

# DERRICKSON RESIDENCE RENOVATIONS & ADDITIONS

330 NE First Avenue, Delray Beach, Florida 33444

Note: COA 2021-199 & Submitted for Historic Preservation Board Review on December 1, 2021



**STRUCTURAL ENGINEER:**  
PENNONI, INC .  
CONSULTING STRUCTURAL ENGINEERS  
Robert Selinsky, PE, SI,  
601 N. Congress Ave, Ste. 106a ,  
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PE # 49952

**MEP ENGINEER:**  
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Mr. Bernardo Cardenal, PE  
6401 Congress Ave., Ste 230  
Boca Raton, FL. 33487  
(561) 276-9898, cell: (561) xxxx  
email: bernardoc@rocamareng.com  
PE #38300

**ARCHITECT:**  
SLOAN & SLOAN, INC.-  
ARCHITECTS & INT. DESIGNERS  
Dan Sloan, AIA, Project Mgr.  
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Delray Beach, FL 33483  
(561) 243-8755  
email: dan@sloandesign.biz  
AR 95577 & AA26002208

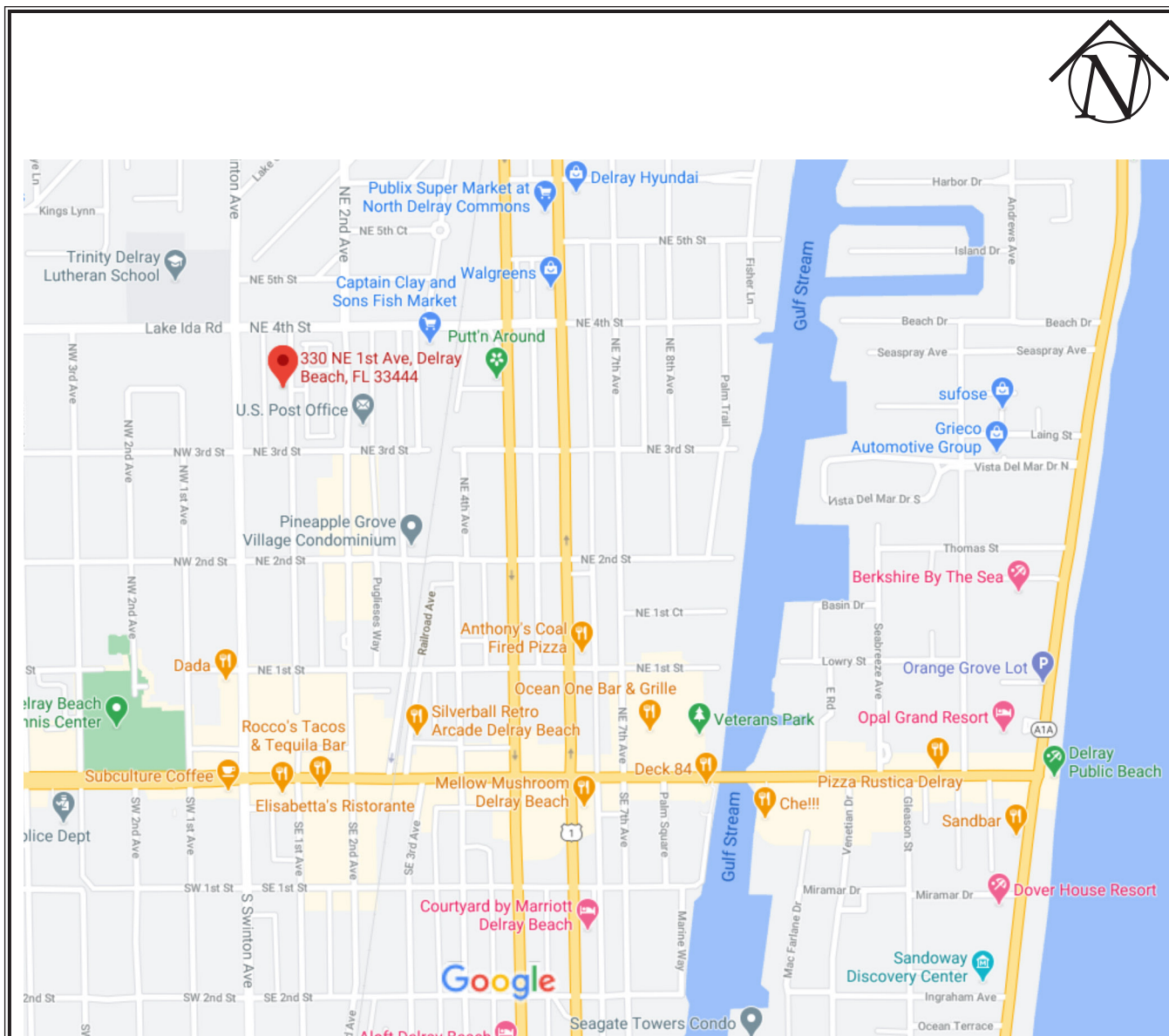
**CIVIL ENGINEER:**  
ENVIRODESIGN ASSOC., INC.-  
CIVIL ENGINEERS  
Joe Pike, PE, Project Mgr.  
298 Pineapple Grove Way  
Delray Beach, FL 33444  
(561) 274-6500  
email: jpike@envdesign.Com  
PE 42696

**LANDSCAPE ARCHITECT:**  
Murakami Landscape  
Architects, Inc.-  
LANDSCAPE ARCHITECTS  
Don Murakami, LA, Project Mgr.  
326 NE 1st Ave, Delray Beach, FL. 33444  
(561) 276-7750  
email: don@mlandscape.net  
LA 0001477

**OCCUPANCY CLASSIFICATION:**  
SINGLE FAMILY RESIDENTIAL

**TYPE OF CONSTRUCTION:**  
TYPE V -Unprotected/Unsprinkled  
(Existing 1 Single Family Residential Structure)

**APPLICABLE CODES:**  
2020 FLORIDA BUILDING CODE  
2020 FLORIDA MECHANICAL CODE  
2020 FLORIDA ELECTRICAL CODE  
2020 FLORIDA PLUMBING CODE  
2020 FLORIDA BUILDING CODE  
2008 ICC 600- STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS



LOCATION MAP: 330 NE 1st Avenue, Delray Bch., FL.

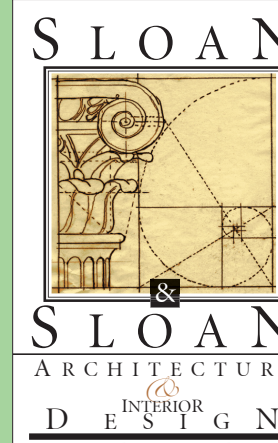
Scale: Not To Scale

Derrickson Residence  
330 NE 1st Avenue, Delray Beach, FL  
Design Parameters- revised 2/10/2021  
Zoning: Single Family: OSSHAD  
File: Derrickson\_SitePlans&DesignParameters.xls

#	ITEM	
1	<b>OCCUPANCY:</b> (Single Family, Multifamily, Commercial, Industrial, Institutional)	Single Family <input checked="" type="checkbox"/> SEC. R301.2.1.4.3 2020 FLORIDA RESIDENTIAL CODE
2	<b>EXPOSURE CONDITION:</b>	B
3	<b>MEAN ROOF HEIGHT: Feet (Principal Roof Form)</b>	22.3' (above average grade)
4	<b>BUILDING HEIGHT:</b> (If < or = 60' may use FBC 2020 Low Rise Provisions. If >60' use ASCE7-16)	<input checked="" type="checkbox"/> < or = 60' Height <input type="checkbox"/> > 60' Height
5	<b>BUILDING DESIGNED AS:</b>	<input type="checkbox"/> Partly enclosed <input checked="" type="checkbox"/> Enclosed <input type="checkbox"/> Open <input type="checkbox"/> Tested (Wind Tunnel)
6	<b>IMPORTANCE FACTOR:</b> (Determined by Building Use /Occupancy. Refer to FBC 2020 or ASCE 7-16)	1.0
7	<b>BASIC WIND VELOCITY PRESSURES: FBC 2020. VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS &amp; CLADDING AS APPLICABLE.</b>	
	<b>FBC 2020 WIND SPEED:</b>	132 (Wind Speed in mph)
	<b>FBC 2020 BASIC VELOCITY PRESSURE:</b>	32 IN PSF
	<b>ASCE 7-16 WIND SPEED:</b>	170 (Ultimate Wind Speed in mph)
	<b>ASCE 7-16 BASIC VELOCITY PRESSURE:</b>	n/a IN PSF
	<b>NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.</b>	
8	<b>ROOF DEAD LOAD</b> (Actual Dead Load of Materials Used for Determining Net Uplift Reactions.)	15 LBS
9	<b>SOIL BEARING CAPACITY:</b> (Supported by Soils Report from Geotechnical Engineer)	2500 PSF
10	<b>REVIEWED FOR SHEARWALL REQUIREMENTS:</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If no Explain why)
	If NO Explain Why:	

8/23/21	Derrickson_DrawingIndex.xls	4:16 PM
LIST OF DRAWINGS-COA SUBMITTAL		
Derrickson Residence: Renovations & Additions 330 NE 1st Avenue, Delray Beach, FL. Revised: 8/22/21 By Dan Sloan		
#	Title	Includes
A0.00	Cover Sheet	W/ Consultant List, Location Map, Drawing List
A1.01	Site Plan- Existing Configuration	Showing Setbacks, Driveway, Pool Deck Areas
A1.02	Site Plan- New Proposed Configuration	Showing New Additions, Garage, Gst Cott. Addition
A1.03	Composite Site Plan- Old/New Configurations	Showing New Additions, Garage, Gst Cott. Addition
A1.04	Streetscape & Areal Photo Site Plan-	Showing Subject Property & Adj. Homes to North & South
A1.05	Area Site Plan-	Showing Subject Property & Adj. Homes to North & South
A2.01	Existing First Floor Plan	Showing EXTG Elements & General Notes
A2.01.1	Demolition Plans- 1st & 2nd Floors	Showing Walls, Doors, Windows, etc. to be removed
A2.02	NEW First Floor Plan	
A2.02b	Enlarged Door & Window Schedules	
A2.02co	NEW & OLD First Floor Plans	of Main Residence
A2.02c	NEW Outbuildings First & 2nd Floor Plans	For New 2 Story Garage & 1 Story Guest Cottage
A2.03	Existing Second Floor Plan	With Additional Notes/Details
A2.04	NEW Second Floor Plan	With Additional Notes/Details
A2.04co	NEW & OLD Second Floor Plans	of Main Residence
A2.05	NEW Roof Plan	With Roofing Notes/Details/Specs
A3.01	EXISTING North, South, East, & West Elevations	Main Hse: Showing Extg. Windows, Doors, & Exterior Elements
A3.02	NEW East, & West Elevations of Main House	Showing Extg Home & New Additions to Home
A3.02co	NEW & OLD East, & West Elevtns of Main House	Showing Both Extg & New Elevations of Main House
A3.02co-ALT	NEW & OLD East, & West Elevtns of Main House	Extg & New Elevations w/ SIMPLIFIED RAILING DESIGN
A3.02B	NEW Notated East Elevation	With Materials/Colors/Finishes Noted
A3.03	NEW North, & South Elevations of Main House	Showing Extg Home & New Additions to Home
A3.03co	NEW & OLD North, & So. Elevtns of Main House	Showing Both Extg & New Elevations of Main House
A3.03co-ALT	NEW & OLD North, & So. Elevtns of Main House	Extg & New Elevations w/ SIMPLIFIED RAILING DESIGN
A3.03b	NEW North, South, East, West Outldg Elevations	(New Garage & Renovated Guest Cottage)
A4.02	NEW E. Elevation/Section "3" at Dbl.Ht.Front Porch	Showing Section "3" & Section/Elevation "3"
		Showing New Proposed French & BiFold French Doors

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
1	xx/xx/21		Issued for HPB Review
2	xx/xx/21		Issued for Permitting

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		Derrickson Residence Renovations & Additions	
A	5/16/09	Issue Note	
No.	Date	Issue Notes	
		Daniel Sloan, AR95577 Date:	

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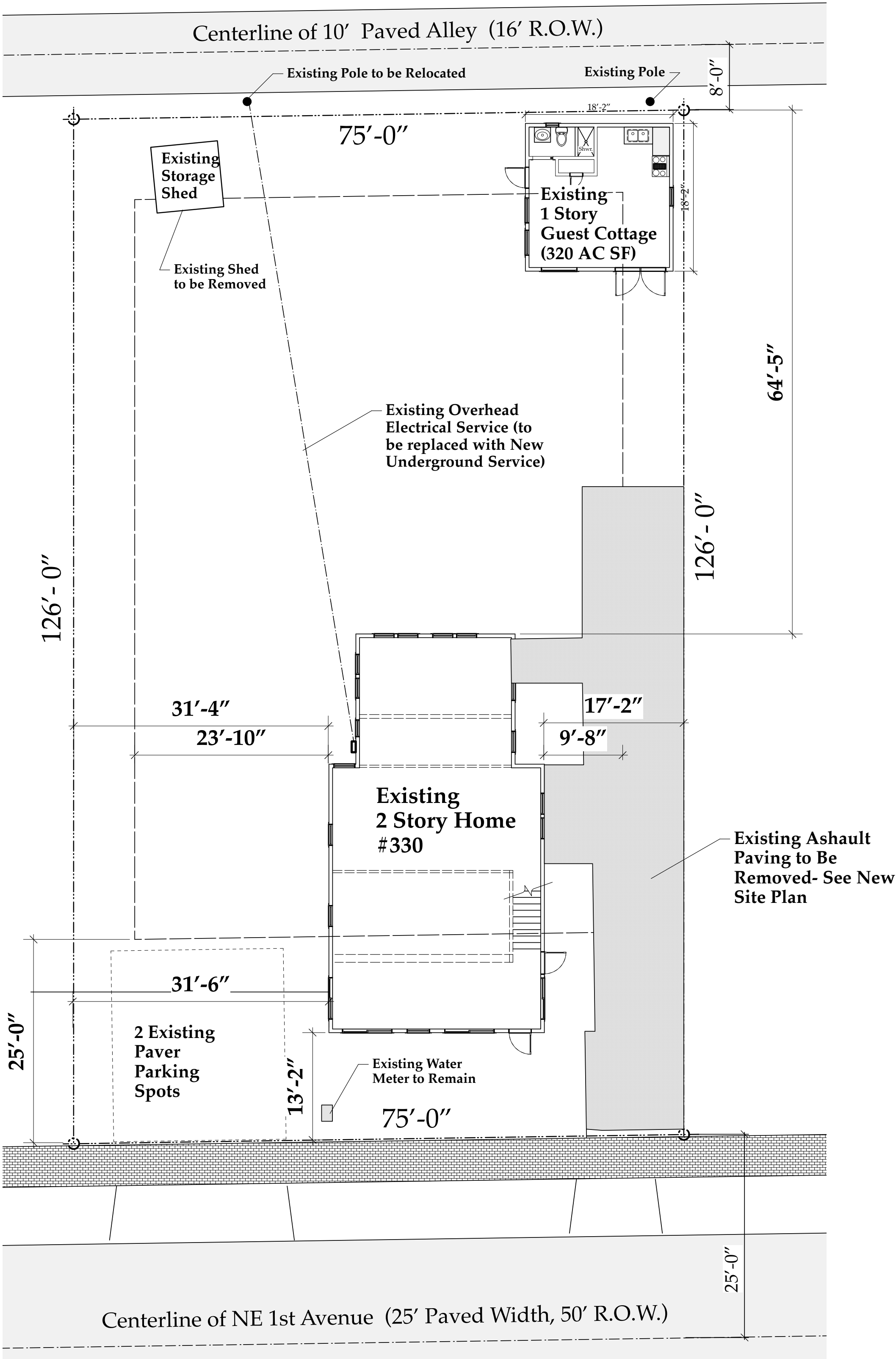
Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
COVER SHEET

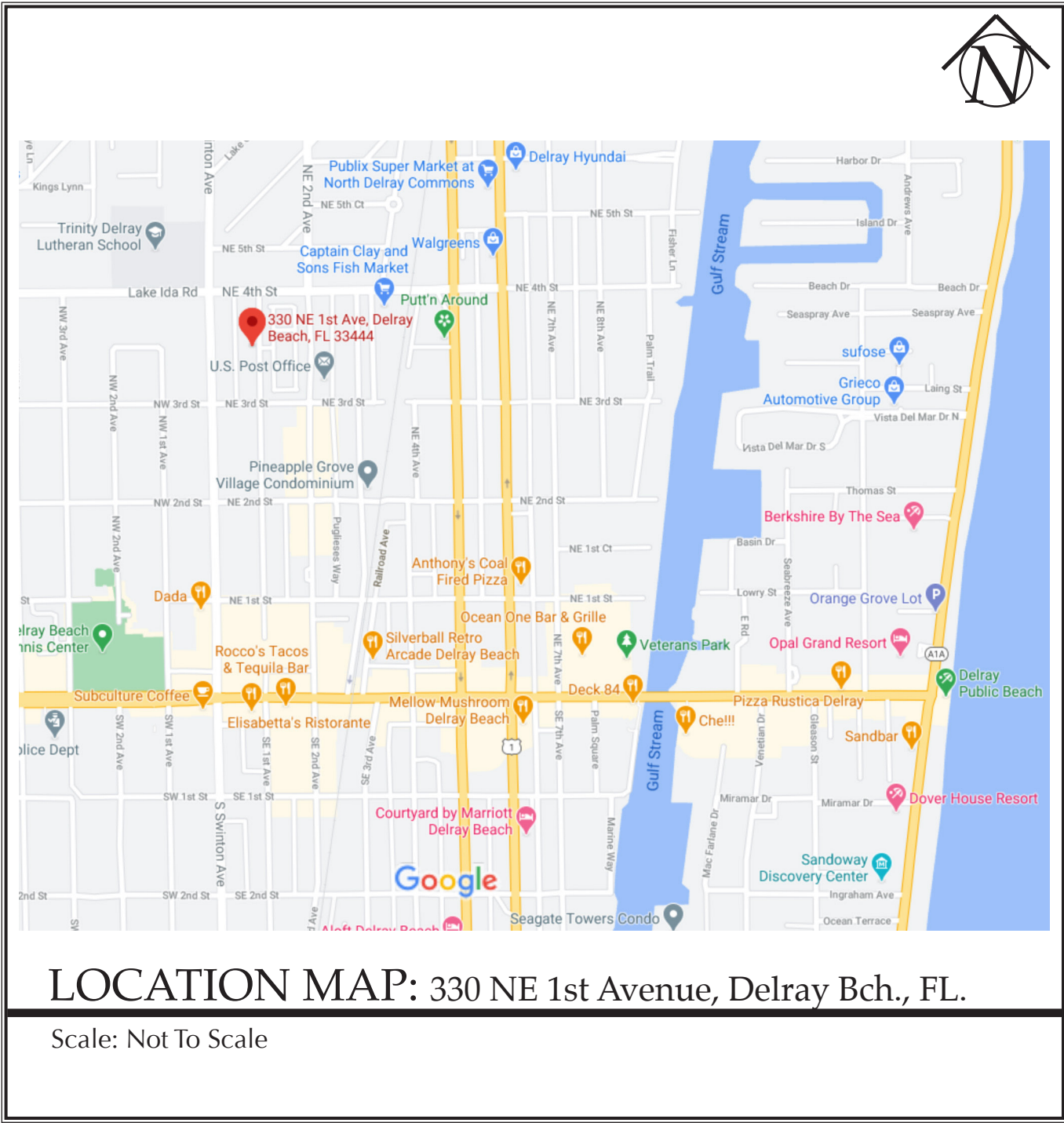
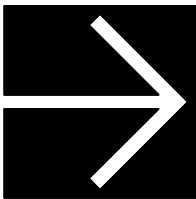
Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A0.00 coa
Date 10/18/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	

Cover  
Sheet  
A0.00



EXISTING SITE PLAN

Scale: 1" = 10 ft



The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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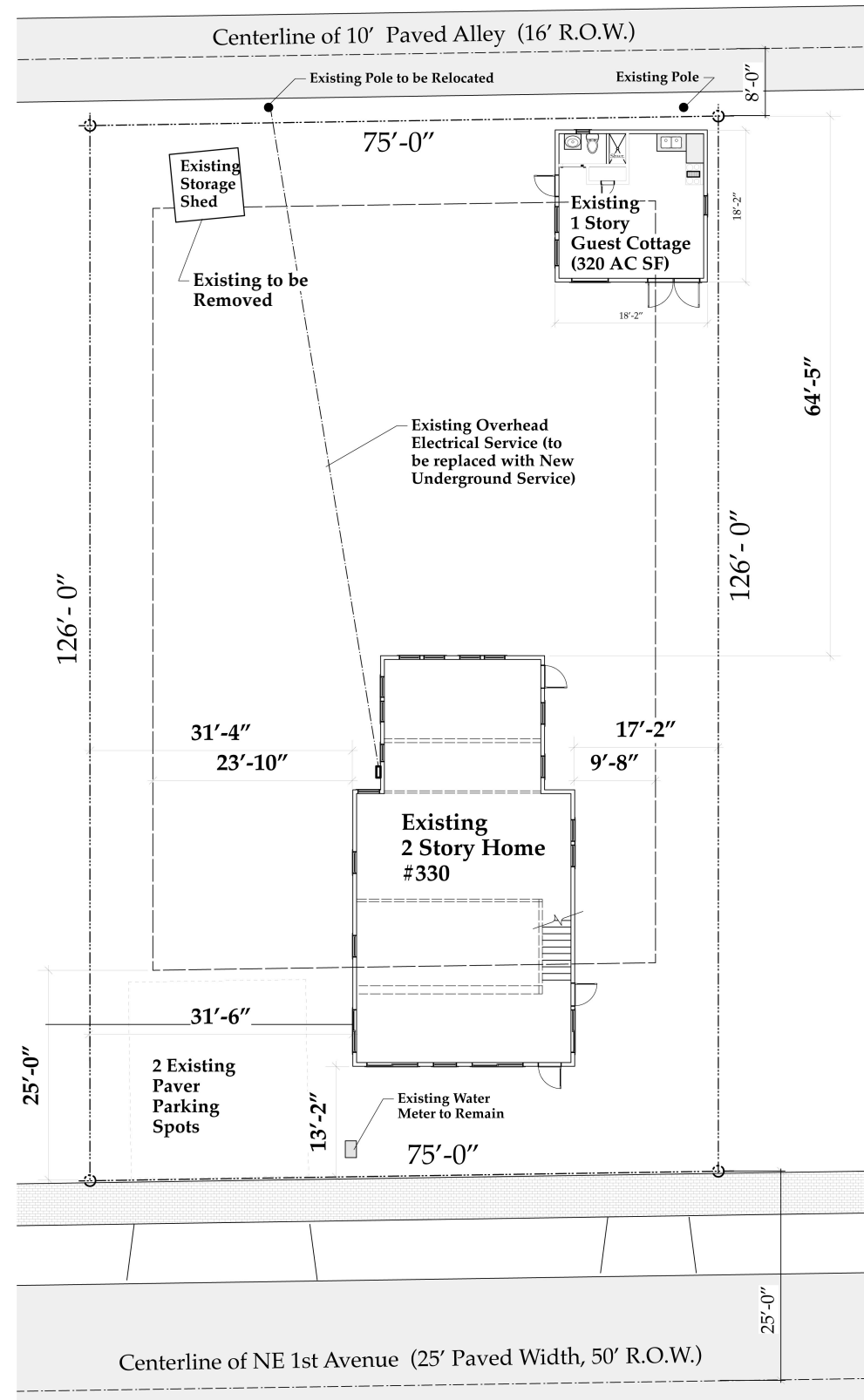
Derrickson Residence  
Renovations & Additions

A	5/16/09	Issue Note	
No.	Date	Issue Notes	
			Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant			
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title	Site Plan-Extg Conditions		
Project Manager	D. Sloan	Project ID	Derrickson Residence Project
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	A1.01
Date	10_18_21		of Total Sheets
Derrickson_Reno_ExtgBldg.rvt			

