

# A PRIVATE RESIDENTIAL PROJECT: HPB COA SUBMITAL

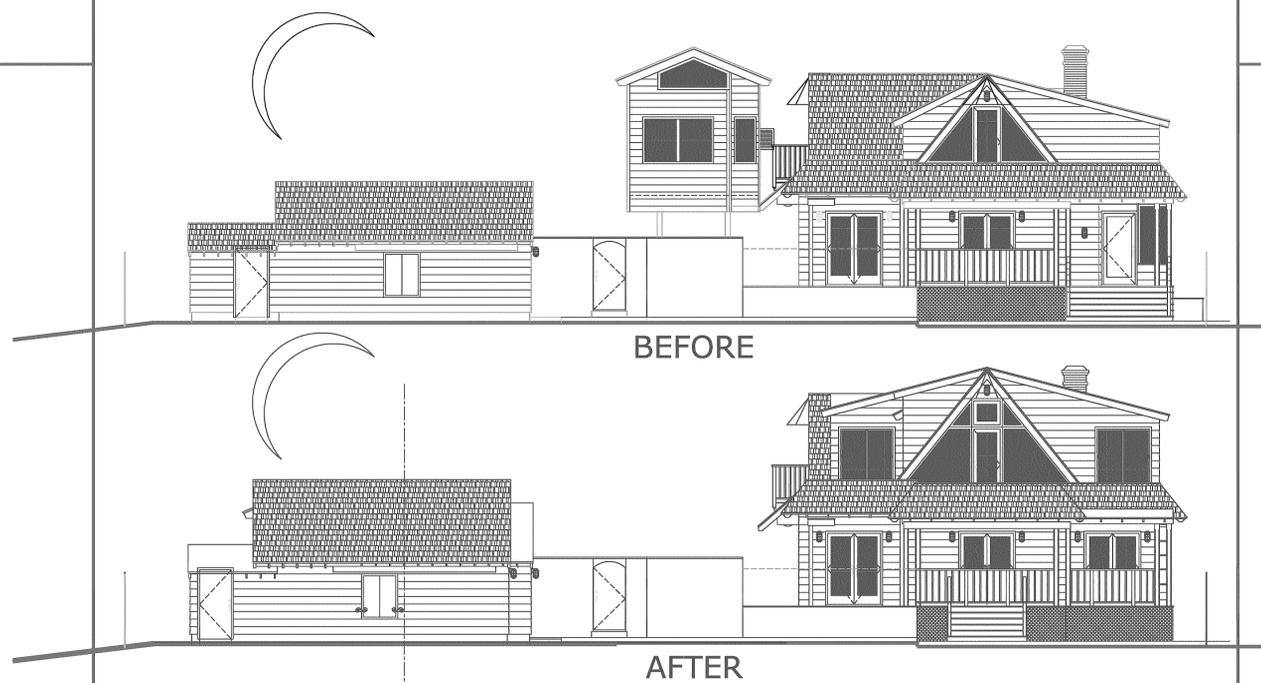
## OCEAN APPLE ESTATE: THE FONTAINE FOX RESIDENCE

610 N. OCEAN BLVD. (A1A)  
DELRAY BEACH, FLORIDA 33483

### GENERAL NOTES

#### ARCHITECTURAL:

1. THE CONTRACTOR SHALL PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL NOT DISRUPT EXISTING SERVICES, OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
3. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
4. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL ELEVATIONS, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
5. ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. DO NOT SCALE DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
7. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AT COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
9. JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION.



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### CODES

FLORIDA BUILDING CODE, 2017 EDITION  
NFPA 7-101 LIFE SAFETY CODE  
FLORIDA FIRE PREVENTION CODE, 2017 EDITION  
NATIONAL ELECTRICAL CODE, 2017 EDITION  
FLORIDA MECHANICAL CODE, 2017 EDITION  
FLORIDA PLUMBING CODE, 2017 EDITION  
FLORIDA ACCESSIBILITY CODE/ADA-90, 2017 EDITION

ALL OTHER RULES, REGULATIONS AND CODES HAVING JURISDICTION INCLUDING BUT NOT NECESSARILY LIMITED TO:  
CITY OF DELRAY BEACH, PALM BEACH COUNTY - THE STATE OF FLORIDA  
CITY OF DELRAY BEACH ZONING REGULATIONS  
CITY OF DELRAY BEACH ADOPTED ORDINANCES

### DESIGN DATA

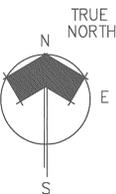
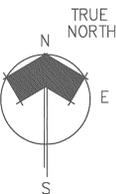
OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL  
BLDG. CONSTRUCTION TYPE: TYPE V, PROTECTED  
ZONING DISTRICT: R-1-AAA, SINGLE FAMILY RESIDENTIAL  
DESIGN WIND LOAD: 170 MILES PER HOUR (3 SECOND GUST)  
BUILDING HEIGHT LIMITATION: 35 FEET

### SYMBOLS

- DETAIL REFERENCE: ← DETAIL NUMBER  
 ← SHEET NUMBER
- ELEVATION REFERENCE: ← ELEVATION NUMBER  
 ← SHEET NUMBER
- SECTION REFERENCE: ← SECTION NUMBER  
 ← SHEET NUMBER
- INTERIOR ELEVATION REFERENCE: ← WALL NUMBER  
 ← INTERIOR ELEV.  
 ← SHEET NUMBER
- ROOM REFERENCE: ← ROOM NUMBER
- DOOR REFERENCE: ← DOOR NUMBER
- WINDOW REFERENCE: ← WINDOW NUMBER
- NOTE REFERENCE: ← REFERENCE NUMBER
- REVISION REFERENCE: ← REVISION NUMBER

### ABBREVIATIONS

ACOUS. ADJ. APPROX.	ACOUSTICAL ADJUSTABLE ALUMINUM APPROXIMATE	N.I.C. NO. N.T.S.	NOT IN CONTRACT NUMBER NOT TO SCALE
B.D.G. B.L.K.G. B.M. BOT.	BOARD BLOCK BLOCKING BEAM BOTTOM	O.A. OBS. O.C. O.P.C.I.	OVERALL OBSERVE ON CENTER OUTSIDE DIAMETER OWNER CONTRACTOR INSTALL
CAB. CER. CLR. CONC. CONN. CONT. CTSK.	CABINET CERAMIC CAST IRON CLEAR COLUMN CONCRETE CONNECTION CONTINUOUS COUNTERSUNK	OFF. OPNG. OPP.	OFFICE OPENING OPPOSITE
DECOR. D.F. DIA. DIM. DN. DWG.	DECORATIVE DOUGLAS FIR DIAMETER DIMENSION DOWN DOWN SPOUT DRAWING	PL. PLAS. PLYWD. PR. PRCST. P.P.T. D.F. PTN.	PLATE PLASTER PLYWOOD PAINT PRECAST PRESSURE TREATED DOUGLAS FIR PARTITION
EA. ELEC. EQL. EXP. EXIST.	EACH ELECTRICAL EQUAL EXPANSTION EXTERIOR EXISTING	Q.T. R. RAD. REINF. REQ. R.O. R.O. R.W.D. R.W.L.	QUARRY TILE RISER RADIUS REINFORCE REQUIRED ROOF ROUGH OPENING REDWOOD RAIN WATER LEADER
F.A.U. F.H.C. FIN. FLASH. FLOR. F.O.F. F.O.S. FTG.	FORCE AIR UNIT FIRE HOSE CABINET FINISH FLASHING FLUORESCENT FACE OF FINISH FACE OF MASONRY FACE OF STUD FOOTING	S.C. SCHED. SIM. SQR. S.S. STD. STL. STOR. SUBSTR. SYM.	SOLID CORE SCHEDULE SIMILAR SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL
G.A. GALV. GR. GYP.	GAUGE GALVANIZED GRADE GYPSUM	T. TEL. TRK. T.O.C. T.O.F. T.O.L. T.O.P. TYP.	TREAD TOP OF CURB TELEPHONE TRUCK TOP OF CHIMNEY TOP OF FRAMING TOP OF LEDGER TOP OF PARAPET TOP OF PLATE TYPICAL
H.B. H.W.D. H.W.E. HGT. H.M. HORIZ.	HOSE BIBB HOLLOW CORE HARDWOOD HARDWARE HEIGHT HOLLOW METAL HORIZONTAL	U.O.N. VERT. VERT. V.G.D.F.	UNLESS OTHERWISE NOTED VERTICAL VERTICAL VERTICAL GRAIN DOUGLAS FIR
I.D. INCAND. INSUL. INT.	INSIDE DIAMETER INCANDESCENT INSULATION INTERIOR	W/ W.C. W.D. W.H. W.S.C. WT.	WITH WITHOUT WATER CLOSET WINDOW WATER HEATER WAINSCOT WEIGHT
JAN. JT.	JANITOR JOINT		
LAM. LAV. LOC.	LAMINATE LAVATORY LOCATION		
MAX. MECH. MET. MFR. MIN. MISC. M.O. M.U.L.	MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MULLION	& AT	AND ANGLE
		⊕	CENTER LINE
		⊘	DIAMETER OR ROUND
		#	ROUND OR NUMBER



#### ARCHITECT:

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email copearchitectsinc@gmail.com

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BOYNTON BEACH, FLORIDA 33435

PHO (561) 424-3270

#### STRUCTURAL ENGINEER:

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DELRAY BEACH, FLORIDA 33445

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VERO BEACH, FLORIDA 32960

pho (772) 770-9622  
email info@sbsengineers.com

# GENERAL NOTES

## ARCHITECTURAL:

- THESE DOCUMENTS INDICATE THE DESIGN INTENT OF THE CONSTRUCTION PROJECT IN ORDER TO ESTABLISH STANDARDS FOR QUALITY AND/OR PERFORMANCE.
- THE CONTRACTOR SHALL INVESTIGATE THE JOBSITE & COMPARE THE CD'S W/ THE EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN HIS COST, WORK DESCRIBED IN THE CD'S & THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CD'S. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS & ANY NEW WORK, OF ANY OMISSIONS IN THE DRAWINGS & ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INCLUDING THE COORDINATION W/ STRUCTURAL AND MEP RELATED WORK.
- THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A COMPLETE JOB IN EVERY RESPECT THAT ALLOWS FOR THE FULL USE OF THE COMPLETED FACILITY & CONSISTENT W/ THE DESIGN INTENT OF THE CD'S. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLETE UTILITY CONNECTIONS FOR H2O, SEWER, RAIN WATER LEADERS, DRAINS, POWER (W/ TRANSFORMING TO ACHIEVE APPROPRIATE & NECESSARY VOLTS & AMPS), GROUNDS, NATURAL OR LP GAS, VENTS, VENTILATION, SMOKE EVACUATION, & BLOCKING, BRIDGING, STRUCTURAL SUPPORTS, ETC. TO ALLOW FOR THE COMPLETE & WORKING OF NOTED OR INFERRED EQUIPMENT.
- REASONABLY INFERRED CONDITIONS NOT OTHERWISE INDICATED IN THESE CD'S SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED & MORE FULLY DEFINED ELSEWHERE WITHIN THESE DOCUMENTS. CONTRACTOR IS TO NOTIFY THE ARCHITECT IF CLARIFICATIONS ARE REQUIRED. CONTRACTOR SHALL BE LIABLE IF INAPPROPRIATE INTERPRETATIONS CONFLICT WITH OTHER ELEMENTS OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS & DIMENSIONS INDICATED W/ THE CD'S & SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR RESTOCKING CHARGES, REPLACEMENT COSTS & FOR DELAYS IF HE FAILS TO COMPLY W/ THIS PROVISION.
- THE GENERAL CONTRACTOR, UPON AWARDING CONTRACTS TO SUB-CONTRACTORS, SHALL SUBMIT TO THE ARCHITECT & THE OWNER A LIST OF ITEMS & THEIR DELIVERY SCHEDULES. THE CONTRACTOR, PRIOR TO ORDERING AN ITEM, SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT & OWNER OF ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED DUE TO LONG LEAD TIME IN OBTAINING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING SUBSTANTIAL COMPLETION REGARDLESS OF DELIVERY DATES FOR MATERIALS & EQUIPMENT.
- THE ARCHITECT HAS NOT CONDUCTED NOR INTENDS TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIALS, INCLUDING ASBESTOS, WITHIN THE CONFINES OF THIS PROJECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS.
- THE CONTRACTOR SHALL ISSUE COMPLETE SETS OF CD'S TO EACH OF THE SUB-CONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE.
- THE CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR PERMITS, FEES, INSPECTIONS & APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR IS TO PROVIDE COPIES OF TRANSACTIONS TO OWNER. NOTIFY ARCHITECT OF ANY VARIANCE W/ CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE W/ THE REGULATIONS OF ANY & ALL PUBLIC AUTHORITIES (FEDERAL, STATE & LOCAL) HAVING JURISDICTION OVER THE PROJECT.
- PROVIDE & PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION & DELIVERY COSTS, HOISTING, REMOVAL OF TRASH & DEBRIS, & OTHER FACILITIES & SERVICES NECESSARY FOR THE EXECUTION & COMPLETION OF THE WORK.
- WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. REFERENCES TO THE CONTRACTOR SHALL INCLUDE THE GENERAL CONTRACTOR AND SUB-CONTRACTORS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & HAVING CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES & PROCEDURES & FOR COORDINATING PORTIONS OF THE WORK REQUIRED BY THE CD'S.
- THE ARCHITECT & OWNER SHALL NOT BE RESPONSIBLE FOR THE ERRORS, OMISSIONS OR DELAYS RESULTING FROM THE CONTRACTOR'S PERFORMANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS & OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS & THEIR AGENTS & EMPLOYEES & ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- OTHER CONTRACTORS & THEIR SUB-CONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR, TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, EITHER UNION OR NON-UNION.
- WORK SHALL BE DONE DURING NORMAL WORKING HOURS. CONTRACTOR SHALL SCHEDULE & PERFORM SO AS NOT TO UNREASONABLY DISTURB ANY NEIGHBORS & SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
- THE CONTRACTOR SHALL COORDINATE & WORK W/ BUILDING OWNER REGARDING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, ELEVATOR AVAILABILITY, STAGING, NOISE CONTROL, TRASH & DEBRIS REMOVAL, HOISTING, & ANY OTHER UTILITIES OR OWNER'S RULES & REGULATIONS CONCERNING THE PROJECT SITE. CONTRACTOR SHALL COORDINATE USE OF RESTROOM FACILITIES FOR HIS EMPLOYEES WITH THE OWNER.
- THE CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN FIVE (5) DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF THE CONTRACT.
- COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS, & INSTALLATION OF ITEMS FURNISHED BY THE OWNER & BY OTHERS, FOR THE PURPOSES OF THIS CONTRACT. THE FOLLOWING ABBREVIATIONS APPLY: OF-OI = OWNER FURNISHED & OWNER INSTALLED; OF-CI = OWNER FURNISHED & CONTRACTOR INSTALLED; CF-CI = CONTRACTOR FURNISHED & CONTRACTOR INSTALLED, AND CF-OI = CONTRACTOR FURNISHED & OWNER INSTALLED.
- THE CONTRACTOR SHALL COORDINATE & WORK W/ TRADES ON THE PROJECT NOT UNDER CONTRACT W/ THE CONTRACTOR (I.E. TELEPHONE, DATA LINES, FIRE ALARM, ETC.). ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS OTHERWISE NOTED, WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS & DETAILS SHALL GOVERN. HOWEVER, THE ARCHITECT SHALL MAKE THE FINAL DETERMINATION IN THESE MATTERS.
- SUBMIT FOR ARCHITECT'S REVIEW ABOVE BUILDING STANDARD SAMPLES & LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES & PRODUCT LITERATURE & OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS. ANY SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO IMPLEMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH & QUALIFY THAT THE PERFORMANCE & CONSTRUCTION SPECIFICATIONS MEET THOSE OF THE ORIGINALLY SPECIFIED ITEM PRIOR TO SUBMISSION FOR APPROVAL. CONTRACTOR SHALL BE LIABLE FOR MATERIALS THAT ARE NOT AVAILABLE DUE TO UNTIMELY ORDERING & FOR THE COORDINATION OF SUBSTITUTIONS W/ OTHER TRADES & DISCIPLINES.
- SHOP DRAWINGS (TWO (2) COPIES TO ARCHITECT & TWO (2) COPIES TO ENGINEER), AS REQUIRED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION. SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION OR PURCHASE. SHOP DRAWINGS OR SAMPLES FOR MILLWORK, CUSTOM METALWORK, CUSTOM CASEGOODS & OTHER ITEMS AS REQUIRED BY ARCHITECT FOR ABOVE BUILDING STANDARDS ITEMS.
- CHANGES IN THE WORK SHALL ONLY BE ALLOWED W/ ONE OF THE FOLLOWING WRITTEN DIRECTIVES: 1.) ARCHITECT'S DIRECTIVE FOR MINOR CHANGES IN WORK, 2.) CONSTRUCTION CHANGE DIRECTIVE FROM THE ARCHITECT, OR 3.) CHANGE ORDER ISSUED BY THE ARCHITECT. CHANGES MUST FOLLOW MODIFICATION PROCEDURES NOTED IN AIA A201 -ARTICLE 7. CHANGES REQUIRING A CHANGE IN COST OR TIME MUST BE EXPLICITLY NOTED AT TIME OF DISCUSSION IN FIELD, NOTIFICATION OR ARCHITECT OR AT JOB PROGRESS MEETING & FOLLOWED UP WITHIN TWO (2) WORKING DAYS BY WRITTEN CONFIRMATION. IF CHANGE IS AGREED TO WITHOUT EXPLICIT REFERENCE TO CHANGE IN COST OR TIME, A SUBSEQUENT CHANGE ORDER MAY BE JUSTIFIABLY REJECTED.
- PERFORM WORK & INSTALL MATERIALS IN STRICT ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS & IN A MANNER CONSISTENT W/ INDUSTRY STANDARDS FOR WORKMANSHIP.
- GYPSONUM & METAL STUD CONSTRUCTION SHALL BE DONE IN ACCORDANCE W/ RECOMMENDATIONS & INSTRUCTIONS PUBLISHED BY U.S. GYPSONUM COMPANY - GYPSONUM CONSTRUCTION HANDBOOK, LATEST EDITION. CONSTRUCTION JOINTS MUST OCCUR AT A MAXIMUM OF 25 FT. ON UNDERSIDE OF ROOF DECK.
- FINISH CARPENTRY & MILLWORK SHALL BE DONE IN ACCORDANCE W/ THE ARCHITECTURAL WOODWORKS INSTITUTE (AWI) STANDARDS FOR SELECTION OF MATERIALS, HARDWARE, FABRICATION, WORKMANSHIP & FINISHING.
- EXAMINE SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN & READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE & SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIAL. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH & PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- INSTALL & MAINTAIN NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS & PARTITIONS & DUST BARRIERS TO PROTECT OCCUPANTS & EXISTING WORK & FINISHES TO REMAIN. REPAIR & REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL CHARGE TO OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY & ALL DAMAGE WHICH MAY OCCUR DURING EITHER THE DEMOLITION OR CONSTRUCTION PHASE TO THE EXISTING BUILDING. CONTRACTOR SHALL REPAIR SAME IMMEDIATELY TO MATCH ADJACENT SURFACES IN GOOD CONDITION.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARD TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- MAINTAIN EXIT, EXIT LIGHTING, FIRE PROTECTIVE DEVICES & LIFE SAFETY SYSTEMS IN WORKING ORDER.
- EXIT DOORS,, EGRESS DOORS & OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- VERIFY KEYING REQUIREMENTS OF ALL NEW LOCKS WITH OWNER.
- 24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE, THOROUGHLY CLEAN SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL & EQUIPMENT. VACUUM OR MOP FLOORS & CLEAN WINDOWS. THE CONTRACTOR, AT THE COMPLETION OF THE PROJECT, SHALL CLEAN THE ENTIRE BUILDING AND LEAVE IT IN ACCEPTABLE CONDITION.
- SUBSTANTIAL COMPLETION SHALL BE THE DATE ON WHICH THE PREMISES ARE AVAILABLE FOR OCCUPANCY FROM THE CONTRACTOR & SHALL BE AS DEFINED IN AIA DOCUMENT A201. ADDITIONAL TOUCH-UP OR MINOR INSTALLATION WORK MAY BE INCOMPLETE.
- WARRANT TO THE OWNER THAT ALL MATERIALS & EQUIPMENT FURNISHED & INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, & WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS & DEFECTS & CONFORMS WITH THE CONTRACT DOCUMENTS.
- FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE W/ THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
- UNLESS OTHERWISE NOTED, FASTENERS & ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
- THE ARCHITECT'S SEAL AFFIXED TO THESE CONTRACT DOCUMENTS, SHALL CERTIFY TO THE BEST OF OUR KNOWLEDGE, THAT THESE DRAWINGS MEET THE APPLICABLE STATE & LOCAL CODES. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT W/ STATE OR LOCAL CODES, THE ARCHITECT SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE IN PROVIDING THE OWNER A COMPLETE SET OF "AS-BUILT" OR "RECORD" DOCUMENTS.
- PROVISIONS OF THE AIA A201 - GENERAL CONDITIONS, APPLY TO THIS CONTRACT BY REFERENCE UNLESS SPECIFICALLY MODIFIED IN WRITING BY THE OWNER OR ARCHITECT.

## BUILDING CODE COMPLIANCE:

- THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE W/ APPLICABLE CODES, REGULATIONS, LOCAL AUTHORITY REGULATIONS & LOCAL CODE OFFICIAL'S DIRECTIVES.
  - THE CONTRACTOR SHALL PROVIDE TERMITE PROTECTION AS PER FBC 1816.1.7
- ## PARTITION NOTES:
- CLEAR DIMENSIONS MUST BE HELD. DIMENSIONS NOTED AS FINISHED FACE.
  - DRAWING DIMENSIONS ARE TO THE FACE OF STUD SURFACE UNLESS CLEAR OR CRITICAL SHALL BE MEASURED FROM FINISH FACE TO FINISH FACE.
  - MAKE NO MECHANICAL ATTACHMENTS TO EXTERIOR BUILDING SURFACES WITHOU PRIOR NOTIFICATION AND APPROVAL FROM THE ARCHITECT.
  - CONSTRUCT CEILINGS & PARTITIONS PER MANUFACTURER'S RECOMMENDATIONS WITH DEFLECTIONS NOT TO EXCEED 1/240 OF THE SPAN. PROVIDE FIRE RATINGS AS REQUIRED BY CODE - SEE FBC AND LOCAL CODE AMMENDMENTS FOR ANY SPECIAL FIRE STOPPING REQUIREMENTS.
  - INSTALL WOOD BLOCKING AT ANY PARTITION SCHEDULED TO RECEIVE HANGING CABINETS AND/OR SHELVING.
  - INSTALL MOISTURE RESISTANT SUBSTRATE (WATER RESISTANT TYPE GYPSUM BOARD OR CEMENTITIOUS BOARD) WHERE CERAMIC TILE OR STONEWORK IS INDICATED.
  - INSTALL STEEL FRAMING FOR PARTITIONS TO COMPLY WITH ASTM C-754 & THE GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION.
  - INSTALL & FINISH GYPSUM BOARD TO COMPLY W/ ASTM C-840, GA-216 BY GYPSUM ASSOCIATION & GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION. PREPARE SURFACE AS REQUIRED FOR FINAL SURFACE FINISH AS RECOMMENDED BY GYPSUM CONSTRUCTION HADBOOK.
  - PROVIDE FRE RESISTANCE RATED PARTITION ASSEMBLIES IDENTICAL TO U.L. DESIGNATIONS (UNDERWRITERS LABORATORY) SHOWN IN THE FIRE RESISTANCE DIRECTORY OR LISTED BY OTHER TESTING AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

## MILLWORK NOTES:

- MILLWORK & CASEWORK SHALL COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, LATEST EDITION, CUSTOM GRADE UNLESS OTHERWISE NOTED.
- INSTALL FIRE RETARDANT TREATED WOOD PRODUCTS WHERE REQUIRED TO COMPLY WITH THE BUILDING CODE.
- COORDINATE INSTALLATION OF ALL IN-WALL STEEL ANCHORAGE, GROUNDS, & MISCELLANEOUS BLOCKING W/ OTHER TRADES FOR PRECISE LOCATION.
- THE MILLWORK CONTRACTOR SHALL OBTAIN & VERIFY FIELD MEASUREMENTS & CONDITIONS AFFECTING HIS WORK & SHALL BE RESPONSIBLE FOR DETAILS & DIMENSIONS ASSURING PRECISION & PROPER ASSEMBLY OF HIS PRODUCTS.
- COORDINATE ITEMS TO INSURE DELIVERY TO THE PROPER LOCATION & VERIFY PHYSICAL ACCOMMODATION WITHIN THE CONFINES OF THE PROJECT AS REQUIRED.
- SET WORK PLUMB, LEVEL & SQUARE, SCRIBED TIGHTLY & ACCURATELY TO ADJT. SURFACES, SECURELY ANCHORED IN POSITION INDICATED ON DRAWINGS TO HIGHEST QUALITY STANDARDS.
- LAMINATE EDGES OF COUNTERTOPS & EDGES OF DOORS PRIOR TO FACING COUNTERTOPS OR DOORS.
- COORDINATE EXACT PLACEMENT OF PLUMBING & ELECTRICAL FIXTURES, SWITCHES & OUTLETS TO BE INSTALLED WITHIN THE MILLWORK.
- REPAIR, REPLACE OR OTHERWISE MAKE GOOD TO SATISFACTION OF ARCHITECT DAMAGE INCURRED TO MILLWORK DURING CONSTRUCTION.
- ADJUST DOORS, DRAWERS & HARDWARE FOR PROPER OPERATION & CLEAN SURFACES,, INSIDE & OUT.
- COMPLY W/ MILLWORK MANUFACTURER'S & INSTALLER'S RECOMMENDED OPTIMUM TEMPERATURE & HUMIDITY CONDITIONS FOR STORAGE & INSTALLATION OF WORK.
- COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, SECTION 1500 FACTOR FINISHING SYSTEMS FOR FINISHES NOTED.

