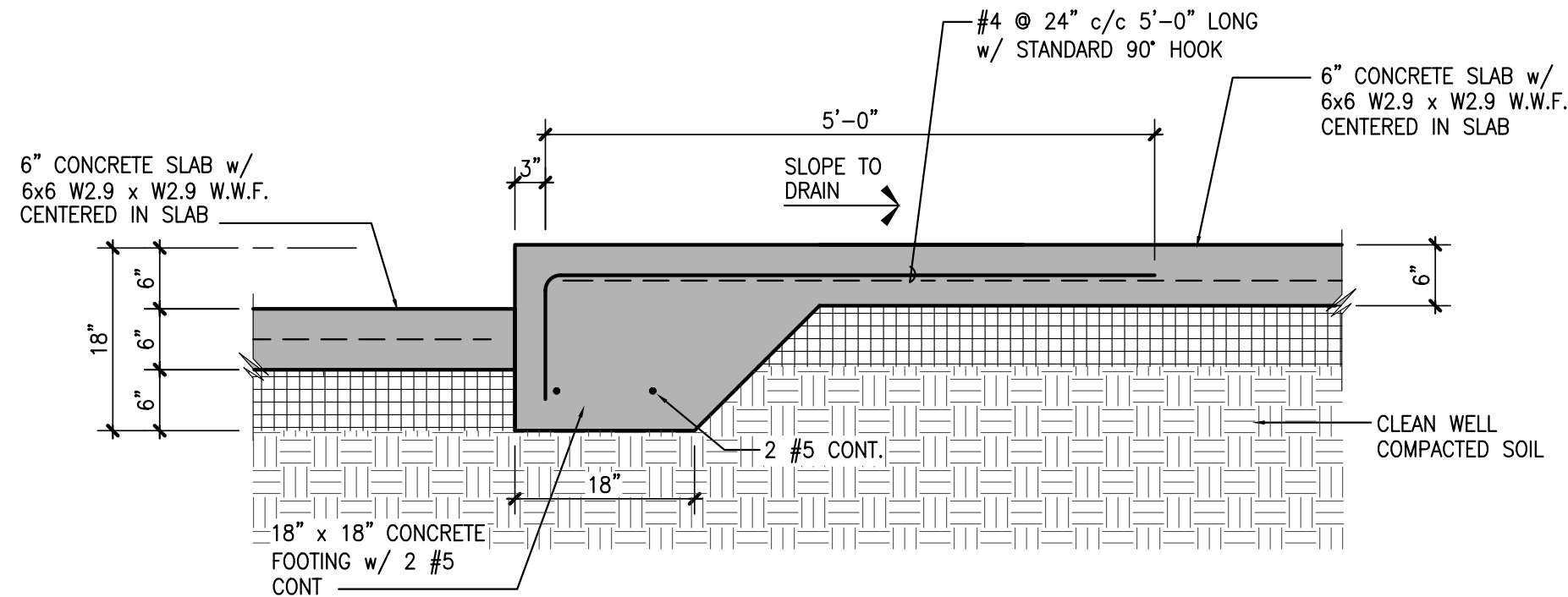
SECTION THRU TYPICAL WALL

3/4" = 1'-0"



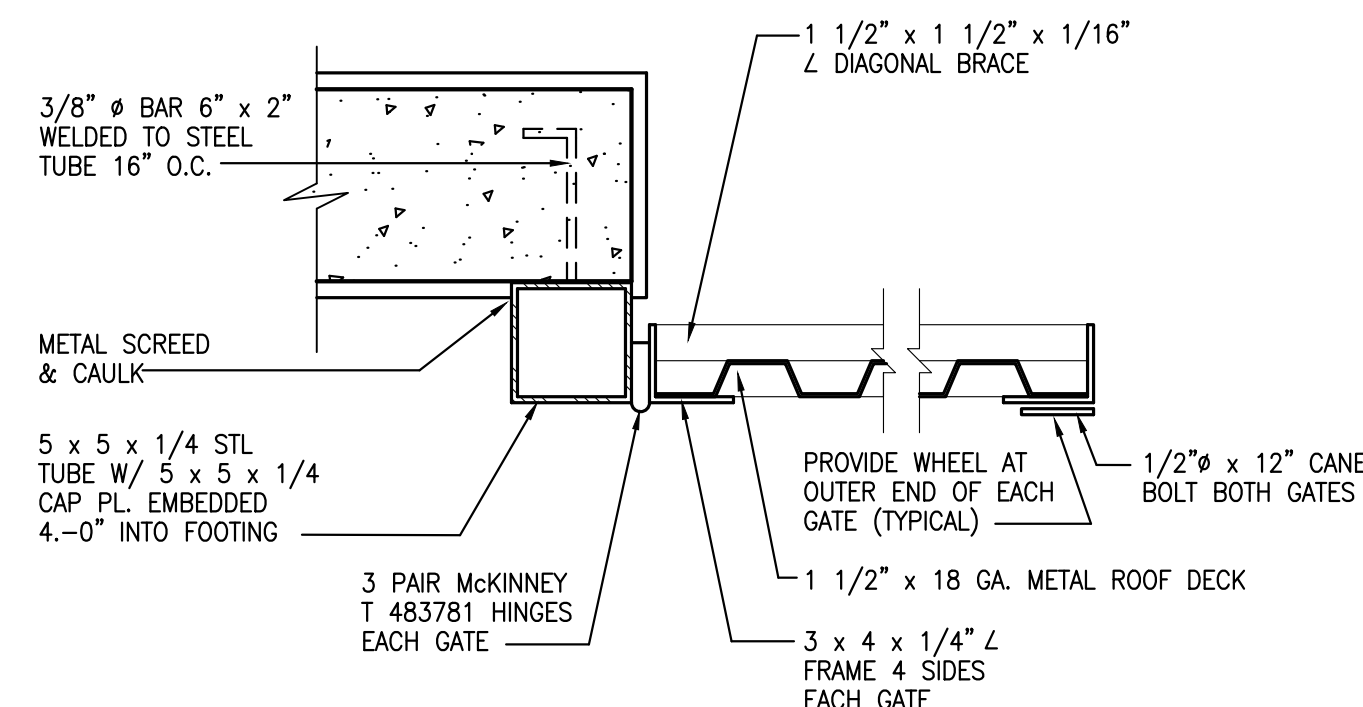
REAR ELEVATION

3/8" = 1'-0"



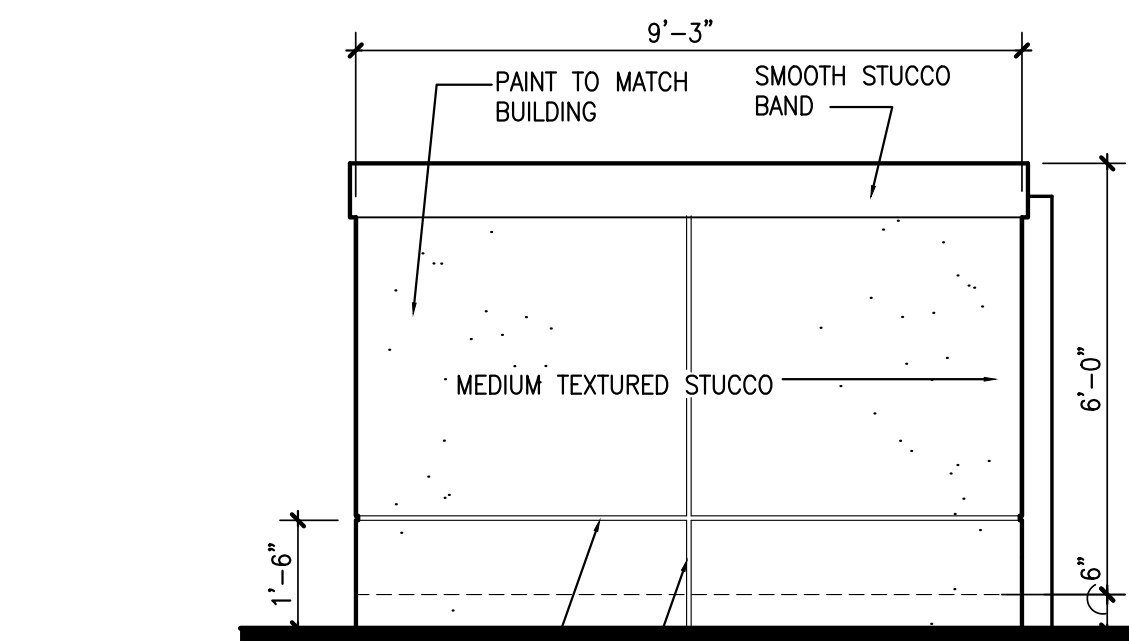
SECTION AT SLAB FOOTING

3/4" = 1'-0"