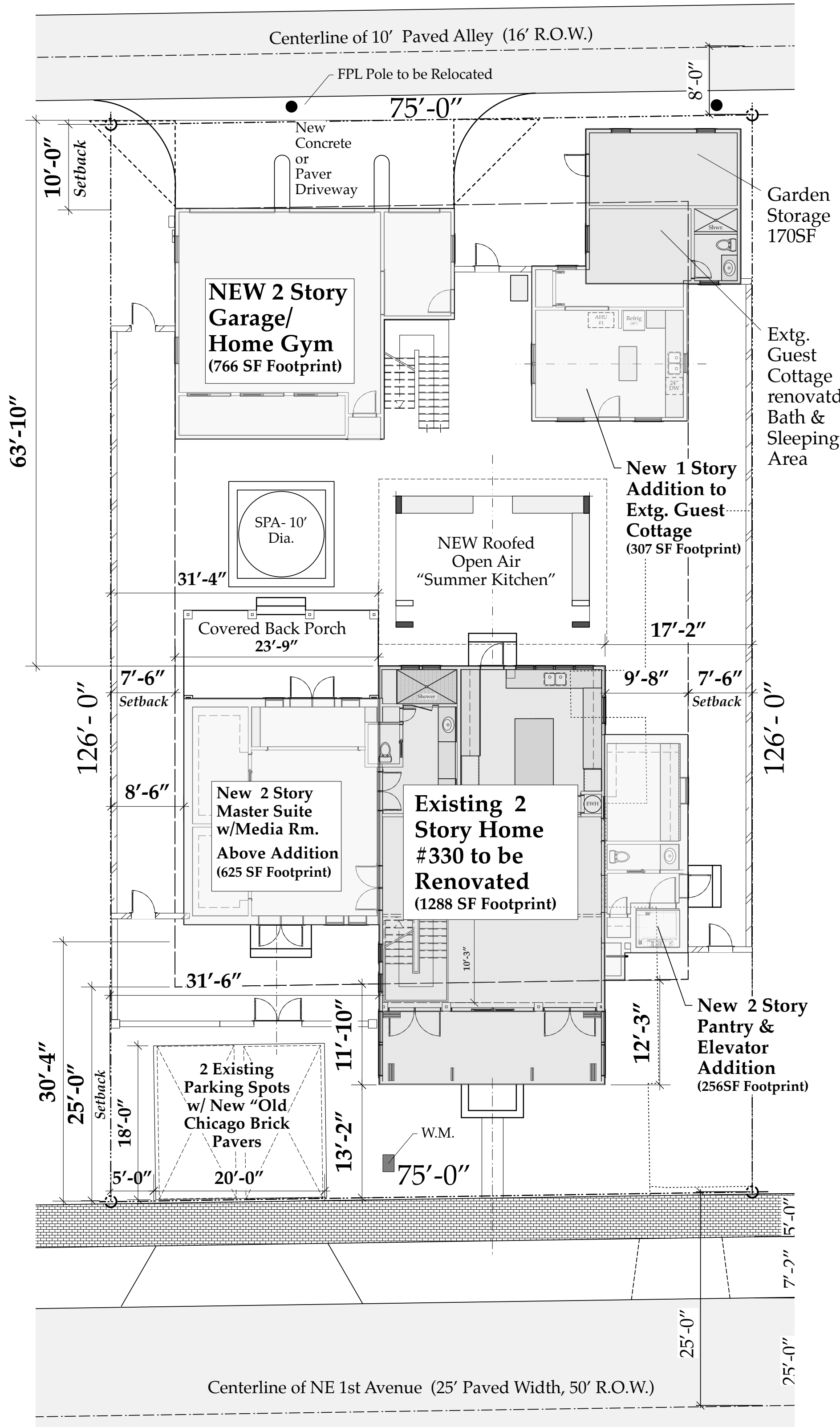
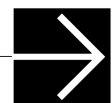
SITE PLAN  
Exsiting Conditions  
A1.01







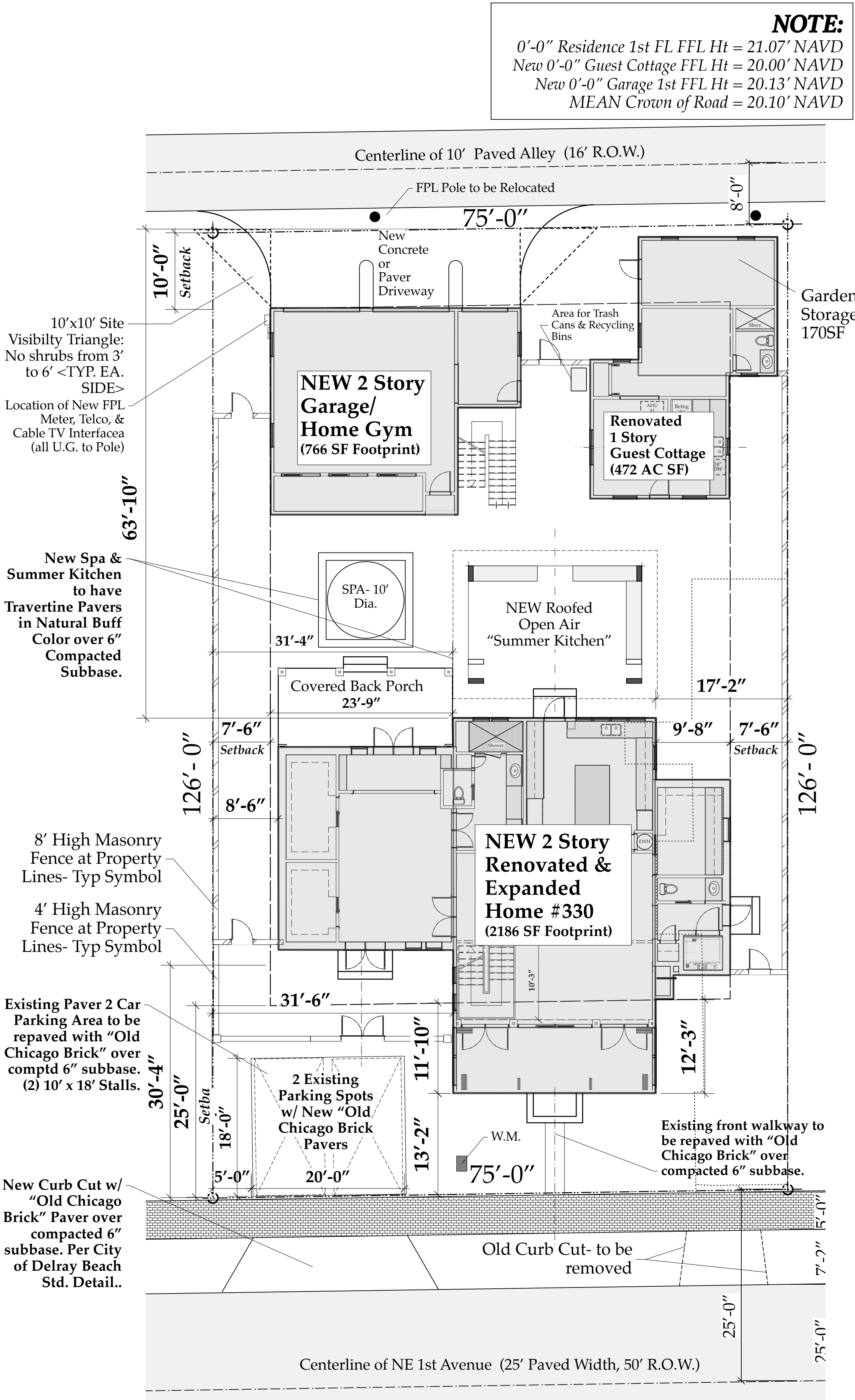
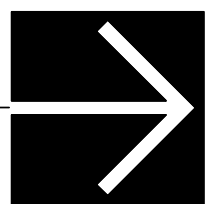
EXISTING SITE PLAN  
Scale: 1" = 10 ft



NEW COMPOSITE SITE PLAN

Scale: 1" = 10 ft

- Existing Buildings- To Be Renovated
- New Additions or Buildings



NEW SITE PLAN

Scale: 1" = 10 ft

LEGAL DESCRIPTION:  
TOWN OF DELRAY Lot 21 & North 25 Feet of Lot 22, Subdivision of Block 65, According to the map or plat thereof, as recorded in Plat Book 2, Page 20 of Public Records of Palm Beach Co, Florida. (OLD SCHOOL SQUARE HISTORIC DISTRICT)

COMPOSITE SITE PLAN  
Existing & Proposed Layouts  
A1.03

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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<u>Derrickson Residence</u> Renovations & Additions					
A	5/16/09	Issue Note			
No.	Date	Issue Notes			
Daniel Sloan, AR95577 Date:					
Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755					
Consultant					
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue					
Drawing Title Composite Site Plan- Extg & New Proposed Layouts					
Project Manager D. Sloan	Project ID Derrickson Residence Project				
Drawn By D. Sloan	Scale As Noted				
Reviewed By D. Sloan	Drawing No. A1.03				
Date 10/18/2021	of Total Sheets				
Derrickson_Reno_ExtgBldg.rvx					



Aerial Photo : 326 thru 338 NE 1st Avenue, Delray Beach



326 NE 1st Avenue- East Facade (View from Street)



330 NE 1st Avenue- East Facade (View from Street)

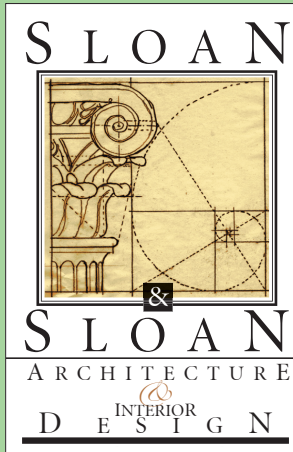


334 NE 1st Avenue- East Facade (View from Street)



338 NE 1st Avenue- East Facade (View from Street)

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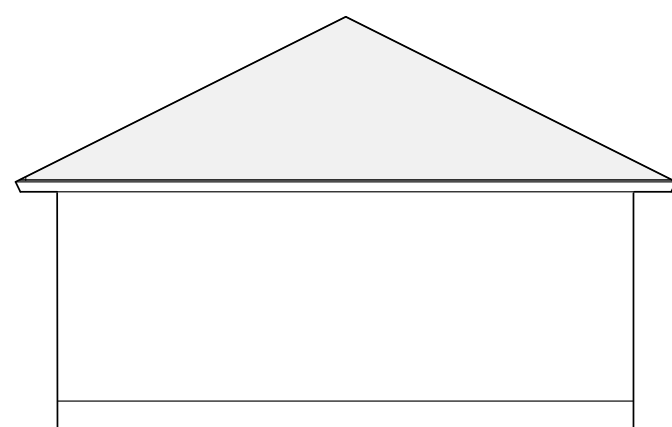
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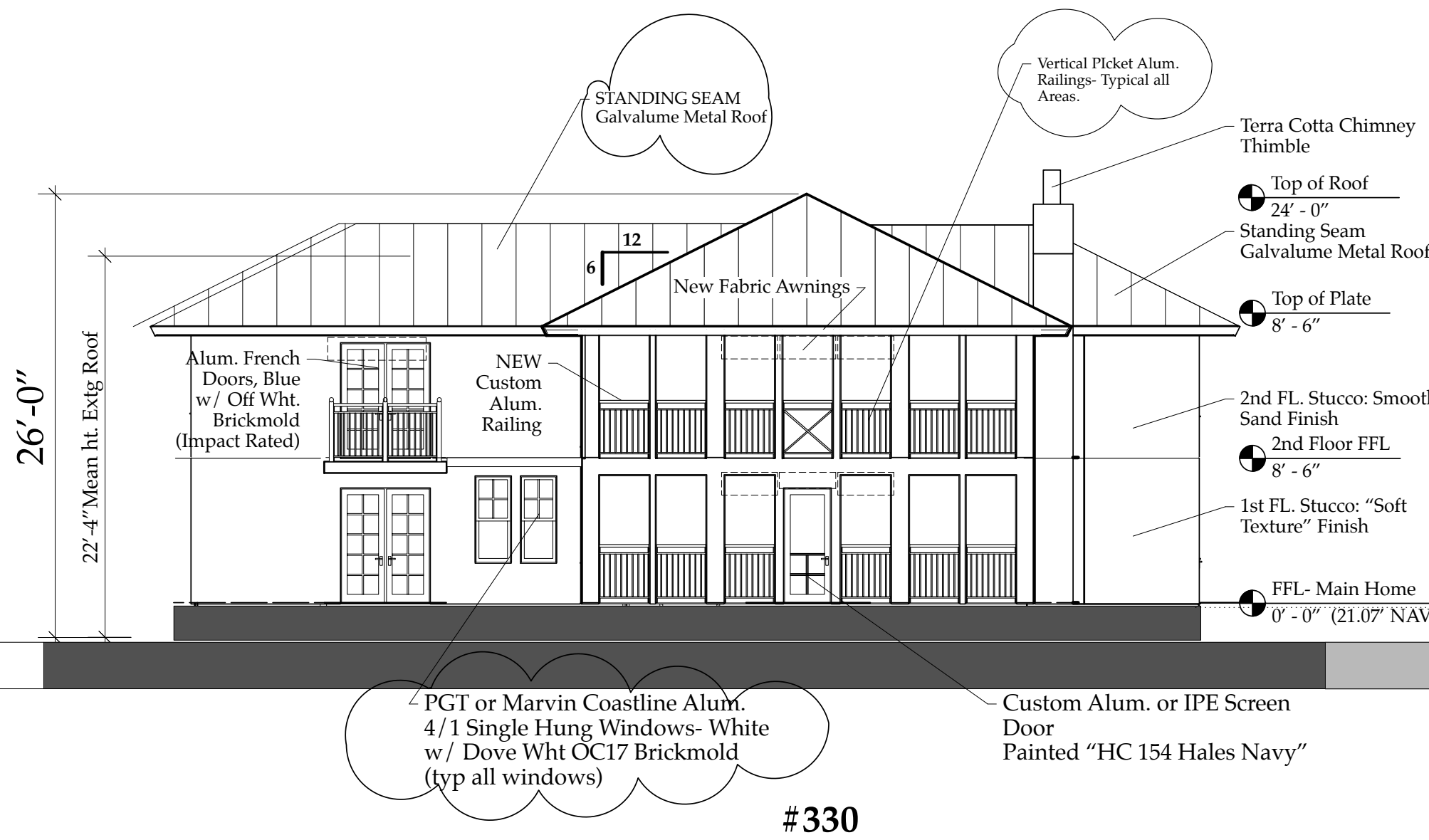
No.	Date	Appr	Revision Notes
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#326

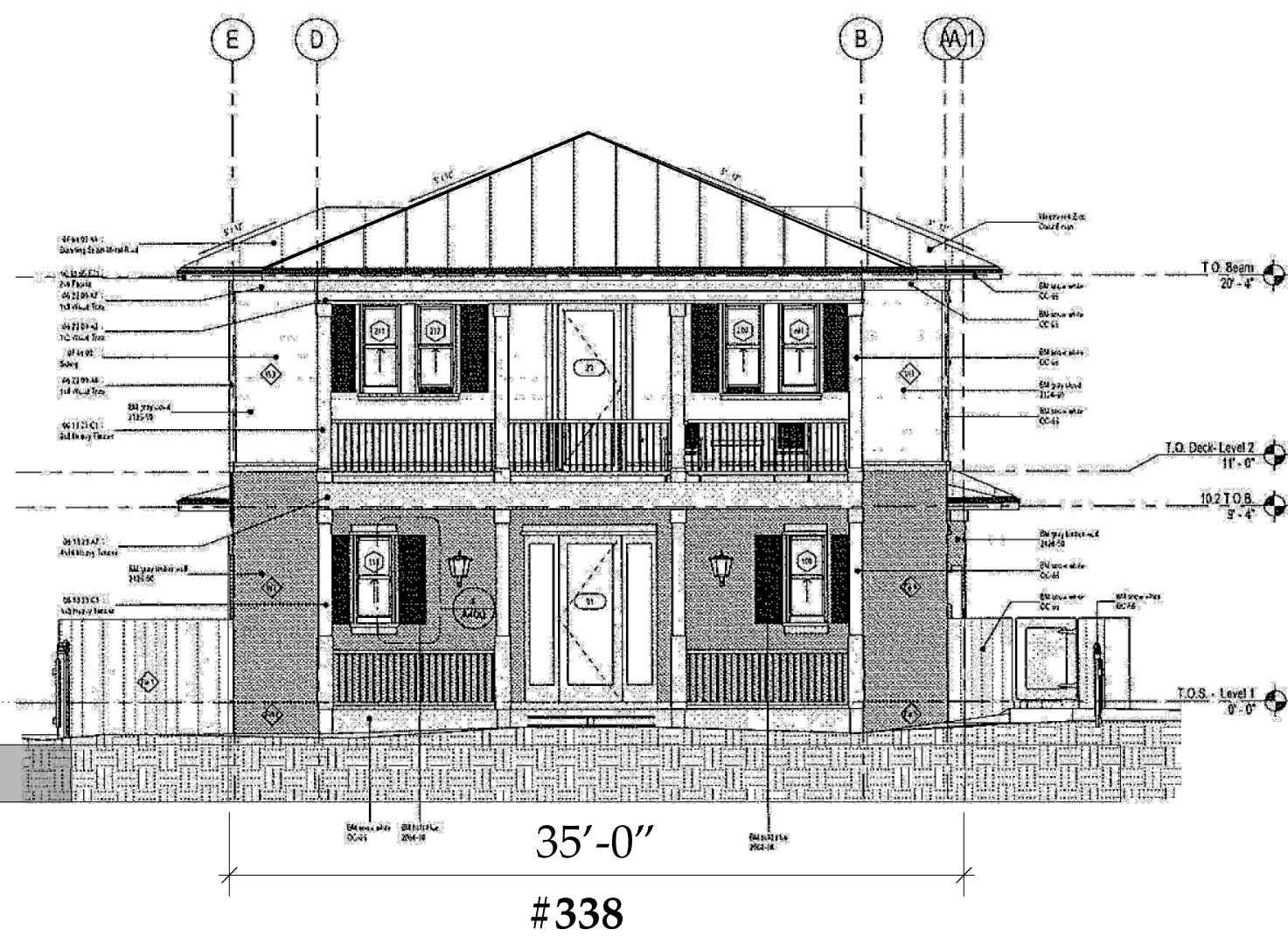


A  
A3.02

NEW EAST STREETSCAPE  
Scale: 1/8" = 1'-0"

#330

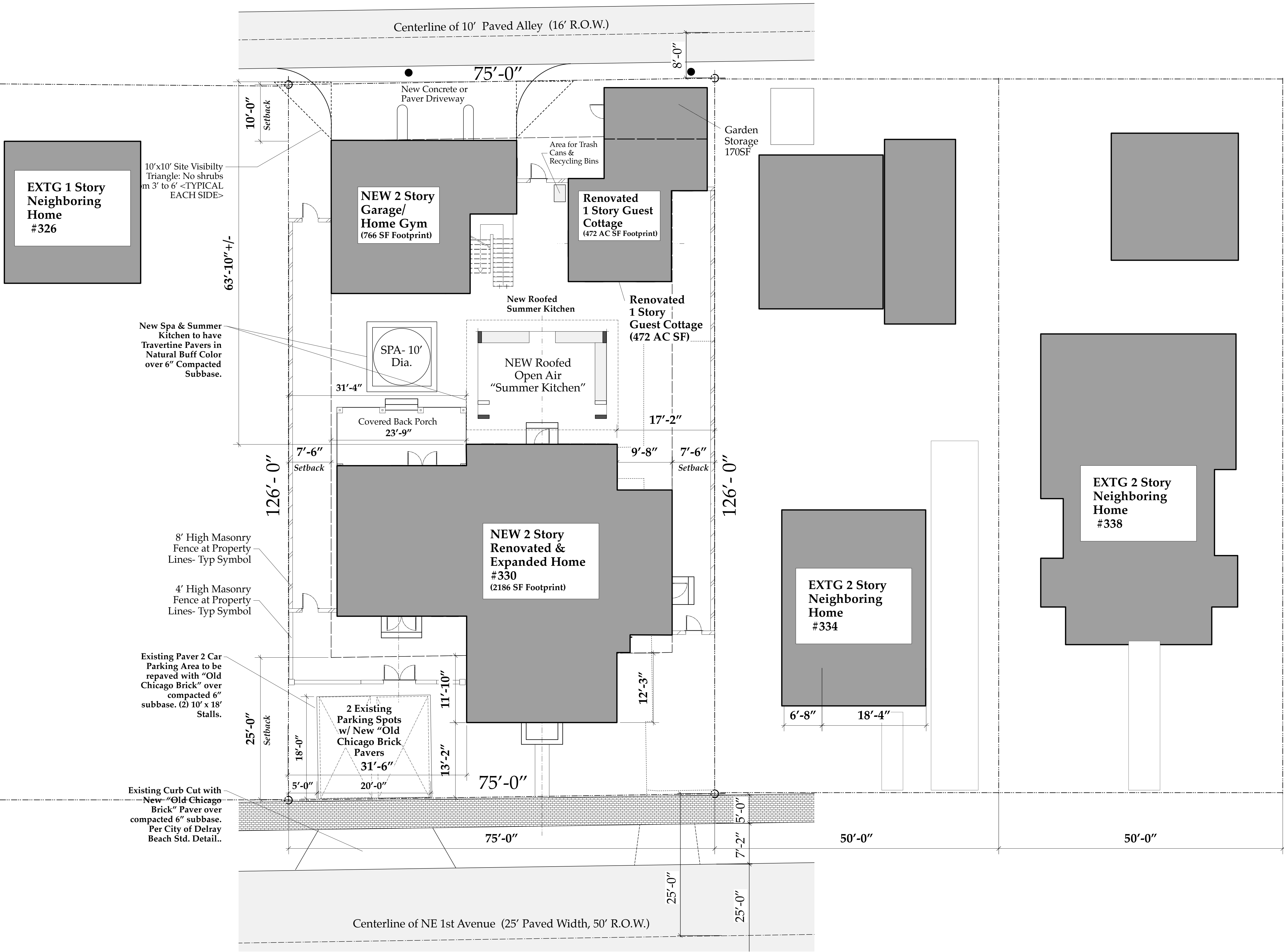
#334



SITE VIEWS  
& New Proposed Streetscape  
A1.04

#### Derrickson Residence Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant		
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue	
Drawing Title	Proposed Streetscape -NE 1st Ave View 328 to 338 NE 1st Ave Homes	
Project Manager	D. Sloan	Project ID Derrickson Residence Project
Drawn By	D. Sloan	Scale As Noted
Reviewed By	D. Sloan	Drawing No. A1.04
Date	10/18/2021	of Total Sheets
CAD File Name	Derrickson_Reno_ExtgBldg.rvt	



NEW STREETSCAPE ORIENTATION PLAN  
Scale: 1/8" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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			<b>Derrickson Residence Renovations &amp; Additions</b>
A	5/16/09	Issue Note	

No.	Date	Issue Notes
Daniel Sloan, AR95577 Date:		

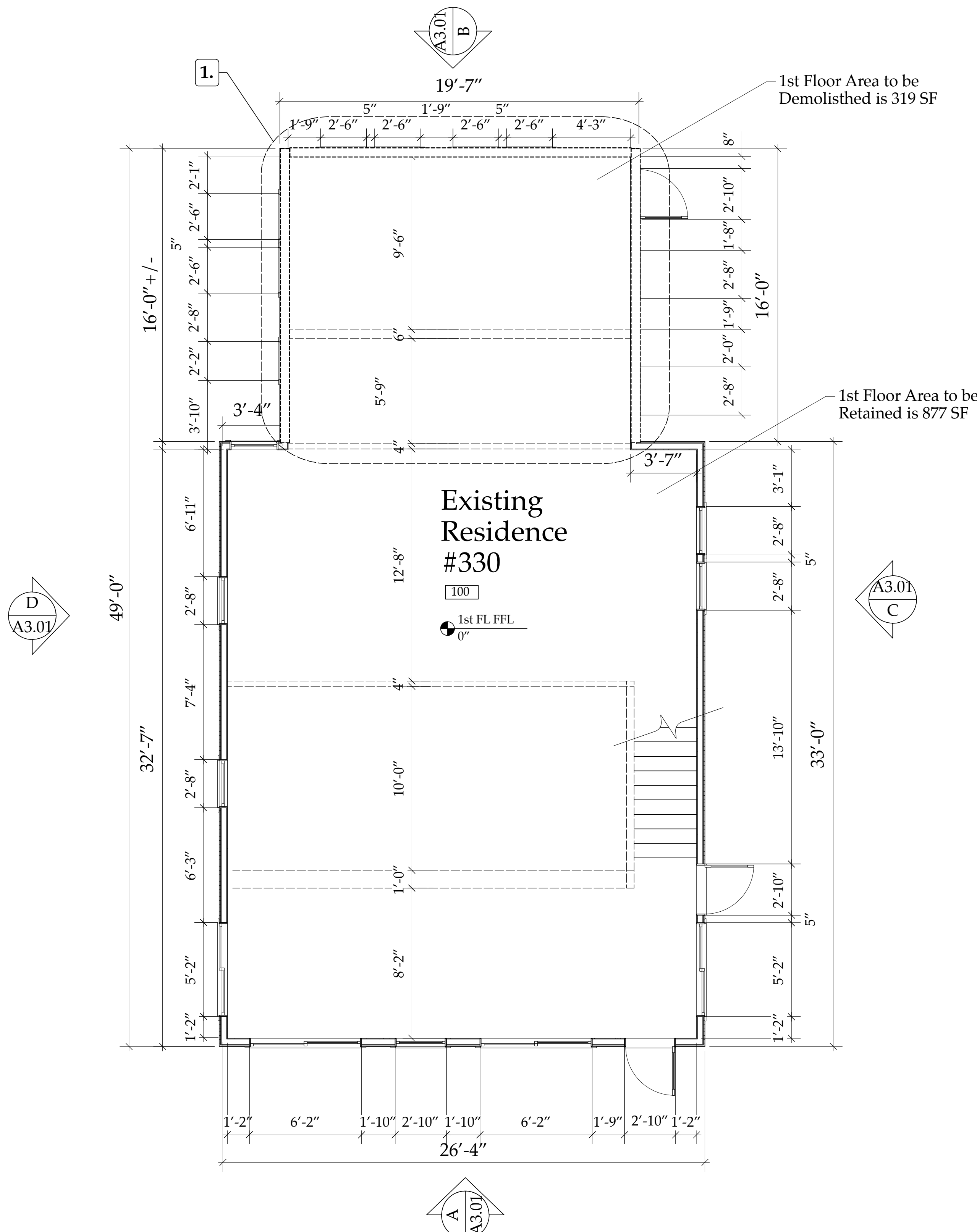
Design Firm  
Sloan & Sloan- Architecture + I.D.  
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Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
Proposed Streetscape Orientation  
Plan- NE 1st Ave  
328 to 338 NE 1st Ave Homes

