

EXTERIOR DOOR SCHEDULE							
MARK	SIZE		TYPE	MATERIAL	ROOM NAME	GLASS COLOR	FRAME COLOR
	WIDTH	HEIGHT					
D1	20'-0"	7'-0"	Overhead	Metal	New Garage		White
D2	3'-0"	6'-8"	Swing	Metal	New Garage		White

NOTES:

- SIZES LISTED AS FOOT/INCHES/FOOT/INCHES.
- ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION. ANY QUESTIONS OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO FABRICATION.
- HARDWARE IS TO SELECTED BY OWNER OR INTERIOR DESIGNER.
- DOORS QUANTITIES VERIFIED BY OTHERS. TEMPER GLASS AS REQUIRED.
- ALL EXTERIOR DOORS/WINDOWS TO BE IMPACT RESISTANT WITH PRODUCT CODE APPROVALS.
- ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURERS CUT SHEET/PRODUCT APPROVALS)
- ALL EGRESS WINDOWS IN SLEEPING ROOM SHALL COMPLY WITH FBC-R 310.2. SHOULD HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ FT., 5.0 SQ FT ON GRADE LEVEL. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F., WIDTH SHALL BE 20" MIN. CLEAR OPEN AND NET CLEAR HEIGHT OF 24 IN. AND 20 IN. NET CLEAR WIDTH. (G.C. TO VERIFY WITH MANUFACTURER)
- ALL GLASS SHOULD BE CLEAR (NO TINT) AND NON REFLECTIVE.
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH FBC-R4501.17.1.9
- ALL WINDOWS/DOORS SHALL COMPLY WITH FBC 5TH EDITION (2020)

PROVIDE WINDOW FLASHING CONSISTING OF WINDOWSEAL™40 OR EQUAL. WINDOWSEAL™40 IS A 40 MIL SELF-ADHERING, SELF-SEALING CONSTRUCTION TAPE CONSISTING OF RUBBERIZED ASPHALT WATERPROOFING COATING, LAMINATED TO AN EXTRA HIGH STRENGTH POLYETHYLENE FILM BACKING

NOTE:  
SEE STRUCTURAL ENGINEER DRAWINGS FOR REQUIRED DOOR & WINDOW PRESSURES.

ROUGH OPENING WINDOW/DOOR GENERAL NOTE:

- ROUGH OPENINGS FOR EXTERIOR WINDOWS ARE A TOTAL OF 3-1/4" WIDER AND 3-1/4" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.
- ROUGH OPENINGS FOR EXTERIOR DOORS ARE A TOTAL OF 3-1/4" WIDER AND 2" LONGER VERTICALLY (EQUALLY SPACED SIDE TO SIDE AND TOP TO BOTTOM) THAN THE SIZES LISTED.

AREA TABULATION

EXISTING

Ground Floor Air Conditioned Area..... 1,152 s.f.  
Covered Porch ..... 166 s.f.

PROPOSED

Garage (NON A/C)..... 544 s.f.

TOTAL FLOOR AREA

Ground Floor Air Conditioned Area (No change)..... 1,152 s.f.  
Covered Porch area (No change)..... 166 s.f.  
Garage ..... 544 s.f.

Site Area..... 4,947 s.f. 100%  
Impervious ..... 2,969 s.f.  
Pervious (open space)..... 1,978 s.f.

BUILDING DESIGN DATA

Occupancy: R-3  
Type of Construction: V-B (Unprotected), Unsprinklered

FLOOD ZONE: "AE" (Base Floor Elevation 6.0')

PROPERTY DATA:

Parcel Control Number

1 2 - 4 3 - 4 6 - 1 6 - 1 4 - 0 0 5 - 0 0 4 1

Official Records Book: 31345 / 1389

Legal Description

JOHN B REIDS VILLAGE S 20.5 FT OF N 59.62 FT OF E 38.64 & S  
40.05 FT OF LT 4 BLK E (NASSAU ST HISTORIC DIST)

Zoning

RM - Multiple Family (HISTORIC DISTRICT)

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020.
- FLORIDA BUILDING CODE 2020 EXISTING EDITION.
- A.C.I. 318-11 FOR REINFORCED CONCRETE.
- A.S.T.M. STANDARDS AND SPECIFICATIONS. AMERICAN SOCIETY FOR TESTING AND MATERIALS.
- NATIONAL PEST CONTROL ASSOCIATION STANDARDS.
- FLORIDA ACCESSIBILITY CODE 2020.

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ARCHITECTURE

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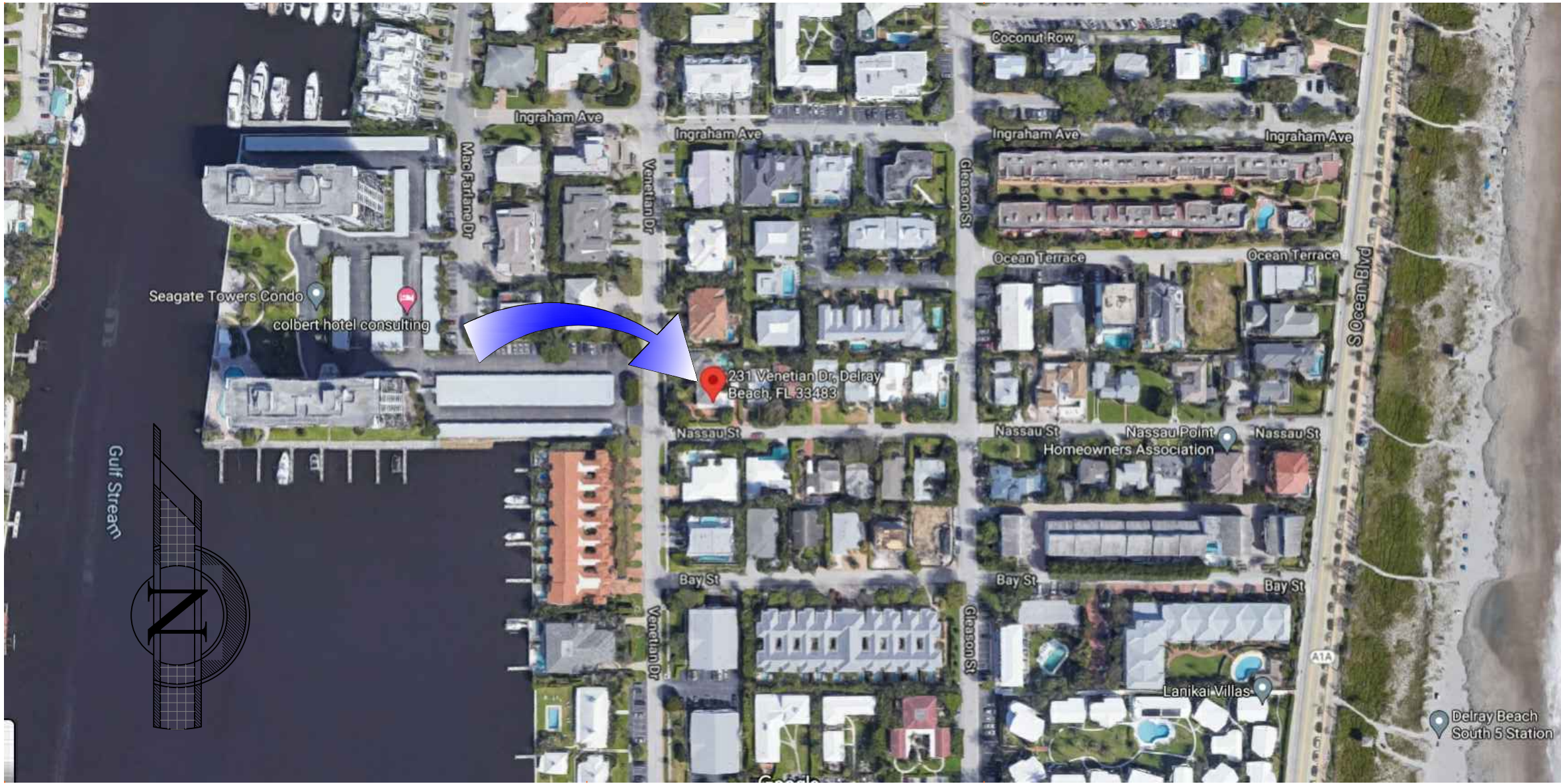
BECKWORTH HOUSE

231 VENETIAN DRIVE

DELRAY BEACH, FLORIDA



VICINITY MAP



DESIGN CRITERIA AND LOADS

BUILDING DESIGNED AS:	ENCLOSED
WIND EXPOSURE CLASSIFICATION:	C
WIND SPEED DESIGN:	170 MPH (3 sec. gust)
INTERNAL PRESSURE COEFFICIENT	±0.18
Kd	0.85
MAXIMUM ROOF HEIGHT	12.0'
MEAN ROOF HEIGHT	10.0'
ROOF LIVE LOAD:	30 PSF
TOP CHORD DEAD LOAD:	15 PSF
BOT CHORD DEAD LOAD:	10 PSF
IMPORTANCE/USE FACTOR:	1.0
BUILDING CATEGORY	II
MIN. SOIL BEARING PRESSURE:	
SHUTTERS:	NO
IMPACT RESISTANT ASSEMBLY:	YES
IS A CONT. LOAD PATH PROVIDED	YES
ARE COMPONENT & CLADDING DETAILS PROVIDED	YES

ZONE 4 = +49.16 PSF, -53.51 PSF  
ZONE 5= +49.16 PSF, -64.38 PSF  
SEE ROOF, WIND ZONE PRESSURE DIAGRAM FOR ZONE LAYOUT, SIZE AND PRESSURE.

PROJECT TEAM

ARCHITECTURE  
JSR DESIGN GROUP  
ONE WEST CAMINO REAL,  
BOCA RATON FL 33432  
(561) 362-7203

SURVEYOR  
BASELINE LAND SURVEY  
1400 NW 1ST COURT,  
BOCA RATON FL 33432  
(561) 417-0700

LANDSCAPE  
AGTLAND  
132 NORTH SWINTON AVE,  
DELRAY BEACH FL 33444  
(561) 276-5050

GENERAL CONTRACTOR  
NATE CUSTODIO (MARACORE BUILDERS)  
132 N SWINTON AVENUE  
DELRAY BEACH, FL 33444  
(561) 715-5050

CIVIL  
ENVIRO DESIGN ASSOCIATES (JOE PIKE)  
298 PINEAPPLE GROVE WAY  
DELRAY BEACH, FL 33444  
(561) 274-6500

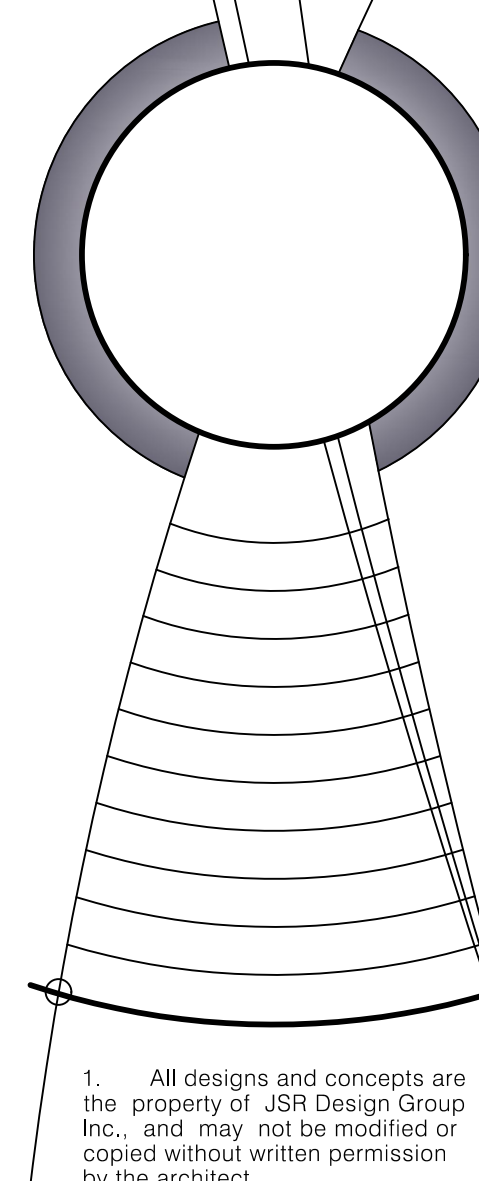
CALL before you dig.  
811 or 1-800-432-4770  
or visit  
www.callsunshine.com



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DELRAY BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSE# AR95171

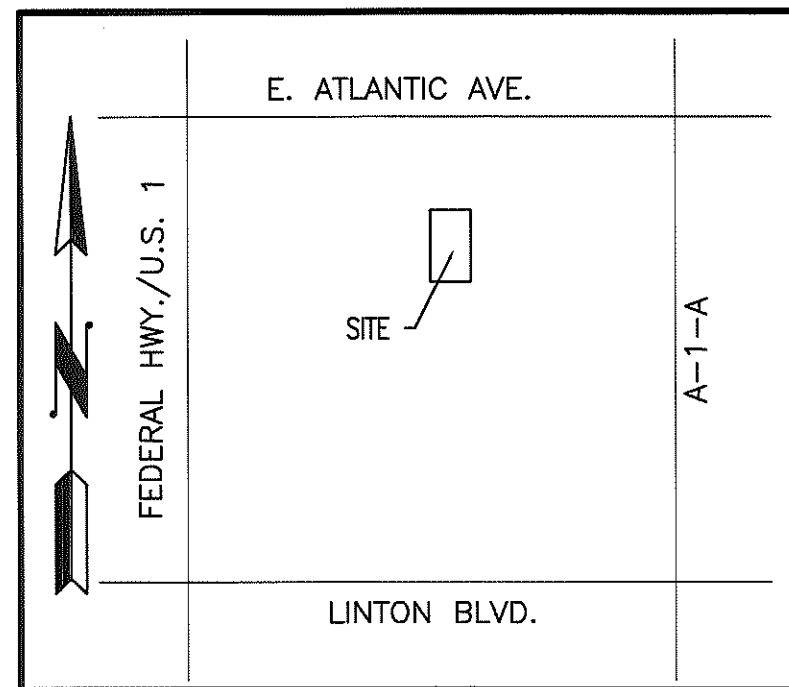
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13022

CS0



## LOCATION MAP

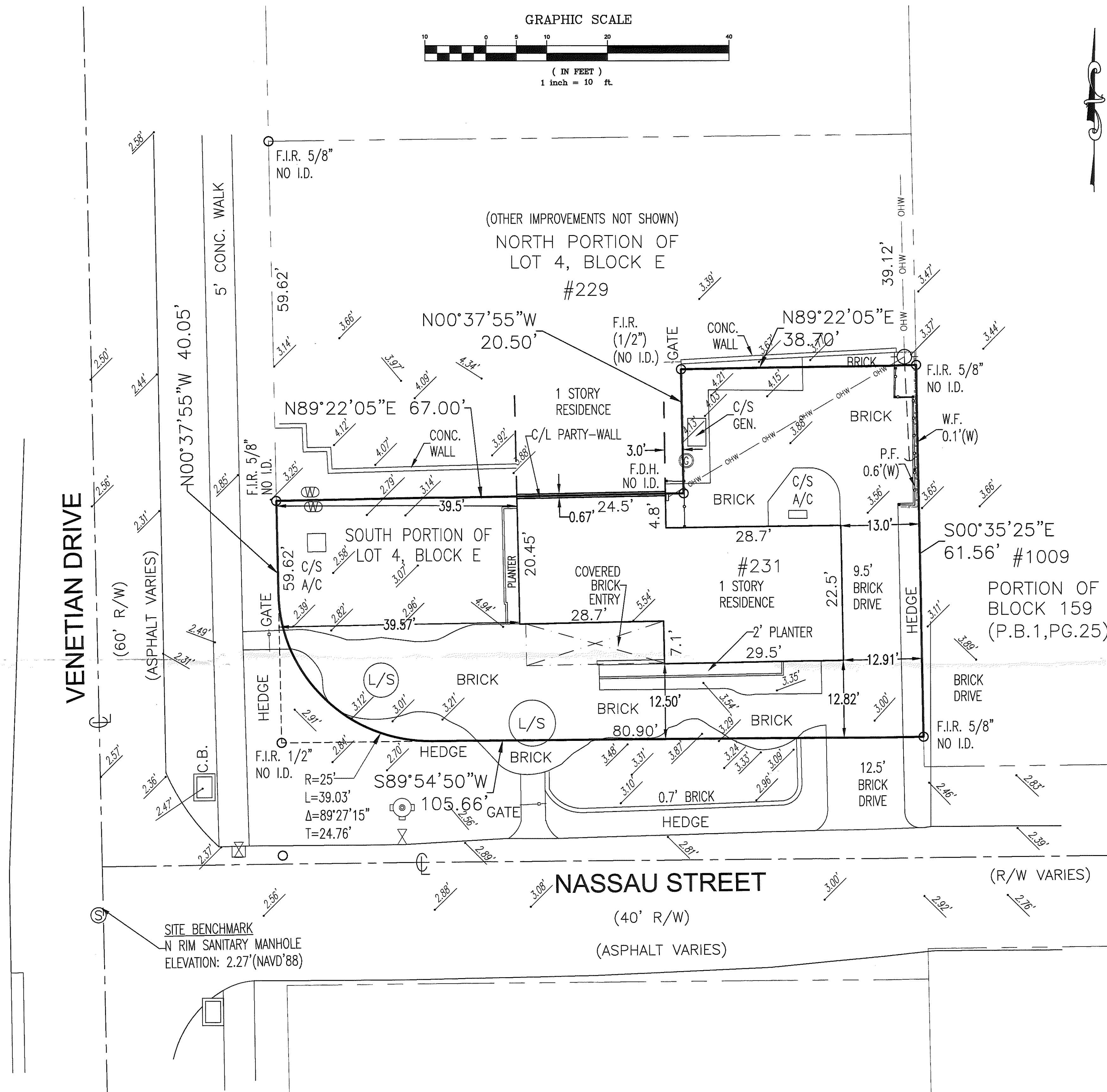
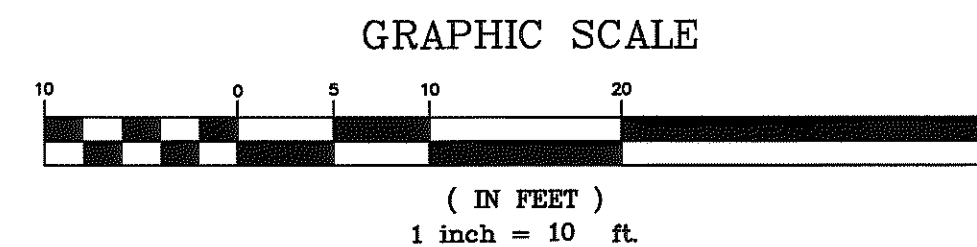
NOT TO SCALE