## FINISH NOTES:

- INSPECT MATERIALS FOR DEFECTS, FLAWS, SHIPPING DAMAGE, CORRECT COLOR & PATTERN, INFORM ARCHITECT OF ANY DEFECTIVE MATERIALS & COORDINATE W/ THE MANUFACTURER FOR ACCURATE SHIPPING DATES FOR THE REPLACEMENT MATERIAL.
- FLOOR COVERINGS SHALL BE REPAIRED IN RENOVATION WORK TO MATCH ADJACENT SURFACES. FLOOR COVERINGS IN CLOSETS SHALL MATCH ADJACENT SURFACES. FLOOR COVERING IN CLOSETS SHALL MATCH ADJACENT ROOM UNLESS NOTED OTHERWISE.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVING AN APPROPRIATELY LEVEL & SMOOTH CONCRETE OR OTHER SUBSTRATE TO MEET THE CARPET (IF CARPET IT USED) MEETING INDUSTRY STANDARDS PRIOR TO INSTALLATION.
- CARPET, IF USED, SHALL BE INSTALLED IN THE SAME DIRECTION. SEAM CARPET AT DOORS AND ON CENTERLINE OF DOORS, TYPICAL.

## PAINTED SURFACES:

- PAINTED FINISH METAL & WOOD TRIM SHALL BE SEMI-GLOSS ALKYD ENAMEL. COLOR TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE. OTHER SURFACES SHALL BE LATEX, FLAT FINISH. PAINTED FINISHES WITHIN BATHROOMS & KITCHEN/ GALLEYS/PANTRY SHALL BE SEMI-GLOSS ALKYD ENAMEL.
- PREPARE FOR & APPLY PAINT IN ACCORDANCE W/ THE MANUFACTURER'S SPEC'S. FOR THE PARTICULAR SURFACE, ONE (1) COAT PRIME & TWO (2) FINISH COATS MINIMUM APPLICATION. FOLLOW INDUSTRY STANDARDS FOR SURFACE PREPARATION & APPLICATION ENVIRONMENT (TEMPERATURE & HUMIDITY).

## WALL COVERING:

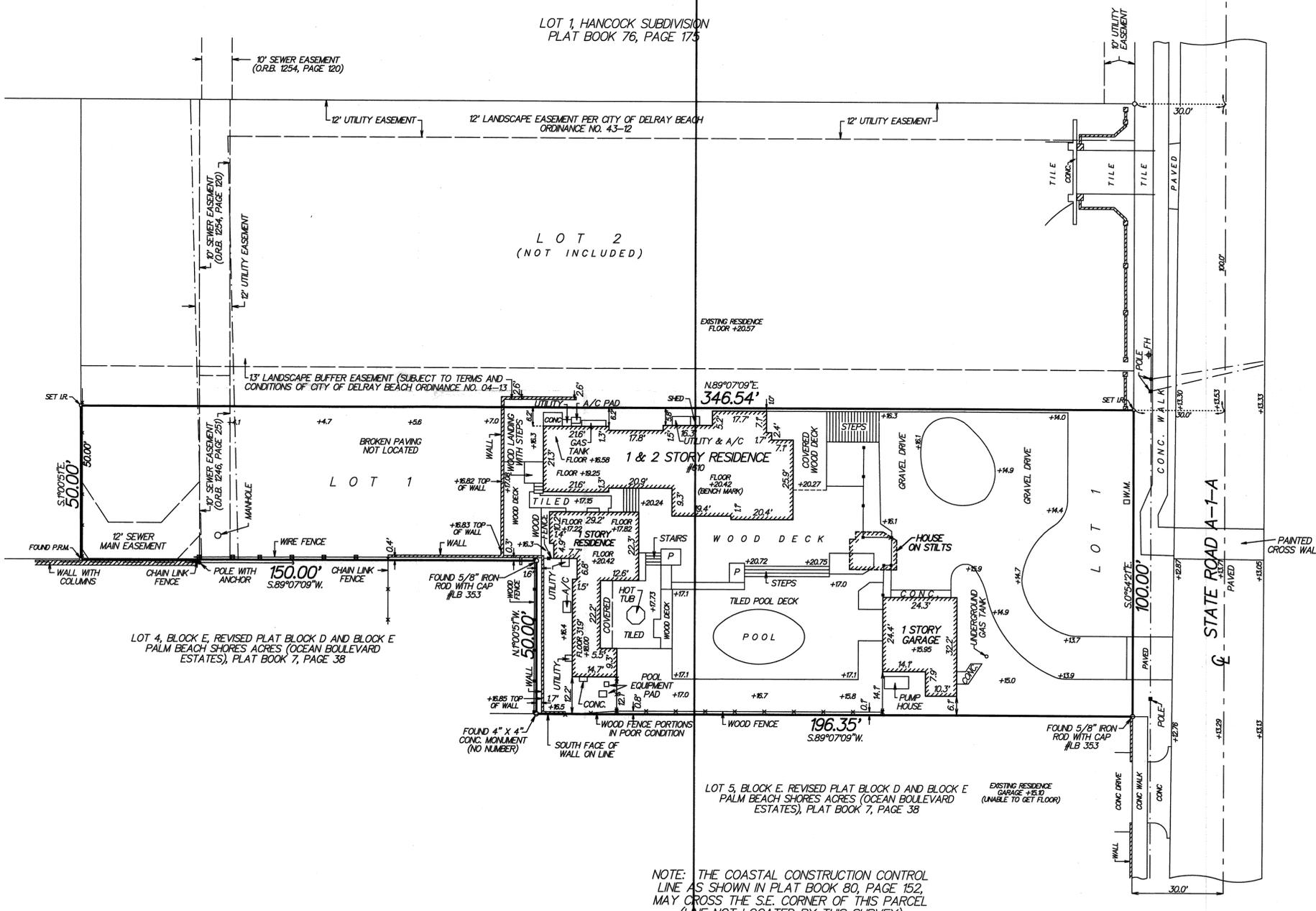
- INTERIOR FINISH MATERIALS SHALL COMPLY WITH LOCAL CODES. WHEN REQUIRED BY BUILDING OFFICIAL(S), APPLY FLAME PROOFING TO FABRIC WALL COVERINGS.
  - WALL COVERINGS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE APPLICATION, INCLUDING TEMPERATURE AND DUST CONTROL. WALL COVERING REQUIRING BACKING SHALL BE SO APPROVED. APPLY WALL PRIMER PRIOR TO APPLYING ADHESIVE FOLLOWING MANUFACTURER'S INSTRUCTION.
  - INSTALL SEAMS PLUMB & NOT LESS THAN SIX (6) INCHES FROM CORNERS: HORIZONTAL SEAMS SHALL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
  - REMOVE EXCESS ADHESIVE PROMPTLY, REPLACE PANELS WHICH CANNOT BE COMPLETELY CLEANED.
  - INSTALLATION OF PATTERNED FABRIC WALL COVERINGS SHALL BE MATCH AT EDGE TO ADJACENT FABRIC PANEL.
  - REMOVE SWITCH PLATES & SURFACE MOUNTED FIXTURES TO PERMIT WALL COVERING INSTALLATION & RE-INSTALL UPON COMPLETION.
  - WALL COVERINGS SHALL BE FROM CONSISTENT DYE LOTS.
  - NO SUBSTITUTION OF ANY SPECIFIED WALL COVERINGS OR FINISH MAY BE MADE WITHOUT PRIOR APPROVAL OF ARCHITECT.
- TILE:
- INSTALL TILE IN ACCORDANCE W/ TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION METHODS.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROPRIATE SUBSTRATE (I.E. MOISTURE RESISTANT GYPSUM BOARD, "WONDERBOARD", ETC.).

## TELEPHONE/DATA/ELECTRICAL NOTES:

- WORK SHALL BE IN ACCORDANCE W/ APPLICABLE NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
- IN M/E/P DESIGN-BUILD PROJECTS, MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR COORDINATING VARIOUS TRADES. CONTRACTOR SHALL CONTROL INSTALLATION SEQUENCE OF VARIOUS ITEMS TO ACCOMMODATE DIMENSIONAL REQUIREMENTS OF TOTAL ASSEMBLY INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, DATA, TELEPHONE, SPRINKLER PIPING AND ANY & ALL EQUIPMENT.
- ANY DISCREPANCY BETWEEN THE ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING ENGINEER'S OR ANY OTHER CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK INSTALLED IN CONFLICT W/ THE ARCHITECT'S DRAWINGS OR CREATING CONFLICTS DUE TO INSUFFICIENT COORDINATION OF WORK SHALL BE CORRECTED BY THE CONTRACTOR @ THE CONTRACTOR'S EXPENSE & SHALL NOT IMPACT THE SCHEDULE.
- REFER TO ENGINEERING DRAWINGS FOR CIRCUITING & SPECIFICATIONS. MECHANICAL & ELECTRICAL ENGINEER'S DRAWINGS DO NOT SPECIFY LOCATIONS OF FIXTURES, OUTLETS, OR EQUIPMENT - REFER TO ARCHITECT'S DRAWINGS.
- SEPARATE JUNCTION BOXES BY AT LEAST ONE (1) STUD WHERE TELEPHONE & ELECTRICAL OUTLETS APPEAR BACK-TO-BACK OR SIDE-BY-SIDE.
- OUTLETS, SWITCHES & JUNCTION BOXES LOCATED IN ACOUSTICAL PARTITIONS SHALL RECEIVE EQUIVALENT INSULATION BEHIND BOXES.
- WHERE WALL MOUNTED OUTLETS ARE INDICATED SIDE-BY-SIDE, THE MAXIMUM SEPARATION SHALL BE SIX (6) INCHES, CENTERLINE TO CENTERLINE, U.O.N..
- GANG ELECTRICAL OUTLETS & SWITCHES WHERE POSSIBLE.
- WALL MOUNTED ELECTRICAL, TELEPHONE & DATA OUTLETS SHALL BE INSTALLED AT EIGHTEEN (18) INCHES ABOVE FINISHED FLOORS, UNLESS NOTED OTHERWISE.
- INSTALL LIGHT SWITCHES AT FOURTY-EIGHT (48) INCHES A.F.F. & WITHIN EIGHT (8) INCHES OF DOOR FRAME, U.N.O.. FOLLOW ADA REGULATIONS IN PUBLIC CIRCUMSTANCES.
- THERMOSTATS SHALL BE INSTALLED AT SIXTY (60) INCHES A.F.F. ADJACENT TO LIGHT SWITCHES, UNLESS NOTED OTHERWISE.
- INCANDESCENT LIGHT FIXTURES ARE TO BE ON DIMMERS, U.N.O..
- WHERE LIGHTS & SWITCHES ARE NOT NOTED W/ A LOWER CASE LETTER DESIGNATION, THE SWITCHES ARE TO BE CONNECTED ONLY TO THOSE LIGHT FIXTURES WITHIN THAT SPECIFIC ROOM.
- FLOOR MOUNTED OUTLETS ARE DIMENSIONED FROM THE CENTERLINE OF THE OUTLET TO THE FINISHED FACE OF THE PARTITION AND/OR COLUMN, UNLESS NOTED OTHERWISE.
- ELECTRICAL ITEMS INDICATED IN OR ON CABINETS SHALL BE SUPPLIED, INSTALLED & COORDINATED BY THE CONTRACTOR.
- ELECTRICAL SUB-CONTRACTOR SHALL MAKE FINAL CONNECTIONS FOR ALL FLOOR OR WALL OUTLETS TO FURNITURE SYSTEM POWER POLES (WHERE APPLICABLE) FOLLOWING MANUFACTURER'S STANDARDS FOR INSTALLATION AND APPLICABLE CODES.
- PHONE & DATA OUTLETS SHALL BE SINGLE OUTLET BOX W/ PULL STRING & RING FOR WIRING. WIRING OR CABLING SHALL BE BY OTHERS UNLESS NOTED OTHERWISE.
- THE SIZE OF NEW TELEPHONE & DATA LINE CONDUITS SHALL BE AS PER SUPPLIER'S SPECIFICATIONS. VERIFY REQUIREMENTS W/ OWNER.
- INSTALL BUILDING STANDARD COVER PLATES FOR OUTLETS & SWITCHES.
- EXHAUST FANS SHALL BE SILENT RUNNING & SHALL HAVE A MINIMUM EIGHT (8) FOOT LONG DUCT BETWEEN THE RETURN AIR GRILLE & FAN MOTOR. DUCT SHALL BE LINED W/ ONE (1) INCH MIN. THICK FIBERGLASS LINER. DO NOT LOCATE FAN MOTOR ABOVE CEILING OF ROOM SERVED BY FAN - LOCATE MOTOR ABOVE CORRIDOR OR OPEN AREA CEILING. PROVIDE SPARK PROOF MOTORS OR EXPLOSION PROOF MOTORS FOR LOCATIONS INVOLVING FLAMMABLE MATERIALS (ONLY IF APPLICABLE)
- ACCESS PANELS AS REQUIRED SHALL BE INSTALLED FLUSH W/ CEILING & FINISHED TO MATCH THE ADJACENT CEILING FINISH. LOCATIONS OF ACCESS PANELS ARE TO BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.



CRESTWOOD DRIVE



**LEGEND:**

- CL = CENTERLINE
- CONC. = CONCRETE
- A/C = CONCRETE A/C PAD
- P = PLANTER
- OR.B. = OFFICIAL RECORDS BOOK
- F.H. = FIRE HYDRANT
- W.M. = WATER METER
- — — — — = OVERHEAD UTILITY LINES
- +20.42 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: X  
 COMMUNITY PANEL NO. 125102  
 MAP NO. 12099C098F  
 EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE. WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

**DESCRIPTION:**

LOT 1, OCEAN APPLE ESTATES PLAT THREE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 118, PAGES 118 AND 119 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**CERTIFIED TO:**

- FRANK E. MCKINNEY, III
- MILSA MCKINNEY
- JP MORGAN CHASE BANK, NA, ITS SUCCESSORS AND ASSIGNS, ATMA
- CITY OF DELRAY BEACH, FLORIDA

**MAP OF BOUNDARY SURVEY**

SITE ADDRESS: 610 N. OCEAN BLVD.  
 DELRAY BEACH, FLORIDA 33483  
 PARCEL ID. NO.: 12-43-46-09-93-000-0010

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Paul D. Engle*  
 PAUL D. ENGLE  
 SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**O'BRIEN, SUITER & O'BRIEN, INC.**  
 LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY JULY 8, 2021	SCALE: 1" = 20'
FIELD BOOK PAGE NO. D214 138&40	ORDER NO.: LOT 1 90-57db'15"

### PROJECT DATA:

PROPOSED TOTAL GROUND FLOOR AREA -	++ 4,541.00 SQ. FT.	++ 16.74% OF SITE
PARKING & PAVED AREAS -	++ 1,852.00 SQ. FT.	++ 18.52% OF SITE
OPEN LANDSCAPED SPACE -	++ 5,099.00 SQ. FT.	++ 50.99% OF SITE
WATER BODIES (POOL) -	++ 450 SQ. FT.	++ 1.66% OF SITE
<b>TOTALS</b>	<b>++ 27,135.00 SQ. FT.</b>	<b>100% OF SITE</b>

### PARKING DATA:

R-1-AAA - SINGLE FAMILY RESIDENTIAL:	REQUIRED	PROVIDED
TOTALS:	TWO (2) PER HOUSEHOLD ONE GUEST (1) PER HOUSEHOLD THREE (3)	TWO (2) ONE (1) THREE (3)

### LEGAL DESCRIPTION:

(AS PROVIDED BY THE OWNER)

### SITE DATA:

(APPROX. 27,135.00 SQ. FT. OR +- 0.623 ACRES)  
ZONED: R-1-AAA (SINGLE FAMILY RESIDENTIAL)  
PROPOSED USE: PRIVATE SF RESIDENCE

### GENERAL CIVIL NOTES:

- 1.) THERE ARE TWO (2) EXISTING DRIVEWAYS WITHIN 50' OF SUBJECT PROPERTY
- 2.) THERE ARE NO EXISTING TREES NOR VEGETATION W/ A DIA. OF 4' OR GREATER ON SUBJECT PROPERTY

### GENERAL GRADING NOTES:

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

### SYMBOLS LEGEND:

- +4.00' BAWD EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
- +4.00' BAWD PROPOSED NEW TOPOGRAPHY (FINISH GRADE)

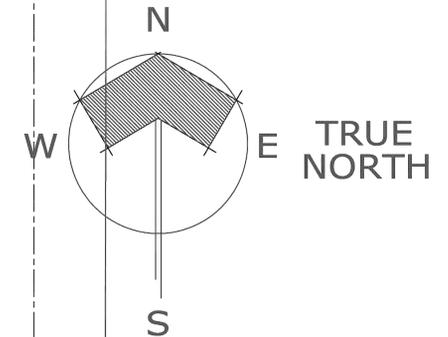
## EXISTING A1 ARCHITECTURAL SITE PLAN

ENGINEERING SCALE: 1" = 20'-0"

### PROJECT SITE DATA CHART:

R-1-AAA	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH/FRONTAGE (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN SPACE (%)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. NORTH INTERIOR SETBACK (ft.)	MIN. SOUTH INTERIOR SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT/# OF FLRS. (ft.)	DENSITY (UNITS PER ACRE) (#)	NO. OF DWELLING UNITS (#)	WATER BODIES (POOL) (ft.)	PERVIOUS/IMPERVIOUS AREA (ft.)
REQUIRED	12,500	100'-0"	110'-0"	2,200	25	NA	35'-0"	12'-0"	12'-0"	12'-0"	35'-0"	NA	1	-	-
PROVIDED	27,135	100'-0"	346'-9"	4,541	+83	NA	+41'-3"	+1'-0" +6'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,745/4,255
EXISTING	27,135	100'-0"	346'-9"	3,773	+86	NA	+58'-5"	+1'-0" +6'-2" +7'-10"	+8'-0"	12'-0"	+22'-7"/2	NA	1	+450	5,112/4,888

NON-CONFORMING TO REMAIN  
NON-CONFORMING TO BE CORRECTED



Seal	"OCEAN APPLE ESTATE" 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA 33483	SITE PLAN Drawing Title
Seal	COPE ARCHITECTS, INC. 701 S. STATE STREET DELRAY BEACH, FLORIDA 33483-5305 ARCHITECTURE - PLANNING - INTERIORS cell 561.789.3791 email copearchitectsinc@gmail.com	Florida License No. AR0013552
Seal	Drawn RW COPE Project No. 2020.45OCEANAPPLE CAD File No. EXISTING SITE PLAN	Date OCTOBER 11, 2021 Drawing No.
A2.0		

# PROJECT DATA:

PROPOSED TOTAL GROUND FLOOR AREA -	++ 4,541.00 SQ. FT.	++ 16.74% OF SITE
PARKING & PAVED AREAS -	++ 4,852.00 SQ. FT.	++ 17.88% OF SITE
OPEN LANDSCAPED SPACE -	++ 17,292.00 SQ. FT.	++ 63.72% OF SITE
WATER BODIES (POOL) -	++ 450 SQ. FT.	++ 1.66% OF SITE
<b>TOTALS</b>	<b>++ 27,135.00 SQ. FT.</b>	<b>100% OF SITE</b>

# PARKING DATA:

	REQUIRED	PROVIDED
R-1-AAA - SINGLE FAMILY RESIDENTIAL:		
TWO (2) PER HOUSEHOLD	TWO (2)	
ONE GUEST (1) PER HOUSEHOLD	ONE (1)	
THREE (3)	THREE (3)	
<b>TOTALS:</b>		

# LEGAL DESCRIPTION:

(AS PROVIDED BY THE OWNER)

# SITE DATA:

(APPROX. 27,135.00 SQ. FT. OR +- 0.623 ACRES)  
 ZONED: R-1-AAA (SINGLE FAMILY RESIDENTIAL)  
 PROPOSED USE: PRIVATE SF RESIDENCE

# GENERAL CIVIL NOTES:

- 1.) THERE ARE TWO (2) EXISTING DRIVEWAYS WITHIN 50' OF SUBJECT PROPERTY
- 2.) THERE ARE NO EXISTING TREES NOR VEGETATION W/ A DIA. OF 4' OR GREATER ON SUBJECT PROPERTY

# GENERAL GRADING NOTES:

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

# SYMBOLS LEGEND:

- ±± BIVAND EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
- ±± BIVAND PROPOSED NEW TOPOGRAPHY (FINISH GRADE)

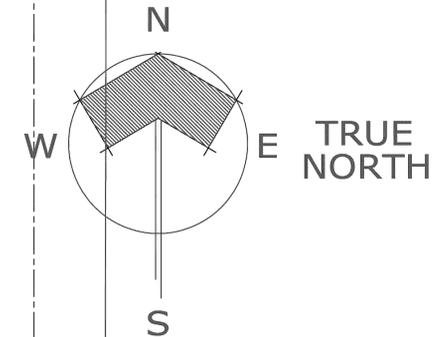
# PROPOSED A2 ARCHITECTURAL SITE PLAN

ENGINEERING SCALE: 1" = 20'-0"

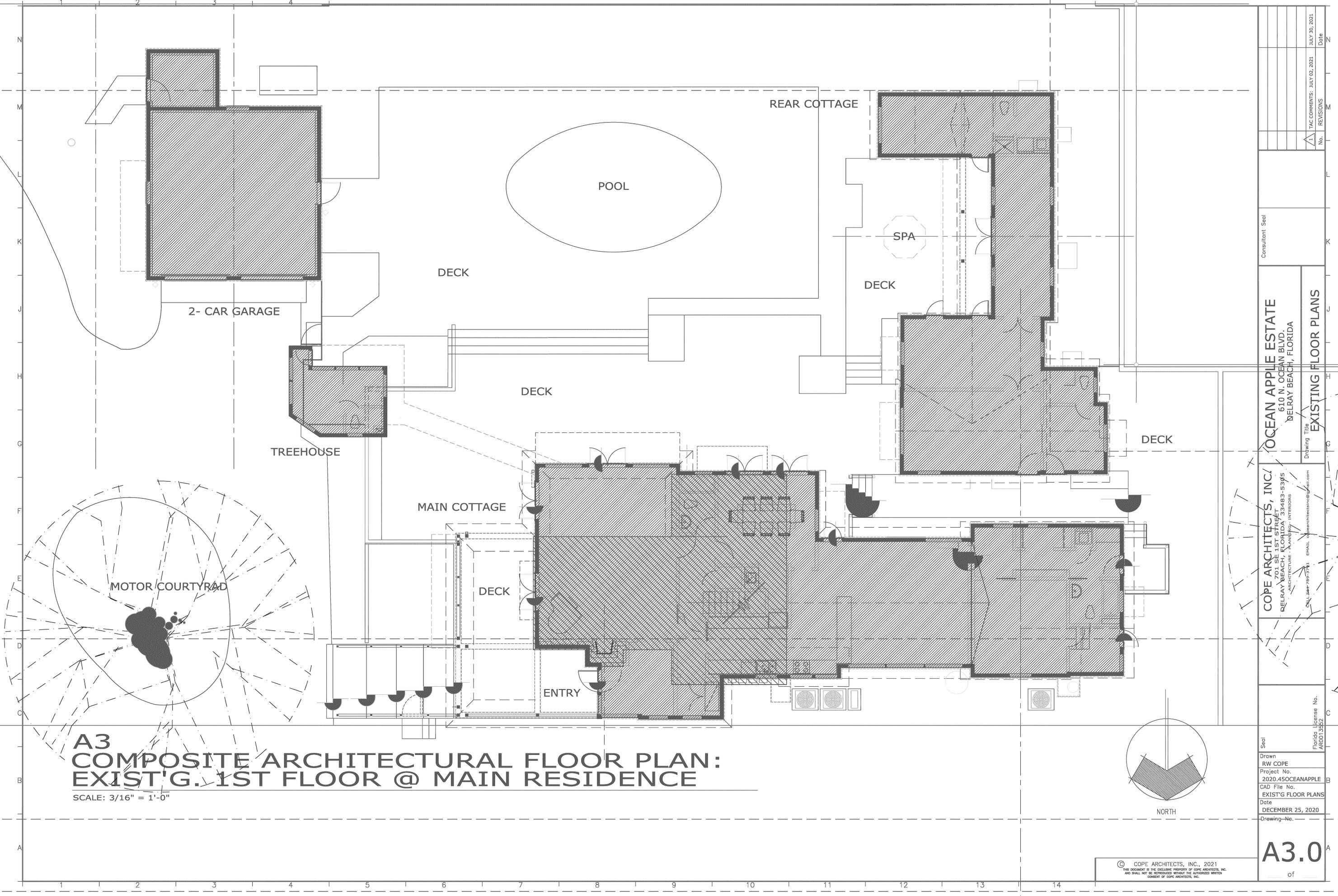
# PROJECT SITE DATA CHART:

R-1-AAA	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH/FRONTAGE (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN SPACE (%)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. NORTH INTERIOR SETBACK (ft.)	MIN. SOUTH INTERIOR SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT/# OF FLRS. (ft.)	DENSITY (UNITS PER ACRE) (#)	NO. OF DWELLING UNITS (#)	WATER BODIES (POOL) (ft.)	PERVIOUS/IMPERVIOUS AREA (ft.)
REQUIRED	12,500	100'-0"	110'-0"	2,200	25	NA	35'-0"	12'-0"	12'-0"	12'-0"	35'-0"	NA	1	-	-
PROVIDED	27,135	100'-0"	346'-9"	4,541	+83	NA	+41'-3"	+1'-0" +6'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,745/4,255
EXISTING	27,135	100'-0"	346'-9"	3,773	+86	NA	+58'-5"	+1'-0" +6'-2" +7'-10"	+12'-1"	12'-0"	+22'-7"/2	NA	1	+450	5,112/4,888

VARIANCE REQUEST

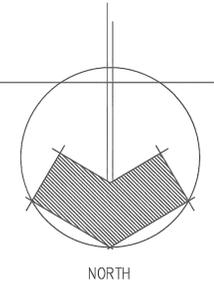


Consultant Seal		Date	
No.		REVISIONS	
1		TAC COMMENTS: JULY 02, 2021	
JULY 30, 2021		Date	
<b>"OCEAN APPLE ESTATE"</b>			
610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA 33483			
Drawing Title		SITE PLAN	
<b>COPE ARCHITECTS, INC.</b>			
701 S. STATE STREET DELRAY BEACH, FLORIDA 33483-5305			
ARCHITECTURE - PLANNING - INTERIORS			
cell 561.789.3791		email copearchitectsinc@gmail.com	
Seal	Florida License No.	AR0013552	
Drawn	RW COPE		
Project No.	2020.45OCEANAPPLE		
CAD File No.	PROPOSED SITE PLAN		
Date	NOVEMBER 08, 2021		
Drawing No.	A2.1		

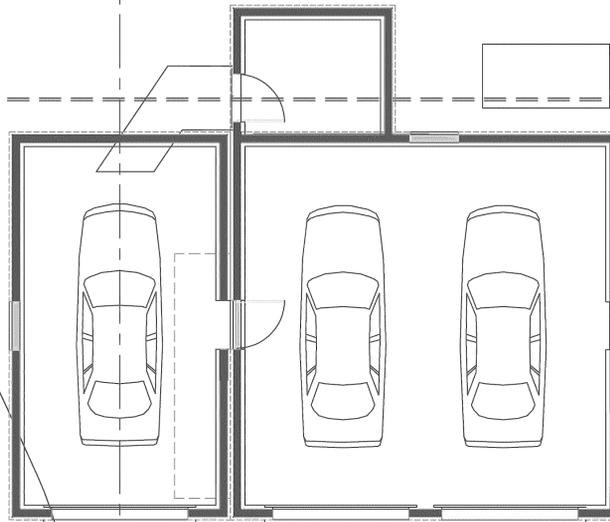


**A3  
COMPOSITE ARCHITECTURAL FLOOR PLAN:  
EXIST'G. 1ST FLOOR @ MAIN RESIDENCE**

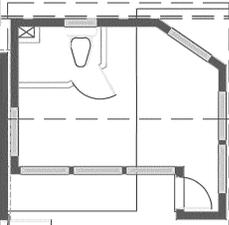
SCALE: 3/16" = 1'-0"



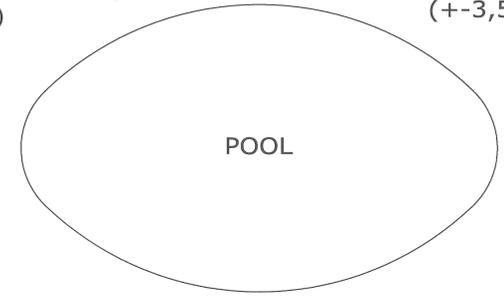
Consultant Seal <b>COPE ARCHITECTS, INC.</b> 701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5345 ARCHITECTURE - PLANNING - INTERIORS TEL: 561-795-5741 EMAIL: carchitectsinc@gmail.com		Drawing Title <b>EXISTING FLOOR PLANS</b>
Project No. 2020.45OCEANAPPLE		Date DECEMBER 25, 2020
CAD File No. EXIST'G FLOOR PLANS		Drawing No. <b>A3.0</b>
Florida License No. AR0013552		Date JULY 30, 2021
Drawn RW COPE		No. REVISIONS 1
TAC COMMENTS: JULY 02, 2021		Date



RE-DESIGNED  
2- CAR GARAGE  
(+900 GSF)

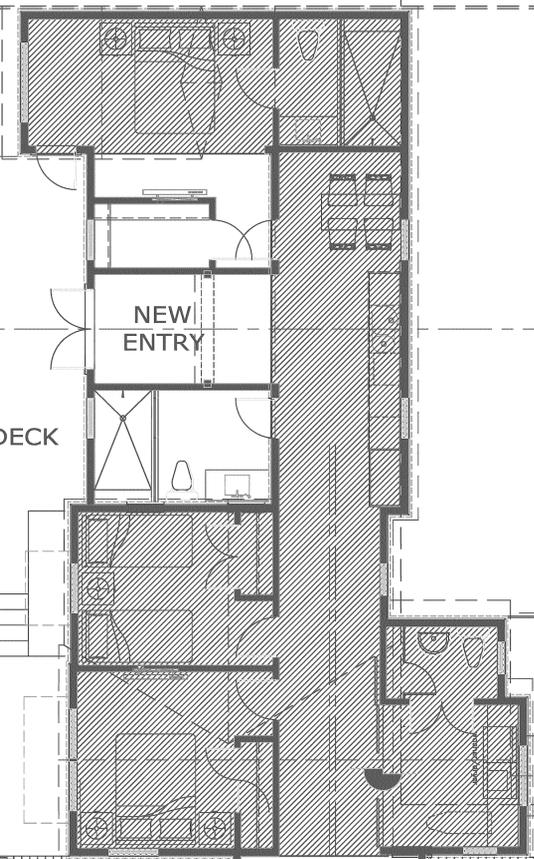


CHANGING ROOM  
(relocated tree house)  
(+135 GSF)

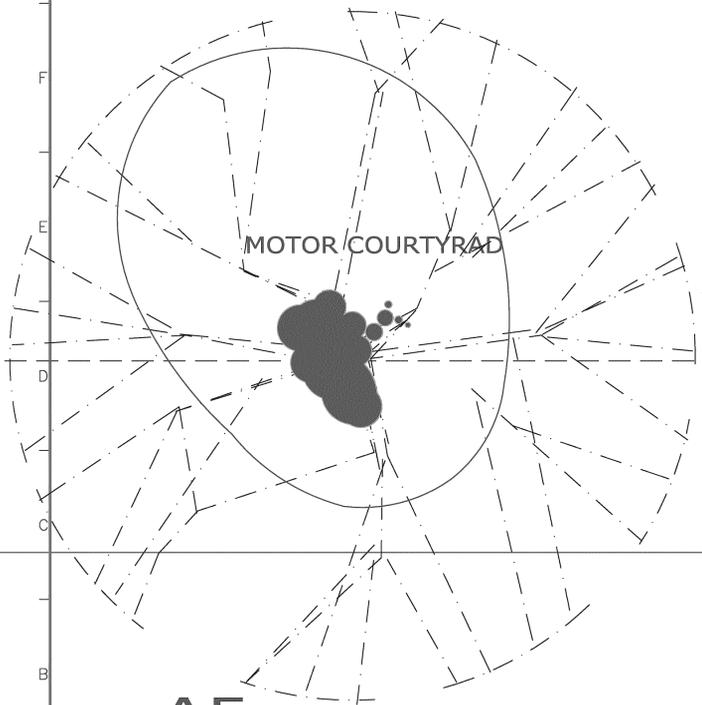


POOL

RE-DESIGNED/COMBINED  
MAIN COTTAGE & REAR WING  
(+3,506 GSF)



NEW  
ENTRY

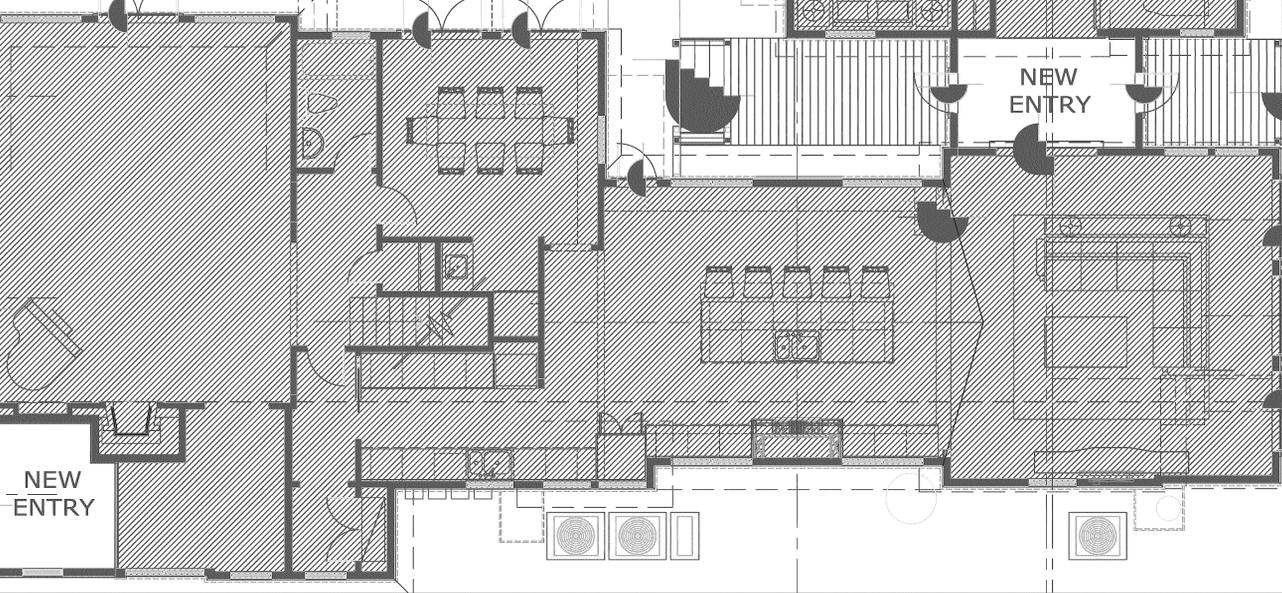


MOTOR COURTYARD

RE-DESIGNED/COMBINED  
MAIN COTTAGE & REAR WING  
(+3,506 GSF)

DECK

DECK



NEW  
ENTRY

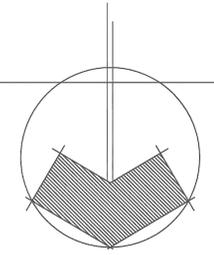
NEW  
ENTRY

NEW ENTRY:  
(added footprint to existing home)  
(+80 GSF)

11'-0"

# A5 COMPOSITE ARCHITECTURAL PLANS: PROPOSED 1ST FLOOR

SCALE: 3/16" = 1'-0"



NORTH

No.	REVISIONS	Date
1	TAC COMMENTS	JULY 02, 2021
		JULY 30, 2021

Consultant Seal

OCEAN APPLE ESTATE  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

COPE ARCHITECTS, INC.  
701 SE 1ST STREET  
DELRAY BEACH, FLORIDA 33483-5345  
ARCHITECTURE - PLANNING - INTERIORS

Florida License No.  
AR0013552

Drawn  
RW COPE  
Project No.  
2020.45OCEANAPPLE  
CAD File No.  
NEW FLOOR PLANS  
Date  
OCTOBER 11, 2021  
Drawing No.

A3.1  
of

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1 2 3 4

N

CHANGING ROOM  
(relocated tree house)

RE-DESIGNED GARAGE  
(converted from 2 to 3-car)

NEW  
BALCONY  
(+140 SF)

NEW 2ND FLOOR @ REAR WING  
(+1,278 gsf under air)

NEW  
BALCONY  
(+32 SF)

EXISTING  
BALCONY

RE-DESIGNED/COMBINED  
MAIN COTTAGE & REAR WING  
(+768 GSF)

EXISTING  
BALCONY  
CONVERTED  
INTO NEW  
SPACE  
(+76 SF)

NEW  
BALCONY

EXISTING  
BALCONY  
CONVERTED  
INTO NEW  
SPACE  
(+160 SF)

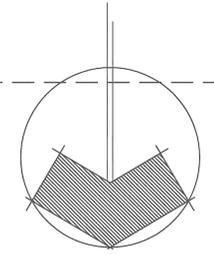
EXISTING  
MAIN COTTAGE  
(+532 SF)

11'-0"

11'-0"

# A4 COMPOSITE ARCHITECTURAL PLAN: PROPOSED 2ND FLOOR

SCALE: 3/16" = 1'-0"



No.	REVISIONS	Date
1	TAC COMMENTS: July 02, 2021	JULY 30, 2021

Consultant Seal

OCEAN APPLE ESTATE  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

Drawing Title  
**PROPOSED 2ND FLOOR PLANS**

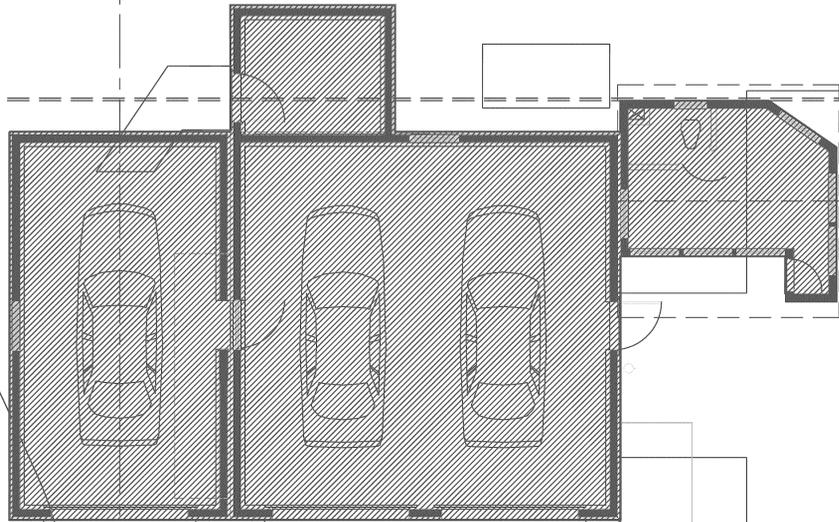
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RW COPE  
Project No.  
2020.45OCEANAPPLE  
CAD File No.  
NEW 2ND FLR. PLAN  
Date  
OCTOBER 11, 2021  
Drawing No.

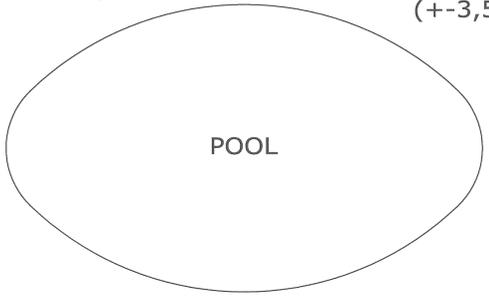
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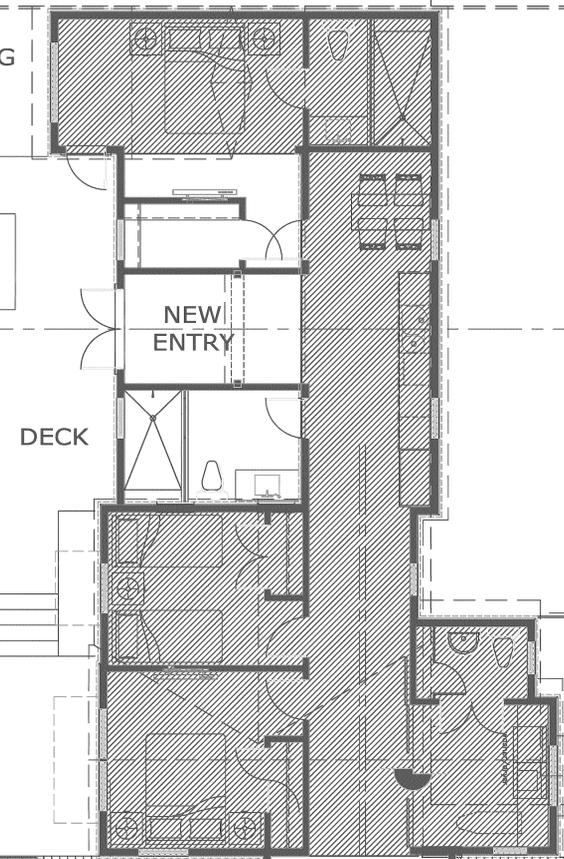


CHANGING ROOM  
(relocated tree house)  
(+-135 GSF)

RE-DESIGNED/COMBINED  
MAIN COTTAGE & REAR WING  
(+-3,506 GSF)



DECK



NEW  
ENTRY

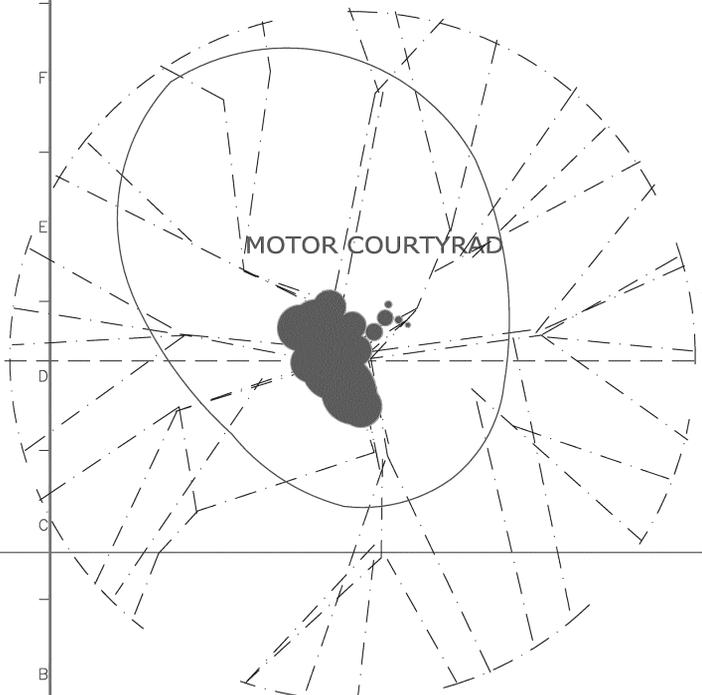
DECK

RE-DESIGNED  
3-CAR GARAGE  
(+-345 GSF)

DECK

RE-DESIGNED/COMBINED  
MAIN COTTAGE & REAR WING  
(+-3,506 GSF)

DECK



MOTOR COURTYARD

DECK

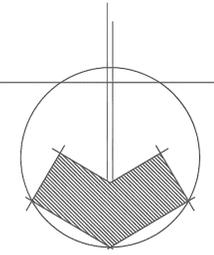
NEW  
ENTRY

NEW  
ENTRY

**A5.1  
COMPOSITE OVERLAY ARCHITECTURAL  
PROPOSED SITE PLAN**

SCALE: 3/16" = 1'-0"

11'-0"



NORTH

No.	REVISIONS	Date
1	TAC COMMENTS	JULY 02, 2021
		JULY 30, 2021

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PHONE: 781-574-7954

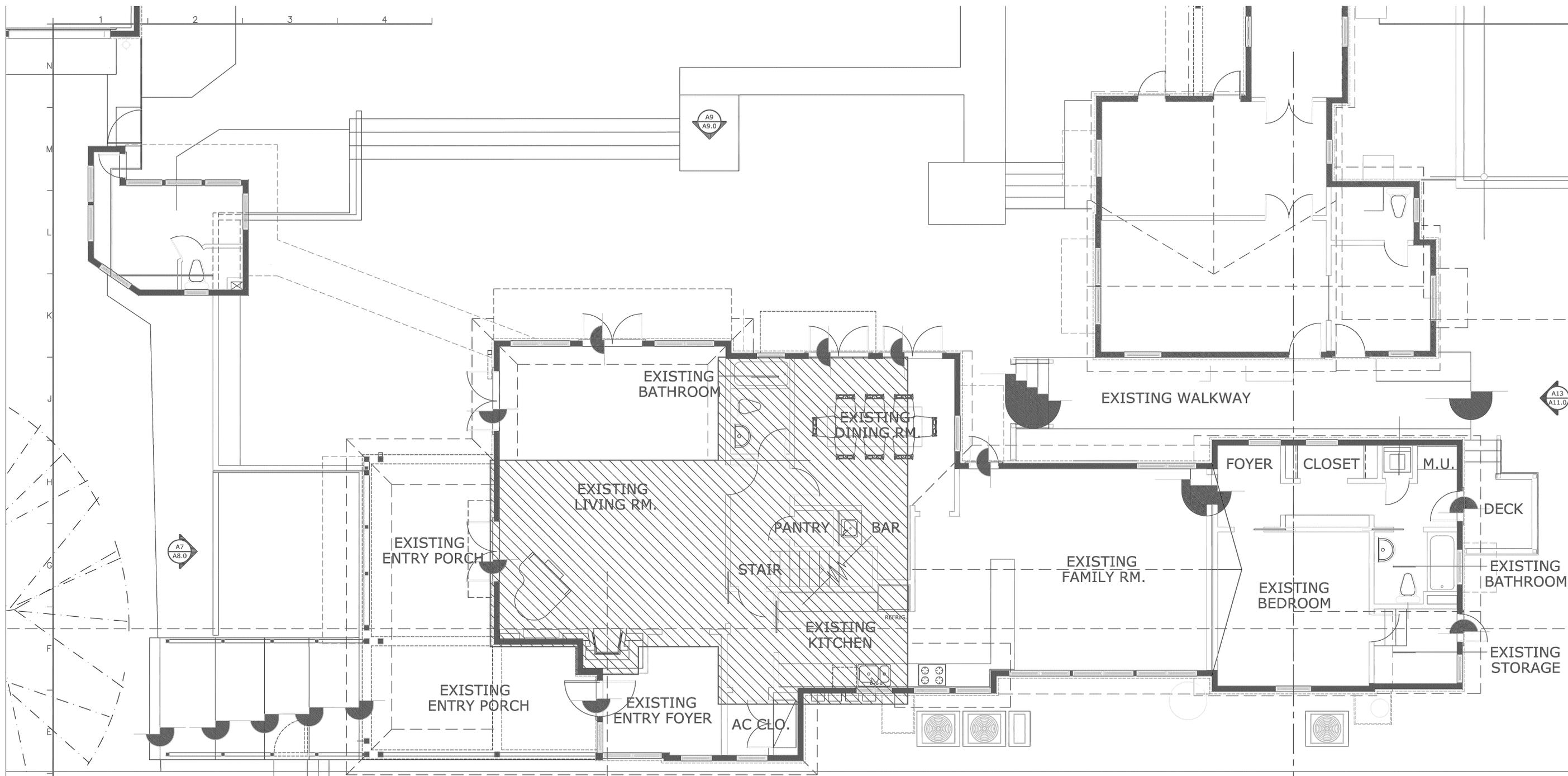
**OCEAN APPLE ESTATE**  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA  
**COMPOSITE OVERLAY SITE PLAN**

Seal  
Florida License No.  
AR0013952

Drawn  
RW COPE  
Project No.  
2020.45OCEANAPPLE  
CAD File No.  
COMPOSITE OVERLAY  
Date  
OCTOBER 11, 2021  
Drawing No.

