

A PRIVATE RESIDENTIAL PROJECT: HPB COA SUBMITAL

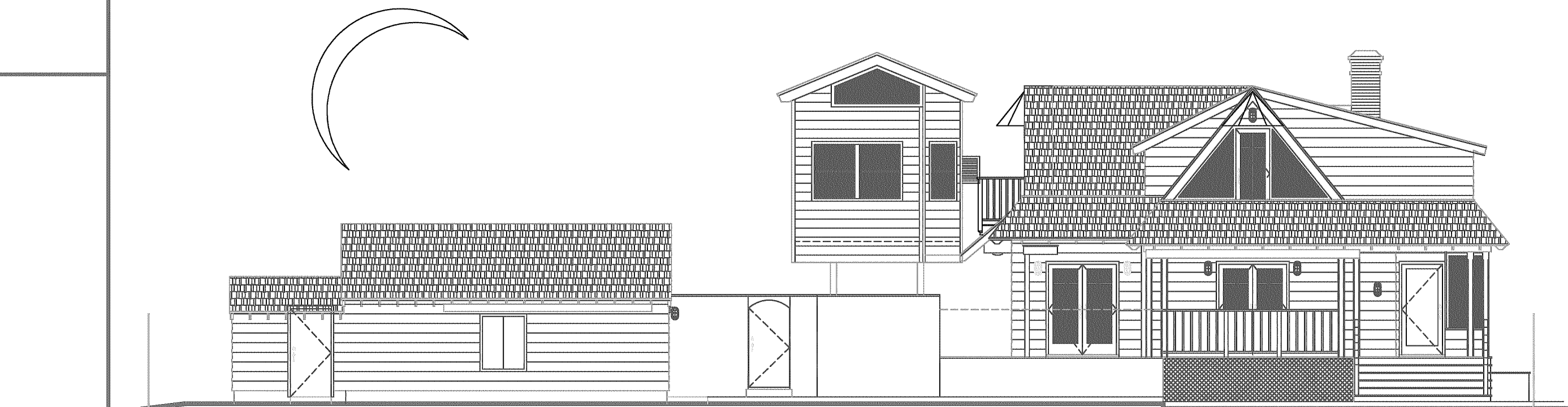
OCEAN APPLE ESTATE: THE FONTAINE FOX RESIDENCE

610 N. OCEAN BLVD. (A1A)
DELRAY BEACH, FLORIDA 33483

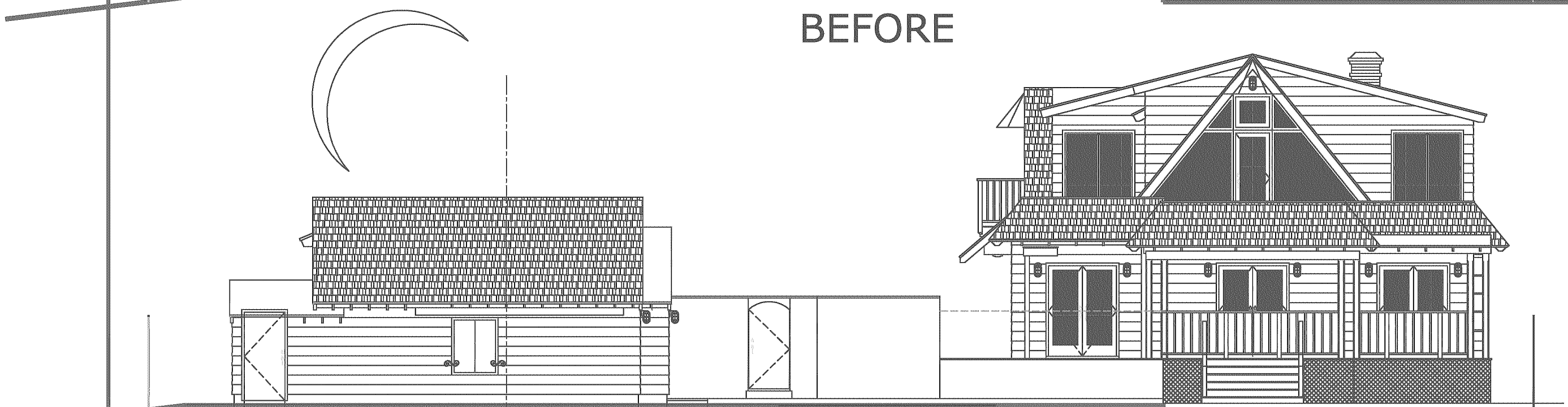
GENERAL NOTES

ARCHITECTURAL:

- THE CONTRACTOR SHALL PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL NOT DISRUPT EXISTING SERVICES, OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL ELEVATIONS, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. DO NOT SCALE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AT COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
- JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION.



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CODES

FLORIDA BUILDING CODE, 2017 EDITION
NFPA 7-101 LIFE SAFETY CODE
FLORIDA FIRE PREVENTION CODE, 2017 EDITION
NATIONAL ELECTRICAL CODE, 2017 EDITION
FLORIDA MECHANICAL CODE, 2017 EDITION
FLORIDA PLUMBING CODE, 2017 EDITION
FLORIDA ACCESSIBILITY CODE/ADA-90, 2017 EDITION

ALL OTHER RULES, REGULATIONS AND CODES HAVING JURISDICTION INCLUDING BUT NOT NECESSARILY LIMITED TO:
CITY OF DELRAY BEACH, PALM BEACH COUNTY - THE STATE OF FLORIDA
CITY OF DELRAY BEACH ZONING REGULATIONS
CITY OF DELRAY BEACH ADOPTED ORDINANCES

DESIGN DATA

OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL
BLDG. CONSTRUCTION TYPE: TYPE V, PROTECTED
ZONING DISTRICT: R-1-AAA, SINGLE FAMILY RESIDENTIAL
DESIGN WIND LOAD: 170 MILES PER HOUR (3 SECOND GUST)
BUILDING HEIGHT LIMITATION: 35 FEET

SYMBOLS

- DETAIL REFERENCE: DETAIL NUMBER
SHEET NUMBER
- ELEVATION REFERENCE: ELEVATION NUMBER
SHEET NUMBER
- SECTION REFERENCE: SECTION NUMBER
SHEET NUMBER
- INTERIOR ELEVATION REFERENCE: WALL NUMBER
INTERIOR ELEV.
SHEET NUMBER
- ROOM REFERENCE: ROOM NUMBER
- DOOR REFERENCE: DOOR NUMBER
- WINDOW REFERENCE: WINDOW NUMBER
- NOTE REFERENCE: REFERENCE NUMBER
- REVISION REFERENCE: REVISION NUMBER

ABBREVIATIONS

ACOUS.	ACOUSTICAL	N.T.C.	NOT IN CONTRACT
ADJ.	ADJUSTABLE	NO.	NUMBER
ALUM.	ALUMINUM	N.T.S.	NOT TO SCALE
APPROX.	APPROXIMATE	O.A.	OVERALL
BDG.	BOARD	OBS.	ON CENTER
BULK.	BLOCK	O.C.	OUTSIDE DIAMETER
BULKG.	BLOCKING	O.C.	OWNER'S FURNISH
BN.	BEAM	O.C.I.	OWNER'S CONTRACTOR INSTALL
BOT.	BOTTOM	OFF.	OFF
CAB.	CABINET	OPNG.	OPENING
CER.	CERAMIC	OPP.	OPPOSITE
CL.	CL	PL.	PLATE
CLR.	CLEAR	PLAS.	PLASTER
CLM.	COLUMN	PLYWD.	PLYWOOD
CONC.	CONCRETE	PRCST.	PRECAST
CONN.	CONNECTION	P.P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	P.T.	DOUGLAS FIR
CTSK.	COUNTERSUNK	PTN.	PARTITION
DECOR.	DECORATIVE	Q.T.	QUARRY TILE
DE.	DOUGLAS FIR	R.	RISER
DIA.	DIAMETER	RAD.	RADIUS
DM.	DIMENSION	RINF.	REINFORCE
DN.	DOWN	REQ.	REQUIRED
DOW.	DOWEL	R.O.	ROUGH OPENING
DWG.	DRAWING	RWD.	REDWOOD
EA.	EACH	R.W.L.	RAIN WATER LEADER
ELEV.	ELEVATION	S.C.	SOLID CORE
EX.	EXTERIOR	SCHED.	SCHEDULE
EXP.	EXPANSION	SH.	SHEET
EXT.	EXISTING	SHM.	SIMILAR
F.A.U.	FIRE AIR UNIT	SQ.	SQUARE
F.H.C.	FIRE HOSE CABINET	SS.	STAINLESS STEEL
FIN.	FINISH	STD.	STANDARD
FLASH.	FLASHING	STOR.	STORAGE
FLOOR.	FLOOR	STOR.	STORAGE
F.O.F.	FACE OF FINISH	SUSP.	SUSPENDED
F.O.H.	FACE OF MASONRY	SY.	SYMMETRICAL
F.O.S.	FACE OF STUD	T.	TREAD
FTG.	FOOTING	TEL.	TELEPHONE
GA.	GAUGE	TRK.	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.C.	TOP OF CHIMNEY
GR.	GRADE	T.O.F.	TOP OF FINISH
GYP.	GYPSUM	T.O.L.	TOP OF LEDGER
H.B.	HOSE BIBB	T.O.P.	TOP OF PARAPET
HDWD.	HARDWOOD	T.O.PL.	TOP OF PLATE
HDWE.	HARDWARE	TYP.	TYPICAL
HGT.	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
HORIZ.	HORIZONTAL	VERT.	VERTICAL
I.D.	INSIDE DIAMETER	V.G.D.F.	VERTICAL GRAIN
INCAND.	INCANDESCENT	W/O	WITHOUT
INT.	INTERIOR	W.C.	WATER CLOSET
JAN.	JANITOR	WD.	WOOD
JOINT.	JOINT	WDW.	WINDOW
LAM.	LAMINATE	WH.	WATER HEATER
LAV.	LAVATORY	WISCT.	WISCONSIN
LOC.	LOCATION	WT.	WEIGHT
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MULD.	MULLION		

PROJECT TEAM

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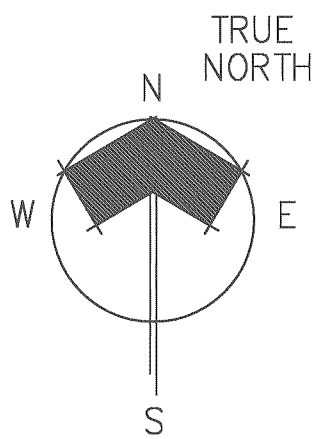
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PROJECT LOCATION



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OCEAN APPLE ESTATE
INDIVIDUALLY DESIGNATED HISTORIC RESIDENCE

Seal
RW COPE
Project No.
2020.45OCEANAPPLE
CAD File No.
COVER SHEET
Date
NOVEMBER 08, 2021
Drawing No.

A0.0
of

GENERAL NOTES

ARCHITECTURAL:

1.

THESE DOCUMENTS INDICATE THE DESIGN INTENT OF THE CONSTRUCTION PROJECT IN ORDER TO ESTABLISH STANDARDS FOR QUALITY AND/OR PERFORMANCE.
2.

THE CONTRACTOR SHALL INVESTIGATE THE JOBSITE & COMPARE THE CD'S W/ THE EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN HIS COST, WORK DESCRIBED IN THE CD'S & THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CD'S. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS & ANY NEW WORK, OF ANY OMISSIONS IN THE DRAWINGS & ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INCLUDING THE COORDINATION W/ STRUCTURAL AND MEP RELATED WORK.
3.

THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A COMPLETE JOB IN EVERY RESPECT THAT ALLOWS FOR THE FULL USE OF THE COMPLETED FACILITY & CONSISTENT W/ THE DESIGN INTENT OF THE CD'S. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLETE UTILITY CONNECTIONS FOR H2O, SEWER, RAIN WATER LEADERS, DRAINS, POWER (W/ TRANSFORMING TO ACHIEVE APPROPRIATE & NECESSARY VOLTS & AMPS), GROUNDS, NATURAL OR LP GAS, VENTS, VENTILATION, SMOKE EVACUATION, & BLOCKING, BRIDGING, STRUCTURAL SUPPORTS, ETC. TO ALLOW FOR THE COMPLETE & WORKING OF NOTED OR INFERRED EQUIPMENT.
4.

REASONABLY INFERRED CONDITIONS NOT OTHERWISE INDICATED IN THESE CD'S SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED & MORE FULLY DEFINED ELSEWHERE WITHIN THESE DOCUMENTS. CONTRACTOR IS TO NOTIFY THE ARCHITECT IF CLARIFICATIONS ARE REQUIRED. CONTRACTOR SHALL BE LIABLE IF INAPPROPRIATE INTER- PRETATIONS CONFLICT WITH OTHER ELEMENTS OF THE WORK.
5.

THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS & DIMENSIONS INDICATED W/ THE CD'S & SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE THE PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR RESTOCKING CHARGES, REPLACEMENT COSTS & FOR DELAYS IF HE FAILS TO COMPLY W/ THIS PROVISION.
6.

THE GENERAL CONTRACTOR, UPON AWARDING CONACTCS TO SUB- CONTRACTORS, SHALL SUBMIT TO THE ARCHITECT & THE OWNER A LIST OF ITEMS & THEIR DELIVERY SCHEDULES. THE CONTRACTOR, PRIOR TO ORDERING AN ITEM, SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT & OWNER OF ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED DUE TO LONG LEAD TIME IN OBTAINING.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING SUBSTANTIAL COMPLETION REGARDLESS OF DELIVERY DATES FOR MATERIALS & EQUIPMT.
8.

THE ARCHITECT HAS NOT CONDUCTED NOR INTENDS TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIALS, INCLUDING ASBESTOS, WITHIN THE CONFINES OF THIS PROJECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS.
9.

THE CONTRACTOR SHALL ISSUE COMPLETE SETS OF CD'S TO EACH OF THE SUB-CONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE.
10.

THE CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR PERMITS, FEES, INSPECTIONS & APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR IS TO PROVIDE COPIES OF TRANSACTIONS TO OWNER. NOTIFY ARCHITECT OF ANY VARIANCE W/ CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE W/ THE REGULATIONS OF ANY & ALL PUBLIC AUTHORITIES (FEDERAL, STATE & LOCAL) HAVING JURISDICTION OVER THE PROJECT.
11.

PROVIDE & PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION & DELIVERY COSTS, HOISTING, REMOVAL OF TRASH & DEBRIS, & OTHER FACILITIES & SERVICES NECESSARY FOR THE EXECUTION & COMPLETION OF THE WORK.
12.

WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHER- WISE NOTED. REFERENCES TO THE CONTRACTOR SHALL INCLUDE THE GENERAL CONTRACTOR AND SUB- CONTRACTORS.
13.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & HAVING CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES & PROCEDURES & FOR COORDINATING PORTIONS OF THE WORK REQUIRED BY THE CD'S.
14.

THE ARCHITECT & OWNER SHALL NOT BE RESPONSIBLE FOR THE ERRORS, OMISSIONS OR DELAYS RESULTING FROM THE CONTRACTOR'S PERFORMANCE.
15.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS & OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS & THEIR AGENTS & EMPLOYEES & ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
16.

OTHER CONTRACTORS & THEIR SUB-CONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB- CONTRACTOR, TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, EITHER UNION OR NON-UNION.
17.

WORK SHALL BE DONE DURING NORMAL WORKING HOURS. CONTRACTOR SHALL SCHEDULE & PERFORM SO AS NOT TO UNREASONABLY DISTURB ANY NEIGHBORS & SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
18.

THE CONTRACTOR SHALL COORDINATE & WORK W/ BUILDING OWNER REGARD- ING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, ELEVATOR AVAIL- ABILITY, STAGING, NOISE CONTROL, TRASH & DEBRIS REMOVAL, HOISTING, & ANY OTHER UTILITIES OR OWNER'S RULES & REGULATIONS CONCERNING THE PROJECT SITE. CONTRACTOR SHALL COORDINATE USE OF RESTROOM FACILITIES FOR HIS EMPLOYEES WITH THE OWNER.
19.

THE CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN FIVE (5) DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF THE CONTRACT.
20.

COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS, & INSTALLATION OF ITEMS FURNISHED BY THE OWNER & BY OTHERS, FOR THE PURPOSES OF THIS CONTRACT. THE FOLLOWING ABBREVIATIONS APPLY: OF-OI = OWNER FURNISHED & OWNER INSTALLED, OF-CI = OWNER FURNISHED & CONTRACTOR INSTALLED, CF-CI = CONTRACTOR FURNISHED & CONTRACTOR INSTALLED, AND CF-OI = CONTRACTOR FURNISHED & OWNER INSTALLED.
21.

THE CONTRACTOR SHALL COORDINATE & WORK W/ TRADES ON THE PROJECT NOT UNDER CONTRACT W/ THE CONTRACTOR (I.E. TELEPHONE, DATA LINES, FIRE ALARM, ETC.). ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

22.

UNLESS OTHERWISE NOTED, WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS & DETAILS SHALL GOVERN. HOWEVER, THE ARCHITECT SHALL MAKE THE FINAL DETERMINATION IN THESE MATTERS.
23.

SUBMIT FOR ARCHITECT'S REVIEW ABOVE BUILDING STANDARD SAMPLES & LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES & PRODUCT LITERATURE & OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS. ANY SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO IMPLEMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH & QUALIFY THAT THE PERFORMANCE & CONSTRUCTION SPECIFICATIONS MEET THOSE OF THE ORIGINALLY SPECIFIED ITEM PRIOR TO SUBMISSION FOR APPROVAL. CONTRACTOR SHALL BE LIABLE FOR MATERIALS THAT ARE NOT AVAILABLE DUE TO UNTIMELY ORDERING & FOR THE COORDINATION OF SUBSTITUTIONS W/ OTHER TRADES & DISCIPLINES.
24.

SHOP DRAWINGS (TWO (2) COPIES TO ARCHITECT & TWO (2) COPIES TO ENGINEER), AS REQUIRED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION. SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION OR PURCHASE. SHOP DRAWINGS OR SAMPLES FOR MILLWORK, CUSTOM METALWORK, CUSTOM CASEGOODS & OTHER ITEMS AS REQUIRED BY ARCHITECT FOR ABOVE BUILDING STANDARDS ITEMS.
25.

CHANGES IN THE WORK SHALL ONLY BE ALLOWED W/ ONE OF THE FOLLOWING WRITTEN DIRECTIVES: 1.) ARCHITECT'S DIRECTIVE FOR MINOR CHANGES IN WORK, 2.) CONSTRUCTION CHANGE DIRECTIVE FROM THE ARCHITECT, OR 3.) CHANGE ORDER ISSUED BY THE ARCHITECT. CHANGES MUST FOLLOW MODIFICATION PROCEDURES NOTED IN AIA A201 -ARTICLE 7. CHANGES REQUIRING A CHANGE IN COST OR TIME MUST BE EXPLICITLY NOTED AT TIME OF DISCUSSION IN FIELD, NOTIFICATION OR ARCHITECT OR AT JOB PROGRESS MEETING & FOLLOWED UP WITHIN TWO (2) WORKING DAYS BY WRITTEN CONFIRMATION. IF CHANGE IS AGREED TO WITHOUT EXPLICIT REFERENCE TO CHANGE IN COST OR TIME, A SUBSEQUENT CHANGE ORDER MAY BE JUSTIFIABLY REJECTED.
26.

PERFORM WORK & INSTALL MATERIALS IN STRICT ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS & IN A MANNER CONSISTENT W/ INDUSTRY STANDARDS FOR WORKMANSHIP.
27.

GYPSUM & METAL STUD CONSTRUCTION SHALL BE DONE IN ACCORDANCE W/ RECOMMENDATIONS & INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY - GYPSUM CONSTRUCTION HANDBOOK,, LATEST EDITION. CONSTRUCTION JOINTS MUST OCCUR AT A MAXIMUM OF 25 FT. ON UNDERSIDE OF ROOF DECK.
28.

FINISH CARPENTRY & MILLWORK SHALL BE DONE IN ACCORDANCE W/ THE ARCHITECTURAL WOODWORKS INSTITUTE (AWI) STANDARDS FOR SELECTION OF MATERIALS, HARDWARE, FABRICATION, WORKMANSHIP & FINISHING.
29.

EXAMINE SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN & READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE & SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIAL. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL,, SMOOTH & PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
30.

INSTALL & MAINTAIN NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS & PARTITIONS & DUST BARRIERS TO PROTECT OCCUPANTS & EXISTING WORK & FINISHES TO REMAIN. REPAIR & REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL CHARGE TO OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY & ALL DAMAGE WHICH MAY OCCUR DURING EITHER THE DEMOLITION OR CONSTRUCTION PHASE TO THE EXISTING BUILDING. CONTRACTOR SHALL REPAIR SAME IMMEDIATELY TO MATCH ADJACENT SURFACES IN GOOD CONDITION.
31.

WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARD TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
32.

MAINTAIN EXIT, EXIT LIGHTING, FIRE PROTECTIVE DEVICES & LIFE SAFETY SYSTEMS IN WORKING ORDER.
33.

EXIT DOORS,, EGRESS DOORS & OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHAL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOW- LEDGE OR EFFORT.
34.

VERIFY KEYING REQUIREMENTS OF ALL NEW LOCKS WITH OWNER.
35.

24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE, THOROUGHLY CLEAN SURFACES OF DUST, DEBRI, LOOSE CONSTRUCTION MATERIAL & EQUIPMENT. VACUUM OR MOP FLOORS & CLEAN WINDOWS. THE CONTRACTOR, AT THE COMPLETION OF THE PROJECT, SHALL CLEAN THE ENTIRE BUILDING AND LEAVE IT IN ACCEPTABLE CONDITION.
36.

SUBSTANTIAL COMPLETION SHALL BE THE DATE ON WHICH THE PREMISES ARE AVAILABLE FOR OCCUPANCY FROM THE CONTRACTOR & SHALL BE AS DEFINED IN AIA DOCUMENT A201. ADDITIONAL TOUCH-UP OR MINOR INSTALLATION WORK MAY BE INCOMPLETE.
37.

WARRANT TO THE OWNER THAT ALL MATERIALS & EQUIPMENT FURNISHED & INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, & WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS & DEFECTS & CONFORMS WITH THE CONTRACT DOCUMENTS.
38.

FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE W/ THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
39.

UNLESS OTHERWISE NOTED, FASTENERS & ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
40.

THE ARCHITECT'S SEAL AFFIXED TO THESE CONTRACT DOCUMENTS, SHALL CERTIFY TO THE BEST OF OUR KNOWLEDGE, THAT THESE DRAWINGS MEET THE APPLICABLE STATE & LOCAL CODES. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT W/ STATE OR LOCAL CODES, THE ARCHITECT SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR.
41.

CONTRACTOR SHALL BE RESPONSIBLE IN PROVIDING THE OWNER A COMPLETE SET OF "AS-BUILT" OR "RECORD" DOCUMENTS.
42.

PROVISIONS OF THE AIA A201 - GENERAL CONDITIONS, APPLY TO THIS CONTRACT BY REFERENCE UNLESS SPECIFICALLY MODIFIED IN WRITING BY THE OWNER OR ARCHITECT.

BUILDING CODE COMPLIANCE:

1.

THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE W/ APPLICABLE CODES, REGULATONS, LOCAL AUTHORITY REGULATIONS & LOCAL CODE OFFICIAL'S DIRECTIVES.
2.

THE CONTRACTOR SHALL PROVIDE TERMITE PROTECTION AS PER FBC 1816.1.7

PARTITION NOTES:

1.

CLEAR DIMENSIONS MUST BE HELD. DIMENSIONS NOTED AS FINISHED FACE.
2.

DRAWING DIMENSIONS ARE TO THE FACE OF STUD SURFACE UNLESS CLEAR OR CRITICAL SHALL BE MEASURED FROM FINISH FACE TO FINISH FACE.
3.

MAKE NO MECHANICAL ATTACHMENTS TO EXTERIOR BUILDING SURFACES WITHOU PRIOR NOTIFICATION AND APPROVAL FROM THE ARCHITECT.
4.

CONSTRUCT CEILINGS & PARTITIONS PER MANUFACTURER'S RECOMMENDATIONS WITH DEFLECTIONS NOT TO EXCEED 1/240 OF THE SPAN. PROVIDE FIRE RATINGS AS REQUIRED BY CODE - SEE FBC AND LOCAL CODE AMMENDMENTS FOR ANY SPECIAL FIRE STOPPING REQUIREMENTS.
5.

INSTALL WOOD BLOCKING AT ANY PARTITION SCHEDULED TO RECEIVE HANGING CABINETRY AND/OR SHELVING.
6.

INSTALL MOISTURE RESISTANT SUBSTRATE (WATER RESISTANT TYPE GYPSUM BOARD OR CEMENTITIOUS BOARD) WHERE CERAMIC TILE OR STONEWORK IS INDICATED.
7.

INSTALL STEEL FRAMING FOR PARTITIONS TO COMPLY WITH ASTM C-754 & THE GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION.
8.

INSTALL & FINISH GYPSUM BOARD TO COMPLY W/ ASTM C-840, GA-216 BY GYPSUM ASSOCIATION & GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION. PREPARE SURFACE AS REQUIRED FOR FINAL SURFACE FINISH AS RECOMMENDED BY GYPSUM CONSTRUCTION HADBOOK.
9.

PROVIDE FRE RESISTANCE RATED PARTITION ASSEMBLIES IDENTICAL TO U.L. DESIGNATIONS (UNDERWRITERS LABORATORY) SHOWN IN THE FIRE RESISTANCE DIRECTORY OR LISTED BY OTHER TESTING AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

MILLWORK NOTES:

1.