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A1.05
Date 10/18/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	



## 1ST FLOOR DEMO PLAN

Scale: 1/4" = 1'-0"

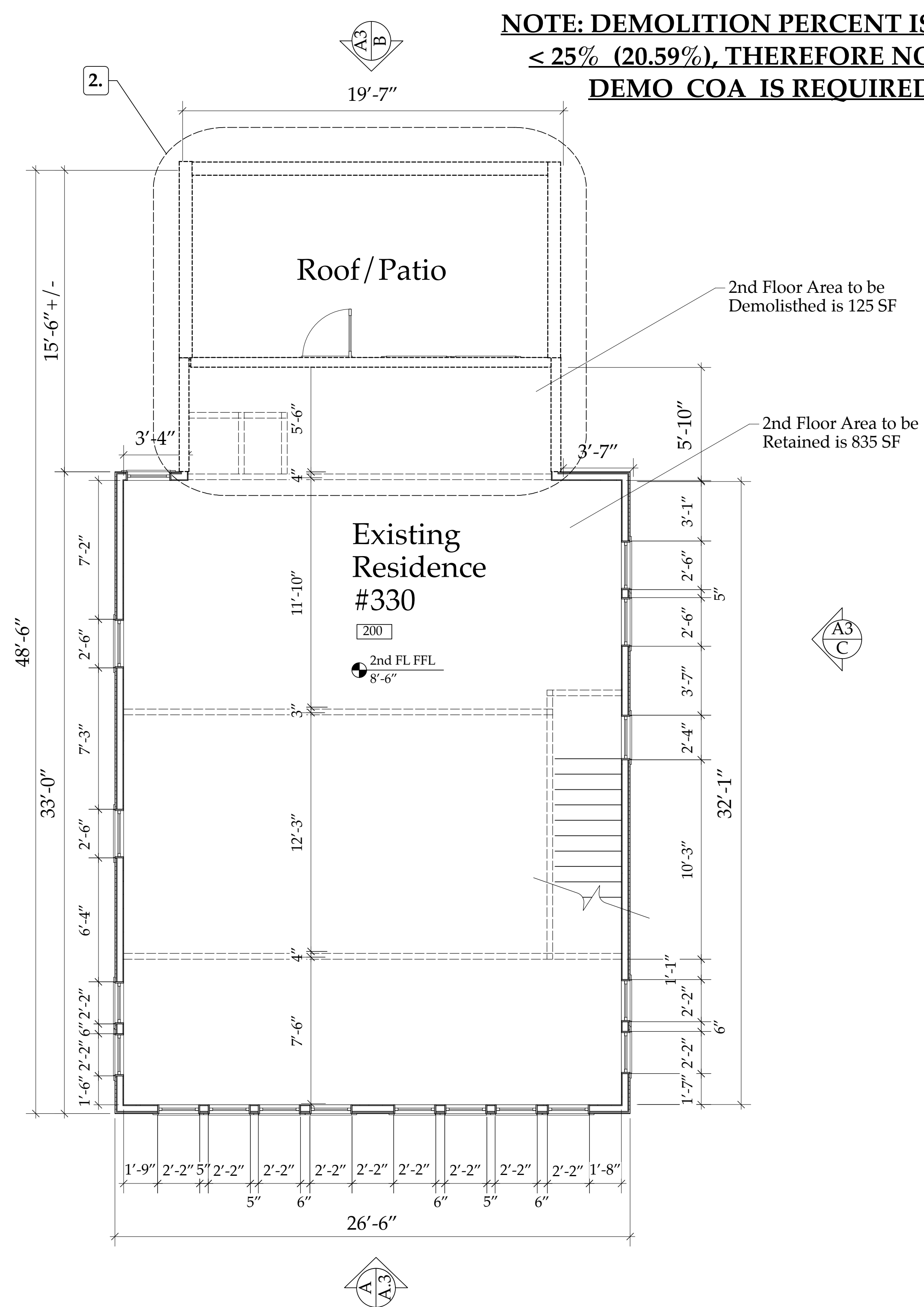
### DEMOLITION NOTES

Derrickson Residence  
Updated 6/14/21

**General for All Areas of Residence:** After Demoliton, Remove all Debris from Site & Leave in Broom Clean Condition.

#### Specific Notes By Area:

- FIRST FLOOR: Remove Exterior Door(s), Windows, Exterior Walls, Foundation & Stemwall, Floor Framing/Concrete Slab. Frame Temp. Wall of 2x4 studs at 24" oc, Sheet with 1/2" cdx and 10mil visqueen (on West Side remaining structure)
- SECOND FLOOR: Remove Exterior Door(s), Windows, Exterior Walls, Porch Roof Structure & Roofing, Main Roof Framing & Roofing in affected area. Frame Temp. Wall of 2x4 studs at 24" oc, Sheet with 1/2" cdx and 10mil visqueen (on West Side remaining structure)
- Shore Up Adjacent Floor & Roof Framing as Needed before comencing Demolition.



## SECOND FLOOR DEMO PLAN

Scale: 1/4" = 1'-0"

**Derrickson Residence**  
330 NE 1st Avenue, Delray Beach, FL  
Demolition Tabulations- revised 8/14/2021  
Zoning: Single Family: OSSHAD  
File: Derrickson\_SiteTblns&DsnParamtrs.xls

#	ITEM	AREA (SF)
1	Existing First Floor Area	1196 SF
2	Existing Second Floor Area	960 SF
3	Grand Total Existing Floor Area Under Roof	2156 SF
4	Proposed First Floor Area to be DEMOLISHED	319 SF
5	Proposed 2nd Floor Area to be DEMOLISHED	125 SF
6	Grand Total Floor Area To be DEMOLISHED	444 SF

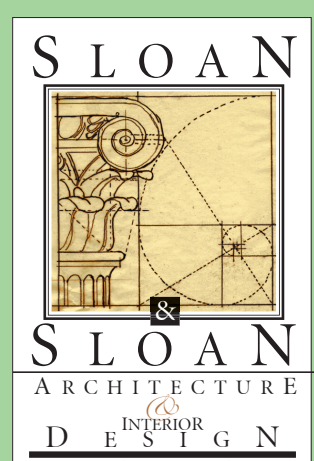
PERCENT OF BUILDING TO BE DEMOLISHED IS..... 20.59%

**NOTE: DEMOLITION PERCENT IS < 25% (20.59%), THEREFORE NO DEMO COA IS REQUIRED**

**NOTE: Reframe all Window & Door Openings as needed to Accomodate New Floor Plan Configuration**

Demolition Plans  
A2.01.1

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Derrickson Residence  
Renovations & Additions

A 5/16/09 Issue Note

No. Date Issue Notes

Daniel Sloan, AR95577  
Date:

Design Firm  
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(561) 243-8755

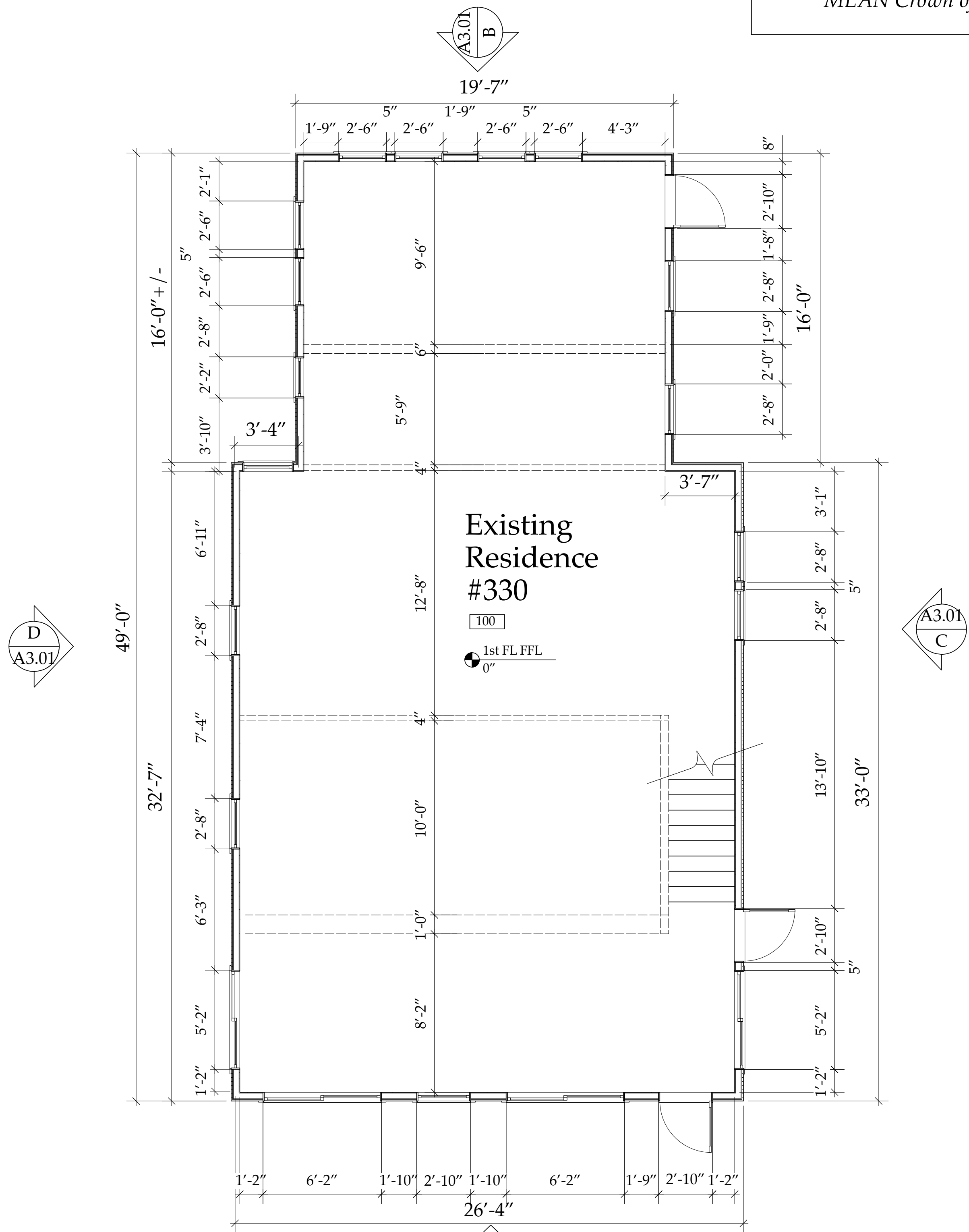
Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
DEMOLITION PLANS-  
of Main Residence

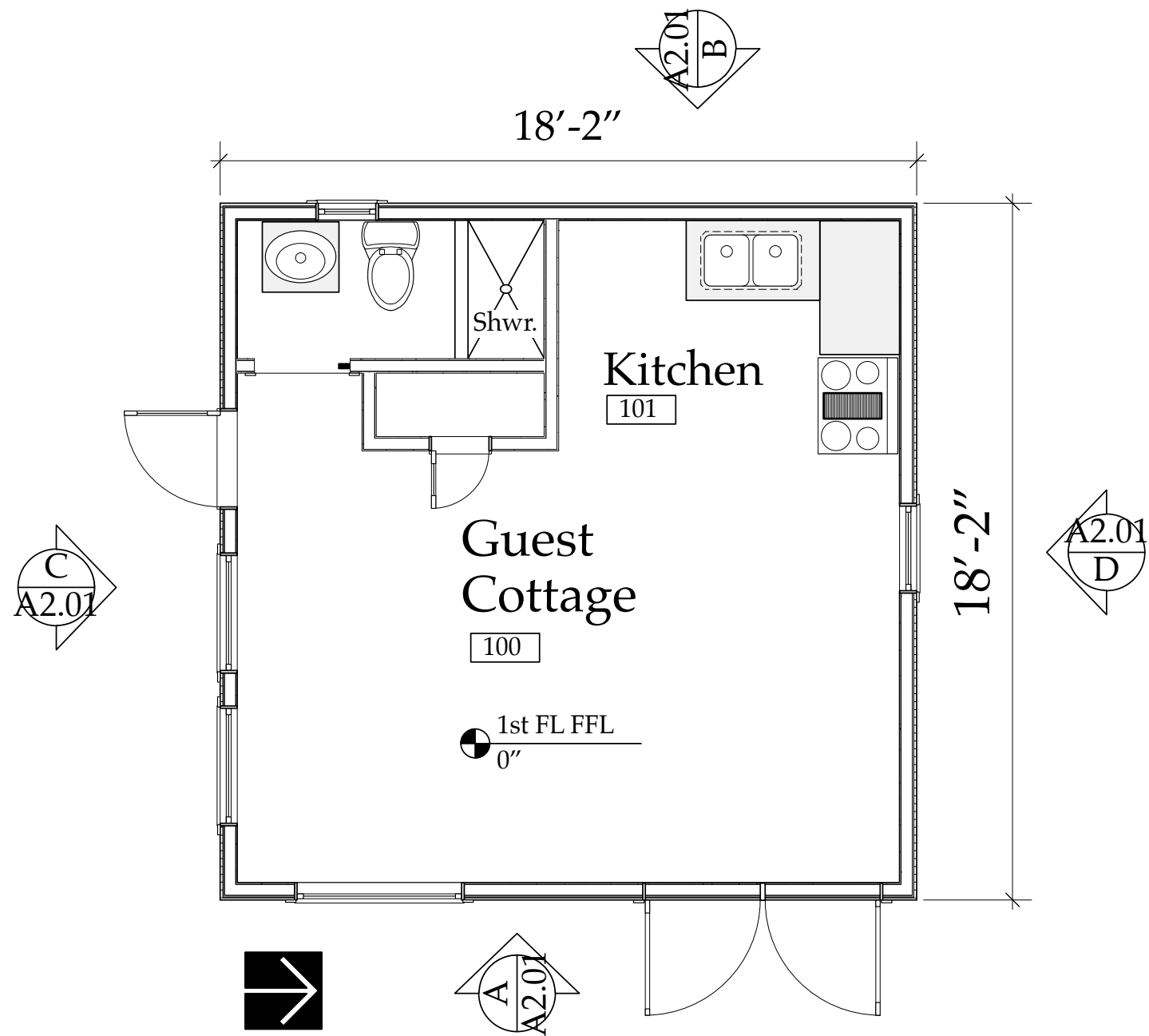
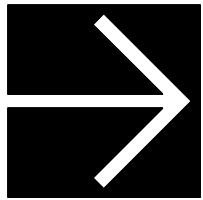
Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01.1
Date 8/16/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
0'-0" Guest Cottage FFL Ht = 19.58' NAVD  
MEAN Crown of Road = 19.36' NAVD



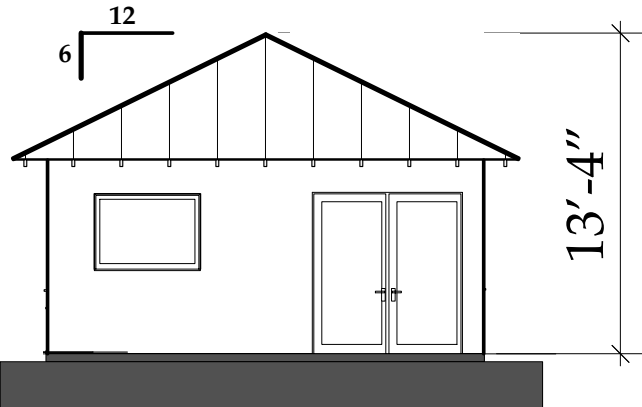
EXISTING FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



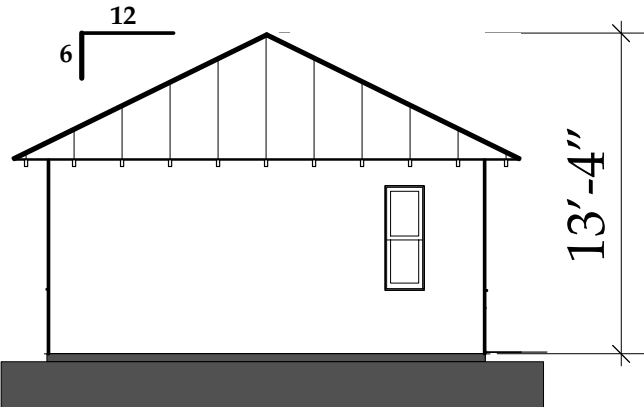
EXTG 1st FL PLAN-COTTAGE

Scale: 1/4" = 1'-0"



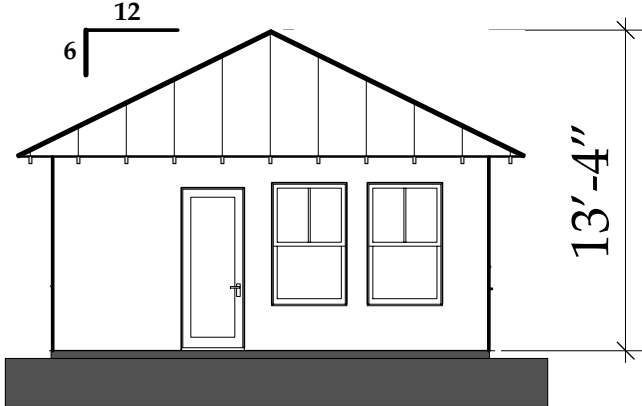
A EAST ELEVATION

Scale: 1/8" = 1'-0"



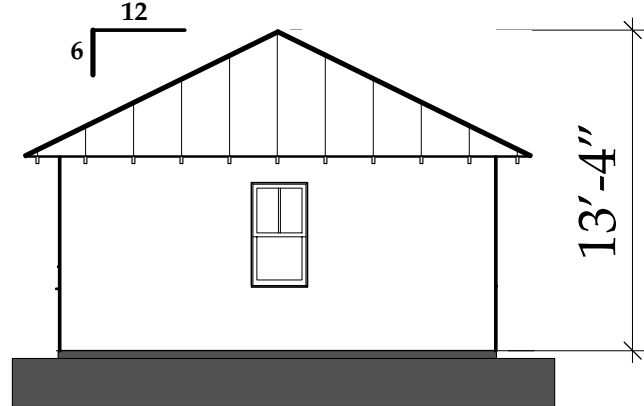
B WEST ELEVATION

Scale: 1/8" = 1'-0"



C SOUTH ELEVATION

Scale: 1/8" = 1'-0"



D NORTH ELEVATION

Scale: 1/8" = 1'-0"

Existing 1st Floor Plan  
A2.01

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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AA26002208



No.	Date	Appr	Revision Notes
1	x/x/21		Issued for HPB Review
2	x/x/21		Issued for Permitting

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**Derrickson Residence  
Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

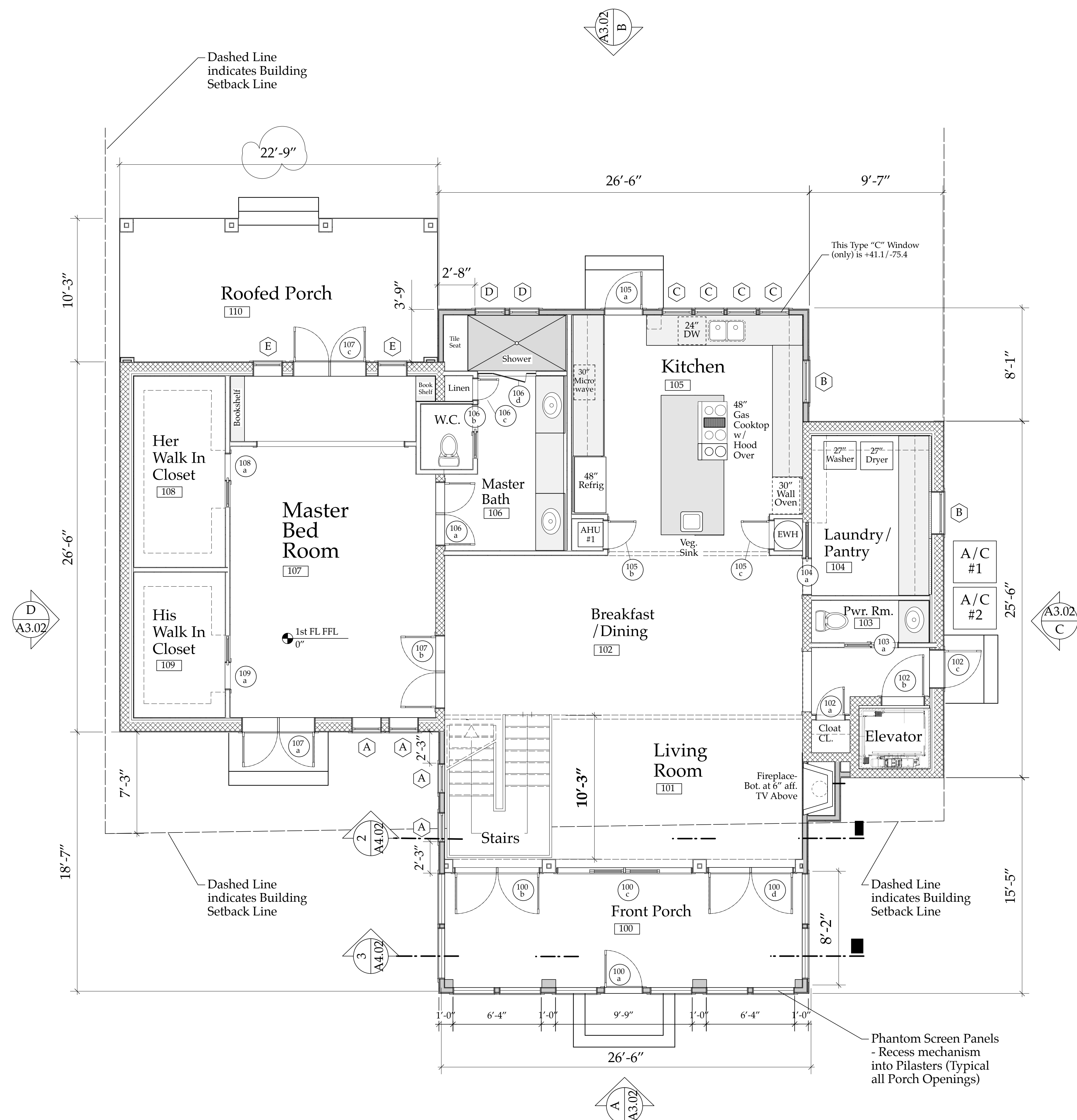
Design Firm  
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106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
EXTG FIRST FLOOR PLAN-  
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 2/2/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	



NEW FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

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**Derrickson Residence**  
Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
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Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
NEW FIRST FLOOR PLAN-  
of Main Residence

Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.02

Date	of
10/18/2021	

CAD File Name	Total Sheets
Derrickson_Reno_ExtgBldg.rvt	

**DOOR SCHEDULE: DERRICKSON RESIDENCE:**

**Revised: 6/18/2021, Dim Sloan, Sloan & Sloan, Inc. (561) 243-8755**  
330 NE 1st Avenue, Delray Beach, FL

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS	Door "DP" Wind Pressure Rating per manf	Actual Wind Pressure on Door (Exp. B)
100a	2868 Prehung Screen Door	Cusom	1 1/8" Composite	Painted-Dk. Blue Hales Navy HC154	3/4 Composite Wd. prehung	TBS	TBS	TBS		N/A	N/A
100b	Double 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
100c	9868 Alum. BiFold French Doors w/ 1 Light- IMPACT RATED (Custom to Fit Exact RO)	Marvin "Coastline" 4 panel Bi-Fold French Door	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	Marvin Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
100d	Doubl 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
102a	2068 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
102b	3068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26 (s) 4" Hinges	<b>Inside Face to be Built out per Elevtr Code</b>	N/A	N/A
102c	2868 Prehung Door Plaspro DR520 IMPACT RATED	PlasPro 2 Panel Composite	1 3/4" SOLID CORE	<b>Painted-Dk. Blue Hales Navy HC154</b>	3/4 Composite Wd. prehung	EMTEK (model TBS) Lever & Deadbolt)	TBS	Bright SS	Casing TBS/2" Composite Fla. Brickmold	+75/-75	+40.5/-45.6
103a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Flush Edge Pull PRIVACY SET	TBS	--	Casing TBS	N/A	N/A
104a	2868 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage SET	TBS	--	Casing TBS	N/A	N/A
105a	2868 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
105b	2068 Prehung Door	TBS- Solid Core W/ Weatherstripg	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS w/ Gasketed Threshold	N/A	N/A
105c	2068 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106a	Double 2268 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106b	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull PRIVACY SET	TBS	--	Casing TBS	N/A	N/A
106c	1668 Prehung Door (linen closet)	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106d	26" Frameless Shower Door w/ Side Lights	Custom	Clear 1/2" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome hinges and clips	By Shower Door Co.	N/A	N/A
107a	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
107b	Double 2668 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
107c	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
108a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage Set	TBS	--	Casing TBS	N/A	N/A
109a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage Set	TBS	--	Casing TBS	N/A	N/A
200a	Double 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
200b	9868 Alum. BiFold French Doors w/ 1 Light- IMPACT RATED (Custom to Fit Exact RO)	Marvin "Coastline" 4 panel Bi-Fold French Door	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	Marvin Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
200c	Doubl 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
201a	2868 Glass Door- Tempered	1/2" Frameless Glass Door	1/2" Temp. Glass w/ sidelights		TBS	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
201b	3068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26 (s) 4" Hinges	<b>Inside Face to be Built out per Elevtr Code</b>	N/A	N/A
201c	2068 Prehung Door	TBS- Solid Core W/ Weatherstripg	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS w/ Gasketed Threshold	N/A	N/A
203a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
204a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
204b	8Pass Shower Door	TBS	Clear 3/8" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome rails and clips	By Shower Door Co.	N/A	N/A
205a	2868 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
205b	2668 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
206a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
206b	8Pass Shower Door	TBS	Clear 3/8" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome rails and clips	By Shower Door Co.	N/A	N/A
207a	2868 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
207b	Dbl 3068 8Pass Closet Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	JOHNSON 100 Series Track & Cars	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
209a	Double 2668 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
209b	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
209c	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
NOTE #1: Entry Sets to have Lifetime Finish. All locks keyed alike, all Thresholds are											
NOTE #2: All exterior hardware to have lifetime finish factory applied.											
NOTE #3: All French Doors to have crash chains with cloth covers. Double French Doors to have flush bolts top and bottom.											
NOTE #4: All Double Doors to have dummy set to match active set of hardware.											
NOTE #5: All Interior Doors to have Screw on Bravura #Bravura 3" Door Stop LDS 920- Bright Chrome US26 unless otherwise noted											

