

DRAWING ABBREVIATIONS	
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
L.A.E.	LIMITED ACCESS EASEMENT
L.M.E.	LAKE MAINTENANCE EASEMENT
S.B.	SETBACK
B.S.B	BUILDING SETBACK
PROP. B.S.B	PROPOSED BUILDING SET BACK
E.O.W.	EDGE OF WATER
L.B.E.	LANDSCAPE BUFFER EASEMENT
R.O.W	RIGHT OF WAY
CB.	CATCH BASIN

NOTE: ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/CIVIL WORK AND/OR ANY SUCH DRAWINGS THAT ARE INSERTED INTO THIS SET AND/OR LACK THERE OF. THIS INCLUDES BUT IS NOT LIMITED TO THE PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE ADJUDICATING CITY OR A LICENSED CIVIL ENGINEER.



LOCATION MAP

NOT TO SCALE

PROJECT INFORMATION:

NAME OF APPLICATION:	JENNIFER ROSELLI
OWNER:	820SE5 LLC
ZONING:	CBD (CENTRAL BUSINESS DISTRICT)
SUB-DISTRICT:	SOUTH PAIRS NEIGHBORHOOD
PCN NO.:	12-43-46-21-09-001-0240
EXISTING USE:	BUSINESS
PROPOSED USE:	BUSINESS (PET HOTEL)
LEGAL:	21-46-43, MODEL LAND CO S/D OF W 1/2 S 100 FT OF N 165 FT OF W 1/2 OF LT 10 (LESS W 153 FT) LYG W OF SE 5TH AVE IN OR 1904PG45 BLK 1

SITE/LAND DATA:

	REQUIRED	EXISTING
TOTAL SITE AREA		14,446 SF (0.3316 ACRES)
FAR CALC.:	3.0 MAX.	0.31
MAX. NO. OF STORIES:	NA	31% (4,550 SF)
MAX. SITE COVERAGE(BLDG.):	75% (11,035 SF)	75.1% (11,037 SF)
HARDSCAPE (IMPERMEABLE):	NA	24.9% (3,609 SF)
GREEN SPACE (PERMEABLE):		

SETBACKS:

	REQUIRED	EXISTING
FRONT:	15'-0" MIN./20' MAX.	10'-0"
REAR:	10'-0"	43'-11"
SIDE(NORTH):	5'-0"	44'-8"
SIDE(SOUTH):	5'-0"	5'-0"
MAX. BUILDING HEIGHT:	18'-0"	18'-0"

PARKING DATA:

	REQUIRED	PROPOSED
PET HOTEL:		
PROVID 1/300 PER ONE SQ FT.	14	14
*HANDICAP	1	1
TOTAL SP	15	15

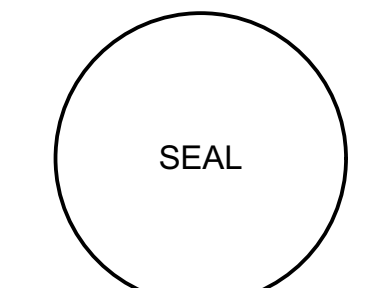
* INCLUDED IN OVERALL PARKING SPACE COUNT

BICYCLE PARKING DATA:

	REQUIRED	PROPOSED
2 SPACE PER 10,000 SF	2	2



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DELRAY BEACH, FL 33483

SITE PLAN APPROVAL

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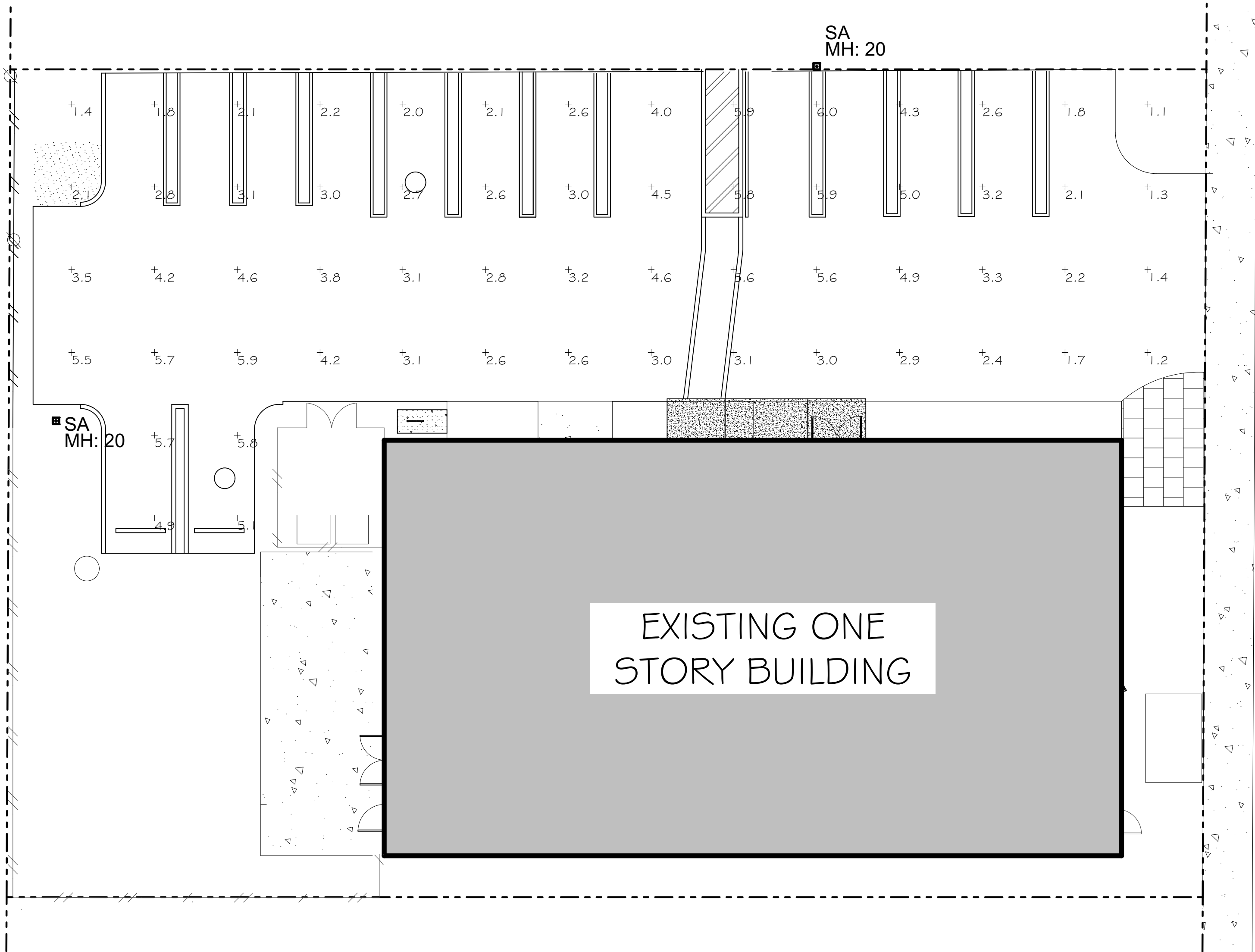
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REVISIONS:
CITY COMMENTS (03.28.22)

SITE PLAN

SP1.1

I:\Volumes\SSA Projects\Active Projects\21-396 820 SE 5th ave - Beach Dog Daycare\21-396 820 SE 5th Ave (Beach Dog) 12.23.21.pln



PHOTOMETRIC PLAN

SCALE: 1" = 10'

Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	SA	Single	19422	19422	1.000	132.6	132.6

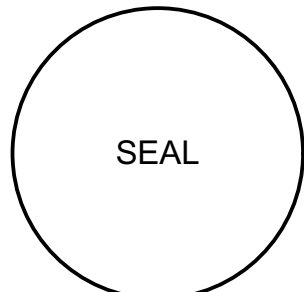
Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PARKING	Illuminance	Fc	3.47	6.0	1.1	3.15	5.45	

820 SE 5TH AVE - DELRAY BEACH										
LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	COLOR TEMP	LAMPS	WATTS	DIMMING	MOUNTING	REMARKS
SA	LED SITE LIGHTING SINGLE HEAD	SKYLINE	SAS-18L-U-40-T4-XXX-XXX / HSS	UNV	4000K	LED	132.6	0-10V	20' POLE	NOTE 1, 2
FIXTURE SCHEDULE NOTES										
NOTE 1: ADVISE FINISH										
NOTE 2: FIXTURES MOUNTED ON 20' ALUMINUM VALMONT POLE # R-240840606T4-P2-ADVISE FINISH										
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT CHRISTOPHER GODFREY @ LIGHTING DYNAMICS - (954) 405-7046										



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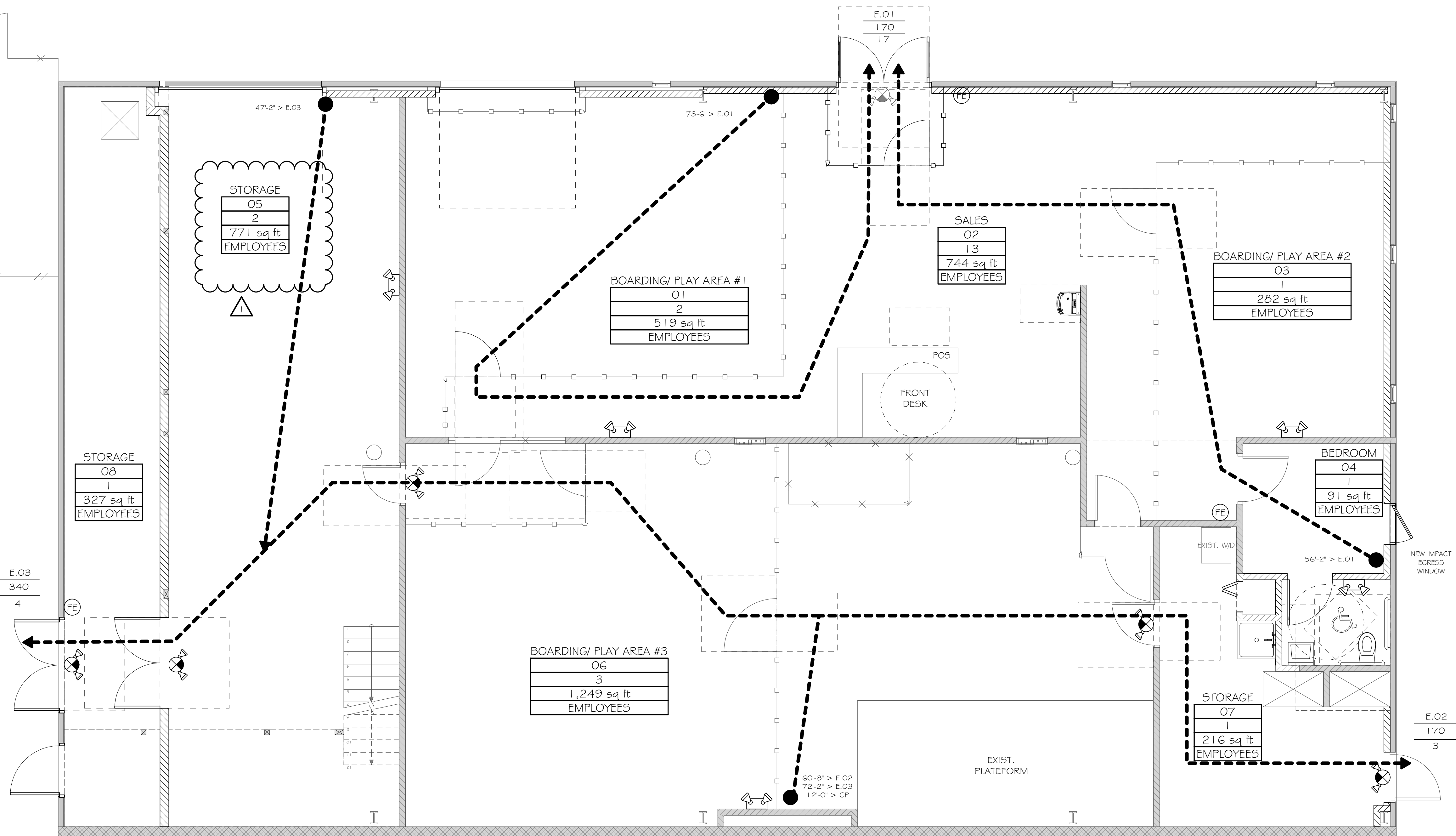
PHOTOMETRIC PLAN

PH.1

Volumes\SSA Projects\Active Projects\21-396 820 SE 5th ave - Beach Dog Daycare\21-396 820 SE 5th Ave (Beach Dog) 12.23.21.pln

GENERAL LIFE SAFETY NOTES:

1. ANY DOOR IN THE MEANS OF EGRESS SHALL MEET THE REQUIREMENTS UNDER NFPA 101 (SECTION 7.2.1). DOOR LEAVES SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED PER NFPA 101 (7.2.1.5.1). LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. PER NFPA 101 7.2.1.5.3
2. ALL INTERIOR WALLS AND CEILINGS FINISHES SHALL COMPLY W/ NFPA 101 & FBC TABLE 803.1.1 PER APPROPRIATE OCCUPANCY
3. 7.10.1.2.2* HORIZONTAL COMPONENTS OF THE EGRESS PATH WITHIN AN EXIT ENCLOSURE SHALL BE MARKED BY APPROVED EXIT OR DIRECTIONAL EXIT SIGNS WHERE THE CONTINUATION OF THE EGRESS PATH IS NOT OBVIOUS.
4. 7.10.1.3 EXIT DOOR TACTILE SIGNAGE. TACTILE SIGNAGE SHALL BE PROVIDED TO MEET ALL OF THE FOLLOWING CRITERIA, UNLESS OTHERWISE PROVIDED IN 7.10.1.4: (1) TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. (2) TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT. (3) TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
5. PROVIDE KNOX BOX AS REQUIRED, COORDINATE FINAL LOCATION W/ LOCAL FIRE MARSHALL. IF REQ. BY LOCAL BY FIRE MARSHALL CONNECT ALARM CABLE TO ALARM SYSTEM
6. ABRUPT CHANGES IN ELEVATION OF WALKING SURFACES SHALL NOT EXCEED 1/4". CHANGES IN ELEVATION BETWEEN 1/4" AND 1/2" SHALL BE LEVELED 1 TO 2
7. GC SHALL WALK ALONG ANY AGRESS TO VERIFY ALL EGRESS DOORS HAVE A PANIC HARDWARE SET OR NON-LUCK ABLE LATCHES.
8. ANY LIFE SAFETY ELECTRICAL TO BE WIRED AHEAD OF ANY SWITCHES - TYPICAL
9. ALL SMOKE DETECTOR SHALL BE HARD WIRE PER CODE
10. (IF APPLICABLE) ALL EMERGENCY INCLOSED STAIR CASE SHALL BE AUTOMATIC VENTED, REFER TO MEP DWGS.
11. REFER TO ELECTRICAL ENGINEER'S DWGS. FOR EXIT SIGNAGE AND EMERGENCY LIGHTING INFORMATION
12. (IF APPLICABLE) ALL SOUND SYSTEMS SHALL TIE INTO THE FIRE ALARM AS-REQUIRED PER CODE
13. EXISTING LOFT IS STORAGE ONLY. NO OCCUPANCY ON LOFT.
14. THE BUILDING SHALL HAVE A FIRE-ALARM SYSTEM INSTALLED PER FLORIDA BUILDING CODE AND THE FLORIDA FIRE PREVENTION CODE. THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY A LICENSED FIRE-PROTECTION SPECIALTY CONTRACTOR. SHOP DRAWINGS FOR THE COMPLETE DESIGN OF THE SYSTEM WILL BE PROVIDED WITH THE CONTRACTOR'S APPLICATION FOR PERMIT (DOCUMENTS WILL BE SEALED WITH AN ENGINEER'S SEAL, LICENSED IN THE STATE OF FLORIDA) (DELAYED APPLICATION BY SUPPLIER)
15. THE BUILDING SHALL BE FULLY PROTECTED BY A FIRE SPRINKLER SYSTEM, ACCORDING TO THE FLORIDA BUILDING CODE AND NFPA 13. THE SPRINKLER SYSTEM SHALL BE DESIGNED BY A LICENSED ENGINEER AND ACTUAL INTALLATION-DRAWINGS (SHOP-DRAWINGS) SHALL BE SUBMITTED WITH THE SPRINKLER SYSTEM PERMIT APPLICATION.



LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES: EXISTING 1-STORY METAL FRAME BUILDING. THIS LEVEL 2 ALTERATION 5PACE IS 4,253 SF GROUND FLOOR & NON OCC. LOFT IS ABOUT 463 SF. TOTAL SF IS 4,550 SF PER PAPA (NON-SPRINKLERED)

BUILDING INFORMATION

OPEN PLAY AREA & KENNELS3,147 SF
STORAGE216 SF
SALES744 SF
SLEEPING AREA & RESTROOM146 SF
SECOND FLOOR LOFT463 SF
TOTAL AREA: 4,716 SF

OCCUPANCY CLASSIFICATION : GROUP-B (BUSINESS)
CHAPTER 3; SECTION 302;

CONSTRUCTION TYPE : TYPE III-B
CHAPTER 6; TABLE 601

AUTOMATIC SPRINKLER SYSTEM: PER SECTION 903.2.1.2 REQUIRED PROVIDED
AUTOMATIC FIRE-ALARM SYSTEM: PER SECTION 907.2 REQUIRED PROVIDED (NEW)

TYPE OF ADJACENT OCCUPANCY: NA
(INCLUDING FLOORS ABOVE AND BELOW)

NUMBER OF EXITS: 1 EXIT REQUIRED
PER. FBC 1006.3.1 3 EXITS PROVIDED
TOTAL EGRESS WIDTH: 4.6' REQUIRED
PER. FBC 1005.1 IS .2' PER OCCUP. 1.37" PROVIDED
23 OCCUP. x .2=
EXIT ACCESS TRAVEL DISTANCE: MAX ALLOWED 200'
CHAPTER 10; TABLE 1017.2: MAX DISTANCE = 73'-6"
MAX. COMMON PATH TRAVEL LENGTH: MAX ALLOWED 75'
CHAPTER 10; TABLE 1006.2.1: MAX DISTANCE = 12'-0"
DEAD END TRAVEL DISTANCE: MAX ALLOWED 20'
FBC 1020.4 MAX DISTANCE = 15'-6"
MINIMUM CORRIDOR WIDTH: MIN ALLOWED 36" MIN.
PER FBC SECTION 1020.2, TABLE 1020.2 MIN PROVIDED = 44"

OCCUPANCY LOAD CHART CHAPTER 10;

OPEN PLAY AREA 5 OCCUPANTS
2,050 SF / 1,500
SLEEPING AREA 1 OCCUPANTS
91 SF / 120
STORAGE 5 OCCUPANTS
1,312 SF / 300
SALES 13 OCCUPANTS
744 SF / 60
TOTAL: 24 OCCUPANTS

TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

OCCUPANCY	WATER CLOSET		LAVATORIES		DRINKING FOUNTAIN	SLOP SINK
	MALE	FEMALE	MALE	FEMALE	1 PER 100	1
BUSINESS		1/50		1/80		
PROVIDED:		1		1	1	1

LEGEND

- EMERGENCY BATTERY WALL PACK W/ TWIN HEADS (MIN. 90 MINUTES BATTER LIFE)
- EXIT LIGHT FIXTURE, DIRECTION ARROWS AS SHOWN
- EXIT LIGHT FIXTURE AND EMERGENCY LIGHT COMBO (MIN. 90 MINUTES BATTER LIFE)
- EXISTING EXIT LIGHT FIXTURE AND EMERGENCY LIGHT COMBO
- FIRE EXTINGUISHER (3-PROVIDED) FEC WITH 5LB ABC. (10LB IN KITCHENS) LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION. REFER TO NFPA 10
- DIRECTION OF EXIT OR EXIT ACCESS
- PATH OF TRAVEL
 - = ROOM NAME
 - = ROOM NUMBER
 - = OCCUPANT LOAD
 - = ROOM AREA
 - = OCCUPANT LOAD FACTOR
 - = EXIT I.D. NUMBER
 - = MAX. OCCUPANT LOAD OF EXIT
 - = OCCUPANTS SERVED BY EXIT
 - XX>E01 = MAX. DISTANCE TO EXIT 1
 - XX>E02 = MAX. DISTANCE TO EXIT 2
 - XX>CP = COMMON PATH OF TRAVEL
- FIRE ALARM (HORN & STROBE)

FIRE-ALARM NOTE:
THE BUILDING SHALL HAVE A FIRE-ALARM SYSTEM INSTALLED PER FLORIDA BUILDING CODE AND THE FLORIDA FIRE PREVENTION CODE. THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY A LICENSED FIRE-PROTECTION SPECIALTY CONTRACTOR. SHOP DRAWINGS FOR THE COMPLETE DESIGN OF THE SYSTEM WILL BE PROVIDED WITH THE CONTRACTOR'S APPLICATION FOR PERMIT (DOCUMENTS WILL BE SEALED WITH AN ENGINEER'S SEAL, LICENSED IN THE STATE OF FLORIDA)