MILLWORK & CASEWORK SHALL COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, LATEST EDITION, CUSTOM GRADE UNLESS OTHERWISE NOTED.
2.

INSTALL FIRE RETARDANT TREATED WOOD PRODUCTS WHERE REQUIRED TO COMPLY WITH THE BUILDING CODE.
3.

COORDINATE INSTALLATION OF ALL IN-WALL STEEL ANCHORAGE, GROUNDS, & MISCELLANEOUS BLOCKING W/ OTHER TRADES FOR PRECISE LOCATION.
4.

THE MILLWORK CONTRACTOR SHALL OBTAIN & VERIFY FIELD MEASUREMENTS & CONDITIONS AFFECTING HIS WORK & SHALL BE RESPONSIBLE FOR DETAILS & DIMENSIONS ASSURING PRECISION & PROPER ASSEMBLY OF HIS PRODUCTS.
5.

COORDINATE ITEMS TO INSURE DELIVERY TO THE PROPER LOCATION & VERIFY PHYSICAL ACCOMMODATION WITHIN THE CONFINES OF THE PROJECT AS REQUIRED.
6.

SET WORK PLUMB, LEVEL & SQUARE, SCRIBED TIGHTLY & ACCURATELY TO ADJT. SURFACES, SECURELY ANCHORED IN POSITON INDICATED ON DRAWINGS TO HIGHEST QUALITY STANDARDS.
7.

LAMINATE EDGES OF COUNTERTOPS & EDGES OF DOORS PRIOR TO FACING COUNTERTOPS OR DOORS.
8.

COORDINATE EXACT PLACEMENT OF PLUMBING & ELECTRICAL FIXTURES, SWITCHES & OUTLETS TO BE INSTALLED WITHIN THE MILLWORK.
9.

REPAIR, REPLACE OR OTHERWISE MAKE GOOD TO SATISFACTION OF ARCHITECT DAMAGE INCURRED TO MILLWORK DURING CONSTRUCTION.
10.

ADJUST DOORS, DRAWERS & HARDWARE FOR PROPER OPERATION & CLEAN SURFACES,, INSIDE & OUT.
11.

COMPLY W/ MILLWORK MANUFACTURER'S & INSTALLER'S RECOMMENDED OPTIMUM TEMPERATURE & HUMIDITY CONDITIONS FOR STORAGE & INSTALLATION OF WORK.
12.

COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, SECTION 1500 FACTOR FINISHING SYSTEMS FOR FINISHES NOTED.

FINISH NOTES:

1.

INSPECT MATERIALS FOR DEFECTS, FLAWS, SHIPPING DAMAGE, CORRECT COLOR & PATTERN, INFORM ARCHITECT OF ANY DEFECTIVE MATERIALS & COORDINATE W/ THE MANUFACTURER FOR ACCURATE SHIPPING DATES FOR THE REPLACEMENT MATERIAL.
2.

FLOOR COVERINGS SHALL BE REPAIRED IN RENOVATION WORK TO MATCH ADJACENT SURFACES. FLOOR COVERINGS IN CLOSETS SHALL MATCH ADJACENT SURFACES. FLOOR COVERING IN CLOSETS SHALL MATCH ADJACENT ROOM UNLESS NOTED OTHERWISE.
3.

CONTRACTOR WILL BE RESPONSIBLE FOR PROVING AN APPROPRIATELY LEVEL & SMOOTH CONCRETE OR OTHER SUBSTRATE TO MEET THE CARPET (IF CARPET IT USED) MEETING INDUSTRY STANDARDS PRIOR TO INSTALLATION.
4.

CARPET, IF USED, SHALL BE INSTALLED IN THE SAME DIRECTION. SEAM CARPET AT DOORS AND ON CENTERLINE OF DOORS, TYPICAL.

PAINTED SURFACES:

1.

PAINTED FINISH METAL & WOOD TRIM SHALL BE SEMI-GLOSS ALKYD ENAMEL. COLOR TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE. OTHER SURFACES SHALL BE LATEX, FLAT FINISH. PAINTED FINISHES WITHIN BATHROOMS & KITCHEN/ GALLEYS/PANTRY SHALL BE SEMI-GLOSS ALKYD ENAMEL.
2.

PREPARE FOR & APPLY PAINT IN ACCORDANCE W/ THE MANUFACTURER'S SPEC'S. FOR THE PARTICULAR SURFACE, ONE (1) COAT PRIME & TWO (2) FINISH COATS MINIMUM APPLICATION. FOLLOW INDUSTRY STANDARDS FOR SURFACE PREPARATION & APPLICATION ENVIRONMENT (TEMPERATURE & HUMIDITY).

WALL COVERING:

1.

INTERIOR FINISH MATERIALS SHALL COMPLY WITH LOCAL CODES. WHEN REQUIRED BY BUILDING OFFICIAL(S), APPLY FLAME PROOFING TO FABRIC WALL COVERINGS.
2.

WALL COVERINGS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE APPLICATION, INCLUDING TEMPERATURE AND DUST CONTROL. WALL COVERING REQUIRING BACKING SHALL BE SO APPROVED. APPLY WALL PRIMER PRIOR TO APPLYING ADHESIVE FOLLOWING MANUFACTURER'S INSTRUCTION.
3.

INSTALL SEAMS PLUMB & NOT LESS THAN SIX (6) INCHES FROM CORNERS: HORIZONTAL SEAMS SHALL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
4.

REMOVE EXCESS ADHESIVE PROMPTLY, REPLACE PANELS WHICH CANNOT BE COMPLETELY CLEANED.
5.

INSTALLATION OF PATTERNED FABRIC WALL COVERINGS SHALL BE MATCH AT EDGE TO ADJACENT FABRIC PANEL.
6.

REMOVE SWITCH PLATES & SURFACE MOUNTED FIXTURES TO PERMIT WALL COVERING INSTALLATION & RE-INSTALL UPON COMPLETION.
7.

WALL COVERINGS SHALL BE FROM CONSISTENT DYE LOTS.
8.

NO SUBSTITUTION OF ANY SPECIFIED WALL COVERINGS OR FINISH MAY BE MADE WITHOUT PRIOR APPROVAL OF ARCHITECT.

TILE:

1.

INSTALL TILE IN ACCORDANCE W/ TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION METHODS.
2.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROPRIATE SUBSTRATE (I.E. MOISTURE RESISTANT GYPSUM BOARD, "WONDERBOARD", ETC.).

TELEPHONE/DATA/ELECTRICAL NOTES:

1.

WORK SHALL BE IN ACCORDANCE W/ APPLICABLE NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
2.

IN M/E/P DESIGN-BUILD PROJECTS, MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR COORDINATING VARIOUS TRADES. CONTRACTOR SHALL CONTROL INSTALL- ATION SEQUENCE OF VARIOUS ITEMS TO ACCOMMODATE DIMENSIONAL REQUIRE- MENTS OF TOTAL ASSEMBLY INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, DATA, TELEPHONE, SPRINKLER PIPING AND ANY & ALL EQUIPMENT.
3.

ANY DISCREPANCY BETWEEN THE ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING ENGINEER'S OR ANY OTHER CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK INSTALLED IN CONFLICT W/ THE ARCHITECT'S DRAWINGS OR CREATING CONFLICTS DUE TO INSUFFICIENT COORDINATION OF WORK SHALL BE CORRECTED BY THE CONTRACTOR @ THE CONTRACTOR'S EXPENSE & SHALL NOT IMPACT THE SCHEDULE.
4.

REFER TO ENGINEERING DRAWINGS FOR CIRCUITING & SPECIFICATIONS. MECHANICAL & ELECTRICAL ENGINEER'S DRAWINGS DO NOT SPECIFY LOCATIONS OF FIXTURES, OUTLETS, OR EQUIPMENT - REFER TO ARCHITECT'S DRAWINGS.
5.

SEPARATE JUNCTION BOXES BY AT LEAST ONE (1) STUD WHERE TELEPHONE & ELECTRICAL OUTLETS APPEAR BACK-TO-BACK OR SIDE-BY-SIDE.
6.

OUTLETS, SWITCHES & JUNCTION BOXES LOCATED IN ACOUSTICAL PARTITIONS SHALL RECEIVE EQUIVALENT INSULATION BEHIND BOXES.
7.

WHERE WALL MOUNTED OUTLETS ARE INDICATED SIDE-BY-SIDE, THE MAXIMUM SEPARATION SHALL BE SIX (6) INCHES, CENTERLINE TO CENTERLINE, U.O.N..
8.

GANG ELECTRICAL OUTLETS & SWITCHES WHERE POSSIBLE.
9.

WALL MOUNTED ELECTRICAL, TELEPHONE & DATA OUTLETS SHALL BE INSTALLED AT EIGHTEEN (18) INCHES ABOVE FINISHED FLOORS, UNLESS NOTED OTHERWISE.
10.

INSTALL LIGHT SWITCHES AT FOURTY-EIGHT (48) INCHES A.F.F. & WITHIN EIGHT (8) INCHES OF DOOR FRAME, U.N.O.. FOLLOW ADA REGULATIONS IN PUBLIC CIRCUMSTANCES.
11.

THERMOSTATS SHALL BE INSTALLED AT SIXTY (60) INCHES A.F.F. ADJACENT TO LIGHT SWITCHES, UNLESS NOTED OTHERWISE.
12.

INCANDESCENT LIGHT FIXTURES ARE TO BE ON DIMMERS, U.N.O..
13.

WHERE LIGHTS & SWITCHES ARE NOT NOTED W/ A LOWER CASE LETTER DESIGNATION, THE SWITCHES ARE TO BE CONNECTED ONLY TO THOSE LIGHT FIXTURES WITHIN THAT SPECIFIC ROOM.
14.

FLOOR MOUNTED OUTLETS ARE DIMENSIONED FROM THE CENTERLINE OF THE OUTLET TO THE FINISHED FACE OF THE PARTITION AND/OR COLUMN, UNLESS NOTED OTHERWISE.
15.

ELECTRICAL ITEMS INDICATED IN OR ON CABINETRY SHALL BE SUPPLIED, INSTALLED & COORDINATED BY THE CONTRACTOR.
16.

ELECTRICAL SUB-CONTRACTOR SHALL MAKE FINAL CONNECTIONS FOR ALL FLOOR OR WALL OUTLETS TO FURNITURE SYSTEM POWER POLES (WHERE APPLICABLE) FOLLOWING MANUFACTURER'S STANDARDS FOR INSTALLATION AND APPLICABLE CODES.
17.

PHONE & DATA OUTLETS SHALL BE SINGLE OUTLET BOX W/ PULL STRING & RING FOR WIRING. WIRING OR CABLING SHALL BE BY OTHERS UNLESS NOTED OTHERWISE.
18.

THE SIZE OF NEW TELEPHONE & DATA LINE CONDUITS SHALL BE AS PER SUPPLIER'S SPECIFICATIONS. VERIFY REQUIREMENTS W/ OWNER.
19.

INSTALL BUILDING STANDARD COVER PLATES FOR OUTLETS & SWITCHES.
20.

EXHAUST FANS SHALL BE SILENT RUNNING & SHALL HAVE A MINIMUM EIGHT (8) FOOT LONG DUCT BETWEEN THE RETURN AIR GRILLE & FAN MOTOR. DUCT SHALL BE LINED W/ ONE (1) INCH MIN. THICK FIBERGLASS LINER. DO NOT LOCATE FAN MOTOR ABOVE CEILING OF ROOM SERVED BY FAN - LOCATE MOTOR ABOVE CORRIDOR OR OPEN AREA CEILING. PROVIDE SPARK PROOF MOTORS OR EXPLOSION PROOF MOTORS FOR LOCATIONS INVOLVING FLAMABLE MATERIALS (ONLY IF APPLICABLE)
21.

ACCESS PANELS AS REQUIRED SHALL BE INSTALLED FLUSH W/ CEILING & FINISHED TO MATCH THE ADJACENT CEING FINISH. LOCATIONS OF ACCESS PANELS ARE TO BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.

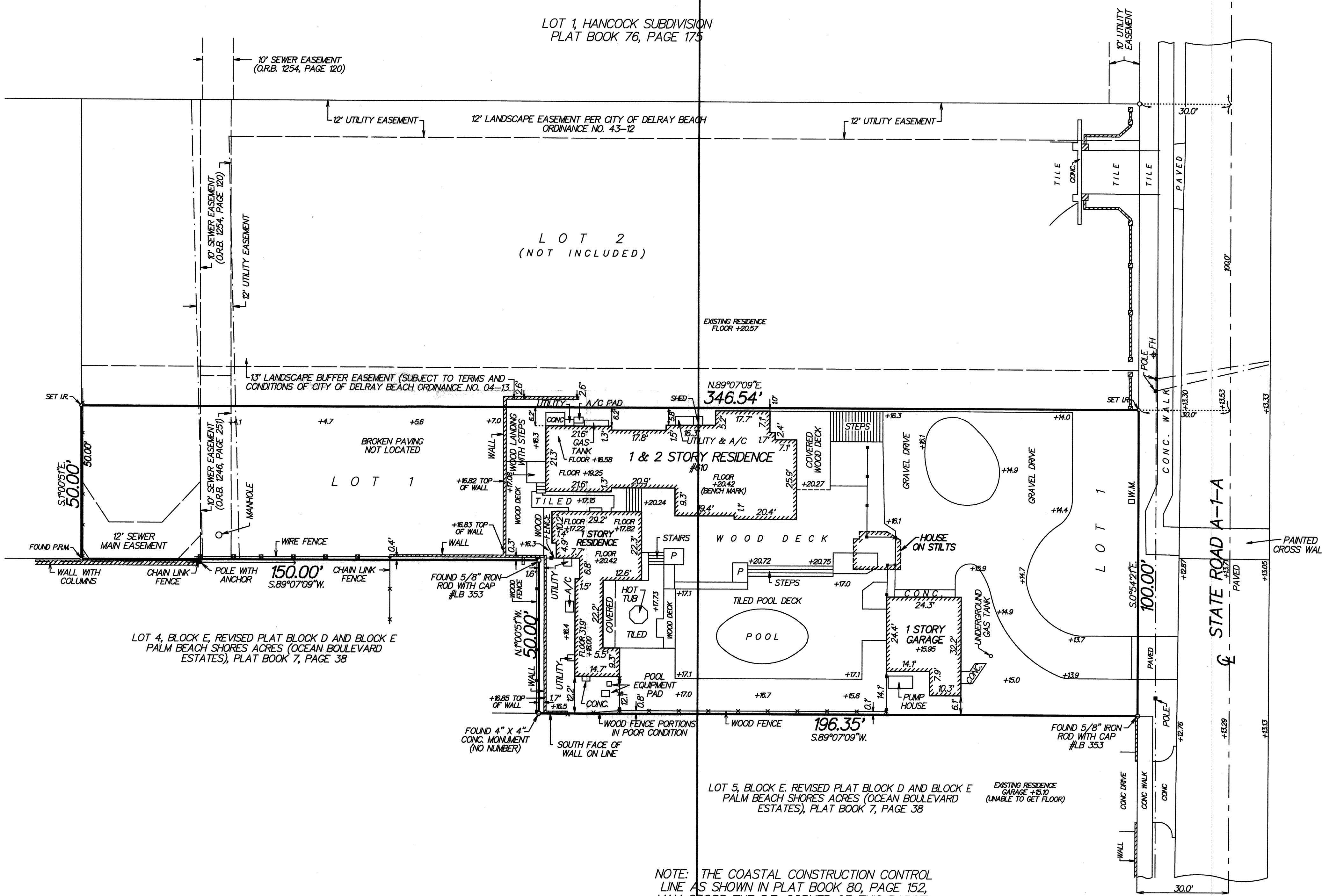
Seal

Drawn
RW COPE
Project No.
2020.45OCEANAPPLE
CAD File No.
COVER SHEET
Date
OCTOBER 11, 2021
Drawing No.

Florida License No.
AR0013552



CRESTWOOD DRIVE



LEGEND:

- C = CENTERLINE
- CONC. = CONCRETE
- A/C = CONCRETE A/C PAD
- P = PLANTER
- O.R.B. = OFFICIAL RECORDS BOOK
- F.H. = FIRE HYDRANT
- W.M. = WATER METER
- = OVERHEAD UTILITY LINES

+20.42 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: X
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C098F
EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE. WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT 1, OCEAN APPLE ESTATES PLAT THREE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 118, PAGES 118 AND 119 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

FRANK E. MCKINNEY, III
MILSA MCKINNEY
JP MORGAN CHASE BANK, N.A., ITS SUCCESSORS AND ASSIGNS, ATMA
CITY OF DELRAY BEACH, FLORIDA

MAP OF BOUNDARY SURVEY

SITE ADDRESS: 610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483
PARCEL ID. NO.: 12-43-46-09-93-000-0010

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 64-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.

LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY JULY 8, 2021	SCALE: 1" = 20'
FIELD BOOK D214	ORDER NO. 90-570815
PAGE NO. 13&40	LOT 1

NOTE: THE COASTAL CONSTRUCTION CONTROL LINE AS SHOWN IN PLAT BOOK 80, PAGE 152, MAY CROSS THE S.E. CORNER OF THIS PARCEL (LINE NOT LOCATED BY THIS SURVEY)

PROJECT DATA:

PROPOSED TOTAL GROUND FLOOR AREA -	+/- 4,541.00 SQ. FT.	+/- 16.74% OF SITE
PARKING & PAVED AREAS -	+/- 1,852.00 SQ. FT.	+/- 18.52% OF SITE
OPEN LANDSCAPED SPACE -	+/- 5,099.00 SQ. FT.	+/- 50.99% OF SITE
WATER BODIES (POOL) -	+/- 450 SQ. FT.	+/- 1.66% OF SITE
TOTALS	+/- 27,135.00 SQ. FT.	100% OF SITE

PARKING DATA:

R-1-AAA - SINGLE FAMILY RESIDENTIAL:	TWO (2) PER HOUSEHOLD ONE GUEST (1) PER HOUSEHOLD THREE (3)	TWO (2) ONE (1) THREE (3)
TOTALS:		

LEGAL DESCRIPTION:

(AS PROVIDED BY THE OWNER)

SITE DATA:

(APPROX. 27,135.00 SQ. FT. OR +/- 0.623 ACRES)
ZONED: R-1-AAA (SINGLE FAMILY RESIDENTIAL)
PROPOSED USE: PRIVATE SF RESIDENCE

GENERAL CIVIL NOTES:

- 1.) THERE ARE TWO (2) EXISTING DRIVEWAYS WITHIN 50' OF SUBJECT PROPERTY
- 2.) THERE ARE NO EXISTING TREES NOR VEGETATION W/ A DIA. OF 4' OR GREATER ON SUBJECT PROPERTY

GENERAL GRADING NOTES:

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS. WHICH ARE ALL
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

SYMBOLS LEGEND:

- +4.81NAVD EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
- +4.81NAVD PROPOSED NEW TOPOGRAPHY (FINISH GRADE)

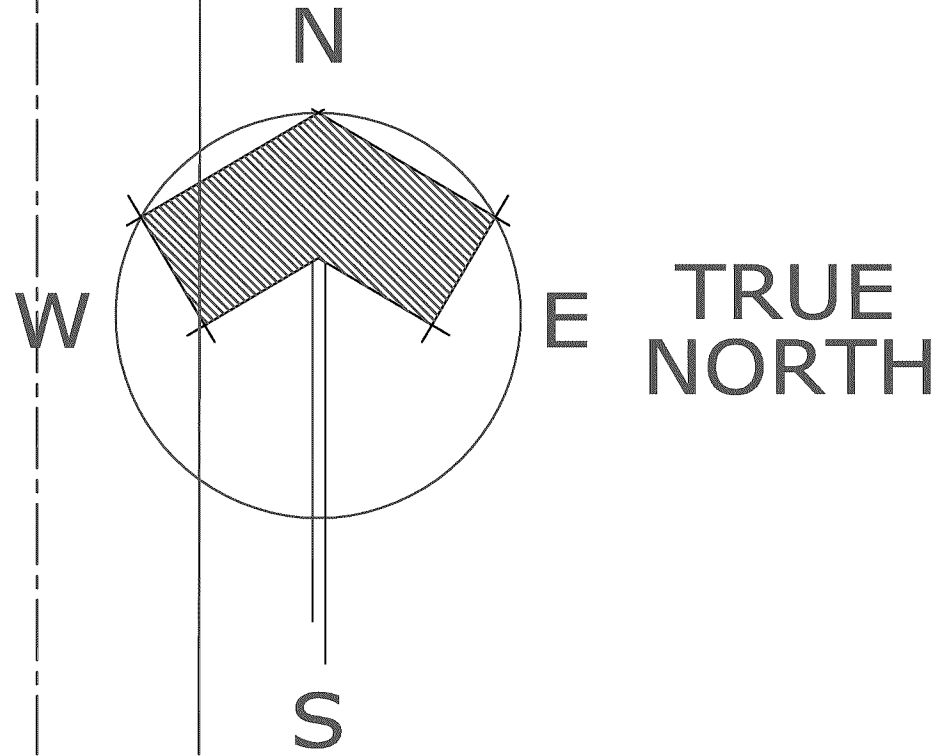
EXISTING
A1 ARCHITECTURAL SITE PLAN

ENGINEERING SCALE: 1" = 20'-0"

PROJECT SITE DATA CHART:

R-1-AAA	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH/ FRONTAGE (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN SPACE (%)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. NORTH INTERIOR SETBACK (ft.)	MIN. SOUTH INTERIOR SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT/ # OF FLRS. (ft.)	DENSITY (UNITS PER ACRE) (#)	NO. OF DWELLING UNITS (#)	WATER BODIES (POOL) (ft.)	PERVIOUS/ IMPERVIOUS AREA (ft.)
REQUIRED	12,500	100'-0"	110'-0"	2,200	25	NA	35'-0"	12'-0"	12'-0"	12'-0"	35'-0"	NA	1	-	-
PROVIDED +/-1'-0"	27,135	100'-0"	346'-9"	4,541	+83	NA	+41'-3"	+1'-0" +5'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,745/4,255
EXISTING	27,135	100'-0"	346'-9"	3,773	+86	NA	+58'-5"	+1'-0" +6'-2" +7'-10"	+8'-2"	12'-0"	+22'-7"/2	NA	1	+450	5,112/4,888

NON-CONFORMING TO REMAIN
NON-CONFORMING TO BE CORRECTED



"OCEAN APPLE ESTATE"
610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.
701 SE 1ST STREET
DELRAY BEACH, FLORIDA 33483-5305
ARCHITECTURE - PLANNING - INTERIORS

Seal
Drawn
RW COPE
Project No.
2020.45OCEANAPPLE
CAD File No.
EXISTING SITE PLAN
Date
OCTOBER 11, 2021
Drawing No.