**DERRICKSON RES :: PGT WINDOW SCHEDULE :: NEW Aluminium Windows**

JOB ADDRESS: 330 NE 1st Avenue, Delray Beach, FL, **Revised 10/18/21**

WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room	Door "DP" Wind Pressure Rating per manf	Actual Wind Pressure on Door (Exp. B)
<b>MAIN RESIDENCE Windows</b>														
A	4/1	4	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	H35	26"	62.5"	Clear Low E Glass	7'- 6"	+65/-80	+43.4/-47.6
B	4/1	2	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	24	36.5"	52.125"	Clear Low E Glass	6'- 10"	+65/-80	+43.4/-47.6
C	4/1	14	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	H34	26"	52.125"	Clear Low E Glass	6'- 10"	+65/-80	+44.9/-48.7
NOTE: (1) type C is "41.1/-75.4														
D	4/1	2	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	H34	26"	52.125"	Clear Low E Glass & Frosted	6'- 10"	+65/-80	+41.1/-75.4
E	4/1	1	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	H36	26"	75.5"	Clear Low E Glass	6'- 10"	+65/-80	+43.4/-47.6
F	4/1	2	Alum. Single Hung Window: SH7700A Series	Note #1	White	White	PGT Windguard	H35	26"	62.5"	Clear Low E Glass	sill at 8"	+65/-80	+43.4/-47.6
GENERAL NOTE: Can Substitute Marvin "Coastline Series" Single Hung i24 Series In Black if PGT Backordered. (use Same Low E Laminated, Insulated Glass)														
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass.														
Use High Performance Impact Rated Low E Glass-IMPACT RESISTANT Laminated, Insulated "Energy Star Max")														
Note #2: All windows to have GWB interior returns (Price Option to Case Out Interior).														
If Sill is 24" or less provide ASTM F2090 Window Guard(s) if Required.														
All Simulated Divided Lights to have 3/4" Dimensional Grilles OUTSIDE & Low Profile Ogee Inside														
Note #3 : Must Comply with all Local Codes for Strength & Installation techniques. Also Window Installer to follow manufacturers installation and flashing directions. Window Installer to Flash w/ W/ Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.														
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to framing. In Block Walls install PT 2x6 Tapped to Filled Block behind per NOA to Create Rough Opening for Fin Frame Windows. Apply Sealants and Liquid Exterior Waterproof per Manf. Directions & NOA (typ all windows)														
Note #5: ALL Windows to have screens; color to match sash. Where mulls are specified use 3/4" colonial outside/low profile colonial inside; match interior/exterior finish.														
Note #6: PGT & Marvin Windows are Powdercoat or Kynar Finish. Color as Noted on Elevations														

**GENERAL CONSTRUCTION NOTES-****Derrickson Residence New Single Family Home Project**

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. **Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.**

2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system and provide all requirements for the equipment to be placed in proper working order. Prior to submission of bids, Contractor, Subcontractors, and Vendors shall visit the site and bring any discrepancies at the stie, with the plans, and specs to the attention of the Architect and shall verify that their final bid includes all items and assemblies needed to comply with the FBC, PBC, and City requirements, codes, and rules and the intent depicted in these drawings. A complete set of approved, signed and sealed drawings, together with approved "Change Order" sheets, addenda, Shop Drawings, and Supplemental Information, along with all permit copies shall be maintained at the jobsite at all times.

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

4. Shop drawings shall be submitted for approval for the following items:

- |                       |    |                           |    |
|-----------------------|----|---------------------------|----|
| 1. Trusses            | XX | 6. Stairs                 | XX |
| 2. Wall Panels        | XX | 7. Structural Connections | XX |
| 3. A/C                | XX | 8. Plumbing Riser         | XX |
| 4. Windows/Storefront | XX | 9. Electrical Riser       | XX |
| 5. Doors              | XX | 10. Cabinets              | XX |
|                       |    | 11. Other                 | XX |

5. \_\_\_\_ General Contractor or XX Owner : shall maintain Temporary Electrical, Water, and Sanitary Facilities for the duration of construction unless Specifically otherwise provided for in the Construction Contract.

6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

7.All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on site dumpster each day. Jobsite shall be cleaned daily by each Subcontractor. If not done, GC may backcharge Subcontractor for the cost of such cleanup as required.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

9. TRUSS MANUFACTURER: co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M.2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Manf. as part of Truss Package.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any material containing Aebestos or PCBs. If the project is a renovation project the observation of either substance shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

12. Each Subcontractor, Speciality Contractor, and Vensdor shall install his/her portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of another Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediatly be brought to the attention of the GC.

13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry Installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for devices, fixtures, or equipment. All millwork shall have finished interiors be fabricated and installed in accordance with the Architectural Millwork Institute "Premium Grade" standard. No Urea Formaldehyde Glues or VOC containing Stains or Finishes shall be utilized. SEE INTERIOR DESIGN DRAWINGS & WRITTEN SPECS FOR ADDITIONAL INFORMATION.

14. GREEN PROJECT: (ONLY IF STIPULATED IN BIDDING DOCUMENTS) This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldehyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Consultant in advance of ordering or utilizing any such item.

**Door & Window Schedules A2.02b**

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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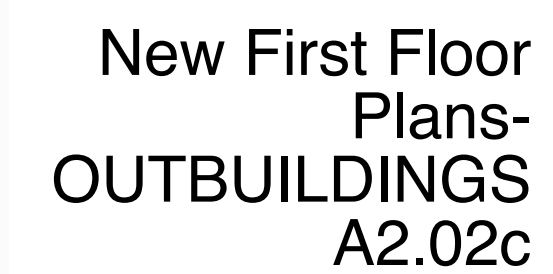


No.	Date	Appr	Revision Notes
1	10/18/2021		Issued for HPB Review, w/ WHITE WINDOWS
2	xx/xx/2021		Issued for Permitting

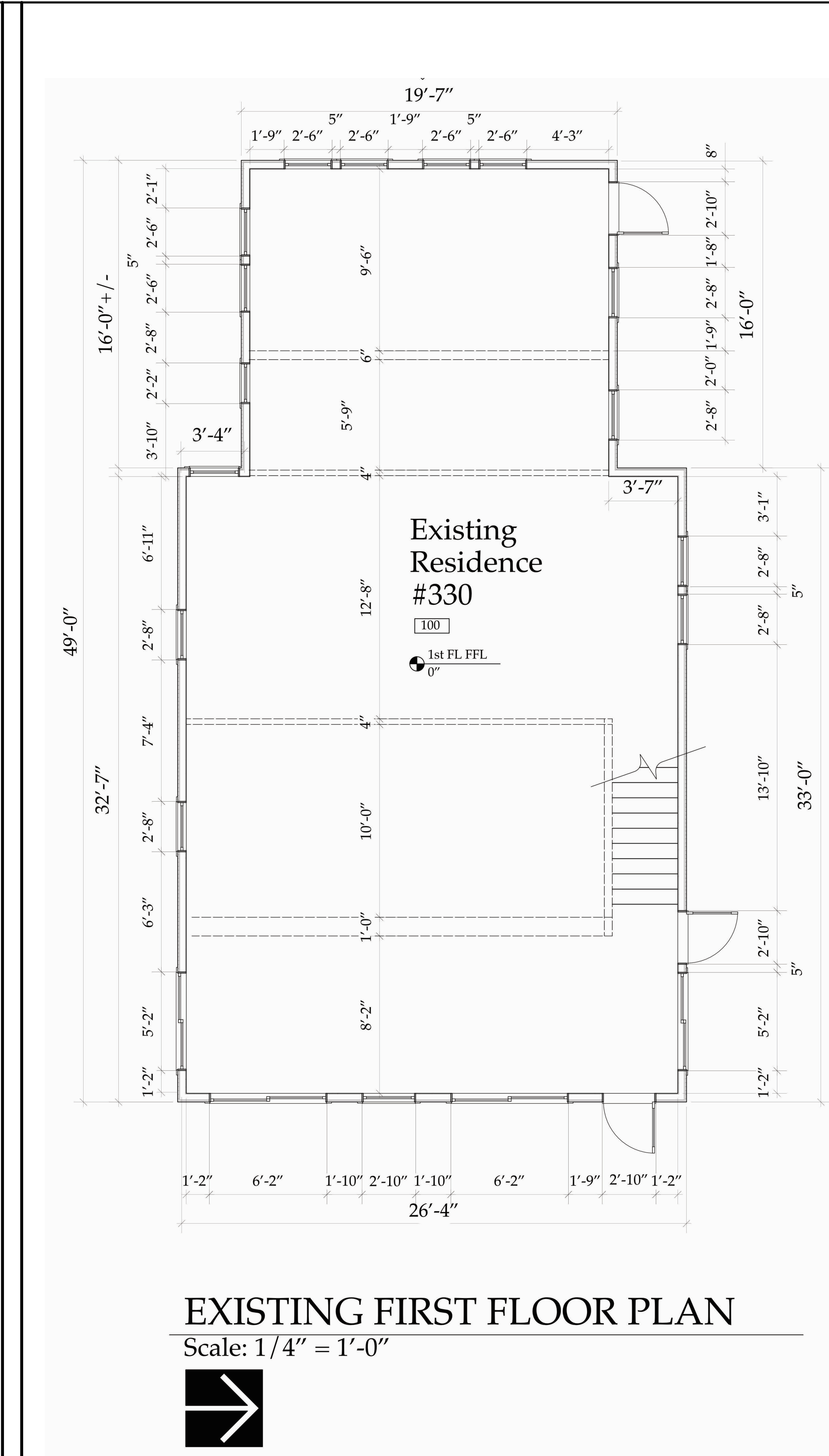
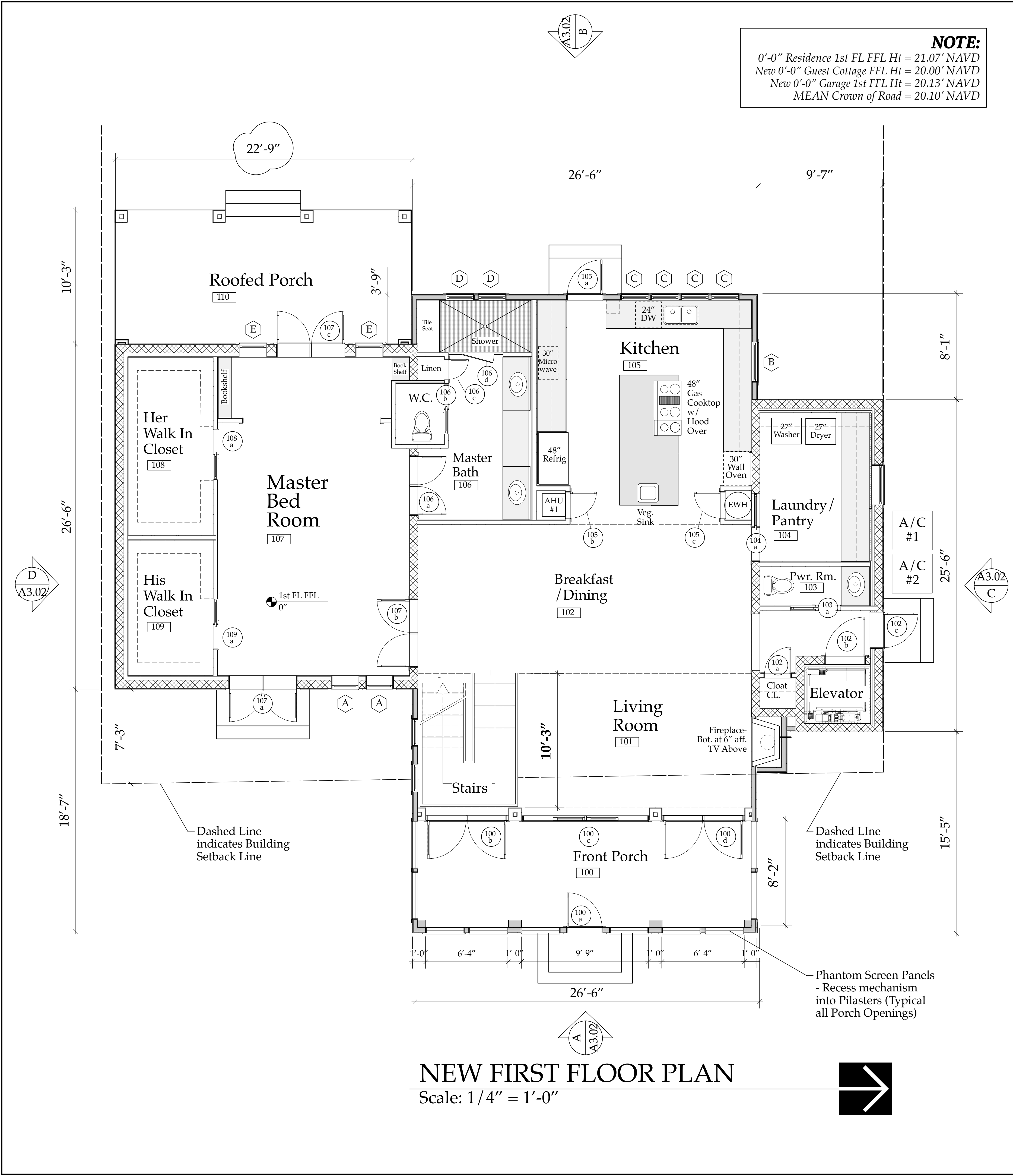
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CAD File Name: Jackson\_Reno\_ExtgBldg.dwg Total Sheets: 1 of 1



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**SLOAN ARCHITECTURE INTERIOR DESIGN**  
Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL 33483  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208

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**Derrickson Residence Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

Design Firm: Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant: Daniel Sloan, AR95577  
Date:

Project Title: Derrickson Residence Renovations & Additions  
330 NE 1st Avenue

Drawing Title: OLD & NEW FIRST FLOOR PLANS- of Main Residence

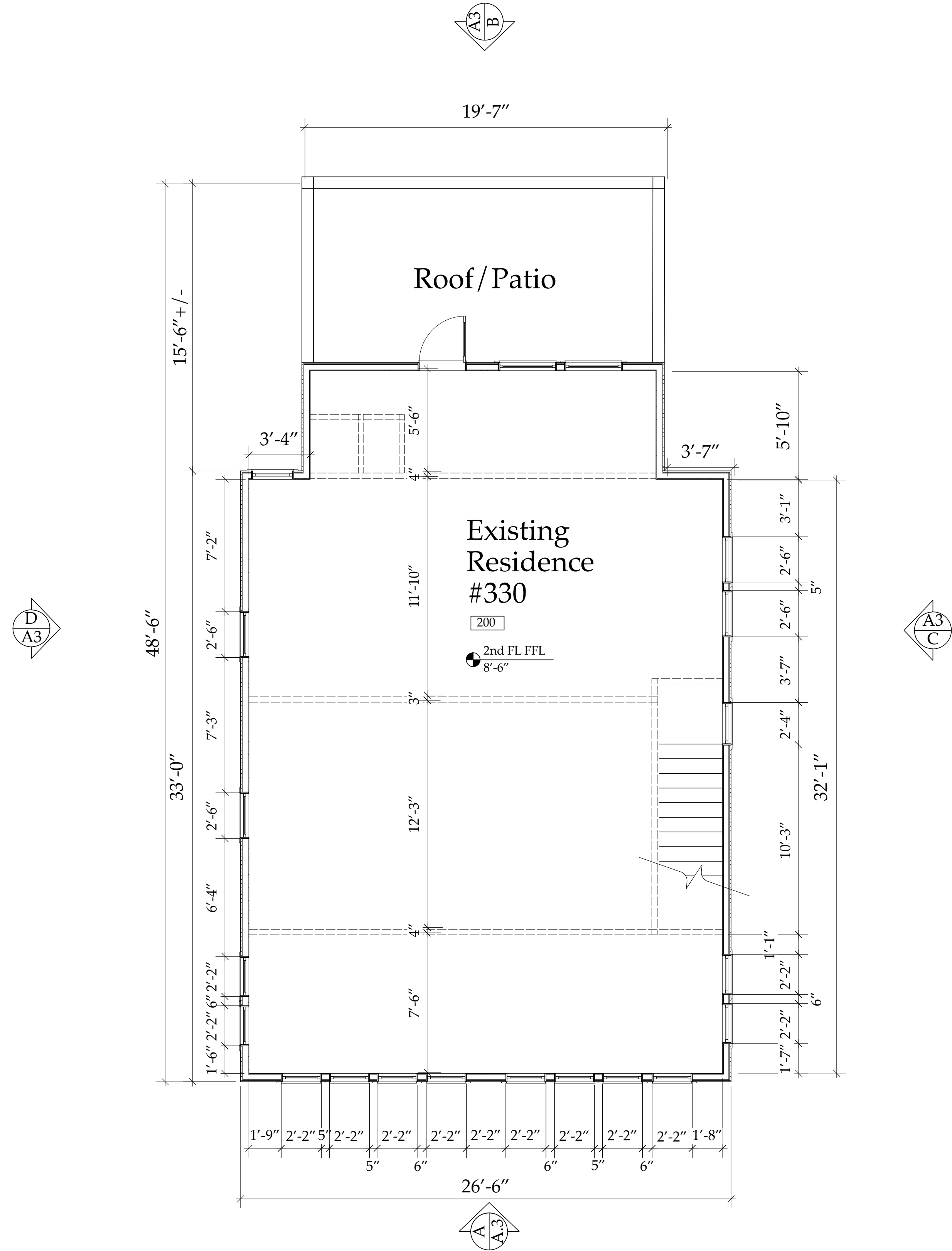
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D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

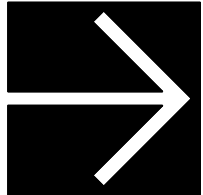
Reviewed By	Drawing No.
D. Sloan	A2.02_coa

Date: 10/18/2021  
CAD File Name: Derrickson\_Reno\_ExtgBldg.rvt

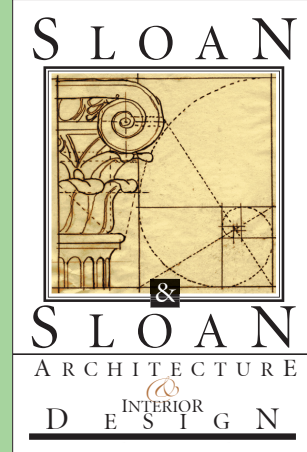
of  
Total Sheets



EXISTING SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



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**Derrickson Residence  
Renovations & Additions**

No.	Date	Issue Notes
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

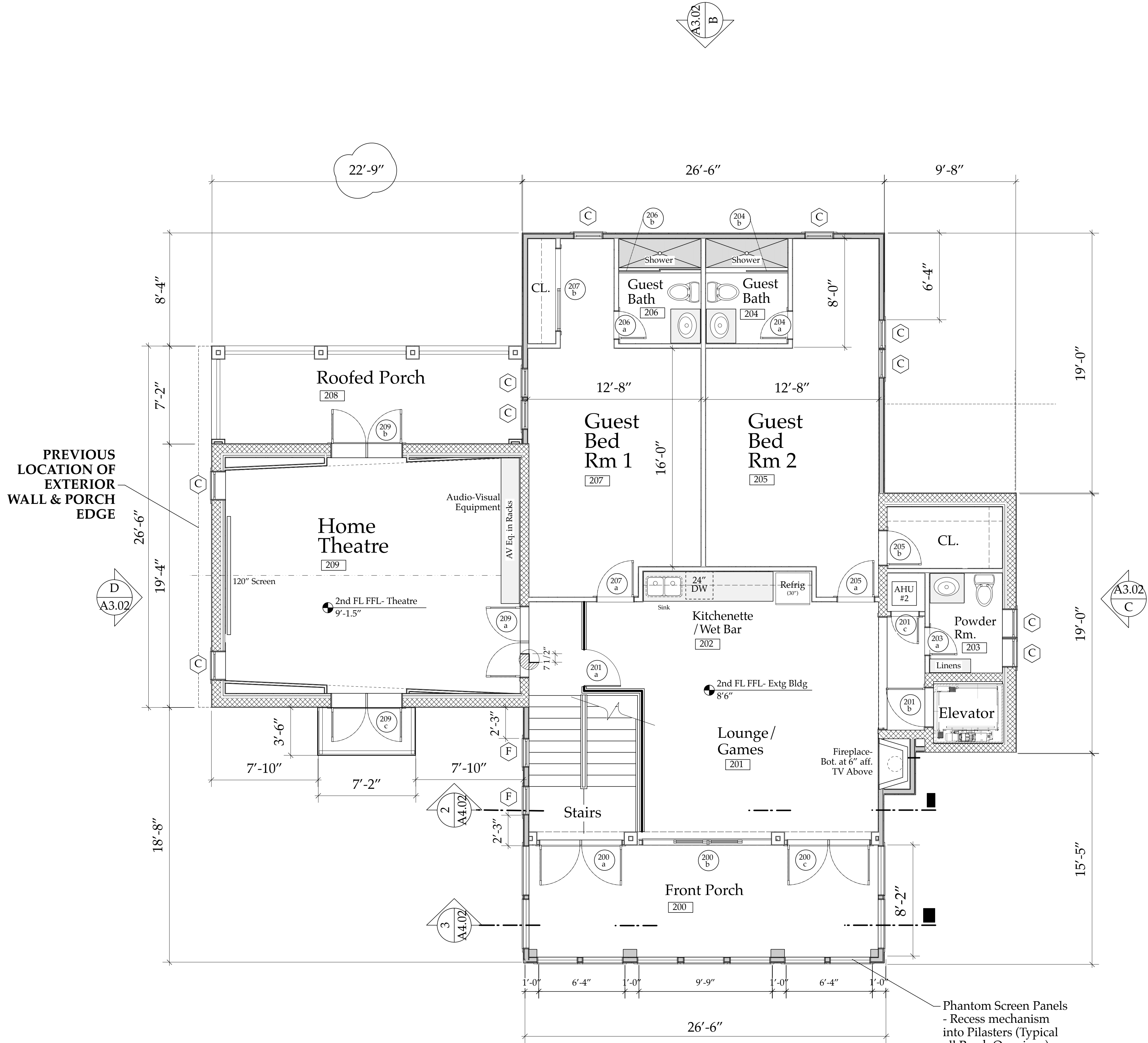
Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
EXTG SECOND FLOOR PLAN-  
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.03
Date 6/16/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	

Extg 2nd Floor Plan  
A2.03



NEW SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

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Derrickson Residence  
Renovations & Additions

A	5/16/09	Issue Note
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No.	Date	Issue Notes
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Daniel Sloan, AR95577  
Date:

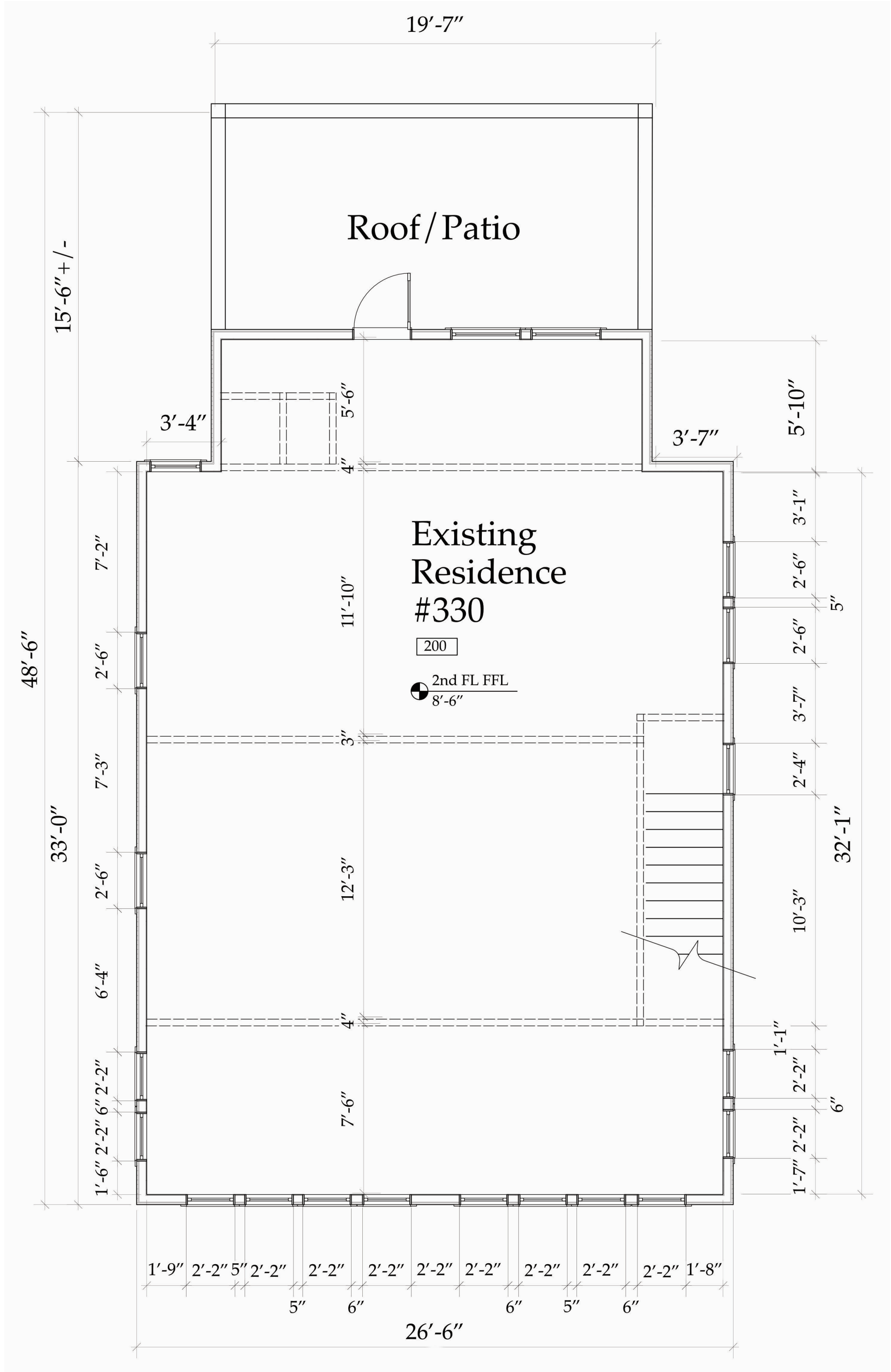
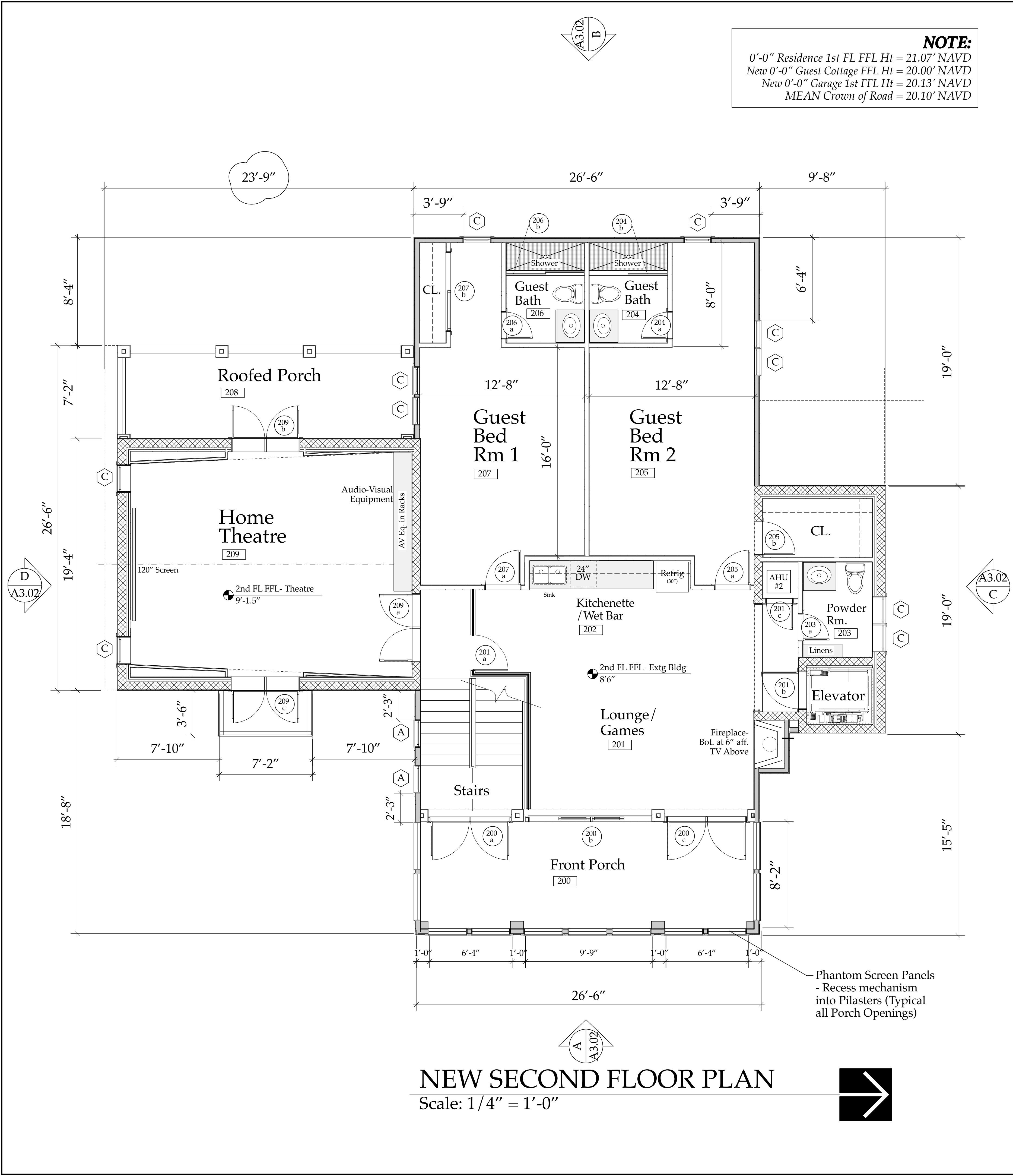
Design Firm  
Sloan & Sloan- Architecture + I.D.  
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Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
NEW SECOND FLOOR PLAN-  
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.04
Date 10/18/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	



Existing & New  
2ndFloor Plans-  
MAIN RESIDENCE  
A2.04coa

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**Derrickson Residence Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

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Sloan & Sloan- Architecture + I.D.  
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Consultant

Project Title  
Derrickson Residence Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
EXTG & NEW S2nd FLOOR PLANS- of Main Residence

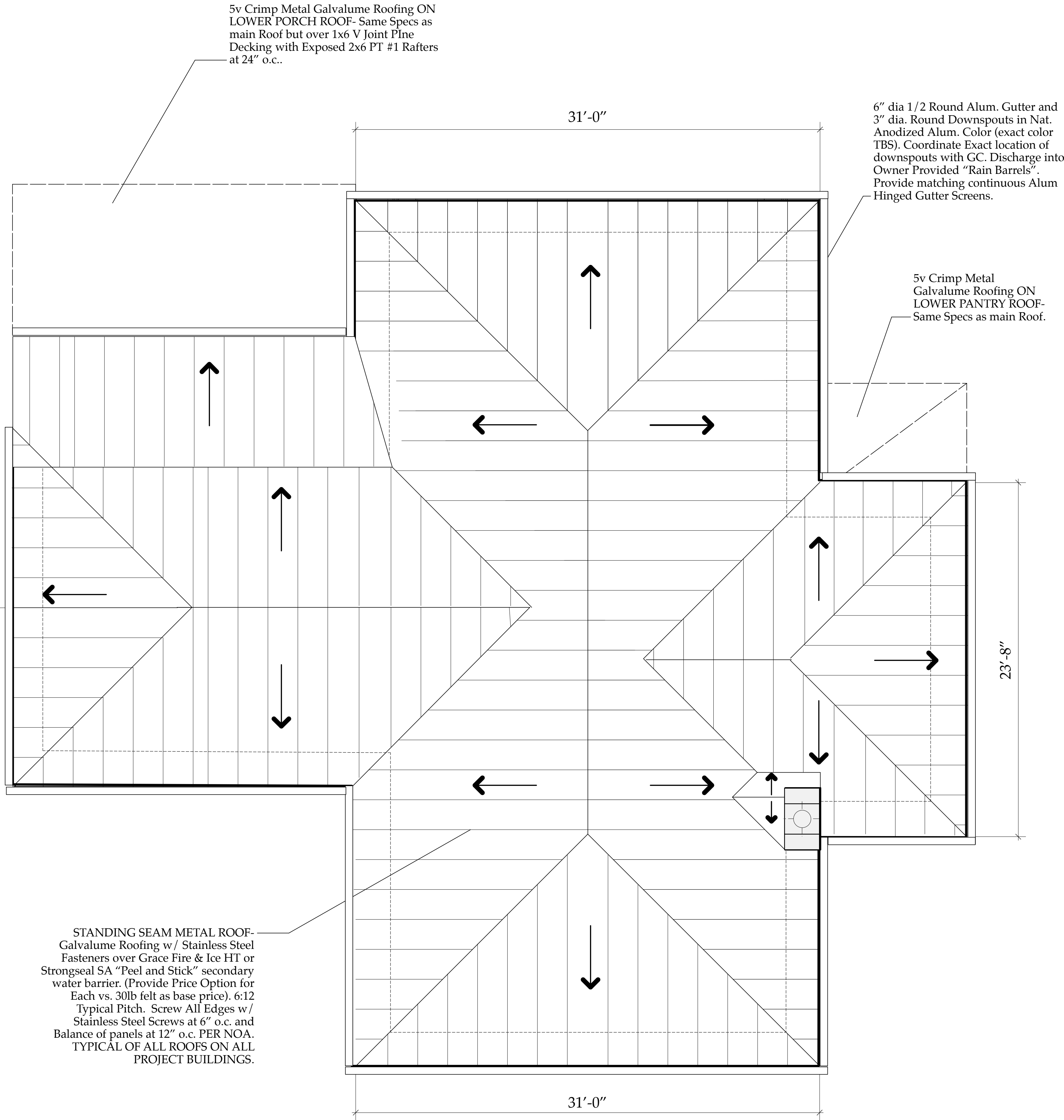
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.04coa

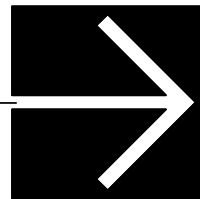
Date	of
10/18/2021	Total Sheets

CAD File Name  
Derrickson\_Reno\_ExtgBldg.rvt



NEW STANDING SEAM  
METAL ROOF :: Galvalume  
(Natural Silver Color)

NEW ROOF PLAN  
Scale: 1/4" = 1'-0"



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**Derrickson Residence**  
Renovations & Additions

No.	Date	Issue Note
Daniel Sloan, AR95577 Date: _____		

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Delray Bch, FL 33483  
(561) 243-8755

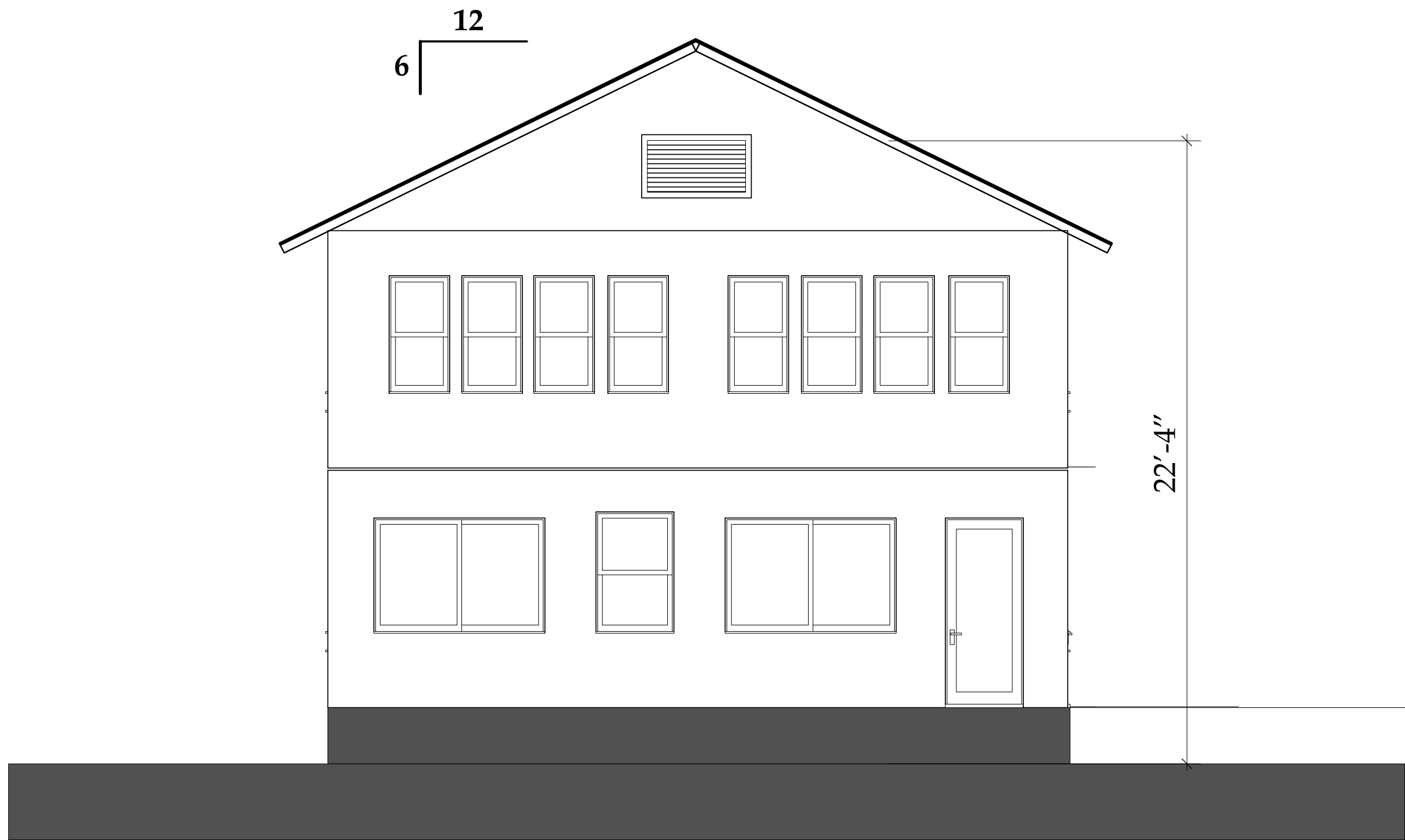
Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

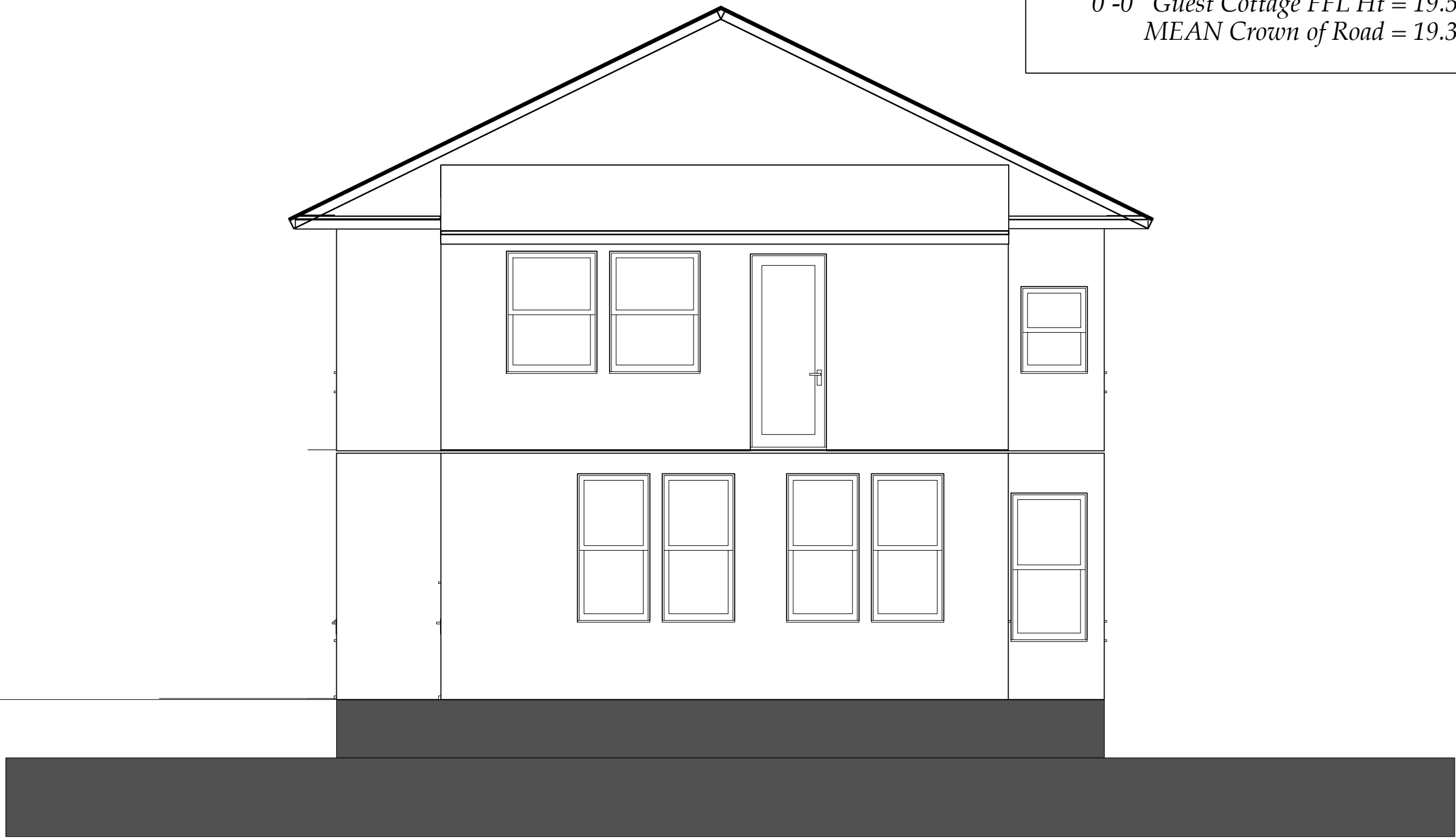
Drawing Title  
NEW ROOF PLAN-  
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.05
Date 10/18/2021	of _____ Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	

HIP Roof Option  
New Roof Plan for  
Main House  
A2.05



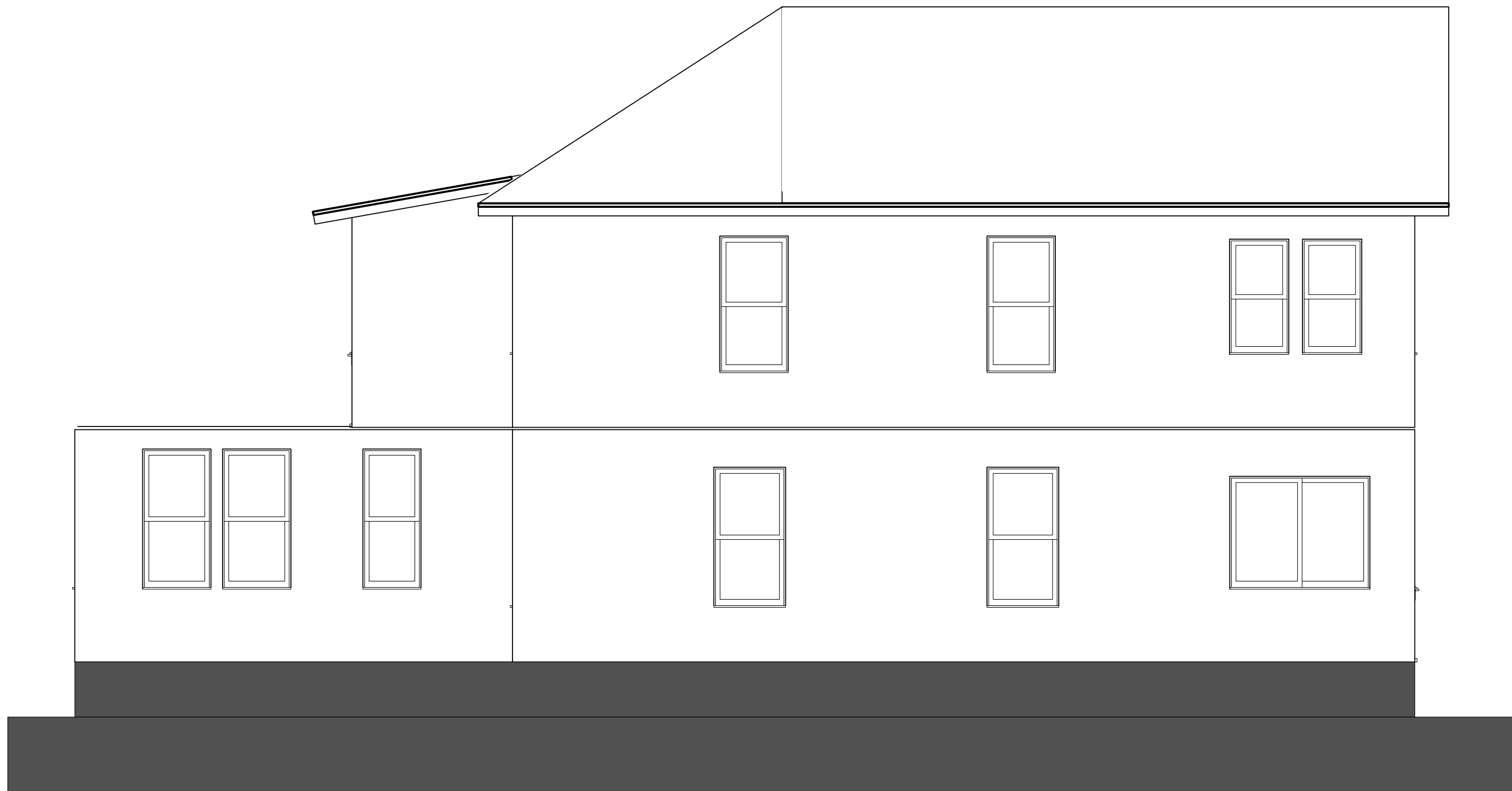
**A** EXISTING EAST ELEVATION  
A.3.01 Scale: 1/4" = 1'-0"



**B** EXISTING WEST ELEVATION  
A.3.01 Scale: 1/4" = 1'-0"



**C** EXISTING NORTH ELEVATION  
A.3.01 Scale: 1/4" = 1'-0"



**D** EXISTING SOUTH ELEVATION  
A.3.01 Scale: 1/4" = 1'-0"

Existing East &  
West, North &  
South Elevations  
A3.01

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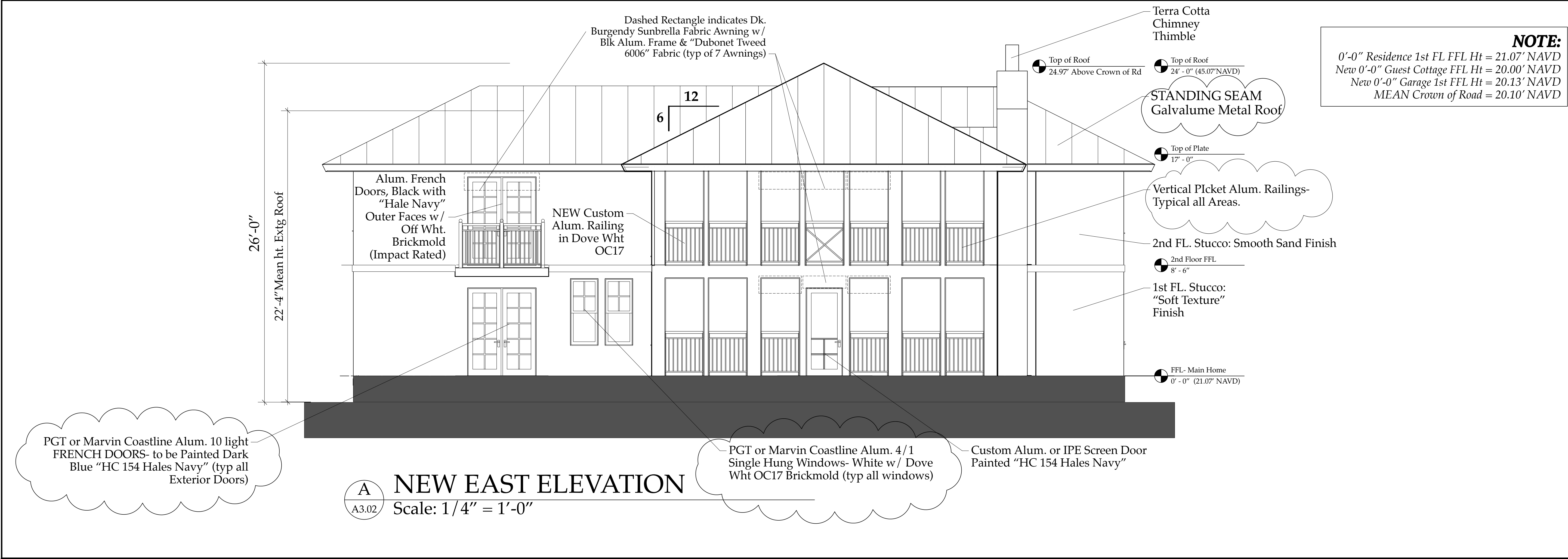
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No.	Date	Appr	Revision Notes
1	3/21/21		Field Verify Window, Door Sizes & Roof Slope
2	xx/2021		Issued for Permitting