FIRE SPRINKLE NOTE:
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SEAL

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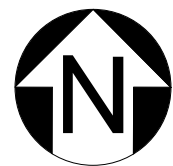
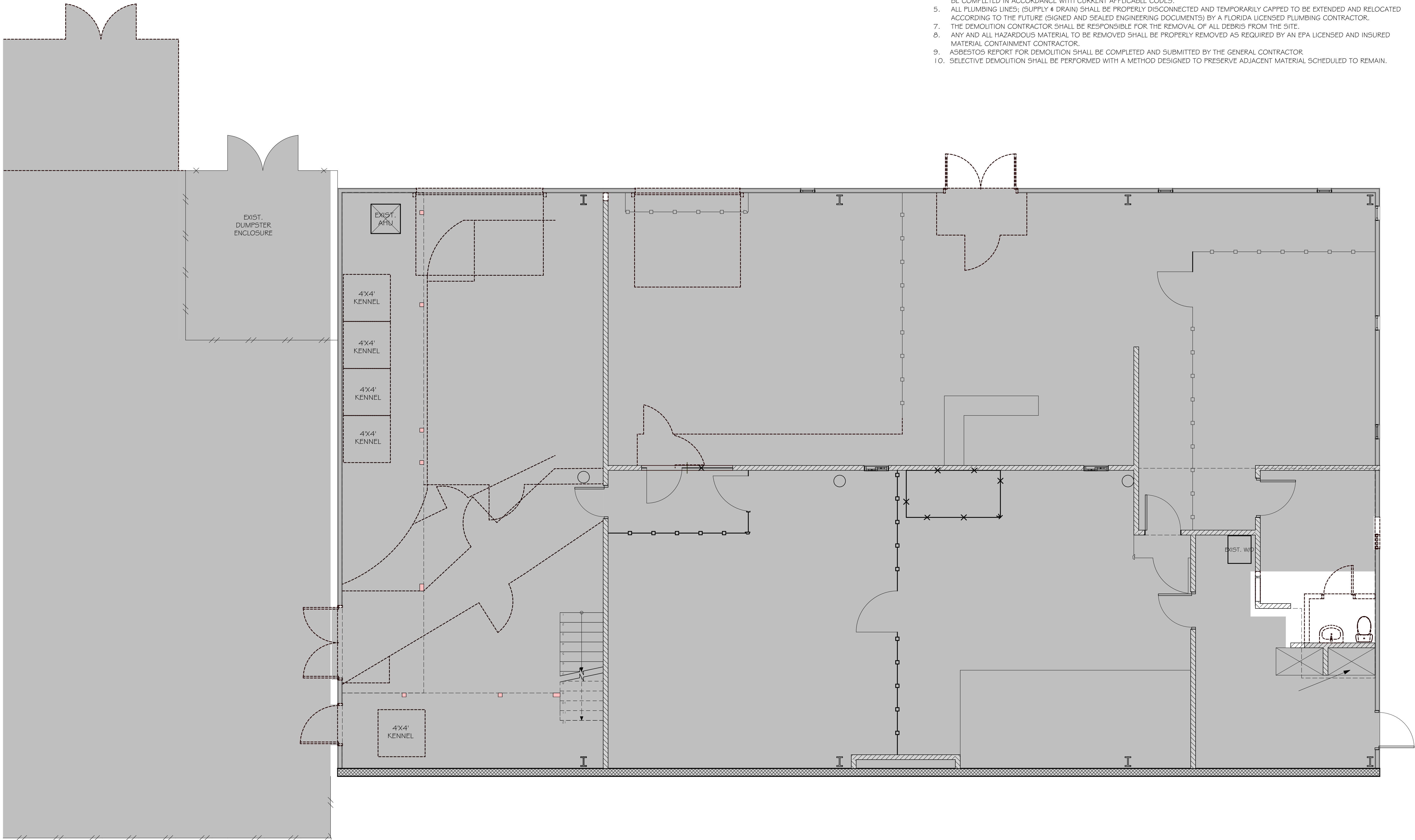
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1. CITY COMMENTS (03.28.22)

LIFE SAFTEY PLAN

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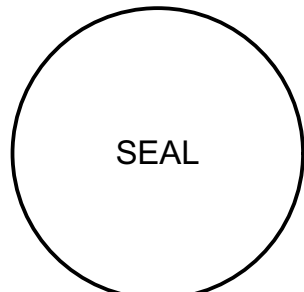
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

1. DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO THE START OF CONSTRUCTION.
2. WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES (ELECTRICAL, PLUMBING, LOW-VOLTAGE, ETC) WITHIN DASHED (WALLS) SHALL ALSO BE REMOVED.
3. PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN (IF APPLICABLE). SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE LOCAL JURISDICTION.
4. ALL ELECTRICAL DEMOLITION (DISCONNECT) WORK SHALL BE PERFORMED BY A FLORIDA LICENSED ELECTRICAL CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT APPLICABLE CODES.
5. ALL PLUMBING LINES; (SUPPLY & DRAIN) SHALL BE PROPERLY DISCONNECTED AND TEMPORARILY CAPPED TO BE EXTENDED AND RELOCATED ACCORDING TO THE FUTURE (SIGNED AND SEALED ENGINEERING DOCUMENTS) BY A FLORIDA LICENSED PLUMBING CONTRACTOR.
7. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS FROM THE SITE.
8. ANY AND ALL HAZARDOUS MATERIAL TO BE REMOVED SHALL BE PROPERLY REMOVED AS REQUIRED BY AN EPA LICENSED AND INSURED MATERIAL CONTAINMENT CONTRACTOR.
9. ASBESTOS REPORT FOR DEMOLITION SHALL BE COMPLETED AND SUBMITTED BY THE GENERAL CONTRACTOR.
10. SELECTIVE DEMOLITION SHALL BE PERFORMED WITH A METHOD DESIGNED TO PRESERVE ADJACENT MATERIAL SCHEDULED TO REMAIN.



