LIST OF DRAWINGS:

PROPOSED FLOOR PLAN

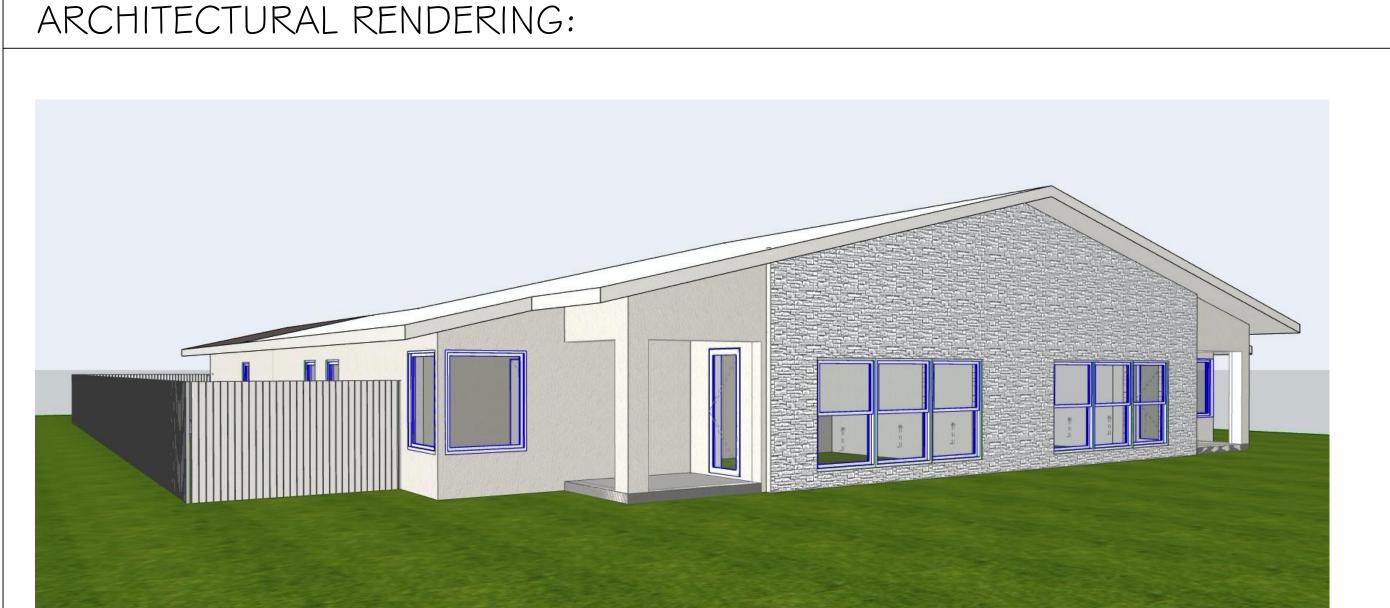
A I.2 ROOF PLAN & PERSPECTIVES

A 2 . I PROPOSED ELEVATIONS A 2.2 PROPOSED ELEVATIONS

A3.0 EX. PHOTOGRAPHS & SCHEDULES

THE LARRIVEE RESIDENCE

HISTORIC SUBMISSION PLANS FOR:



ABBREVIATIONS:

	ΔŢ
@ 	AT
ACT	ACOUSTICAL TILE
ADJ.	ADJUSTABLE
A.B.	ANCHOR BOLT
A.C.	AIR CONDITIONING
AFF	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ALT.	ALTERNATE
BD.	BOARD
BLDG.	BUILDING
В.М.	BENCH MARK
В.О.	BOTTOM OF
BRG.	BRIDGING OR BEARING
C/C	CENTER TO CENTER
CL	CENTER LINE
CAB.	CABINET
C.B.	CATCH BASIN
C.I.	CAST IRON
CER.	CERAMIC
CLG.	CEILING
C.O.	CLEAN OUT
CONC.	CONCRETE
COORD.	COORDINATE
COL.	COLUMN
CONT.	CONTINUOUS
DET.	DETAIL
DN.	DOWN
DK.	DECK
D.S.	DOWN SPOUT
D.W.	DRY WALL
DWG.	DRAWING
E.C.	ELECTRICAL CONTRACTOR
EL. ELEV.	ELEVATION
ELEC.	ELECTRICAL
EX./EXIST	EXISTING
EXP.	EXPOSED OR EXPANSION
F.E.	FIRE EXTINGUISHER
F.F.	FINISHED FLOOR
FIN.	FINISH
FLR.	FLOOR
F.S.	FULL SIZE
F.T	FOOT OR FEET
FTG.	FOOTING
G.C.	GENERAL CONTRACTOR
GL.	GLASS OR GLAZING