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Derrickson Residence Renovations & Additions		
A	5/16/09	Issue Note
No.	Date	Issue Notes
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant		
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title EXISTING E&W ELEVATIONS of Main Residence		
Project Manager D. Sloan	Project ID Derrickson Residence Project	
Drawn By D. Sloan	Scale 1/4" = 1'-0"	
Reviewed By D. Sloan	Drawing No. A3.01	
Date 6/16/2021		
CAD File Name Derrickson_Reno_ExtgBldg.rvt		



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**Derrickson Residence**  
Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
NEW EAST & WEST ELEVATIONS  
of Main Residence

Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	1/4" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	A.3.02

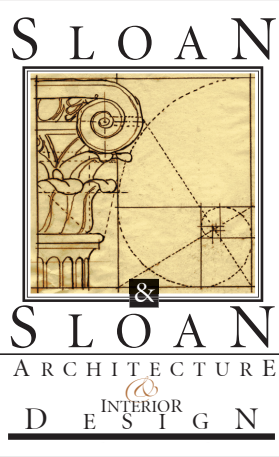
Date	of
10/18/2021	Total Sheets

CAD File Name  
Derrickson\_Reno\_ExtgBldg.rvt

NEW East & West Elevations-  
MAIN HOUSE  
A3.02

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

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**Derrickson Residence**  
Renovations & Additions

No.	Date	Issue Notes

Daniel Sloan, AR95577  
Date: \_\_\_\_\_

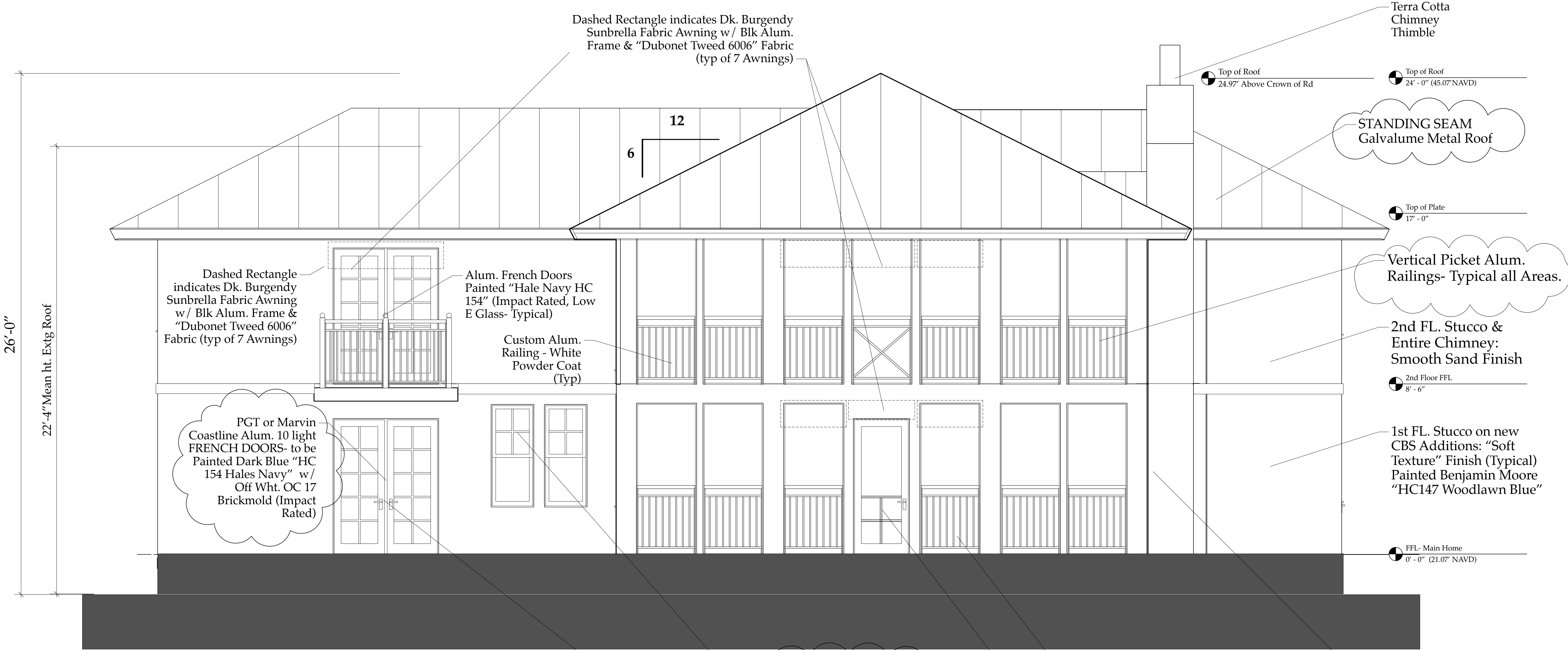
Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

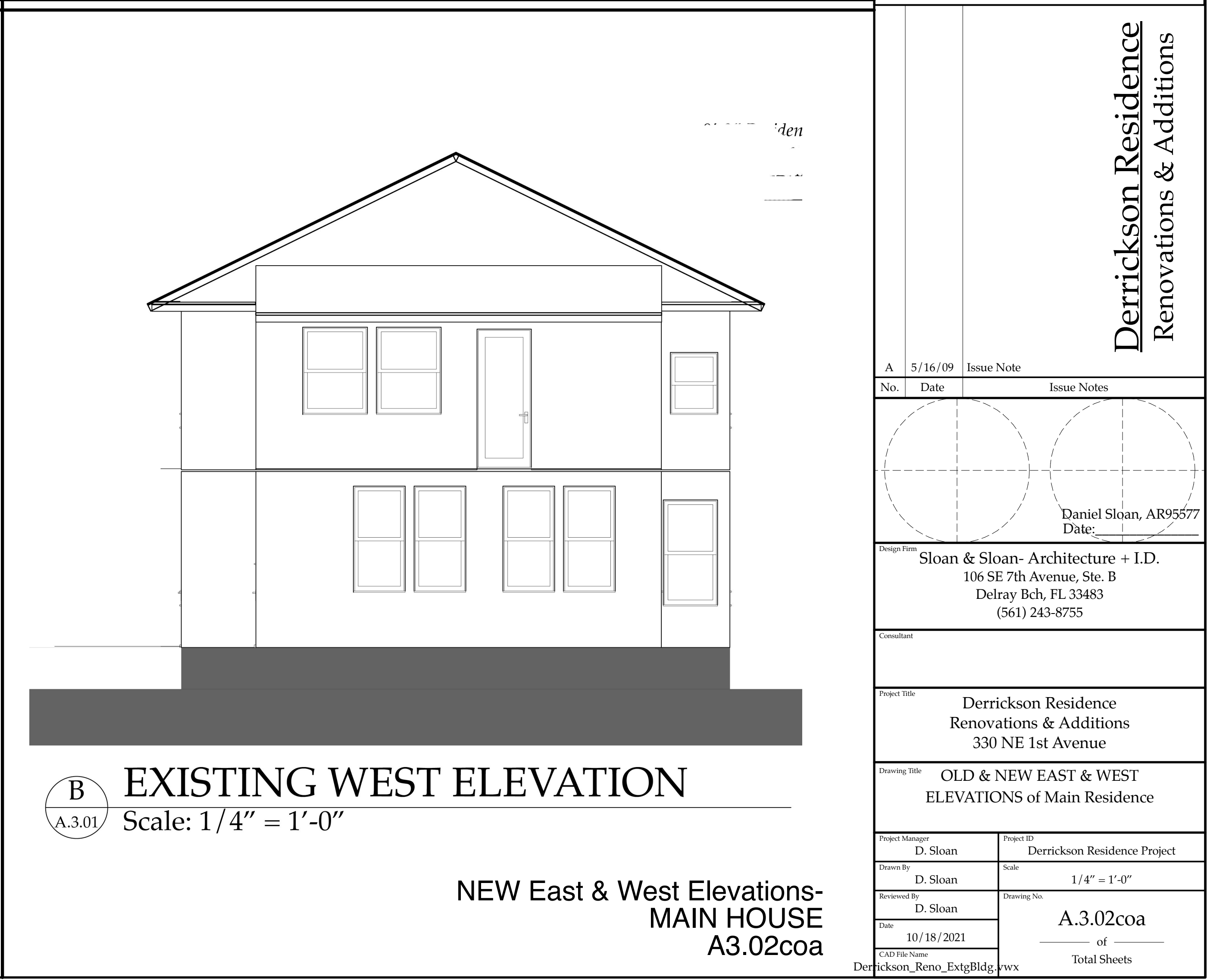
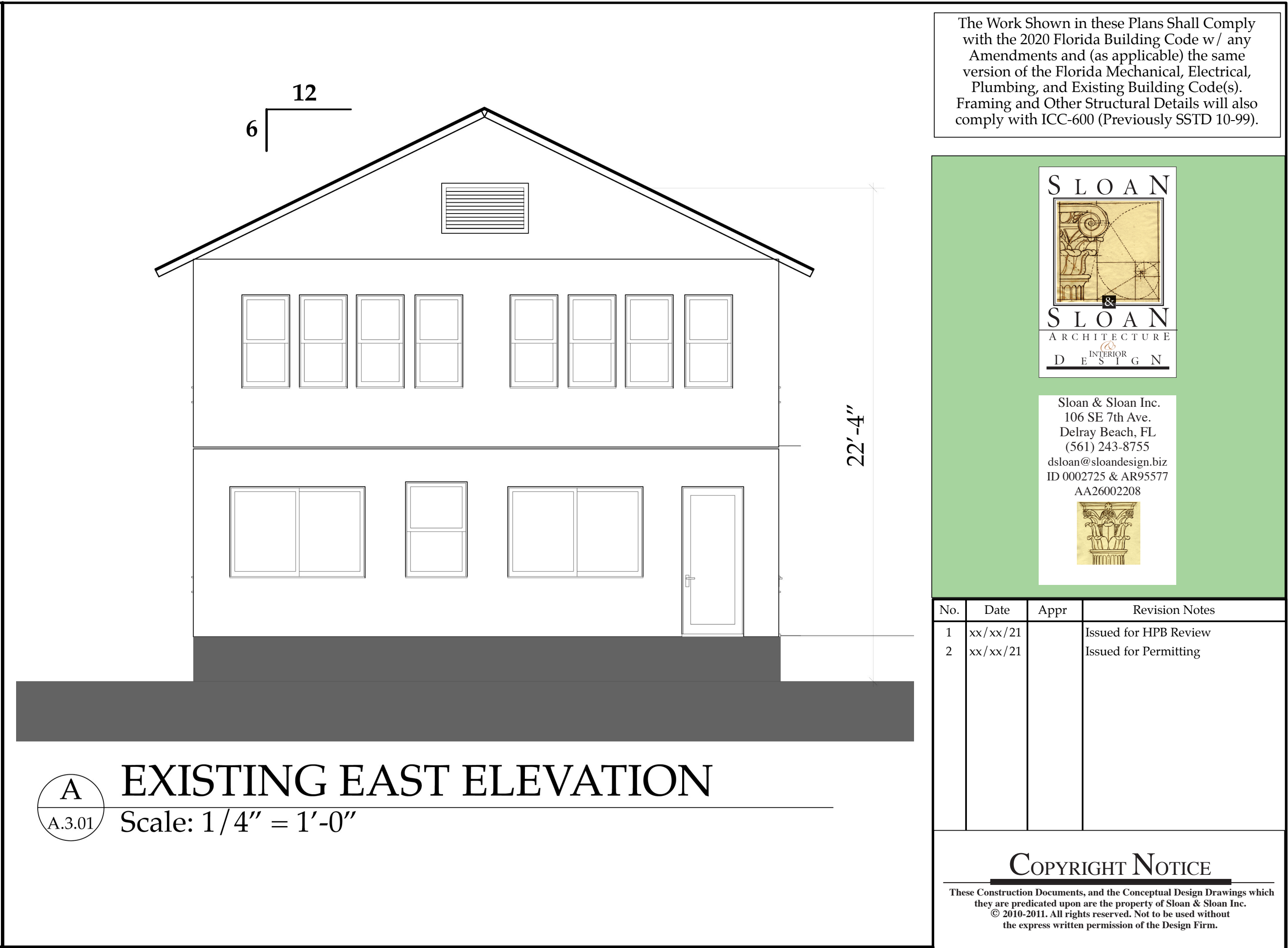
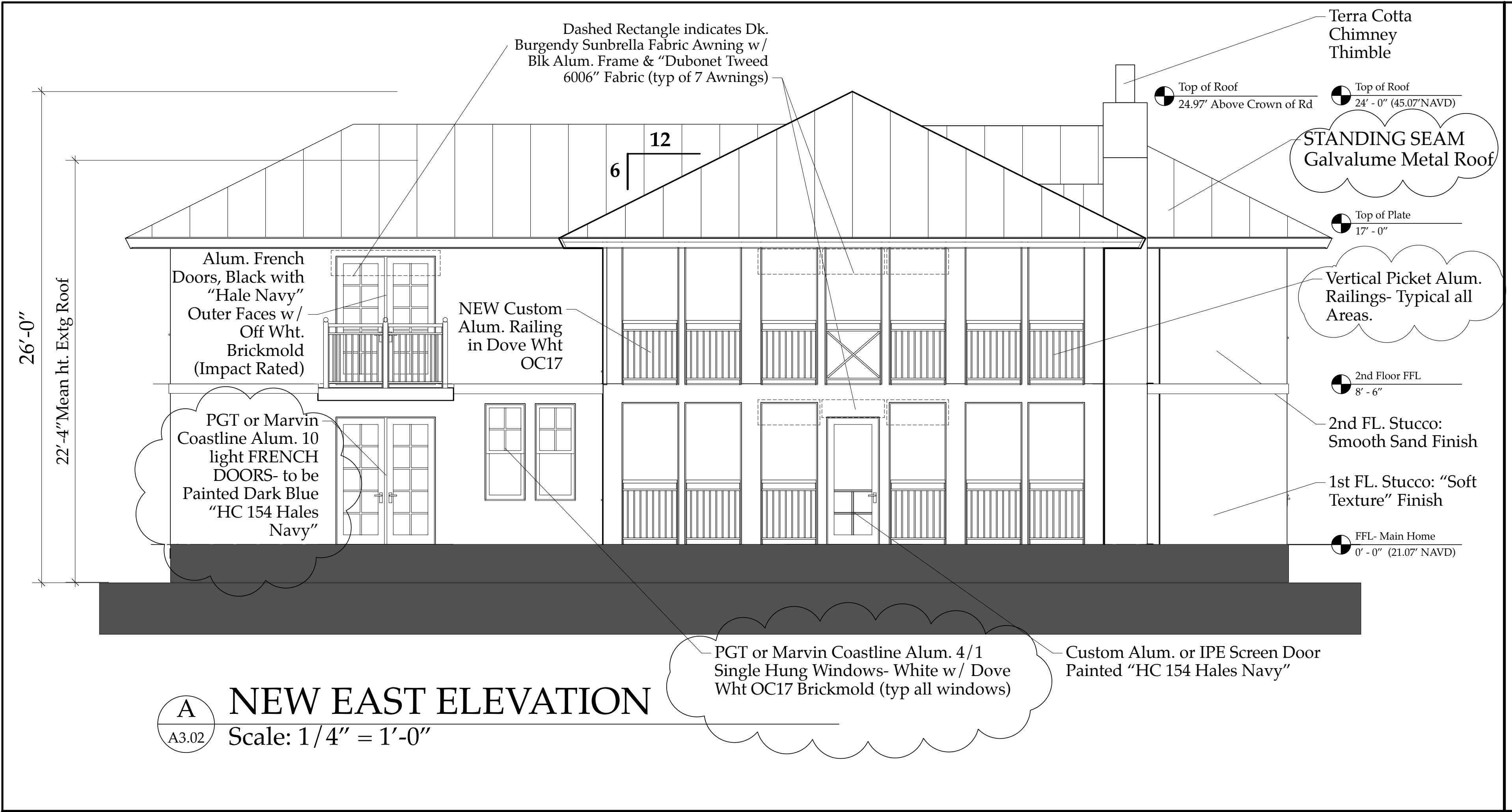
Drawing Title  
NEW Notated EAST ELEVATION  
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.02B
Date 10/18/2021	____ of ____ Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvx	



**A NEW EAST ELEVATION**  
Scale: 3/8" = 1'-0"

**NEW Notated East  
Elevation  
A3.02b**



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**Derrickson Residence  
Renovations & Additions**

A 5/16/09 Issue Note

No.	Date	Issue Notes

Daniel Sloan, AR95577  
Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

Drawing Title  
OLD & NEW EAST & WEST  
ELEVATIONS of Main Residence

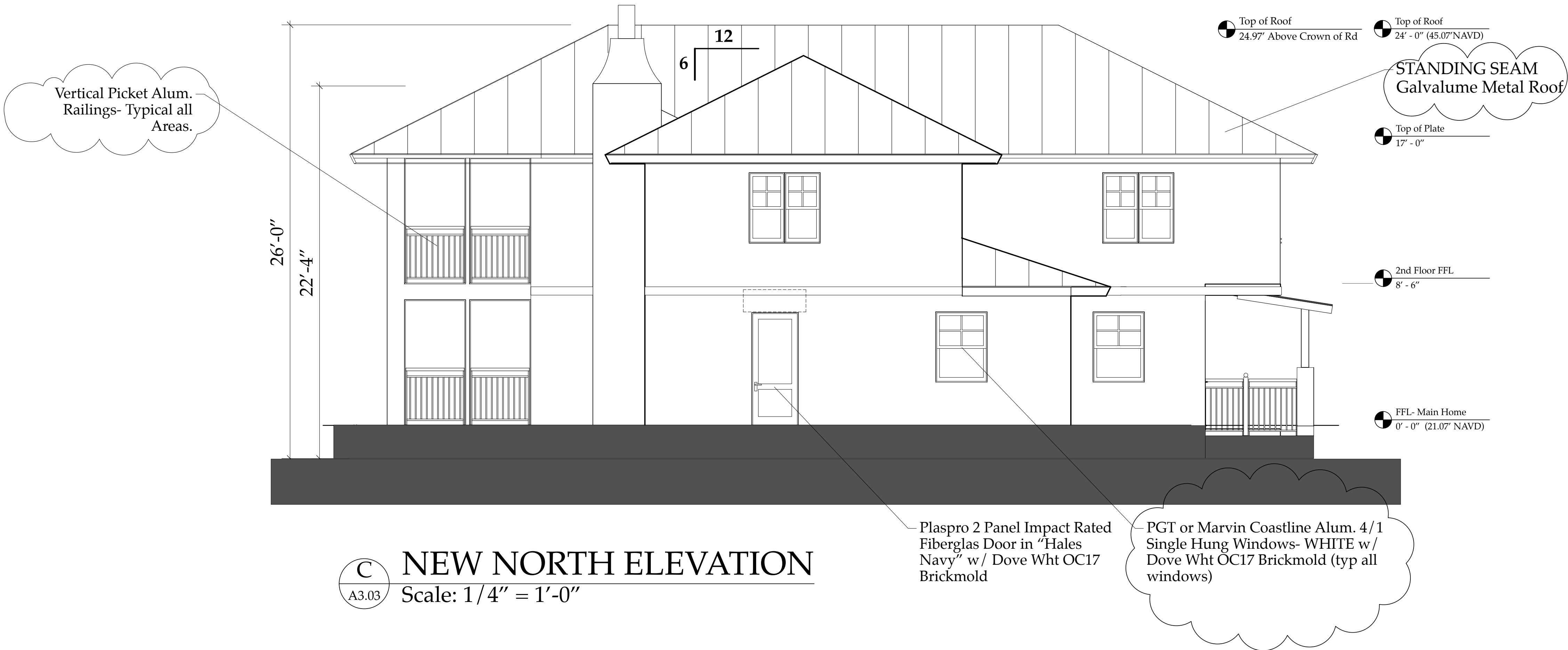
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	1/4" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	A.3.02coa

Date	of
10/18/2021	Total Sheets

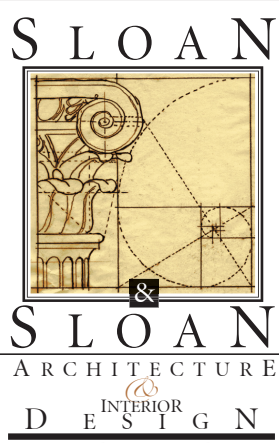
CAD File Name  
Derrickson\_Reno\_ExtgBldg.rvt



C NEW NORTH ELEVATION  
A3.03 Scale: 1/4" = 1'-0"

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

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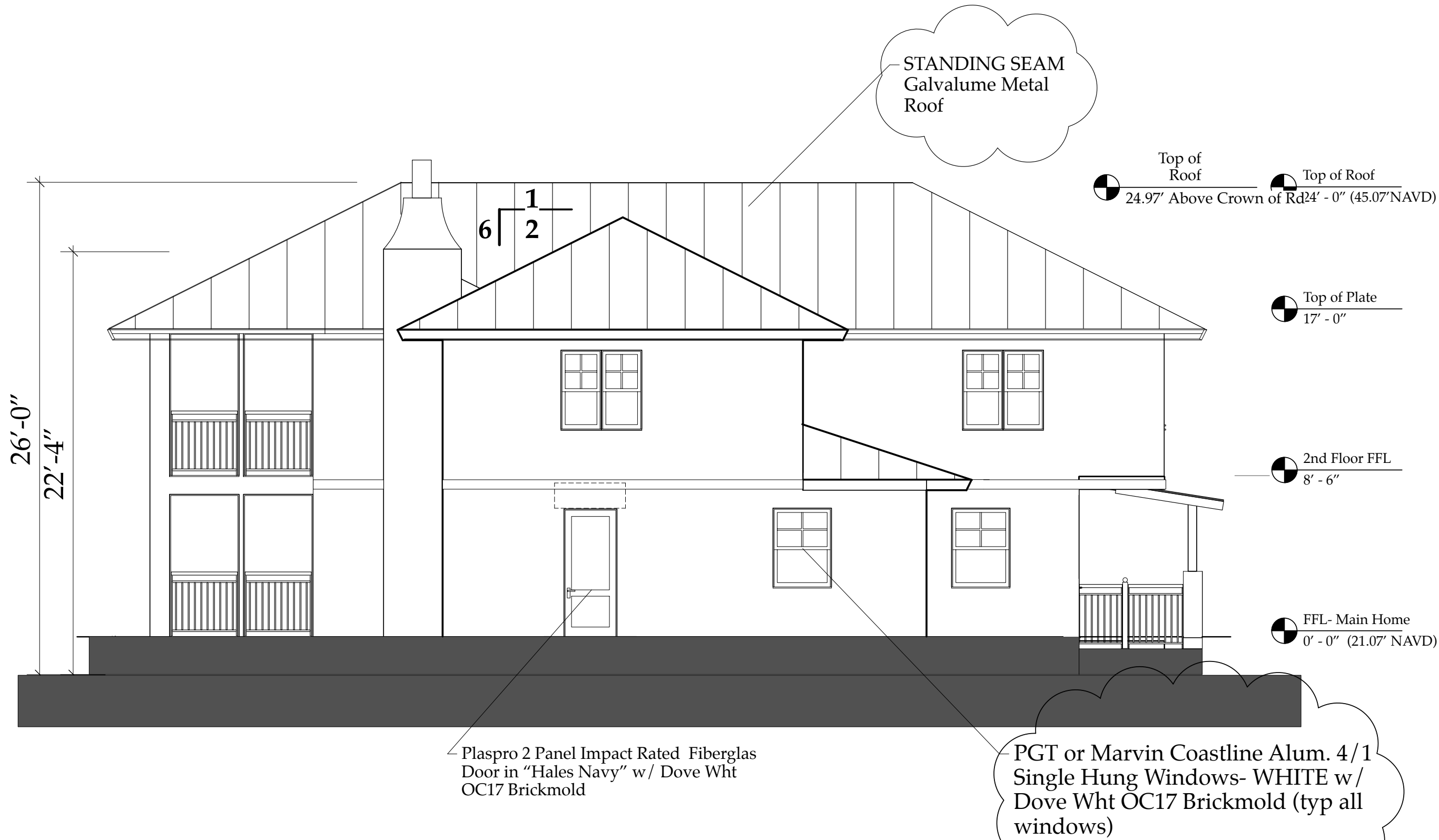


D NEW SOUTH ELEVATION  
A3.03 Scale: 1/4" = 1'-0"