A2.0
of

PROJECT DATA:

PROPOSED TOTAL GROUND FLOOR AREA -	+- 4,541.00 SQ. FT.	+- 16.74% OF SITE
PARKING & PAVED AREAS -	+- 4,852.00 SQ. FT.	+- 17.88% OF SITE
OPEN LANDSCAPED SPACE -	+-17,292.00 SQ. FT.	+- 63.72% OF SITE
WATER BODIES (POOL) -	+- 450 SQ. FT.	+- 1.66% OF SITE
TOTALS	+- 27,135.00 SQ. FT.	100% OF SITE

PARKING DATA:

R-1-AAA - SINGLE FAMILY RESIDENTIAL:	TWO (2) PER HOUSEHOLD ONE GUEST (1) PER HOUSEHOLD THREE (3)	TWO (2) ONE (1) THREE (3)
TOTALS:		

LEGAL DESCRIPTION:

(AS PROVIDED BY THE OWNER)

SITE DATA:

(APPROX. 27,135.00 SQ. FT. OR +- 0.623 ACRES)
ZONED: R-1-AAA (SINGLE FAMILY RESIDENTIAL)
PROPOSED USE: PRIVATE SF RESIDENCE

GENERAL CIVIL NOTES:

- 1.) THERE ARE TWO (2) EXISTING DRIVEWAYS WITHIN 50' OF SUBJECT PROPERTY
- 2.) THERE ARE NO EXISTING TREES NOR VEGETATION W/ A DIA. OF 4" OR GREATER ON SUBJECT PROPERTY

GENERAL GRADING NOTES:

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

SYMBOLS LEGEND:

- EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
- PROPOSED NEW TOPOGRAPHY (FINISH GRADE)

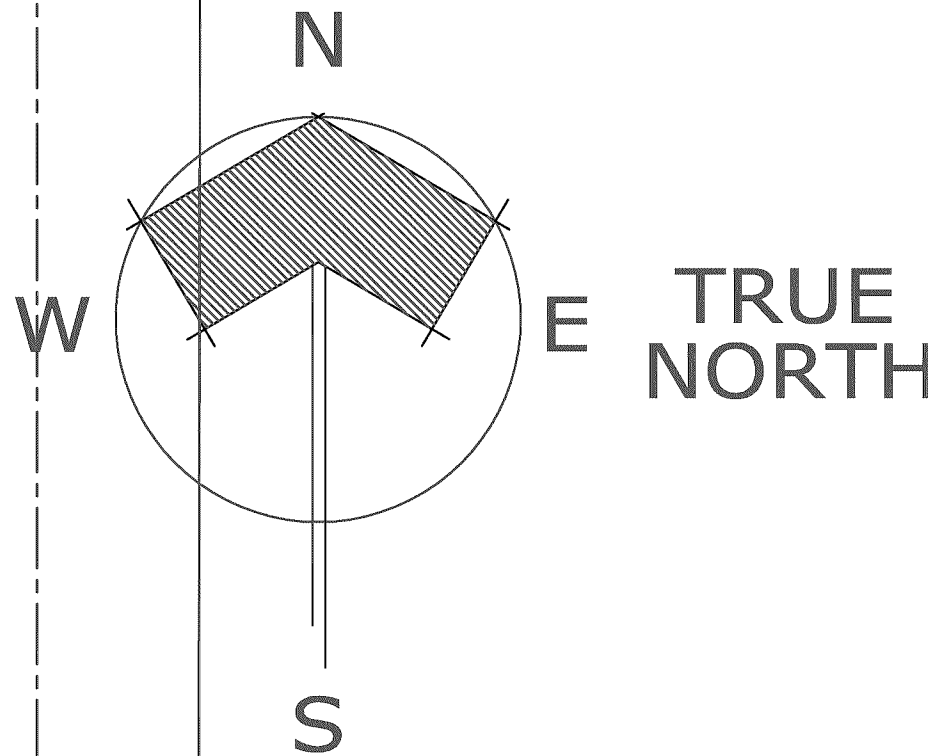
PROPOSED
A2 ARCHITECTURAL SITE PLAN

ENGINEERING SCALE: 1" = 20'-0"

PROJECT SITE DATA CHART:

R-1-AAA	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH/ FRONTAGE (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN SPACE (%)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. NORTH INTERIOR SETBACK (ft.)	MIN. SOUTH INTERIOR SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT/ # OF FLRS. (ft.)	DENSITY (UNITS PER ACRE) (#)	NO. OF DWELLING UNITS (#)	WATER BODIES (POOL) (ft.)	PERVIOUS/ IMPERVIOUS AREA (ft.)
REQUIRED	12,500	100'-0"	110'-0"	2,200	25	NA	35'-0"	12'-0"	12'-0"	12'-0"	35'-0"	NA	1	-	-
PROVIDED	27,135	100'-0"	346'-9"	4,541	+83	NA	+41'-3"	+1'-0" +6'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,745/4,255
EXISTING	27,135	100'-0"	346'-9"	3,773	+86	NA	+58'-5"	+1'-0" +6'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,112/4,888

VARIANCE REQUEST



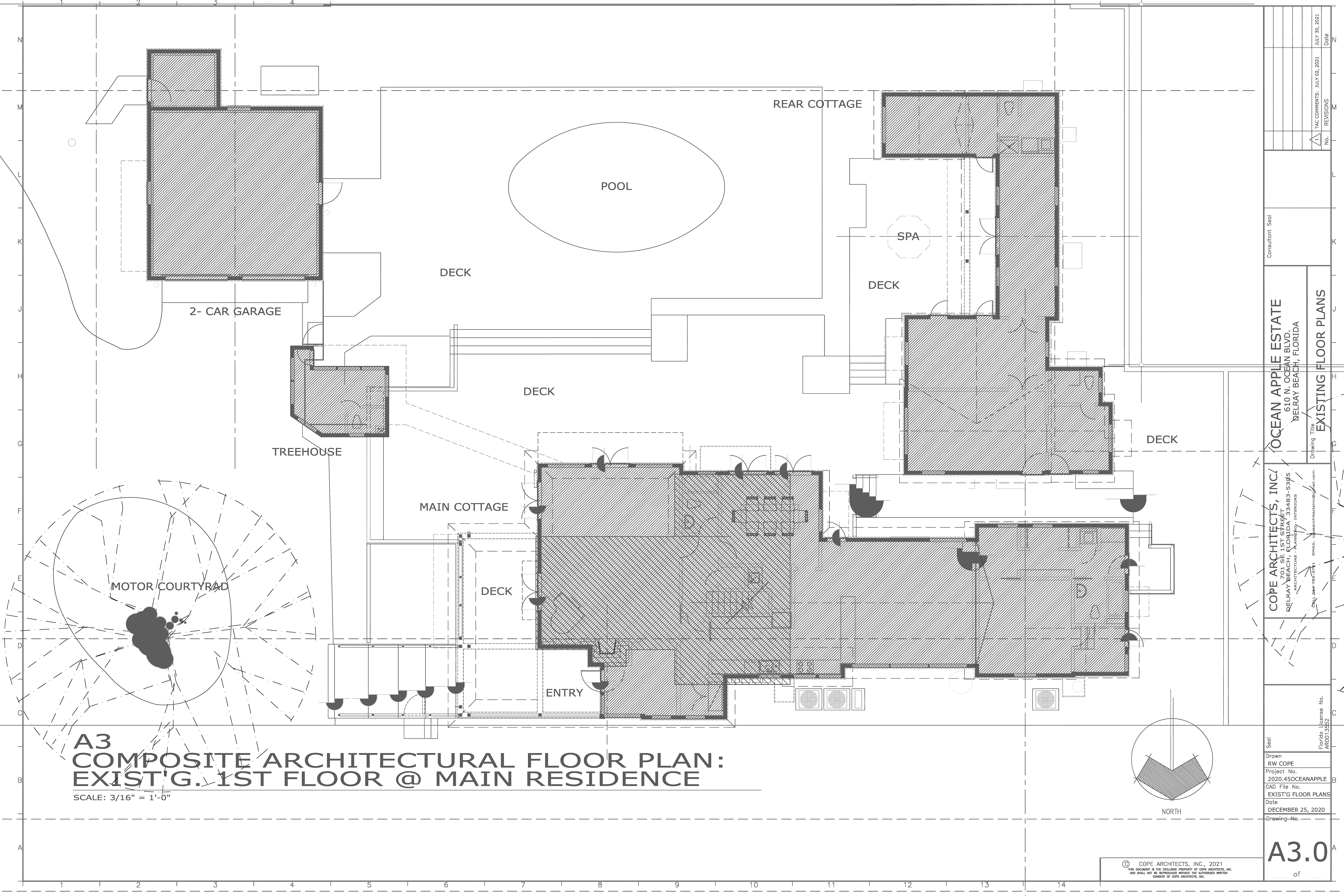
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ARCHITECTURE - PLANNING - INTERIORS
cell 561 789-3791 email copearchitectsinc@gmail.com

"OCEAN APPLE ESTATE"
610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483

SITE PLAN
Drawing Title

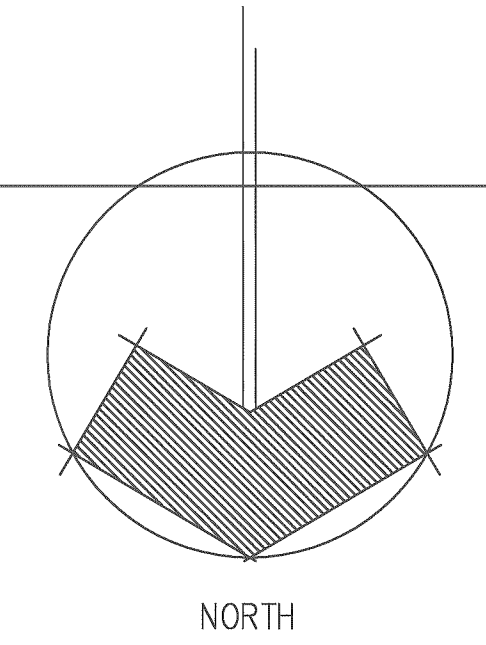
Seal
Drawn
RW COPE
Project No.
2020.45OCEANAPPLE
CAD File No.
PROPOSED SITE PLAN
Date
NOVEMBER 08, 2021
Drawing No.

A2.1
of

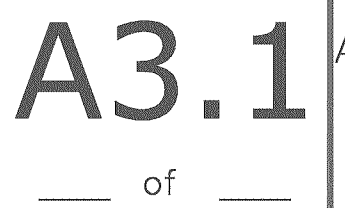


**A3
COMPOSITE ARCHITECTURAL FLOOR PLAN:
EXIST'G. 1ST FLOOR @ MAIN RESIDENCE**

SCALE: 3/16" = 1'-0"



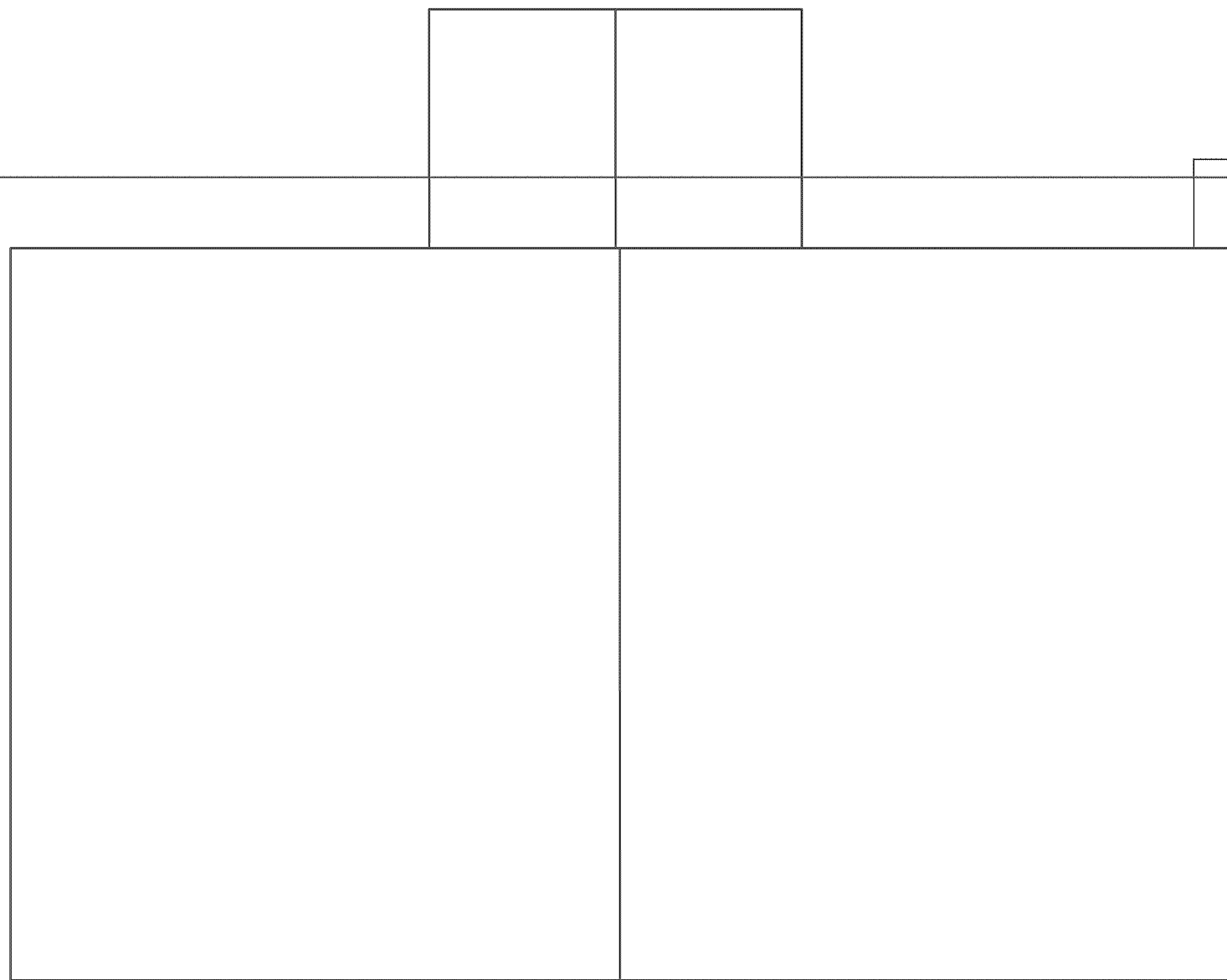
Seal	DRAWN RW COPE PROJECT NO. 2020.45OCEANAPPLE CAD FILE NO. EXIST'G FLOOR PLANS DATE DECEMBER 25, 2020 DRAWING NO.	CONSULTANT SEAL	OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA		TAC COMMENTS: JULY 02, 2021 REVISIONS No. 1 Date JULY 30, 2021
			EXISTING FLOOR PLANS		
			Cope Architects, Inc. 701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5345 ARCHITECTURE - PLANNING - INTERIORS TEL 561-796-5741 EMAIL info@copearchitectsinc.com		



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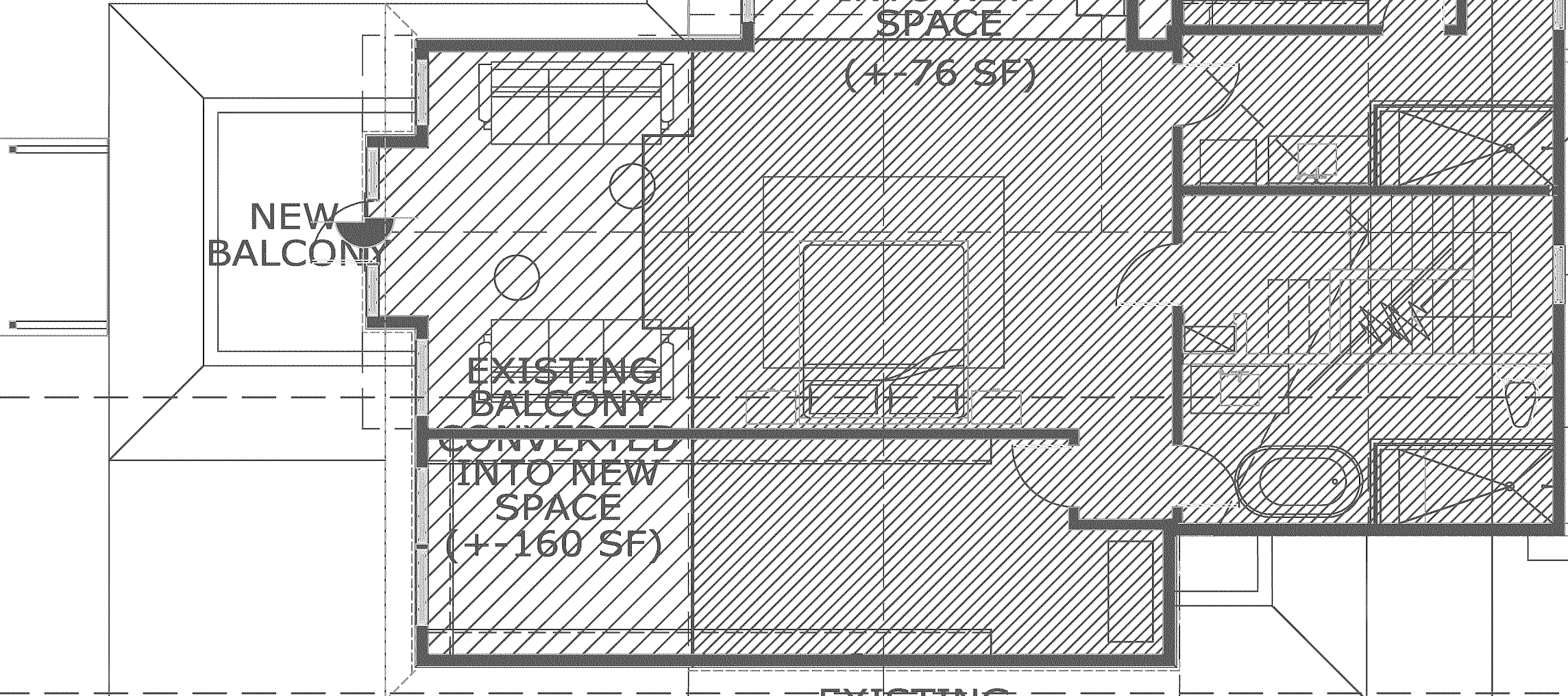


RE-DESIGNED GARAGE
(converted from 2 to 3-car)

CHANGING ROOM
(relocated tree house)

H
G
F
E
D
C
B
A

RE-DESIGNED/COMBINED
MAIN COTTAGE & REAR WING
(+-768 GSF)



NEW
BALCONY

EXISTING
BALCONY
CONVERTED
INTO NEW
SPACE
(+-160 SF)

EXISTING
BALCONY
CONVERTED
INTO NEW
SPACE
(+-76 SF)

EXISTING
BALCONY

EXISTING
MAIN COTTAGE
(+-532 SF)

11'-0"

11'-0"

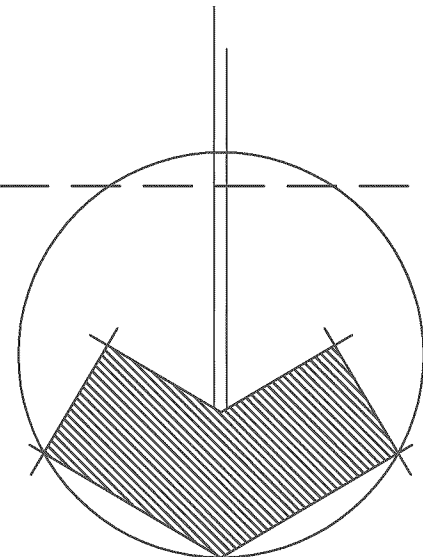
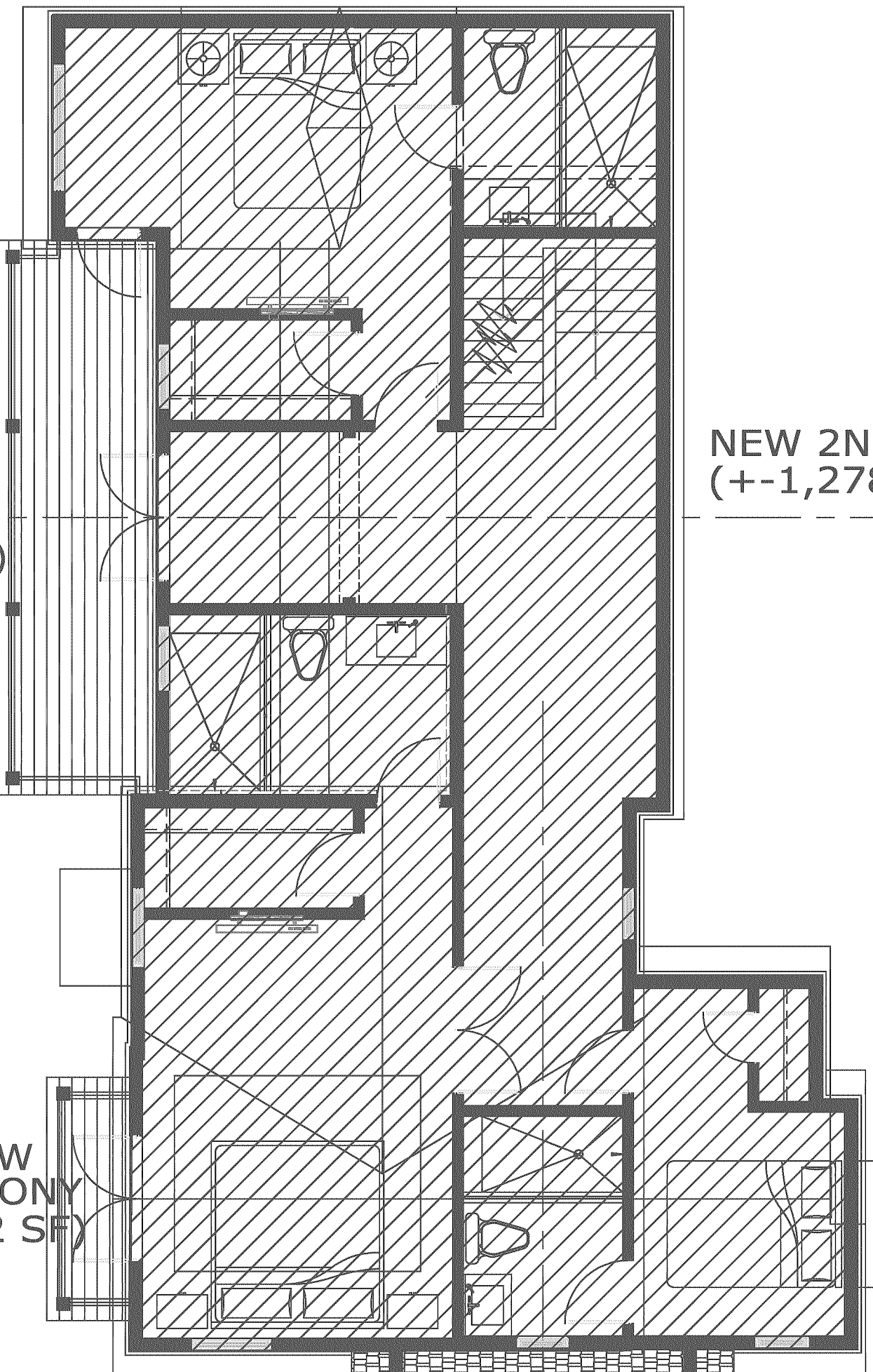
A4 COMPOSITE ARCHITECTURAL PLAN: PROPOSED 2ND FLOOR

SCALE: 3/16" = 1'-0"

NEW
BALCONY
(+-140 SF)

NEW
BALCONY
(+-32 SF)

NEW 2ND FLOOR @ REAR WING
(+-1,278 gsf under air)



NORTH

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1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021

Consultant Seal

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610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA

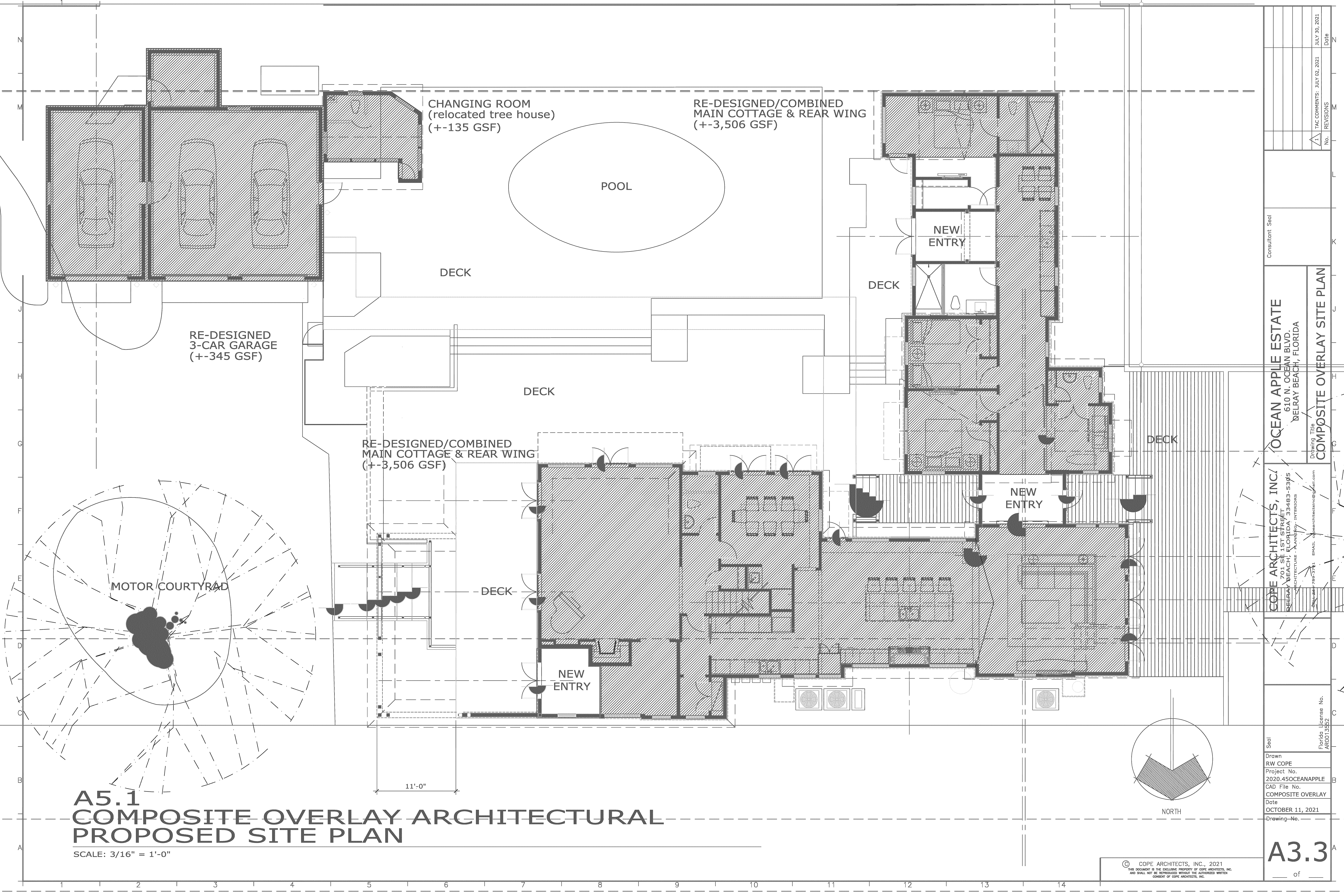
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Date
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Drawing No.