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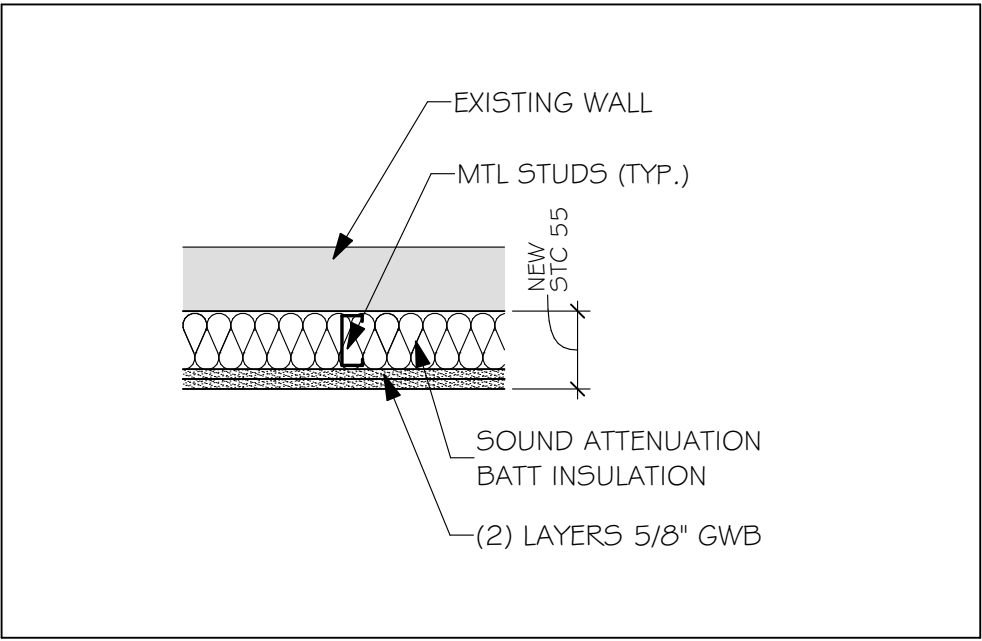
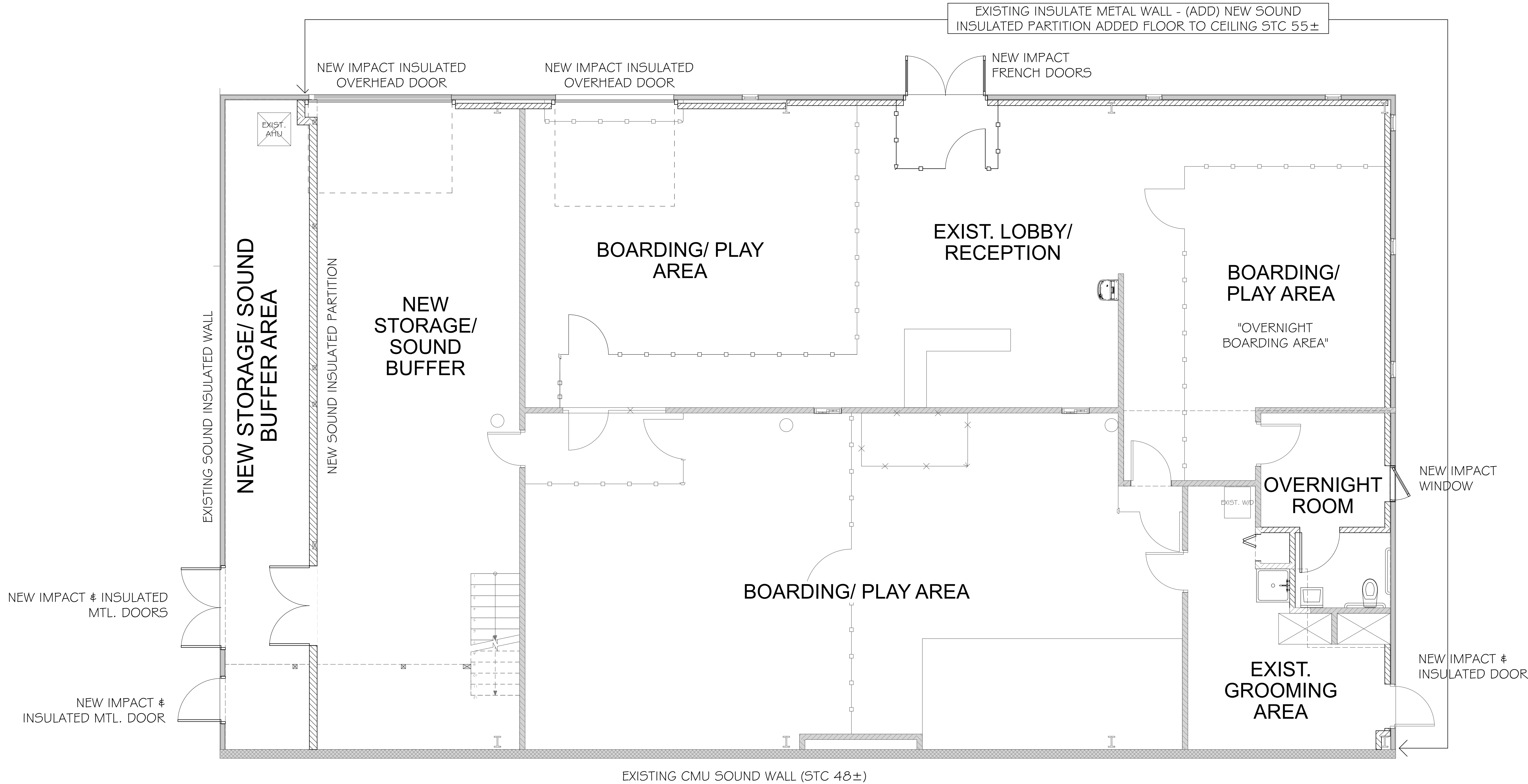
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DEMOLITION PLAN

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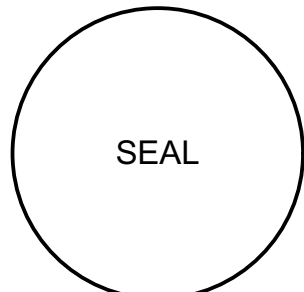


STC ±55 MTL. WALL DETAIL
NOT TO SCALE

STC RATING	PERFORMANCE	DESCRIPTION
50-60	EXCELLENT	LOUD SOUNDS HEARD FAINTLY OR NOT AT ALL
40-50	VERY GOOD	LOUD SPEECH HEARD FAINTLY
35-40	GOOD	LOUD SPEECH HEARD BUT HARDLY INTELLIGIBLE
30-35	FAIR	LOUD SPEECH UNDERSTOOD FAIRLY WELL
25-30	POOR	NORMAL SPEECH UNDERSTOOD EASILY AND DISTINCTLY
20-25	VERY POOR	LOW SPEECH AUDIBLE



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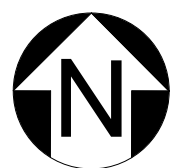
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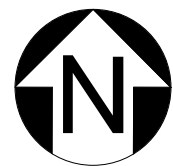
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PROPOSED FLOOR PLAN

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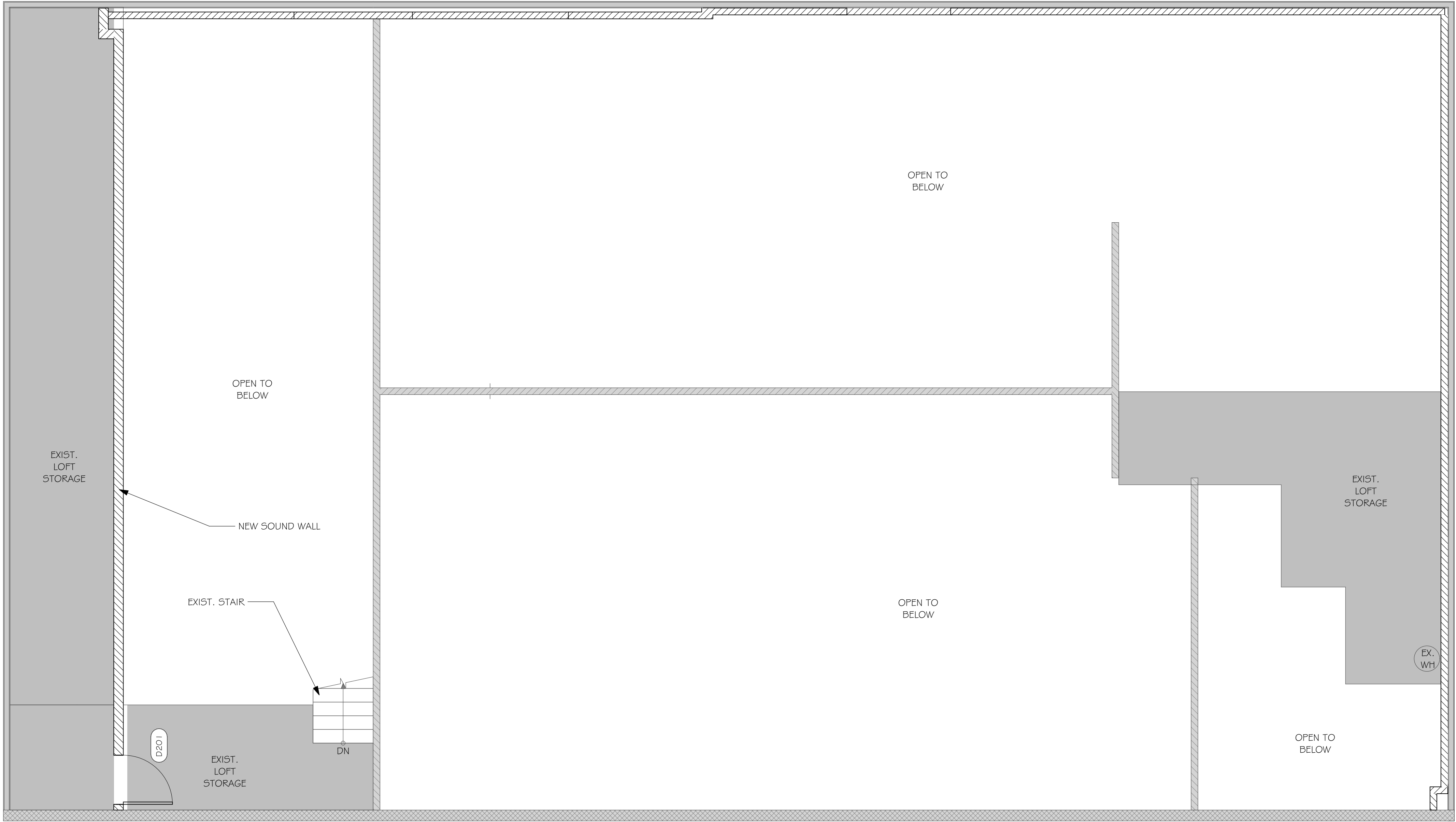