### LEGEND

A/C = AIR CONDITIONER  
B.R.L. = BUILDING RESTRICTION LINE  
C.B. = CATCH BASIN  
C.B.S. = CONCRETE BLOCK STRUCTURE  
C = CALCULATED  
C = CENTER LINE  
CH = CHORD  
C/S = CONCRETE SLAB  
CONC. = CONCRETE  
Δ = DELTA (CENTRAL ANGLE)  
D.E. = DRAINAGE EASEMENT  
E., ELEV. = ELEVATION  
F. = FOUND  
F.D.H. = FOUND DRILL HOLE  
F.F. = FINISHED FLOOR  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND IRON ROD  
F.I.R.C. = FOUND IRON ROD AND CAP  
L = ARC LENGTH  
L.B. = LICENSED SURVEY BUSINESS  
LS = LICENSED SURVEYOR  
L/S = LIFT STATION  
M = MEASURED  
NO I.D. = NO IDENTIFICATION  
N/A = NOT APPLICABLE  
P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER  
NAVD'88 = NORTH AMERICAN VERTICAL DATUM OF 1988  
NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM OF 1929  
ISAOA = ITS SUCCESSORS AND/OR ASSIGNS  
ATIMA = AS THEIR INTEREST MAY APPEAR  
P = PLAT  
P.B.C. = PALM BEACH COUNTY  
P.B. = PLAT BOOK  
P.C. = POINT OF CURVATURE  
P.K. = PARKER KALON COMPANY  
D = DEED  
0.00'x = SPOT ELEVATION  
P.R.C. = POINT OF REVERSE CURVATURE  
PG. = PAGE  
R = RADIUS  
R/W = RIGHT OF WAY  
U.E. = UTILITY EASEMENT  
C.L.F. = CHAINLINK FENCE  
EM = ELECTRIC METER

### SYMBOL

CATCH BASIN  
WATER METER  
ANCHOR  
WOOD UTILITY POLE  
WOOD LIGHT POLE  
CONCRETE UTILITY POLE  
CONCRETE LIGHT POLE  
FIRE HYDRANT  
CABLE BOX  
ELECTRIC BOX  
TELEPHONE BOX  
WATER VALVE  
IRRIGATION VALVE  
OVERHEAD WIRE LINE (OHV)  
CHAIN LINK FENCE (C.L.F.)  
WOOD FENCE (W.F.)  
METAL FENCE (M.F.)  
PLASTIC FENCE (P.F.)  
WIRE FENCE (W.F.)



### LEGAL DESCRIPTION:

LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, AN ADDITION TO THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 21, PAGE 95. LESS THE FOLLOWING DESCRIBED PORTION:



THE NORTH 39.12 FEET OF THE NORTH 59.62 FEET AND THE WEST 67 FEET OF THE SOUTH 20.5 FEET OF THE NORTH 59.62 FEET OF THE LOT 4, BLOCK E, JOHN B. REID'S VILLAGE, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC LAND RECORDS OF PALM BEACH COUNTY, FLORIDA.

### SURVEYOR'S NOTES:

LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO (NAVD'88) UNLESS OTHERWISE NOTED.

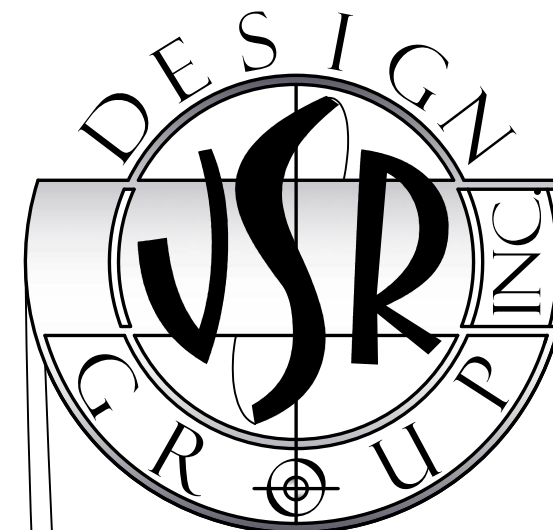
BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "17.163"  
ELEVATION: 15.617'(NAVD'88)

SHEET 1 OF 1

TITLE: <b>MAP OF BOUNDARY SURVEY</b>			SCALE: 1" = 10'	NOTES/REVISIONS	THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.    11/05/2020 Date	<div> <b>Baseline Land Survey LLC</b> 1400 N.W. 1st COURT BOCA RATON, FL. 33432 Ph.(561) 417-0700</div>	
COMMUNITY PANEL# 125102-0983-F	FLOOD ZONE: AE	BASE FLOOD EL.: 6.0' (NAVD'88)	DRAWN BY: NLR.				CHECKED BY: J.E.K.
DATE OF FIRM: 10/05/2017							JOHN E. KUJAR PSM., STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 6711 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
BASIS OF BEARING: N R/W LINE OF NASSAU STREET, SAID LINE HAVING AN ASSUMED PLAT BEARING OF S89°54'50"W.							
PROPERTY ADDRESS: 231 VENETIAN DRIVE, DELRAY BEACH, FLORIDA 33483							
				UPDATED: 10/18/20 PARTY CHIEF: NICK SURVEY DATE: 02/04/20			

JOB NO.: 20-02-015		LB-8229
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LEVEL 2 ALTERATION  
BECKWORTH HOUSE  
231 VENETIAN DRIVE  
DELRAY BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSE# AR95171

JSR DESIGN GROUP INC.  
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13022

SP1

LEGEND

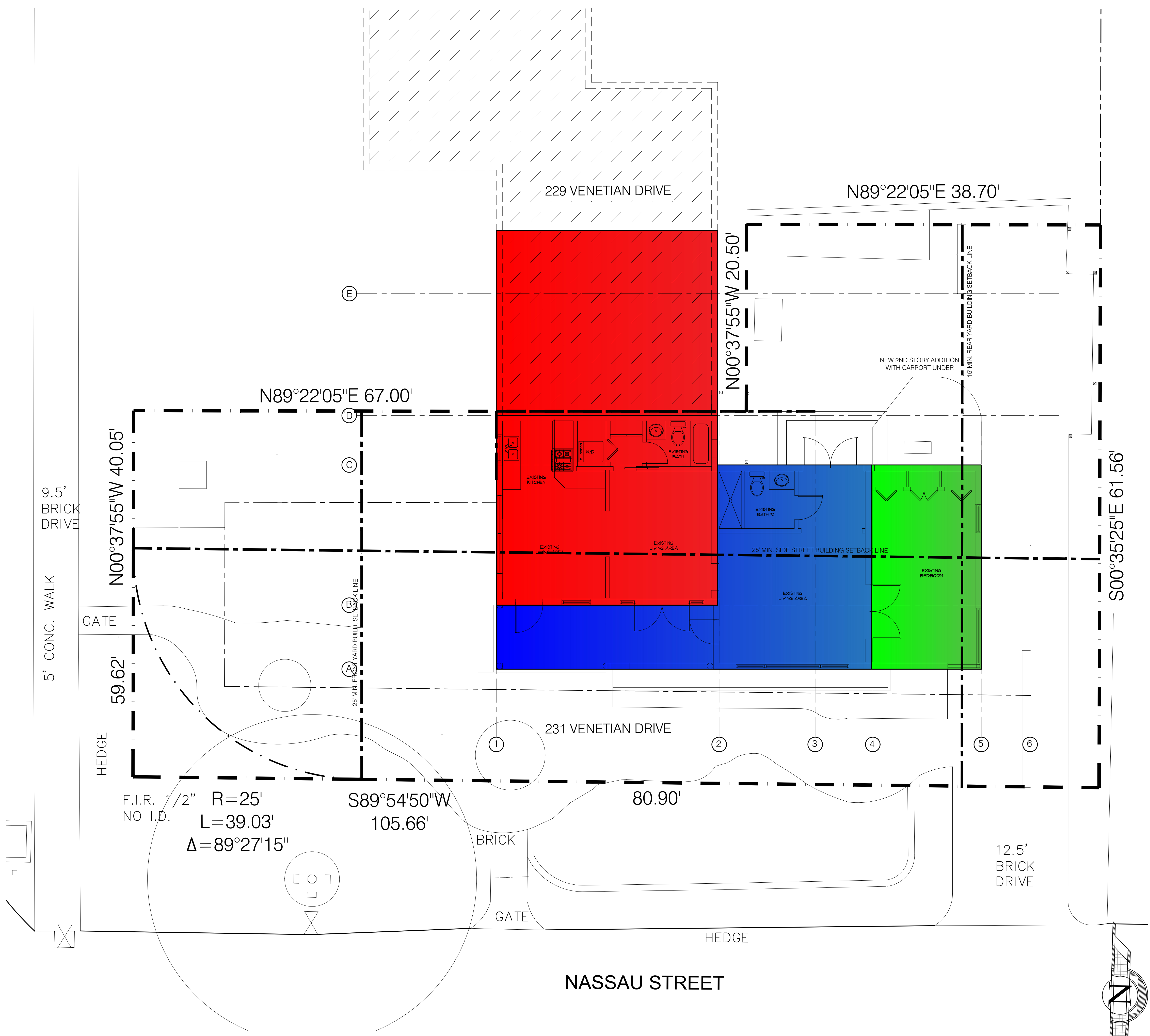
1949 ORIGINAL PERMIT (Floor Plan consists on a mirror layout of two independent units that connect thru a kitchen door, both kitchens have a range and a sink)

1950 ADDITION (New Living Area, bathroom and closet along with a new exterior door on north wall, new covered porch facing Nassau)

1962 ADDITION (Current bedroom area on west side of the house is added.)

2020 PROPOSED ADDITION (New Two Car Garage and New BBQ covered trellis.

 Represents 229 Venetian Drive property



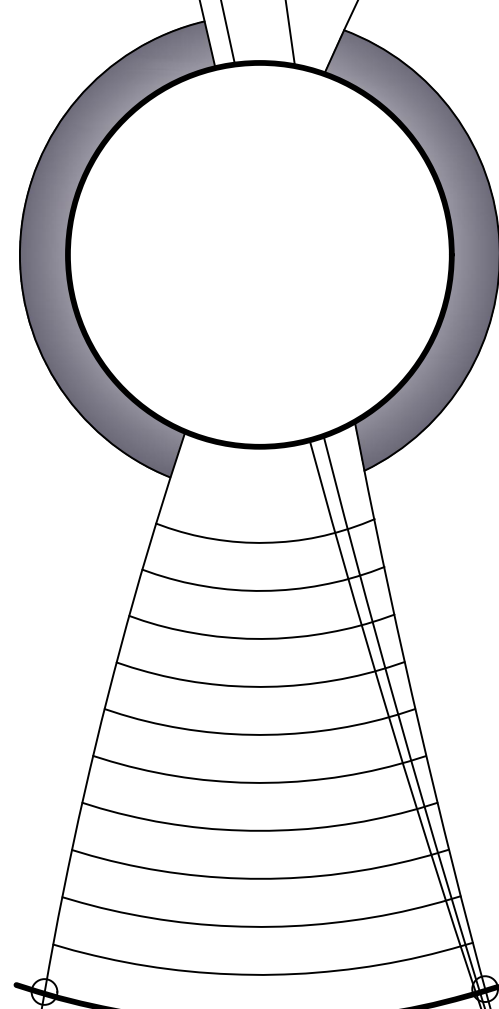
CHRONOLOGY OF ADDITIONS  
SCALE: 3/16" = 1'- 0"