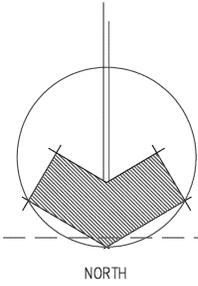
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# A2 ARCHITECTURAL FLOOR PLAN: EXIST'G. MAIN RESIDENCE 1ST FLOOR

SCALE: 1/4" = 1'-0"



EXISTING 1ST FLOOR AREA:

A/C AREA (UNDER AIR) :	++ 2,051 SQ. FT.
FOOTPRINT OF ORIGINAL FONTAINE FOX RESIDENCE :	(+ 781 SQ. FT.)
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :	++ 364 SQ. FT.
TOTAL FLOOR AREA :	++ 2,415 SQ. FT.

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021

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**OCEAN APPLE ESTATE**  
 610 N. OCEAN BLVD.  
 DELRAY BEACH, FLORIDA

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 Drawn  
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 Project No.  
 2020.45OCEANAPPLE  
 CAD File No.  
 EXIST'G 1ST FLR PLAN  
 Date  
 DECEMBER 25, 2020  
 Drawing No.

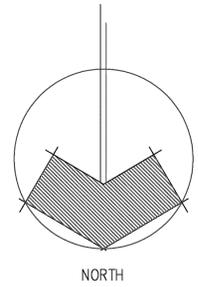
**A4.0**  
 of

# A2 ARCHITECTURAL FLOOR PLAN: PROPOSED MAIN RESIDENCE 1ST FLOOR

SCALE: 1/4" = 1'-0"

A10  
A9.0

A12  
A10.0



### WALL LEGEND:

- NEW CMU WALL
- NEW STEEL STUD INTERIOR NON-LOAD BEARING PARTITION
- NEW STEEL STUD LOAD BEARING PARTITION
- NEW INTERIOR PARTITION W/ SOUND ATTENUATING INSULATION

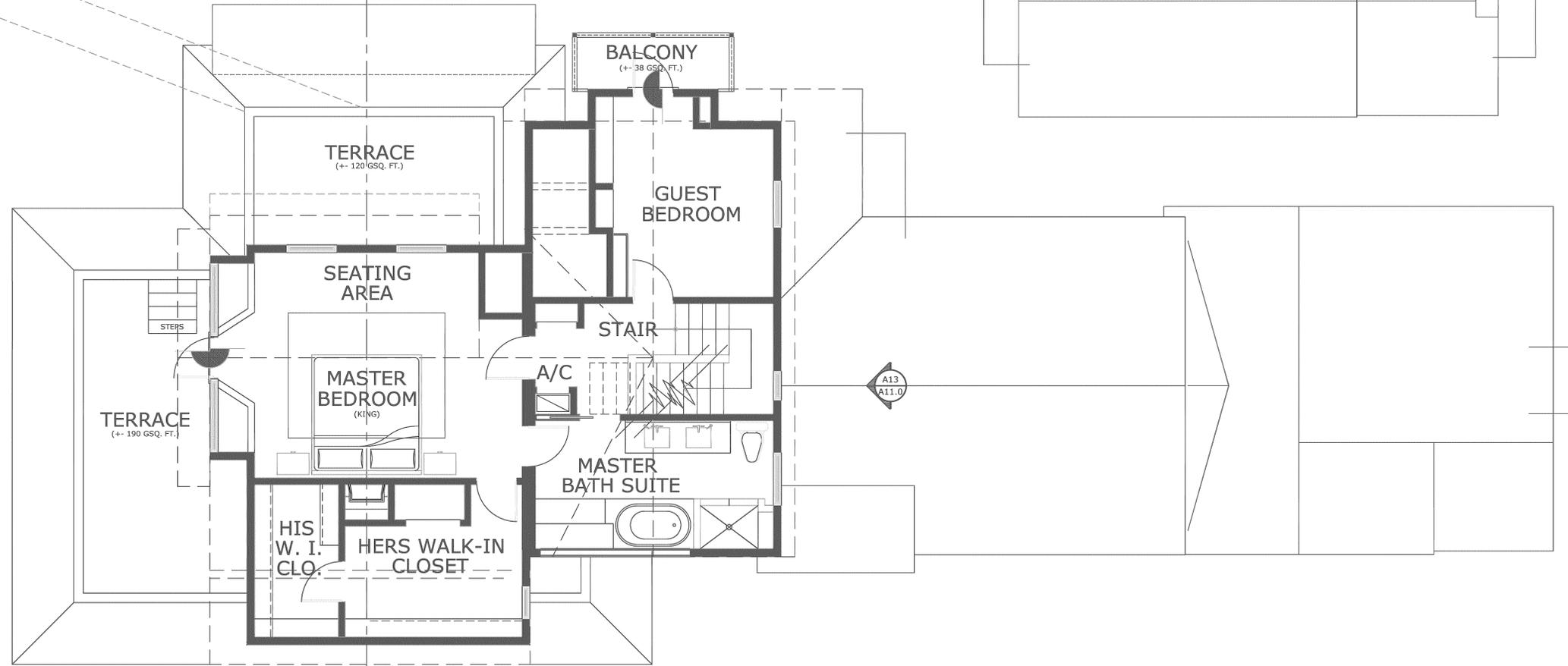
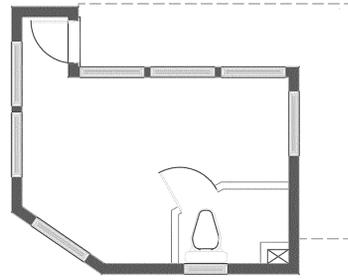
### SYMBOLS LEGEND:

- WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)
- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

### NEW 1ST FLOOR AREA:

A/C AREA (UNDER AIR) : ++ 2,129 SQ. FT. (+-78 SQ. FT. INCREASE)  
 NEW CONNECTING "ATRIUM"  
 COVERED AREA (ROOFED, OPEN-AIR TERRACE) : ++ 418 SQ. FT.  
 TOTAL FLOOR AREA : ++ 2,547 SQ. FT.

Consultant Seal	Date	JULY 30, 2021
REVISIONS	No.	1
TAC COMMENTS:		JULY 02, 2021
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Seal	Florida License No.	AR0013552
Drawn	RW COPE	
Project No.	2020.45OCEANAPPLE	
CAD File No.	PROPOSED FLR PLAN	
Date	DECEMBER 25, 2020	
Drawing No.	A4.1	



**EXISTING 1ST FLOOR AREA:**

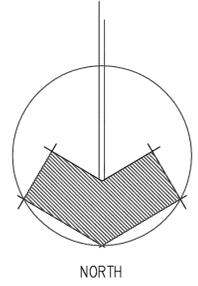
A/C AREA (UNDER AIR) :	+ - 2,051 SQ. FT.
FOOTPRINT OF ORIGINAL FONTAINE FOX RESIDENCE :	(+ - 781 SQ. FT.)
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :	+ - 364 SQ. FT.
TOTAL 1ST FLOOR AREA :	+ - 2,415 SQ. FT.

**EXISTING 2ND FLOOR AREA:**

A/C AREA (UNDER AIR) :	+ - 906 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	+ - 0 SQ. FT.
TOTAL 2ND FLOOR AREA :	+ - 906 SQ. FT.

**TOTAL EXISTING FLOOR AREA:**

A/C AREA (UNDER AIR) :	+ - 2,957 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	+ - 364 SQ. FT.
GRANDE TOTAL EXISTING FLOOR AREA :	+ - 3,321 SQ. FT.



# A2 ARCHITECTURAL FLOOR PLAN: EXIST'G. MAIN RESIDENCE 2ND FLOOR

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021

Consultant Seal

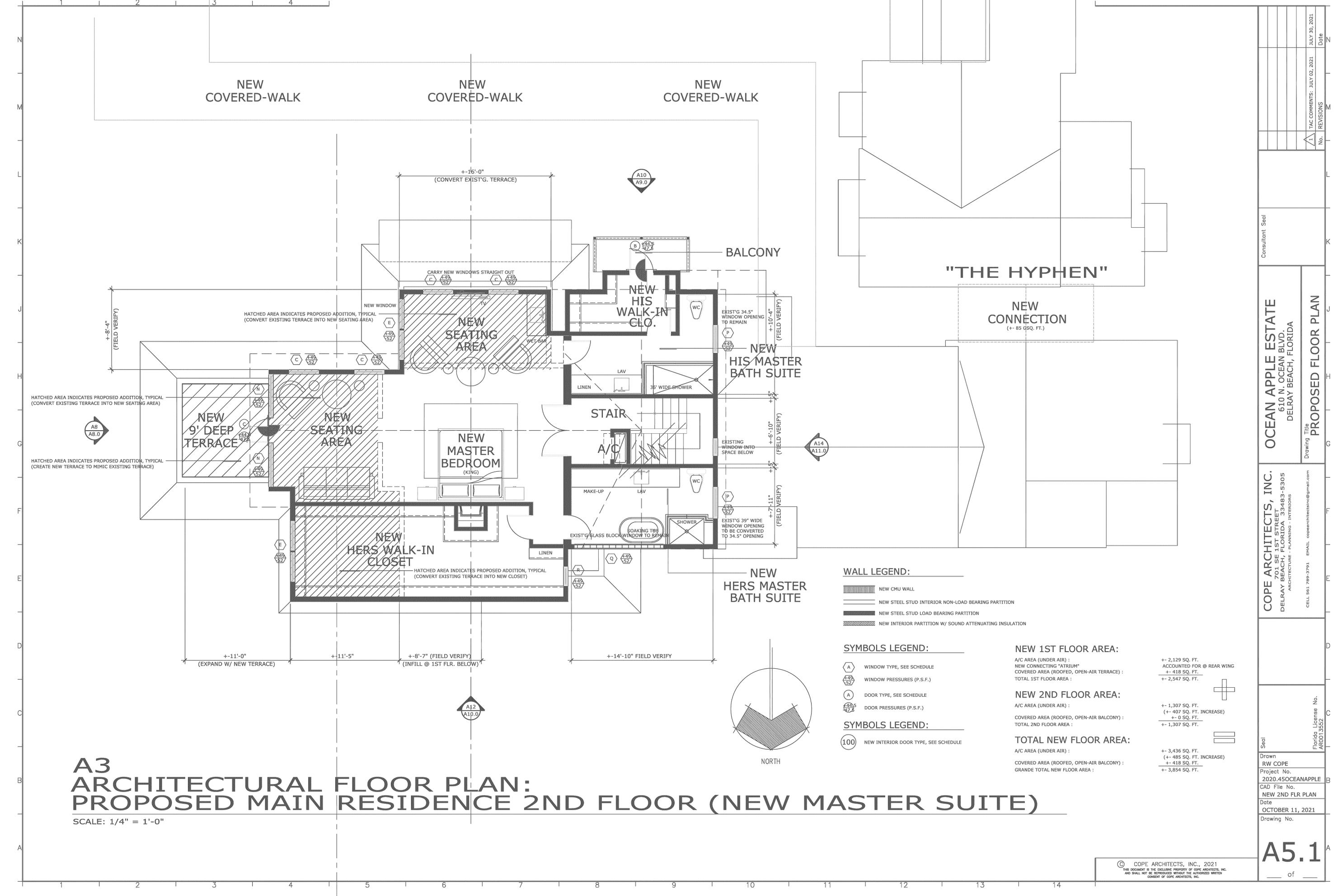
**OCEAN APPLE ESTATE**  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

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Seal  
RW COPE  
Project No.  
2020.45OCEANAPPLE

CAD File No.  
EXISTG 2ND FLR PLN  
Date  
OCTOBER 11, 2021  
Drawing No.

**A5.0**



# A3 ARCHITECTURAL FLOOR PLAN: PROPOSED MAIN RESIDENCE 2ND FLOOR (NEW MASTER SUITE)

SCALE: 1/4" = 1'-0"

- WALL LEGEND:**
- NEW CMU WALL
  - NEW STEEL STUD INTERIOR NON-LOAD BEARING PARTITION
  - NEW STEEL STUD LOAD BEARING PARTITION
  - NEW INTERIOR PARTITION W/ SOUND ATTENUATING INSULATION

- SYMBOLS LEGEND:**
- WINDOW TYPE, SEE SCHEDULE
  - WINDOW PRESSURES (P.S.F.)
  - DOOR TYPE, SEE SCHEDULE
  - DOOR PRESSURES (P.S.F.)
  - NEW INTERIOR DOOR TYPE, SEE SCHEDULE

**NEW 1ST FLOOR AREA:**

A/C AREA (UNDER AIR) :	++ 2,129 SQ. FT.
NEW CONNECTING "ATRIUM" :	ACCOUNTED FOR @ REAR WING
COVERED AREA (ROOFED, OPEN-AIR TERRACE) :	++ 418 SQ. FT.
TOTAL 1ST FLOOR AREA :	++ 2,547 SQ. FT.

**NEW 2ND FLOOR AREA:**

A/C AREA (UNDER AIR) :	++ 1,307 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	(++ 407 SQ. FT. INCREASE)
TOTAL 2ND FLOOR AREA :	++ 0 SQ. FT.
	++ 1,307 SQ. FT.

**TOTAL NEW FLOOR AREA:**

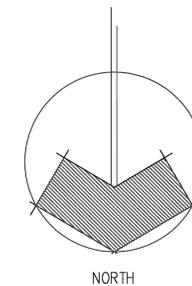
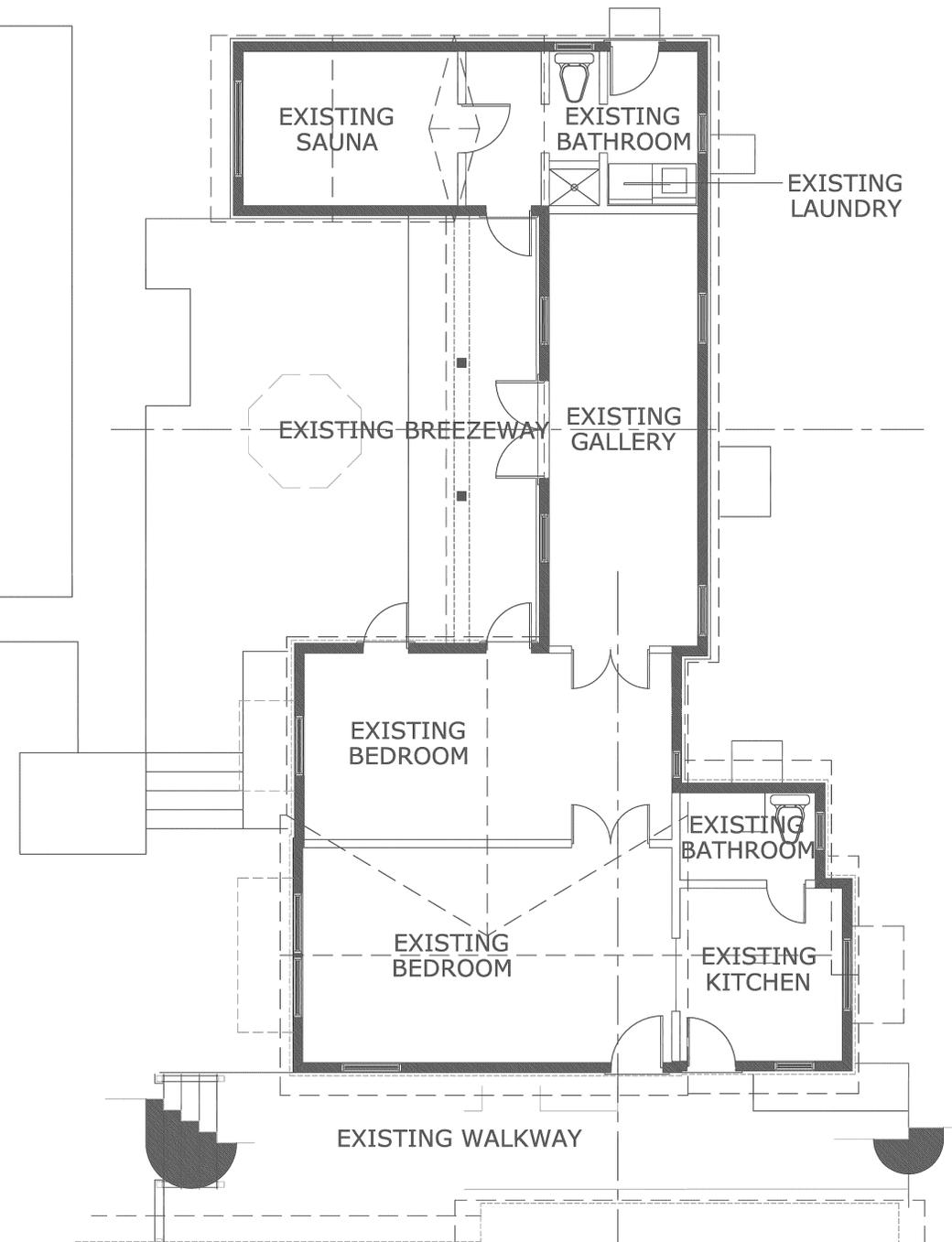
A/C AREA (UNDER AIR) :	++ 3,436 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR BALCONY) :	(++ 485 SQ. FT. INCREASE)
GRANDE TOTAL NEW FLOOR AREA :	++ 418 SQ. FT.
	++ 3,854 SQ. FT.

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<p>Seal</p> <p>Drawn <b>RW COPE</b></p> <p>Project No. 2020.45OCEANAPPLE</p> <p>CAD File No. NEW 2ND FLR PLAN</p> <p>Date OCTOBER 11, 2021</p> <p>Drawing No.</p>	<p>Consultant Seal</p> <p>Date JULY 30, 2021</p> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Date</th> </tr> <tr> <td>1</td> <td>JULY 02, 2021</td> </tr> </table> <p>Florida License No. AR0013552</p>	No.	Date	1	JULY 02, 2021
No.	Date				
1	JULY 02, 2021				

**EXISTING FLOOR AREA:**  
 EXISTING LIVING AREA (UNDER AIR) : +- 1,005 SQ. FT.  
 EXISTING COVERED BREEZEWAY: +- 100 SQ. FT.  
 TOTAL RESULTANT FLOOR AREA : +- 1,105 SQ. FT.

# A2 ARCHITECTURAL FLOOR PLAN: EXIST'G. REAR COTTAGE

SCALE: 1/4" = 1'-0"

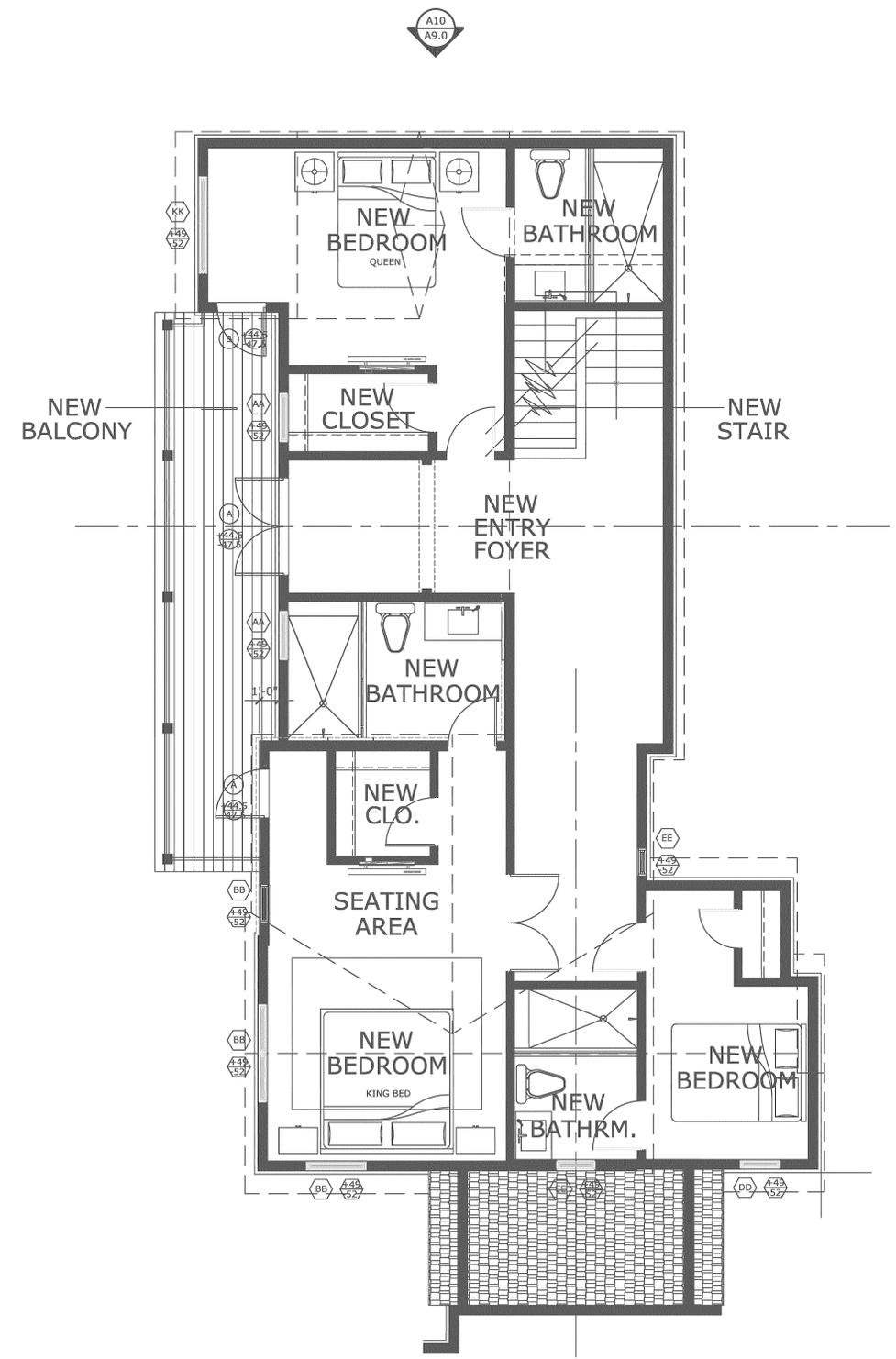


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		REVISIONS		Date	
		No.			
		1			
OCEAN APPLE ESTATE		EXISTING FLOOR PLAN			
610 N. OCEAN BLVD.					
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Seal		Florida License No. AR0013552			
Drawn		RW COPE			
Project No.		2020.45OCEANAPPLE			
CAD File No.		EXIST'G FLOOR PLAN			
Date		NOVEMBER 08, 2021			
Drawing No.		A6.0			
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**SYMBOLS LEGEND:**

- NEW WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- NEW DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)

**SYMBOLS LEGEND:**

- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

**NEW RESULTANT 2ND FLOOR AREA:**

NEW LIVING AREA (UNDER AIR) : +- 1,005 SQ. FT.  
 NEW COVERED BREEZEWAY : +- 100 SQ. FT.  
 NEW LIVING AREA (UNDER AIR) : +- 273 SQ. FT.

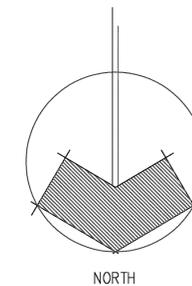
TOTAL RESULTANT 2ND FLOOR AREA : +- 1,278 SQ. FT.