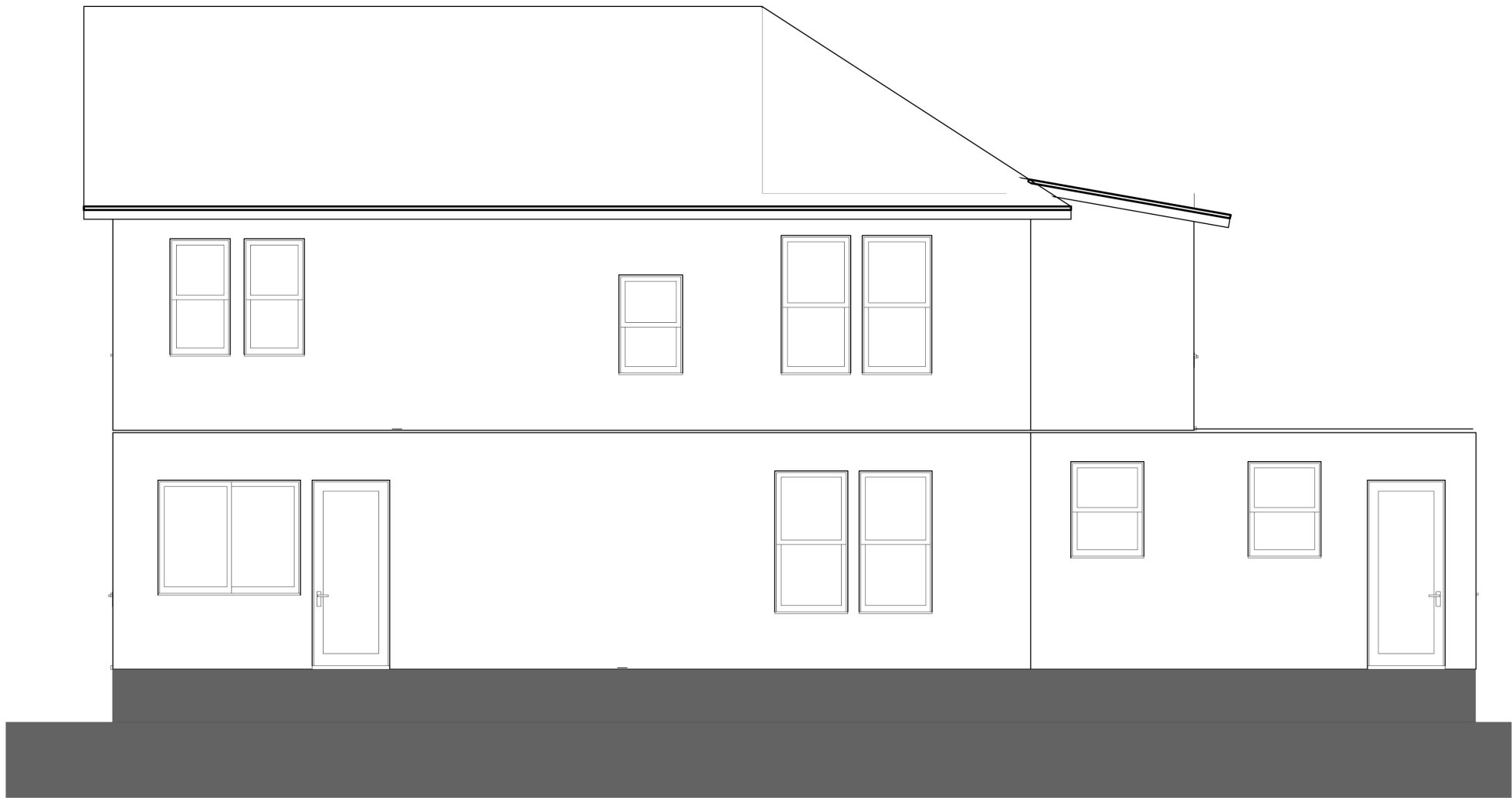
NEW North & South Elevations-  
MAIN HOUSE  
A3.03

Derrickson Residence  
Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant		
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue	
Drawing Title	NEW NORTH & SOUTH ELEVATIONS of Main Residence	
Project Manager	D. Sloan	Project ID Derrickson Residence Project
Drawn By	D. Sloan	Scale 1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No. A.3.03
Date	10/18/2021	of Total Sheets
CAD File Name	Derrickson_Reno_ExtgBldg.rvt	



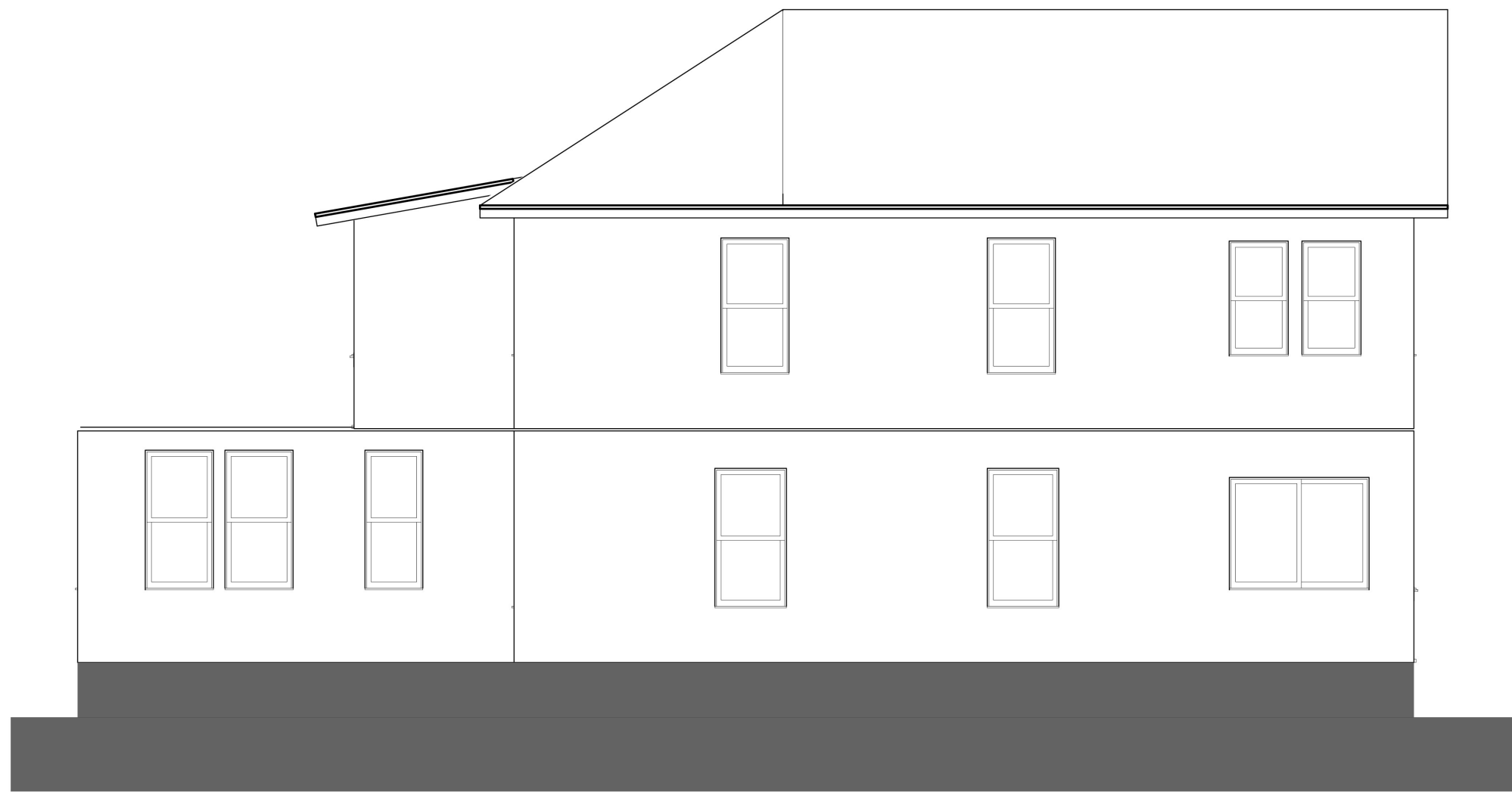
**C** NEW NORTH ELEVATION  
A3.03 Scale: 3/16" = 1'-0"



**C** EXISTING NORTH ELEVATION  
A.3.01 Scale: 3/16" = 1'-0"



**D** NEW SOUTH ELEVATION  
A3.03 Scale: 3/16" = 1'-0"



**D** EXISTING SOUTH ELEVATION  
A.3.01 Scale: 1/4" = 1'-0"

OLD & NEW North & South Elevations-  
MAIN HOUSE  
A3.03coa

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**Derrickson Residence**  
Renovations & Additions

No.	Date	Issue Note
Daniel Sloan, AR95577 Date:		

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue

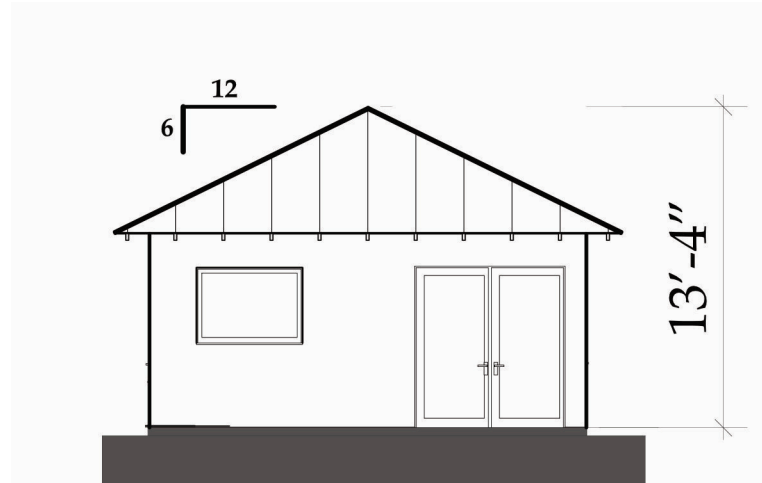
Drawing Title  
NEW NORTH & SOUTH  
ELEVATIONS of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A.3.03 coa
Date 10/18/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvx	

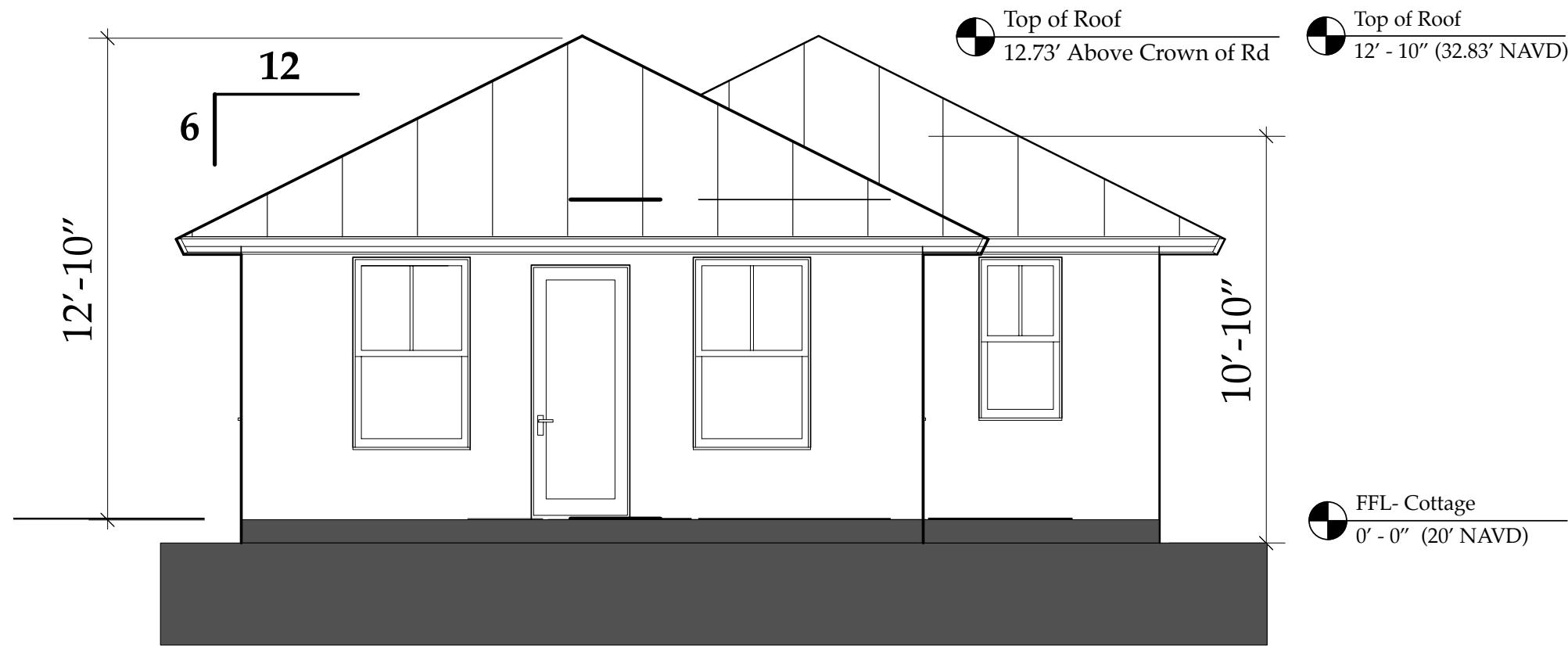


**A NEW EAST ELEV- GARAGE**  
Scale: 1/4" = 1'-0"

**NOTE:** Roofing, Stucco Texture & Color, Windows Color & Spec, Doors, All to Match MAIN RESIDENCE (Except Windows are 2/1 as shown)



**EAST ELEVATION**  
Scale: 1/8" = 1'-0"  
(Existing Cottage Elevation)



**A NEW EAST ELEV- COTTAGE**  
Scale: 1/4" = 1'-0"

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).

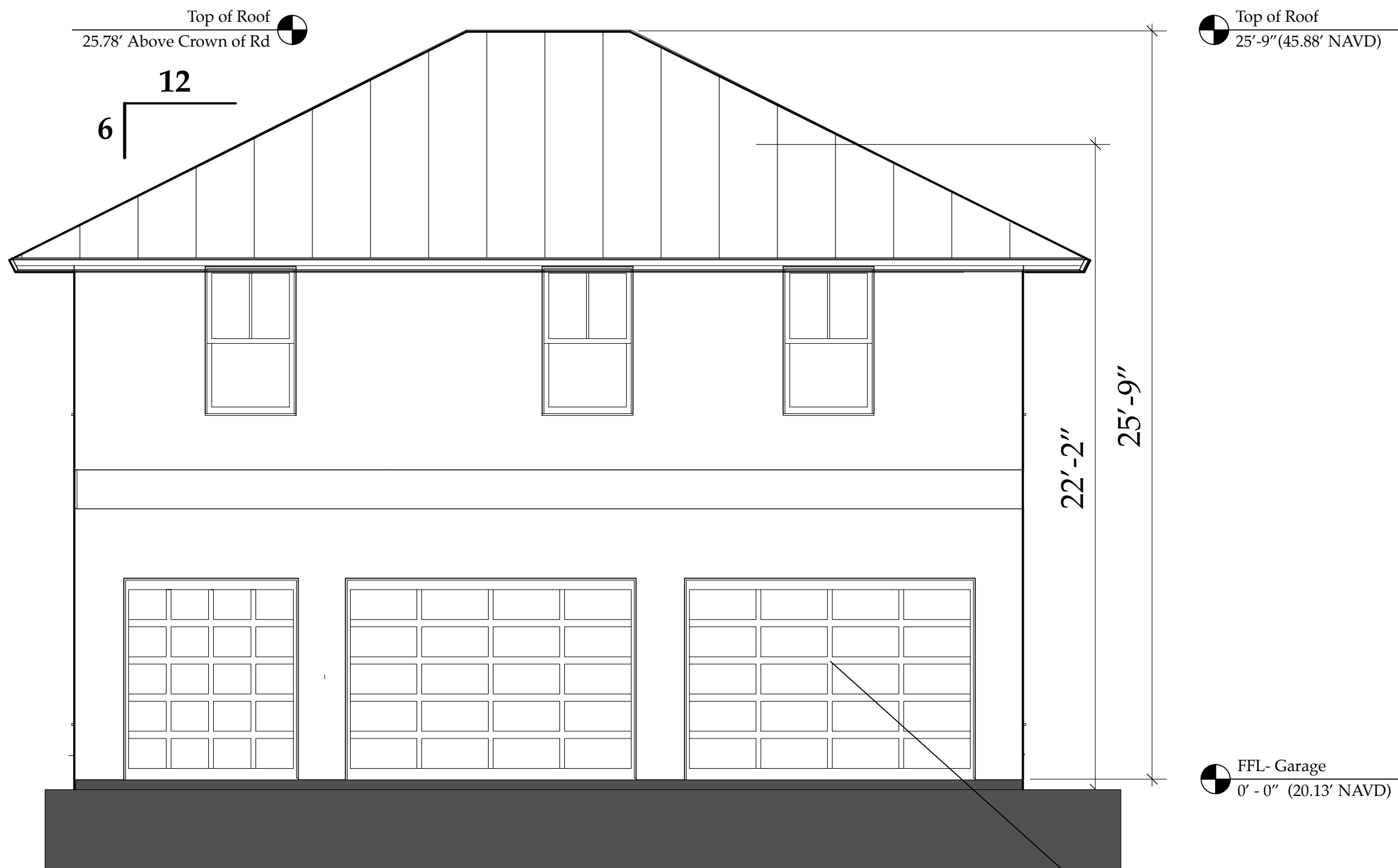


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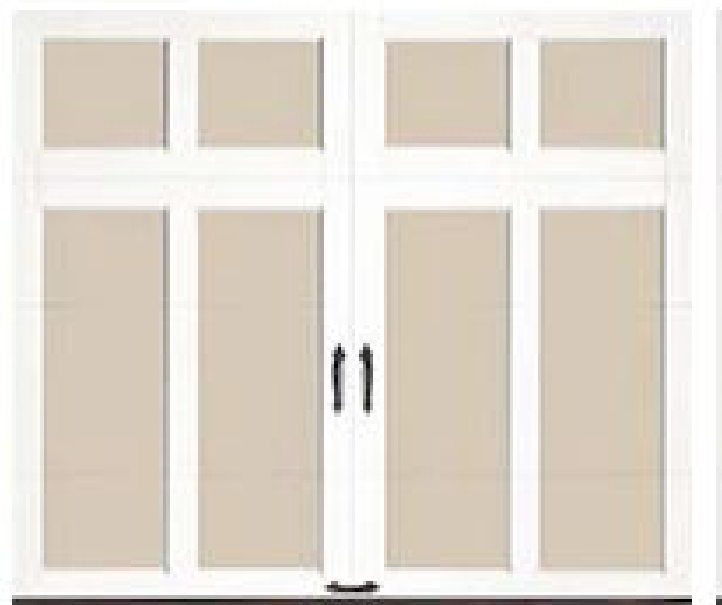
No.	Date	Appr	Revision Notes
1	xx/xx/21		Issued for HPB Review
2	xx/xx/xx		Issued for Permitting

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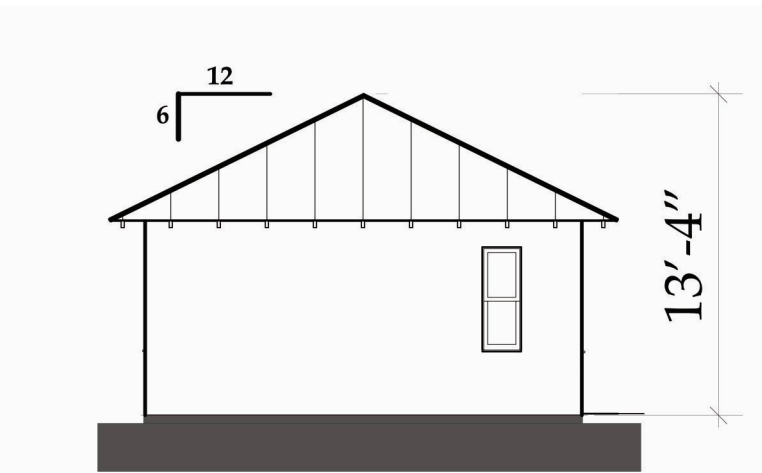


**B NEW WEST ELEV- GARAGE**  
Scale: 1/4" = 1'-0"

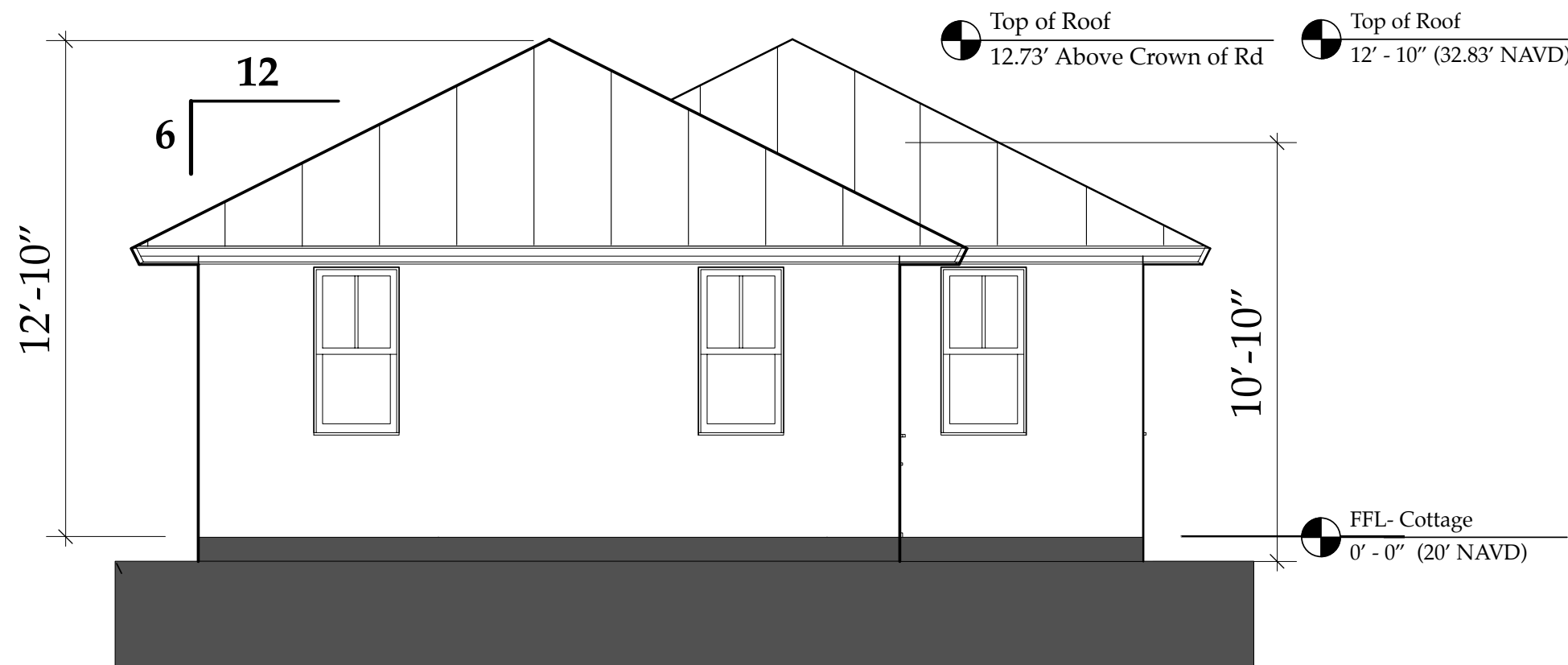
Garage Doors: Clopay "Coachman" style with Dove Wht OC17 panels & Bright White 01 Trim. Brickmold & Returns to be Dove White OC17. SEE PHOTO THIS PAGE FOR PANEL STYLE. (typ of 3)



**DESIGN 12**  
(Actual Garage Door Style)



**B WEST ELEVATION**  
Scale: 1/8" = 1'-0"  
(Existing Cottage Elevation)

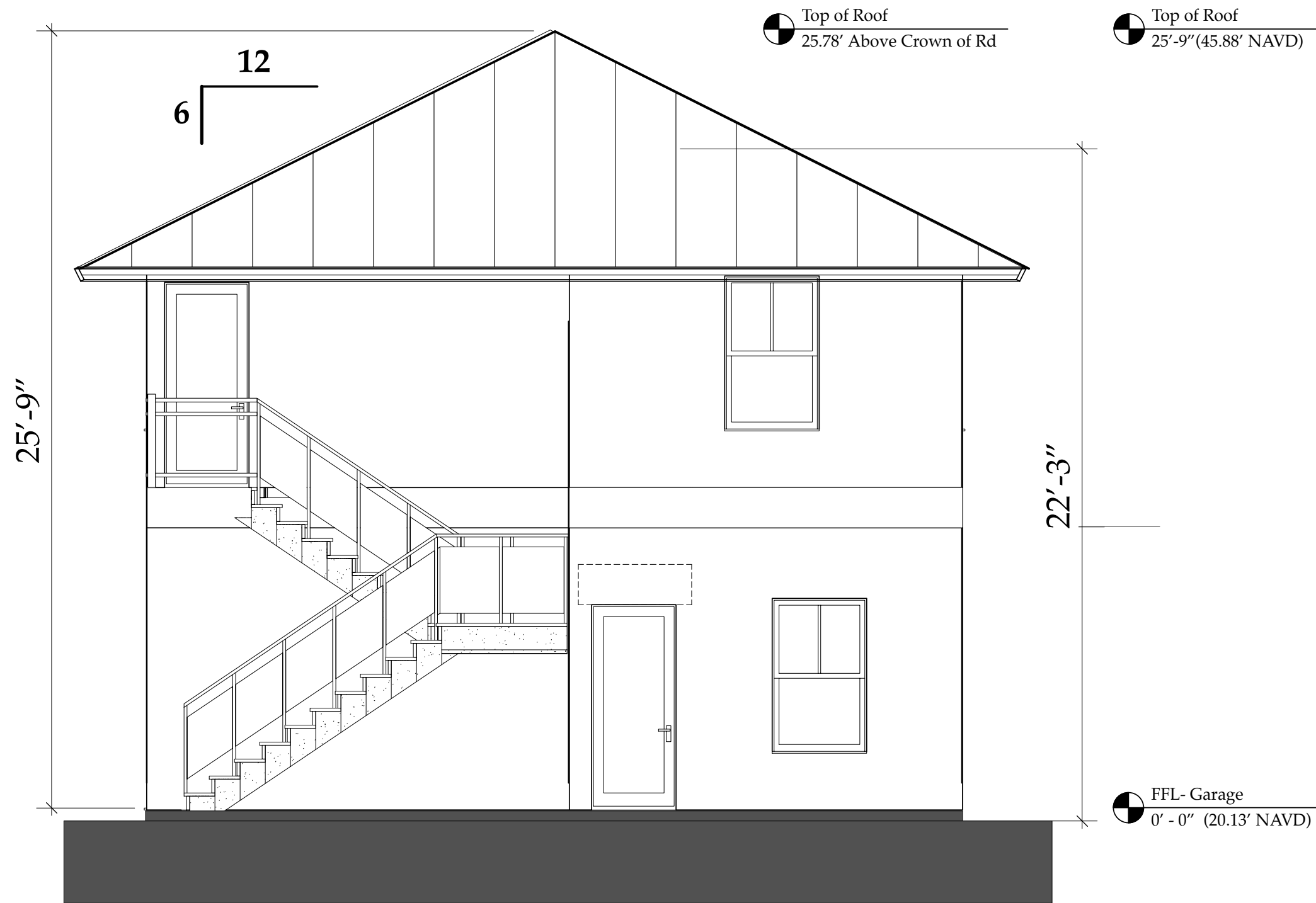


**B NEW WEST ELEV- COTTAGE**  
Scale: 1/4" = 1'-0"

**NEW East & West Elevations- OUTBUILDINGS**  
**A3.04**

**Derrickson Residence**  
Renovations & Additions

A	5/16/09	Issue Note	
No.	Date	Issue Notes	
			Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant			
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title	NEW EAST & WEST ELEVATIONS of Outbuildings (Garage & Guest Cottage)		
Project Manager	D. Sloan	Project ID	Derrickson Residence Project
Drawn By	D. Sloan	Scale	1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No.	A3.04
Date	10/18/2021		of
CAD File Name	Derrickson_Reno_ExtgBldg.rvx		Total Sheets