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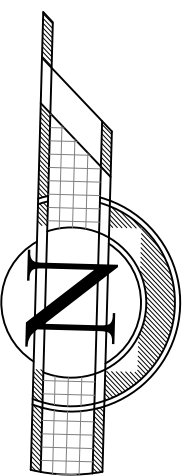
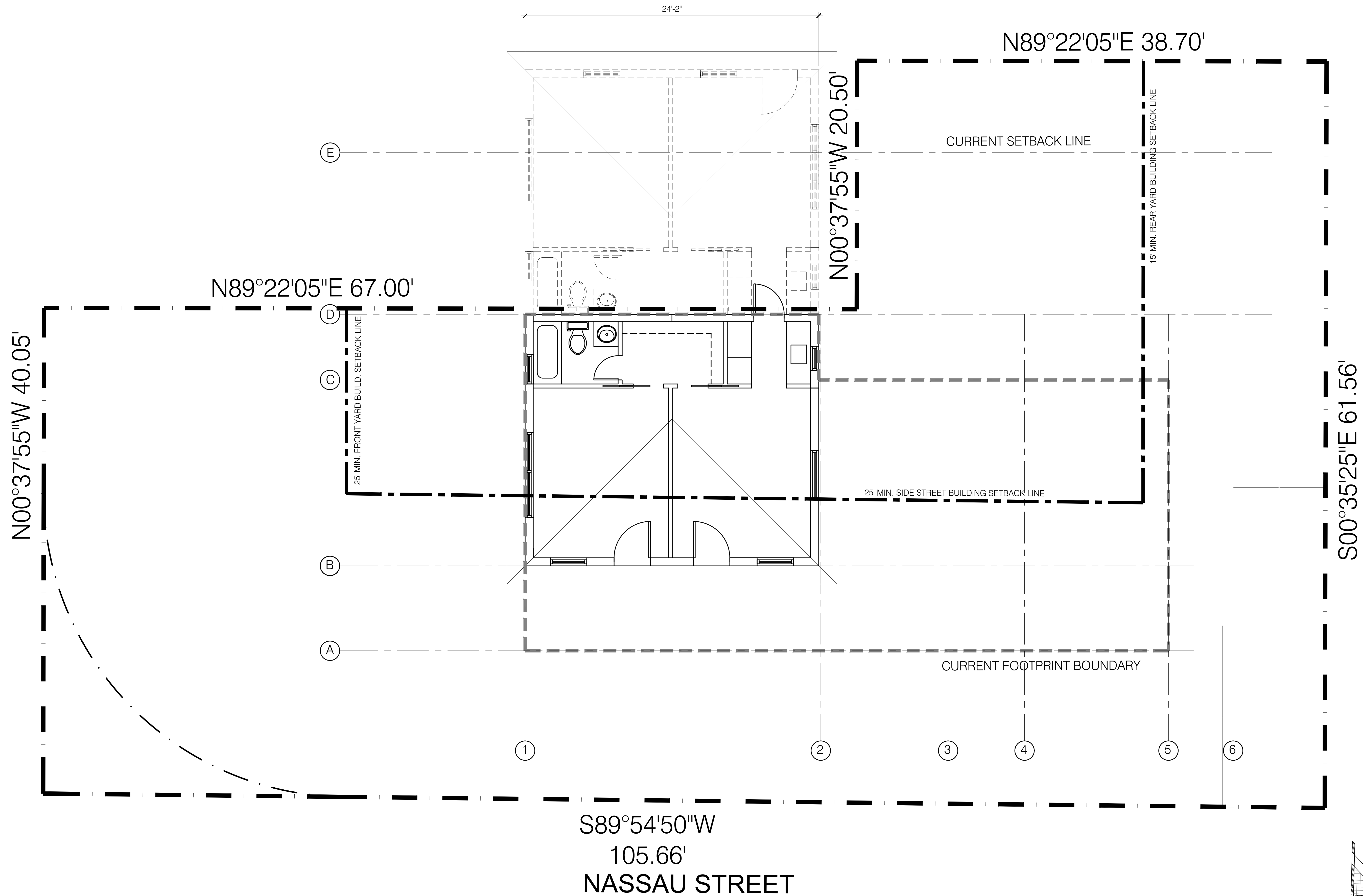
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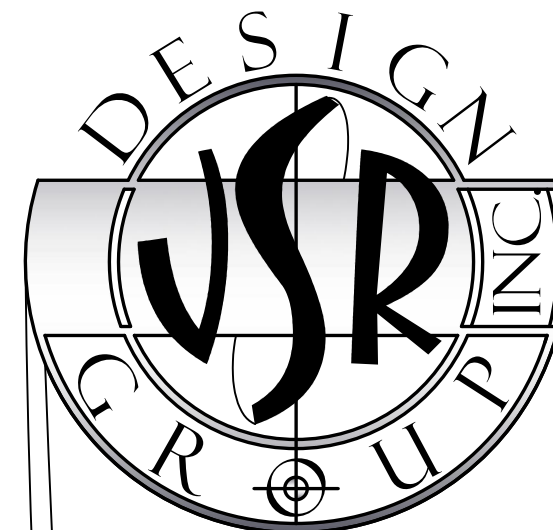
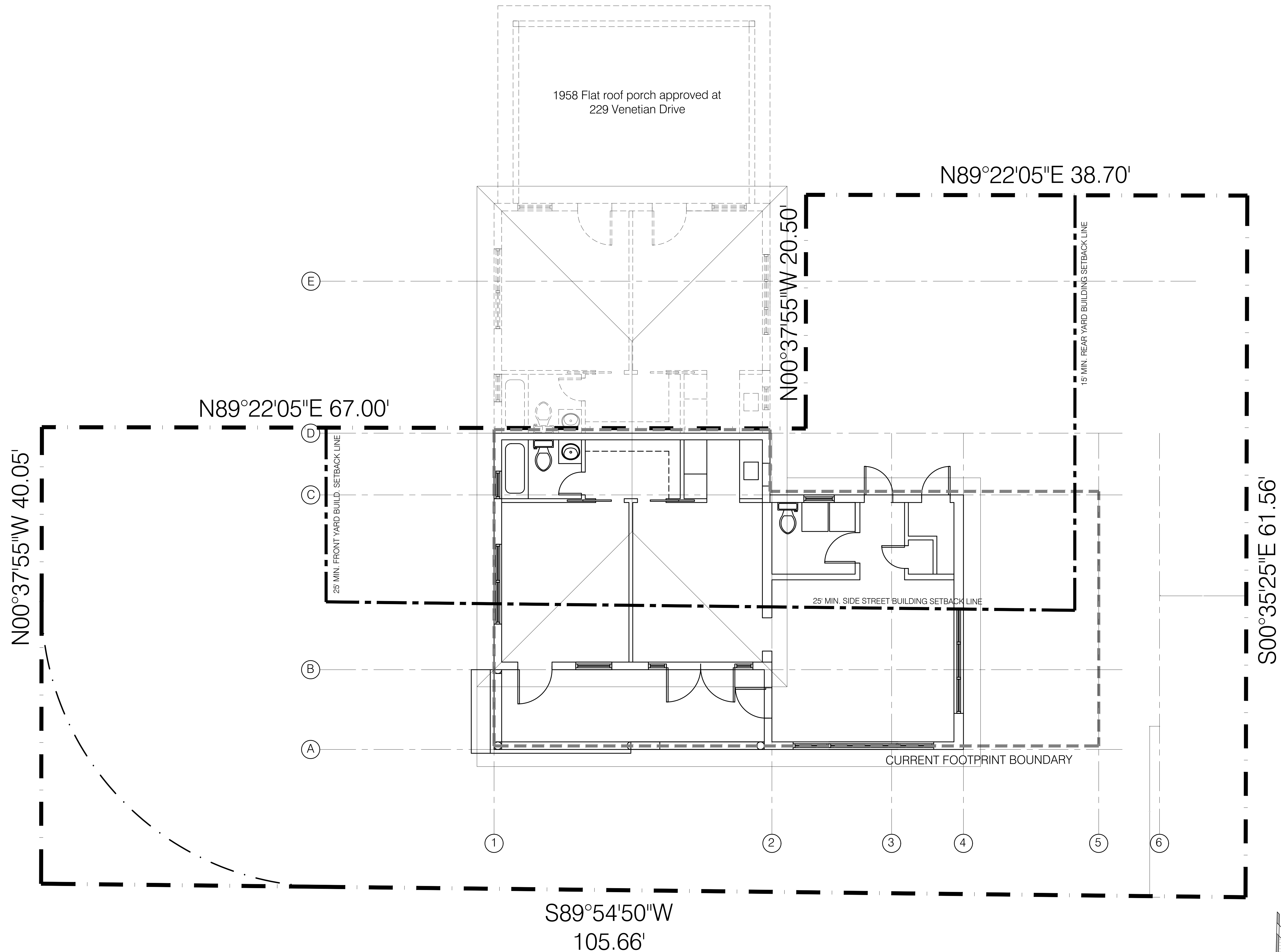
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SP2



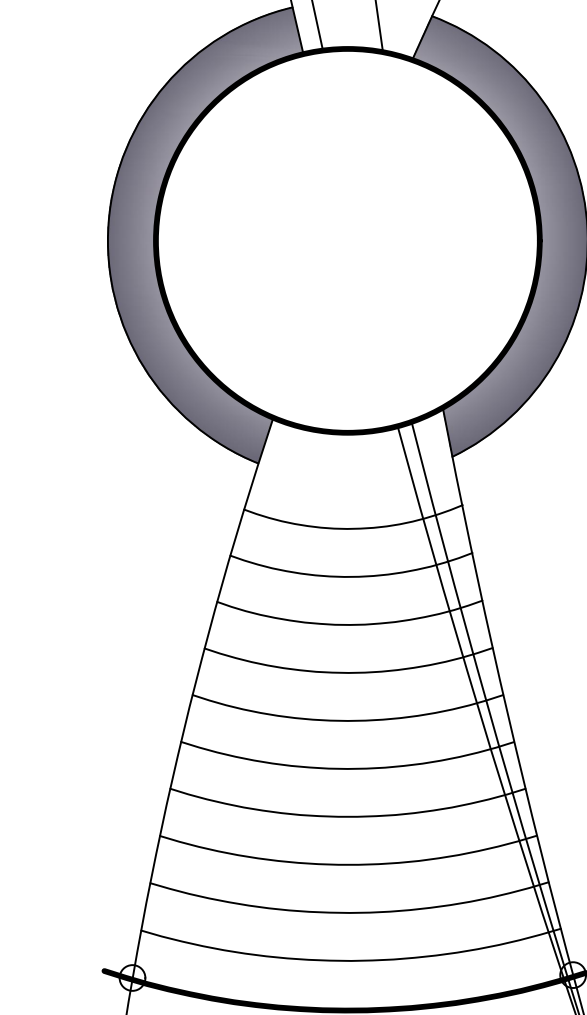
1949 ORIGINAL LAYOUT  
SCALE: 1/4" = 1'- 0"



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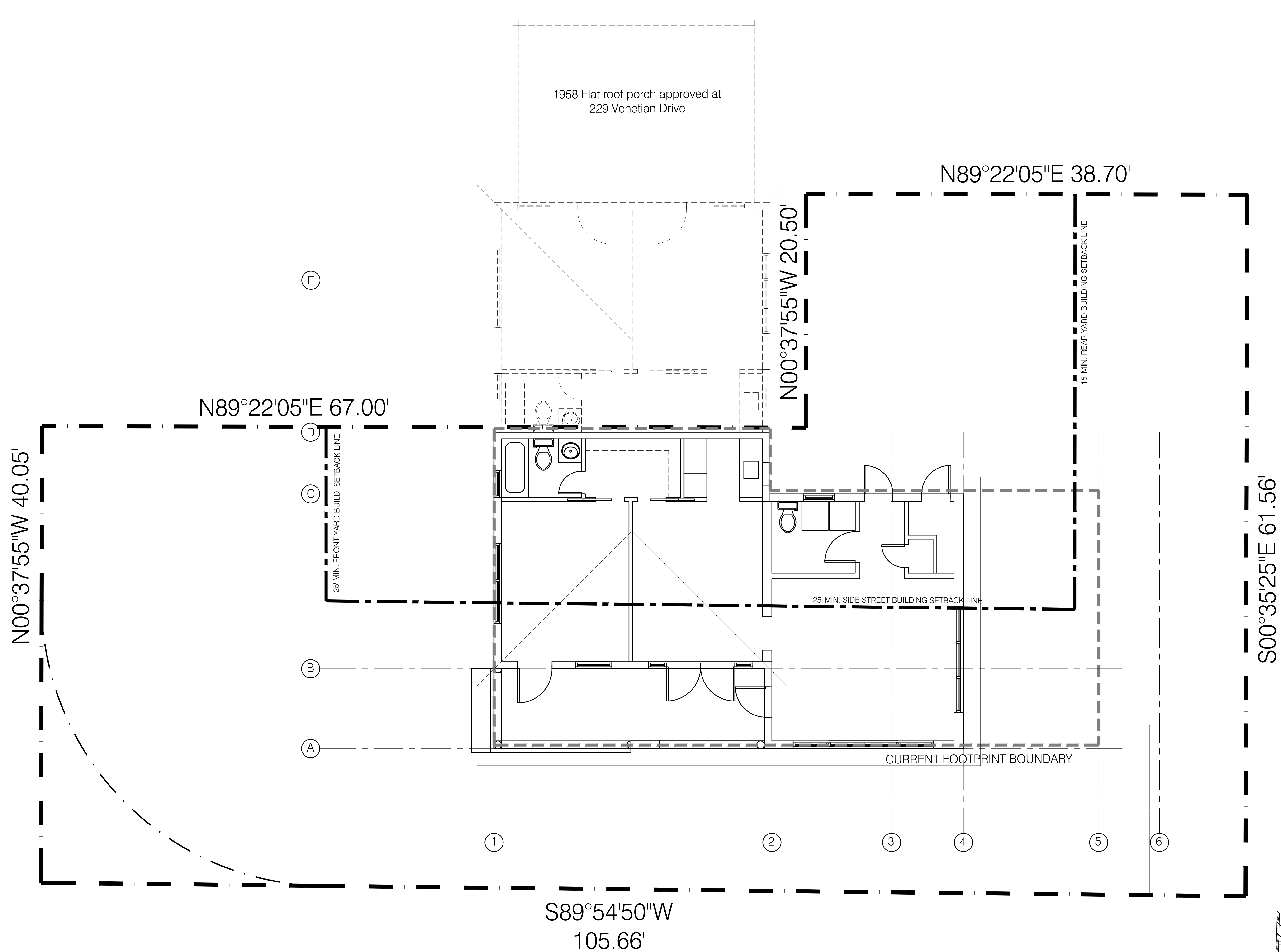
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13022  
SP3

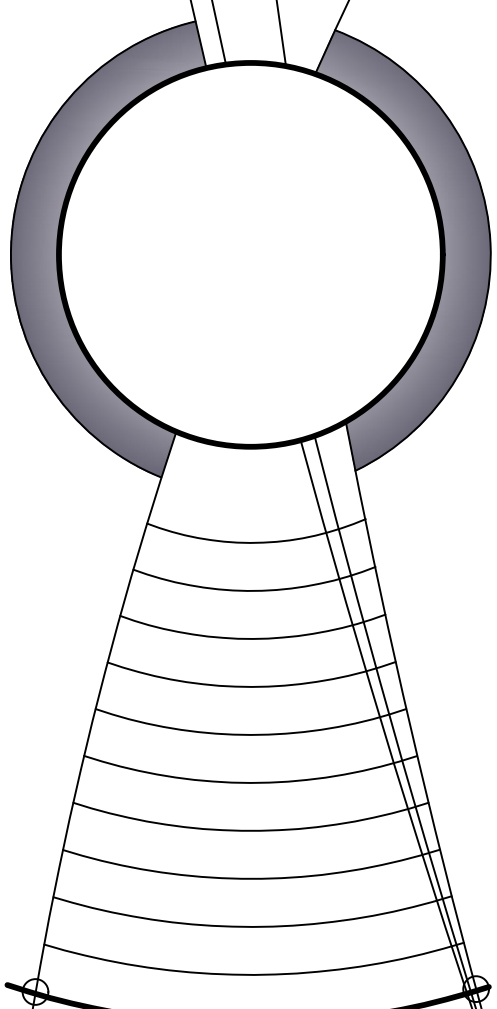
1950 ADDITION  
SCALE: 1/4" = 1' - 0"



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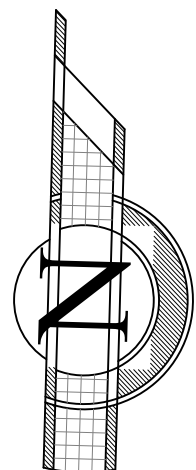
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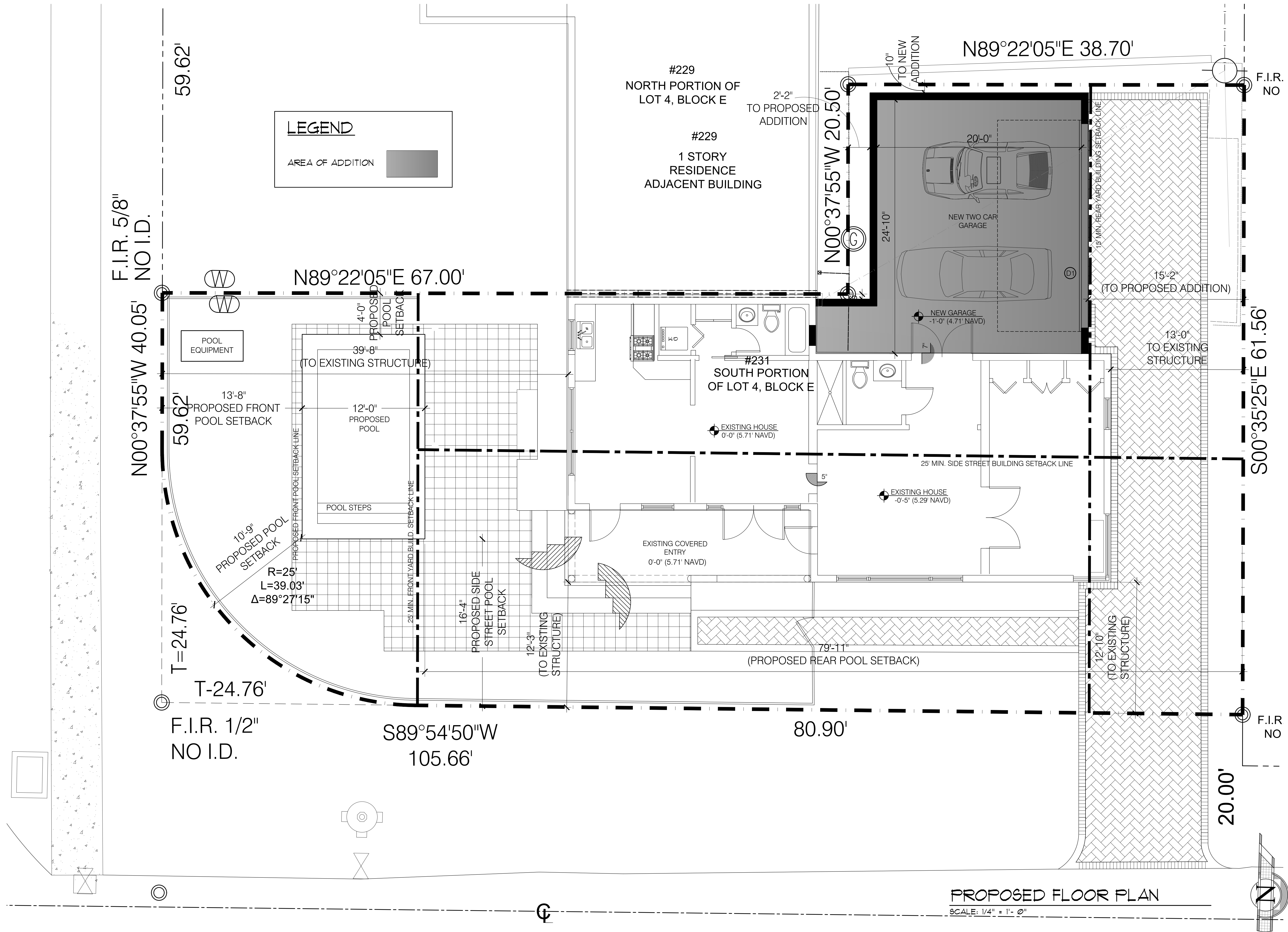
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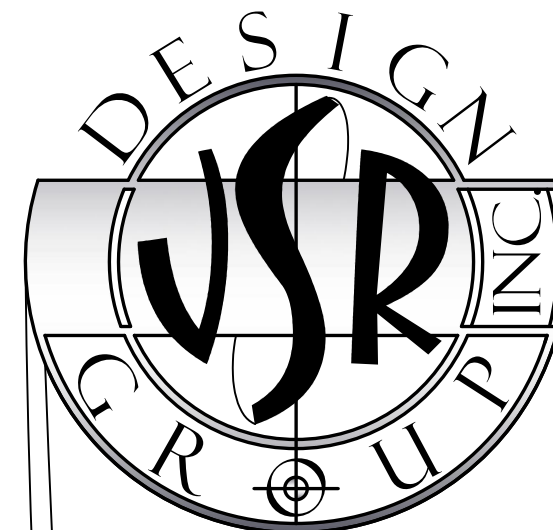


