DEFILIPPIS' RESIDENCE

249 ROYAL CT. DELRAY BEACH, FL. 33444

LIST OF DRAWINGS:

CS.I COVER SHEET SPI.I SITE PLAN & SCHEDULES A I. I FIRST FLOOR PLAN A4.1 ELEVATIONS A4.2 ELEVATIONS

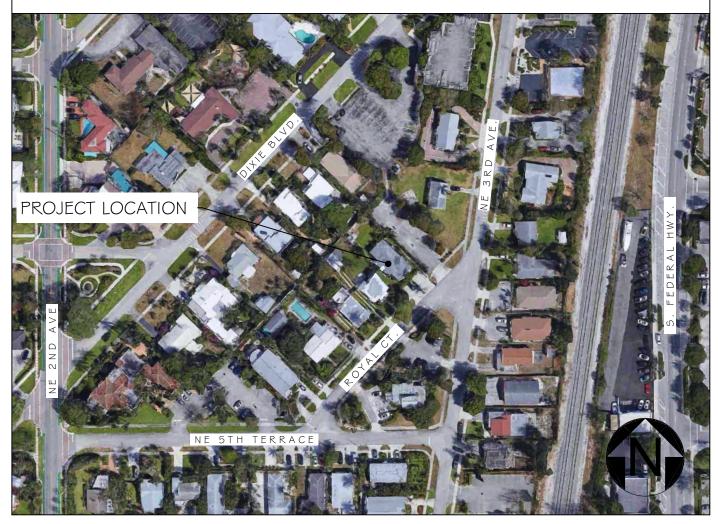
GENERAL NOTES:

I. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN

CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH

ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

LOCATION MAP:



ARCHITECTURAL RENDERING:



ABBREVIATIONS:

HARDENER

H.C. HOLLOE CORE ACOUSTICAL TILE H.M. HOLLOW METAL **ADJUSTABLE** H.V.A.C. HEATING, VENTILATION. \$ AIR ANCHOR BOLT CONDITIONING AIR CONDITIONING INSULATION INSUL. ABOVE FINISH FLOOR INVERT **ALUMINUM** LAM. LAMINATED ALTERNATE MAT. MATERIAL BOARD M.C. MECHANICAL CONTRACTOR BUILDING MAN HOLE BENCH MARK MLDG. MOLDING BRIDGING OR BEARING MTL. MET. METAL CENTER TO CENTER MINIMUM CENTER LINE M.T. METAL THRESHOLD CABINET N.I.C. NOT IN CONTRACT CATCH BASIN NO. NUMBER CAST IRON NOM. NOMINAL CERAMIC ON CENTER CEILING OPENING CLEAN OUT OPEN WEB CONCRETE P.C. PLUMBING CONTRACTOR COORDINATE COLUMN PRESSURE TREADED CONTINUOUS POUNDS PER SQARE INCH DETAIL RETURN AIR DOWN DECK REQ'D REQUIRED DOWN SPOUT REIN. REINFORCING DRY WALL SPALSH BLOCK DRAWING SCHEDULE **ELECTRICAL CONTRACTOR** SECTION ELEVATION SOLID CORE ELECTRICAL S.S. STAINLESS STEEL EXISTING S.V.B. STRAIGHT VINYL BASE EXPOSED OR EXPANSION SPECIFICATION FIRE EXTINGUISHER T.O. TOP OF FINISHED FLOOR T.O.F. TOP OF FOOTING FINISH T.O.P. TOP OF PLATE FLOOR T.O.S. TOP OF STEEL FULL SIZE TYPICAL FOOT OR FEET THICK OR THICKNESS FOOTING TOUNGUE AND GROOVE GENERAL CONTRACTOR V.C.T. VINYL COMPOSITION TILE GLASS OR GLAZING V.C.B. VINYL COVE BASE GLAZED PAINT VERIFY IN FIELD GYPSUM HOSE BIB WROUGHT IRON HEIGHT WD.