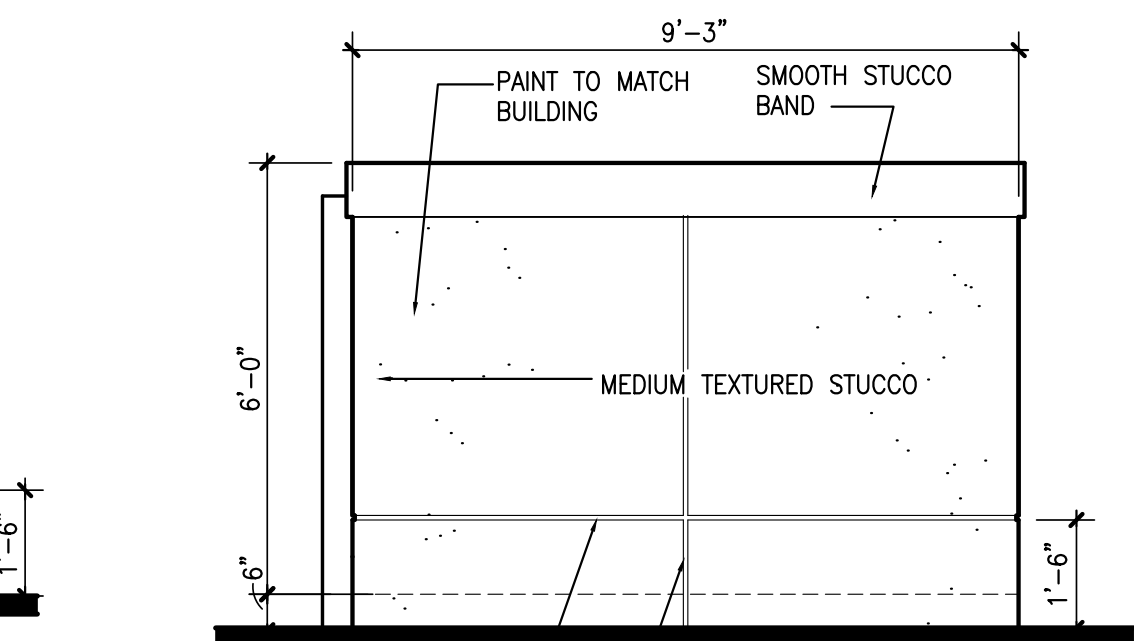
JAMB DETAIL

1 1/2" = 1'-0"



LEFT SIDE ELEVATION

3/8" = 1'-0"



RIGHT SIDE ELEVATION

3/8" = 1'-0"



[illegible]

CONTRACT DATE:	01.08.18
BUILDING TYPE:	T40CAL-SOL
PLAN VERSION:	FEB 2018
BRAND DESIGNER:	GPD GROUP
SITE NUMBER:	312032
STORE NUMBER:	2018088.03

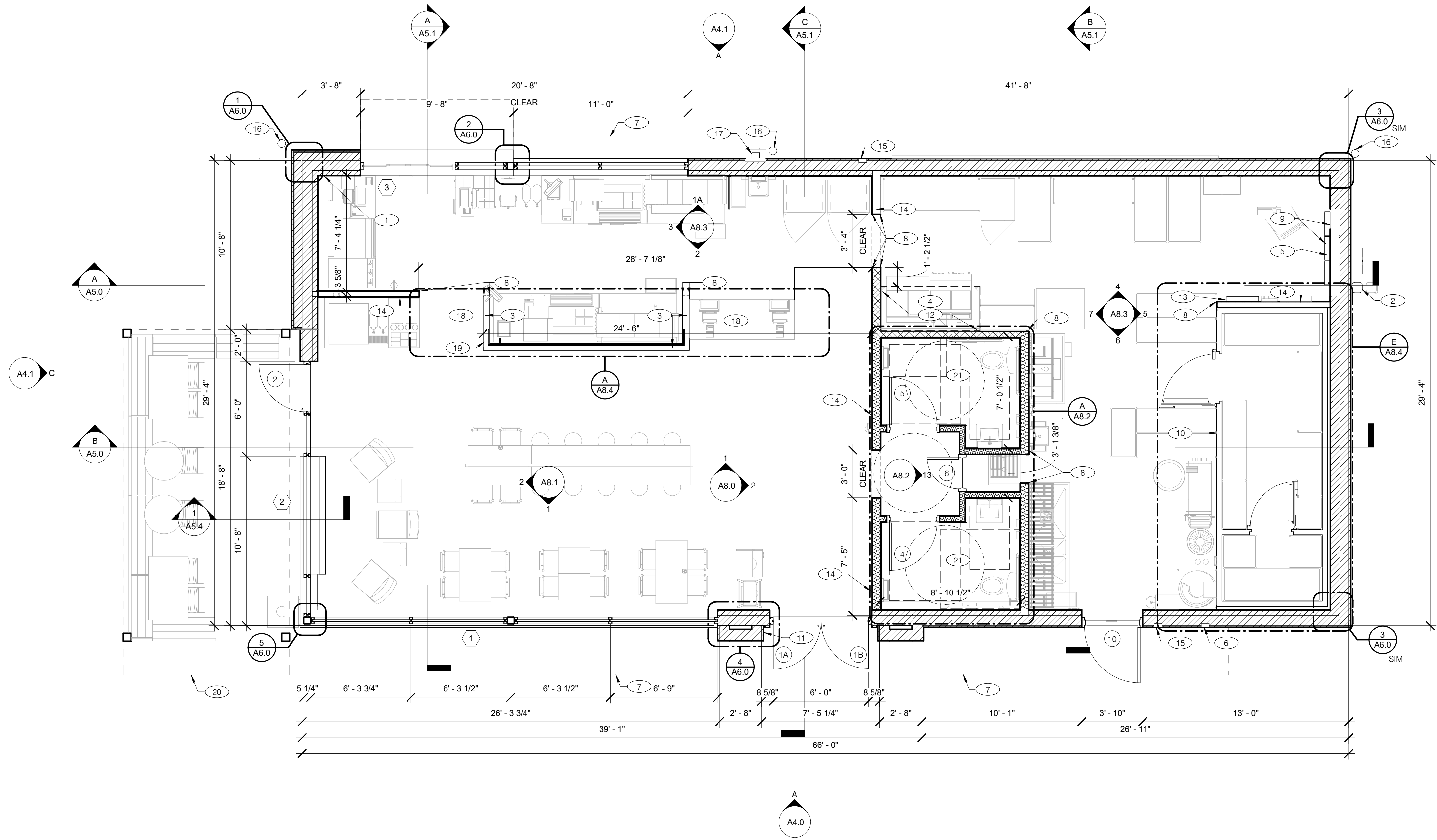
070 W. ATLANTIC BLVD.  
DELRAY BCH, FL 33484



T40  
N KITCHEN  
ORNIA SOL

# A1.0

LOT DATE: 12/6/2018 1:50:44 PM



**FLOOR PLAN** 1/4" = 1'-0"

## WALL LEGEND

## FLOOR PLAN NOTES

**PLAN KEYNOTES** N.T.S.

**TYPICAL EXTERIOR WALL:**  
8" CMU WITH 3-5/8" (20 GA) METAL STUDS AT 16" O.C. ON INTERIOR SIDE (SEE STRUCT. DWGS.) WITH R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE BLUESKIN VP SELF-ADHERED AIR BARRIER ON OUTSIDE FACE OF CMU

**TYPICAL INTERIOR WALL:**  
3-5/8" (20 GA) METAL STUDS AT 16" O.C. (6" WHERE NOTED.) INTERIOR WALLS AND PARTIAL B.O. SEPARATING DINING SPACES WITH OTHER AREAS TO EXTEND TO UNDERSIDE OF TRUSSES U.O.N.