CURRENT LAYOUT

SCALE: 1/4" = 1'- 0"

NASSAU STREET

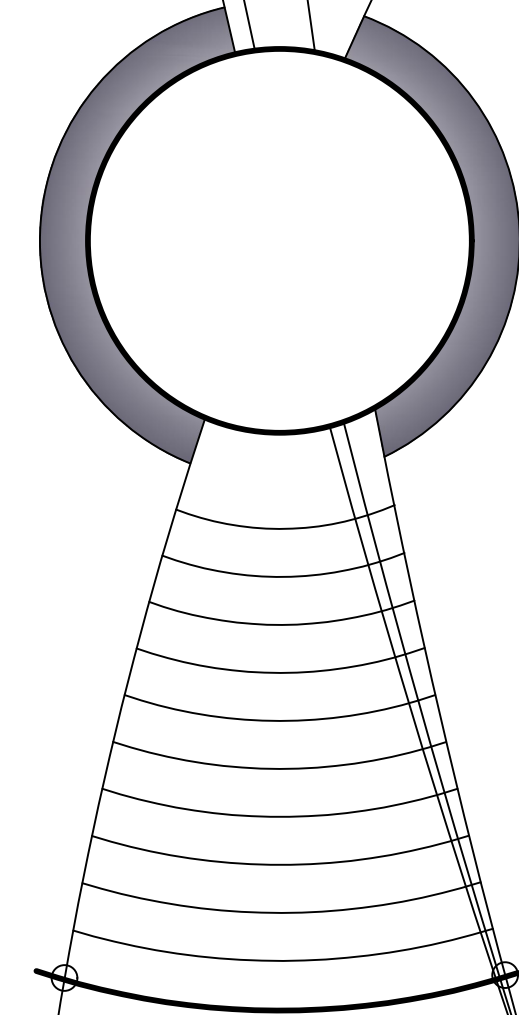




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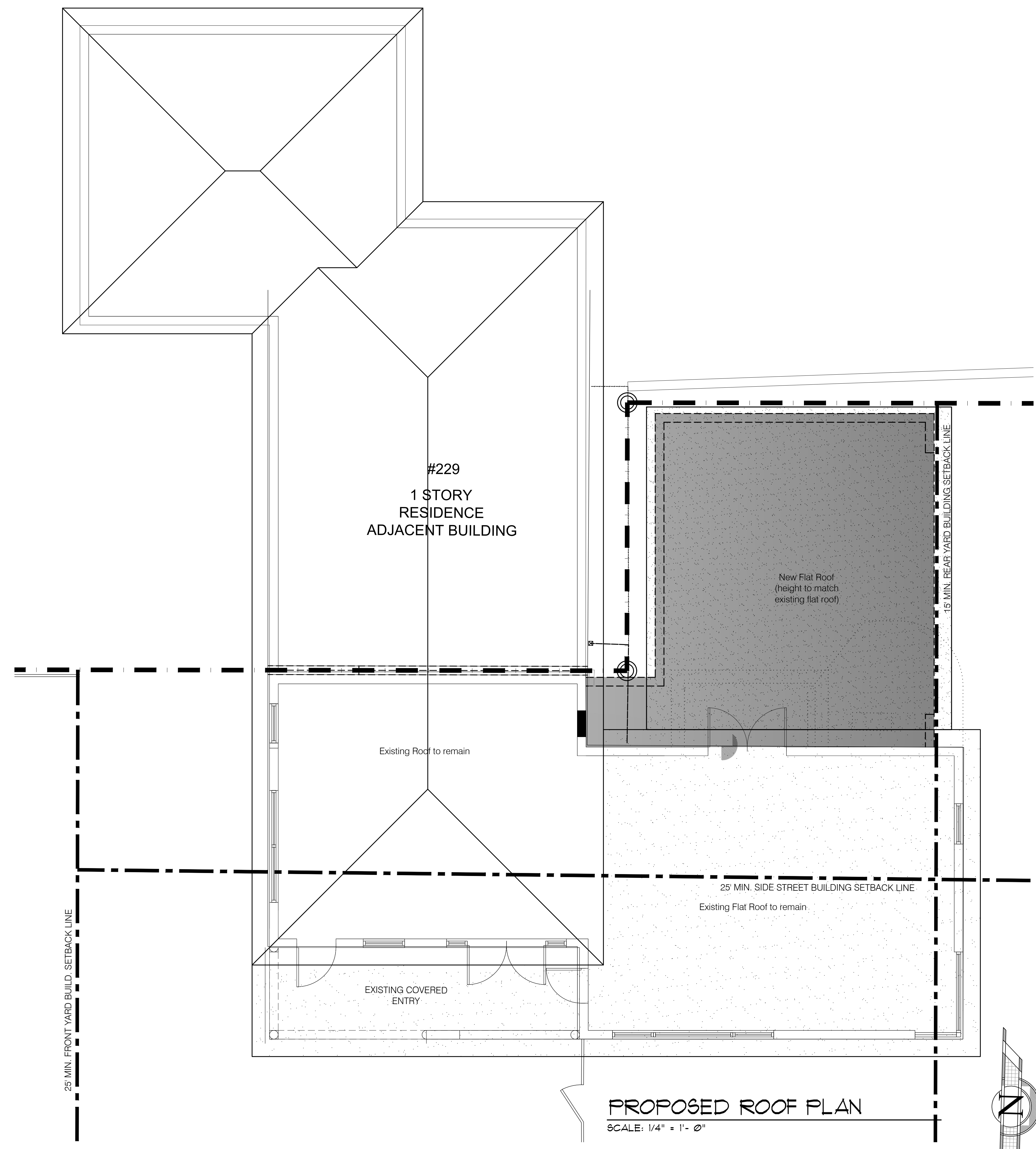
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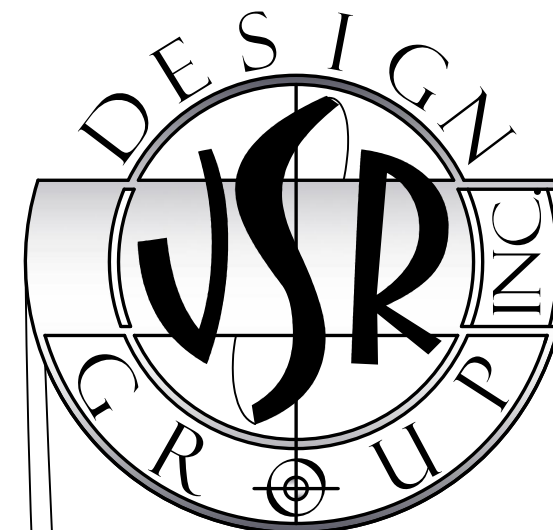
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SP6

LEGEND

AREA OF ADDITION

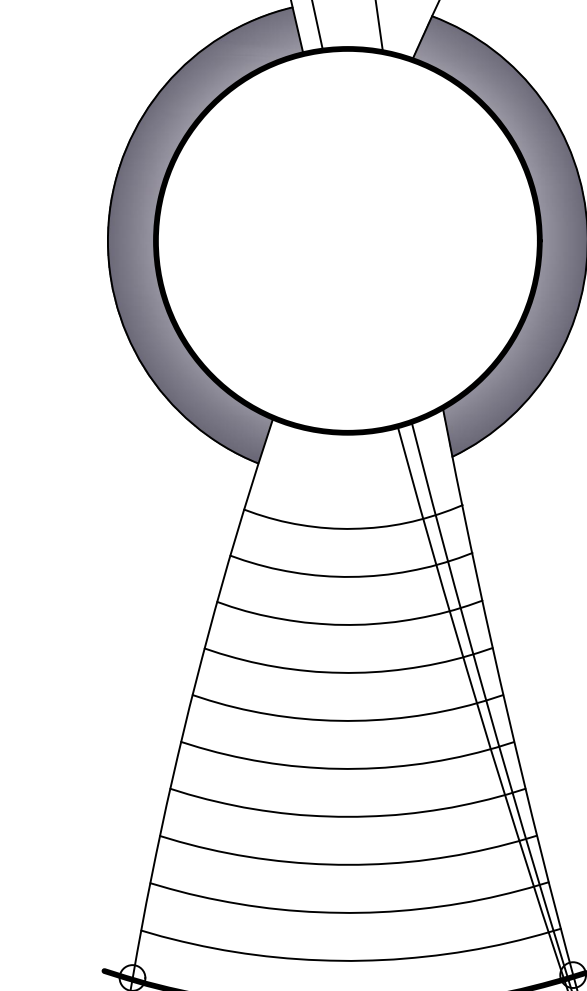




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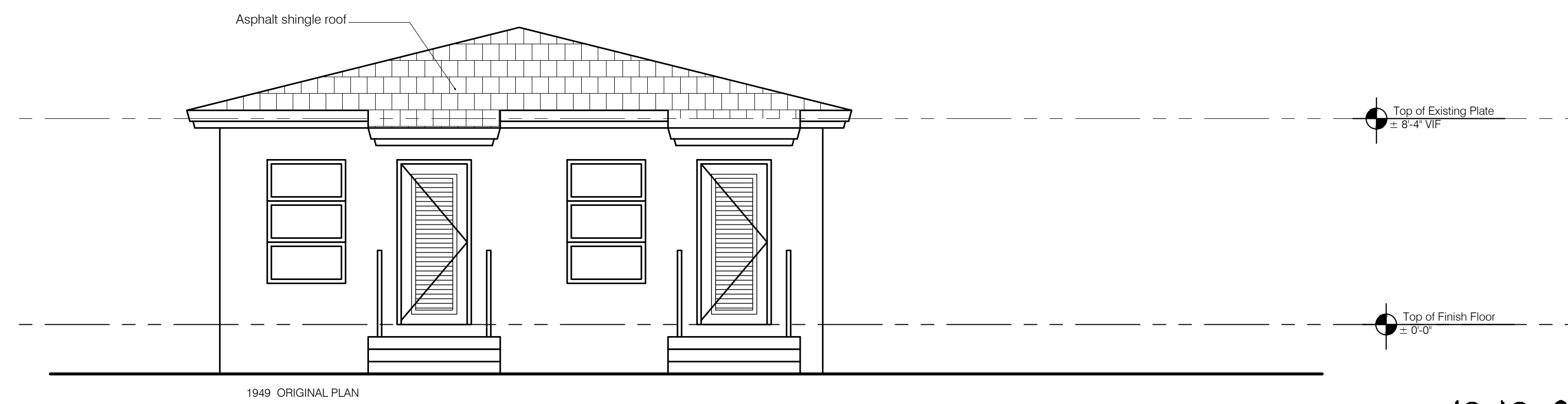
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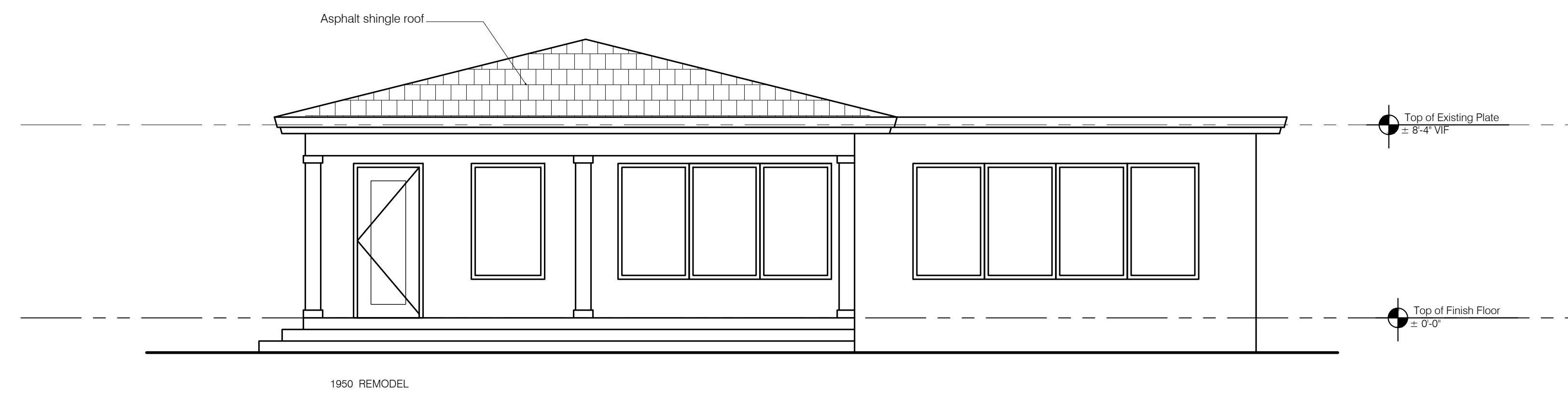
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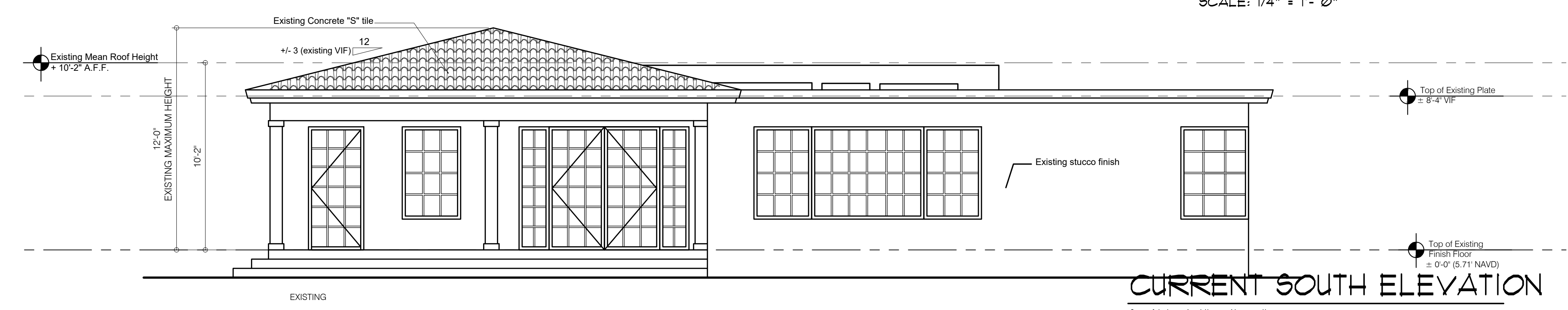
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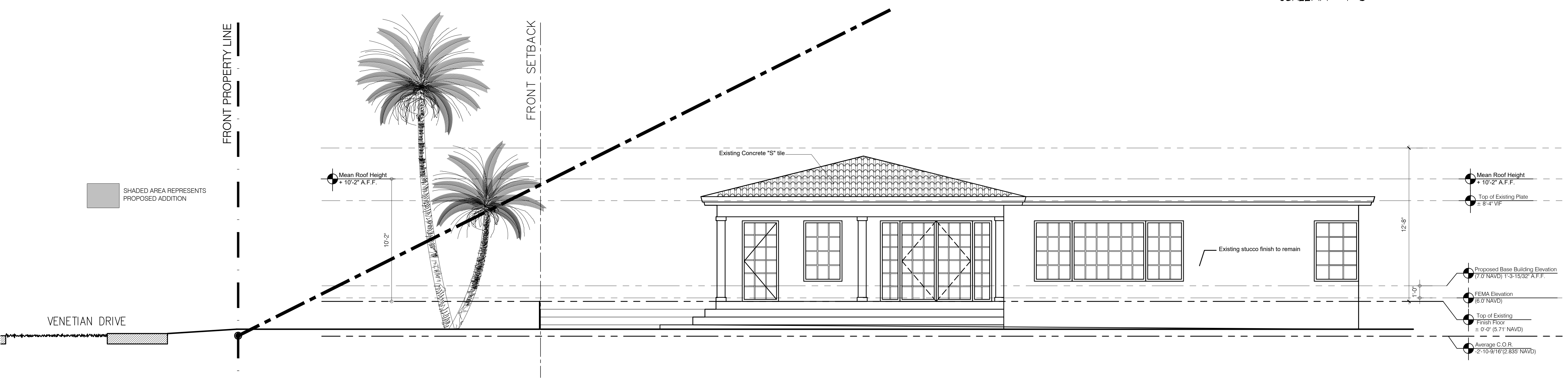
1949 SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"