WELDED WIRE FABRIC

WALL LEGEND:

EXISTING CMU WALL

EXISTING INTERIOR WALL

EXISTING FIRE RATED PARTITION WALL

CMU WALL

CMU WALL, W/ ONE SIDE Ix PT FURRING & GYPSUM BOARD

CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD

CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD

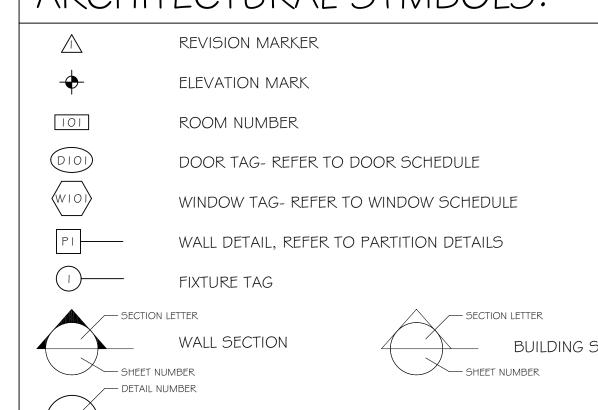
PARTITION WALL (PARTTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD \$ 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL

PARTITION WALL (PARTTY WALL)- CMU WALL, W/ 2x PT FURRING \$ 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL

ZZZZZ INTERIOR WALL

E--- INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:



DESIGN TEAM:

OWNER:

ARCHITECT:

(561) 880-7894

ANDREW DEFILIPPIS

1006 SW 26TH AVE

BOYNTON BEACH, FL 33426

STEVE SIEBERT ARCHITECTURE

466 N. FEDERAL HIGHWAY

BOYNTON BEACH, FL 33435

STEVE@STEVESIEBERT.COM

ROOF SYSTEM WITH A NEW ROOF SYSTEM.

PROJECT DESCRIPTION:

THE PROJECT CONSISTS ON A REPLACEMENT OF AN EXISTING DAMAGED

FLORIDA

STEVE SIEBERT

ARCHITECTURE

BOYNTON BEACH, FL 33435

PH. 561.880.7894 Steve@stevesiebert.com

STEVEN W. SIEBERT

NEW JERSEY 21AI01517500

#Project Status

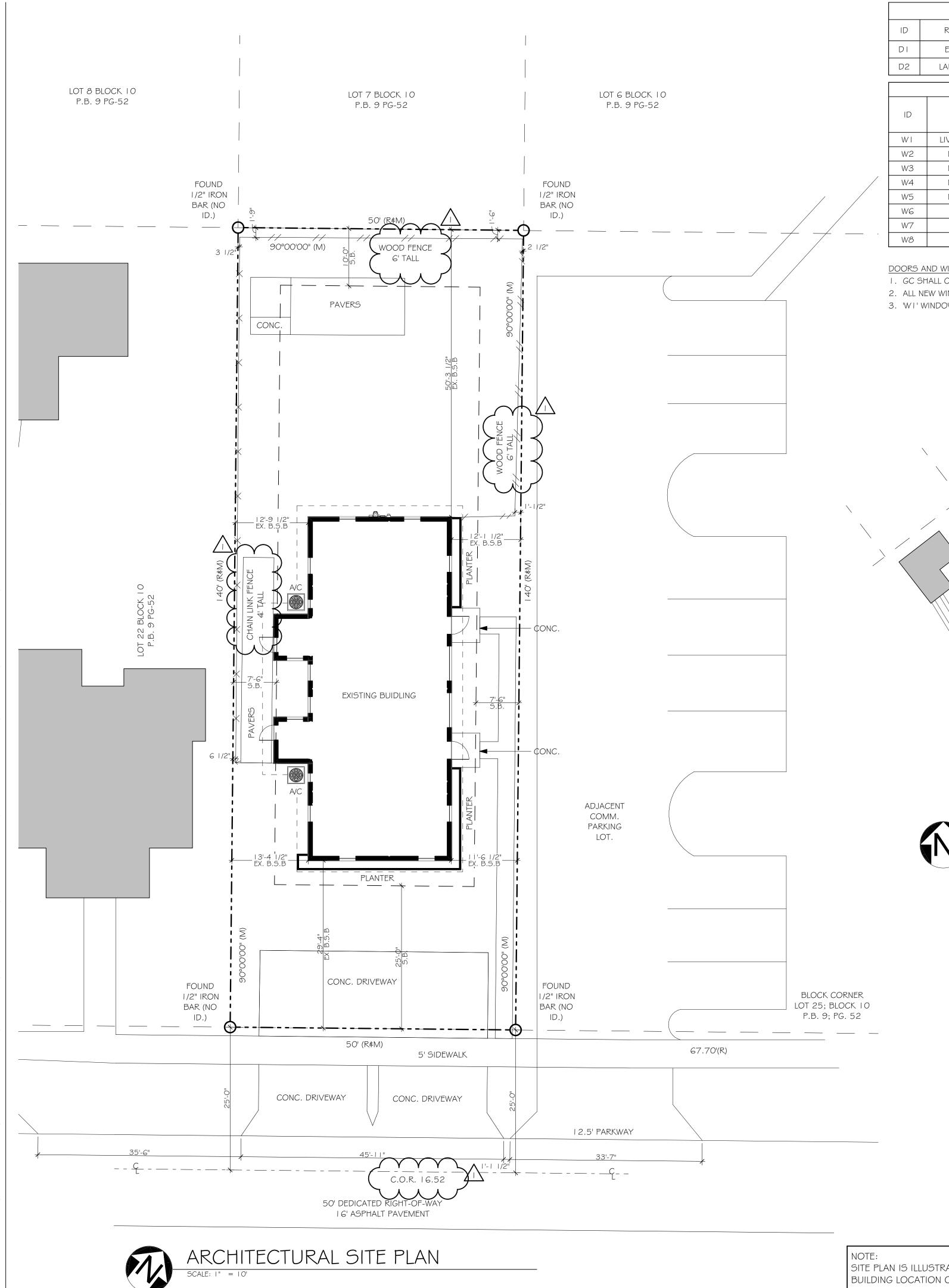
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PROJECT NO: 22-424 03/29/22 DRAWN BY:

S.S. CHECKED BY: REVISIONS:

COVER SHEET



DOOR SCHEDULE: REQUIRED APPROVED PRODUCT HRDWR GROUP COLOR HT GLAZING ROOM COMMENTS MATERIAL PRESSURES (PSF PRESSURES (PSF APPROVAL PER NOA 1-3/4" GLASS. SEE PLANS 20.701.5 | CLEAR, IMPACT | FULL GLASS KEYED WHITE 2'-8" | 6'-8" | 1-3/4" F.G. 15210.1 G-PANEL DOOR | KEYED | WHITE LAUNDRY SEE PLANS PER NOA

WINDOW SCHEDULE:													
ID	ROOM	W	HT	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	GLAZING	TYPE	EGRESS	MATERIAL	COLOR	COMMENTS
WI	LIVING ROOM	6'-2"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Υ	ALUM.	WHITE	
W2	B. ROOM	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W3	B. ROOM	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W4	B. ROOM	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W5	B. ROOM	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W6	BATH	1'-8"	3'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W7	LAUNDRY	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.	CLEAR, IMPACT	SINGLE HUNG	Y	ALUM.	WHITE	
W8	KITCHEN	3'-0"	4'-4"	PER PLAN	PER NOA	18.0430.06	SEE ELEV.		SINGLE HUNG	Y	ALUM.	WHITE	

DOORS AND WINDOWS NOTES:

- I. GC SHALL COORDINATE OPENINGS W/ DOOR OR WINDOW MANUFACTURER.
- 2. ALL NEW WINDOWS \$ DOORS SHALL BE IMPACT RATED.
- 3. 'WI' WINDOW REPRESENTS ALL OF THE DORMER WINDOWS AS THEY ARE ALL THE SAME SIZE AND DIMENSION.