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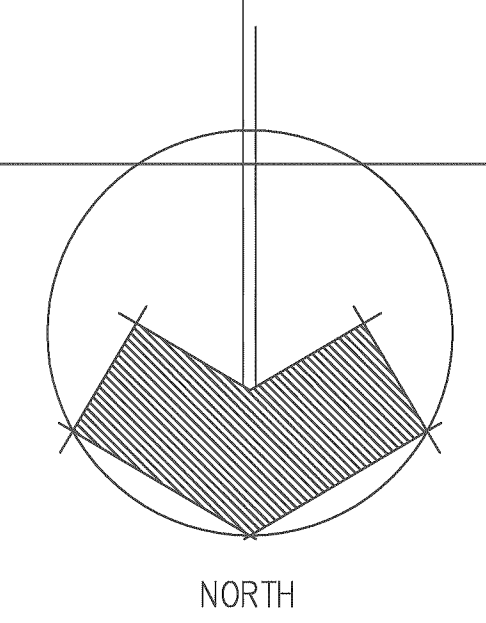
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A5.1
COMPOSITE OVERLAY ARCHITECTURAL
PROPOSED SITE PLAN

SCALE: 3/16" = 1'-0"

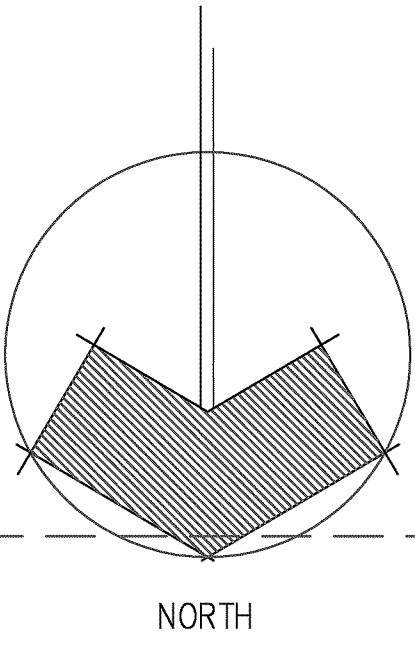
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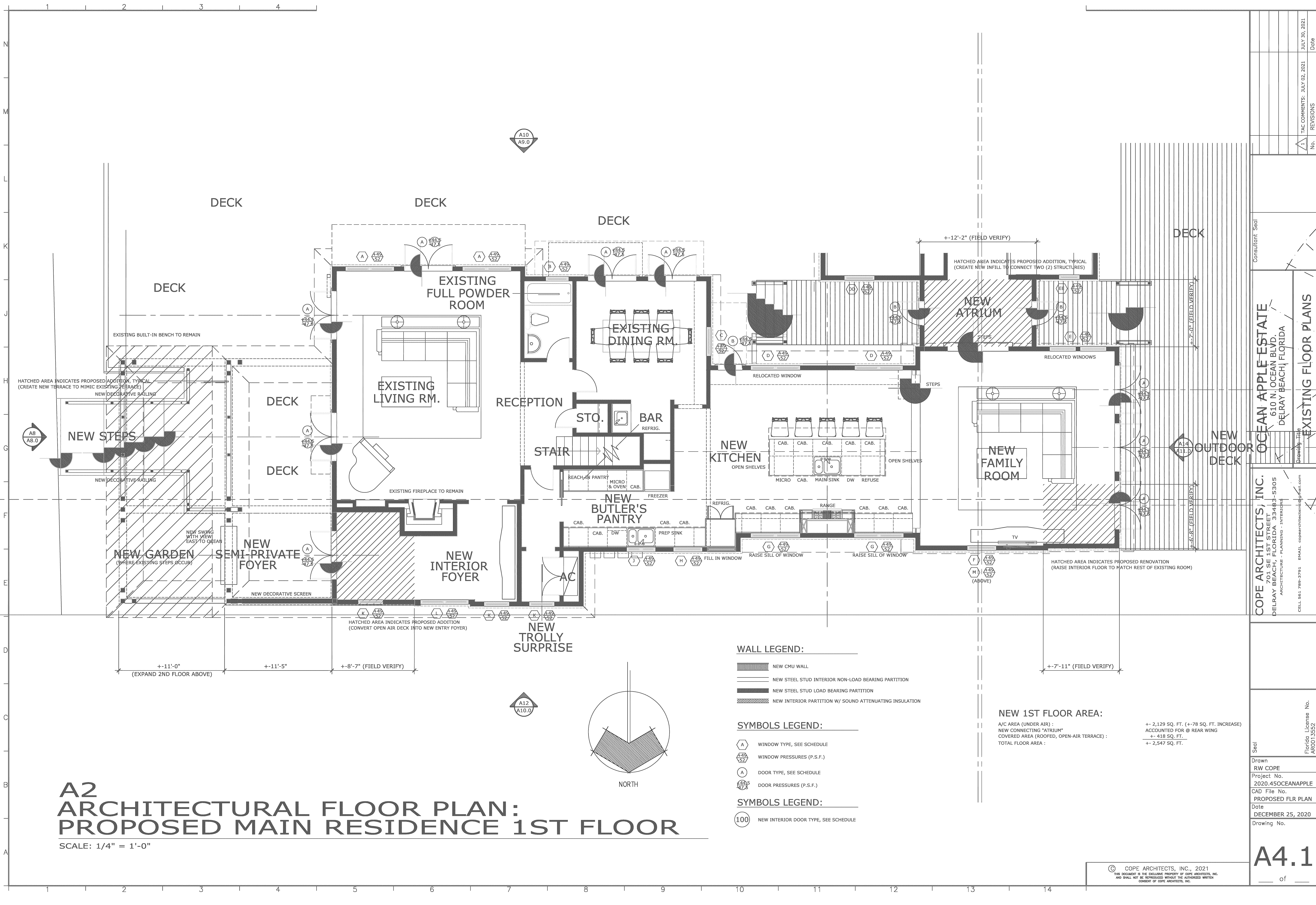
A2
ARCHITECTURAL FLOOR PLAN:
EXIST'G. MAIN RESIDENCE 1ST FLOOR

SCALE: 1/4" = 1'-0"



EXISTING 1ST FLOOR AREA:
A/C AREA (UNDER AIR) : ++ 2,051 SQ. FT.
FOOTPRINT OF ORIGINAL PONTAINE FOX RESIDENCE : (+/- 781 SQ. FT.)
COVERED AREA (ROOFED, OPEN-AIR TERRACE) : ++ 364 SQ. FT.
TOTAL FLOOR AREA : ++ 2,415 SQ. FT.

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								Project No. 2020.45OCEANAPPLE	
								CAD File No. EXISTG 1ST FLR PLAN	
								Date DECEMBER 25, 2020	
								Drawing No.	
								A4.0	
								of	



A2 ARCHITECTURAL FLOOR PLAN: PROPOSED MAIN RESIDENCE 1ST FLOOR

SCALE: 1/4" = 1'-0"

- WALL LEGEND:**
- NEW CMU WALL
 - NEW STEEL STUD INTERIOR NON-LOAD BEARING PARTITION
 - NEW STEEL STUD LOAD BEARING PARTITION
 - NEW INTERIOR PARTITION W/ SOUND ATTENUATING INSULATION

- SYMBOLS LEGEND:**
- WINDOW TYPE, SEE SCHEDULE
 - WINDOW PRESSURES (P.S.F.)
 - DOOR TYPE, SEE SCHEDULE
 - DOOR PRESSURES (P.S.F.)

- SYMBOLS LEGEND:**
- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

NEW 1ST FLOOR AREA:

A/C AREA (UNDER AIR) :
NEW CONNECTING "ATRIUM"
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :
TOTAL FLOOR AREA :

++ 2,129 SQ. FT. (+78 SQ. FT. INCREASE)
ACCOUNTED FOR @ REAR WING
++ 418 SQ. FT.
++ 2,547 SQ. FT.

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PROPOSED FLR PLAN

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610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA

EXISTING FLOOR PLANS

TAC COMMENTS: JULY 02, 2021

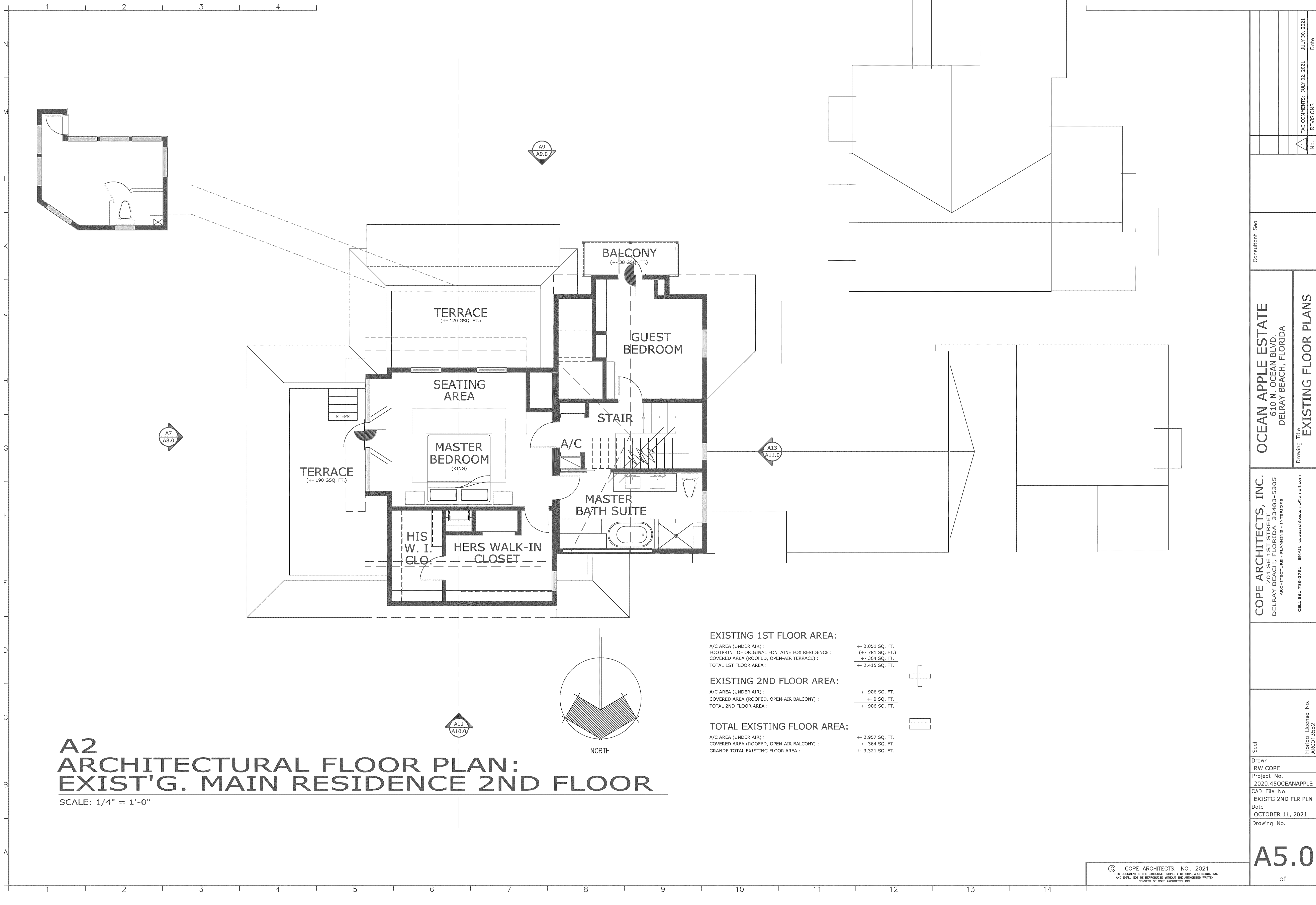
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Date

JULY 30, 2021

A4.1
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A2 ARCHITECTURAL FLOOR PLAN: EXIST'G. MAIN RESIDENCE 2ND FLOOR

SCALE: 1/4" = 1'-0"

EXISTING 1ST FLOOR AREA:

A/C AREA (UNDER AIR) :	+/- 2,051 SQ. FT.
FOOTPRINT OF ORIGINAL FONTAINE FOX RESIDENCE :	(+/- 781 SQ. FT.)
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :	+/- 364 SQ. FT.
TOTAL 1ST FLOOR AREA :	+/- 2,415 SQ. FT.

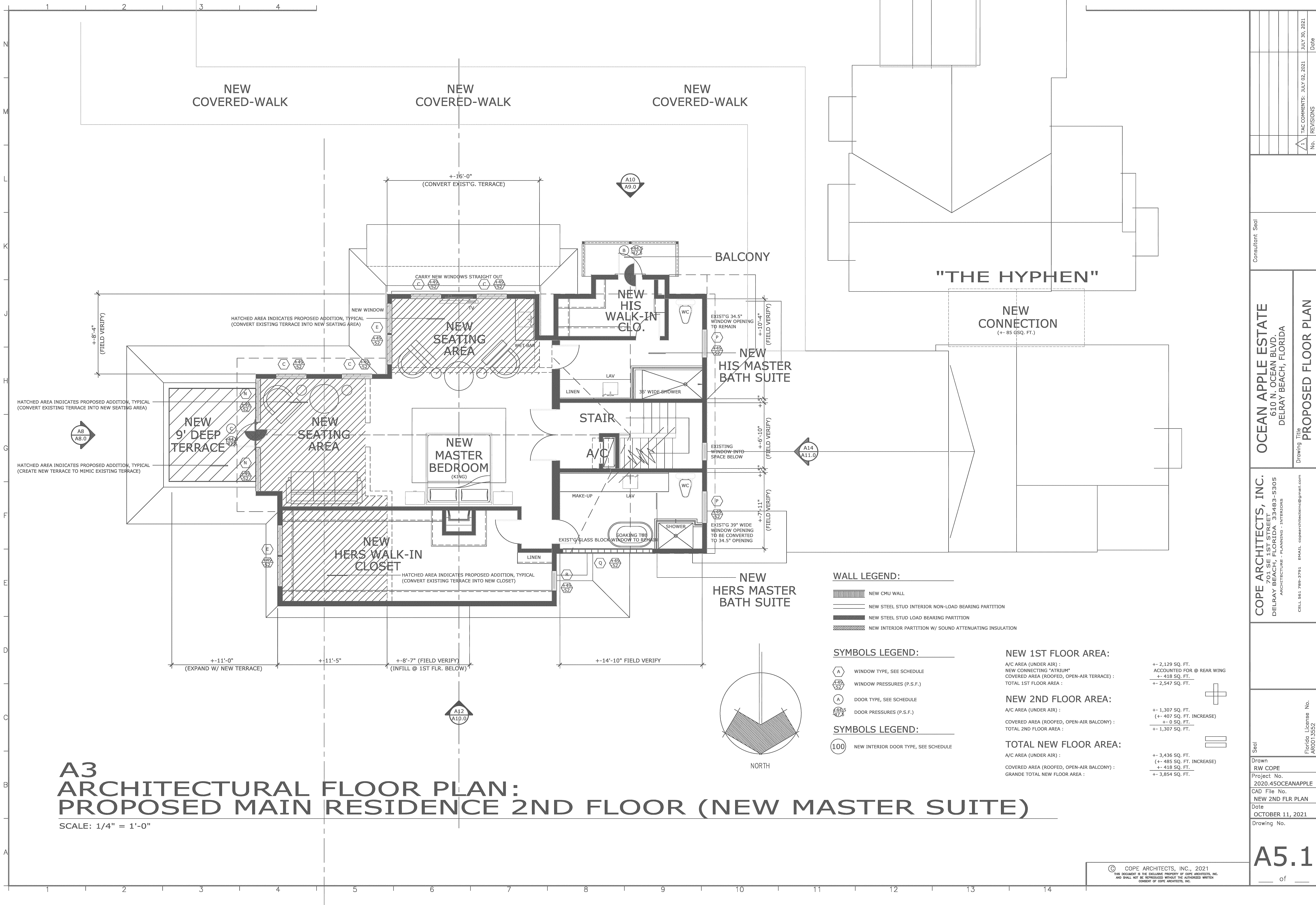
EXISTING 2ND FLOOR AREA:

A/C AREA (UNDER AIR) :	+/- 906 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	+/- 0 SQ. FT.
TOTAL 2ND FLOOR AREA :	+/- 906 SQ. FT.

TOTAL EXISTING FLOOR AREA:

A/C AREA (UNDER AIR) :	+/- 2,957 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	+/- 364 SQ. FT.
GRANDE TOTAL EXISTING FLOOR AREA :	+/- 3,321 SQ. FT.

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A3 ARCHITECTURAL FLOOR PLAN: PROPOSED MAIN RESIDENCE 2ND FLOOR (NEW MASTER SUITE)

SCALE: 1/4" = 1'-0"

WALL LEGEND:

- NEW CMU WALL
- NEW STEEL STUD INTERIOR NON-LOAD BEARING PARTITION
- NEW STEEL STUD LOAD BEARING PARTITION
- NEW INTERIOR PARTITION W/ SOUND ATTENUATING INSULATION

SYMBOLS LEGEND:

- WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)
- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

NEW 1ST FLOOR AREA:

A/C AREA (UNDER AIR) :
NEW CONNECTING "ATRIUM"
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :
TOTAL 1ST FLOOR AREA :
+/- 2,129 SQ. FT.
ACCOUNTED FOR @ REAR WING
+/- 418 SQ. FT.
+/- 2,547 SQ. FT.

NEW 2ND FLOOR AREA:

A/C AREA (UNDER AIR) :
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :
TOTAL 2ND FLOOR AREA :
+/- 1,307 SQ. FT.
(+/- 407 SQ. FT. INCREASE)
+/- 0 SQ. FT.
+/- 1,307 SQ. FT.

TOTAL NEW FLOOR AREA:

A/C AREA (UNDER AIR) :
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :
GRANDE TOTAL NEW FLOOR AREA :
+/- 3,436 SQ. FT.
(+/- 485 SQ. FT. INCREASE)
+/- 418 SQ. FT.
+/- 3,854 SQ. FT.

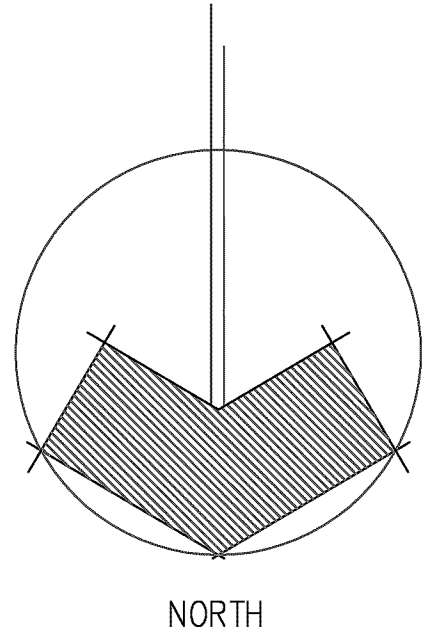
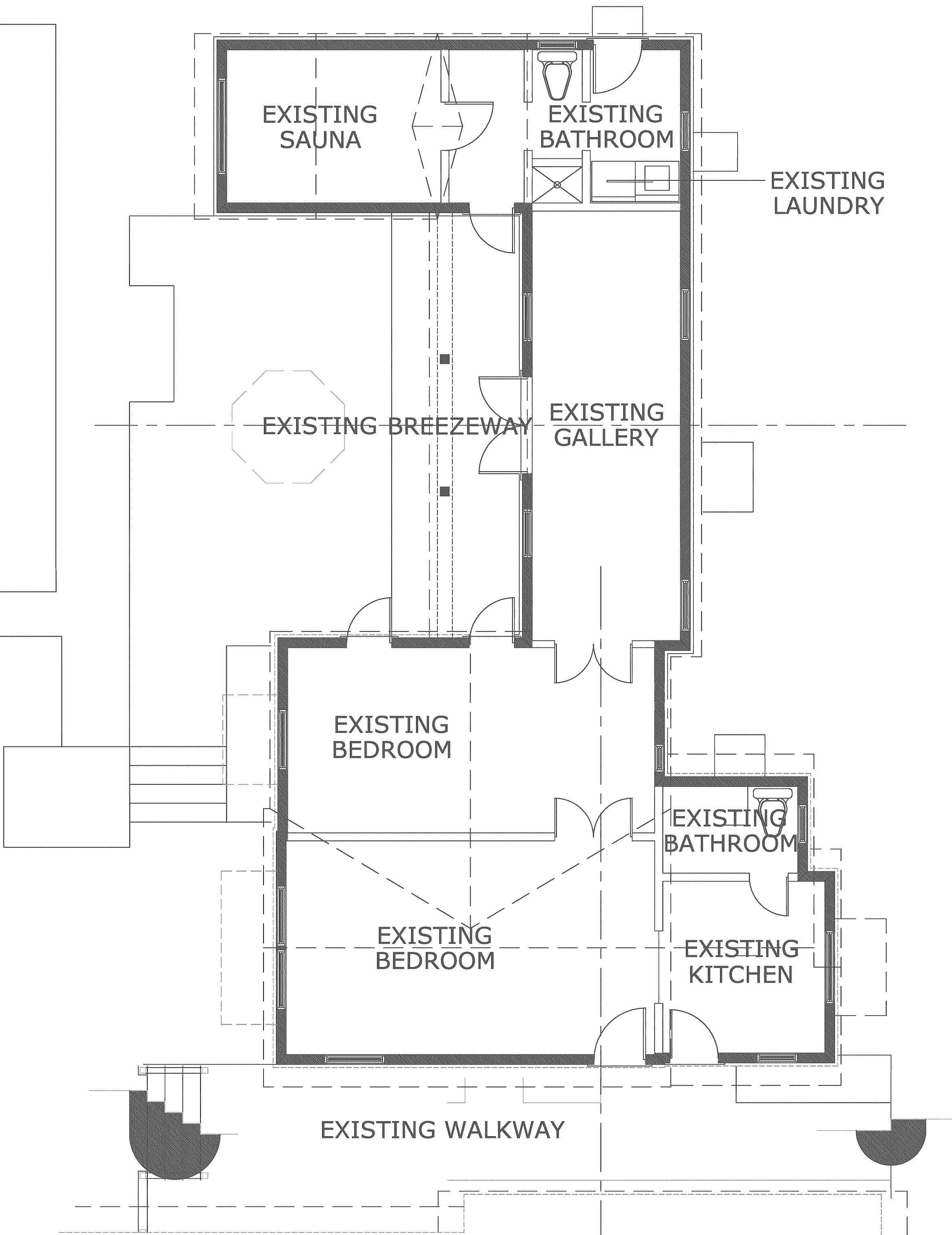
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EXISTING FLOOR AREA:

EXISTING LIVING AREA (UNDER AIR) : +- 1,005 SQ. FT.
EXISTING COVERED BREEZEWAY: +- 100 SQ. FT.
TOTAL RESULTANT FLOOR AREA : +- 1,105 SQ. FT.

A2
ARCHITECTURAL FLOOR PLAN:
EXIST'G. REAR COTTAGE

SCALE: 1/4" = 1'-0"



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610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA

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CAD File No.
EXIST'G FLOOR PLAN
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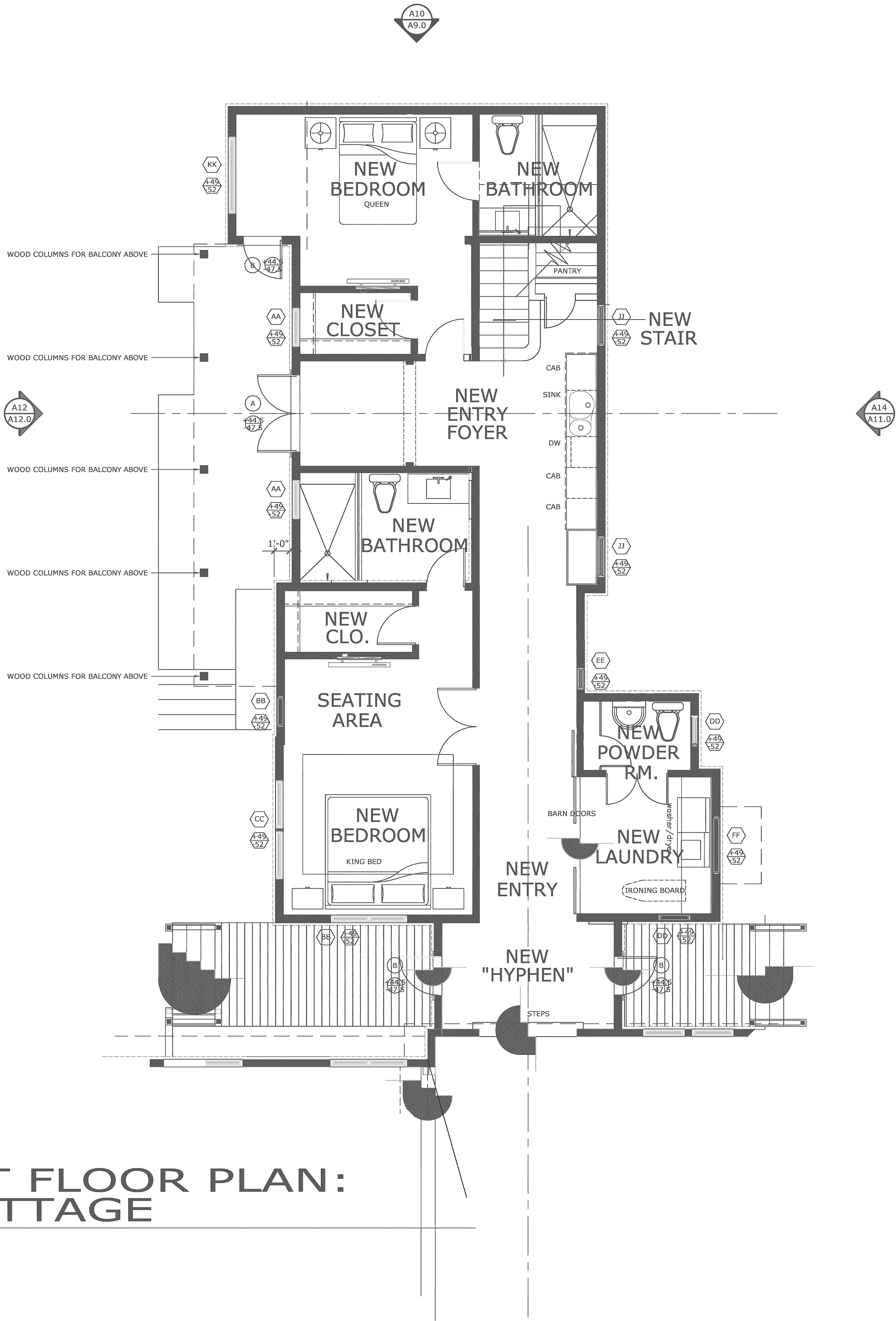
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Date

JULY 30, 2021
Date



SYMBOLS LEGEND:

- NEW WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- NEW DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)

SYMBOLS LEGEND:

- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

NEW RESULTANT 1ST FLOOR AREA:

EXISTING LIVING AREA (UNDER AIR) : +- 1,005 SQ. FT.
EXISTING COVERED BREEZEWAY: +- 100 SQ. FT.
NEW LIVING AREA (UNDER AIR): +- 273 SQ. FT.
RESULTANT COVERED BREEZEWAY: +- 0 SQ. FT.
TOTAL RESULTANT FLOOR AREA : +- 1,278 SQ. FT.