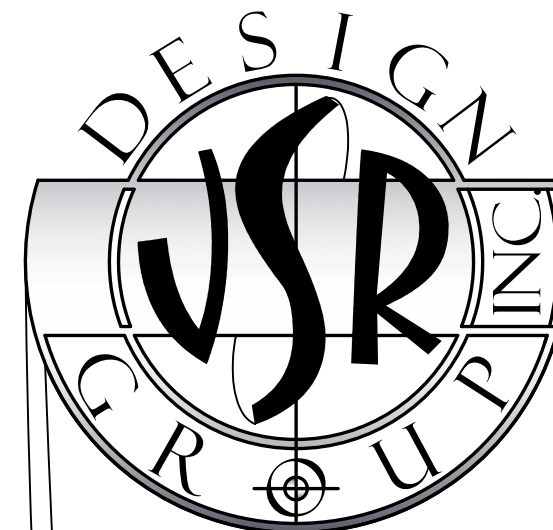
1950 SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"



CURRENT SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"



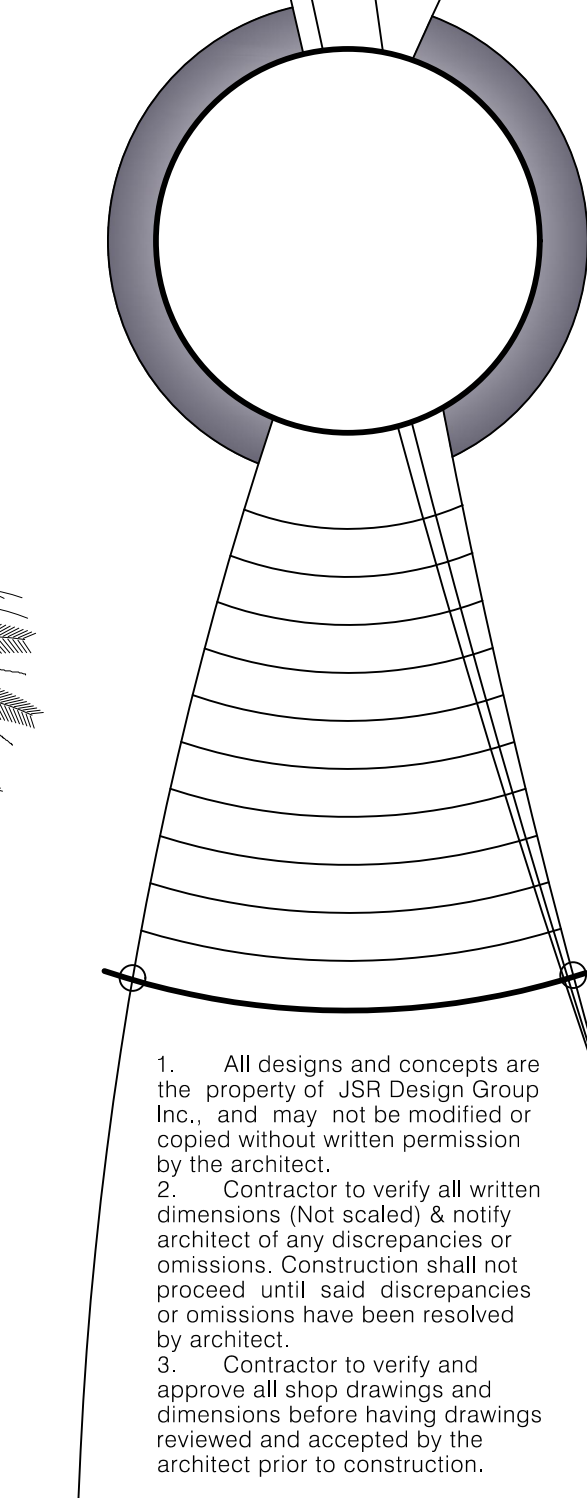
PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"



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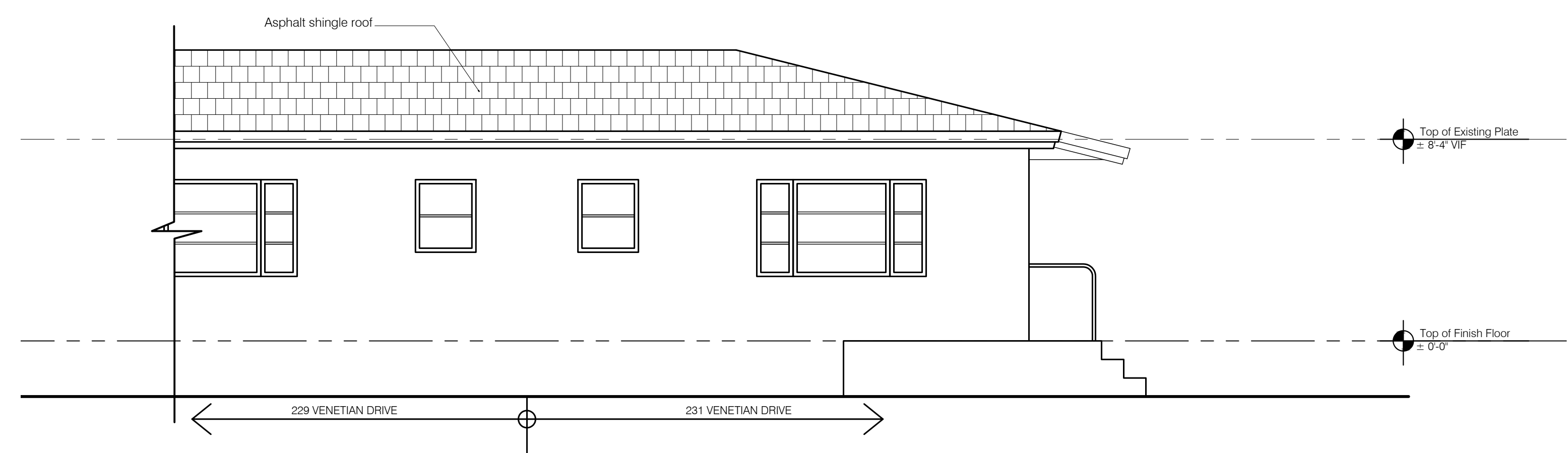
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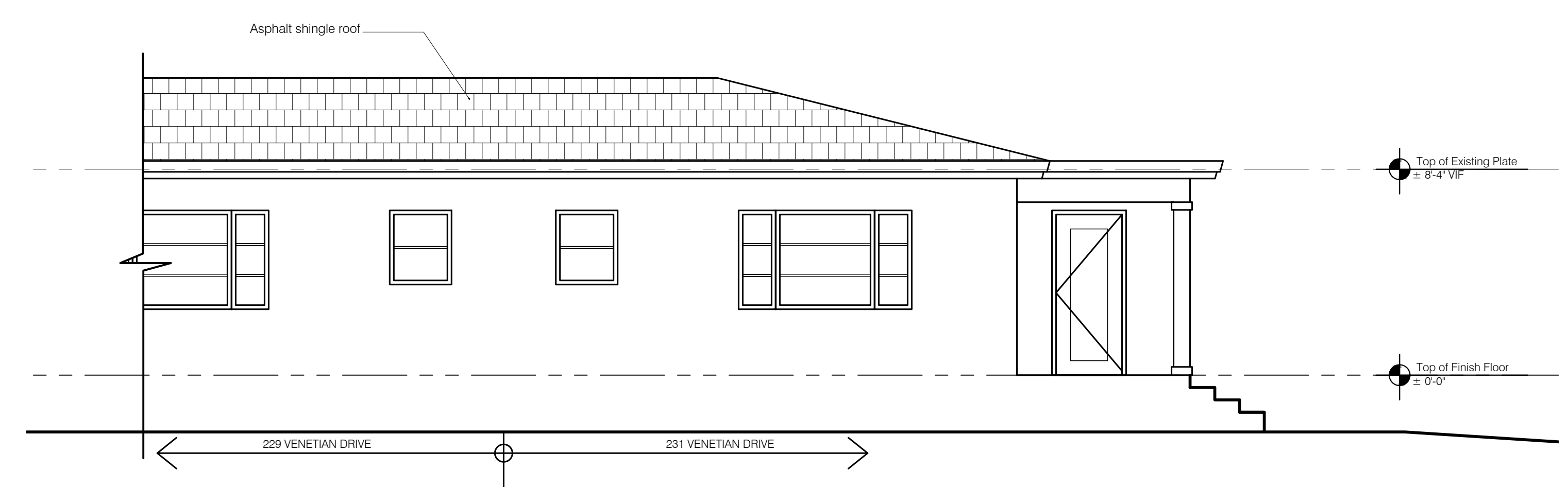


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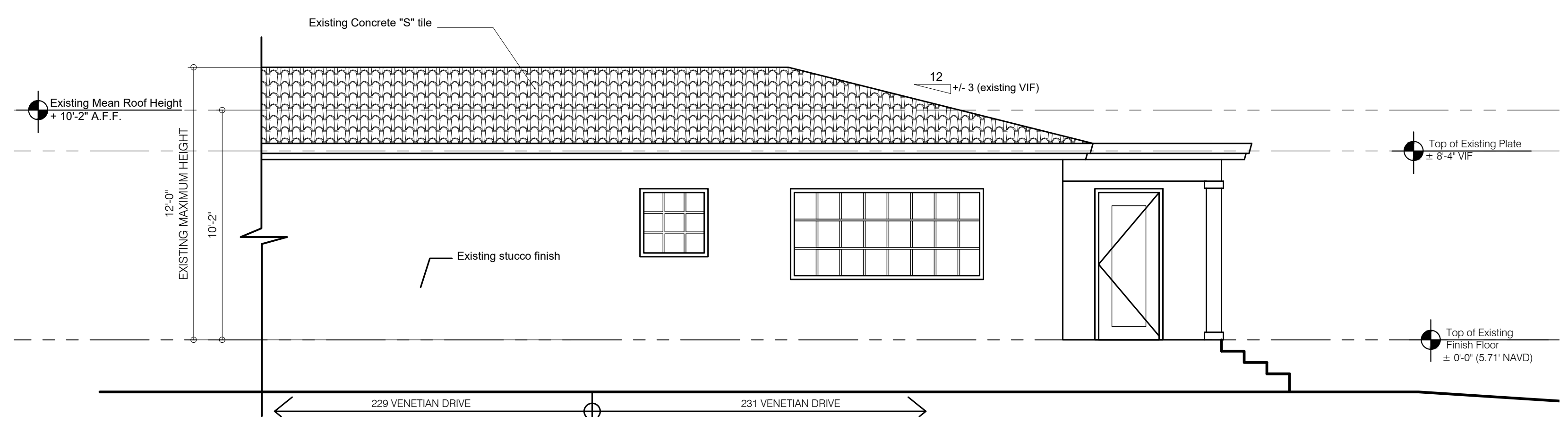
13022  
SP8