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



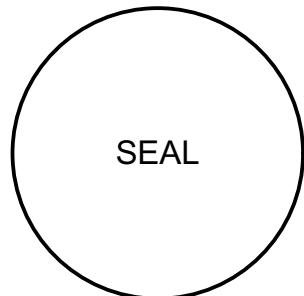
PROPOSED EXIST. LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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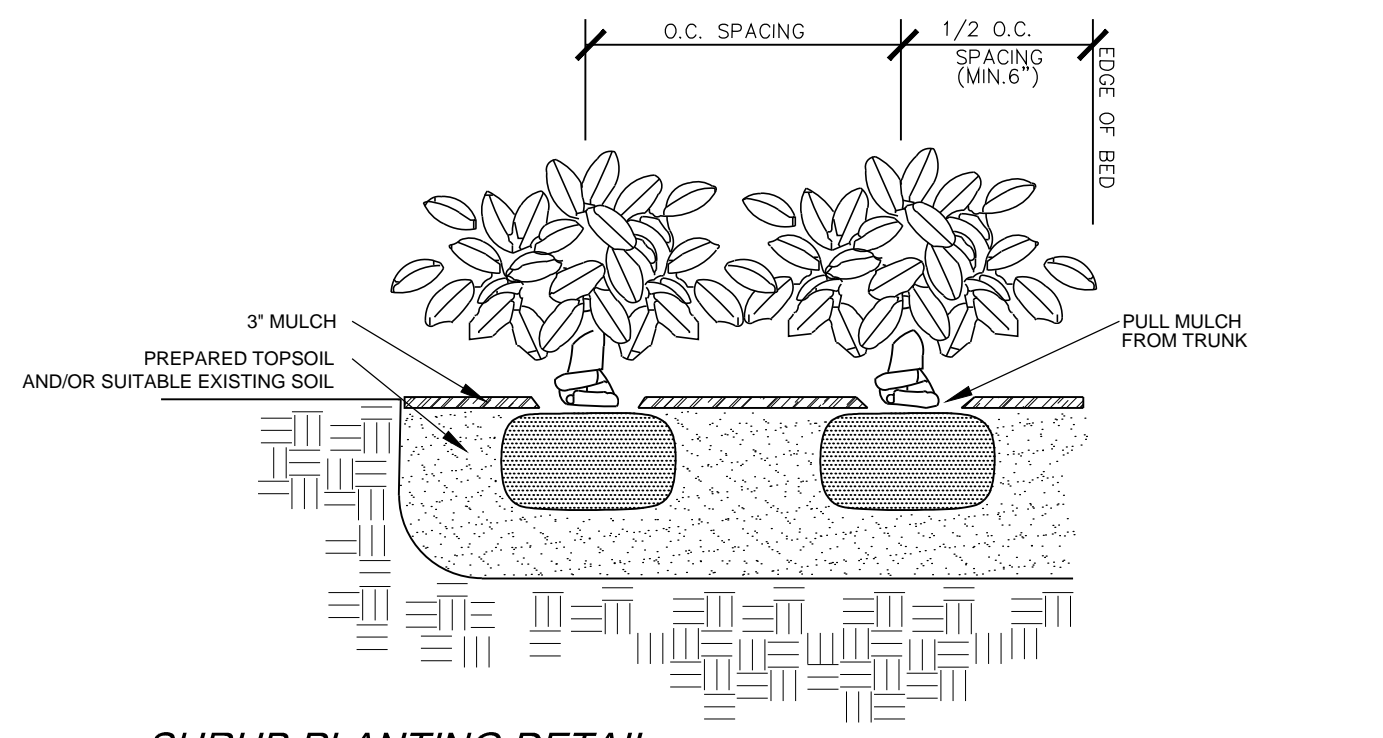
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EXISTING SECOND
FLOOR