**WALL SUBSTRATES:**  
- DINING ROOM:  
1/2" GYPSUM WALLBOARD TO 6" ABOVE CEILING OR TO UNDERSIDE OF DECK WHERE EXPOSED SEE 8 & 15 / A6.5. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)  
- KITCHEN WALLS AND DINING ROOM CLOSEST:  
1/2" CEMENT WALLBOARD FROM T.O. SLAB WITH 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDED SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4 & 11 / A6.5.  
- RESTROOM WALLS:  
5/8" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, MOISTURE RESISTANT GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 12 / A6.5.  
**- ALL OTHER FRAME WALL CONDITIONS:**  
1/2" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.

DIMENSIONS:

A. ALL DIMENSIONS ARE TO FACE OF CMU U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.

B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:

A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.

B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:

A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 48" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N.

B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE. U.O.N.

**GENERAL:**

**A.** PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.

**B.** DRAWINGS ARE BASED UPON CMU AND METAL FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS TO BE MAINTAINED.

FIRE CODE:  
A. FLORIDA FIRE PREVENTION CODE 6TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2015 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2015 EDITION.

1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS).
2	GAS SERVICE.
3	LOW WALL BY G.C. SEE DETAILS ON A8.3. COORDINATE WITH STRUCTURAL DRAWINGS.
4	HOOD WALL. SEE EQUIPMENT PLAN A2.0 AND SCHEDULE A2.1
5	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
6	CO2 FILL BOX LOCATION. SEE DETAIL 5/A6.1
7	LINE OF AWNING ABOVE (BY SIGNAGE VENDOR)
8	S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 13&14/A6.5

9	RECESSED SWITCHGEAR / ELECTRIC PANELS, SEE ELECTRICAL DRAWINGS
10	PRI-ENGINEERED MODULAR PANEL WALK-IN BOX (COOLER AND FREEZER), SITE ASSEMBLED. SEE EQUIPMENT PLAN A2.0
11	KNOX BOX ON SIDE WALL, @ 5'-0" A.F.F.
12	NON-COMBUSTIBLE METAL STUD CONSTRUCTION WITH TYPE 'X' GYP BOARD BEHIND HOOD, EXTEND MIN. 18" PAST HOOD ON EACH SIDE
13	ROOF LADDER, SEE DETAIL E/8.3

- 14 FULL HEIGHT WALL TO EXTEND TO BOTTOM OF THE ROOF DECK
- 15 HOSE BIB BOX AT 18" A.F.F. SEE DETAIL 7/A6.1
- 16 PIPE BOLLARD, SEE CIVIL DRAWINGS
- 17 4"x6" ALUMINUM DOWN SPOUTS
- 18 POS COUNTER / V-LINE HALF-WALL AND HAND-OFF PLANE BY GC
- 19 ROUTE 1 1/2" CONDUIT IN LOW WALL FROM CHEESE MELTER LOCATION TO CUSTOMER DRINK STATION FOR FILTERED WATER CONNECTION.
- 20 PATIO CANOPY STRUCTURE BY SIGNAGE VENDOR.
- 21 ADA-COMPLIANT RESTROOM, SEE A8.2

**B**



3638 West Galloway Drive  
Richfield, OH 44286  
330.572.2100 Fax: 330.572.2102

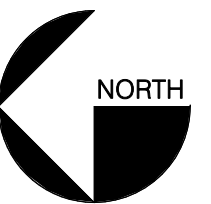
CONTRACT DATE:	01.08.18
BUILDING TYPE:	T40M-O
PLAN VERSION:	FEB 2018
BRAND DESIGNER:	GPD GROUP
SITE NUMBER:	312032
STORE NUMBER:	2018088.03

070 W. ATLANTIC BLVD.  
DELRAY BCH, FL 33484



## A3.0

LOT DATE: 10/25/2018 2:33:58 PM



**A**



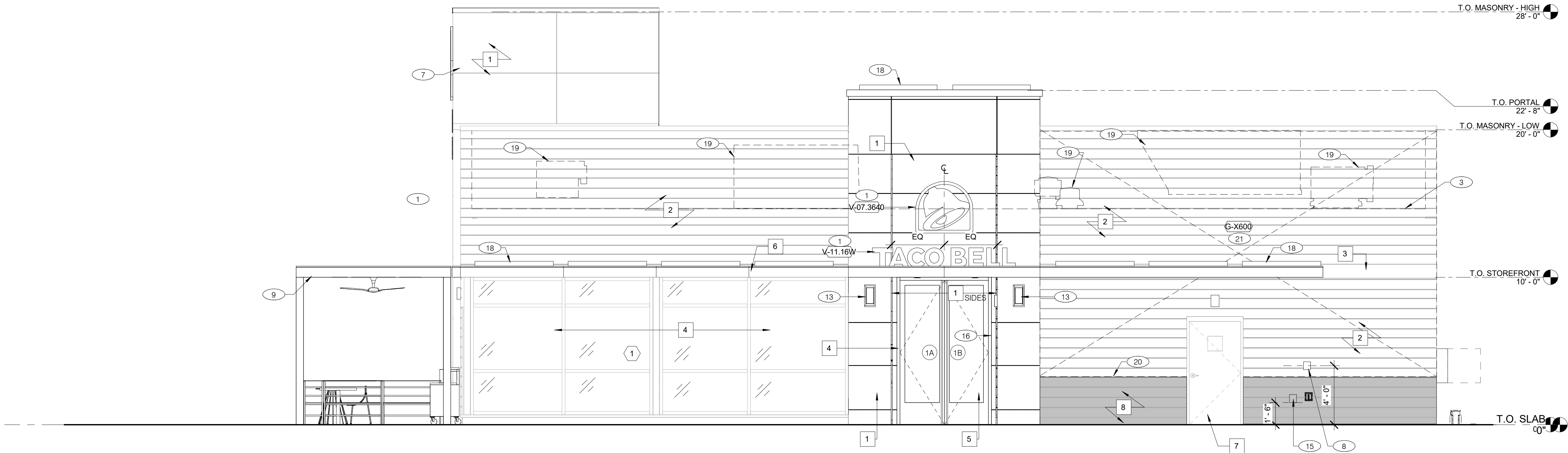
**C**

- C**

- ROOF PLAN KEY NOTES** N.T.S.