WALL LEGEND:

- EXISTING 4" WOOD STUD EXTERIOR WALL
- EXISTING INTERIOR PARTITION

A2 ARCHITECTURAL 1ST FLOOR PLAN: PROPOSED REAR COTTAGE

SCALE: 1/4" = 1'-0"

Consultant Seal

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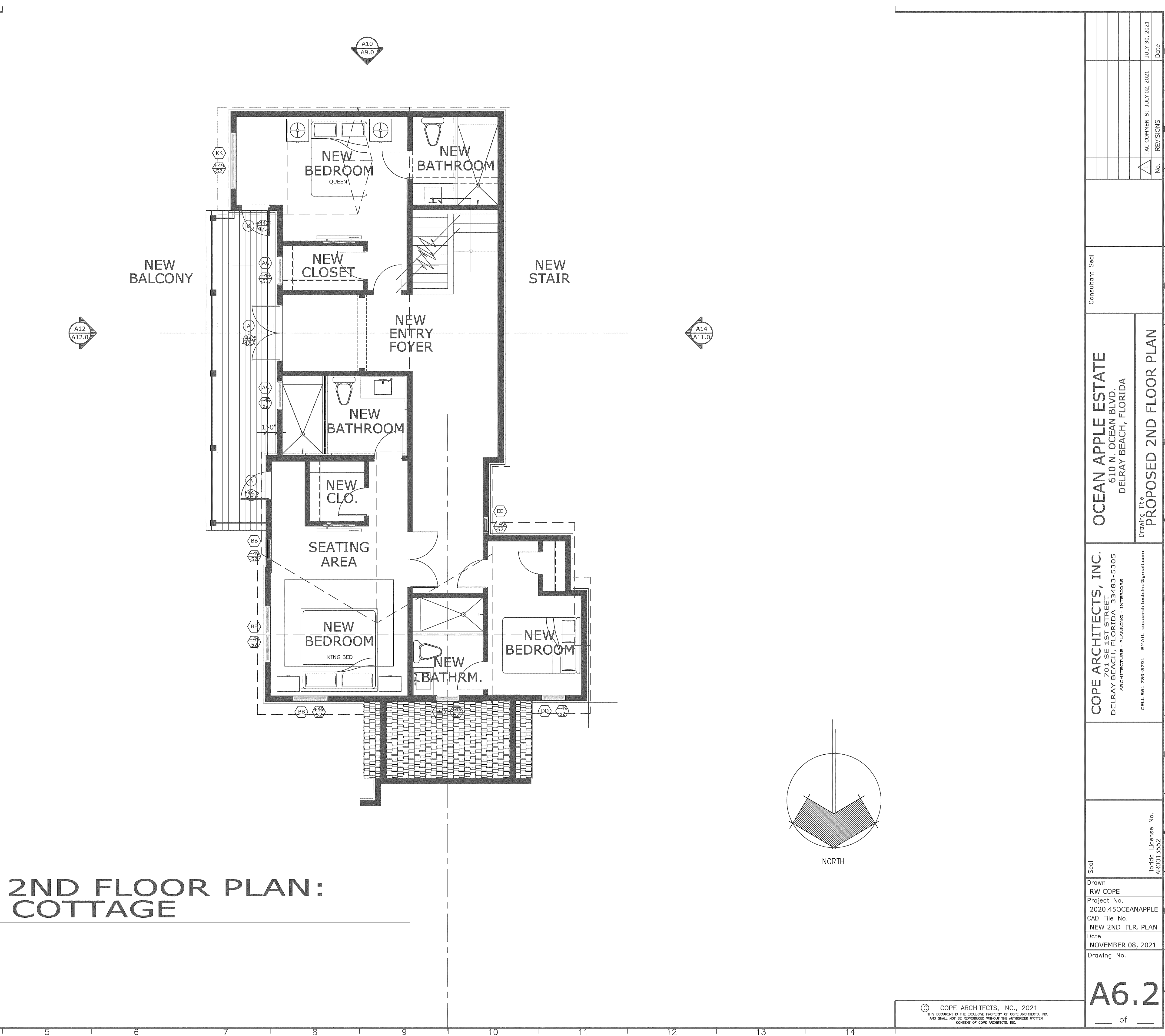
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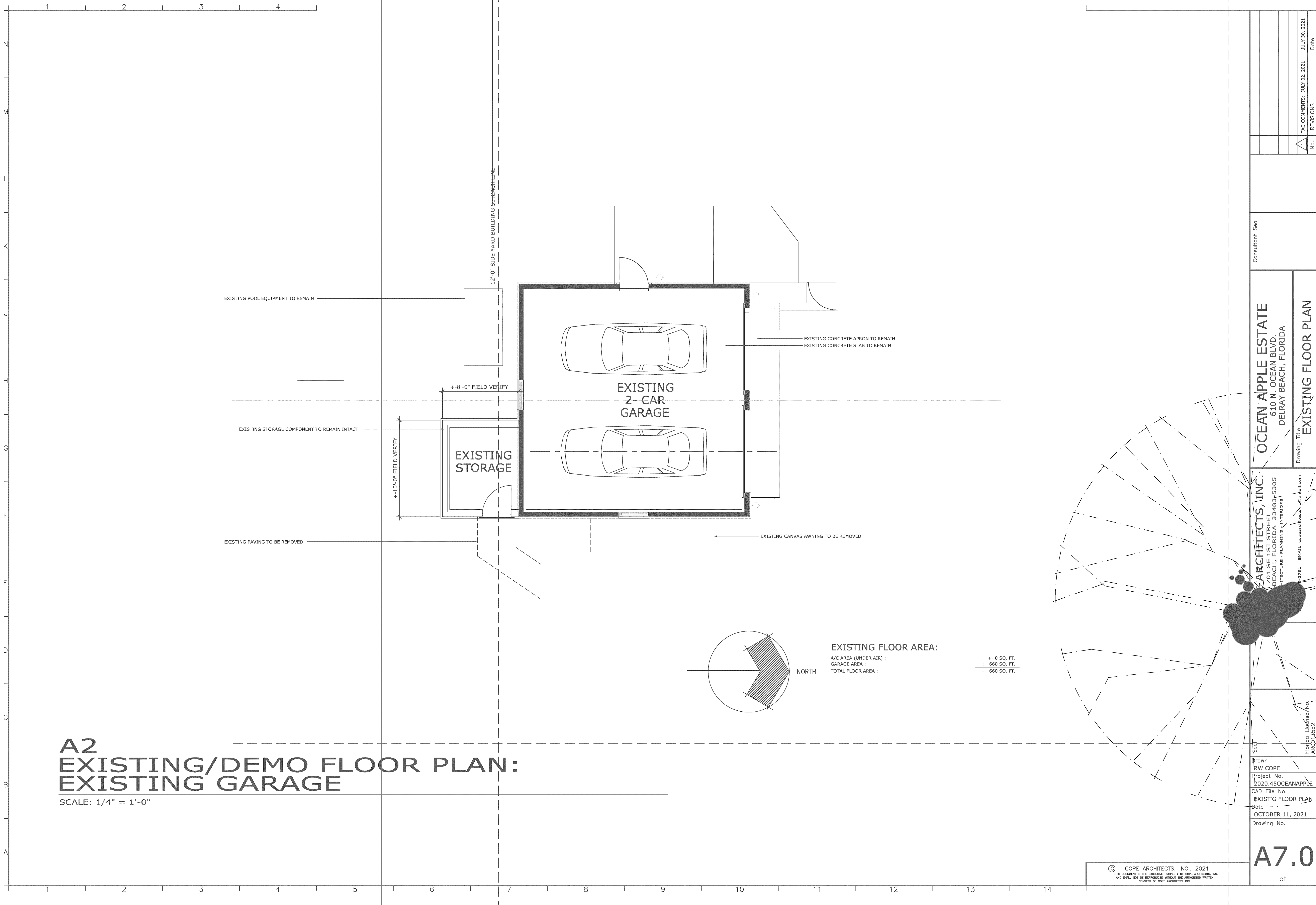
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			OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA	1 TAC COMMENTS: JULY 02, 2021 REVISIONS No.	JULY 30, 2021 Date						



A2
EXISTING/DEMO FLOOR PLAN:
EXISTING GARAGE
SCALE: 1/4" = 1'-0"

NORTH

EXISTING FLOOR AREA:

A/C AREA (UNDER AIR) :	+/- 0 SQ. FT.
GARAGE AREA :	+/- 660 SQ. FT.
TOTAL FLOOR AREA :	+/- 660 SQ. FT.

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EXISTING FLOOR PLAN

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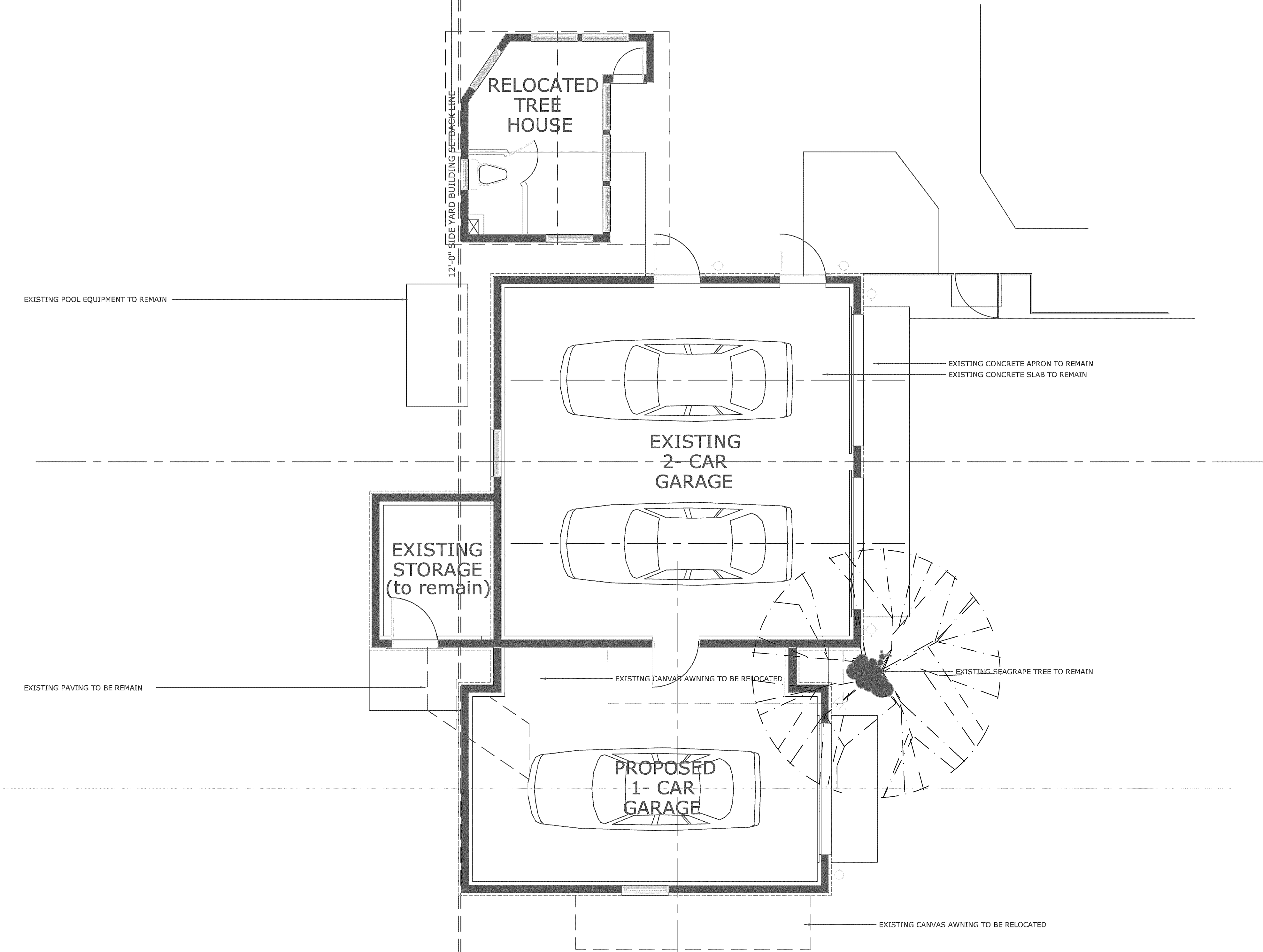
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A2
ARCHITECTURAL FLOOR PLAN:
PROPOSED 3-CAR GARAGE

SCALE: 1/4" = 1'-0"



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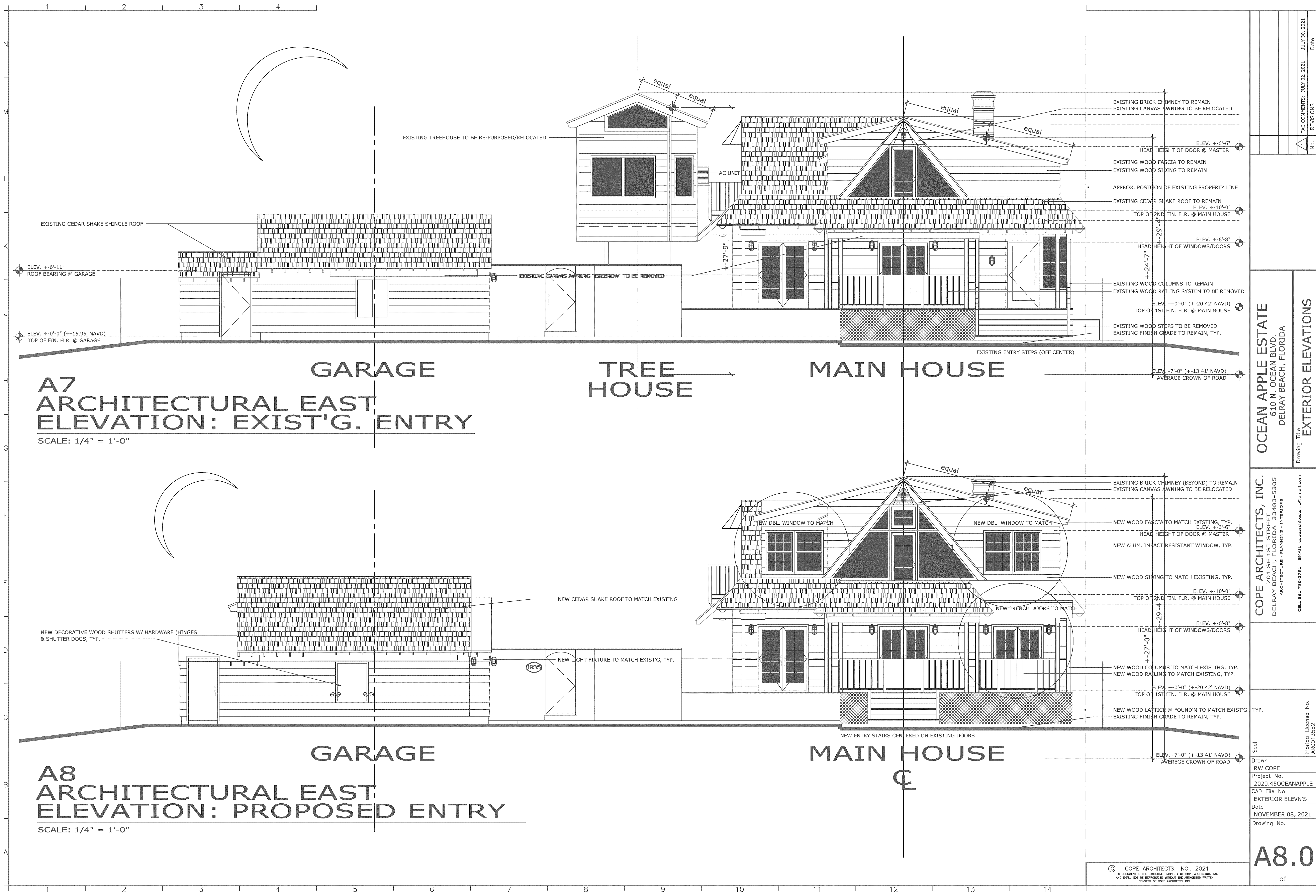
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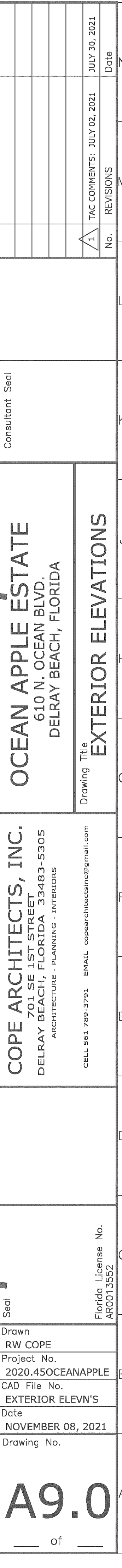
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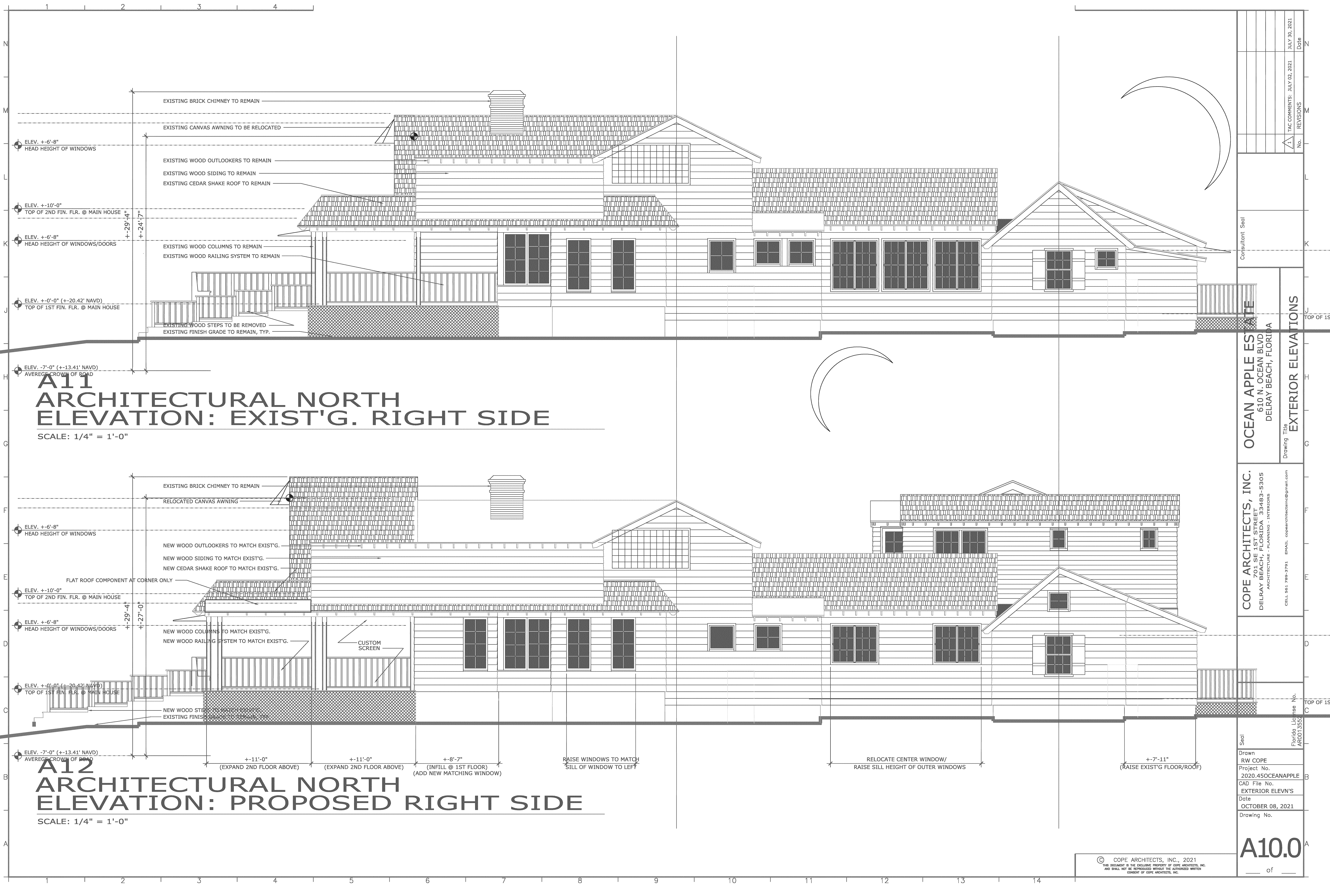
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A11
ARCHITECTURAL NORTH
ELEVATION: EXIST'G. RIGHT SIDE

SCALE: 1/4" = 1'-0"

A12
ARCHITECTURAL NORTH
ELEVATION: PROPOSED RIGHT SIDE

SCALE: 1/4" = 1'-0"

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of



A11
ARCHITECTURAL EAST/ENTRY
ELEVATION: EXISTING REAR COTTAGE

SCALE: 1/4" = 1'-0"

A11.1
ARCHITECTURAL SOUTH
ELEVATION: EXISTING REAR

SCALE: 1/4" = 1'-0"

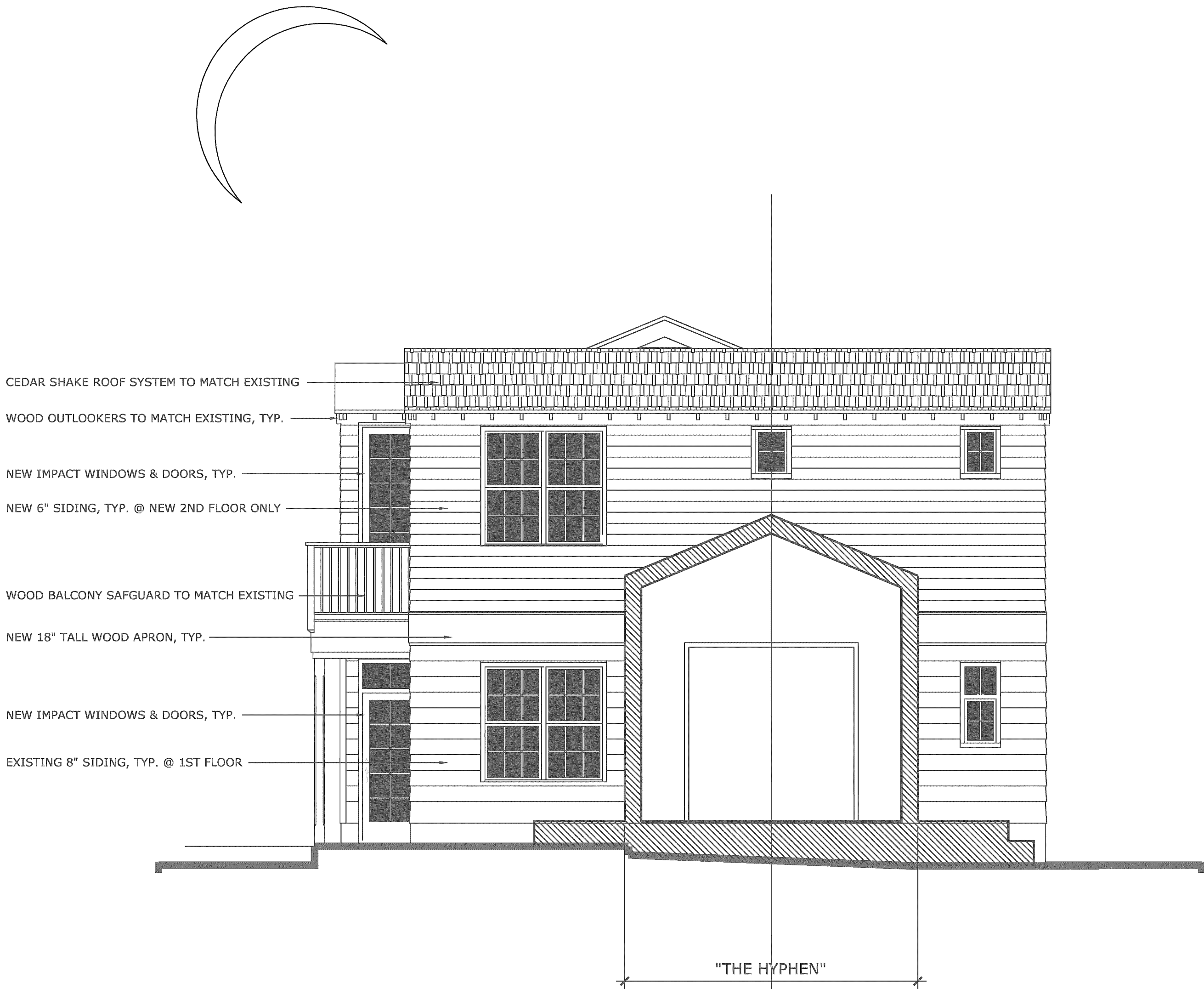
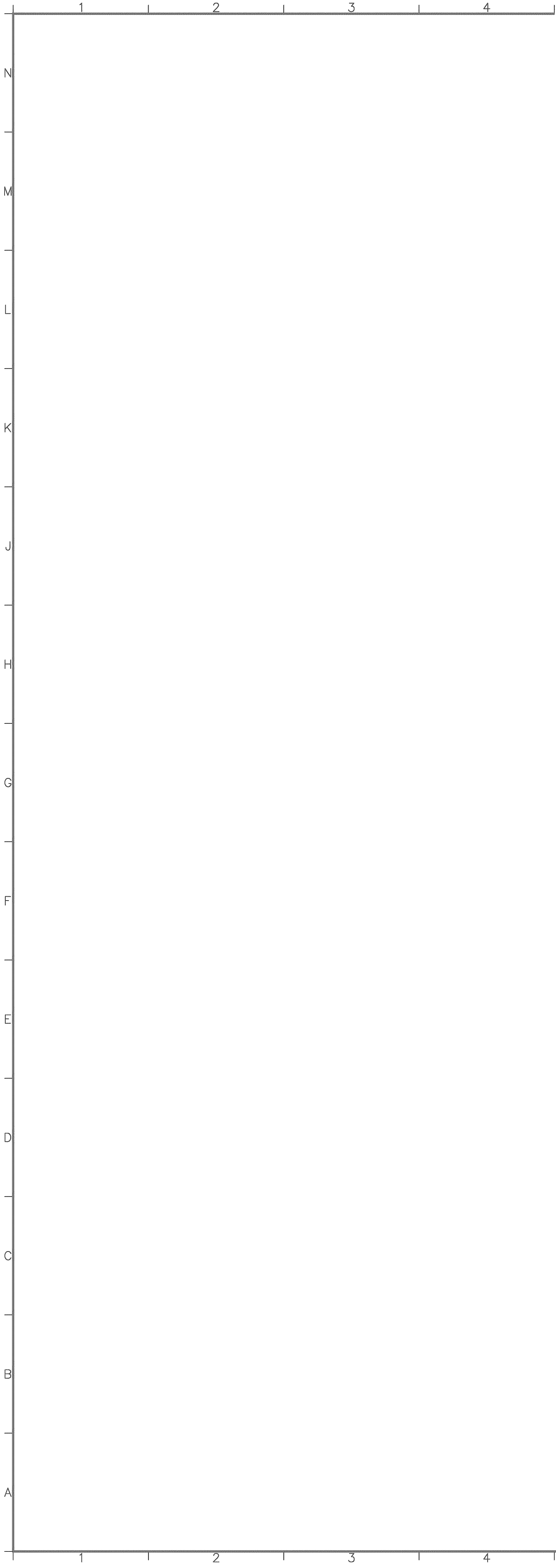
A12
ARCHITECTURAL EAST/ENTRY
ELEVATION: PROPOSED REAR COTTAGE