GLAZED PAINT

GYPSUM WALL BOARD

GYPSUM

HOSE BIB

HARDENER

HEIGHT

GWB

WALL LEGEND:

EXISTING CMU WALL EXISTING INTERIOR WALL

EXISTING FIRE RATED PARTITION WALL

CMU WALL

CMU WALL, W/ ONE SIDE Ix PT FURRING & GYPSUM BOARD

CMU WALL, W/ ONE SIDE 2x PT FURRING \$ GYPSUM BOARD

CMU WALL, W/ ONE SIDE I-5/8" MTL. STUD & GYPSUM BOARD

PARTITION WALL (PARTTY WALL)- CMU WALL, W/ I-5/8" MTL. STUD, (SFAB) \$ 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL

PARTITION WALL (PARTTY WALL)- CMU WALL, W/ 2x PT FURRING, (SFAB) \$ 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL

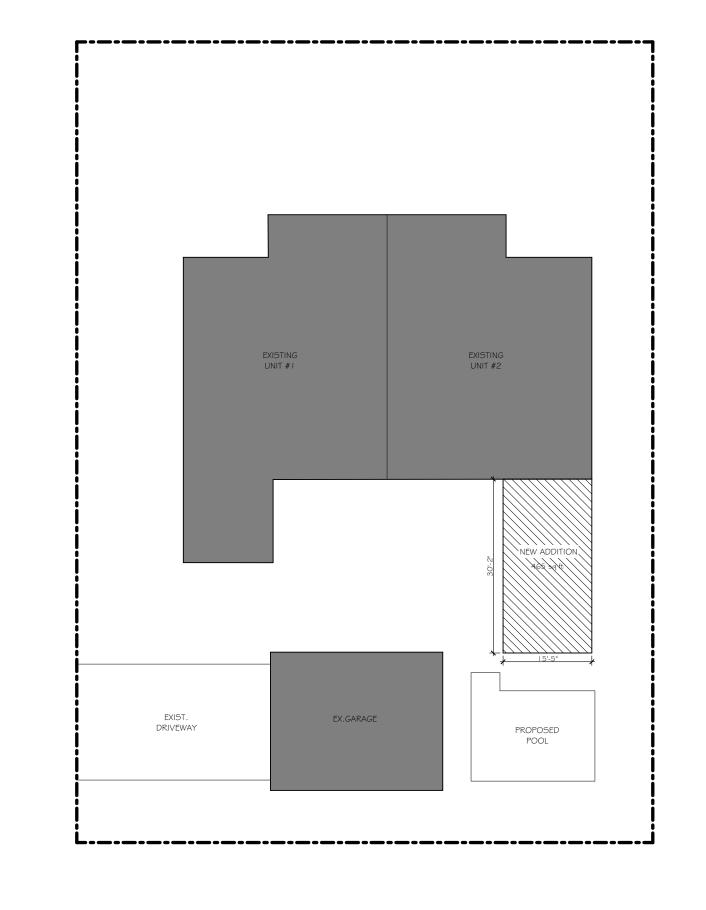
INTERIOR WALL

INTERIOR FIRE RATED PARTITION WALL



COMPOSITE OVERLAY PLAN:

PROJECT DATA:



DESIGN TEAM:

OWNER:

MARY & JOSEPH LARRIVEE 219 N. SWINTON AVE. DELRAY BEACH, FL 33444

ARCHITECT: STEVE SIEBERT ARCHITECTURE 466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 (561) 880-7894 STEVE@STEVESIEBERT.COM

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HISTORIC REVIEW SET

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PROJECT NO: 21-397 3.4.22 B.T. DRAWN BY: S.S. CHECKED BY:_

REVISIONS: TAC COMMENTS 5.27.22

COVER SHEET

GENERAL NOTES:

I. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.