1949 WEST ELEVATION  
SCALE: 1/4" = 1'- 0"

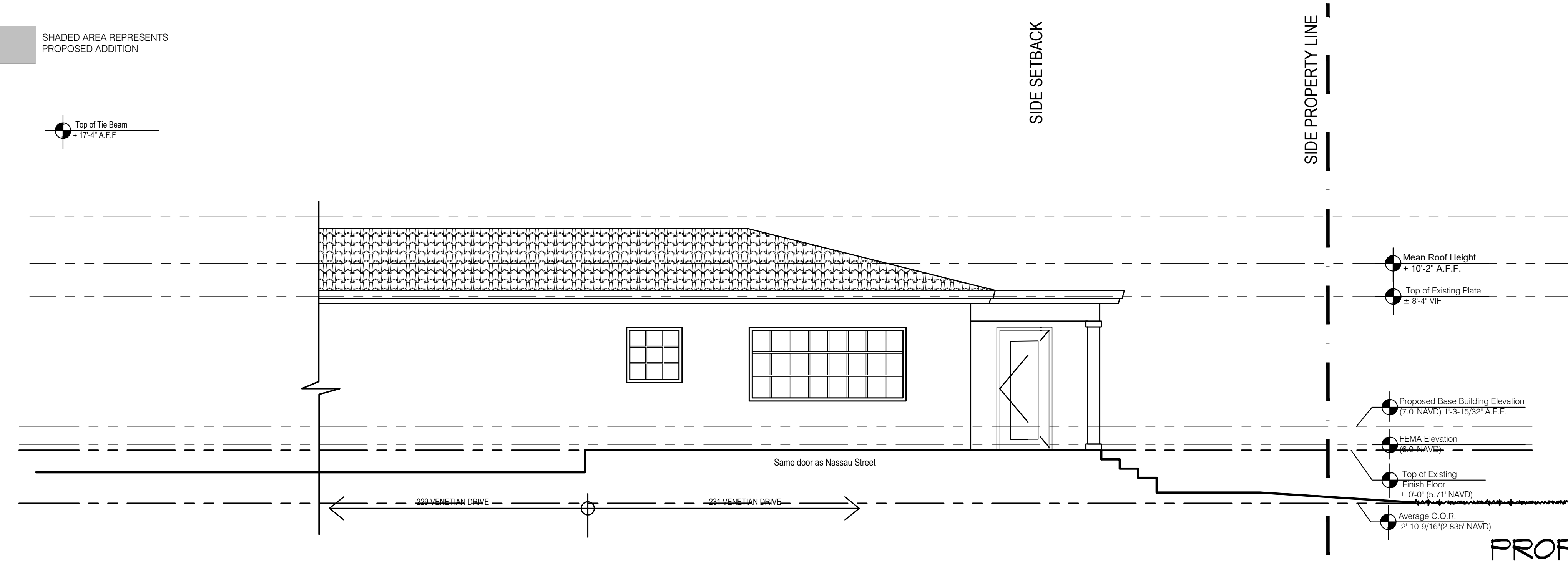


1950 WEST ELEVATION  
SCALE: 1/4" = 1'- 0"



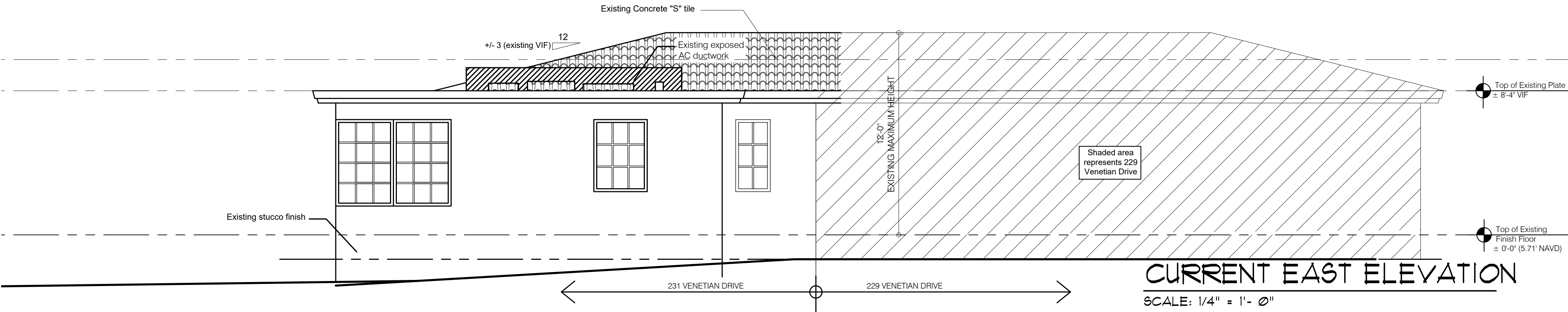
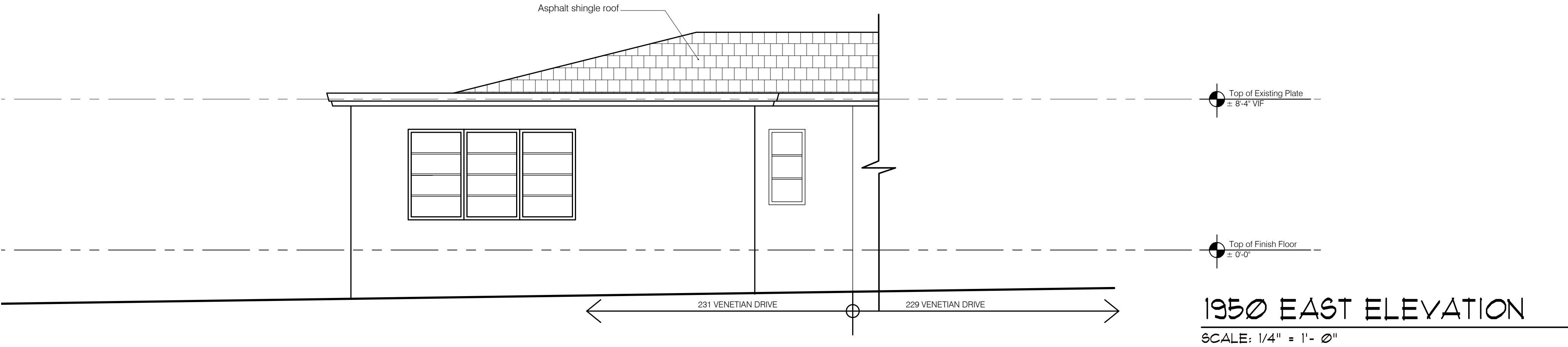
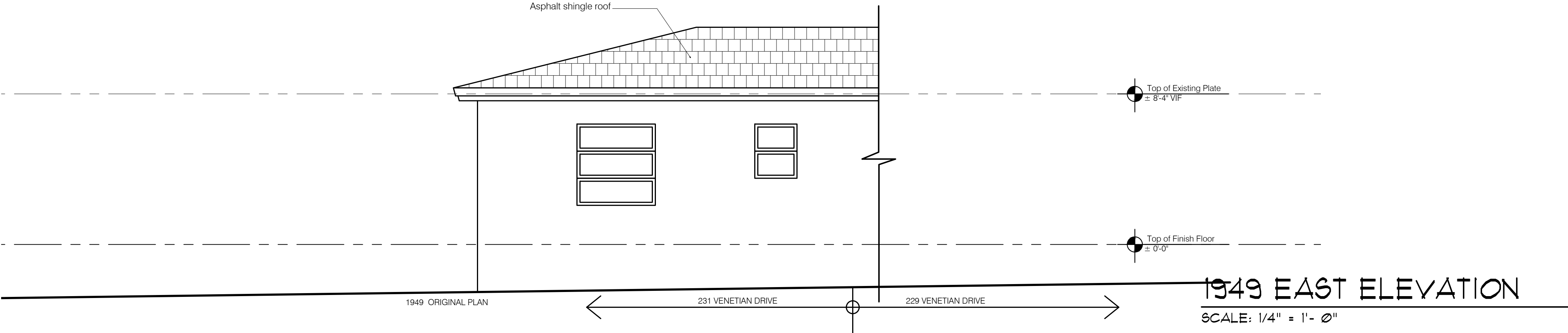
CURRENT WEST ELEVATION  
SCALE: 1/4" = 1'- 0"

SHADED AREA REPRESENTS  
PROPOSED ADDITION



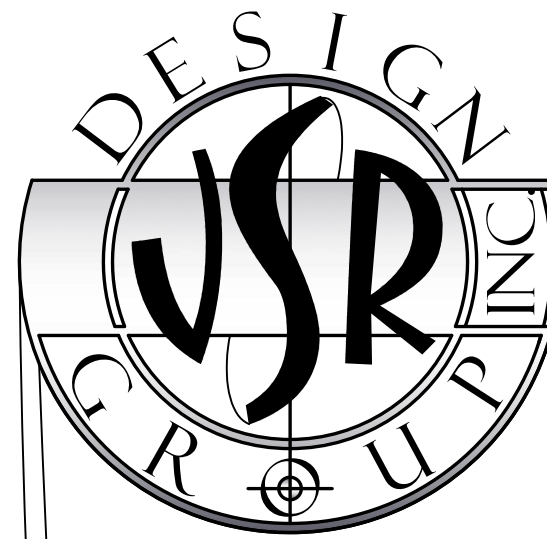
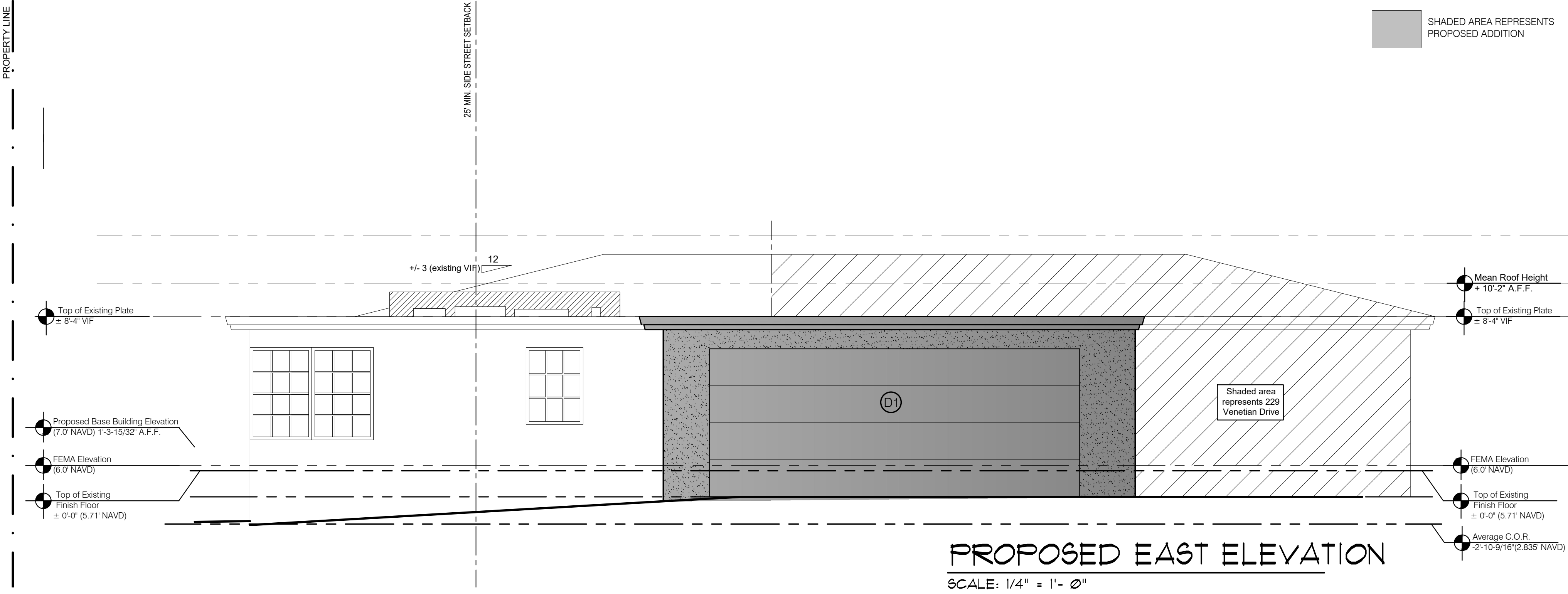
PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'- 0"





**LEGEND**

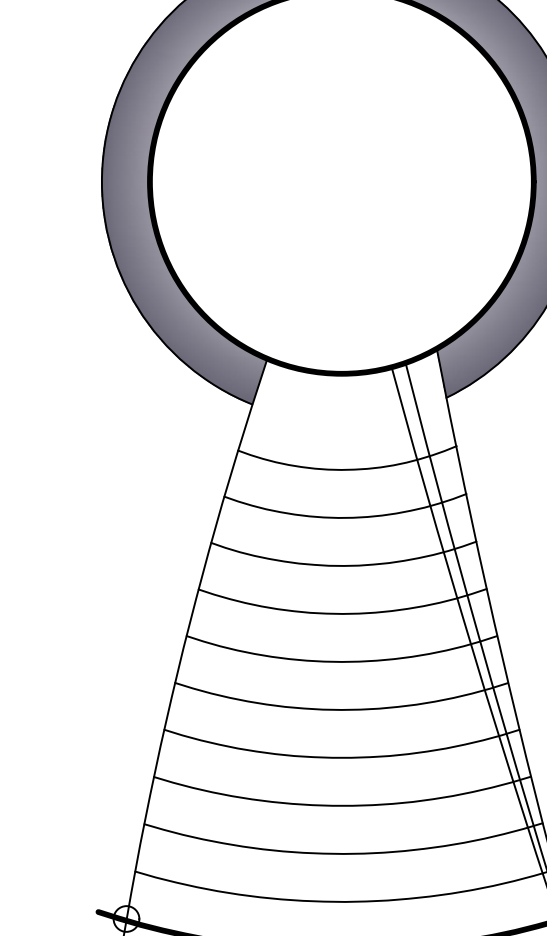
AREA OF ADDITION



LEVEL 2 ALTERATION  
BECKWORTH HOUSE  
231 VENETIAN DRIVE  
DELRAY BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSE# AR95171

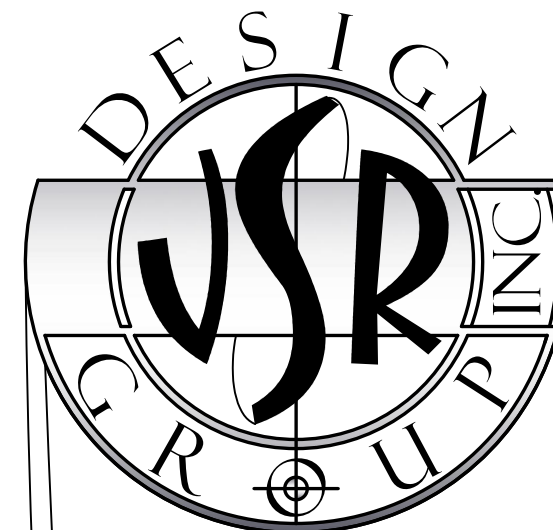
JSR DESIGN GROUP, INC.  
1111 CAMINO REAL, SUITE 117E  
BOCA RATON, FL 33432  
PH: 561-362-7203  
AA26002033



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13022

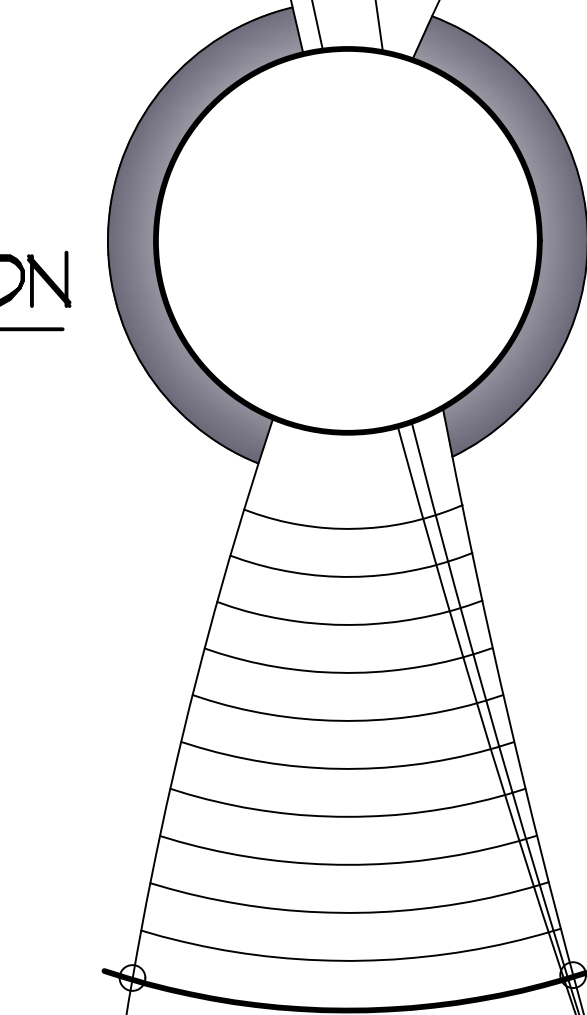
SP9



LEVEL 2 ALTERATION  
BECKWORTH HOUSE  
231 VENETIAN DRIVE  
DELRAY BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSE# AR95171