D.E.

L.A.E. L.M.E.

S.B.

B.S.B

E.O.W.

L.B.E.

CB.

R.O.W

OR A LICENSED CIVIL ENGINEER.

DRAWING ABBREVIATIONS

UTILITY EASEMENT

BUILDING SETBACK

PROP. B.S.B. PROPOSED BUILDING SET BACK

RIGHT OF WAY

CATCH BASIN

NOTE: THE ARCHITECT OF RECORD IS NOT

RESPONSIBLE FOR ANY SURVEY/CIVIL WORK OR ANY DRAWINGS THAT HAVE BEEN INSERTED INTO THIS SET OR ANY LACK OF. THIS INCLUDES, BUT

IS NOT LIMITED TO, THE EXISTING CONDITIONS

OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS,

PROPERTY LINE LOCATIONS, EXISTING VEGETATION, ETC. ALL FINISH FLOOR ELEVATIONS

SHALL BE CONFIRMED BY THE ADJUDICATING CITY

EDGE OF WATER

SETBACK

DRAINAGE EASEMENT

LIMITED ACCESS EASEMENT

LAKE MAINTENANCE EASEMENT

LANDSCAPE BUFFER EASEMENT



PROJECT & OWNER INFORMATION:

OWNER: ANDREW DEFILIPPIS

249 ROYAL CT.

HISTORIC: DEL-IDA PARK HISTORIC DISTRICT

ZONING AND CODE INFORMATION:

ZONING: RO - RO - RESIDENTIAL/OFFICE (12-DELRAY BEACH)

CURRENT USE: 0801 - MULTIFAMILY < 10 UNITS-COMM ZONING PROPOSED USE: 0801 - MULTIFAMILY < 10 UNITS-COMM ZONING

FLOOD ZONE: ZONE-X

FBC-2020 BUILDING CODE \$ FBC-2020 7TH EDITION RESIDENTIAL FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020

SITE/LAND DATA	: REQUIRED	PROPOSED	EXISTING
TOTAL SITE AREA:	+/-7,000 SF (AF	PROX .0.16 AC)	
MIN. LOT SIZE:	8,000 SF	EXISTING	+/-7,000 SF
MIN. LOT WIDTH:	80'	EXISTING	50'
MIN. LOT DEPTH:	100'	EXISTING	140'
LOT FRONTAGE:	80'	EXISTING	50'
MIN. FLOOR AREA:	N/A	EXISTING	1.660 SF
MAX. LOT COVERAGE:	40%	EXISTING	23.7% (1,660 SF)
MAX. IMPERVIOUS	75%	EXISTING	18% (1,257 SF)
MIN. OPEN SPACE:	25%	EXISTING	82% (5,743 SF)
MAX. HEIGHT:	35'	10'	8'-10"

SETBACKS:	REQUIRED	EXISTING HOUSE	PROPOSED HOUSE
FRONT(SOUTH):	25'	30'	EXISTING
REAR (NORTH):	10'	50'	EXISTING
SIDE INTERIOR (WEST):	71/2'	13'	EXISTING
SIDE INTERIOR (EAST):	71/2'	12'	EXISTING

BUILDING DATA:

EXISTING HOUSE (UA)=	1,500 SF
TOTAL EXISTING SF=	1,660 SF

NOTE: SCOPE IS FOR ROOF ONLY. NO SF IS AFFECTED.