2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. ONLY REQUESTED SHOP DRAWINGS AND SUBMITTALS TO BE PROVIDED TO ARCHITECT FOR REVIEW, ALL OTHERS TO BE APPROVED

AND REVIEWED BY G.C. 3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC. 4. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY LOCAL MUNICIPALITY OR A LICENSED CIVIL

ENGINEER OR LICENSED SURVEYOR. 5. PRIOR TO START OF CONSTRUCTION, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT AND ENGINEER OF RECORD BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES. ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK. THE CIVIL ENGINEER OF RECORD SHALL ESTABLISH THE +0'-0" FINISHED FLOOR BASE ELEVATION - REFERENCE CIVIL ENGINEERING PLANS FOR THE HEIGHT.

ARCHITECTURAL SYMBOLS:

TYPICAL THICK OR THICKNESS

WOOD

WELDED WIRE FABRIC

HOLLOE CORE

HOLLOW METAL

CONDITIONING

INSULATION

LAMINATED

MATERIAL

MAN HOLE

MOLDING

MINIMUM

NUMBER

NOMINAL

OPENING

PLATE

ON CENTER

OPEN WEB

RETURN AIR ROOM

REQUIRED

SCHEDULE

SECTION

SIMILAR

TOP OF

SOLID CORE

STAINLESS STEEL

SPECIFICATION

TOP OF FOOTING

TOP OF PLATE

TOP OF STEEL

STRAIGHT VINYL BASE

REINFORCING

SPALSH BLOCK

METAL THRESHOLD NOT IN CONTRACT

PLUMBING CONTRACTOR

POUNDS PER SQARE INCH

PRESSURE TREADED

METAL

INVERT

HEATING, VENTILATION. \$ AIR

MECHANICAL CONTRACTOR

H.M.

INSUL.

INV. LAM.

MAT.

M.C.

M.H.

MLDG.

MIN.

M.T.

NO.

NOM.

O.C.

OPG.

O.W.

P.C.

P.S.I.

R.A.

REIN.

S.B.

SCH.

S.C.

SIM.

S.S.

S.V.B.

SPEC.

T.O.

T.O.F.

T.O.P.

T.O.S.

UNO

V.C.T.

V.C.B.

VIF

W.I.

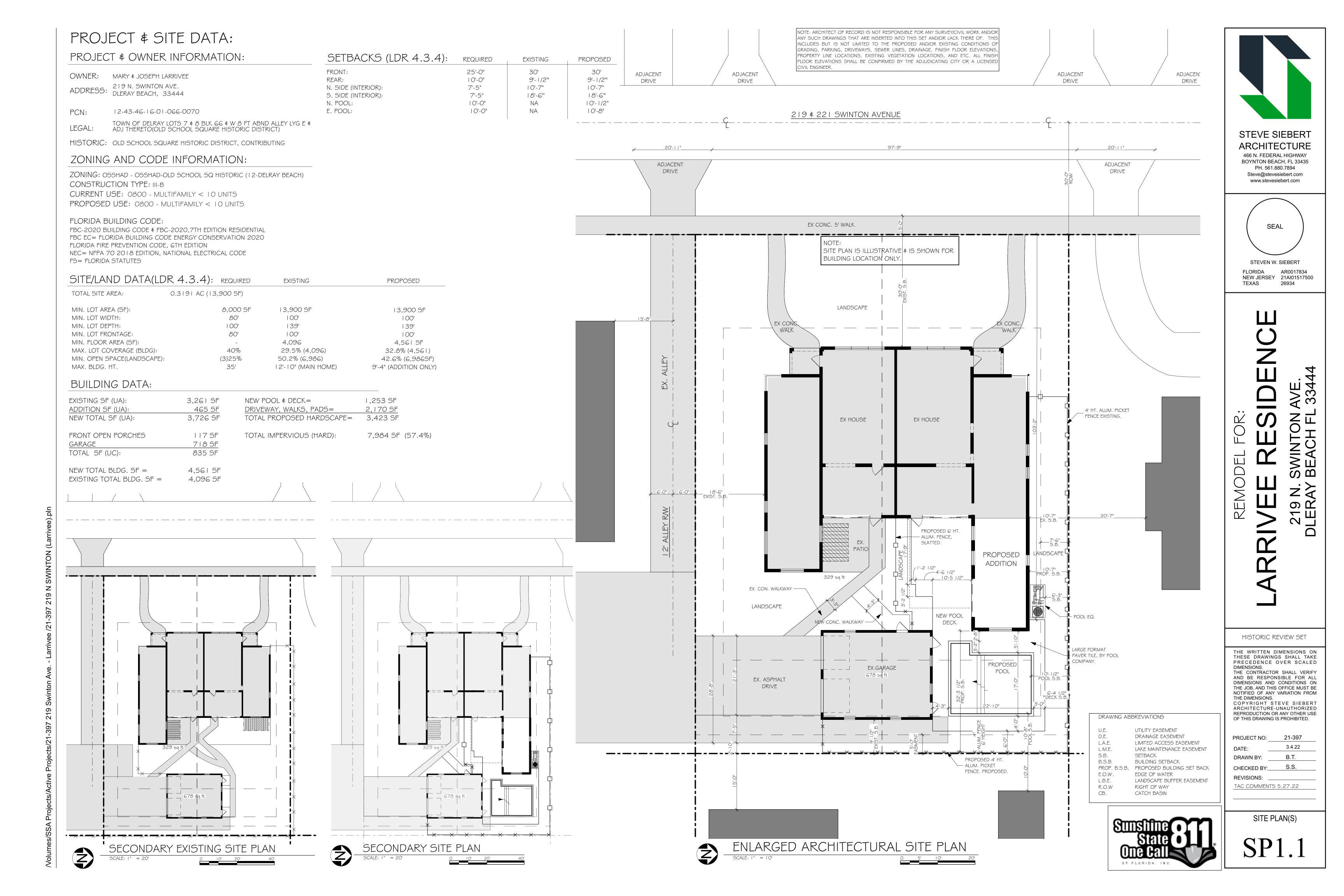
W.W.F.