SCALE: 1/4" = 1'-0"

A12.1
ARCHITECTURAL SOUTH
ELEVATION: PROPOSED REAR

SCALE: 1/4" = 1'-0"

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Drawn RW COPE		Project No. 2020.45OCEANAPPLE		Date NOVEMBER 08, 2021	
CAD File No. EXTERIOR ELEVN'S		Drawing No.		A12.1	
Florida License No. AR0013552		TAC COMMENTS: JULY 02, 2021		Date JULY 30, 2021	
No.		REVISIONS		Date	



A12.1
ARCHITECTURAL NORTH
ELEVATION: PROPOSED REAR

SCALE: 1/4" = 1'-0"

Seal	Drawn RW COPE Project No. 2020.45OCEANAPPLE CAD File No. EXTERIOR ELEVN'S Date NOVEMBER 08, 2021 Drawing No.	Florida License No. AR0013552	CELL 561 799-3791 EMAIL copearchitectsinc@gmail.com	Drawing Title OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA EXTERIOR ELEVATIONS	Consultant Seal																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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SCALE: 1/4" = 1'-0"



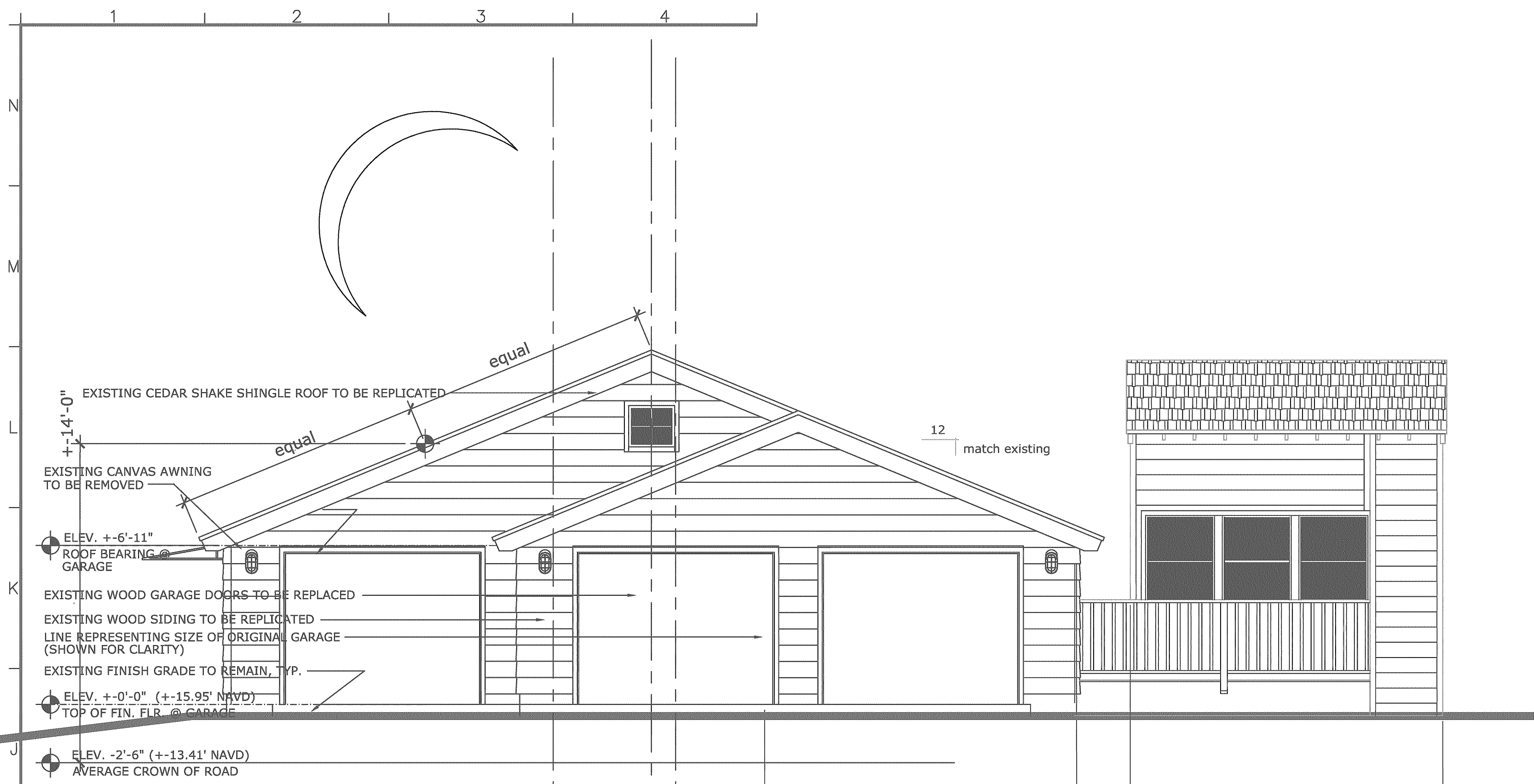
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

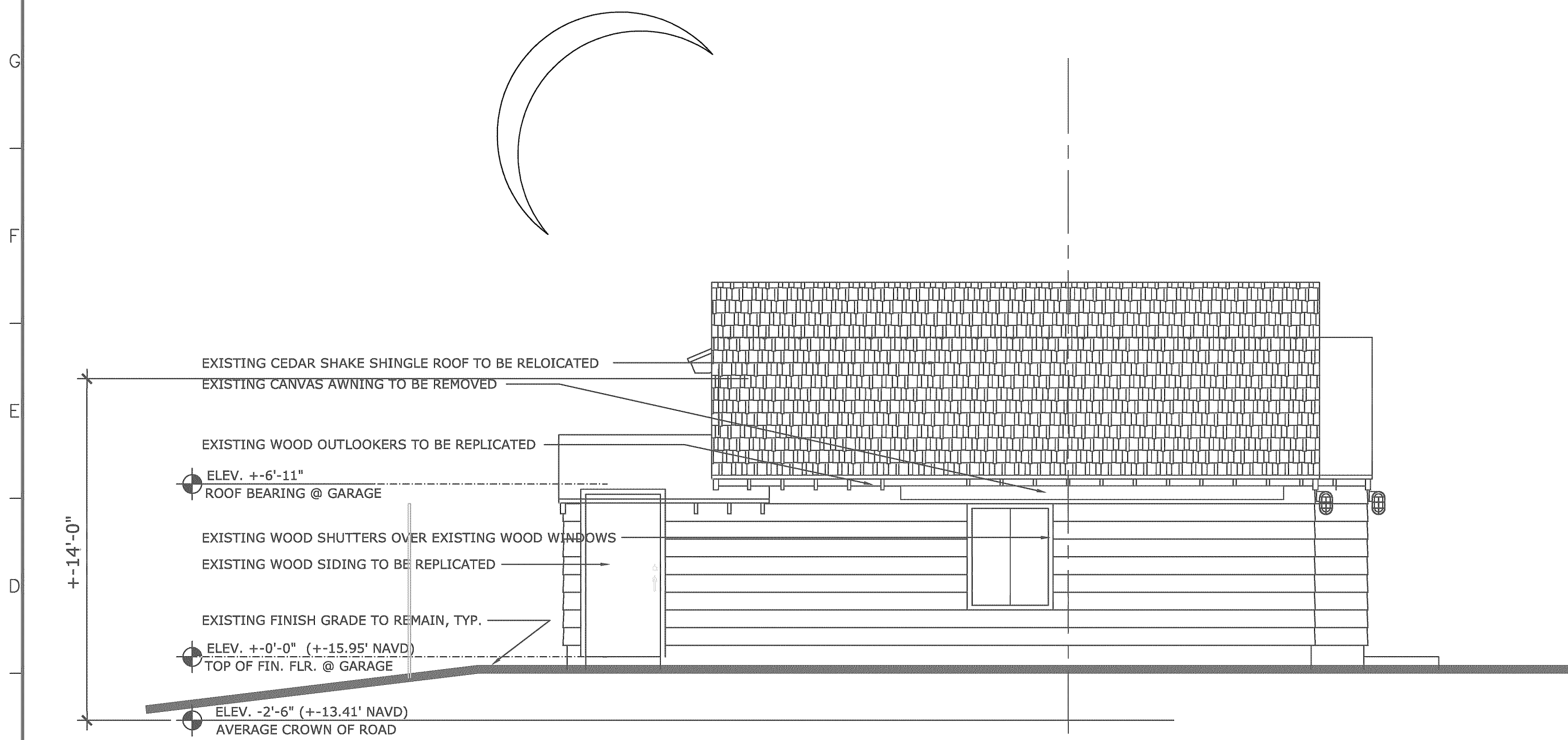


SCALE: 1/4" = 1'-0"



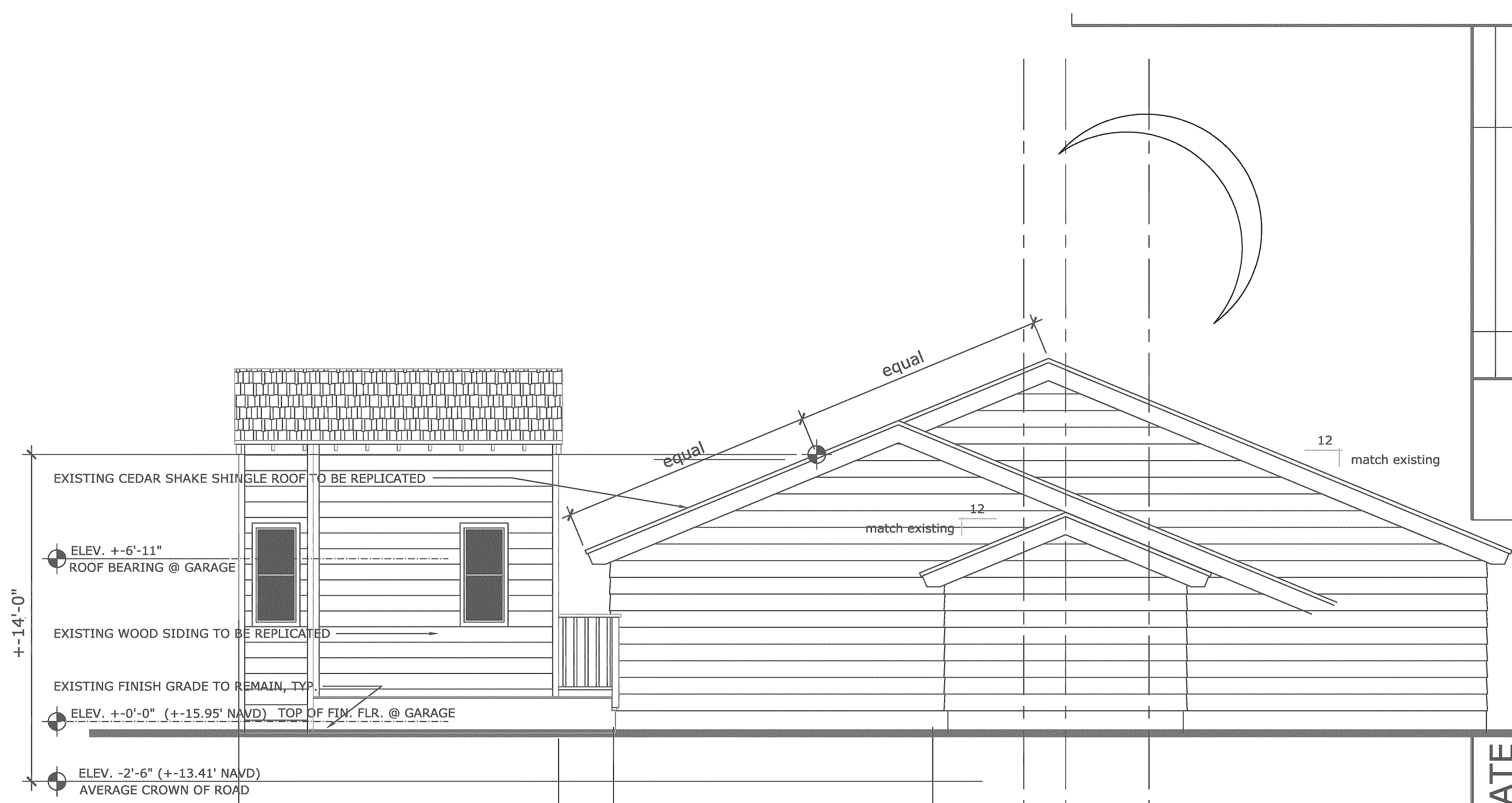
A3
ARCHITECTURAL NORTH/ENTRY
ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



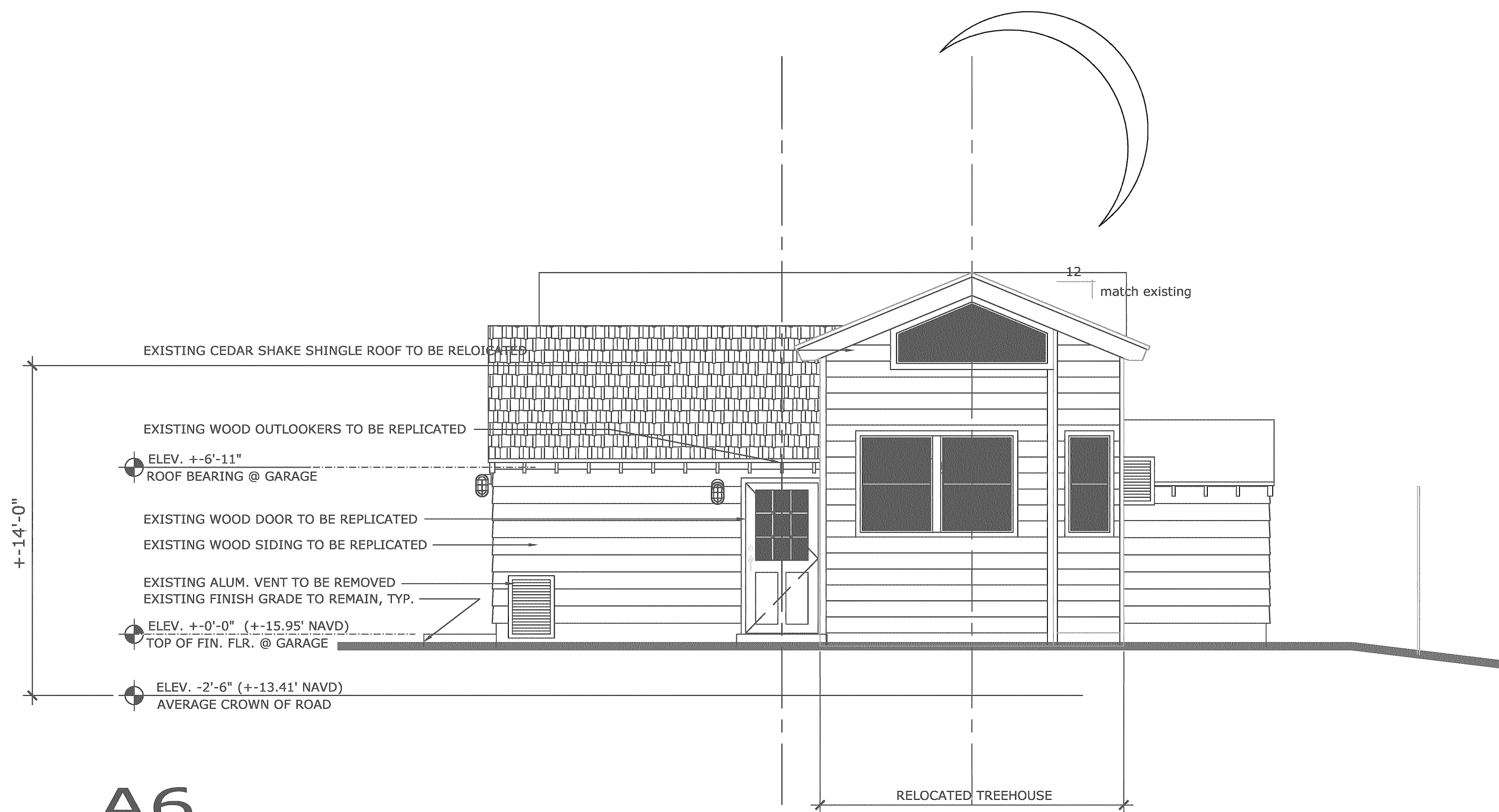
A5
ARCHITECTURAL EAST/LEFT SIDE
ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



A4
ARCHITECTURAL SOUTH/REAR
ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



A6
ARCHITECTURAL WEST/RIGHT SIDE
ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021
2	STAFF REQUEST: OCT. 18, 2021	OCT. 19, 2021

OCEAN APPLE ESTATE
610 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA

EXTERIOR ELEVATIONS

COPE ARCHITECTS, INC.
701 SE 1ST STREET
DELRAY BEACH, FLORIDA 33483-5305
ARCHITECTURE - PLANNING - INTERIORS

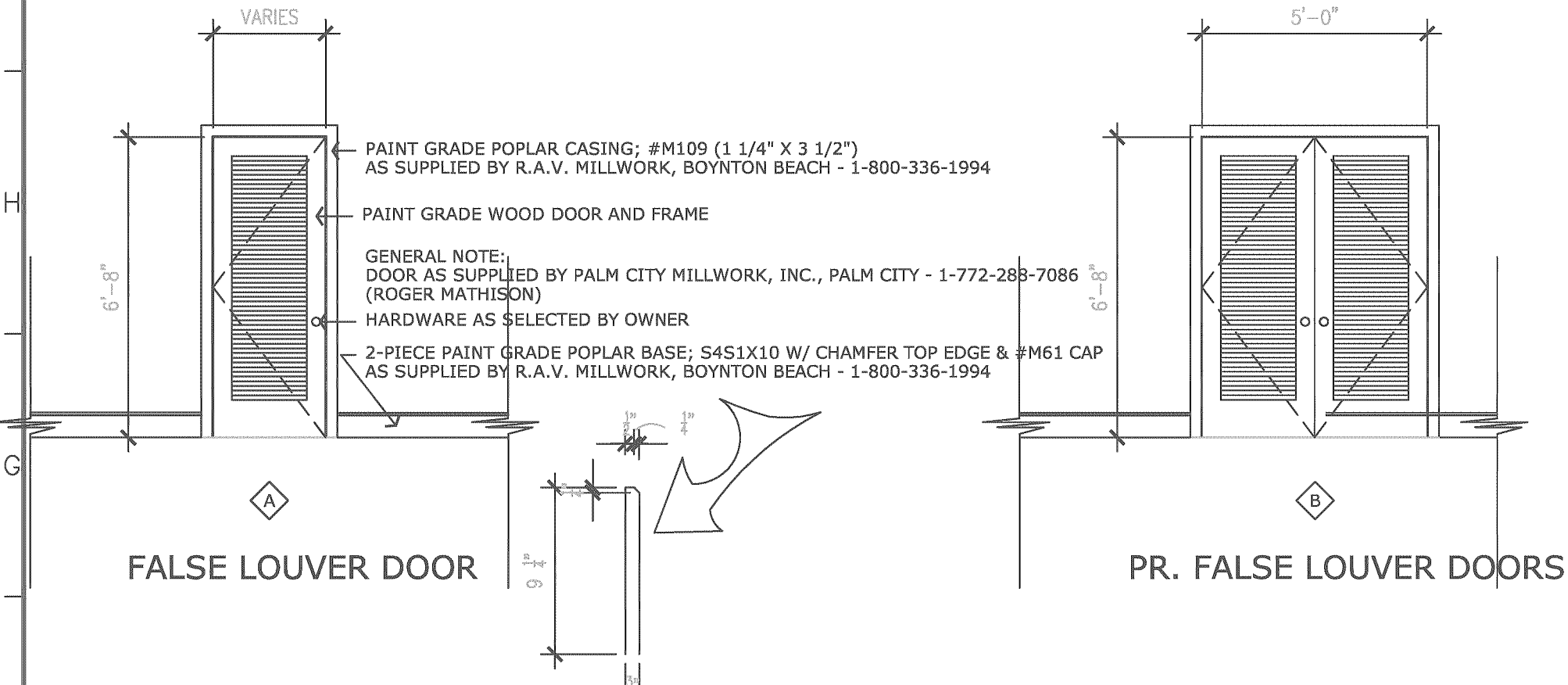
CELL 561 798-3791 EMAIL copearchitectsinc@gmail.com

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CAD File No.
EXTERIOR ELEV'N'S
Date
NOVEMBER 08, 2021
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of

	1	2	3	4	5	6	7										
DOOR							DOOR FRAME			REMARKS							
NO	ROOM	W.	H.	THK.	TYPE	RATING	MAT'L.	FIN.	DETAILS					GENERAL NOTE: ALL DETAILS SHOWN ON THIS SHEET UNLESS OTHERWISE SPECIFIED			
									H. J. S.	THR.	MAT.	FIN.	HDW.		LBL.		
100	LAUNDRY	2'-0"	7'-5"	1 3/4"	A	BARN DOOR STYLE/HARDWARE	WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
101	PANTRY	3'-0"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
102	GUEST BEDROOM	2'-4"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
103	GUEST CLOSET	PR. 3'-0"	7'-5"	1 3/4"	B		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
104	JACK/JILL BATHRM.		7'-5"														
105	CABANA BATH		7'-5"														
106	GUEST BEDROOM	2'-10"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
107	GUEST CLOSET	2'-4"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
108	JACK/JILL BATHRM.	3'-0"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
109	GUEST TOILET	PR. 2'-4"	7'-5"	1 3/4"	B		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
110	LINEN	2'-6"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
200	MASTER BEDROOM	PR. 2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
201	MASTER CLOSET	3'-0"	7'-5"	1 3/4"	A	BARN DOOR STYLE/HARDWARE	WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
203	HOME OFFICE	2'-4"	7'-5"	1 3/4"	A		WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
204	MASTER BATHRM.	2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER
205	A/C CLOSET	PR. 1'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	—	—	—	—	—	PT	—	—	STYLE AS SELECTED BY OWNER