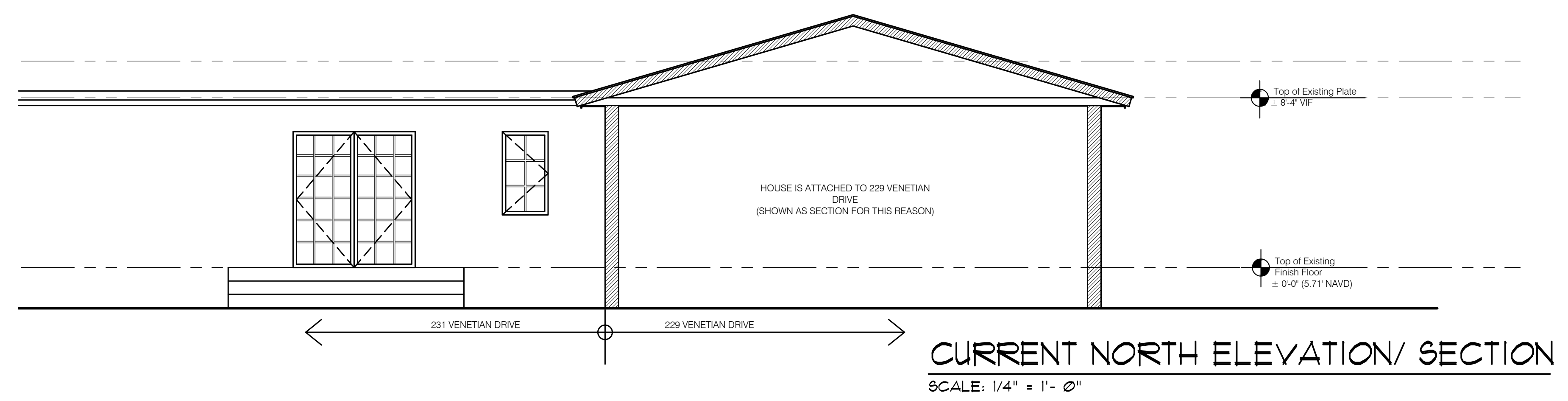
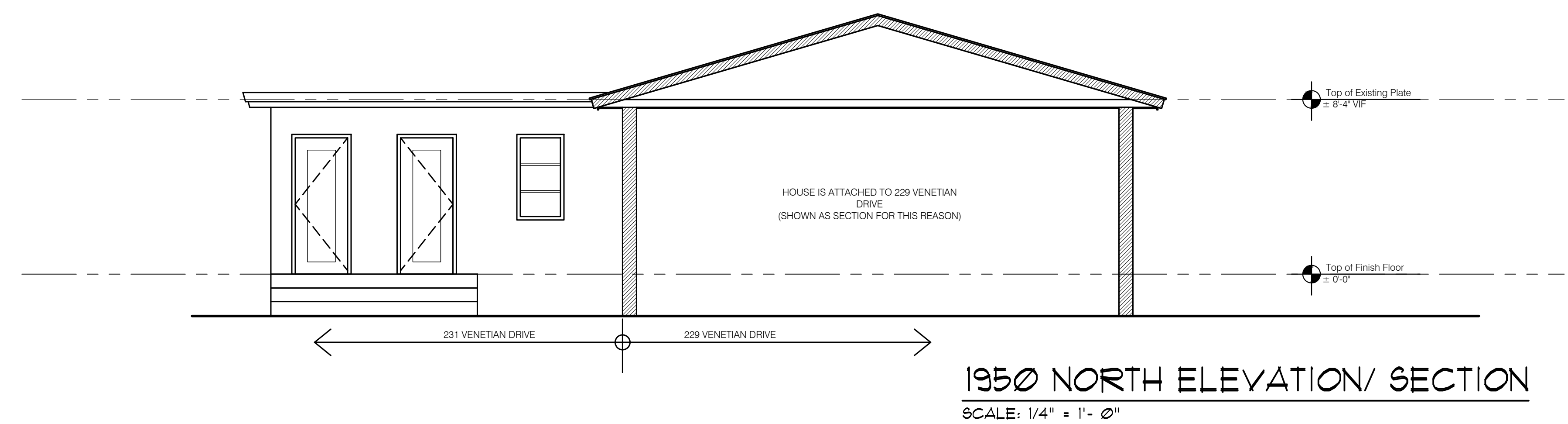
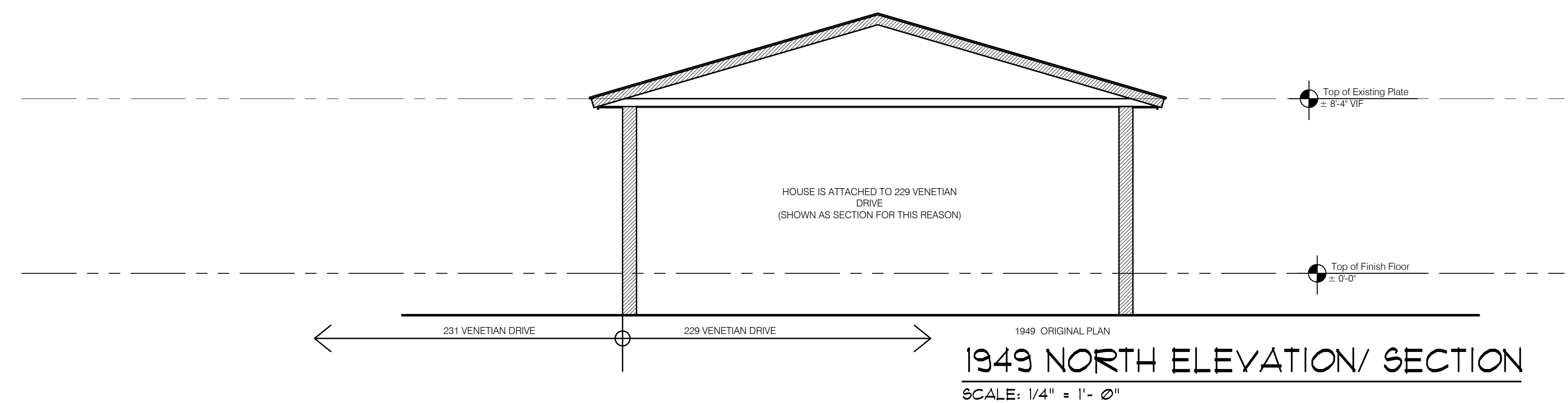
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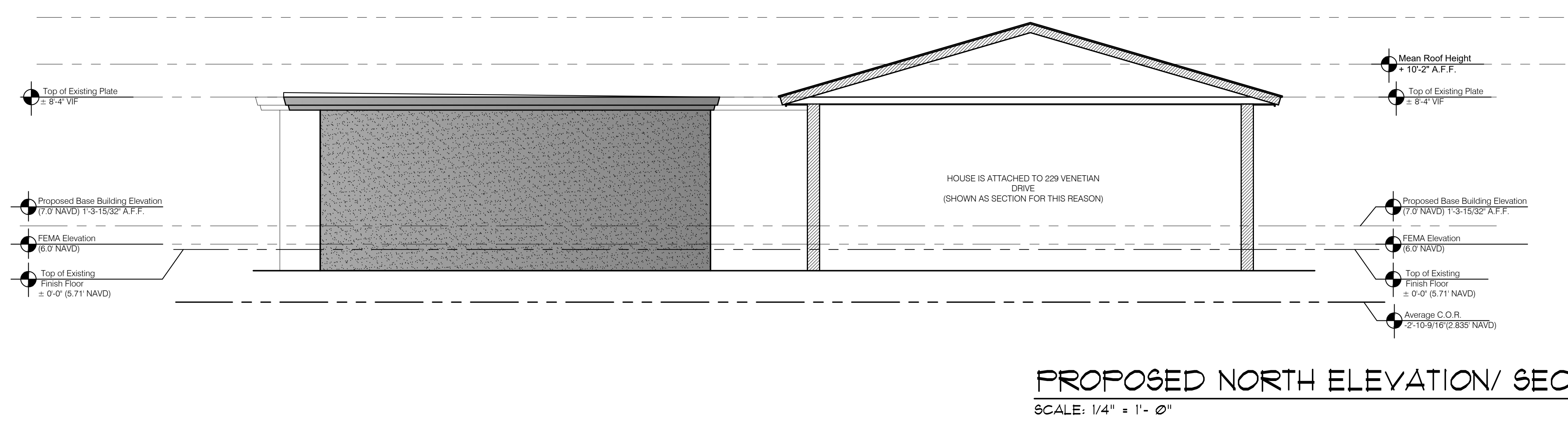
13022

SP10



**LEGEND**

AREA OF ADDITION



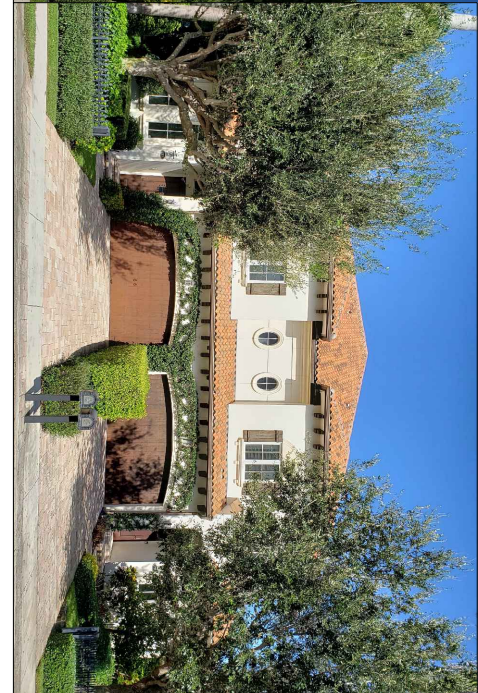
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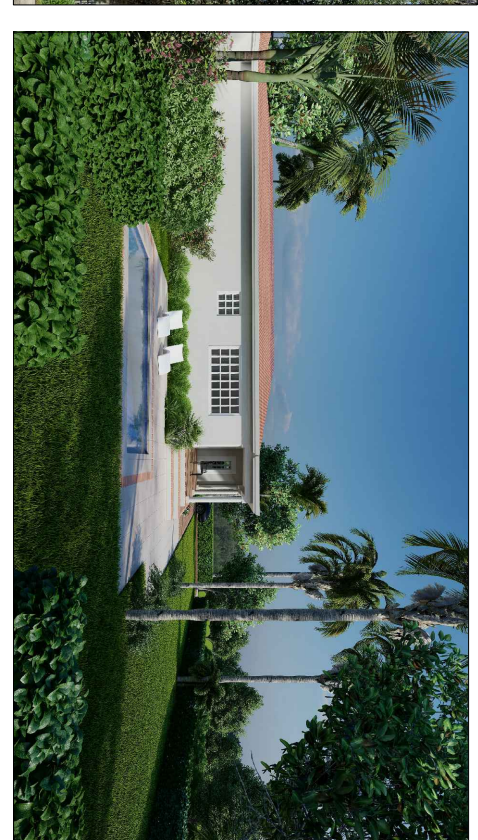
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211

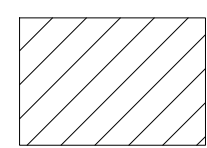


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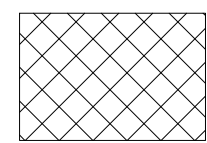


219

229



1 STORY BUILDING



2 STORY BUILDING

VENETIAN DRIVE

INGRAHAM AVENUE

GLEASON STREET

NASSAU STREET



231



1009



1015



1019



1023



1027



LEVEL 2 ALTERATION  
BECKWORTH HOUSE  
231 VENETIAN DRIVE  
DELRAY BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSE# AR95171

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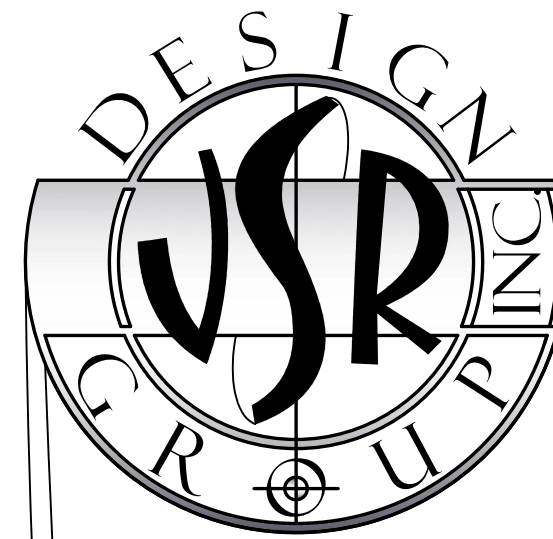
SP11



NASSAU STREET



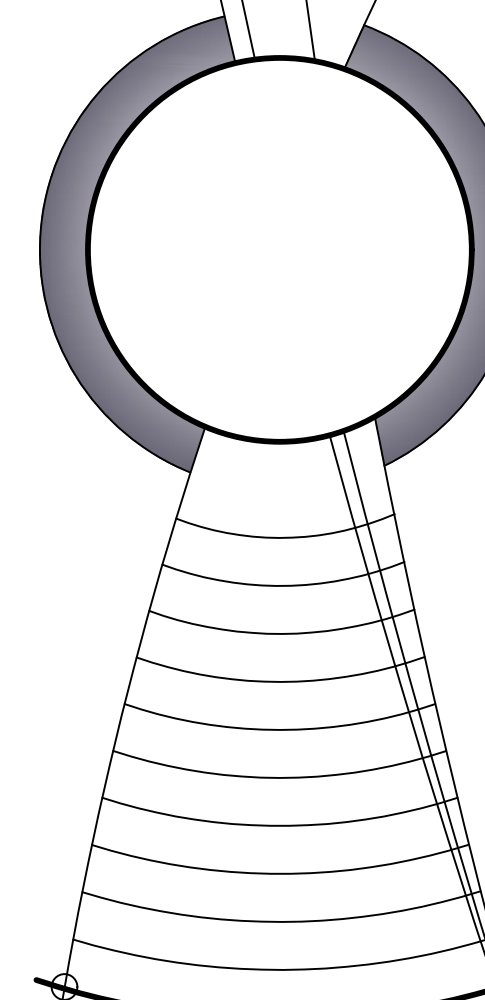
VENETIAN DRIVE



LEVEL 2 ALTERATION  
BECKWORTH HOUSE  
231 VENETIAN DRIVE  
DELRAY BEACH, FL

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13022  
SP12

PLANT LIST		
KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
N ** CG	3	Clusea guttifera (Small Leaf Clusea) 12' ht., 6' spr., 6' c.t. , matched
N ** CES	2	Conocarpus erectus 'sericus' (Silver Buttonwood) 12' ht., 6' spr., multi trunked 4' c.t. , matched
** TAB	1	Tabebuia spp. (Yellow Tabebuia) 12' ht., 6' spr., 6' c.t., first 4' with straight trunk, character branching
N ** TR	1	Thrinax radiata (Thatch Palm) 10' o.a. ht., 3' c.t., double
VM3	2	Veitchia montgomeryana (Montgomery Palm) 10' c.t., 16' oa. ht., triple, full, matched
WB	3	Wodyedia bifurcata (Foxtail Palm) 10' c.t., 16' oa. ht., full, matched
SHRUBS, GROUNDCOVERS AND ACCENTS		
BEG	7	Begonia odorata 'alba' (White Angel Wing Begonia) 20" ht., 18" spr., full, not shade-grown
N ** CLU	32	Clusea guttifera (Clusea Hedge) 30" ht., 30" spr., 30" o.c.
HIB	15	Hibiscus spp. (Hibiscus Hedge) 20" ht., 20" spr., 24" o.c.
** LIR	180	Liriope muscari (Liriope) 8" ht., 12" spr., 12" o.c., full
POD	24	Podocarpus macrophyllus (Podocarpus Hedge) 5' ht., 24" spr.
PRI	42	Podocarpus spp. 'Pringles' (Pringles Podocarpus) 18" ht., 18" spr., 18" o.c.
PEN	37	Pentas spp. (Flowering Pentas-Red flower) 16" ht., 16" spr., 18" o.c.
PHI	12	Philodendron 'Burle Marx' (Burle Marx Philodendron) 20" ht., 20" spr., 24" o.c.full
N ** ERN	48	Erandea littoralis (Golden Creeper) 16" ht., 16" spr., 18" o.c.
SOD		St. Augustine 'palmetto' – Contractor to determine final qty.
MULCH		non cypress mulch 3" depth – Contractor to determine final qty.
** DENOTES DROUGHT TOLERANT		
N DENOTES NATIVE SPECIES		

#### LANDSCAPE CALCULATIONS — DELRAY BEACH DUPLEX TABLE

A.	TOTAL LOT AREA	4,947	SF
B.	STRUCTURE, PARKING, WALKWAYS, DRIVES, ETC	3,480	SF
C.	TOTAL PERVIOUS LOT AREA C = (A – B)	1,467	SF
D.	MAX. REQUIRED AREA COVERED WITH SOD D =(C X 80%)	1,173	SF
E.	AREA OF SHRUBS AND GROUNDCOVER PROVIDED	1,300	SF
F.	NATIVE VEGETATION REQUIRED ( F = D x .25)	293	SF
G.	NATIVE VEGETATION PROVIDED	350	SF
H.	TOTAL NUMBER OF TREES EXISTING ON SITE	0	TREES
I.	TOTAL NUMBER OF TREES REQUIRED – I = (A +2000 SQ FT)	3	TREES
J.	TOTAL NUMBER OF TREES PROVIDED	4	TREES *
K.	TOTAL NUMBER OF NATIVE TREES REQUIRED – K = (H + I) x .50	2	TREES
L.	TOTAL NUMBER OF NATIVE TREES PROVIDED	2	TREES
M.	STREET TREES (LDR SEC. 4.6.16.(H)(6)) ONE TREE PER EVERY 40 LF OF STREET FRONTAGE WITH A MINIMUM OF ONE TREE PER LOT	3	REQUIRED PROVIDED
* THREE (3) PALMS EQUAL ONE (1) TREE. PROHIBITED SPECIES CANNOT BE COUNTED TOWARD MEETING THIS REQUIREMENT.			

#### SPECIFICATIONS

**NOMENCLATURE:** All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards 2015, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

**PLANT LISTS:** Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

**SUBSTITUTIONS:** No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.

**PLANTING SOIL:** Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

**FERTILIZER:** Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

**MULCH:** All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

**PLANTING PROCEDURE:** All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

**WATERING:** All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.

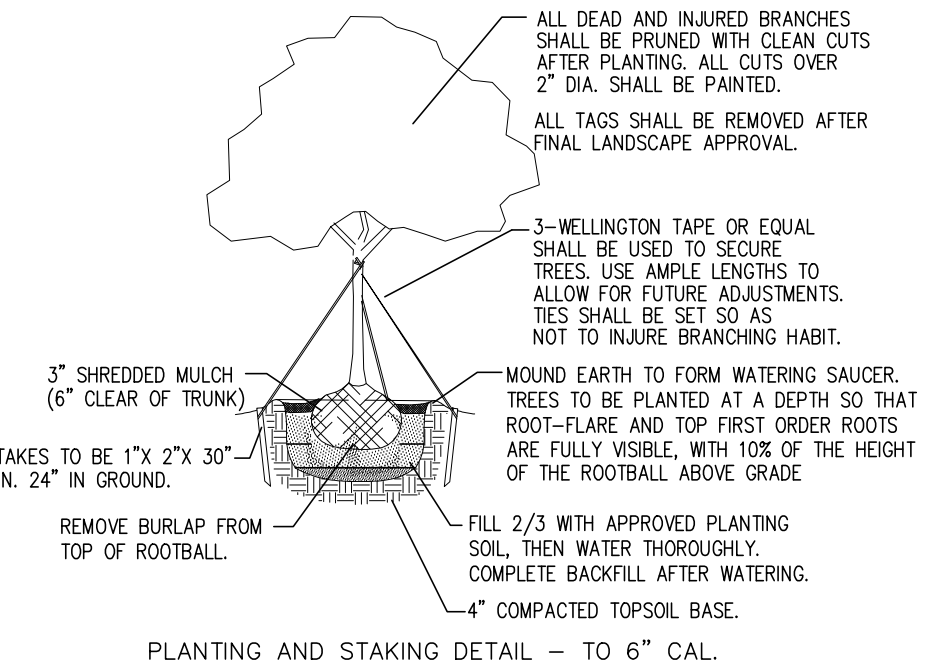
**GUYING:** All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

**SOD:** Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

**GUARANTEE:** All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

#### NOTES

All plant material to be Florida #1 or better.  
Sod to be St. Augustine 'Floritam', contractor to determine quantity.  
All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.  
Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.  
Mulch, topsoil, and fertilizer to be applied according to specifications.