N.T.S.	<b>B</b>
--------	----------





WEST ELEVATION

1/4" = 1'-0"

A

NO.	QTY	ITEM DESCRIPTION
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED -3'-6" x 4'-0"
V-07.5056	2	LARGE SWINGING BELL RGB COLOR CHANGING - 5'-0" x 5'-6"
V-09.18W	2	RECESSED TB 18" CHANNEL LETTER WHITE - STACKED @ WINDOWS.
V-11.16W	1	LARGE TB 16" WHITE CHANNEL LETTERS - LINEAR

MISCELLANEOUS:  
A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

\*CRITICAL\* DIMENSIONS:  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLAION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

SIGNAGE N.T.S

E

GENERAL NOTES N.T.S

C

SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE MATERIAL SPEC	ALTERNATE MATERIAL COLOR	CONTACT INFORMATION
1	TOWER & ENTRY PANELS	TRESPA	METEON	NW17 MILANO GRIGIO				BY SIGN VENDOR
2	EXTERIOR FIBER CEMENT PANELS	JAMES HARDIE	ARTISAN V RUSTIC	PAINTED SW7103 WHITETAIL	NICHIHA	ILLUMINATION	PAINTED SW7103 WHITETAIL	NICHIHA: MATT STEPHENSON 770-789-8228 MSTEPHENSON@NICHIHA.COM
3	EXTERIOR FIBER CEMENT TRIM BOARD - 1X12	JAMES HARDIE	ARTISAN	PAINTED SW7103 WHITETAIL	NICHIHA	NICHITRIM	PAINTED SW7103 WHITETAIL	HARDIE: LEVI STAUFFER 562-243-8974 LEVI.STAUFFER@JAMESHARDIE.COM
4	STOREFRONT WINDOWS	OLD CASTLE	SERIES 5100 - CENTER SET	DK BRONZE	-	-	-	
5	STOREFRONT DOORS	OLD CASTLE	SERIES MSD-375 / WSD-500	DK BRONZE	-	-	-	
6	METAL CANOPIES	EVERBRITE	BY SIGNAGE VENDOR	DARK BRONZE TO MATCH STOREFRONT	-	RAL	RAL	
7	EXTERIOR HOLLOW METAL SERVICE DOOR	-		SW7026 GRIFFIN	-	-	-	
8	EXTERIOR FIBER CEMENT	JAMES HARDIE	ARTISAN V RUSTIC	PAINTED SW7026 GRIFFIN	NICHIH	ILLUMINATIO	PAINTED SW7026 GRIFFIN	

- BUILDING SIGN, BY SIGN VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS
- DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- DASHED LINE INDICATES ROOF LINE BEYOND.
- 4" DIA. BOLLARD. SEE CIVIL DRAWINGS.
- GAS METER
- SWITCH GEAR. PAINT TO MATCH WALL.
- TOWER AND FINISH PANEL SYSTEM BY GC. GC TO COORDINATE BLOCKING WITH SIGNAGE VENDOR.
- CO2 FILLER VALVE & COVER. SEE DETAIL 10/A6.1
- PATIO CANOPY BY SIGNAGE VENDOR.
- WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF METER.
- CONCRETE CURB.
- SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH 1
- EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS
- FLASHING AT STOREFRONT PER G.C. TO MATCH STOREFRONT FINISH. SEE 8/A6.4
- HOSE BIB BOX AT 18" A.F.F. SEE DETAIL 11/A6.1
- KNOX BOX. FINAL LOCATION TO BE APPROVED BY LOCAL AUTHORITY HAVING JURISDICTION
- FIREPLACE.
- SOLAR PANELS BY SIGNAGE VENDOR.
- DASHED LINE INDICATES MECHANICAL EQUIPMENT ON ROOF BEYOND.
- WATER TABLE PAINT LINE SHALL OCCUR AT 3'-0" AFF OR CLOSEST FULL PANEL/PLANK TRANSITION.
- MURAL PAINTED ON FIBER CEMENT PANELS ABOVE WATER TABLE. SEE ARTWORK SCHEDULE ON A2.0.
- MURAL PAINTED ON DIBOND PANEL.

EXTERIOR FINISH SCHEDULE

N.T.S.

D

ELEVATION KEYNOTES

N.T.S.

B

G	11/12/18	CLIENT REVISIONS
E	8/29/18	PLANNING REVISIONS
D	8/17/2018	CLIENT REVISIONS
C	8/17/2018	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/26/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18  
BUILDING TYPE: T40CAL-SOL  
PLAN VERSION: FEB 2018  
BRAND DESIGNER: GPD GROUP  
SITE NUMBER: 312032  
STORE NUMBER: 2018088.03