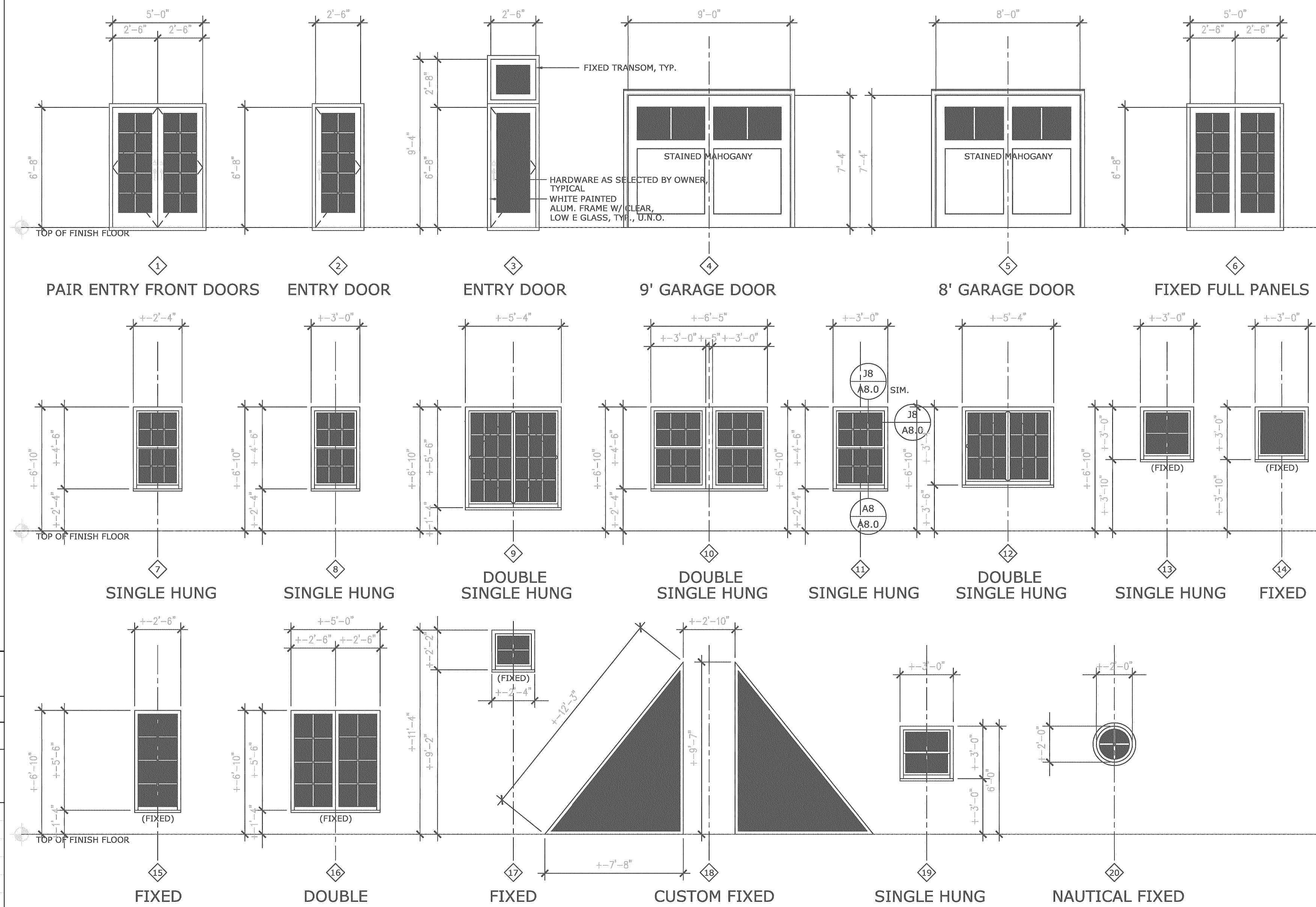


G1 INTERIOR DOOR SCHEDULE

ROOM	BASE	FLOOR	WALLS	CEIL.	REMARKS
	cer. tile vinyl 9.25" wood stone/tile carpet exist'g wood exist'g tile dry wall/plaster		cer. tile stucco dry wall height		
ENTRY FOYER			2	2	exposed structure above
LIVING ROOM			2	2	exposed structure above
DINING ROOM			3	2	+8'-0"
KITCHEN			3	2	+8'-0"
LAUNDRY/PANTRY					
GALLERY			2	2	exposed structure above
GUEST BEDROOMS			2	2	exposed structure above
JACK/JILL BATHROOM			2	2	+8'-0"
CABANA BATH			2	2	+8'-0"
MASTER BEDROOM			2	2	+8'-0"
MASTER BATHROOM					
MASTER CLOSET			2	2	+8'-0"
HOME OFFICE			2	2	+8'-0"

C1 ROOM FINISH SCHEDULE

WINDOW		DOOR	8	9	10	11	12	13	14	15					



GENERAL NOTES:

- WINDOW MANUFACTURER: "CGI", SERIES 238SN, "SENTINEL" WINDOWS & 450 DOORS, IMPACT RESISTANT - "OR EQUAL" AS DETERMINED BY OWNER
INSTALLATION OF "CGI" PRODUCTS, INCLUDING SIZING OF ROUGH OPENING, METHOD OF ATTACHMENT, FASTENER SELECTION, AND CODE COMPLIANCE IS THE SOLE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO COMMENCEMENT OF WORK

H8 EXTERIOR DOOR AND WINDOW SCHEDULE

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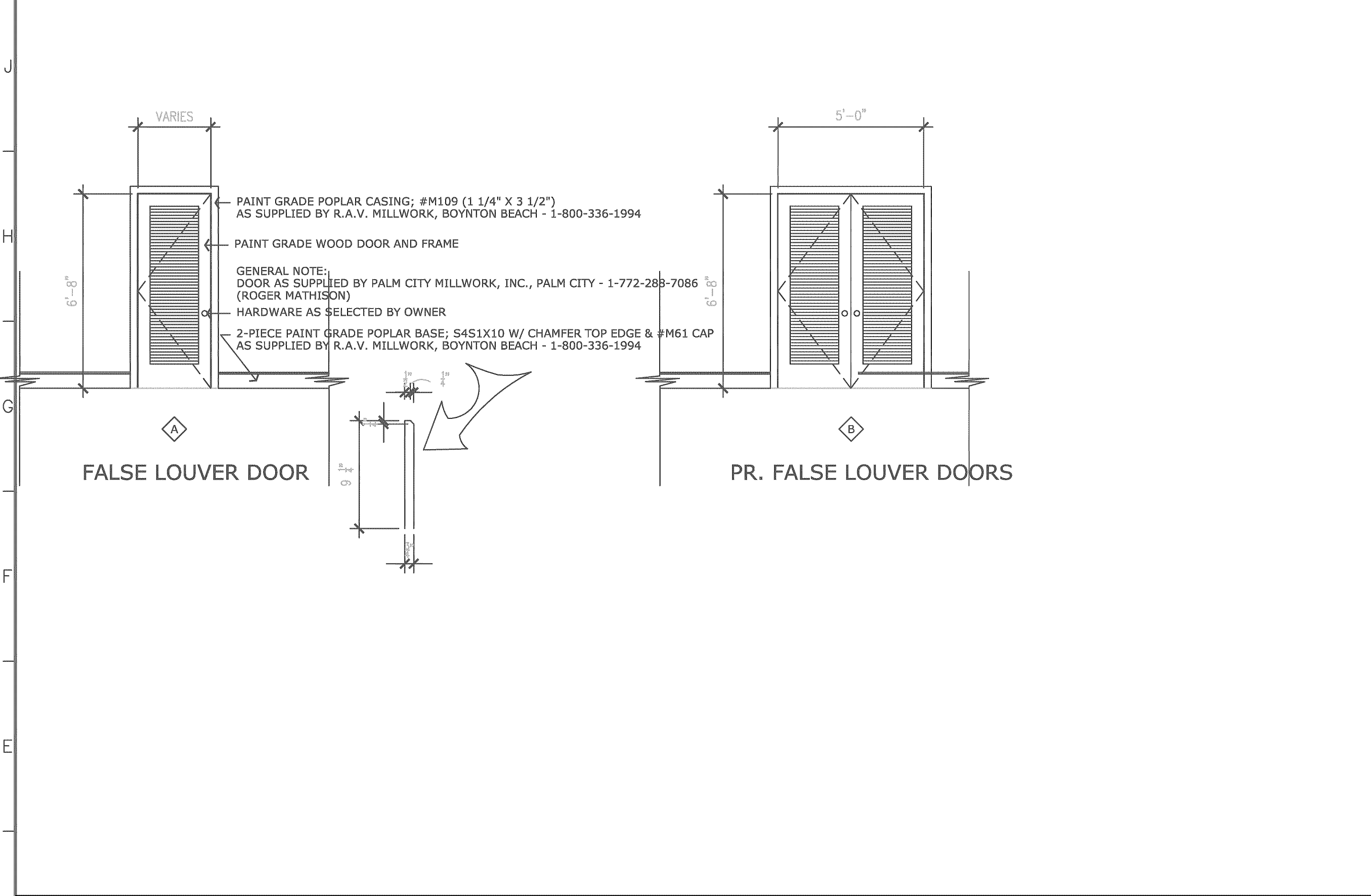
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610 NORTH OCEAN BLVD.
DELRAY BEACH, FLORIDA

COPE ARCHITECTS, INC.
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Date
OCTOBER 08, 2021
Drawing No.

A15.0
of

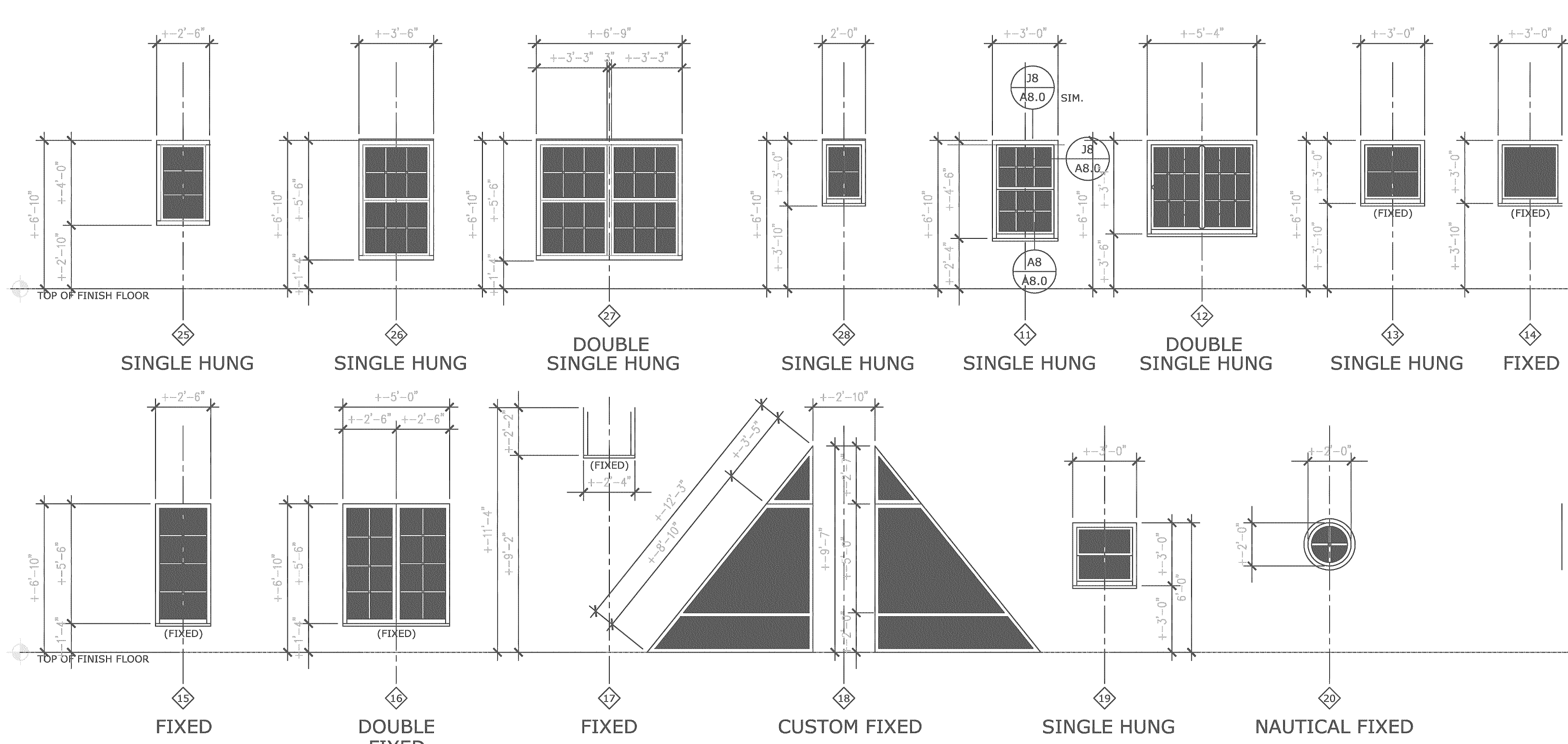
DOOR								DOOR FRAME								REMARKS	
(NO)	ROOM	W.	H.	THK.	TYPE	RATING	MAT'L.	FIN.	DETAILS H. J. J. S. THR.MAT.FIN.HDW.LBL.								GENERAL NOTE: ALL DETAILS SHOWN ON THIS SHEET UNLESS OTHERWISE SPECIFIED
100	LAUNDRY	2'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
101	PANTRY	3'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
102	GUEST BEDROOM	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
103	GUEST CLOSET	PR. 3'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
104	JACK/JILL BATHRM.		7'-5"														
105	CABANA BATH		7'-5"														
106	GUEST BEDROOM	2'-10"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
107	GUEST CLOSET	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
108	JACK/JILL BATHRM.	3'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
109	GUEST TOILET	PR. 2'-4"	7'-5"	1 3/4"	B		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
110	LINEN	2'-6"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
200	MASTER BEDROOM	PR. 2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
201	MASTER CLOSET	3'-0"	7'-5"	1 3/4"	A	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
203	HOME OFFICE	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
204	MASTER BATHRM.	2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER
205	A/C CLOSET	PR. 1'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	---	---	---	---	---	---	STYLE AS SELECTED BY OWNER



G1	INTERIOR DOOR SCHEDULE									
ROOM	BASE	FLOOR	WALLS	CEIL.	REMARKS					
	cer. tile vinyl	9.25" wood stone/tile	carpet	exist'g wood exist'g terraizo	dry wall/plaster	cer. tile	stucco	dry wall	height	
ENTRY FOYER					2			2	exposed	structure above
LIVING ROOM					2			2	exposed	structure above
DINING ROOM					3			2	+8'-0"	
KITCHEN					3			2	+8'-0"	
LAUNDRY/PANTRY										
GALLERY					2			2	exposed	structure above
GUEST BEDROOMS					2			2	exposed	structure above
JACK/JILL BATHROOM					2			2	+8'-0"	
CABANA BATH					2			2	+8'-0"	
MASTER BEDROOM					2			2	+8'-0"	
MASTER BATHROOM										
MASTER CLOSET					2			2	+8'-0"	
HOME OFFICE					2			2	+8'-0"	

C1	ROOM FINISH SCHEDULE									

WINDOW	DOOR									DOOR/SASH	DOOR / WINDOW FRAME								REMARKS	
(NO)	(NO)	SIZE (W X H)		ROOM	W. R.O.	H. R.O.	GL. THK. MIN.	TYP.	MAT.	FIN.	DETAILS H. J. J. S. MUL. MAT. FIN. HDW. LBL.								GENERAL NOTE: ALL DETAILS SHOWN ON THIS SHEET UNLESS OTHERWISE SPECIFIED	
AA		SINGLE HUNG		W.I. CLO. & SHOWER	+2'-8"	+6'-11"	7/16" TEMP.	25	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
BB		SINGLE HUNG		EXIST'G POWDER ROOM	+2'-6"	+4'-8"	7/16" TEMP.	7	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
CC		SINGLE HUNG		EXIST'G DINING ROOM	+3'-2"	+4'-8"	7/16" TEMP.	8	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
DD		DBL SINGLE HUNG		EXIST'G DINING ROOM	+5'-6"	+5'-9"	7/16" TEMP.	9	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
EE		DBL SINGLE HUNG		EXIST'G FAMILY ROOM	+6'-7"	+4'-8"	7/16" TEMP.	10	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
FF		SINGLE HUNG		EXIST'G FAMILY ROOM	+3'-2"	+4'-8"	7/16" TEMP.	11	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
GG		DBL SINGLE HUNG		RENOVATED KITCHEN	+5'-6"	+3'-6"	7/16" TEMP.	12	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT DPUBLE SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
HH		FIXED		NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	13	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (COLONIAL MUNTINS)	
JJ		FIXED		NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	14	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (NO MUNTINS)	
KK		FIXED		NEW ENTRY FOYER	+2'-8"	+5'-8"	7/16" TEMP.	15	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
L		FIXED DBL		NEW ENTRY FOYER	+5'-2"	+5'-8"	7/16" TEMP.	16	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
M		FIXED		EXIST'G FAMILY ROOM	+2'-6"	+2'-4"	7/16" TEMP.	17	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
N		CUSTOM FIXED		MASTER SEATING AREA	CUSTOM	CUSTOM	7/16" TEMP.	18	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT CUSTOM FIXED WINDOW & CLEAR, LOW E GLASS	
P		SINGLE HUNG		MASTER BATH SUITE	+3'-2"	+3'-2"	7/16" TEMP.	19	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
Q		EXIST'G GLASS BLK.		MASTER BATH SUITE	EXIST'G	EXIST'G	7/16" TEMP.	20	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	EXISTING GLASS BLOCK TO REMAIN	
R		NAUTICAL FIXED		MASTER WALK-IN CLO.	+2'-2"	+2'-2"	7/16" TEMP.	21	---	(WHT)	---	---	---	(AL)	(AL)	(WHT)	---	---	IMPACT RESISTANT ROUND FIXED WINDOW & CLEAR, LOW E GLASS	



GENERAL NOTES:

- WINDOW MANUFACTURER: "CGI", SERIES 238SN, "SENTINEL" WINDOWS & 450 DOORS, IMPACT RESISTANT - "OR EQUAL" AS DETERMINED BY OWNER
INSTALLATION OF "CGI" PRODUCTS, INCLUDING SIZING OF ROUGH OPENING, METHOD OF ATTACHMENT, FASTENER SELECTION, AND CODE COMPLIANCE IS THE SOLE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO COMMENCEMENT OF WORK

H8	EXTERIOR DOOR AND WINDOW SCHEDULE									

OCEAN APPLE ESTATE
610 NORTH OCEAN BLVD.
DELRAY BEACH, FLORIDA

COPE ARCHITECTS, INC.
701 SE 1ST STREET
DELRAY BEACH, FLORIDA 33483-5305
ARCHITECTURE - PLANNING - INTERIORS

Seal
Drawn
RW COPE

Project No.
2020.45OCEANAPPLE
CAD File No.
SCHEDULES

Date
OCTOBER 08, 2021

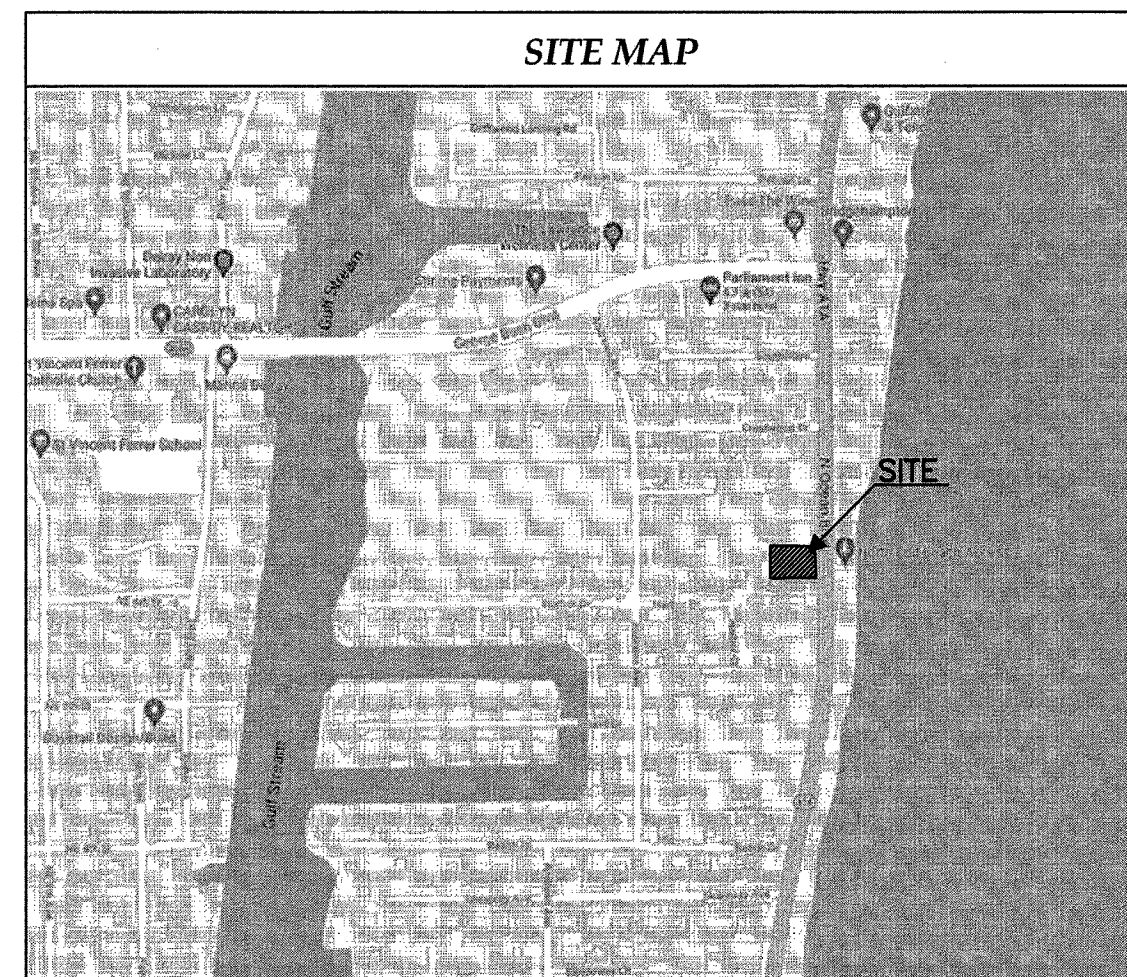
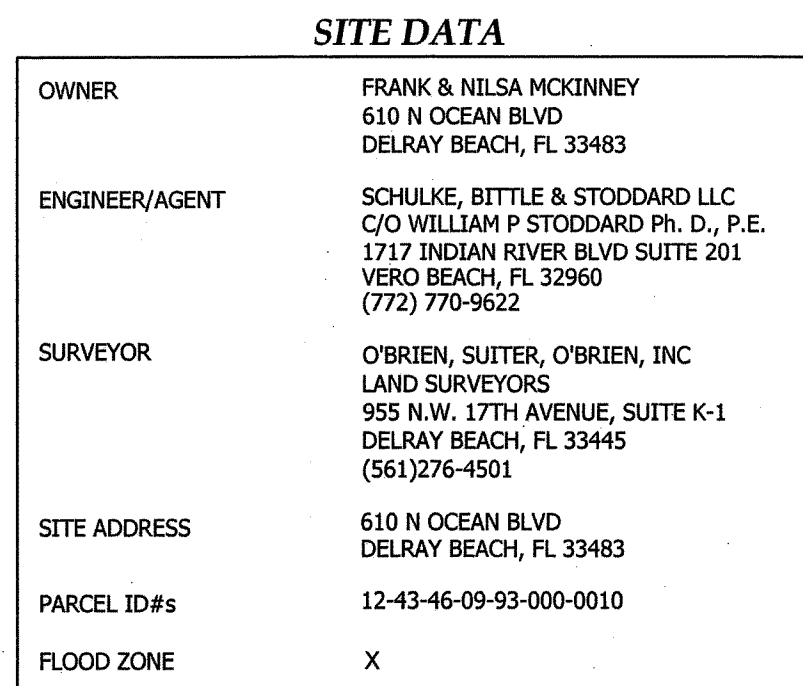
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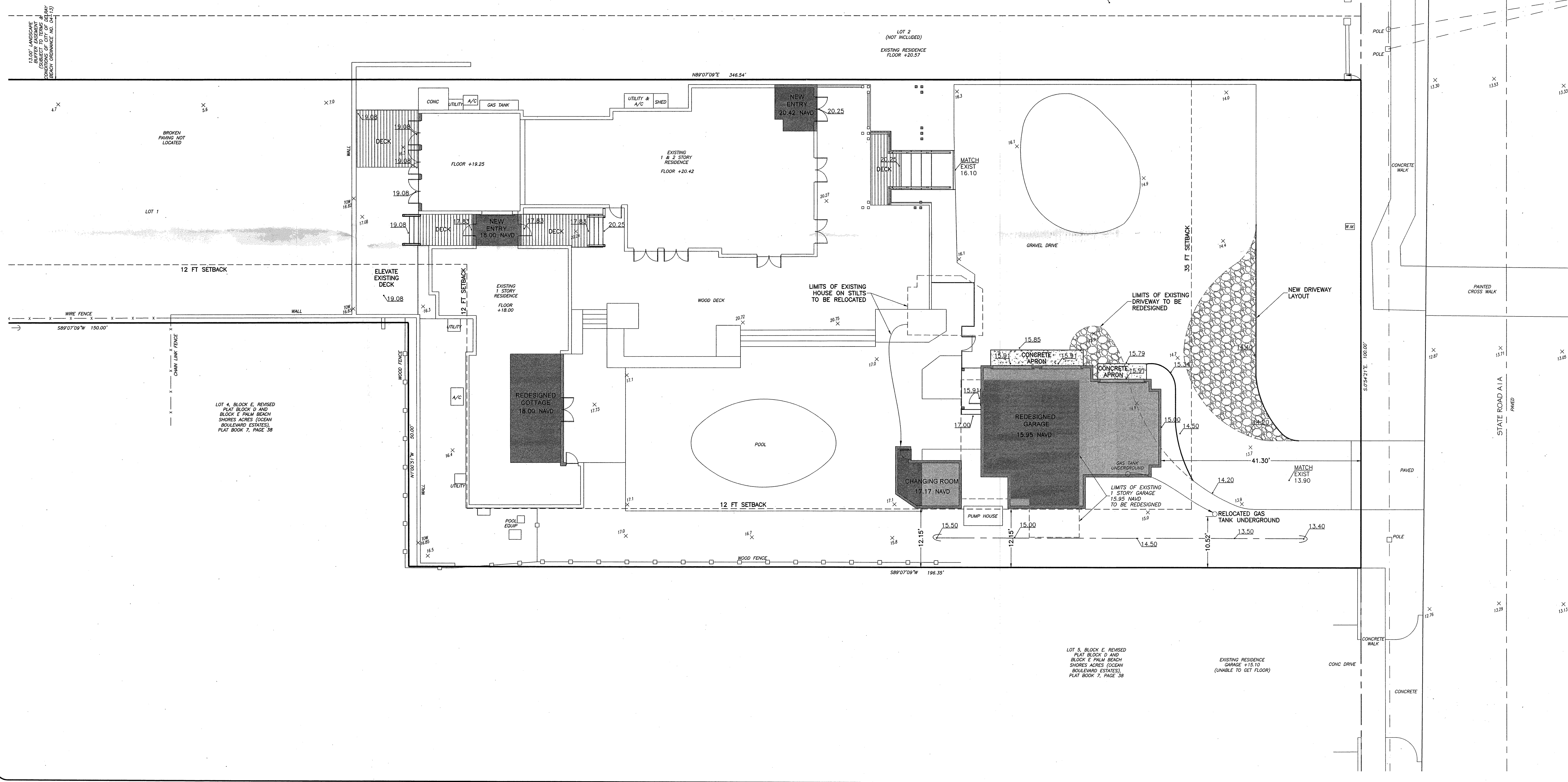
Consultant Seal

No.