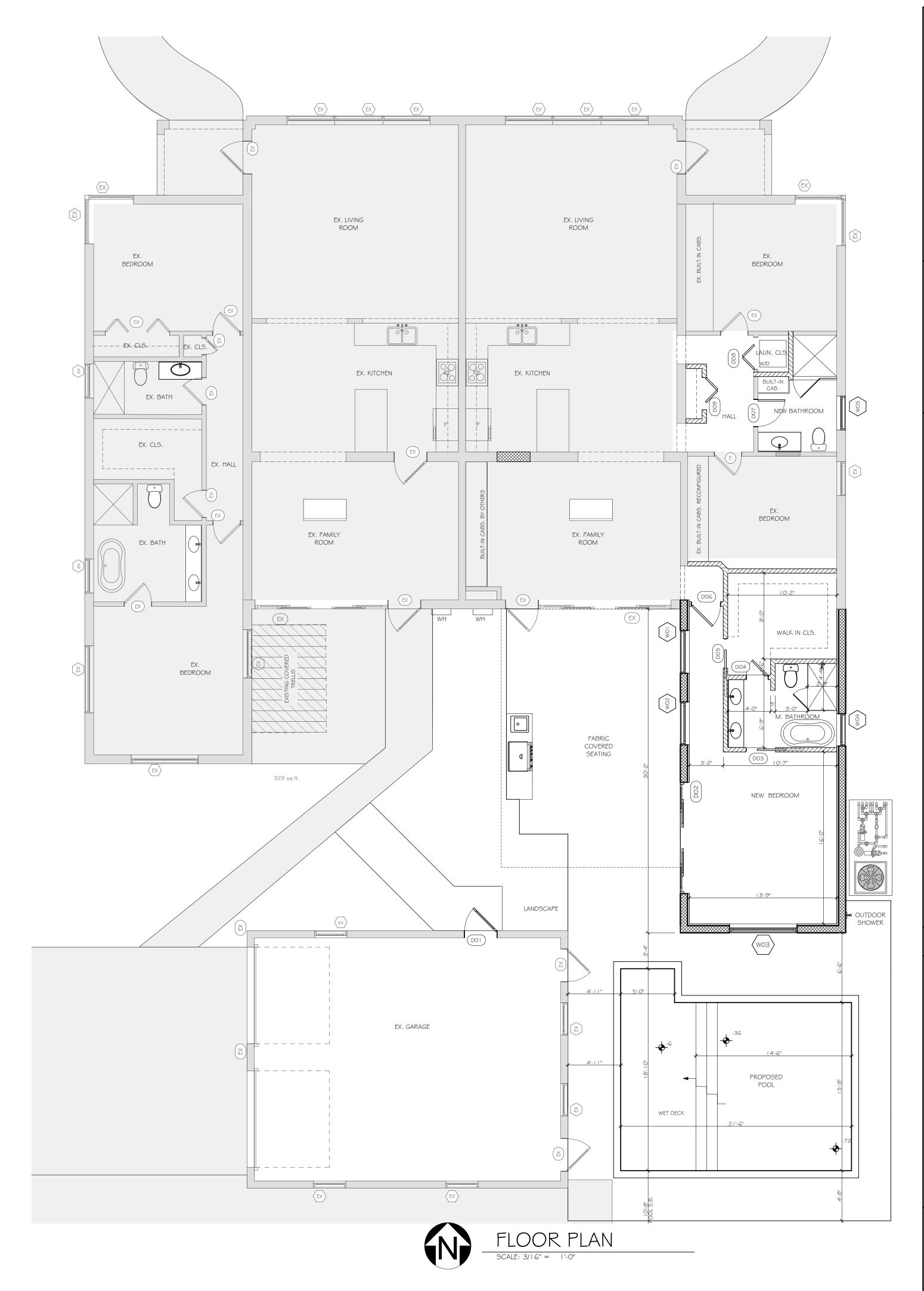
MTL. MET.