TACO BELL

5070 W. ATLANTIC BLVD.  
DELRAY BCH, FL 33484



T40

OPEN KITCHEN  
CALIFORNIA SOL

EXTERIOR  
ELEVATIONS

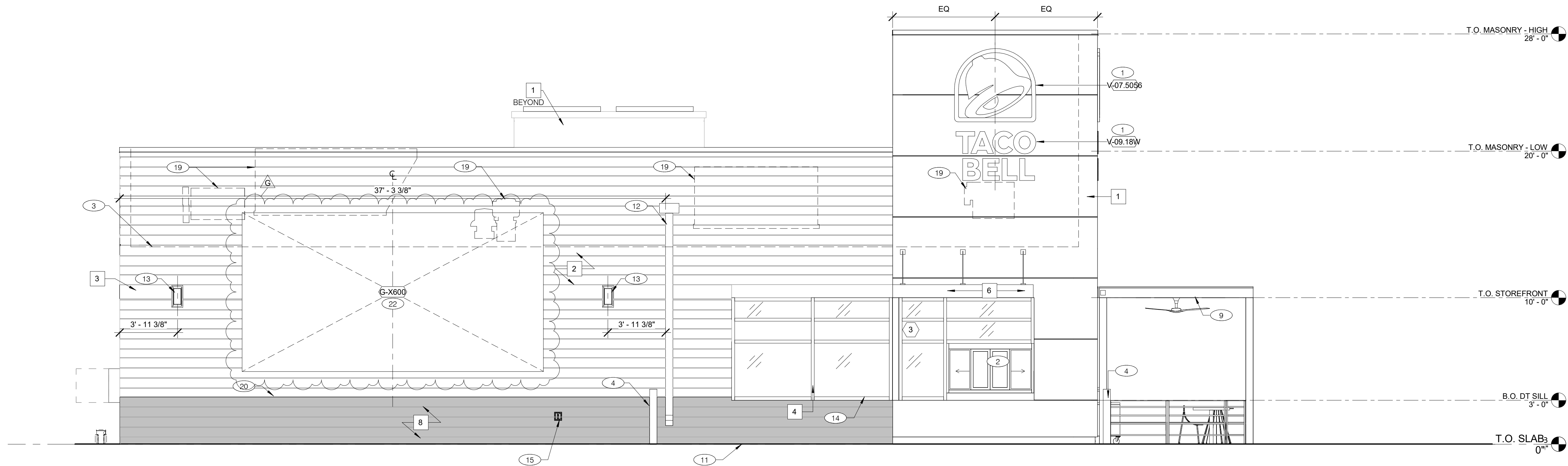
A4.0

PLOT DATE: 12/6/2018 10:12:21 AM



Mark S. Salopek,  
LLC

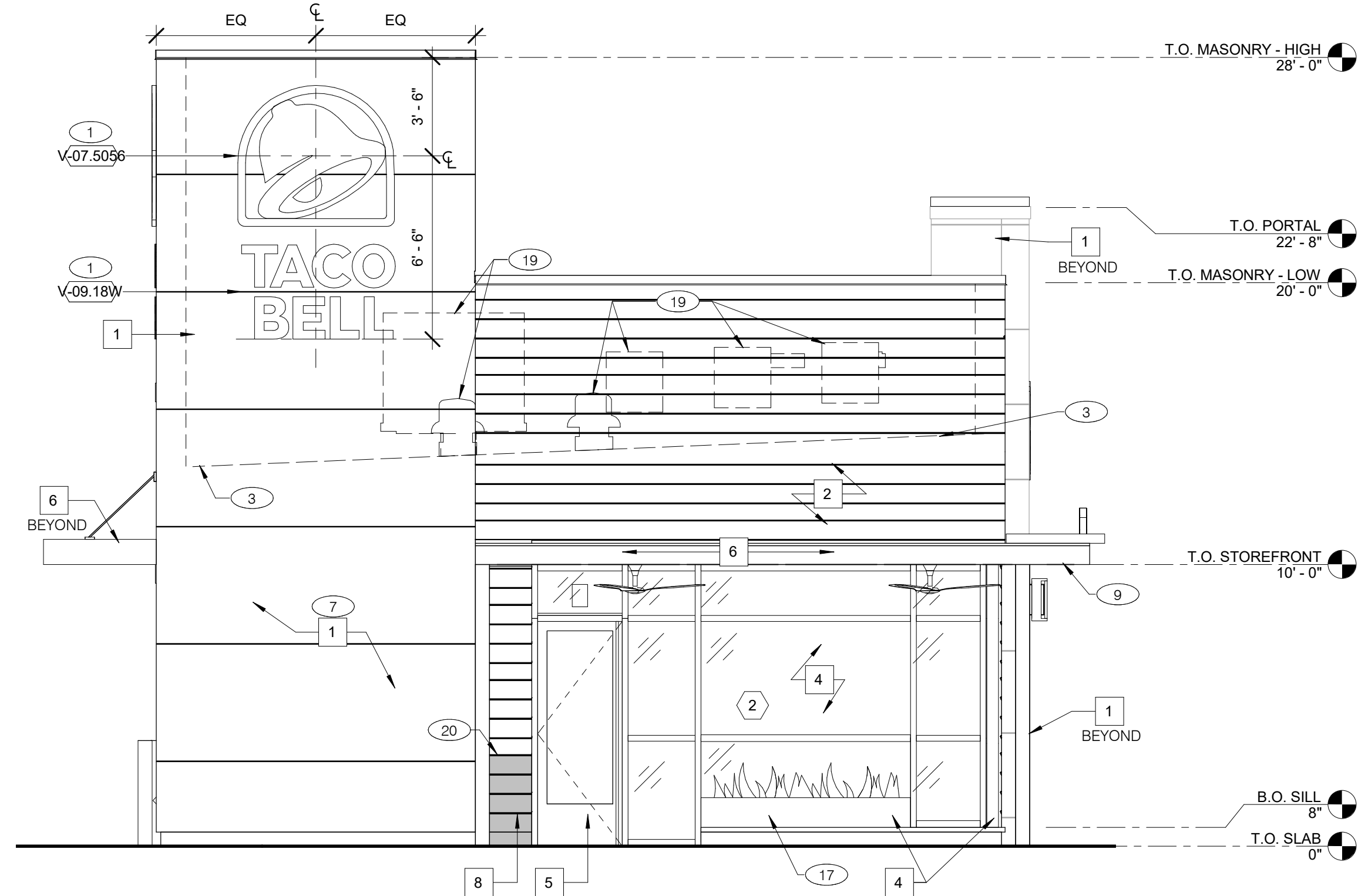
3638 West Galloway Drive  
Richfield, OH 44286  
330.572.2100 Fax: 330.572.2102



EAST ELEVATION

1/4" = 1'-0"

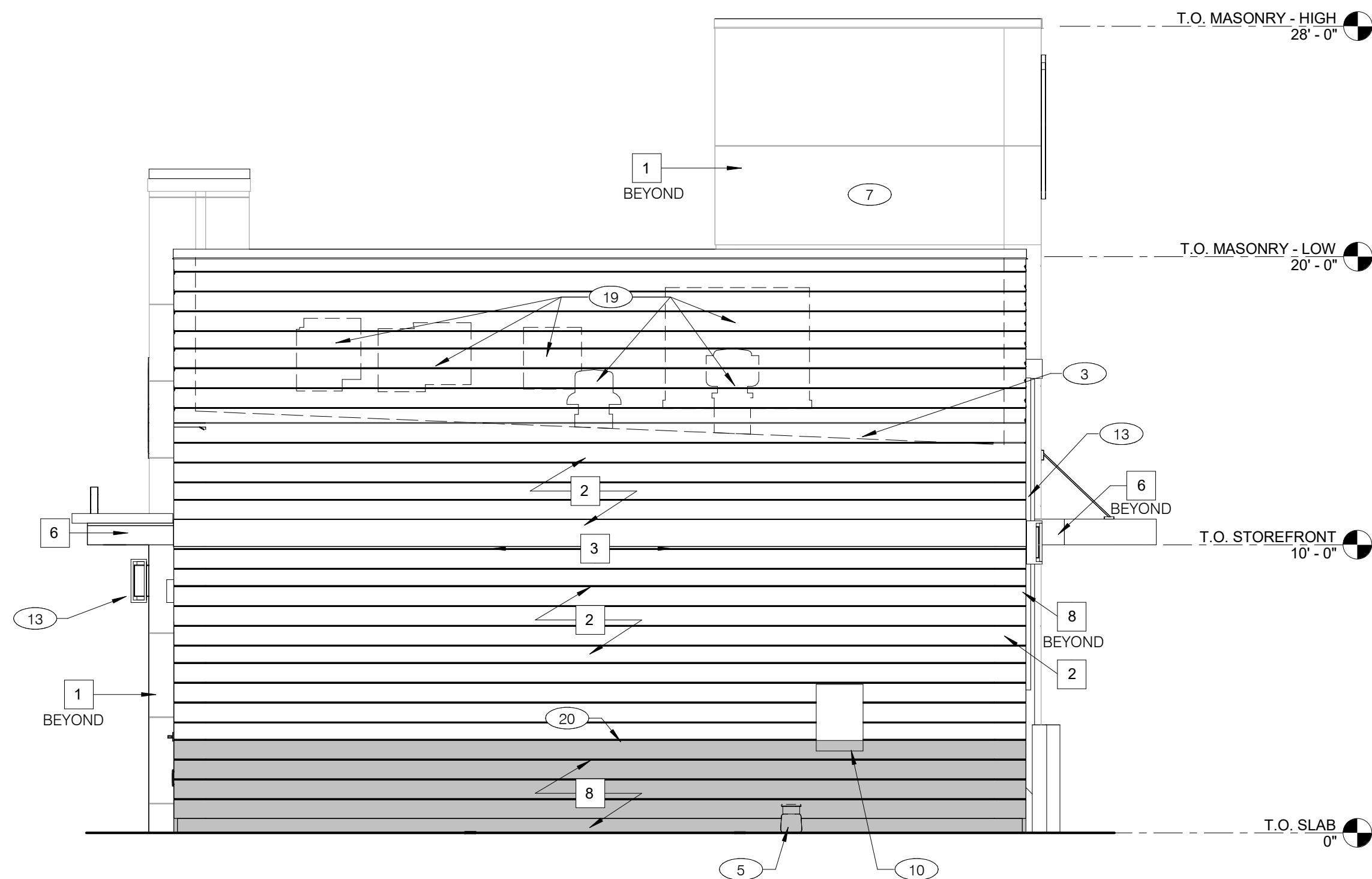
A



NORTH ELEVATION

1/4" = 1'-0"

C



SOUTH ELEVATION

1/4" = 1'-0"

B

G	11/12/18	CLIENT REVISIONS
F	10/25/18	CLIENT REVISIONS
E	8/29/18	PLANNING REVISIONS
D	8/17/2018	CLIENT REVISIONS
C	8/17/2018	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/25/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18  
BUILDING TYPE: T40M-O  
PLAN VERSION: FEB 2018  
BRAND DESIGNER: GPD GROUP  
SITE NUMBER: 312032  
STORE NUMBER: 2018088.03