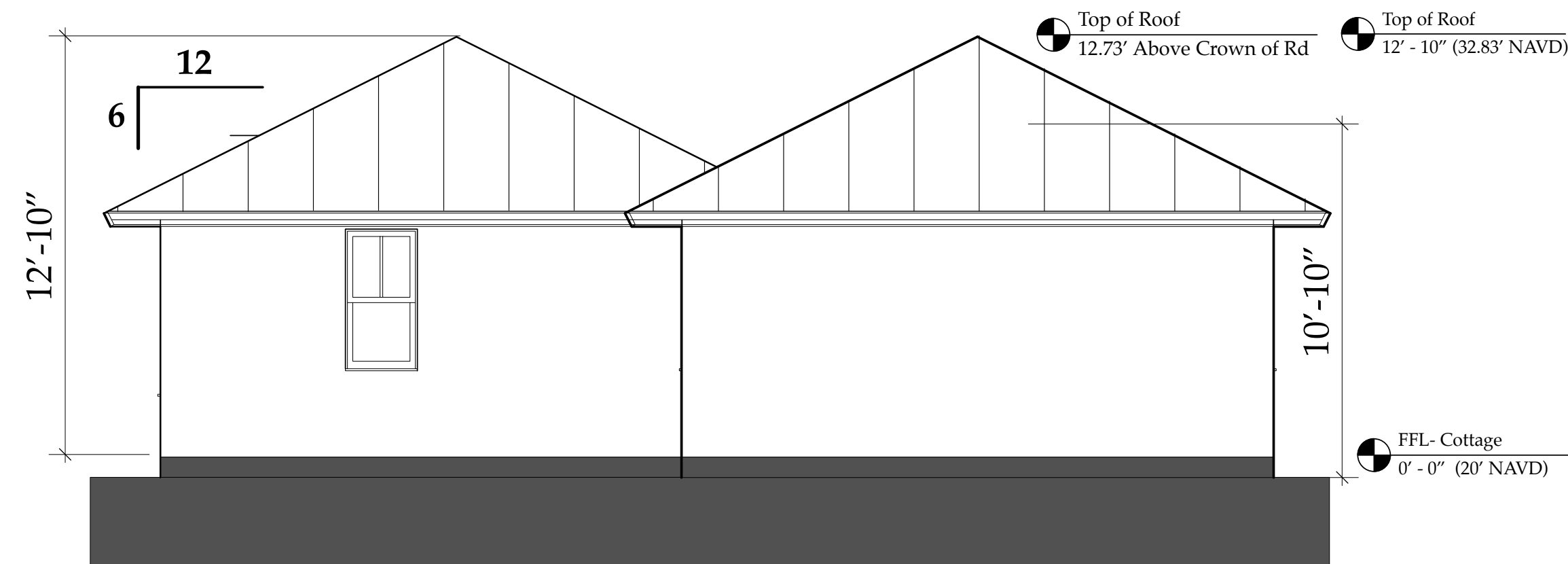
**NEW NO. ELEV - GARAGE/GYM**  
Scale: 1/4" = 1'-0"

**NOTE:** Roofing, Stucco Texture & Color, Windows Color & Spec, Doors, All to Match MAIN RESIDENCE (Except Windows are 2/1 as shown)



**SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"

(Existing Cottage Elevation)



**NEW NO. ELEV- COTTAGE**  
Scale: 1/4" = 1'-0"

**NOTE:**  
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD  
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD  
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD  
MEAN Crown of Road = 20.10' NAVD

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



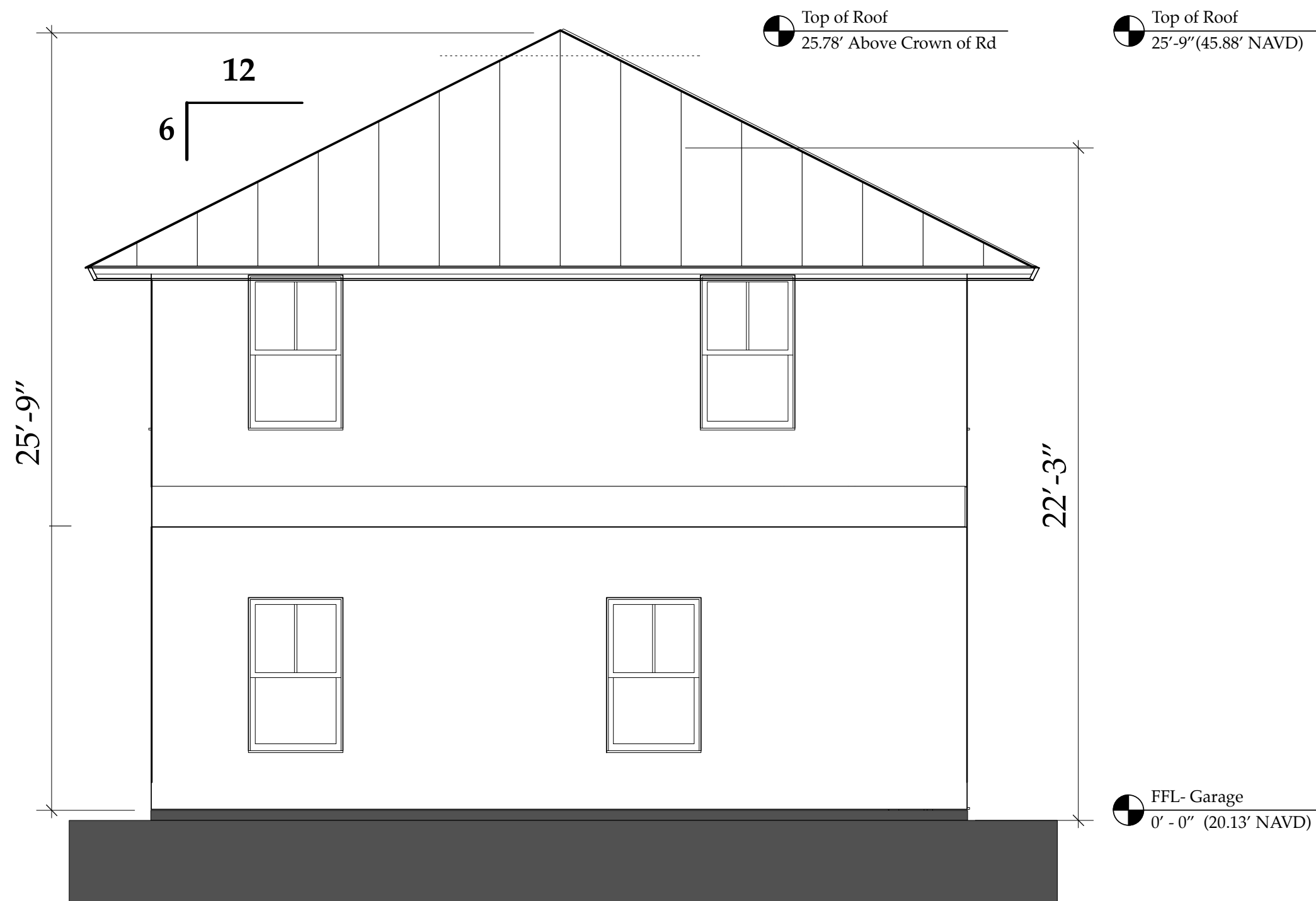
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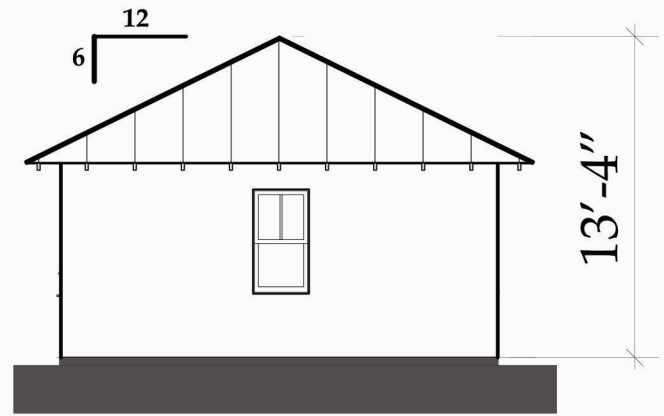
No.	Date	Appr	Revision Notes
1	xx/xx/21		Issued for HPB Review
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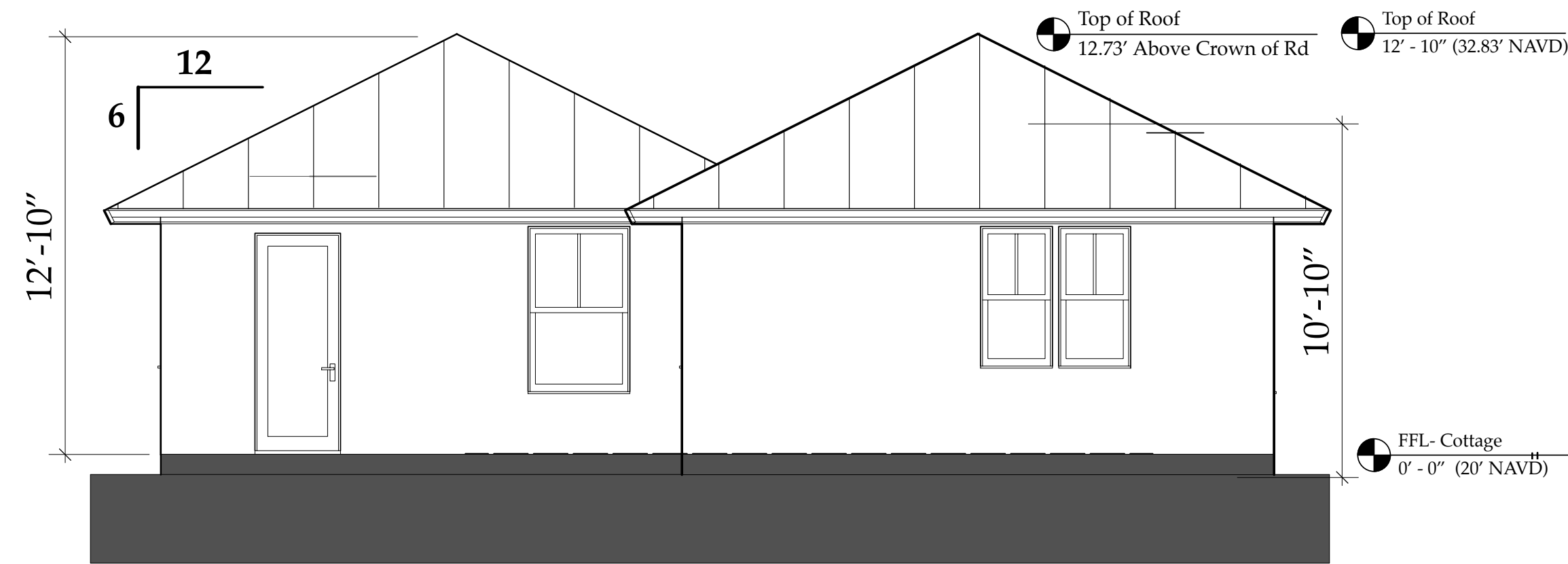


**NEW SO. ELEV - GARAGE/GYM**  
Scale: 1/4" = 1'-0"



**NORTH ELEVATION**  
Scale: 1/8" = 1'-0"

(Existing Cottage Elevation)



**NEW SO. ELEV- COTTAGE**  
Scale: 1/4" = 1'-0"

**NEW North & South Elevations-  
OUTBUILDINGS  
A3.05**

**Derrickson Residence  
Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577  
Date:

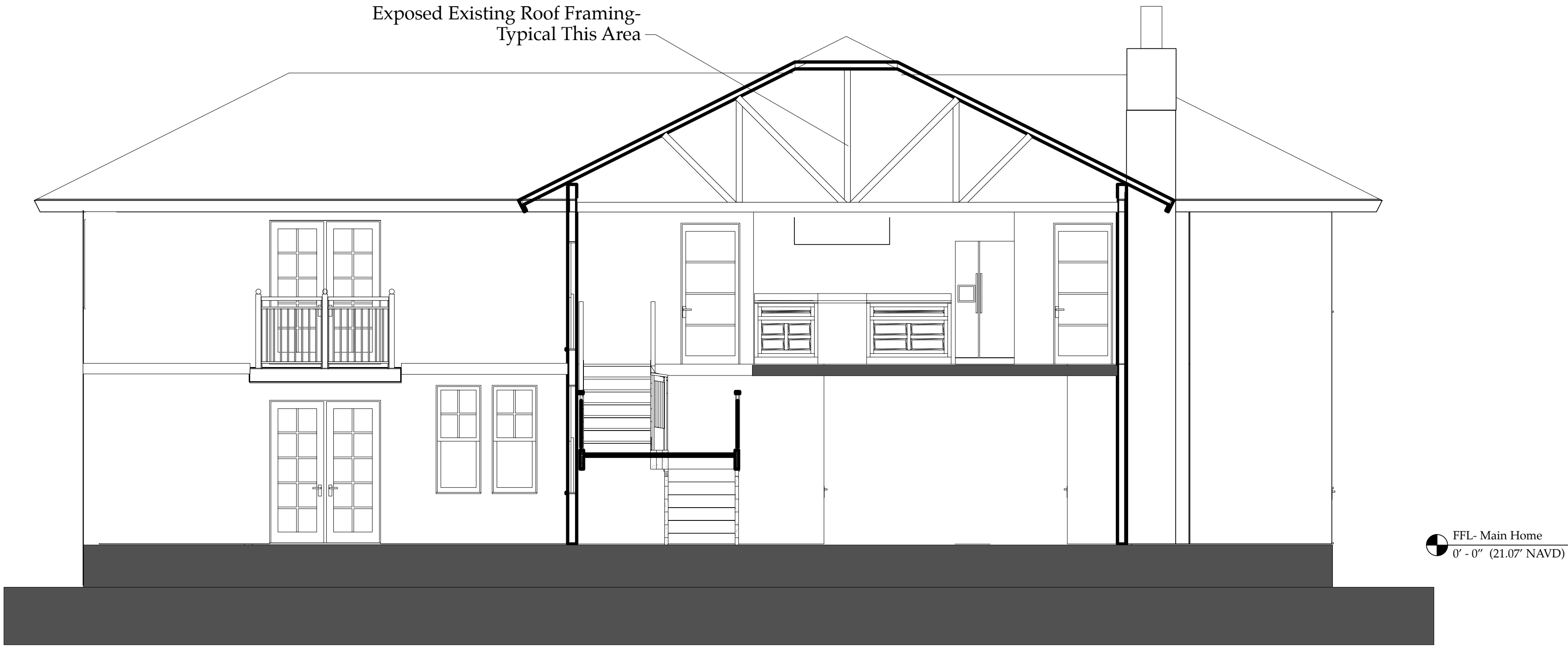
Sloan & Sloan- Architecture + I.D.  
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Delray Bch, FL 33483  
(561) 243-8755

**Derrickson Residence  
Renovations & Additions  
330 NE 1st Avenue**

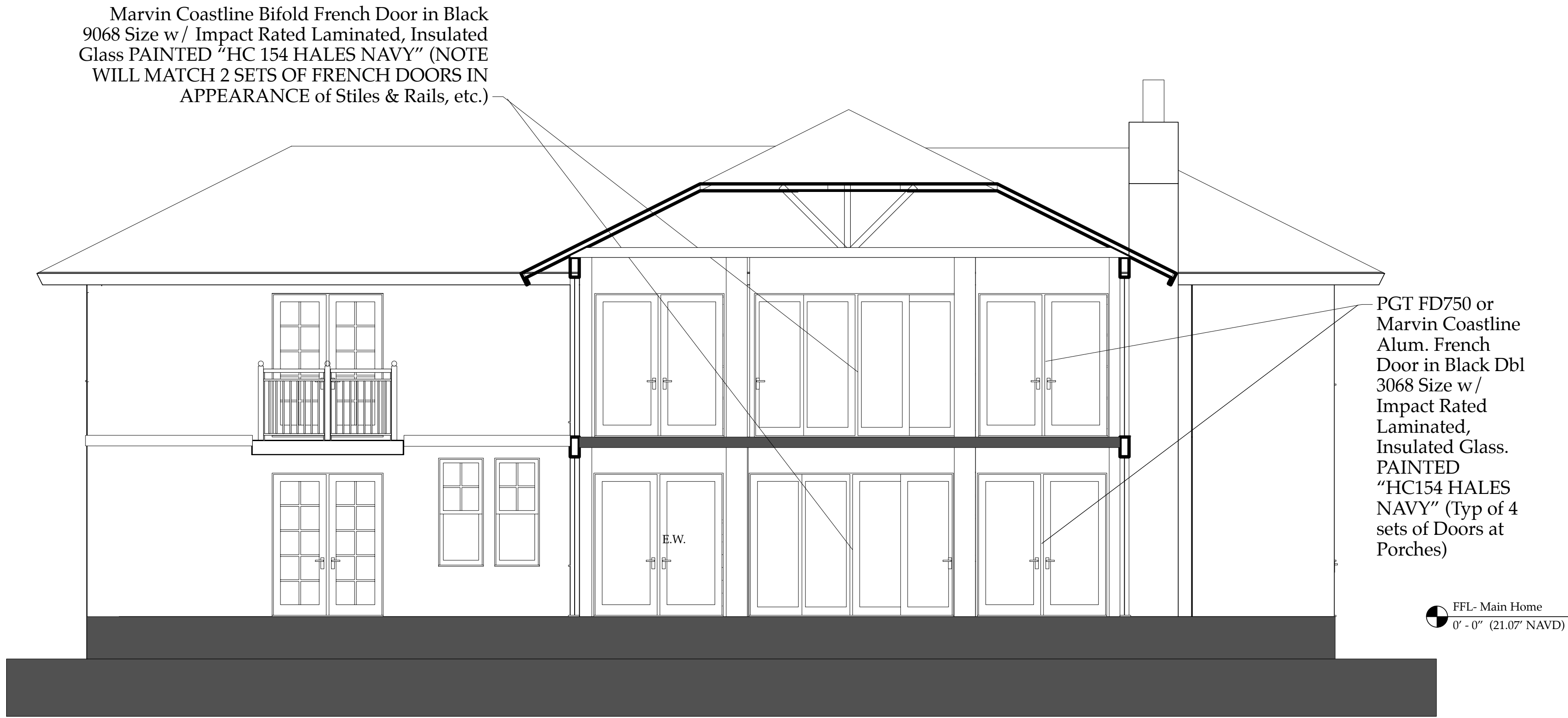
**NEW NORTH & SOUTH  
ELEVATIONS of Main Residence  
(Garage & Guest Cottage)**

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.05
Date 10/18/2021	of Total Sheets

Derrickson\_Reno\_ExtgBldg.rvt

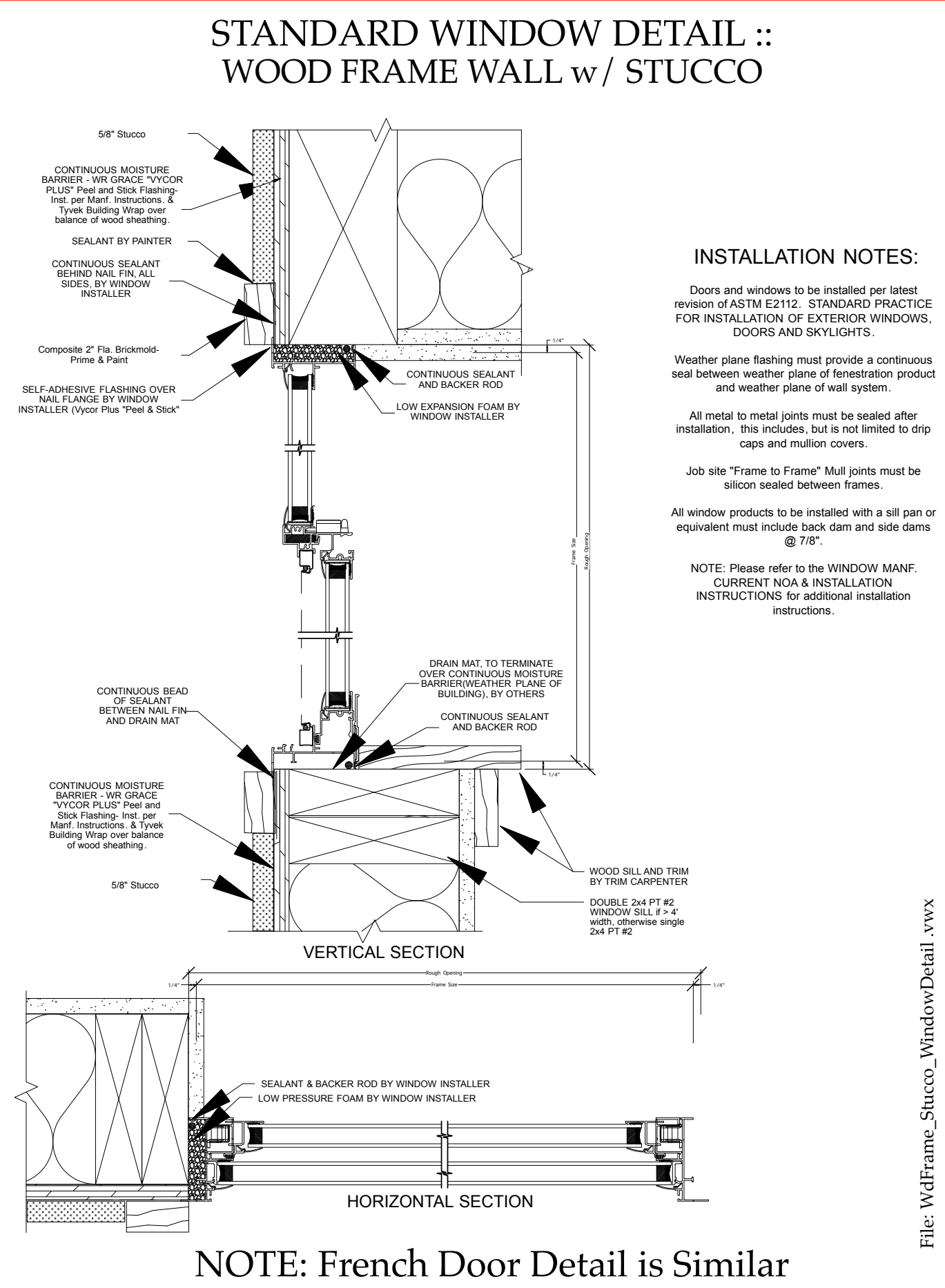


2 NEW LIVING RM SECTION- Looking West  
Scale: 1/4" = 1'-0"



3 NEW EAST FRONT PORCH SECTION/ ELEVATION  
Scale: 1/4" = 1'-0"

NOTE: SEE IMPORTANT NOTES AND SPECIFICATIONS ON SHEET S8.01



NOTE: French Door Detail is Similar

NOTE: Exterior Door Installation Similar- consult NOA & Manf. Installation Directions on Both Window & Door Installation Methods/Proceedures.

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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**Derrickson Residence**  
Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		Robert Selinsky, PE Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consulting	PENNONI, INC., Structural Engineers 601 N. Congress Ave, Ste. 106a Delray Beach, FL. 33445	
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue	
Drawing Title	BUILDING SECTIONS: At Front Porch & & at Living Room	
Project Manager	D. Sloan	Project ID Derrickson Residence Project
Drawn By	D. Sloan	Scale As Noted
Reviewed By	Robert Selinsky, PE	Drawing No. A4.02
Date	10/18/2021	of Total Sheets
CAD File Name	Derrickson_Reno_ExtgBldg.vwx	

Building  
Sections  
A4.02

NOTE: PT #2 = "Southern Yellow Pine #2 or Better"