DELRAY BEACH, FL. 33444

12-43-46-09-29-010-0230

DEL IDA PARK LT 23 BLK 10 (DEL-IDA PARK HISTORIC DISTRICT) LEGAL:

CONSTRUCTION TYPE: III-B

FLORIDA BUILDING CODE:

FLORIDA FIRE PREVENTION CODE, 5TH EDITION NEC NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE

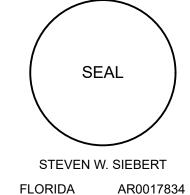
FS= FLORIDA STATUES

SIIE/LAND DATA:	REQUIRED	PROPOSED	EXISTING
TOTAL SITE AREA:	+/-7,000 SF (API	PROX .0.16 AC)	
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MAX. IMPERVIOUS	75%	EXISTING	18% (1,257 SF)
MIN. OPEN SPACE:	25%	EXISTING	82% (5,743 SF)
MAX. HEIGHT:	35'	10'	8'-10"
SFTBACKS:	PEOLUPED.	EXISTING	PROPOSED

DE INTERIOR (EAST):	71

SITE PLAN IS ILLUSTRATIVE \$ IS SHOWN FOR BUILDING LOCATION ONLY.





NEW JERSEY 21AI01517500 TEXAS 26934

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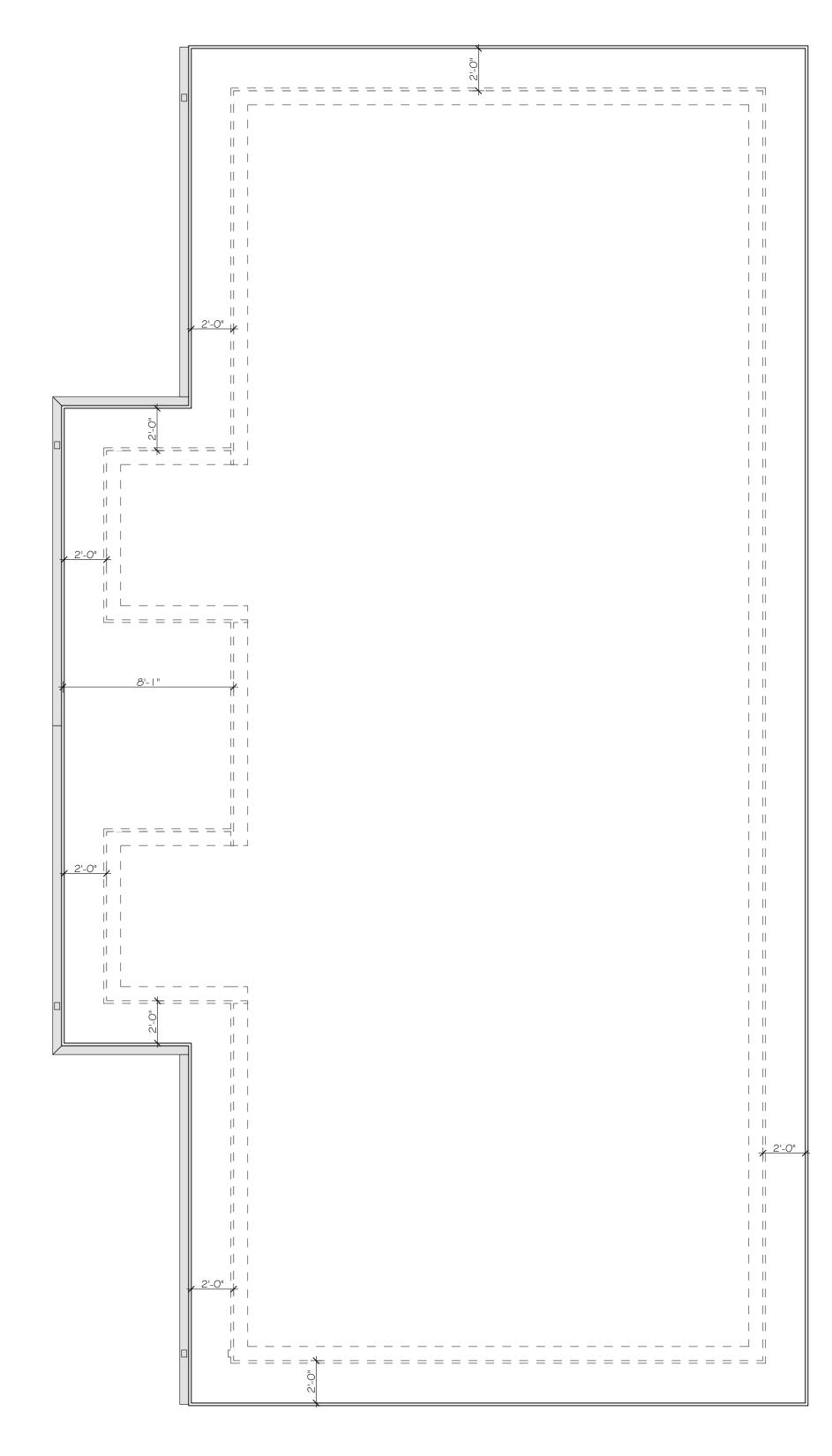
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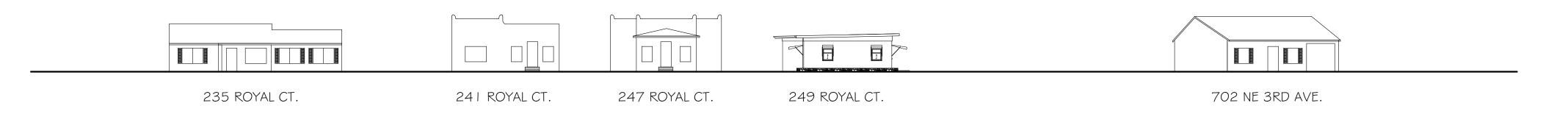
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SITE PLAN & SCHEDULES