TACO BELL

5070 W. ATLANTIC BLVD.  
DELRAY BCH, FL 33484



T40

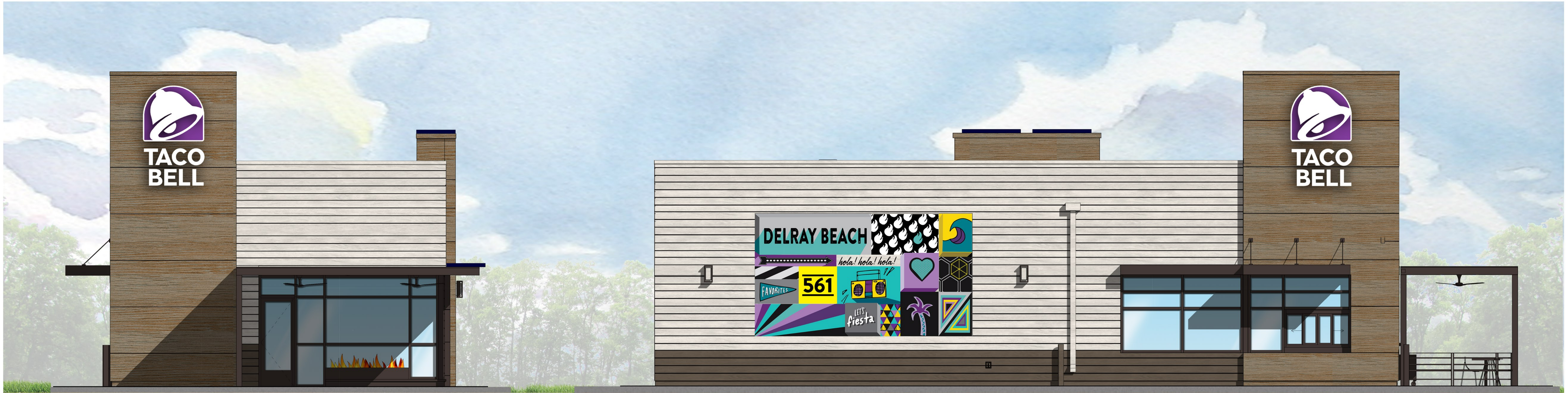
OPEN KITCHEN  
CALIFORNIA SOL

EXTERIOR  
ELEVATIONS

A4.1

PLOT DATE: 12/6/2018 10:12:55 AM





NORTH ELEVATION

EAST ELEVATION



SOUTH ELEVATION

WEST ELEVATION



**TACO BELL**  
Delray Beach, FL

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.

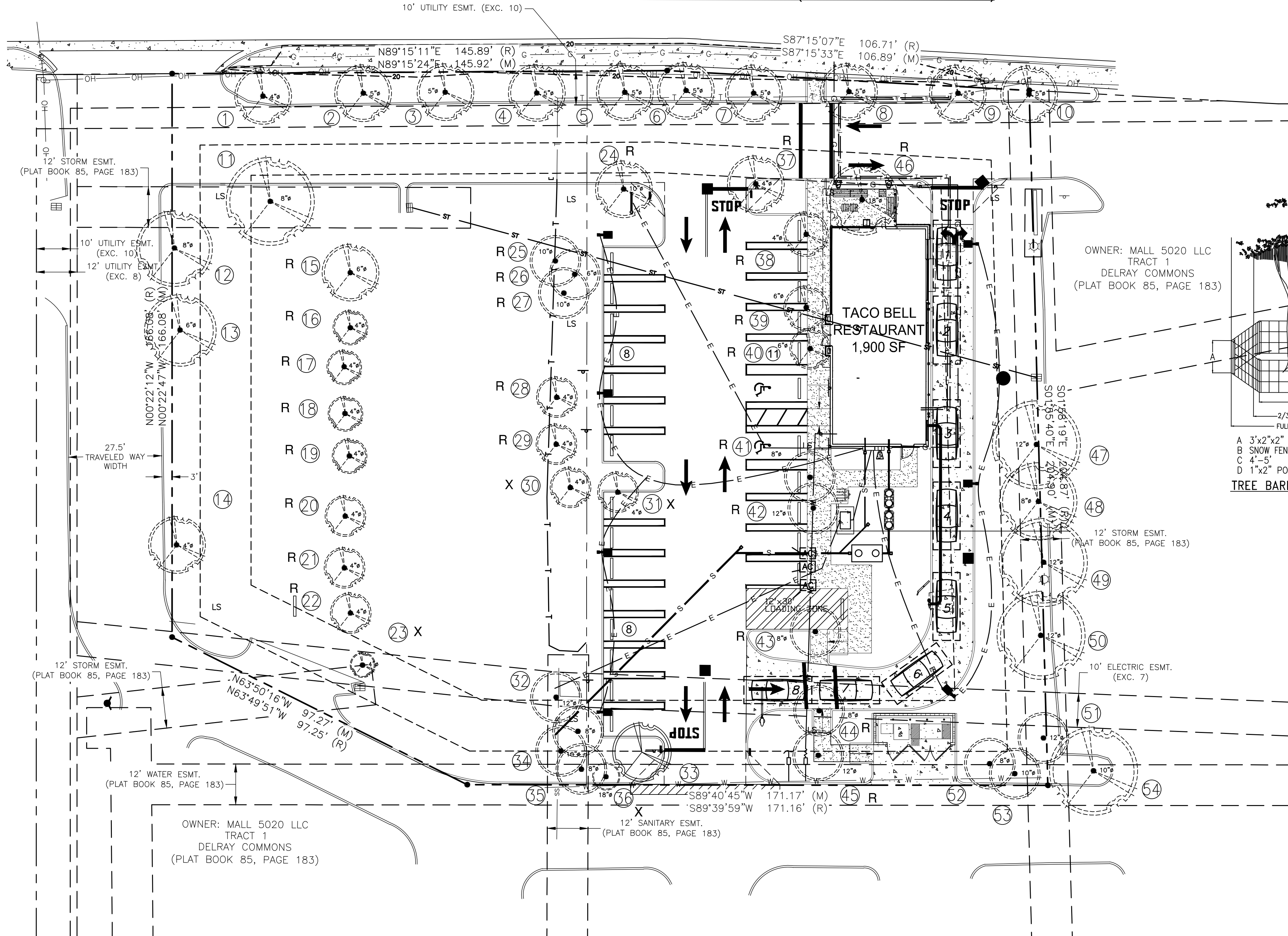






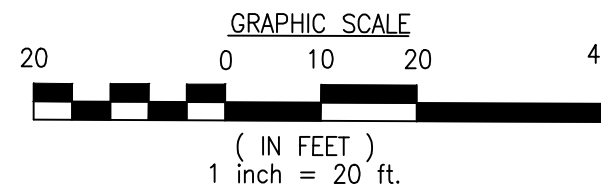
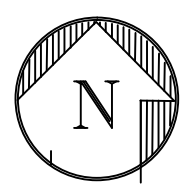


"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



## TREE DISPOSITION PLAN

1"=20'-0"