**WALL LEGEND:**

- EXISTING 4" WOOD STUD EXTERIOR WALL
- EXISTING INTERIOR PARTITION

# A3 ARCHITECTURAL 2ND FLOOR PLAN: PROPOSED REAR COTTAGE

SCALE: 1/4" = 1'-0"



1 2 3 4 5 6 7 8 9 10 11 12 13 14

No.	REVISIONS	Date
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		JULY 30, 2021

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 610 N. OCEAN BLVD.  
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Drawing Title  
**PROPOSED 2ND FLOOR PLAN**

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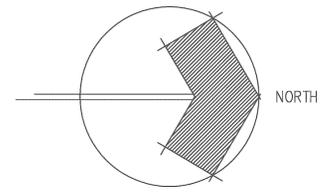
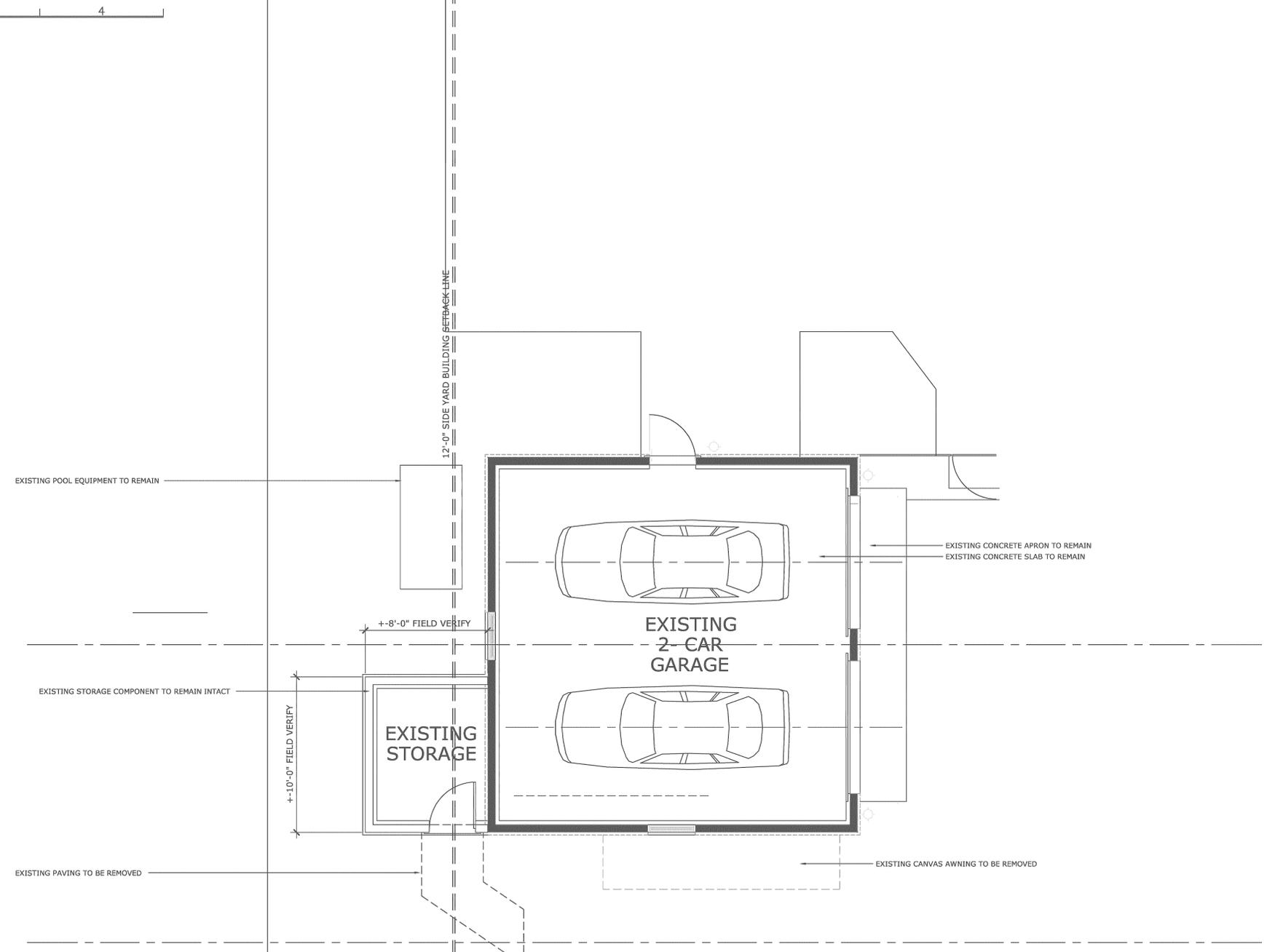
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 Project No.  
 2020.45OCEANAPPLE  
 CAD File No.  
 NEW 2ND FLR. PLAN  
 Date  
 NOVEMBER 08, 2021  
 Drawing No.

**A6.2**  
 of

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**EXISTING FLOOR AREA:**  
 A/C AREA (UNDER AIR) : +- 0 SQ. FT.  
 GARAGE AREA : +- 660 SQ. FT.  
 TOTAL FLOOR AREA : +- 660 SQ. FT.

# A2 EXISTING/DEMO FLOOR PLAN: EXISTING GARAGE

SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14

No.	REVISIONS	Date
1	TAC COMMENTS	JULY 02, 2021

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Drawing Title  
**EXISTING FLOOR PLAN**

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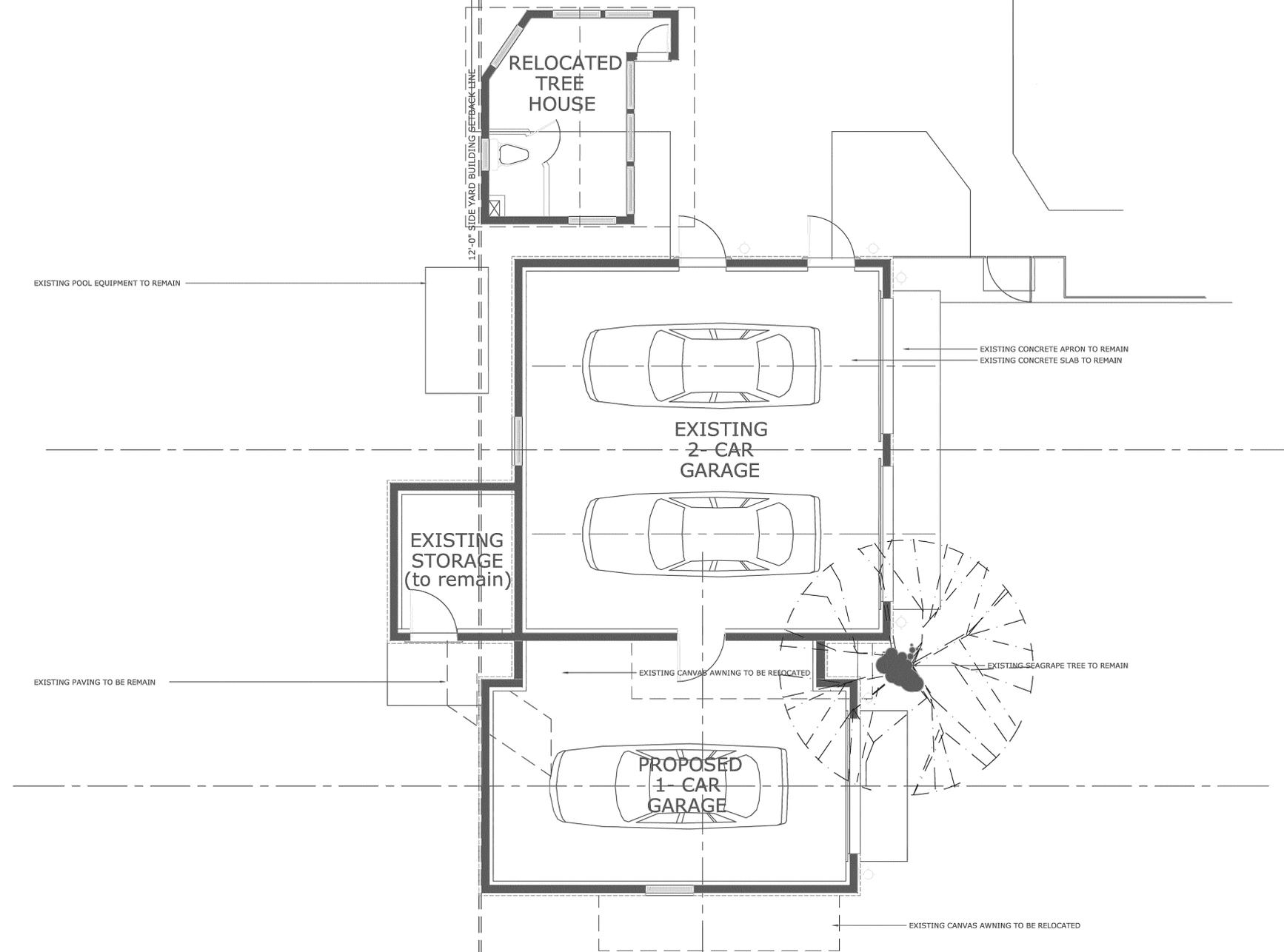
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 Project No.: 2020.45OCEANAPPLE  
 CAD File No.: EXIST'G FLOOR PLAN  
 Date: OCTOBER 11, 2021  
 Drawing No.:

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# A2 ARCHITECTURAL FLOOR PLAN: PROPOSED 3-CAR GARAGE

SCALE: 1/4" = 1'-0"



No.	REVISIONS	Date

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610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

Drawing Title  
**PROPOSED GARAGE FLR. PLAN**

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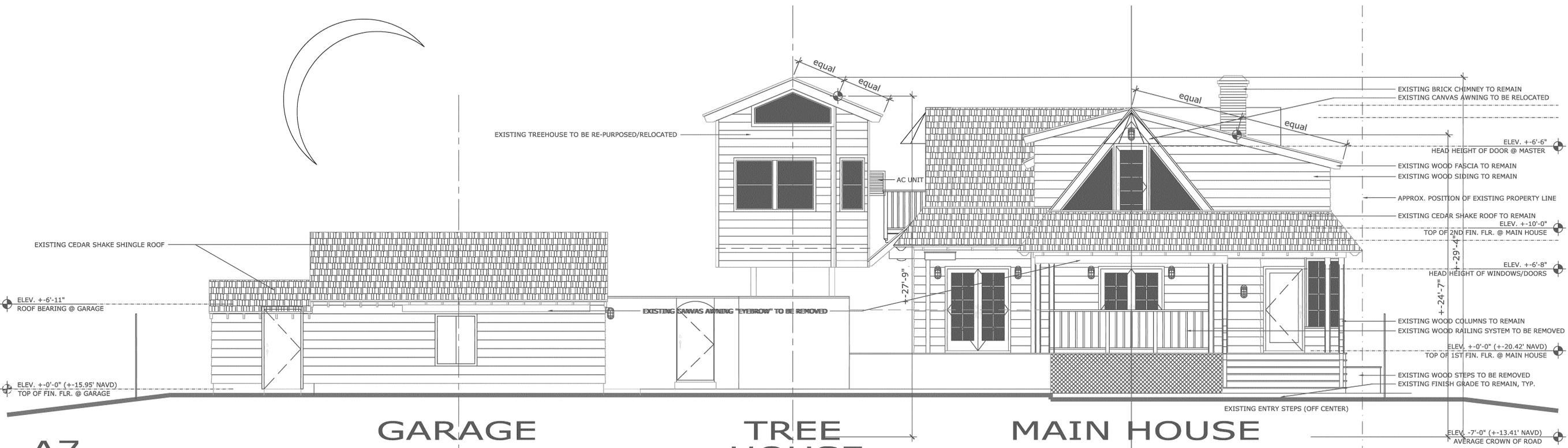
Project No.  
2020.45OCEANAPPLE

CAD File No.  
PROPOSED GARAGE

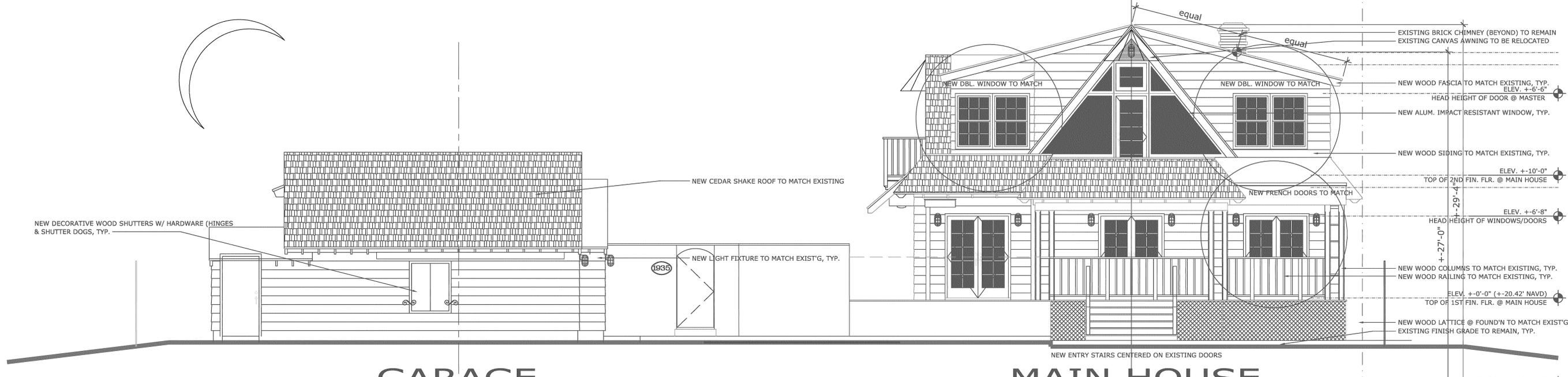
Date  
NOVEMBER 08, 2021

Drawing No.  
**A7.1**

**A7**  
**ARCHITECTURAL EAST**  
**ELEVATION: EXIST'G. ENTRY**  
 SCALE: 1/4" = 1'-0"



**A8**  
**ARCHITECTURAL EAST**  
**ELEVATION: PROPOSED ENTRY**  
 SCALE: 1/4" = 1'-0"



OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA		EXTERIOR ELEVATIONS Drawing Title
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TAC COMMENTS: JULY 02, 2021	REVISIONS	Date JULY 30, 2021
Florida License No. AR0013552		Seal Drawn RW COPE Project No. 2020.45OCEANAPPLE CAD File No. EXTERIOR ELEV'N'S Date NOVEMBER 08, 2021 Drawing No.
A8.0		of

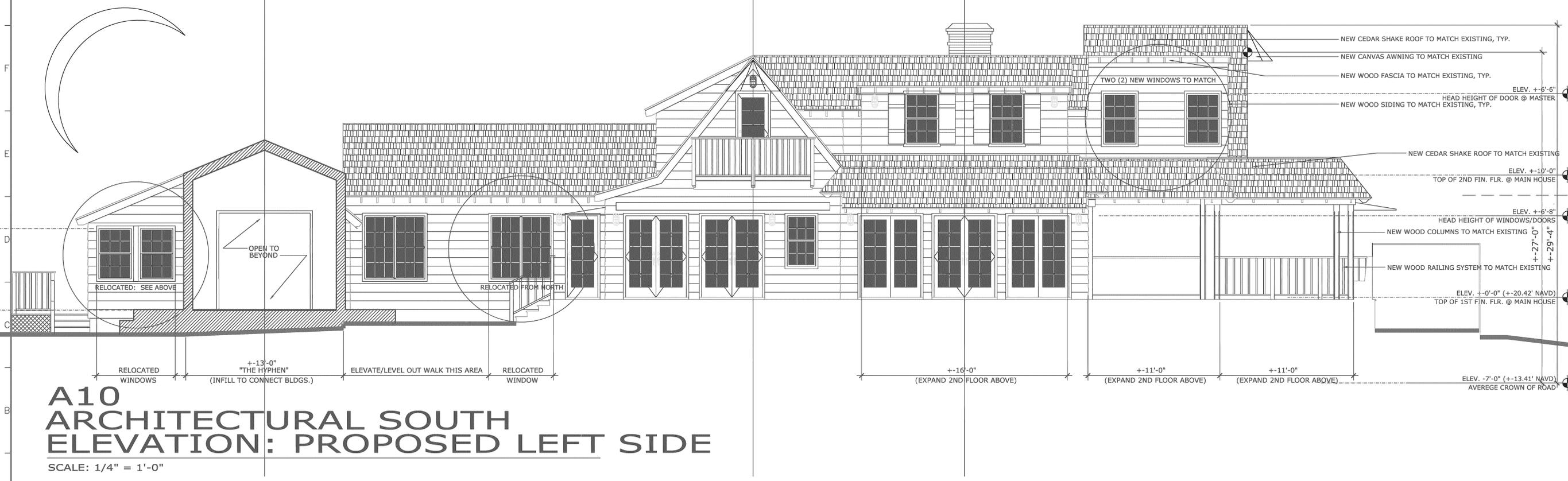
# A9 ARCHITECTURAL SOUTH ELEVATION: EXIST'G. LEFT SIDE

SCALE: 1/4" = 1'-0"

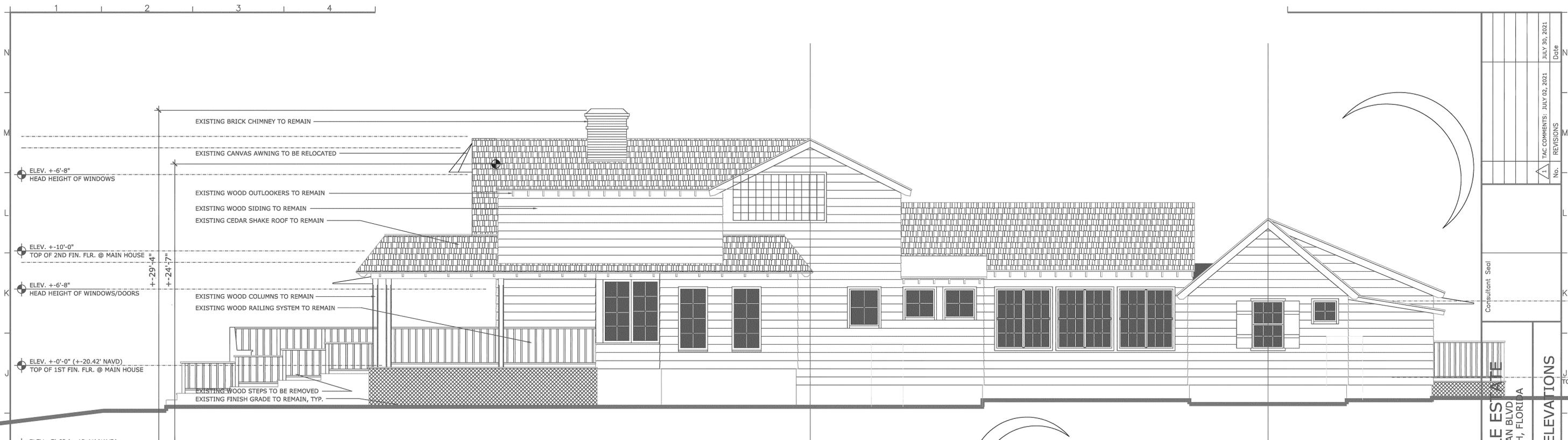


# A10 ARCHITECTURAL SOUTH ELEVATION: PROPOSED LEFT SIDE

SCALE: 1/4" = 1'-0"

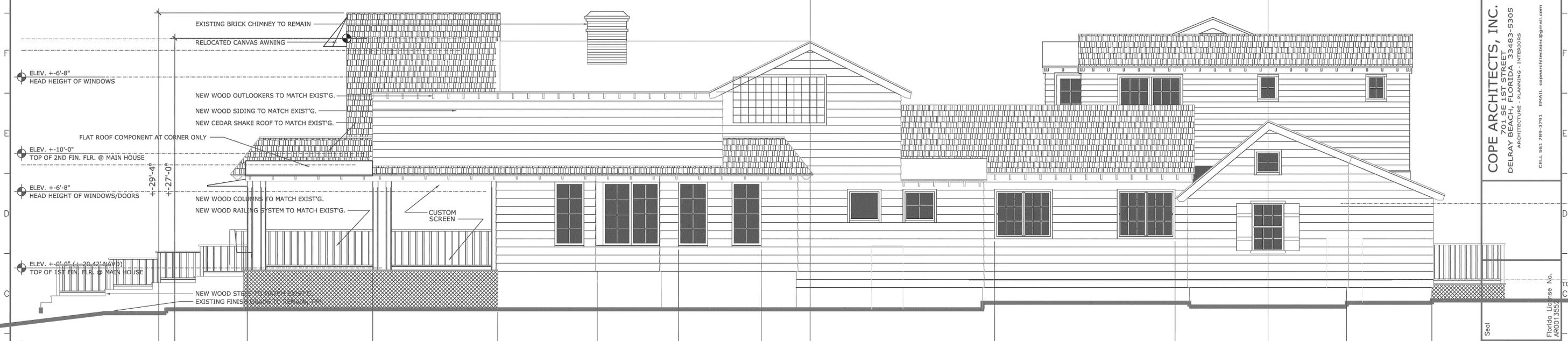


OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA		Drawing Title <b>EXTERIOR ELEVATIONS</b>
COPE ARCHITECTS, INC. 701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5305 ARCHITECTURE - PLANNING - INTERIORS CELL 561 798-3791 EMAIL copearchitects@gmail.com		
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Drawn RW COPE		Date NOVEMBER 08, 2021
Project No. 2020.45OCEANAPPLE		Drawing No. <b>A9.0</b>
CAD File No. EXTERIOR ELEV'S		of
TAC COMMENTS: JULY 02, 2021 REVISIONS		Date JULY 30, 2021



**A11**  
**ARCHITECTURAL NORTH**  
**ELEVATION: EXIST'G. RIGHT SIDE**

SCALE: 1/4" = 1'-0"



**A12**  
**ARCHITECTURAL NORTH**  
**ELEVATION: PROPOSED RIGHT SIDE**

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021

Consultant Seal

**OCEAN APPLE ESTABLISHMENT**  
 610 N. OCEAN BLVD  
 DELRAY BEACH, FLORIDA

Drawing Title  
**EXTERIOR ELEVATIONS**

**COPE ARCHITECTS, INC.**  
 701 SE 1ST STREET  
 DELRAY BEACH, FLORIDA 33483-5305  
 ARCHITECTURE - PLANNING - INTERIORS

CELL 561 799-3791 EMAIL: copearchitectsinc@gmail.com

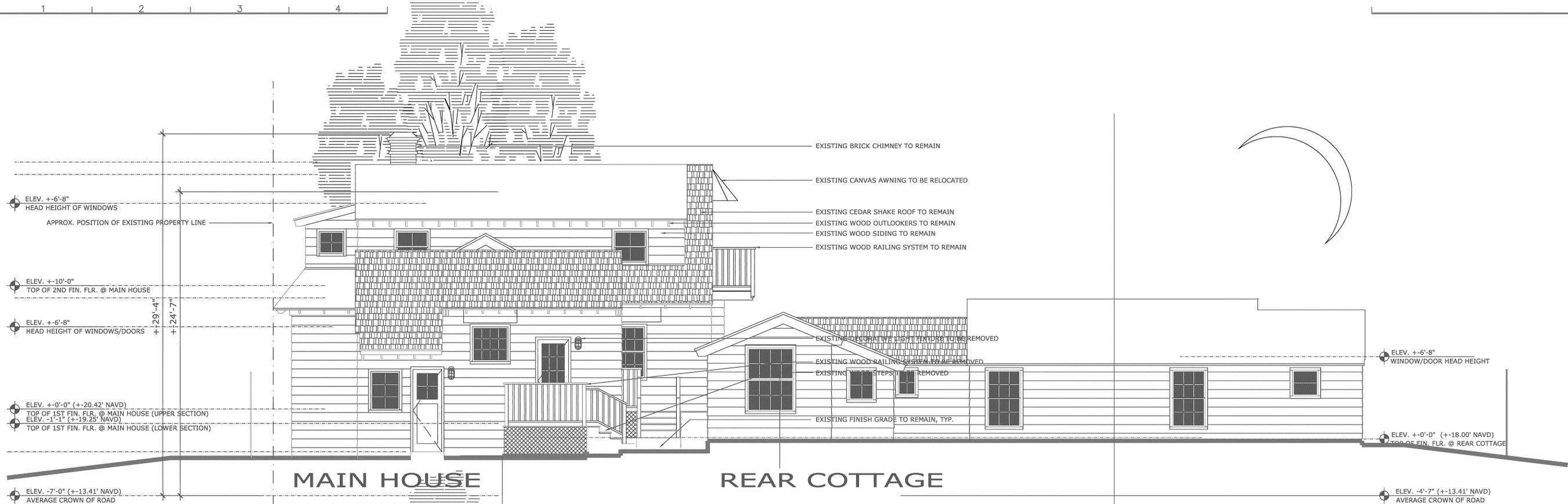
Seal

Florida Lic. # AR0013552

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 Project No.  
 2020.45OCEANAPPLE  
 CAD File No.  
 EXTERIOR ELEV'N'S  
 Date  
 OCTOBER 08, 2021  
 Drawing No.