HISTORIC STREETSCAPE

SEAL STEVEN W. SIEBERT FLORIDA AR0017834 NEW JERSEY 21AI01517500 TEXAS 26934

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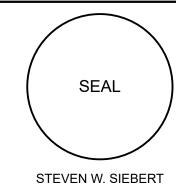
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FIRST FLOOR PLAN



ARCHITECTURE 466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 PH. 561.880.7894 Steve@stevesiebert.com www.stevesiebert.com



FLORIDA

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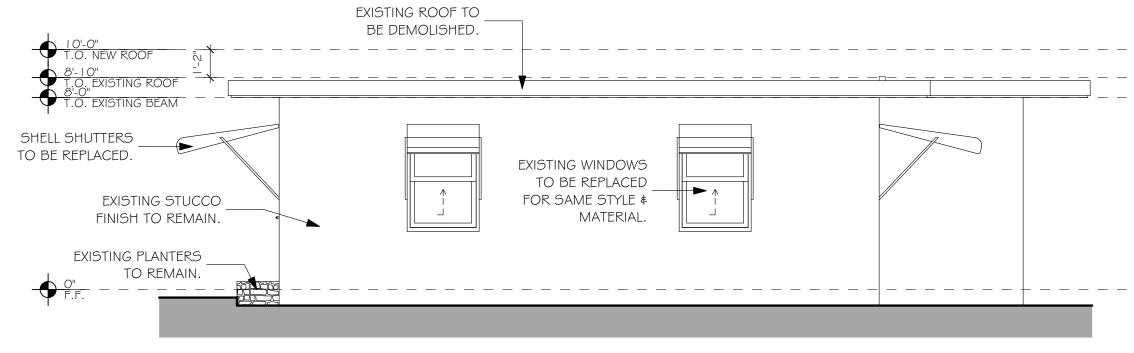
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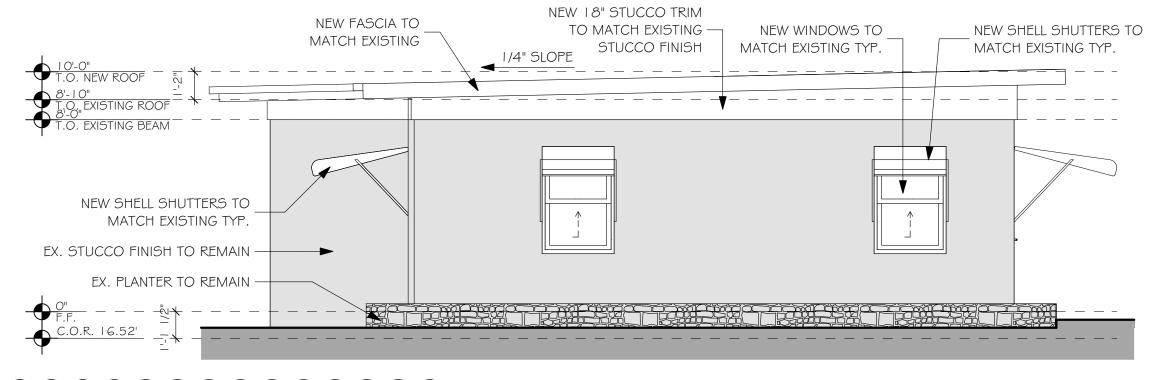
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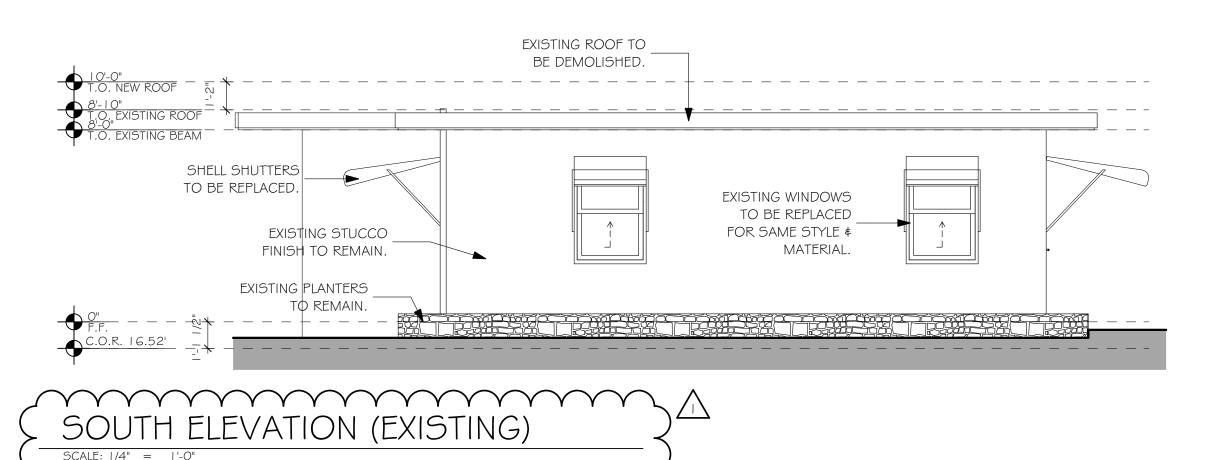
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ELEVATIONS



NORTH ELEVATION (EXISTING)







PERSPECTIVE A



PERSPECTIVE C



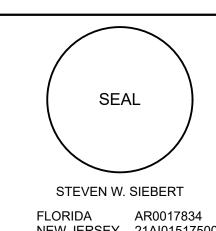
PERSPECTIVE B SCALE: 1:150.92





ARCHITECTURE 466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 PH. 561.880.7894

> Steve@stevesiebert.com www.stevesiebert.com



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ELEVATIONS











SCALE: 1:6.32



BUILDING SECTION

SCALE: 1:5.35



4 BUILDING SECTION
SCALE: 1:5.35



SCALE: 1:6.32



BUILDING SECTION

SCALE: 1:5.35



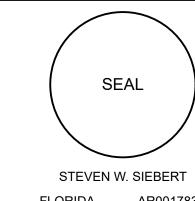
5 BUILDING SECTION

SCALE: 1:5.35



STEVE SIEBERT ARCHITECTURE

466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 PH. 561.880.7894 Steve@stevesiebert.com www.stevesiebert.com



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EXISTING VIEWS & KEY