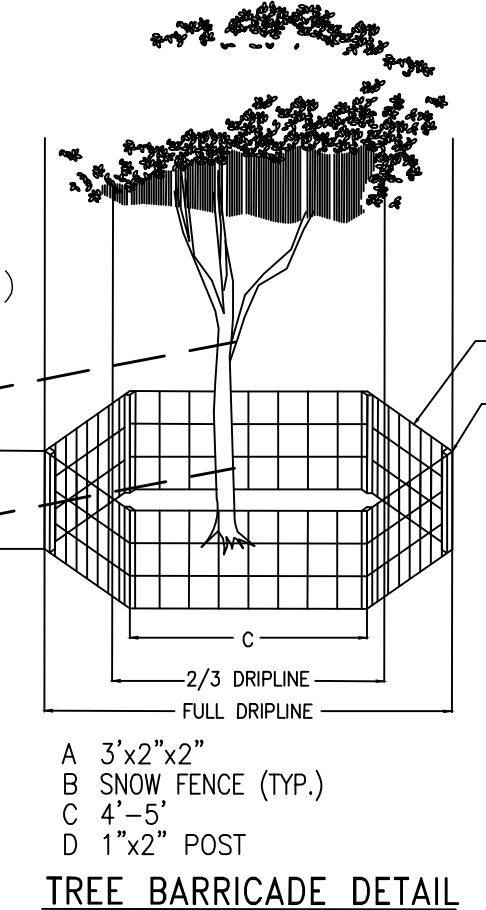
R = TO BE RELOCATED

X = TO BE REMOVED

EXISTING LANDSCAPE MATERIAL(TO BE RELOCATED SEE PLAN L-1)					
No.(see chart)					
15	TAB	1	TABEBUIA PALLIDA / PINK TRUMPET	16' X 16'	EXISTING TO REMAIN--(RELOCATE(1)
16,17,18,19,28,29,38,39,40	PIG	9	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16' X 16'	EXISTING TO REMAIN--(RELOCATE(9)
24,37	LAG	2	LAGERSTROEMIA INDICA / CRAPE MYRTLE	16' X 16'	EXISTING TO REMAIN--(RELOCATE(2)
25,26,27,42,43,44,45	SAB	7	SABAL PALMETTO /CABBAGE PALM	18'-22' HGTS.	EXISTING TO REMAIN--(RELOCATE(7)
46	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22' X 24'	EXISTING TO REMAIN--(RELOCATE(1)
20,21,22	CON	3	CONOCARPUS SERICEUS / SILVER BUTTWOOD	14' X 12'	EXISTING TO REMAIN--(RELOCATE(3)

### TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TOPN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005," CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRICADES.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- TRANSPLANT TREE WITH 60" TREE SPADE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"+- GRADE LEVEL.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.



EXISTING TREE DISPOSITION CHART									
No.	D.(")	H.(")	S.(")	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION		
1	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
2	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
3	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
4	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
5	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
6	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
7	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
8	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
9	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
10	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
11	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
12	2	18	24	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
13	3	20	22	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
14	2	16	16	conocarpus sericeus	SILVER BUTTWOOD	FAIR	TO REMAIN		
15	2	16	16	tabebuia pallida	PINK TRUMPET	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
16	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
17	2	16	15	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
18	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
19	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
20	2	14	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
21	2	12	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
22	2	14	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
23	2	10	8	conocarpus sericeus	SILVER BUTTWOOD	POOR/DAMAGES	TO BE REMOVED		
24	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
25	2	22	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
26	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
27	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
28	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
29	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
30	2	12	12	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
31	2	12	12	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
32	2	16	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
33	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
34	2	16	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
35	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
36	2	6	8	sabal palmetto	CABBAGE PALM	SEEDLING	TO BE REMOVED		
37	2	16	15	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
38	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
39	2	16	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
40	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
41	2	24	20	cocos plumosa	QUEEN PALM	GOOD	TO BE REMOVED		
42	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
43	2	24	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
44	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
45	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
46	2	22	24	quercus virginiana	LIVE OAK	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
47	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
48	3	28	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
49	3	30	28	swietenia mahogani	MAHOGANY	GOOD	TO REMAIN		
50	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
51	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
52	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
53	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
54	3	30	30	bucidia buceras	BLACK OLIVE	GOOD	TO REMAIN		



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SUITE 100  
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01/15/2018  
CHECKED BY: RGB/MER

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	
△	12-05-18	
△		
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△		
△		
△		
△		

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: CUSTOM  
PLAN VERSION: 1  
SITE NUMBER: 309797  
STORE NUMBER: 420630

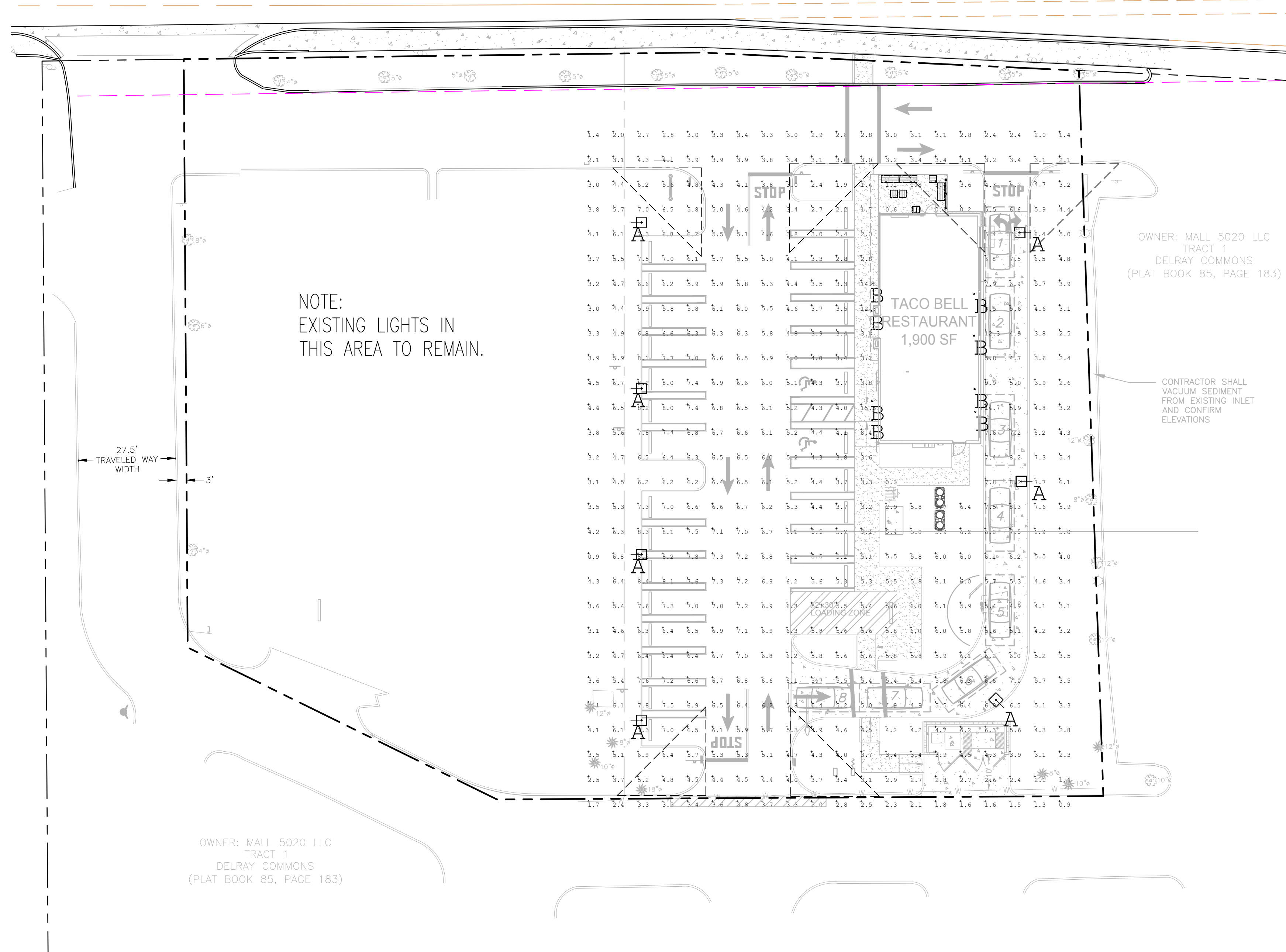
TACO BELL  
5070 W. Atlantic, Blvd.  
Delray Bch., FL