H.V.A.C.

TOUNGUE AND GROOVE UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VINYL COVE BASE VERIFY IN FIELD WROUGHT IRON

SECTION LETTER BUILDING SECTION - SHEET NUMBER / DETAIL NUMBER







466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 PH. 561.880.7894 Steve@stevesiebert.com www.stevesiebert.com

SEAL STEVEN W. SIEBERT FLORIDA AR0017834 NEW JERSEY 21AI01517500 TEXAS 26934

REMOD

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DIMENSIONS.
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AND BE RESPONSIBLE FOR ALL
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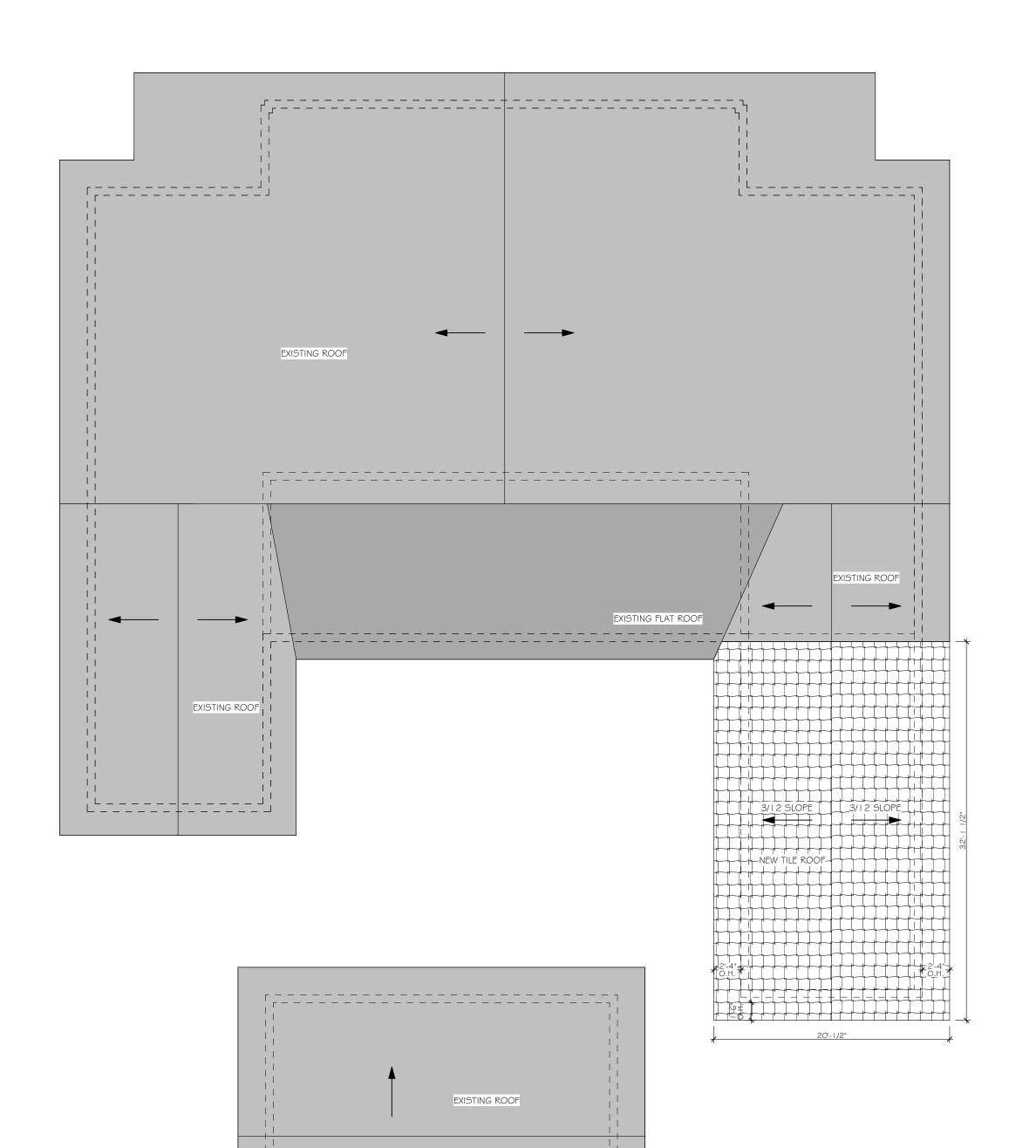
PROPOSED FLOOR PLAN