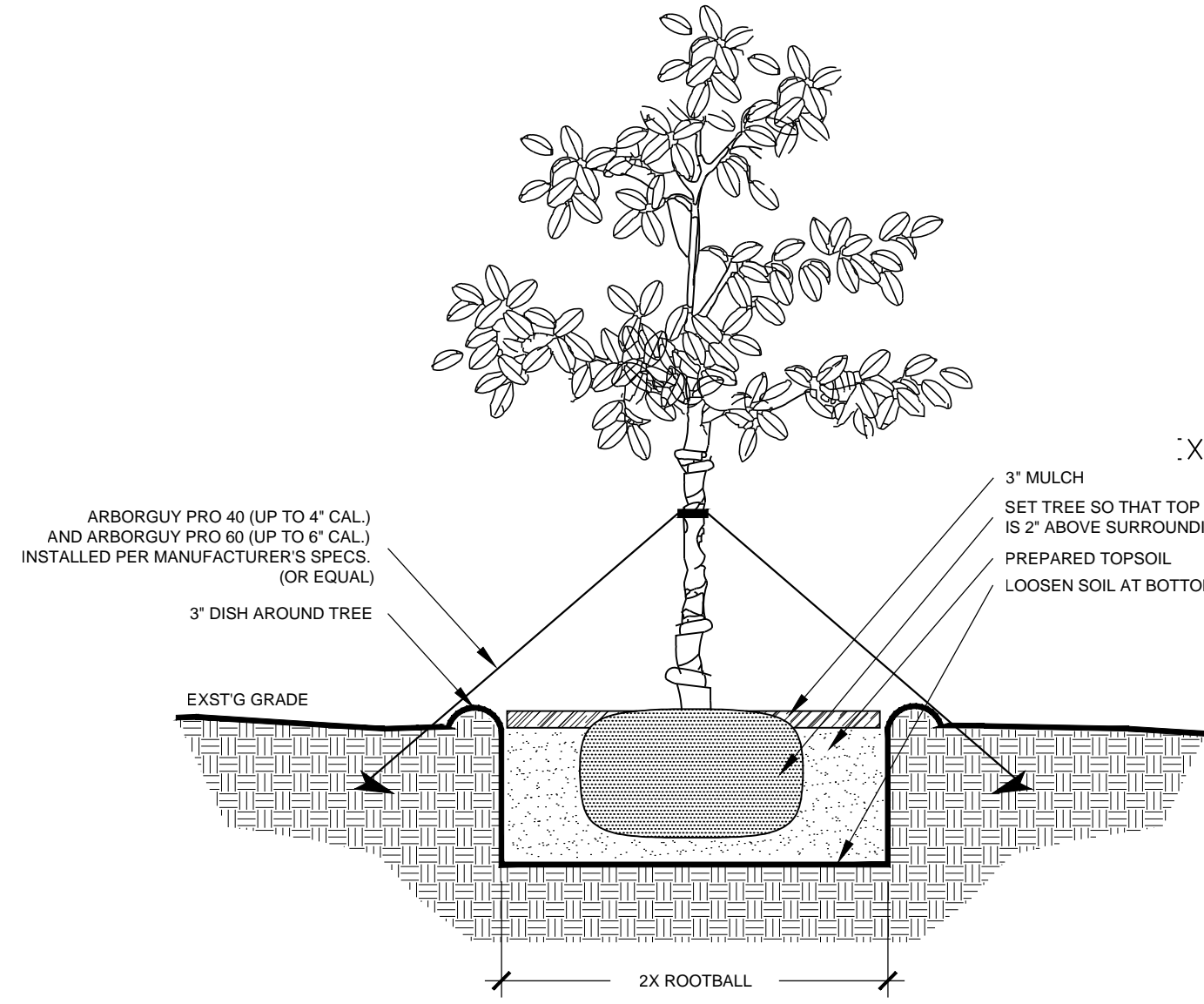
A1.2



SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

TOP OF ROOT BALL TO BE 2" ABOVE FINISH SOIL GRADE (FSG).



TREE PLANTING DETAIL

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISHED GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2" LOWER THAN THE TOP OF THE ROOTBALL. MULCH SHOULD COVER THE EDGE OF THE ROOTBALL. DO NOT MULCH ON TOP OF ROOTBALL.

GENERAL NOTES AND SPECIFICATIONS:

- The LANDSCAPE CONTRACTOR is responsible for verifying project site conditions and all quantities indicated on these plans before pricing work.
- All plant material shall be Florida Grade No. 1 or better – nursery grown in accordance to Florida Grades and Standards Handbook.
- Plants shall be sound, healthy, and vigorous well branched and densely foliated when in leaf. They shall be free of disease, insects, eggs, or larvae and shall have healthy, well developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
- All plants shall be container grown, balled and burlapped, wire basketed or tree spaced.
- All plants shall conform to the varieties indicated in the plant list.
- Substitution of plant materials will not be permitted unless authorized in writing by Landscape Architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of contract price.
- The CONTRACTOR shall excavate plant pits according to the drawings, unless otherwise directed.
- All backfill around plant material shall be worked firmly, tamped, and watered in under and around the rootball to fill all voids.
- The GENERAL CONTRACTOR shall bear final responsibility for proper surface drainage.
- Planting beds shall be cut or edged to form a uniform clean line between beds and lawn areas.
- After all plant material in a plant bed area has been installed, the areas between plants shall be raked to an even grade to conform to pre-mulching finish grades. All planting beds and plant saucers shall then be uniformly covered with a minimum three inch layer of approved mulch.
- All trees are to be staked unless otherwise directed by LANDSCAPE ARCHITECT, owner or owner's representative. Refer to staking and planting details on the drawings.
- The LANDSCAPE CONTRACTOR is responsible for all fine grading preparation for planting.
- Rough grades will be established by the owner's general contractor at approximately 3 low curbs, sidewalks, landscape amenities, mowing strips, and abutments.
- CONTRACTOR shall coordinate construction of planting areas with installation of irrigation system.
- Sod areas shall be St. Augustine grass "Captiva", "Sapphaine" or "Classic" (for shaded areas). Grass for sodding shall be freshly cut in squares one foot wide by two feet long. Sod shall be healthy, free of insects, and in naturally flourishing condition. Dry, brown, and unthresh sod will be rejected.
- Sod shall be laid end-to-end in a staggered line to form a uniform layer. All uneven edges shall be squarely trimmed to allow close and firm fitting of each piece.
- After sodding is completed, the entire sod areas shall be watered by hand or irrigation system in accordance with Best Management Practices.
- The LANDSCAPE CONTRACTOR is responsible for fully maintaining all plant material on site during and before planting until the work is accepted by the owner or owner's representative.
- All plants shall be guaranteed by LANDSCAPE CONTRACTOR to be healthy plants and in flourishing condition of active growth for ninety (90) days from final inspection and acceptance. All trees shall be guaranteed an additional one year from final inspection and acceptance.
- The owner, or owner's representative shall have the right to reject any and all work which in his opinion does not meet with the requirements of the specifications at any stage of the project operation.
- In general, the work shall proceed as rapidly as the site becomes available. Keep all areas of work clean, neat, and orderly at all times.
- The site shall be graded to maintain positive surface drainage.
- Planting areas locked in by landscape shall be drained with a minimum 4 inch ADS pipe to catch basin, dry well, or approved out-fall area.
- No fill over the root systems of trees shall occur and construction equipment shall avoid their roots to prevent compaction.
- Irrigation system shall be fully automatic and provide 100% coverage of all landscape and sod areas within the property.
- A back flow prevention assembly (DCA 100 or equal) shall be installed on the service side of the meter. Locate the double check valved back flow preventer near the side of the house and at least 12" above the ground. Cover exposed piping with weatherproofing.

MINIMUM IRRIGATION DESIGN REQUIREMENTS

- Irrigation plans should be designed by a qualified irrigation designer or registered landscape architect.
- Right of ways shall be irrigated from back of curb to the property line.
- A moisture sensing device is superior to a conventional rain switch and shall be used in all landscapes to reduce water usage as required by state law.
- It is recommended that zones for low, medium and high water use shall be established.
- A back flow prevention assembly (DCA 100 or equal) shall be specified and installed on the service side of the meter. Locate the double check valved back flow preventer near the side of the house and at least 12" above the ground. Cover exposed piping with weatherproofing. Covers such as the "Hot Rock" (a plastic cover used to disguise and protect the BFP) are encouraged. Note location on the plan.
- Drip irrigation is encouraged at the base of trees to reduce water usage. Follow manufacturer's recommendations for emitters, drip lines and distribution hubs.
- Irrigation controllers shall be weatherproof and mounted in the exterior service court.
- All controllers shall be out of view.
- Irrigation systems shall be fully automatic and provide 100% coverage of all landscape and sod areas, exclusive of natural areas to remain.
- It is recommended that automatic control valves be placed in valve boxes along the water main. Valve boxes shall not be covered over with sod or mulch or placed within a bed line.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL LANDSCAPE AREAS.

WATER SOURCE: WATER FROM METER. ANTICIPATED 40-50 PSI. LOCATION TO BE DETERMINED.

RAIN SENSOR: SYSTEM SHALL BE PROVIDED WITH A RAIN SENSOR.

ALL PLANT MATERIAL TO BE WATERED VIA AUTOMATIC IRRIGATION SYSTEM UNTIL ESTABLISHED. AFTER ESTABLISHMENT THE SYSTEM SHALL BE UTILIZED FOR SUPPLEMENTAL WATER DURING PERIODS OF EXTREME HEAT AND/OR DROUGHT.

ALTERNATE: IF NO IRRIGATION IS PROVIDED MANUALLY WATER ALL PROPOSED PLANTS UNDER ESTABLISHED ACCORDING TO DETAIL THIS SHEET.