**A10.0**

of



# A13 ARCHITECTURAL WEST ELEVATION: EXIST'G. REAR

SCALE: 1/4" = 1'-0"

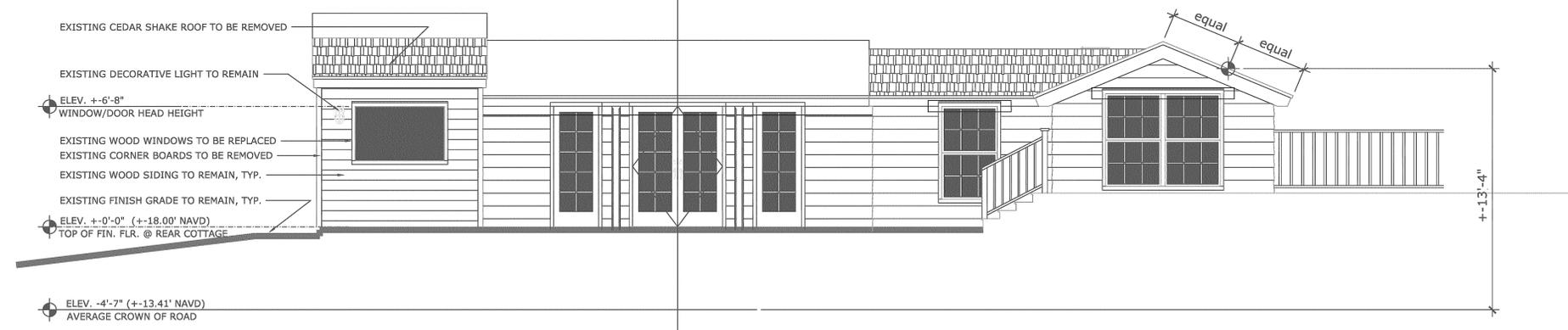


# A14 ARCHITECTURAL WEST ELEVATION: PROPOSED REAR

SCALE: 1/4" = 1'-0"

"THE HYPHEN"  
 NEW ARCHITECTURAL FEATURE: "THE HYPHEN" -  
 NEW IMPACT RESISTANT ALUMINUM (WHITE ANODIZED  
 FINISH/COLOR) AND CLEAR LOW E-GLASS ASSEMBLY -  
 W/ A CEDAR SHAKE ROOF (SUBMIT SHOP DRAWINGS)

Consultant Seal		TAC COMMENTS: JULY 02, 2021		JULY 30, 2021	
OCEAN APPLE ESTATE		REVISIONS		Date	
610 N. OCEAN BLVD.		No.		No.	
DELRAY BEACH, FLORIDA		1		1	
Drawing Title		EXTERIOR ELEVATIONS			
COPE ARCHITECTS, INC.		701 SE 1ST STREET		DELRAY BEACH, FLORIDA 33483-5305	
ARCHITECTURE - PLANNING - INTERIORS		EMAIL: copearchitectsinc@gmail.com		CELL: 561-799-3791	
Florida License No.		AR0013552			
Drawn		RW COPE			
Project No.		2020.45OCEANAPPLE			
CAD File No.		EXTERIOR ELEV'S			
Date		NOVEMBER 08, 2021			
Drawing No.		A11.0			



# A11 ARCHITECTURAL EAST/ENTRY ELEVATION: EXIST'G. REAR COTTAGE

SCALE: 1/4" = 1'-0"



# A12 ARCHITECTURAL WEST/REAR ELEVATION: EXISTING REAR COTTAGE

SCALE: 1/4" = 1'-0"

# A12.1 ARCHITECT'L. SOUTH ELEV'N.: EXIST'G. REAR COTTAGE

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021

Consultant Seal

OCEAN APPLE ESTATE  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

EXTERIOR ELEVATIONS

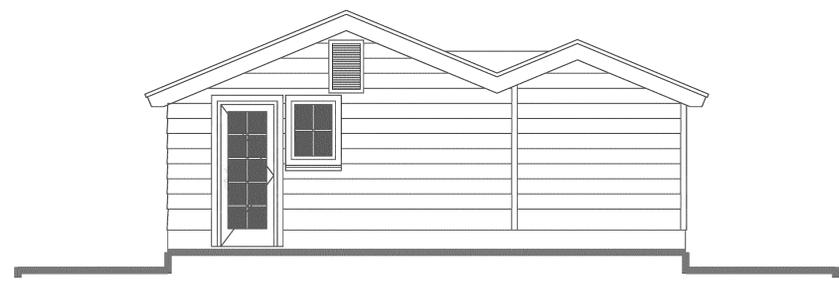
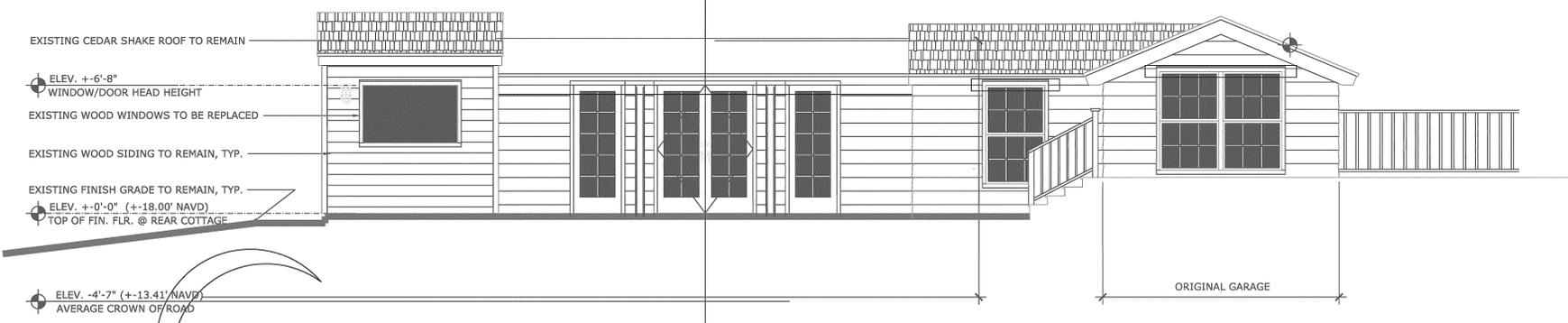
COPE ARCHITECTS, INC.  
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2020.45OCEANAPPLE  
CAD File No.  
EXTERIOR ELEV'N'S  
Date  
NOVEMBER 08, 2021  
Drawing No.

A12.0  
of

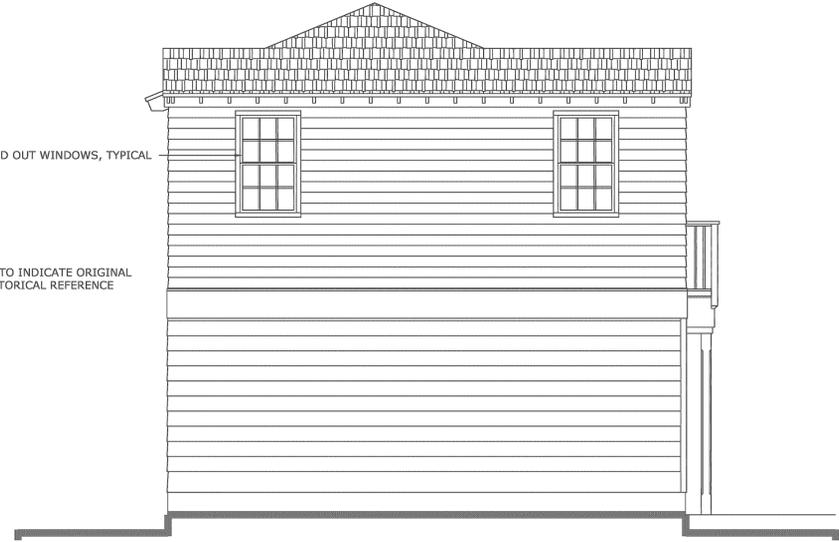
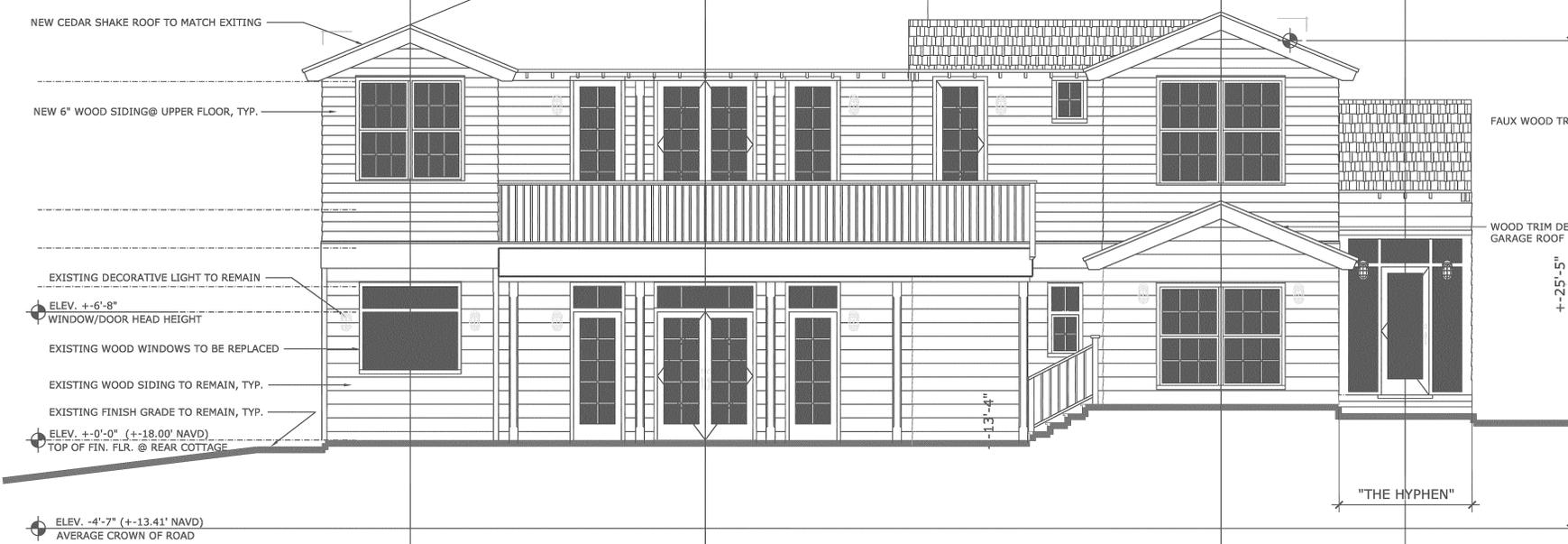


### A11 ARCHITECTURAL EAST/ENTRY ELEVATION: EXISTING REAR COTTAGE

SCALE: 1/4" = 1'-0"

### A11.1 ARCHITECTURAL SOUTH ELEVATION: EXISTING REAR

SCALE: 1/4" = 1'-0"



### A12 ARCHITECTURAL EAST/ENTRY ELEVATION: PROPOSED REAR COTTAGE

SCALE: 1/4" = 1'-0"

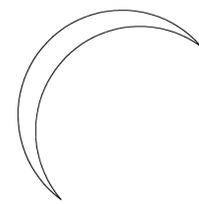
### A12.1 ARCHITECTURAL SOUTH ELEVATION: PROPOSED REAR

SCALE: 1/4" = 1'-0"

Consultant Seal	TAC COMMENTS: JULY 02, 2021	REVISIONS	JULY 30, 2021	Date
<p><b>OCEAN APPLE ESTATE</b> 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA</p>				
<p><b>COPE ARCHITECTS, INC.</b> 701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5305 ARCHITECTURE - PLANNING - INTERIORS</p>				
<p>CELL 561 796-3791 EMAIL: copearchitectsinc@gmail.com</p>				
Seal	Florida License No.	AR0013552		
Drawn	RW COPE	Project No.		
		2020.45OCEANAPPLE		
		CAD File No.		
		EXTERIOR ELEV'S		
Date	NOVEMBER 08, 2021	Drawing No.		
<p><b>A12.1</b></p>				
<p>of</p>				

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- CEDAR SHAKE ROOF SYSTEM TO MATCH EXISTING
- WOOD OUTLOOKERS TO MATCH EXISTING, TYP.
- NEW IMPACT WINDOWS & DOORS, TYP.
- NEW 6" SIDING, TYP. @ NEW 2ND FLOOR ONLY
- WOOD BALCONY SAFEGUARD TO MATCH EXISTING
- NEW 18" TALL WOOD APRON, TYP.
- NEW IMPACT WINDOWS & DOORS, TYP.
- EXISTING 8" SIDING, TYP. @ 1ST FLOOR



**A12.1**  
**ARCHITECTURAL NORTH**  
**ELEVATION: PROPOSED REAR**  
 SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date

Consultant Seal

**OCEAN APPLE ESTATE**  
 610 N. OCEAN BLVD.  
 DELRAY BEACH, FLORIDA

Drawing Title  
**EXTERIOR ELEVATIONS**

**COPE ARCHITECTS, INC.**  
 701 SE 1ST STREET  
 DELRAY BEACH, FLORIDA 33483-5305  
 ARCHITECTURE - PLANNING - INTERIORS

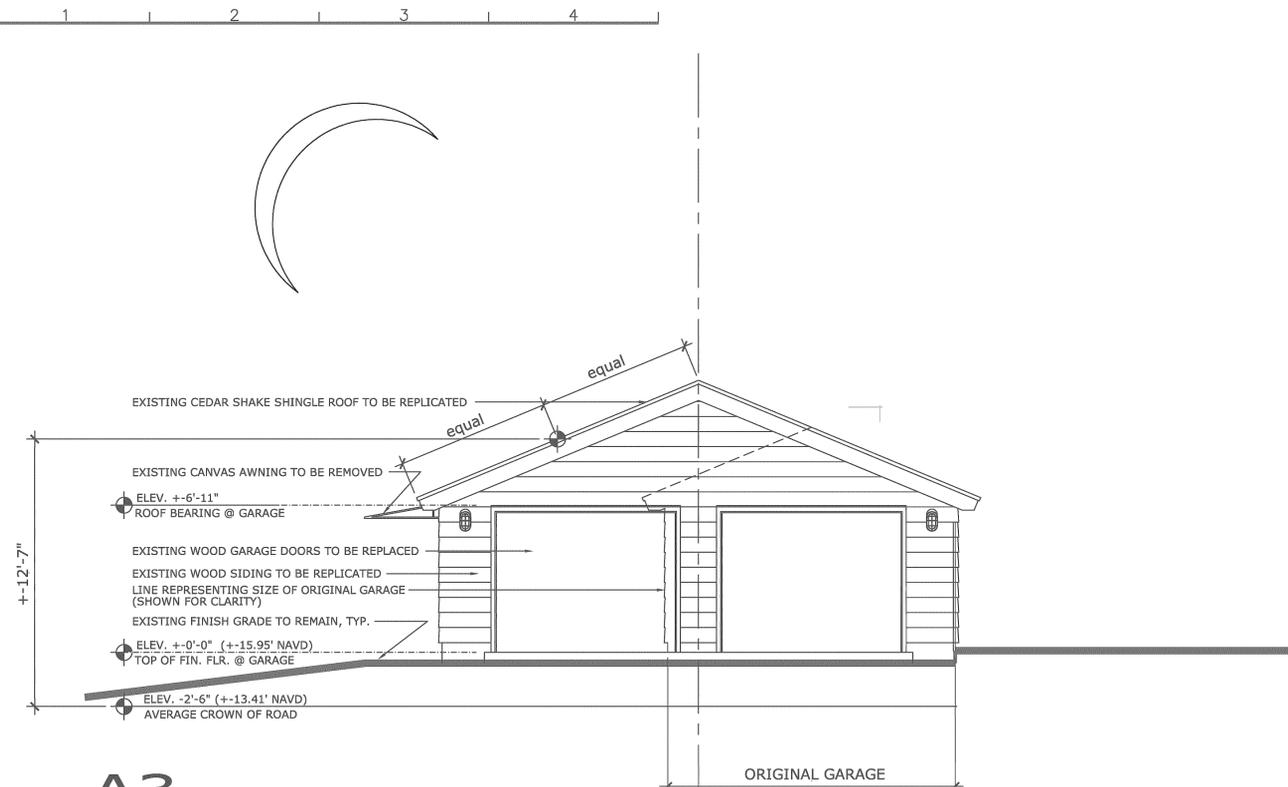
CELL 561 799-3791 EMAIL copearchitectsinc@gmail.com

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 Florida License No.  
 AR00013552

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 RW COPE  
 Project No.  
 2020.45OCEANAPPLE  
 CAD File No.  
 EXTERIOR ELEVN'S  
 Date  
 NOVEMBER 08, 2021  
 Drawing No.

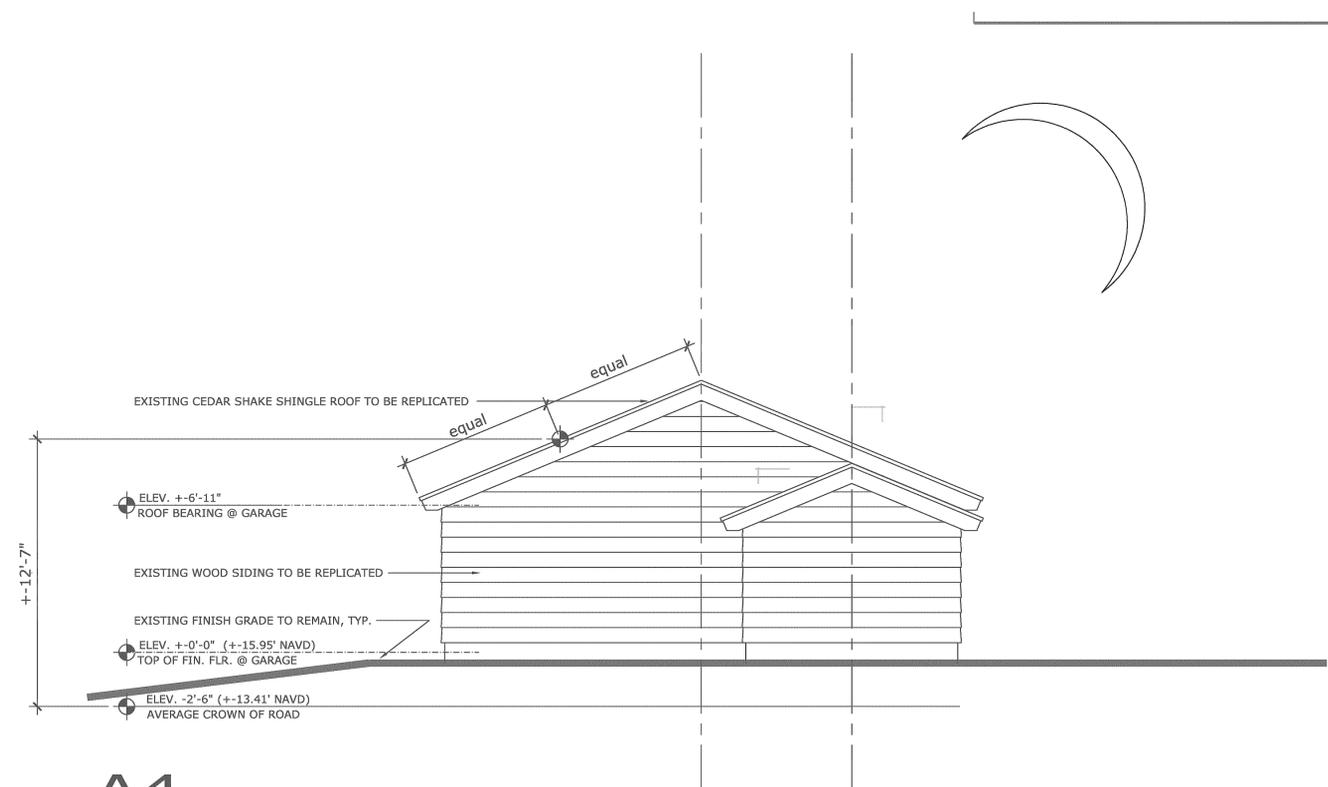
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 of

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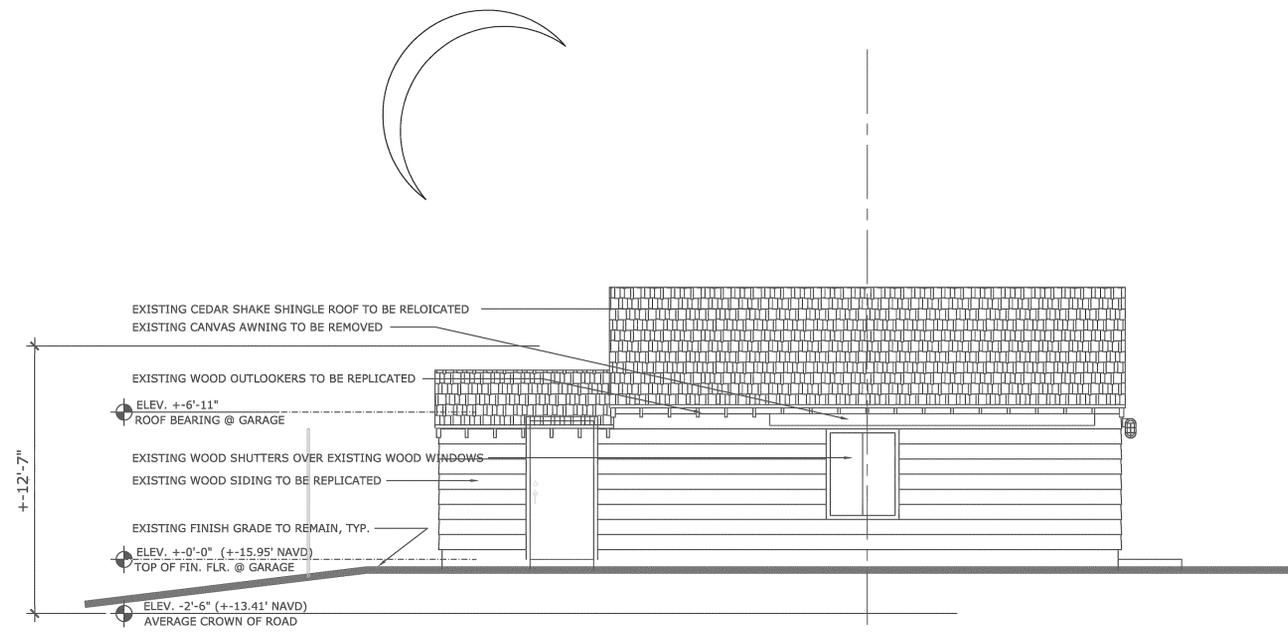
### A3 ARCHITECTURAL NORTH ELEVATION: EXIST'G. ENTRY

SCALE: 1/4" = 1'-0"



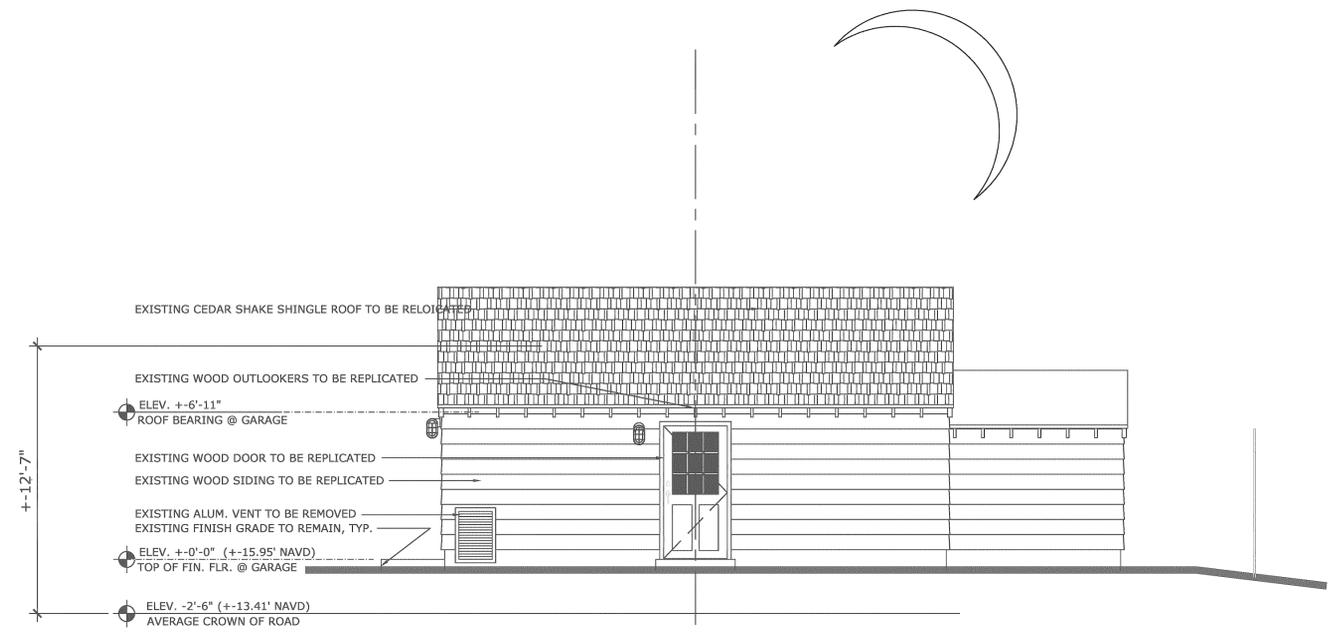
### A4 ARCHITECTURAL SOUTH ELEVATION: EXIST'G. REAR

SCALE: 1/4" = 1'-0"