REVISIONS
TAC COMMENTS: JULY 02, 2021
Date



LEGEND	
	CONSTRUCTION NOT CREATING ADDITIONAL IMPERVIOUS AREA
	CONSTRUCTION CREATING ADDITIONAL IMPERVIOUS AREA
	NEW DRIVEWAY
$\times 0.00'$	EXISTING NAVD ELEVATION
<u>0.00</u>	PROPOSED NAVD ELEVATION



SCHULKE, BITTLE & STODDARD, L.L.C.
CIVIL & STRUCTURAL ENGINEERING • LAND PLANNING • ENVIRONMENTAL PERMITTING
CERTIFICATION OF AUTHORIZATION NO.: 00008668
1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772.770-9622 FAX 772.770-9496 EMAIL info@sbsengineers.com

SITE PLAN

PROPOSED CONSTRUCTION FOR:
OCEAN APPLE ESTATE
610 N OCEAN BLVD
DELRAY BEACH, FL

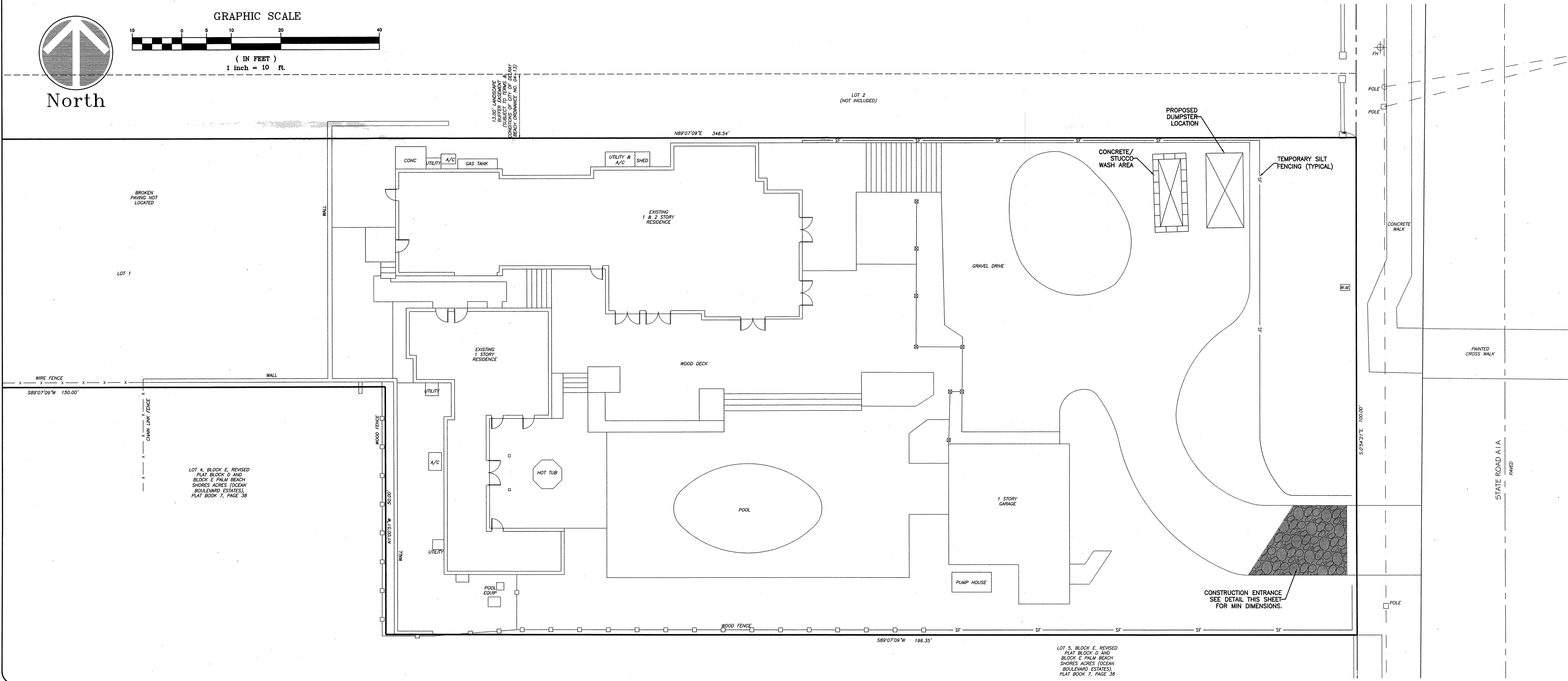
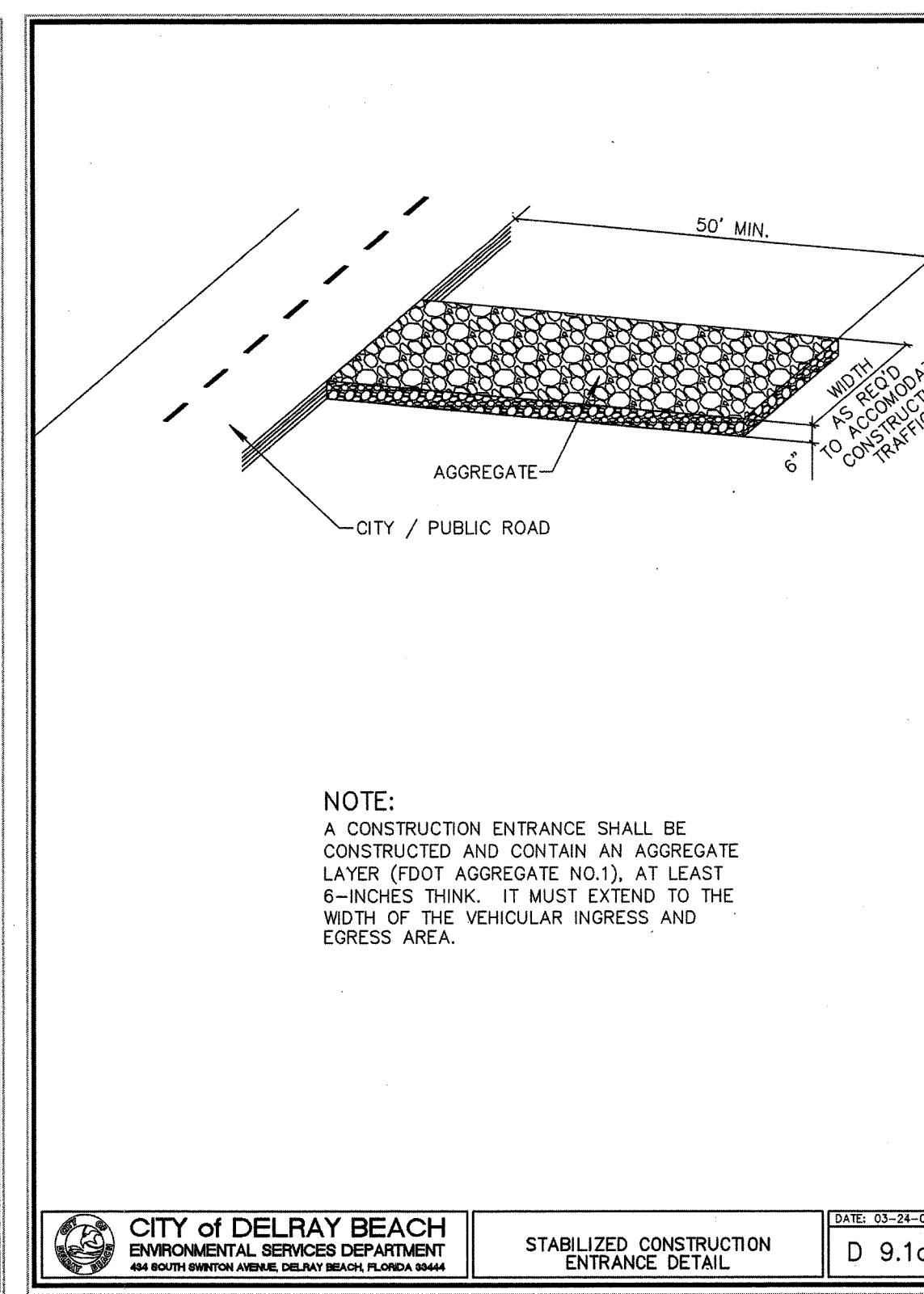
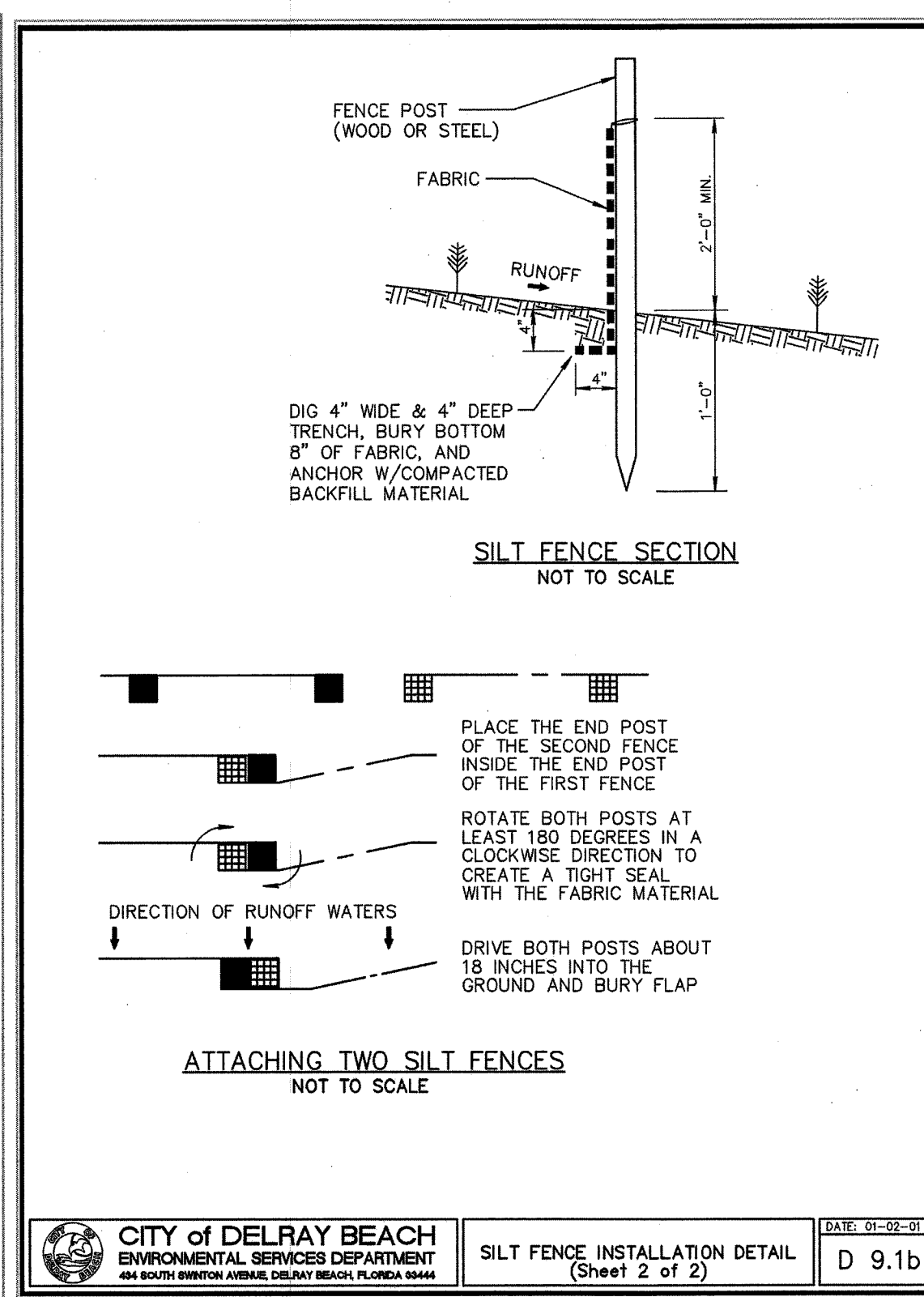
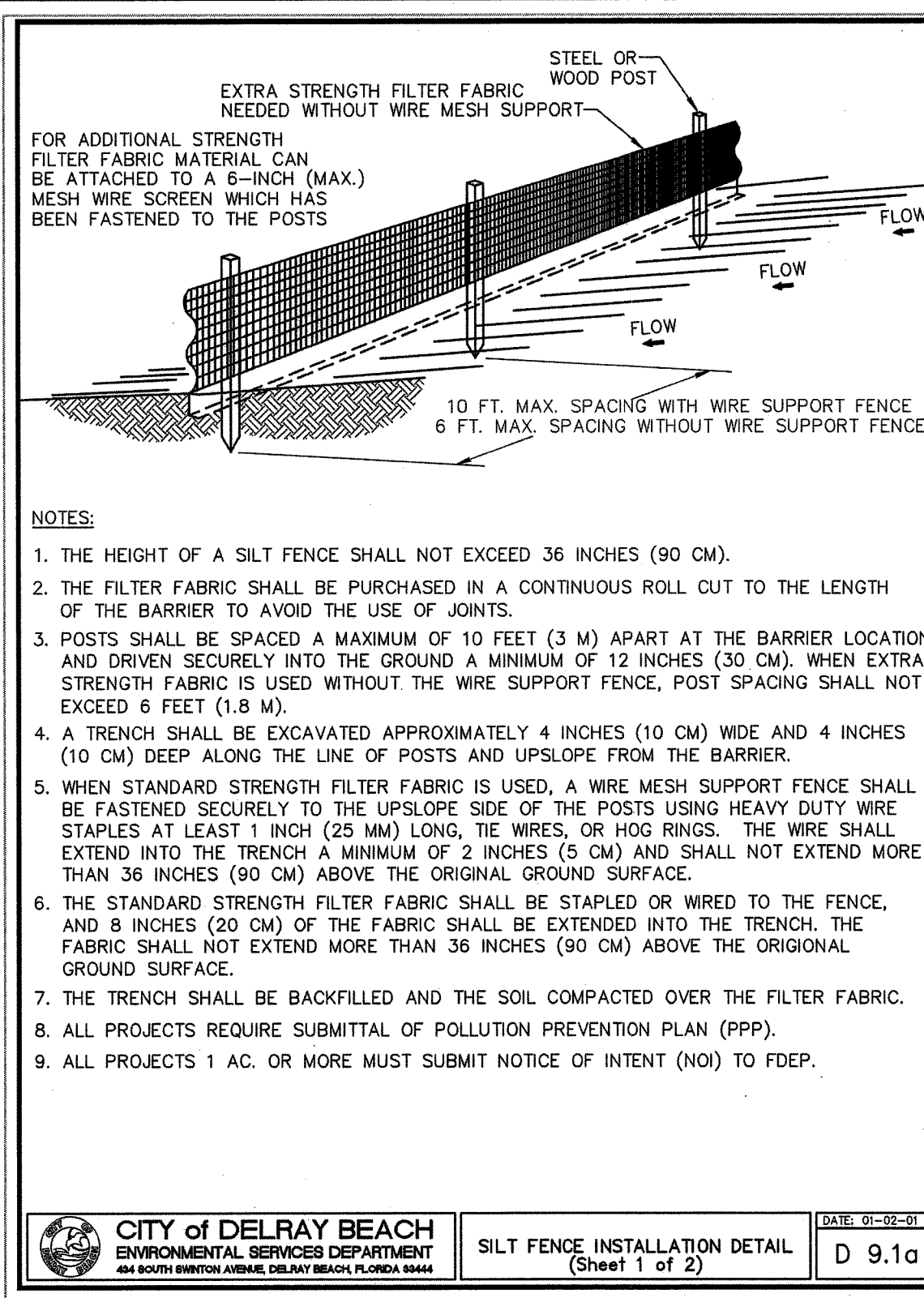
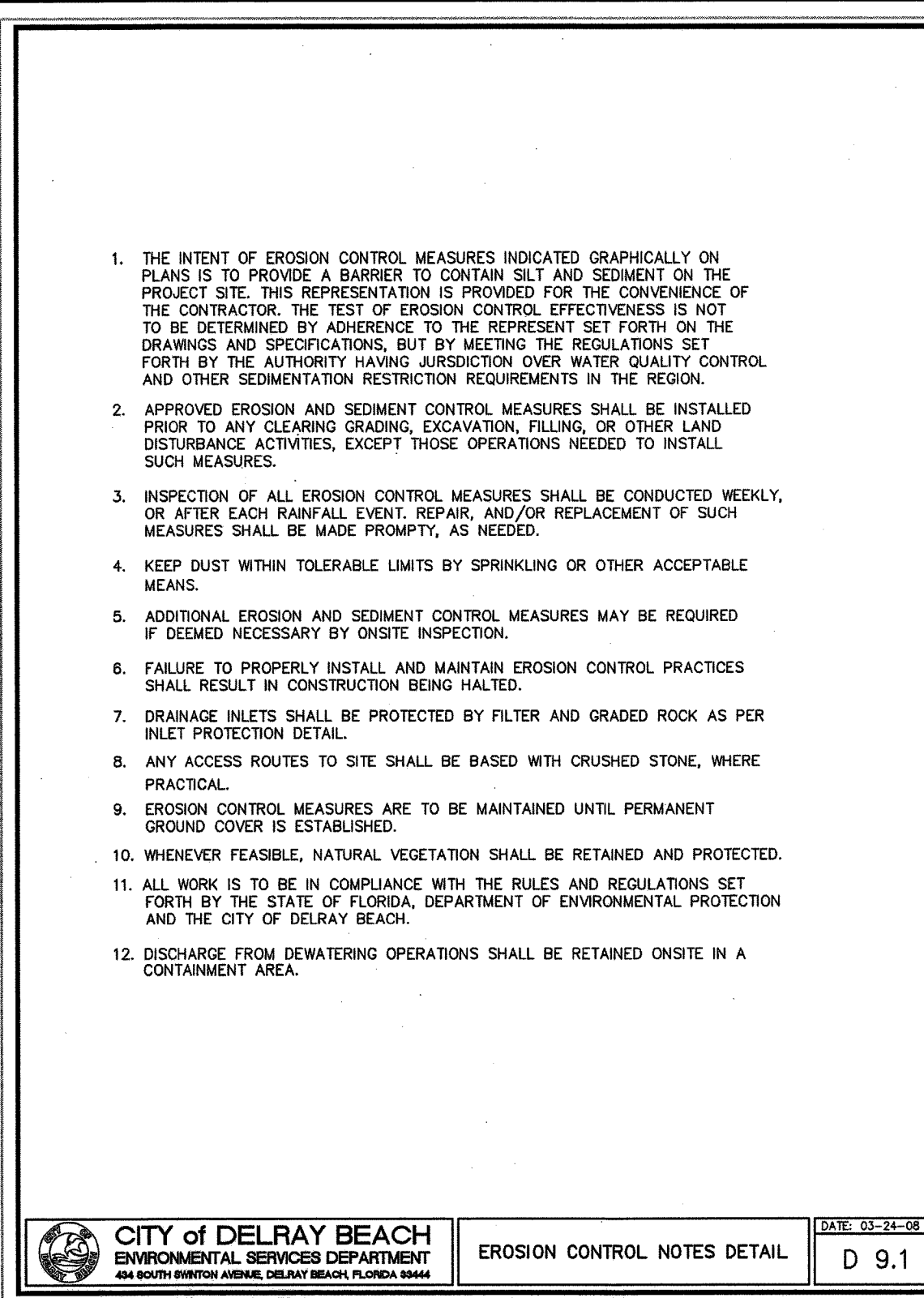
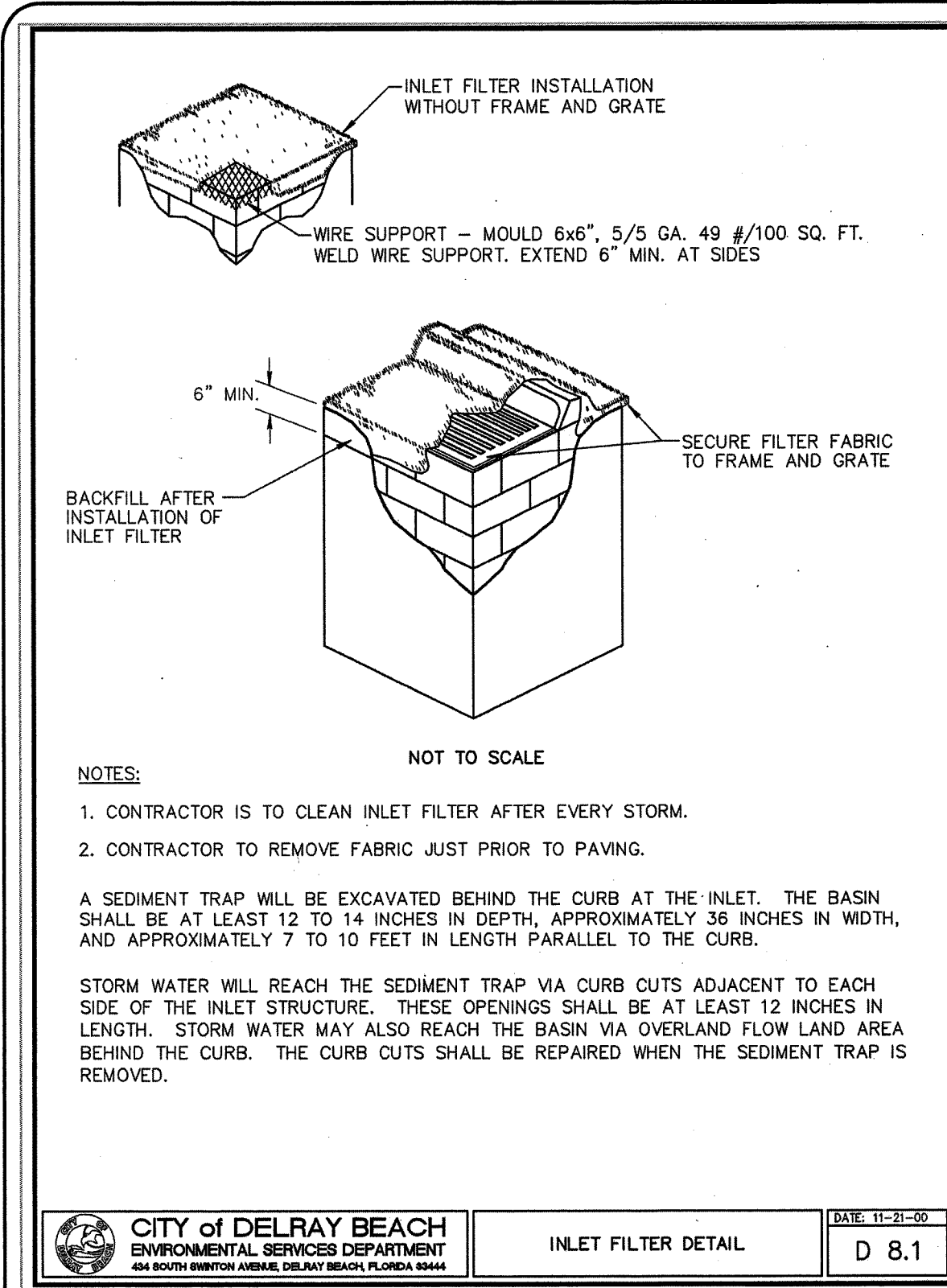
ENGINEER CERTIFICATION

☐ JOSEPH W. SCHULKE
FL. REG. NO. 47048

☐ JODAH B. BITTLE
FL. REG. NO. 57396

☒ WILLIAM P. STODDARD
FL. REG. NO. 57605

DATE: AUG 04 2021
SHEET
C1
PROJECT NO.
21-015



DATE	REVISION	MARK	DRAWING	DESIGNED	CHECKED	DATE
4/27/2021			2105-SWPP	W.F.S.	K.M.B.	4/27/2021

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POLLUTION PREVENTION PLAN

PROPOSED CONSTRUCTION FOR:
OCEAN APPLE ESTATE
610 N OCEAN BLVD
DELRAY BEACH, FL

ENGINEER CERTIFICATION
I, JOSEPH W. SCHULKE, FL REG. NO. 47048, AND JONAH B. BITTLE, FL REG. NO. 57398, WILLIAM P. STODDARD, FL REG. NO. 57900, ARE THE ENGINEERS OF RECORD FOR THIS PROJECT.

DATE: **AUG 04** 2021
SHEET **C2**
PROJECT NO. 21-015