SUGGESTED WATER BAG OR APPROVED EQUAL

TREEEGATOR® ORIGINAL SLOW RELEASE WATERING BAG FOR SHADE TREES

BENEFITS:

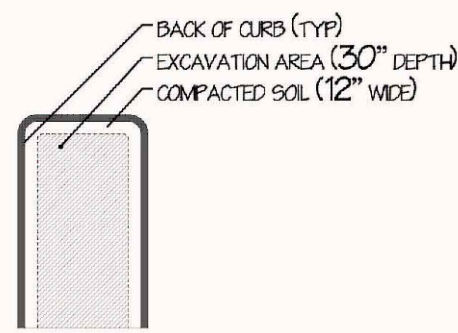
- Ideal for newly planted shade or street trees.
- Reduces transplant and drought shock.
- 100% water absorption with no run-off.
- Install and fill in minutes with no tools required.
- Deep water saturation with every fill.
- Fill just 1 to 2 times per week, or as needed.**
- Promotes deep root growth.
- Non-invasive design will not harm existing landscape.
- Can be used with nutrient / chemical additives.**
- Zip multiple bags together to accommodate large trees.
- Made in the U.S.A. with a 5-year limited warranty.

Table 1 Water Volume for New Trees and Palms			
Single Trunk	Multi-Trunk	Min. Water Volume per Application	
2" Cal.	8'-10'	6 Gal.	
3" Cal.	10'-12'	9 Gal.	
4" Cal.	12'-14'	12 Gal.	
5" Cal.	14'-16'	15 Gal.	
6" Cal.	-	18 Gal.	
Each Palm	-	12 Gal.	

Table 2 Water Volume for New Shrubs & Groundcovers	
Plant Size	Min. Water Volume per Application
1 Gallon	1 quart
3 Gallon	2 quarts
7 Gallon	1 Gallon
15 Gallon	2 Gallons

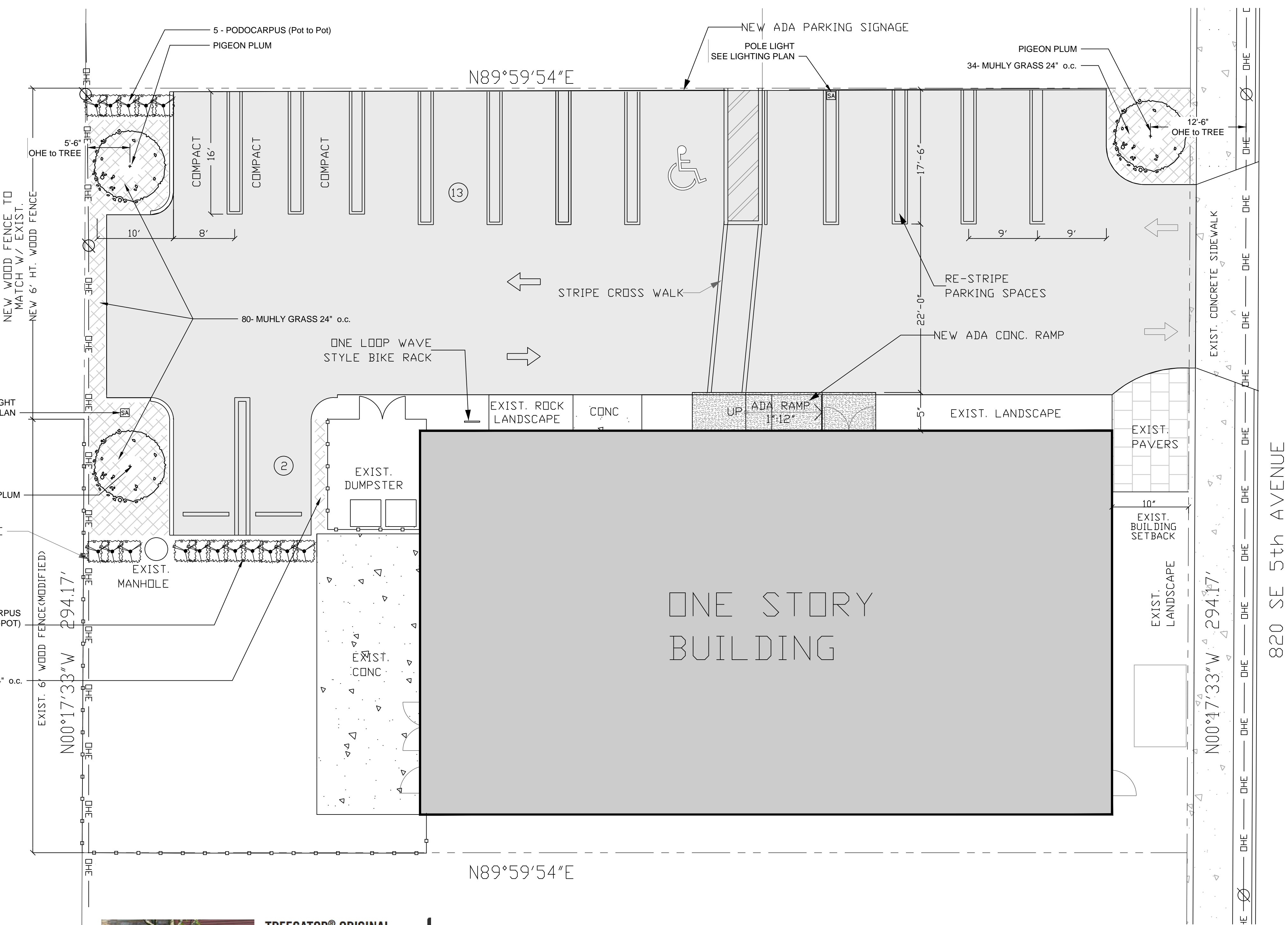
NOTE: ALL PROPOSED LANDSCAPING SHALL BE WATERED BY HOSE BIBS, WATER TRUCK AND / OR WATERING BAGS AT VOLUMES SPECIFIED.

MINIMUM 3 MONTH ESTABLISHMENT PERIOD SHALL REQUIRE WATERING EVERYDAY FOR THE FIRST MONTH, EVERY OTHER DAY FOR THE SECOND MONTH AND TWICE A WEEK FOR THE THIRD MONTH UNTIL ALL MATERIAL IS ESTABLISHED. SEE WATERING TABLE.



LANDSCAPE BACKFILLING DETAIL

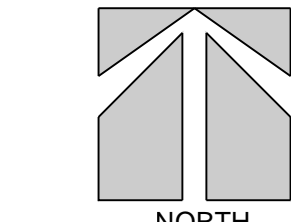
AS DEFINED IN SEC. 4.6.16.(H)(3)(n)



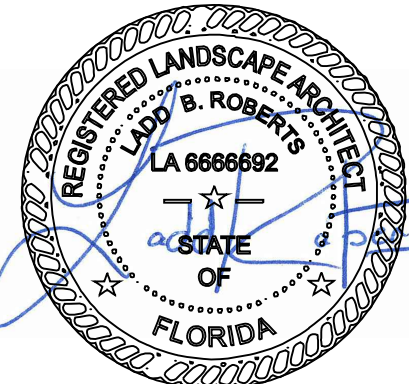
820 SE 5th AVENUE

BEACH DOG DAYCARE

820 SE 5TH AVE
DELRAY BEACH, FL 33483



SCALE: 1/8" = 1'-0"



LANDSCAPE PLAN

DATE: 4.4.22

REVISIONS:

No.	Date	Notes
1.	XX.XX.XX	XXXX

APPROVAL DOCUMENTS

SHEET NUMBER:

L-1

JOB #: 21007 DRAWN BY: LBR

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