### A5 ARCHITECTURAL EAST ELEVATION: EXIST'G. LEFT SIDE

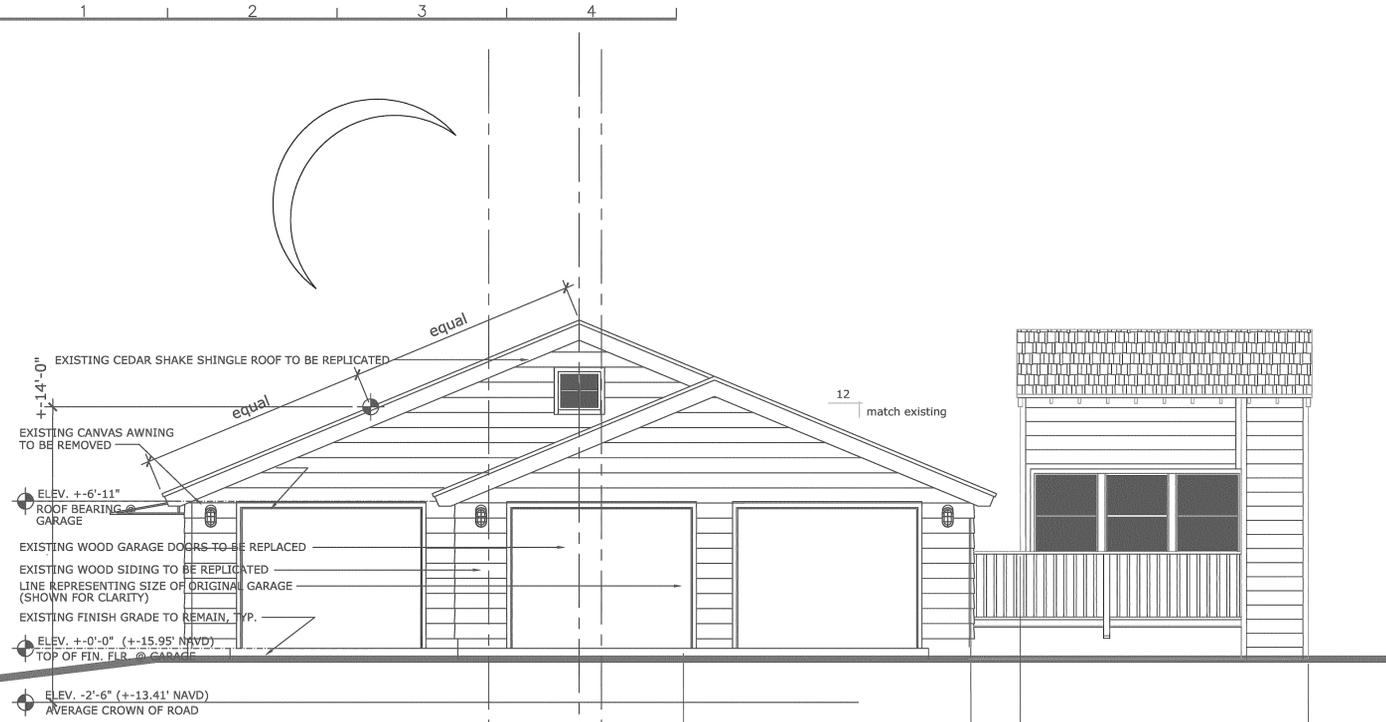
SCALE: 1/4" = 1'-0"



### A6 ARCHITECTURAL WEST ELEVATION: EXIST'G. RIGHT SIDE

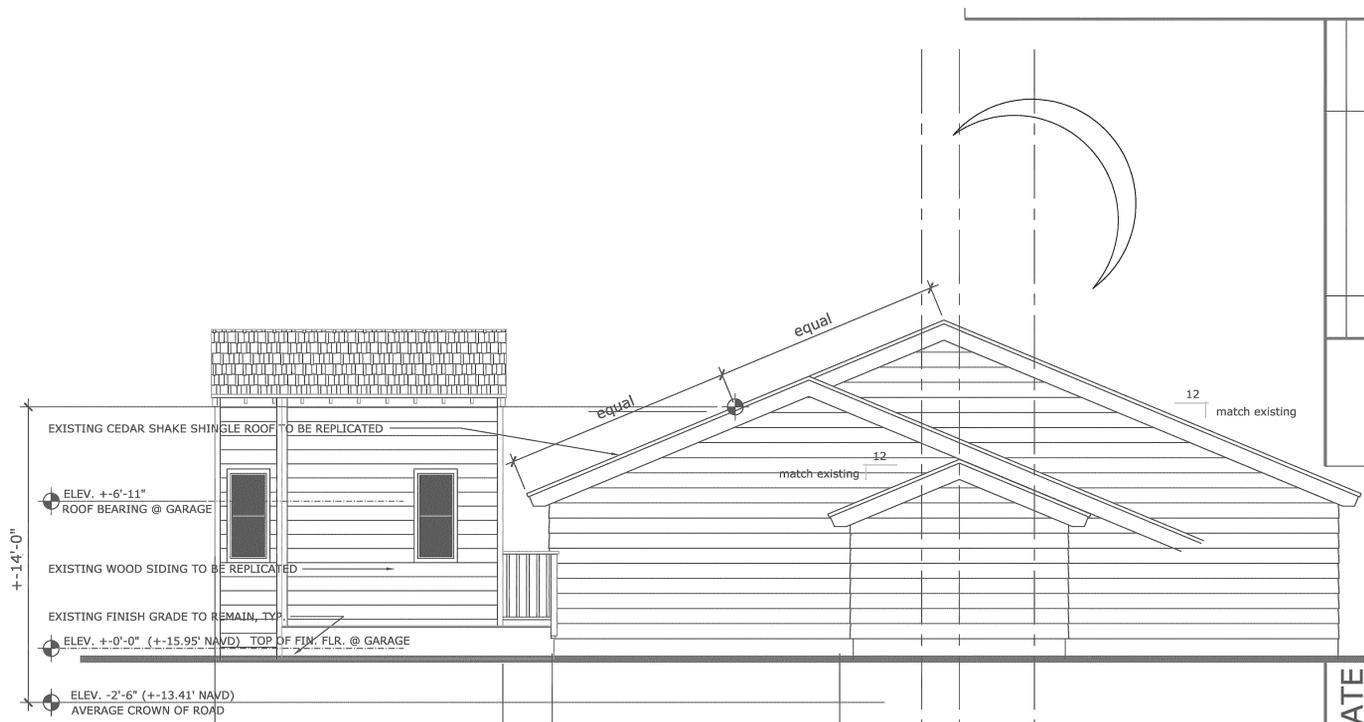
SCALE: 1/4" = 1'-0"

OCEAN APPLE ESTATE 610 N. OCEAN BLVD. DELRAY BEACH, FLORIDA		EXTERIOR ELEVATIONS Drawing Title
COPE ARCHITECTS, INC. 701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5305 ARCHITECTURE - PLANNING - INTERIORS CELL 561 799-3791 EMAIL copearchitectsinc@gmail.com		
Consultant Seal	Florida License No. AR0013552	Drawn RW COPE Project No. 2020.45OCEANAPPLE CAD File No. EXTERIOR ELEV'N'S Date DECEMBER 25, 2020 Drawing No.
A13.0		of



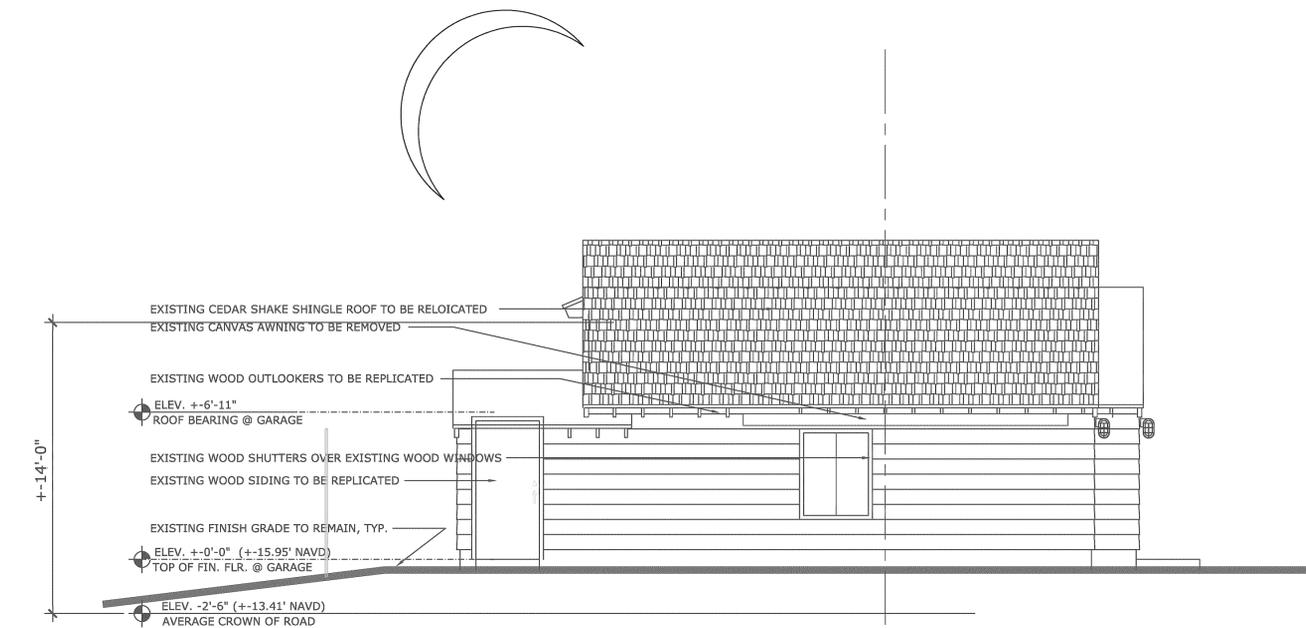
### A3 ARCHITECTURAL NORTH/ENTRY ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



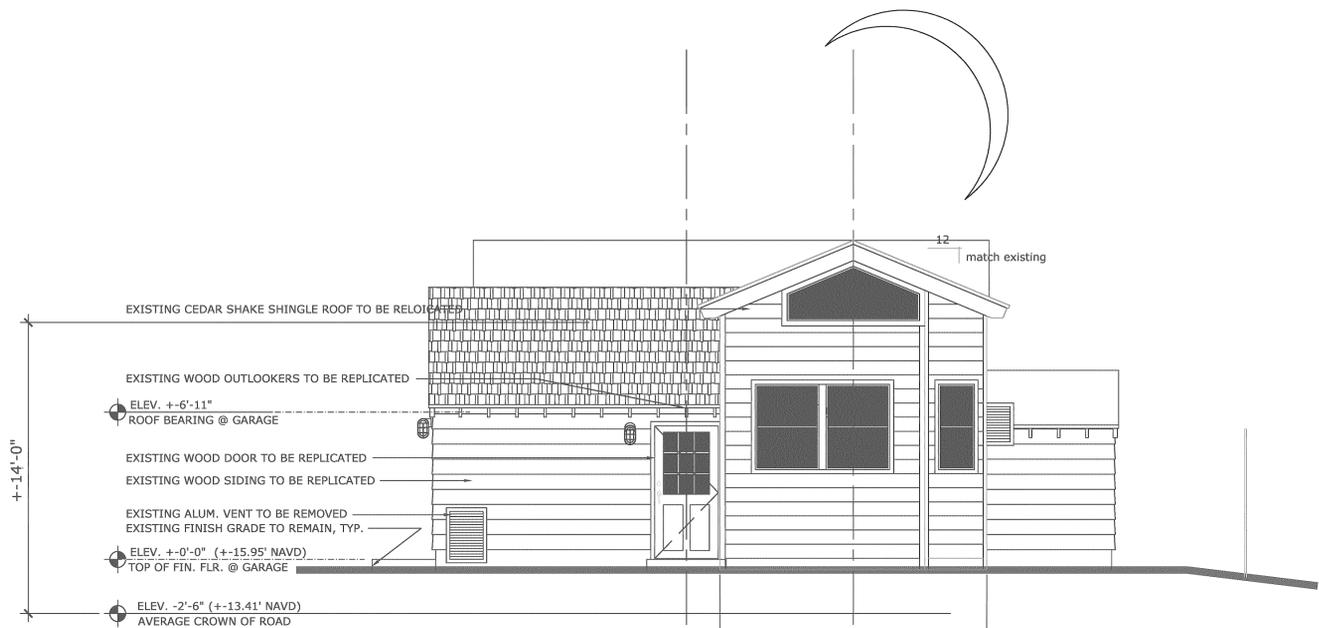
### A4 ARCHITECTURAL SOUTH/REAR ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



### A5 ARCHITECTURAL EAST/LEFT SIDE ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"



### A6 ARCHITECTURAL WEST/RIGHT SIDE ELEVATION: NEW GARAGE

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	TAC COMMENTS: JULY 02, 2021	JULY 30, 2021
2	STAFF REQUEST: OCT. 18, 2021	OCT. 19, 2021

OCEAN APPLE ESTATE  
610 N. OCEAN BLVD.  
DELRAY BEACH, FLORIDA

Drawing Title  
EXTERIOR ELEVATIONS

COPE ARCHITECTS, INC.  
701 SE 1ST STREET  
DELRAY BEACH, FLORIDA 33483-5305  
ARCHITECTURE - PLANNING - INTERIORS

EMAIL: copearchitectsinc@gmail.com  
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AR0013552

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Project No.  
2020.45OCEANAPPLE

CAD File No.  
EXTERIOR ELEV'S

Date  
NOVEMBER 08, 2021

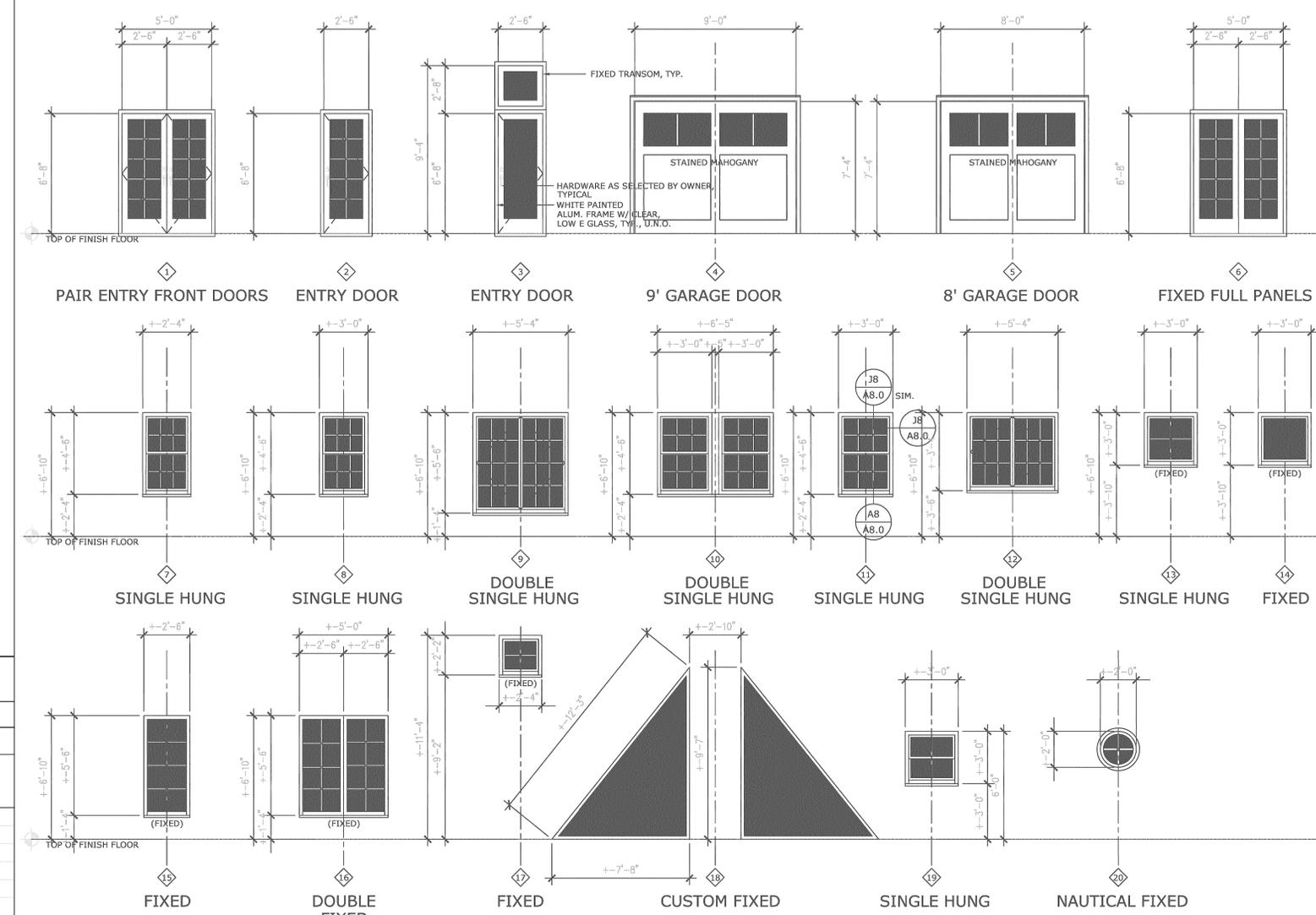
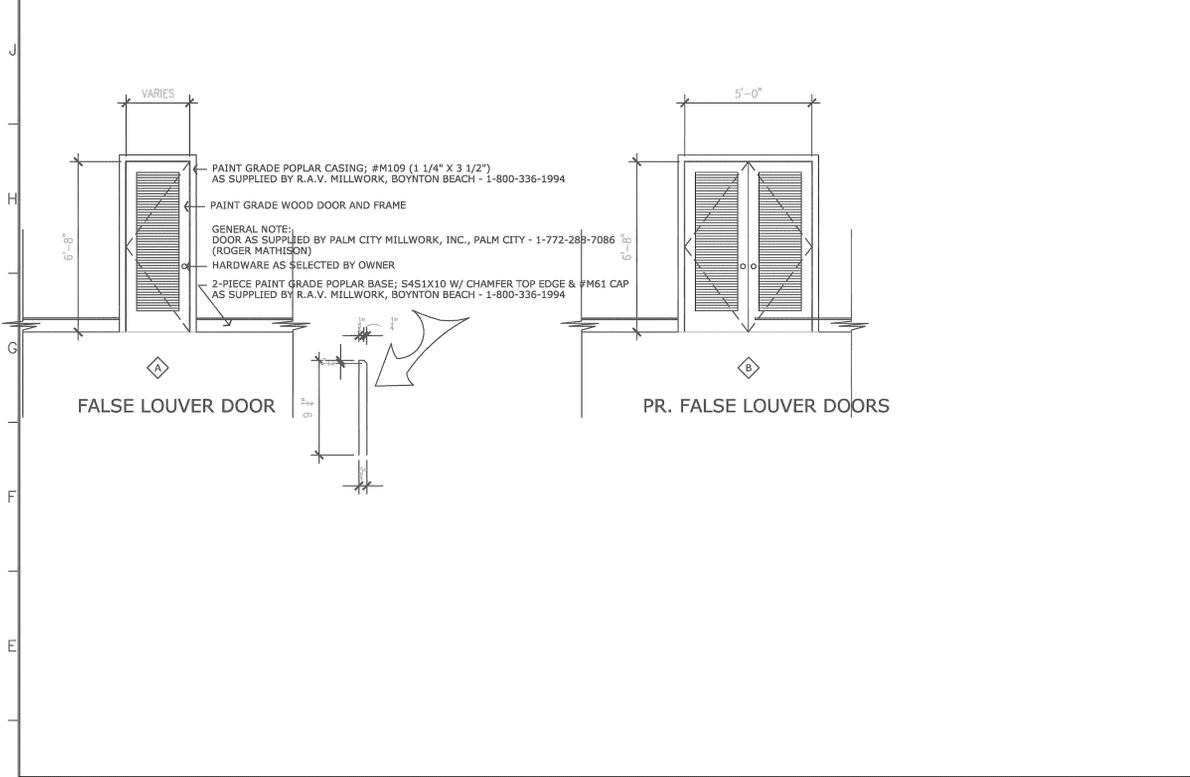
Drawing No.

**A14.0**

of

DOOR							DOOR FRAME				REMARKS				
NO	ROOM	W.	H.	THK.	TYPE	RATING	MAT'L.	FIN.	DETAILS H. J. J. S.	THR.		MAT.	FIN.	HDW.	LBL.
100	LAUNDRY	2'-0"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
101	PANTRY	3'-0"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
102	GUEST BEDROOM	2'-4"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
103	GUEST CLOSET	PR. 3'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT							STYLE AS SELECTED BY OWNER
104	JACK/JILL BATHRM.		7'-5"		B										
105	CABANA BATH		7'-5"		A										
106	GUEST BEDROOM	2'-10"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
107	GUEST CLOSET	2'-4"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
108	JACK/JILL BATHRM.	3'-0"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
109	GUEST TOILET	PR. 2'-4"	7'-5"	1 3/4"	B		WD	PT							STYLE AS SELECTED BY OWNER
110	LINEN	2'-6"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
200	MASTER BEDROOM	PR. 2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT							STYLE AS SELECTED BY OWNER
201	MASTER CLOSET	3'-0"	7'-5"	1 3/4"	A	BARN DOOR STYLE/HARDWARE	WD	PT							STYLE AS SELECTED BY OWNER
203	HOME OFFICE	2'-4"	7'-5"	1 3/4"	A		WD	PT							STYLE AS SELECTED BY OWNER
204	MASTER BATHRM.	PR. 2'-4"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT							STYLE AS SELECTED BY OWNER
205	A/C CLOSET	PR. 1'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT							STYLE AS SELECTED BY OWNER

WINDOW		DOOR				DOOR/SASH				DOOR / WINDOW FRAME				REMARKS	
NO	NO	SIZE (W X H)	ROOM	W. R.O.	H. R.O.	GL THK. MIN.	TYP.	MAT.	FIN.	DETAILS H. J. J. S.	MUL.	MAT.	FIN.		HDW.
	A	5'-0" X 6'-8"	EXIST'G LIVING ROOM	+5'-2"	+6'-11"	7/16" TEMP.	1		(WHT)						IMPACT RESISTANT PAIR FRENCH DOOR W/ CLEAR, LOW E GLASS, COPPER THRESHOLD, CUSTOM OIL RUBBED BRONZE HINGES & HARDWARE, ETC. - AS SELECTED BY OWNER (WEATHER GASKETS, TYPICAL)
	B	2'-6" X 6'-8"	RENOVATED KITCHEN	+2'-8"	+6'-11"	7/16" TEMP.	2		(WHT)						IMPACT RESISTANT FRENCH DOOR W/ CLEAR, LOW E GLASS
	C	2'-6" X 6'-8"	NEW MASTER SEATING	+2'-8"	+9'-7"	7/16" TEMP.	3		(WHT)						IMPACT RESISTANT FRENCH DOOR W/ FIXED TRANSOM & CLEAR, LOW E GLASS
	D	9'-0" X 7'-4"	NEW GARAGE	+9'-2"	+7'-6"	7/16" TEMP.	4		(WHT)						CUSTOM WOOD GARAGE DOOR W/ GLASS PANELS & CLEAR, LOW E GLASS
	E	8'-0" X 7'-4"	NEW GARAGE	+8'-2"	+7'-6"	7/16" TEMP.	5		(WHT)						CUSTOM WOOD GARAGE DOOR W/ GLASS PANELS & CLEAR, LOW E GLASS
	A	FIXED FULL PANELS	EXIST'G LIVING ROOM	+5'-2"	+6'-11"	7/16" TEMP.	6		(WHT)						IMPACT RESISTANT FIXED FULL PANELS TO MATCH PR. ENTRY DOORS: & W/ CLEAR, LOW E GLASS
	B	SINGLE HUNG	EXIST'G POWDER ROOM	+2'-6"	+4'-8"	7/16" TEMP.	7		(WHT)						IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	C	SINGLE HUNG	EXIST'G DINING ROOM	+3'-2"	+4'-8"	7/16" TEMP.	8		(WHT)						IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	D	DBL SINGLE HUNG	EXIST'G DINING ROOM	+5'-6"	+5'-8"	7/16" TEMP.	9		(WHT)						IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	E	DBL SINGLE HUNG	EXIST'G FAMILY ROOM	+6'-7"	+4'-8"	7/16" TEMP.	10		(WHT)						IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	F	SINGLE HUNG	EXIST'G FAMILY ROOM	+3'-2"	+4'-8"	7/16" TEMP.	11		(WHT)						IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	G	DBL SINGLE HUNG	RENOVATED KITCHEN	+5'-6"	+3'-6"	7/16" TEMP.	12		(WHT)						IMPACT RESISTANT DPUBLE SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	H	FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	13		(WHT)						IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (COLONIAL MUNTINS)
	J	FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	14		(WHT)						IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (NO MUNTINS)
	K	FIXED	NEW ENTRY FOYER	+2'-8"	+5'-8"	7/16" TEMP.	15		(WHT)						IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS
	L	FIXED DBL	NEW ENTRY FOYER	+5'-2"	+5'-8"	7/16" TEMP.	16		(WHT)						IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS
	M	FIXED	EXIST'G FAMILY ROOM	+2'-6"	+2'-4"	7/16" TEMP.	17		(WHT)						IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS
	N	CUSTOM FIXED	MASTER SEATING AREA	CUSTOM	CUSTOM	7/16" TEMP.	18		(WHT)						IMPACT RESISTANT CUSTOM FIXED WINDOW & CLEAR, LOW E GLASS
	P	SINGLE HUNG	MASTER BATH SUITE	+3'-2"	+3'-2"	7/16" TEMP.	19		(WHT)						IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS
	Q	EXIST'G GLASS BLK.	MASTER BATH SUITE	EXIST'G	EXIST'G	7/16" TEMP.	20		(WHT)						EXISTING GLASS BLOCK TO REMAIN
	R	NAUTICAL FIXED	MASTER WALK-IN CLO.	+2'-2"	+2'-2"	7/16" TEMP.	21		(WHT)						IMPACT RESISTANT ROUND FIXED WINDOW & CLEAR, LOW E GLASS