**CITY OF DELRAY BEACH STANDARD REQUIREMENTS**

All plant material shall be grade #1 or better.

Mulch shall be applied to a minimum depth of three (3) inches in all planting beds.

All prohibited plant species shall be eradicated from site.

All landscape areas shall be provided with an irrigation system, automatically operated, to provide complete coverage to all plant materials and grass to be maintained. (100% coverage with 100% overlap)  
System shall be equipped with proper pressure release valves / backflow system and a rain sensor / automatic cutoff.

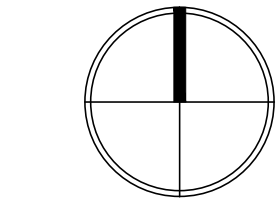
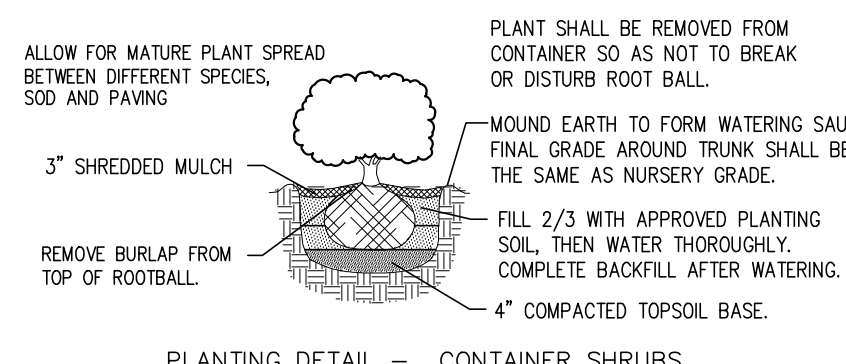
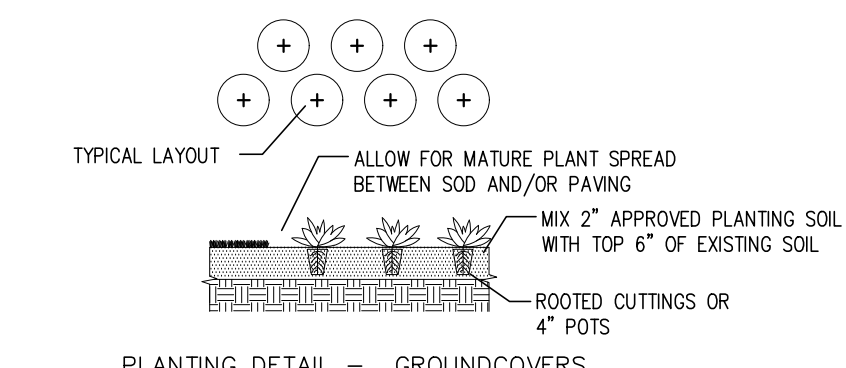
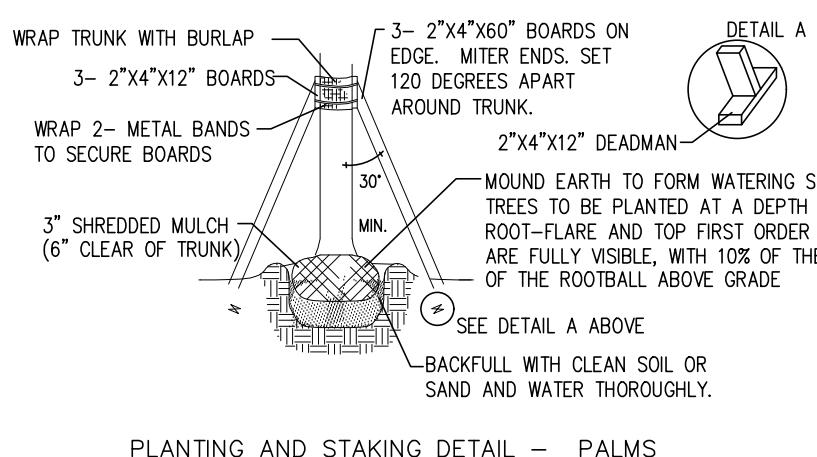
Sod and irrigation shall be provided within the unpaved portion of the right-of-way adjacent to the Property Line.

Three (3) palms are equivalent to one (1) shade tree.

For back-out parking, hedging & a shade tree are required to be planted on both sides of the area (LDR Sec. 4.6.16. (H) (2)).

A strip of land, at least 5' in width, with shrubs and ground covers shall be provided around the building foundation where it faces the street.

No trees or shrubs shall be planted in Water, Sewer or Drainage Easements.



SCALE: 1" = 10'-0"

#### PROJECT

BECKWORTH RESIDENCE  
231 VENETIAN DRIVE

DELRAY BEACH, FL

#### TITLE

#### LANDSCAPE PLAN

PROJ. NO.	
FILE NAME	
BB/CBP	DRAWN
1-27-21	DATE
9-24-21	REV.
1-12-22	
4/28/22	

#### SHEET

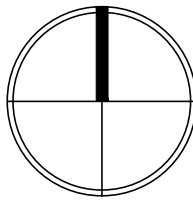
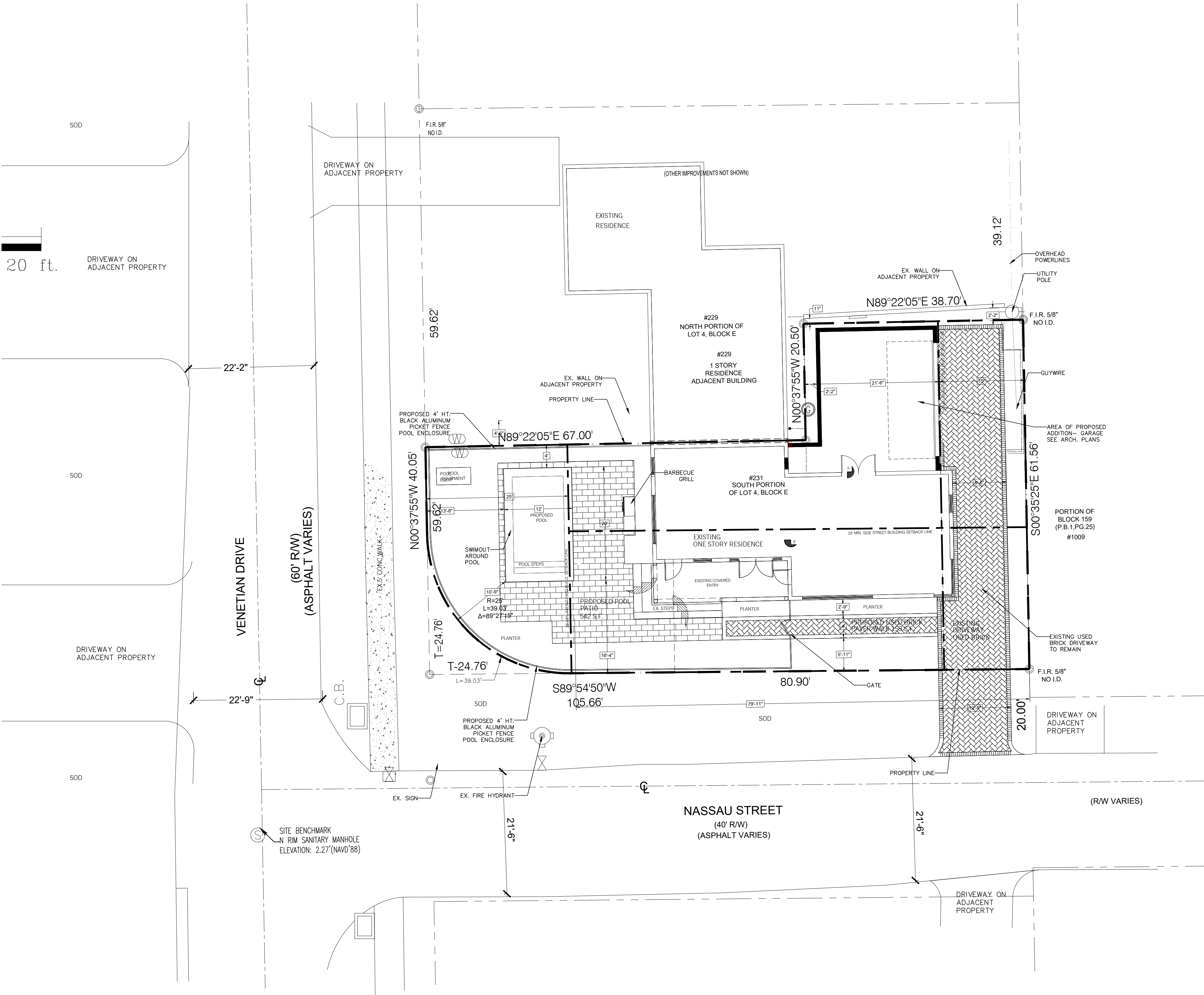
L-1  
OF  
1



4' HT. BLACK ALUMINUM PICKET FENCE



POOL PATIO TUMBLED LIMESTONE PAVERS-CAPRI



SCALE: 1" = 10'-0"

PROJECT

BECKWORTH RESIDENCE  
231 VENETIAN DRIVE

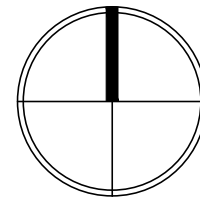
DELRAY BEACH, FL

TITLE

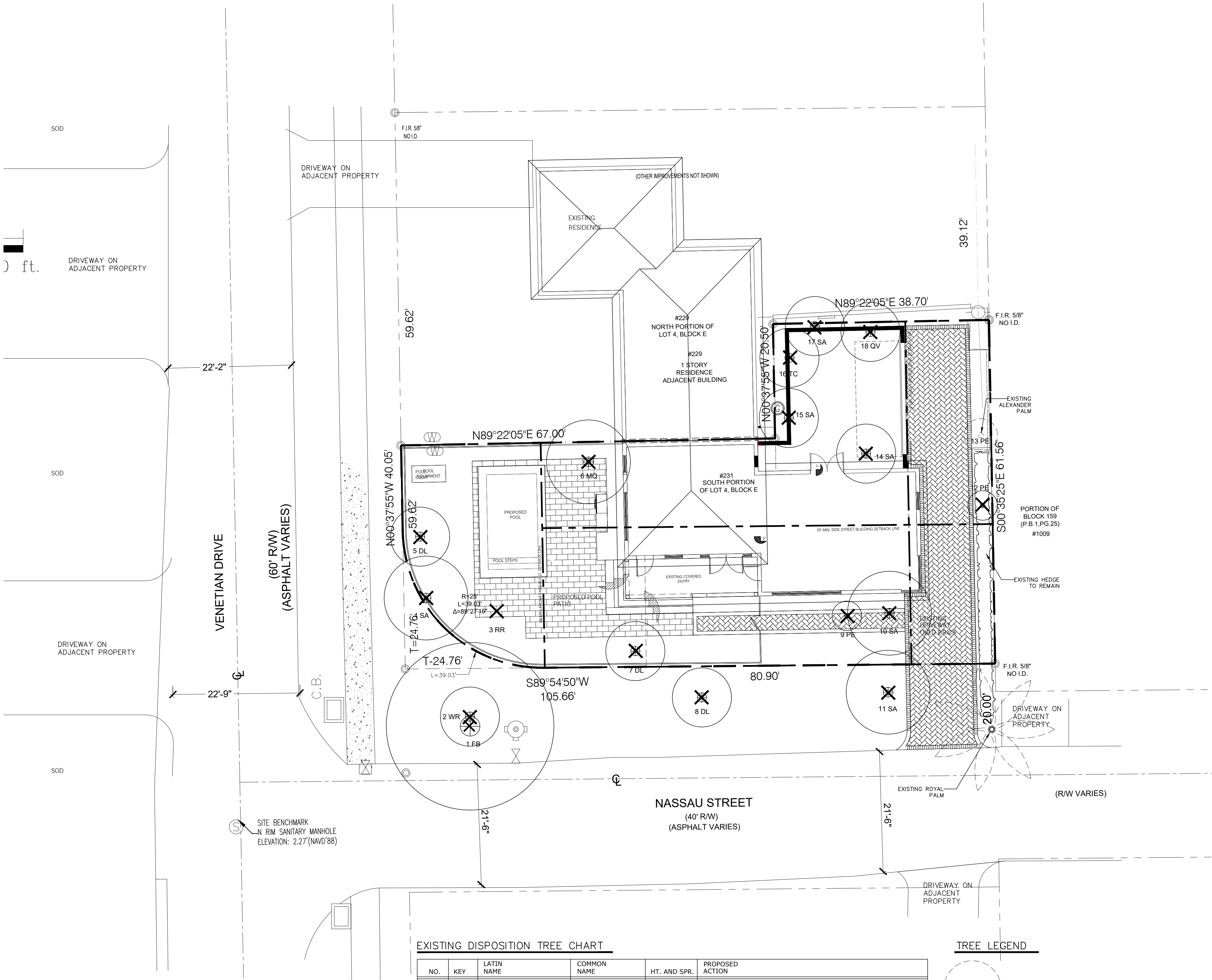
SITE DETAILS

PROJ. NO.	
FILE NAME	
BB/CBP	DRAWN
1/27/21	DATE
9/24/21	REV.
4/28/22	

SHEET



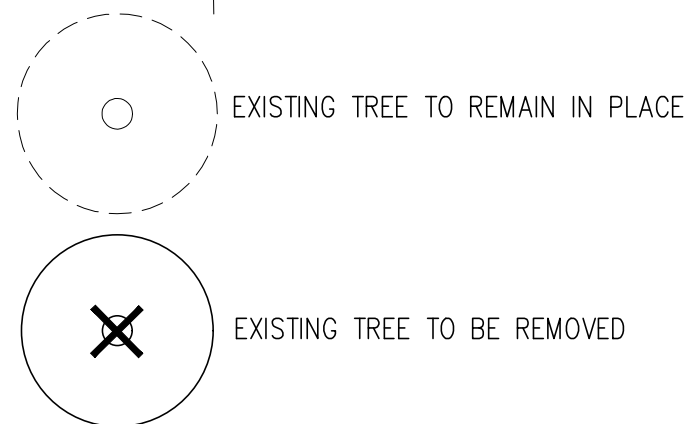
SCALE: 1" = 10'-0"



EXISTING DISPOSITION TREE CHART

NO.	KEY	LATIN NAME	COMMON NAME	HT. AND SPR.	PROPOSED ACTION
1	FB	Ficus sp.	FICUS	35' x 60'	REMOVE
2	WR	Washingtonia robusta	WASHINGTONIA PALM	60' x 10'	REMOVE
3	RR	Roystonea regia	ROYAL PALM	55' x 15'	REMOVE
4	SA	Schefflera actinophylla	SCHEFFLERA	25' x 15'	REMOVE- INVASIVE
5	DL	Dypsis lutescens	ARECA PALM	30' x 15'	REMOVE
6	MQ	Melaleuca quinquenervia	MELALEUCA	40' x 20'	REMOVE- INVASIVE
7	DL	Dypsis lutescens	ARECA PALM	10' x 12'	REMOVE
8	DL	Dypsis lutescens	ARECA PALM	10' x 15'	REMOVE
9	PE	Ptychosperma elegans	ALEXANDER PALM	40' x 8'	REMOVE
10	SA	Schefflera actinophylla	SCHEFFLERA	30' x 15'	REMOVE- INVASIVE
11	SA	Schefflera actinophylla	SCHEFFLERA	30' x 15'	REMOVE- INVASIVE
12	PE	Ptychosperma elegans	ALEXANDER PALM	70' x 10'	REMAIN
13	PE	Ptychosperma elegans	ALEXANDER PALM	45' x 10'	DEAD- no head, only trunk
14	SA	Schefflera actinophylla	SCHEFFLERA	15' x 8'	REMOVE- INVASIVE
15	SA	Schefflera actinophylla	SCHEFFLERA	15' x 8'	REMOVE- INVASIVE
16	TC	Terminalia catappa	TROPICAL ALMOND	20' x 10'	REMOVE- INVASIVE
17	SA	Schefflera actinophylla	SCHEFFLERA	40' x 20'	REMOVE- INVASIVE
18	QV	Quercus virginiana	Live Oak-overgrown bush	8' X 6'	REMOVE- BAD CONDITION, MIXED WITH A HIBISCUS SHRUB HACKED

TREE LEGEND



PROJECT

BECKWORTH RESIDENCE  
231 VENETIAN DRIVE

DELRAY BEACH, FL

TITLE

TREE REMOVAL PLAN

PROJ. NO.	
FILE NAME	
BB/CBP	DRAWN
10/28/20	DATE
9/24/21	REV.
4/28/22	

SHEET

TR-1  
OF  
1