DELRAY BEACH SOL  
TREE  
DISPOSITION  
PLAN

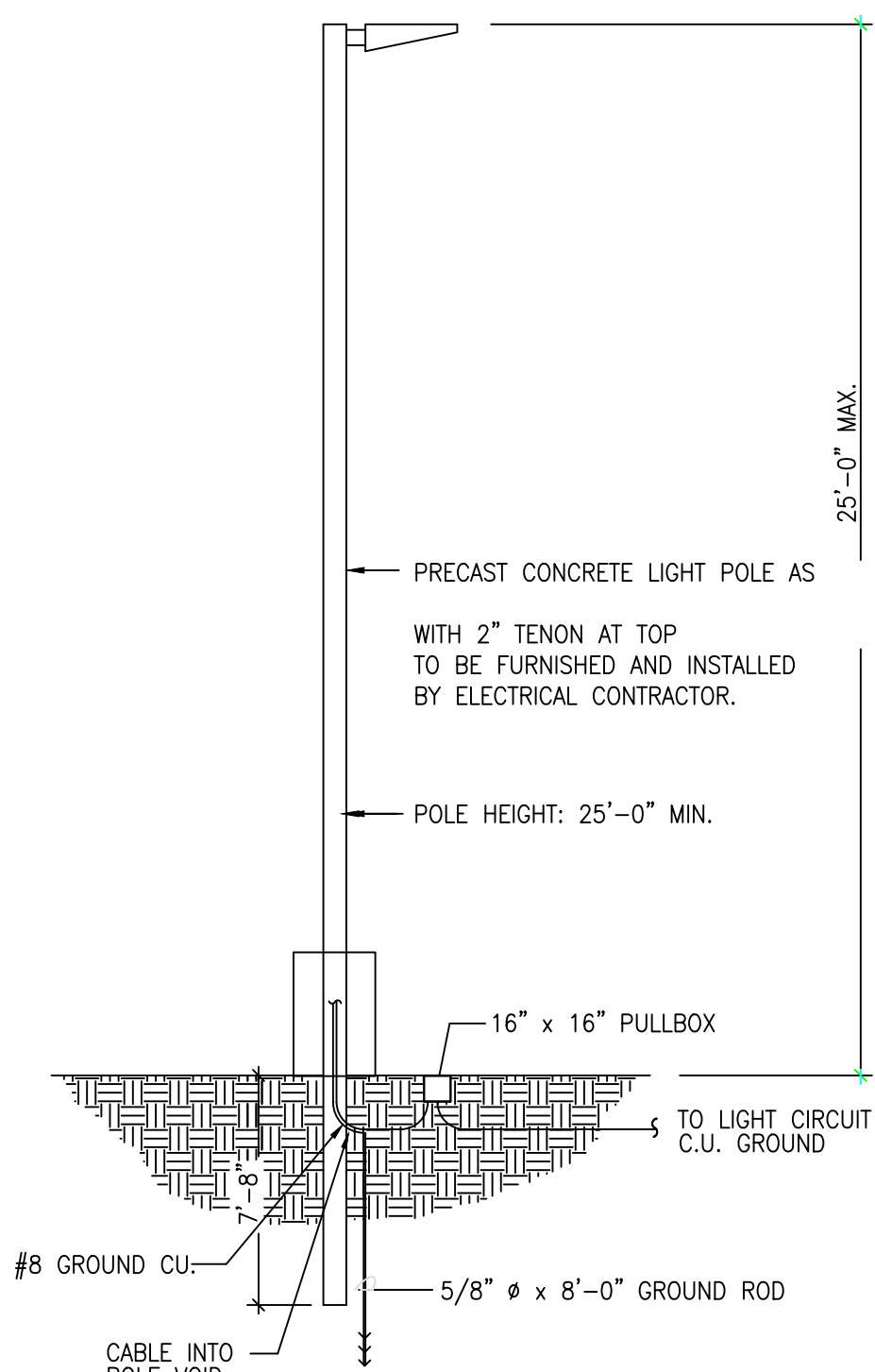
L-2  
PLOT DATE: 12-06-2018





**PHOTOMETRIC NOTES**

1. REFER TO SHEET E1.1 FOR LIGHT POLE, LIGHT POLE BASE AND LIGHT FIXTURE DETAILS.

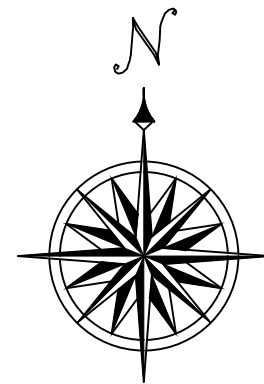


**EXTERIOR POLE LIGHTS**  
NOT TO SCALE

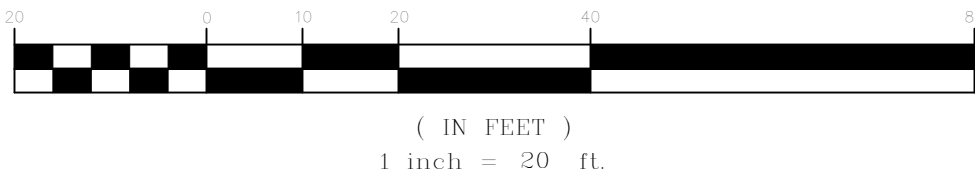


PHOTOMETRICS COMPLETED BY CAPITOL LIGHT  
LOCATION DELRAY, FL

Please contact Dan Clancy if you  
would like a quote or to place an order  
860-520-2395  
daniel.clancy@capitollight.com



GRAPHIC SCALE



Luminaire Schedule			
Symbol	Qty	Label	Description
	7	A	XALM-FT-LED-HO-50 MOUNTED AT 25'
	8	B	PROGRESS P5642 W/ 17W PAR38 LED LAMP MOUNTED AT 8.5'

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	6.52	14.7	4.3	1.52	3.42
EXTENDED	3.61	6.8	0.9	4.01	7.56
PARKING LOT SURFACE	6.01	8.4	2.2	2.73	3.82

**GROUP**

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

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SEAL  
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ANA A. GONZALEZ VALDEZ  
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-26-18	
△		
△		
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△		
△		
△		

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Blvd.  
Delray Bch., FL



T-40  
OPEN KITCHEN  
DELRAY BEACH SOL  
PHOTOMETRIC  
PLAN

**E1.0**

PLOT DATE: 08-23-2018







# Project Narrative

**To:** Christine Stivers, Senior Planner

**From:** Eduardo L. Carcache, P. E.

**Date:** August 23, 2018

**Project:** Delray Commons – Taco Bell

Taco Bell is planning to build a new restaurant at Delray Commons. The parcel is currently occupied by an abandoned bank building. The new construction will help revitalize the development by bringing new traffic to the area, thus impacting the exposure of the existing stores in the development.

The abandoned bank structure and drive-thru, will be demolished and a new restaurant and drive-thru, will be built. The restaurant will be located closer to the street, for a more pedestrian friendly layout. Landscaping and site lighting will also be upgraded, improving the appearance of the site.

The exterior architecture is more in step with new requirements for sustainability. Modern materials, such as the Nichiha or Hardie Planks used in both, the proposed Taco Bell and the existing Burger King, provide a much greater lifespan to the exterior finishes.

The Taco Bell design incorporates many similar design features to the neighboring fast food chain (Burger King). Both buildings have a panelized tower element on the front corner of their building and a taller entry portal on the side. Both buildings also have similarly-styled awnings over their entrances and storefront windows, and differ only in the saturation of their color. The light, natural materials selected for the exterior finishes also keep in line with the color palette seen throughout Delray Beach architecture. The wood grain and patio canopy help to bring a sense of character and warmth to the site.

A waiver regarding the Four Corners Overlay District has been requested. The Overlay District specifies a minimum structure size of 4,000 sf and typical fast food



restaurants are smaller. The existing abandoned bank's footprint is 2,860 SF, the proposed Taco Bell restaurant is 1,900 SF. However, the layout of the site will allow for a second building to be built in the same parcel currently occupied by the bank.

Delray Commons is a well-established development. The architecture of the commercial strip is a bit dated. Improvements to the outparcels help the overall ambiance.

All utilities are already in place. New drainage calculations are provided for permit modification and compliance.

Service providers, such as FP&L, AT&T, Waste Disposal, etc. will be provided copies of the plans in preparation for service disconnects and relocation.

The Taco Bell project will be built in a single phase and in compliance with County and City Wellfield Protection requirements, and Hazardous Waste Disposal requirements.