G1 INTERIOR DOOR SCHEDULE						
ROOM	BASE	FLOOR	WALLS	CEIL.	REMARKS	
ENTRY FOYER	cer. tile	9.25\" wood carpet	dry wall/plaster	dry wall	2	exposed structure above
LIVING ROOM	vinyl	stone/tile	exist'g terrazzo	dry wall/plaster	2	exposed structure above
DINING ROOM					3	+8'-0"
KITCHEN					3	+8'-0"
LAUNDRY/PANTRY					2	exposed structure above
GALLERY					2	exposed structure above
GUEST BEDROOMS					2	exposed structure above
JACK/JILL BATHROOM					2	+8'-0"
CABANA BATH					2	+8'-0"
MASTER BEDROOM					2	+8'-0"
MASTER BATHROOM					2	+8'-0"
MASTER CLOSET					2	+8'-0"
HOME OFFICE					2	+8'-0"

C1 ROOM FINISH SCHEDULE						

H8 EXTERIOR DOOR AND WINDOW SCHEDULE						

**GENERAL NOTES:**

- WINDOW MANUFACTURER: "CGI", SERIES 238SN, "SENTINEL" WINDOWS & 450 DOORS, IMPACT RESISTANT - "OR EQUAL" AS DETERMINED BY OWNER. INSTALLATION OF "CGI" PRODUCTS, INCLUDING SIZING OF ROUGH OPENING, METHOD OF ATTACHMENT, FASTENER SELECTION, AND CODE COMPLIANCE IS THE SOLE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO COMMENCEMENT OF WORK

Date: July 30, 2021

TAC COMMENTS: July 02, 2021

REVISIONS

No. 1

Consultant Seal

Seal

Drawing Title: SCHEDULES

Ocean Apple Estate  
610 NORTH OCEAN BLVD.  
DELRAY BEACH, FLORIDA

COPE ARCHITECTS, INC.  
701 SE 15th Street  
DELRAY BEACH, FLORIDA 33483-5305  
ARCHITECTURE - PLANNING - INTERIORS  
cell 561 789-3791 email copearchitects@gmail.com

Florida License No. AR00013552

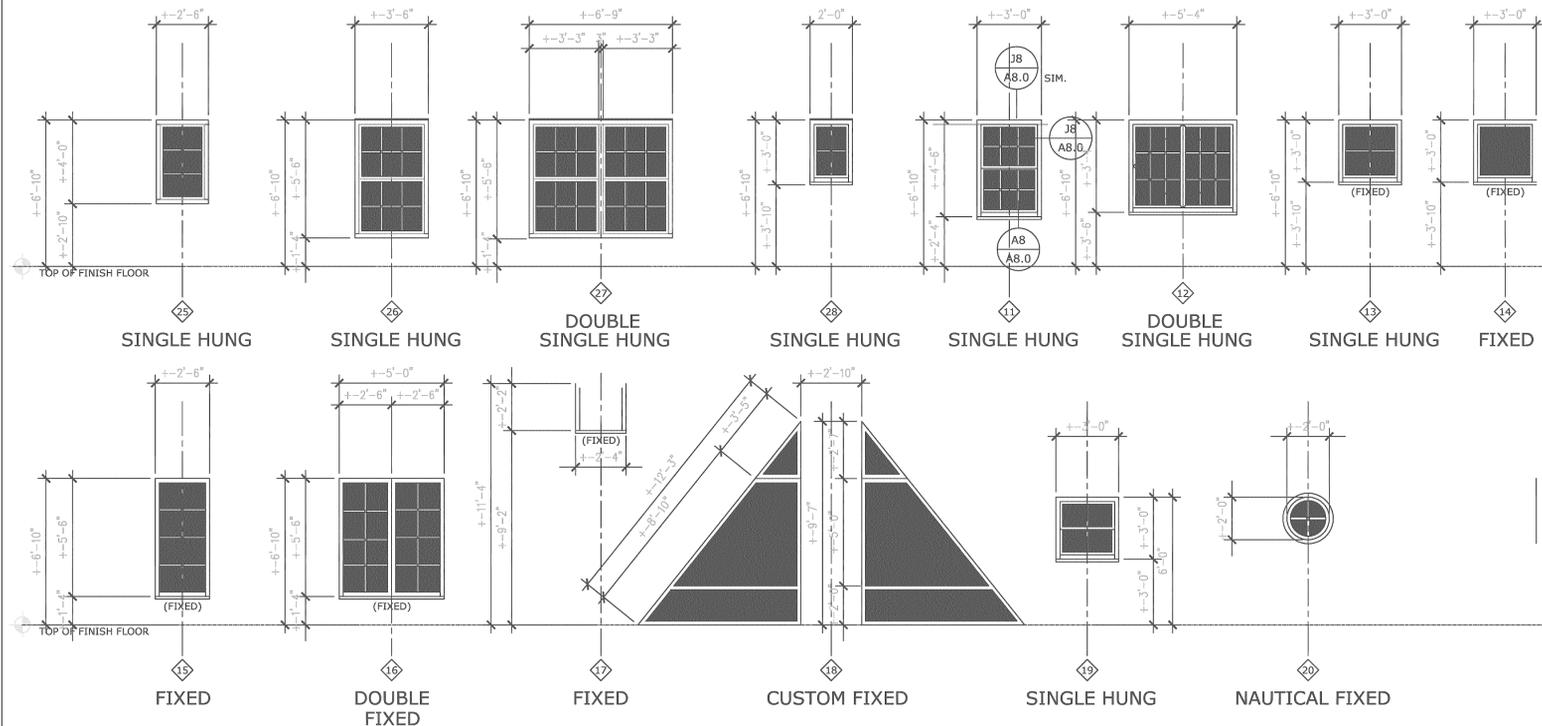
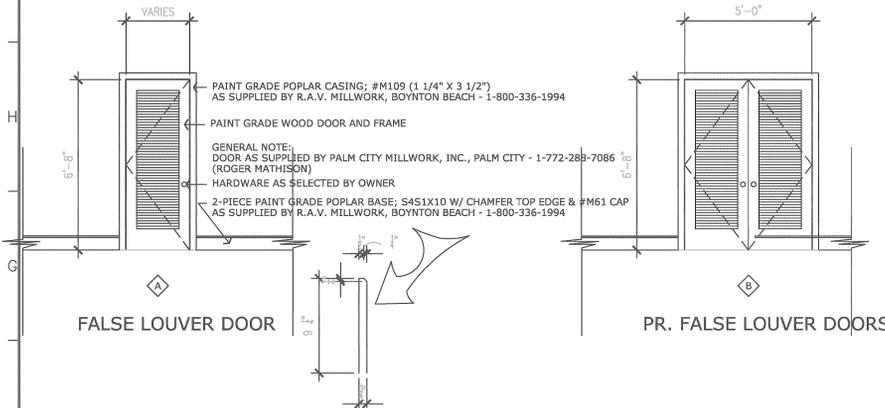
Drawn: RW COPE  
Project No.: 2020.45OCEANAPPLE  
CAD File No.: SCHEDULES  
Date: OCTOBER 08, 2021  
Drawing No.:

**A15.0**

of

DOOR							DOOR FRAME				REMARKS
NO	ROOM	W.	H.	THK.	TYPE	RATING	MAT'L.	FIN.	DETAILS H. J. J. S. THR. MAT. FIN. HDW. LBL.		GENERAL NOTE: ALL DETAILS SHOWN ON THIS SHEET UNLESS OTHERWISE SPECIFIED
100	LAUNDRY	2'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
101	PANTRY	3'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
102	GUEST BEDROOM	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
103	GUEST CLOSET	PR. 3'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	STYLE AS SELECTED BY OWNER
104	JACK/JILL BATHRM.		7'-5"		B						
105	CABANA BATH		7'-5"		A						
106	GUEST BEDROOM	2'-10"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
107	GUEST CLOSET	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
108	JACK/JILL BATHRM.	3'-0"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
109	GUEST TOILET	PR. 2'-4"	7'-5"	1 3/4"	B		WD	PT	---	---	STYLE AS SELECTED BY OWNER
110	LINEN	2'-6"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
200	MASTER BEDROOM	PR. 2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	STYLE AS SELECTED BY OWNER
201	MASTER CLOSET	3'-0"	7'-5"	1 3/4"	A	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	STYLE AS SELECTED BY OWNER
203	HOME OFFICE	2'-4"	7'-5"	1 3/4"	A		WD	PT	---	---	STYLE AS SELECTED BY OWNER
204	MASTER BATHRM.	2'-6"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	STYLE AS SELECTED BY OWNER
205	A/C CLOSET	PR. 1'-0"	7'-5"	1 3/4"	B	BARN DOOR STYLE/HARDWARE	WD	PT	---	---	STYLE AS SELECTED BY OWNER

WINDOW		DOOR				DOOR/SASH				DOOR / WINDOW FRAME				REMARKS
NO	NO	SIZE (W X H)	ROOM	W. R.O.	H. R.O.	GL. THK. MIN.	TYP.	MAT.	FIN.	DETAILS H. J. J. S.		GENERAL NOTE: ALL DETAILS SHOWN ON THIS SHEET UNLESS OTHERWISE SPECIFIED		
AA		SINGLE HUNG	W.I. CLO. & SHOWER	+2'-8"	+6'-11"	7/16" TEMP.	25	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
BB		SINGLE HUNG	EXIST'G POWDER ROOM	+2'-6"	+4'-8"	7/16" TEMP.	7	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
CC		SINGLE HUNG	EXIST'G DINING ROOM	+3'-2"	+4'-8"	7/16" TEMP.	8	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
DD		DBL SINGLE HUNG	EXIST'G DINING ROOM	+5'-6"	+5'-9"	7/16" TEMP.	9	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
EE		DBL SINGLE HUNG	EXIST'G FAMILY ROOM	+6'-7"	+4'-8"	7/16" TEMP.	10	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT DOUBLE, SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
FF		SINGLE HUNG	EXIST'G FAMILY ROOM	+3'-2"	+4'-8"	7/16" TEMP.	11	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
GG		DBL SINGLE HUNG	RENOVATED KITCHEN	+5'-6"	+3'-6"	7/16" TEMP.	12	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT DPUBLE SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
HH		FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	13	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (COLONIAL MUNTINS)	
JJ		FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	14	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS (NO MUNTINS)	
KK		FIXED	NEW ENTRY FOYER	+2'-8"	+5'-8"	7/16" TEMP.	15	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
L		FIXED DBL	NEW ENTRY FOYER	+5'-2"	+5'-8"	7/16" TEMP.	16	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
M		FIXED	EXIST'G FAMILY ROOM	+2'-6"	+2'-4"	7/16" TEMP.	17	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT FIXED WINDOW & CLEAR, LOW E GLASS	
N		CUSTOM FIXED	MASTER SEATING AREA	CUSTOM	CUSTOM	7/16" TEMP.	18	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT CUSTOM FIXED WINDOW & CLEAR, LOW E GLASS	
P		SINGLE HUNG	MASTER BATH SUITE	+3'-2"	+3'-2"	7/16" TEMP.	19	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT SINGLE HUNG WINDOW & CLEAR, LOW E GLASS	
Q		EXIST'G GLASS BLK.	MASTER BATH SUITE	EXIST'G	EXIST'G	7/16" TEMP.	20	---	(WHT)	---	(AL) (AL) (WHT) ---	---	EXISTING GLASS BLOCK TO REMAIN	
R		NAUTICAL FIXED	MASTER WALK-IN CLO.	+2'-2"	+2'-2"	7/16" TEMP.	21	---	(WHT)	---	(AL) (AL) (WHT) ---	---	IMPACT RESISTANT ROUND FIXED WINDOW & CLEAR, LOW E GLASS	



**GENERAL NOTES:**

- WINDOW MANUFACTURER: "CGI", SERIES 238SN, "SENTINEL" WINDOWS & 450 DOORS, IMPACT RESISTANT - "OR EQUAL" AS DETERMINED BY OWNER. INSTALLATION OF "CGI" PRODUCTS, INCLUDING SIZING OF ROUGH OPENING, METHOD OF ATTACHMENT, FASTENER SELECTION, AND CODE COMPLIANCE IS THE SOLE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO COMMENCEMENT OF WORK

G1 INTERIOR DOOR SCHEDULE						
ROOM	BASE	FLOOR	WALLS	CEIL.	REMARKS	
ENTRY FOYER	cer. tile	9.25" wood	stone/tile	carpet	2	2 exposed structure above
LIVING ROOM	vinyl	cer. tile	dry wall/plaster	dry wall	2	2 exposed structure above
DINING ROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	3	2 +8'-0"
KITCHEN	cer. tile	cer. tile	dry wall/plaster	dry wall	3	2 +8'-0"
LAUNDRY/PANTRY	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 exposed structure above
GALLERY	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 exposed structure above
GUEST BEDROOMS	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 exposed structure above
JACK/JILL BATHROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"
CABANA BATH	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"
MASTER BEDROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"
MASTER BATHROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"
MASTER CLOSET	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"
HOME OFFICE	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2 +8'-0"

C1 ROOM FINISH SCHEDULE						
ENTRY FOYER	cer. tile	9.25" wood	stone/tile	carpet	2	2
LIVING ROOM	vinyl	cer. tile	dry wall/plaster	dry wall	2	2
DINING ROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	3	2
KITCHEN	cer. tile	cer. tile	dry wall/plaster	dry wall	3	2
LAUNDRY/PANTRY	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
GALLERY	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
GUEST BEDROOMS	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
JACK/JILL BATHROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
CABANA BATH	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
MASTER BEDROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
MASTER BATHROOM	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
MASTER CLOSET	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2
HOME OFFICE	cer. tile	cer. tile	dry wall/plaster	dry wall	2	2

H8 EXTERIOR DOOR AND WINDOW SCHEDULE						
AA	SINGLE HUNG	W.I. CLO. & SHOWER	+2'-8"	+6'-11"	7/16" TEMP.	25
BB	SINGLE HUNG	EXIST'G POWDER ROOM	+2'-6"	+4'-8"	7/16" TEMP.	7
CC	SINGLE HUNG	EXIST'G DINING ROOM	+3'-2"	+4'-8"	7/16" TEMP.	8
DD	DBL SINGLE HUNG	EXIST'G DINING ROOM	+5'-6"	+5'-9"	7/16" TEMP.	9
EE	DBL SINGLE HUNG	EXIST'G FAMILY ROOM	+6'-7"	+4'-8"	7/16" TEMP.	10
FF	SINGLE HUNG	EXIST'G FAMILY ROOM	+3'-2"	+4'-8"	7/16" TEMP.	11
GG	DBL SINGLE HUNG	RENOVATED KITCHEN	+5'-6"	+3'-6"	7/16" TEMP.	12
HH	FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	13
JJ	FIXED	NEW BUTLER'S PANTRY	+3'-2"	+3'-2"	7/16" TEMP.	14
KK	FIXED	NEW ENTRY FOYER	+2'-8"	+5'-8"	7/16" TEMP.	15
L	FIXED DBL	NEW ENTRY FOYER	+5'-2"	+5'-8"	7/16" TEMP.	16
M	FIXED	EXIST'G FAMILY ROOM	+2'-6"	+2'-4"	7/16" TEMP.	17
N	CUSTOM FIXED	MASTER SEATING AREA	CUSTOM	CUSTOM	7/16" TEMP.	18
P	SINGLE HUNG	MASTER BATH SUITE	+3'-2"	+3'-2"	7/16" TEMP.	19
Q	EXIST'G GLASS BLK.	MASTER BATH SUITE	EXIST'G	EXIST'G	7/16" TEMP.	20
R	NAUTICAL FIXED	MASTER WALK-IN CLO.	+2'-2"	+2'-2"	7/16" TEMP.	21

Date: July 30, 2021  
TAC COMMENTS: July 02, 2021  
REVISIONS

Seal  
Consultant Seal

**OCEAN APPLE ESTATE**  
610 NORTH OCEAN BLVD.  
DELRAY BEACH, FLORIDA

**SCHEDULES**

Drawing Title

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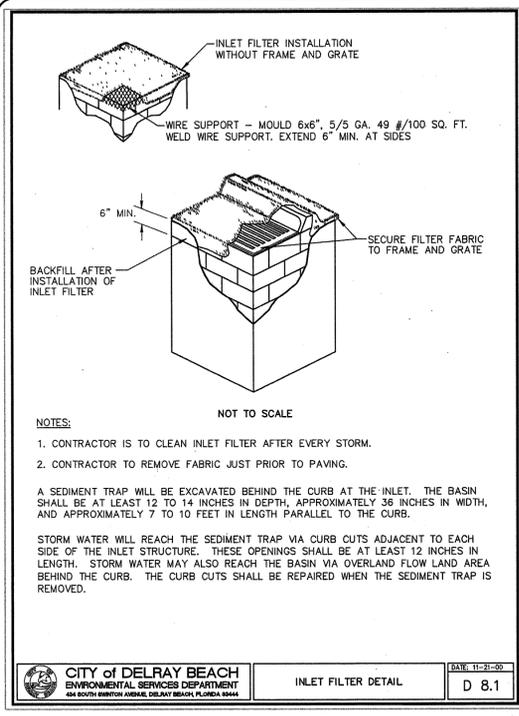
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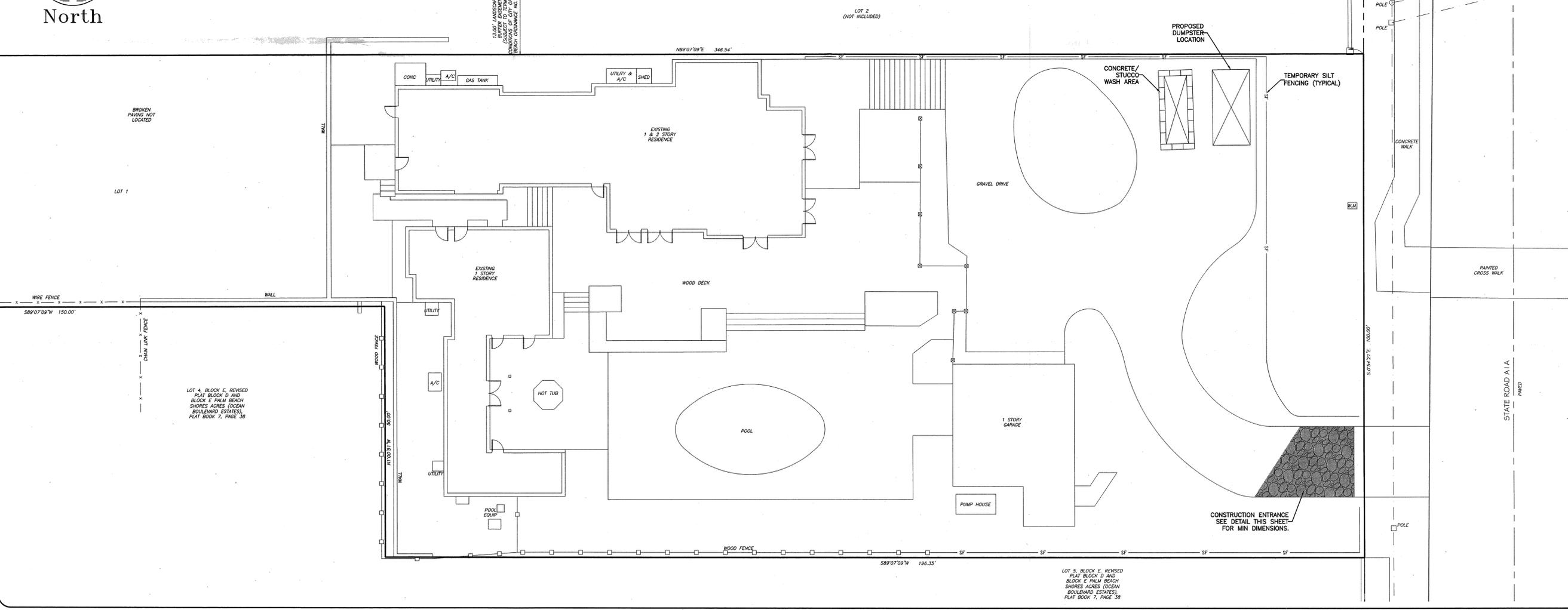
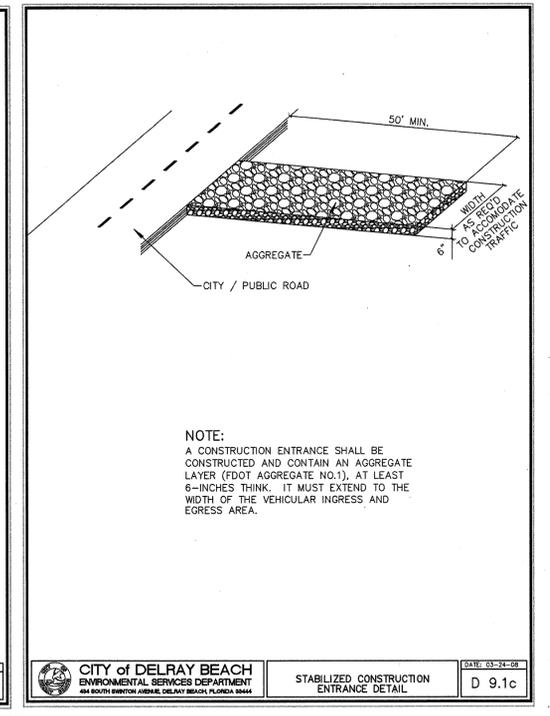
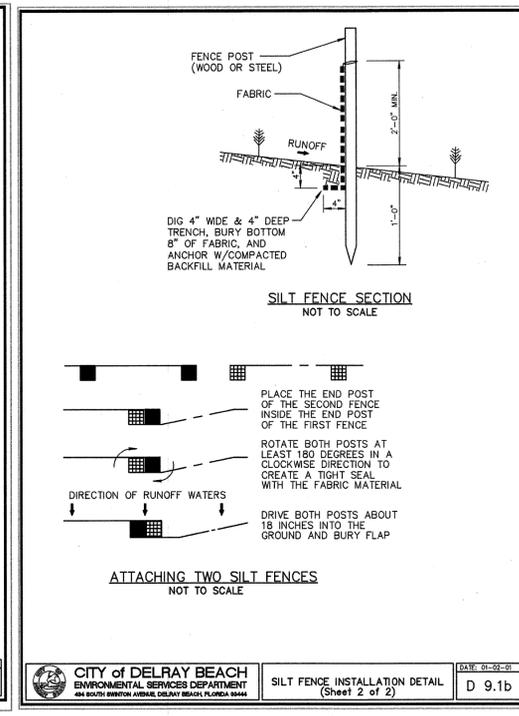
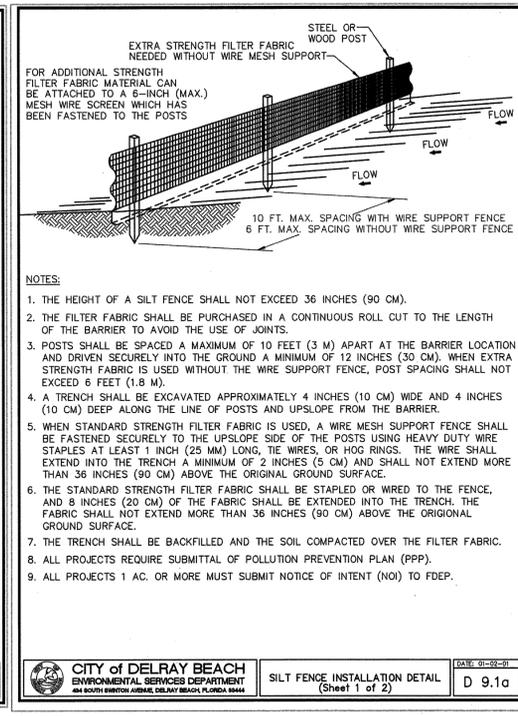
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- EROSION CONTROL NOTES DETAIL**  
DATE: 03-24-08  
D 9.1
- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
  - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
  - INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
  - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
  - FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
  - DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
  - ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
  - EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
  - WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
  - ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
  - DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.



**SCHULKE, BITTLE & STODDARD, L.L.C.**  
CIVIL & STRUCTURAL ENGINEERING • LAND PLANNING • ENVIRONMENTAL PERMITTING  
CERTIFICATION OF AUTHORIZATION NO.: 00008868  
1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960  
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**POLLUTION PREVENTION PLAN**

PROPOSED CONSTRUCTION FOR:  
OCEAN APPLE ESTATE  
610 N OCEAN BLVD  
DELRAY BEACH, FL

ENGINEER CERTIFICATION  
 JOSEPH W. SCHULKE  
 FL REG. NO. 47048  
 JOAHN B. BITTLE  
 FL REG. NO. 57398  
 WILLIAM P. STODDARD  
 FL REG. NO. 57600

DATE: **AUG 04** 2021  
SHEET C2  
PROJECT NO. 21-015