PERSPECTIVE C SCALE: 1:95.89



PERSPECTIVE D







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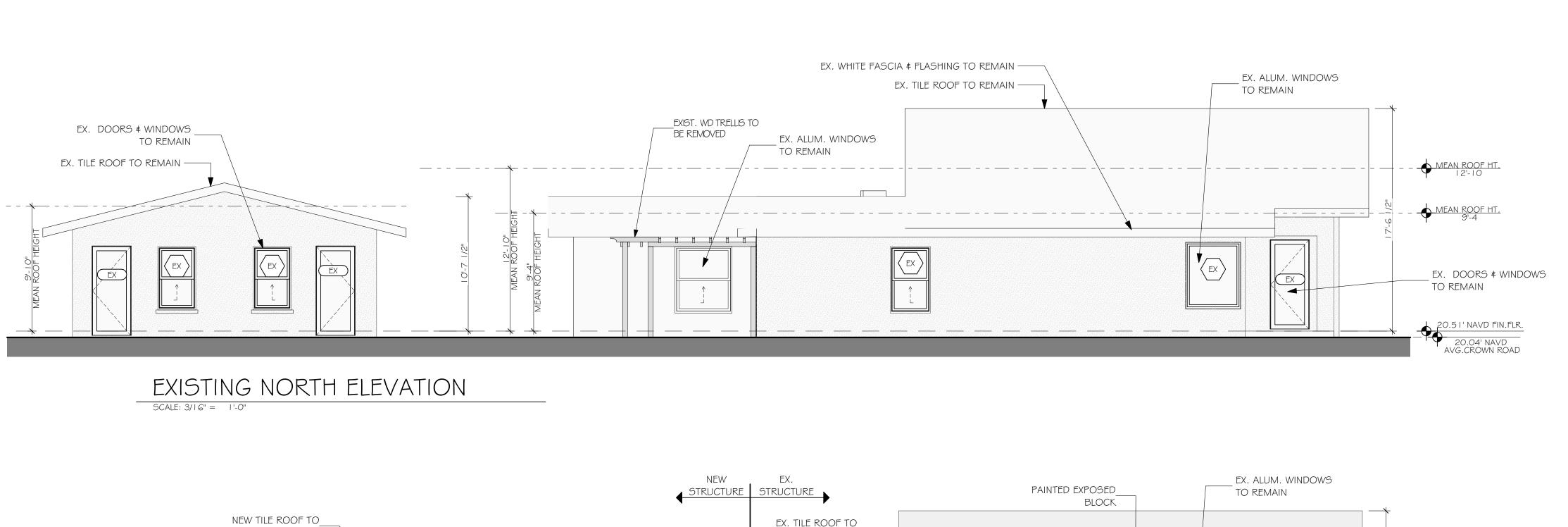
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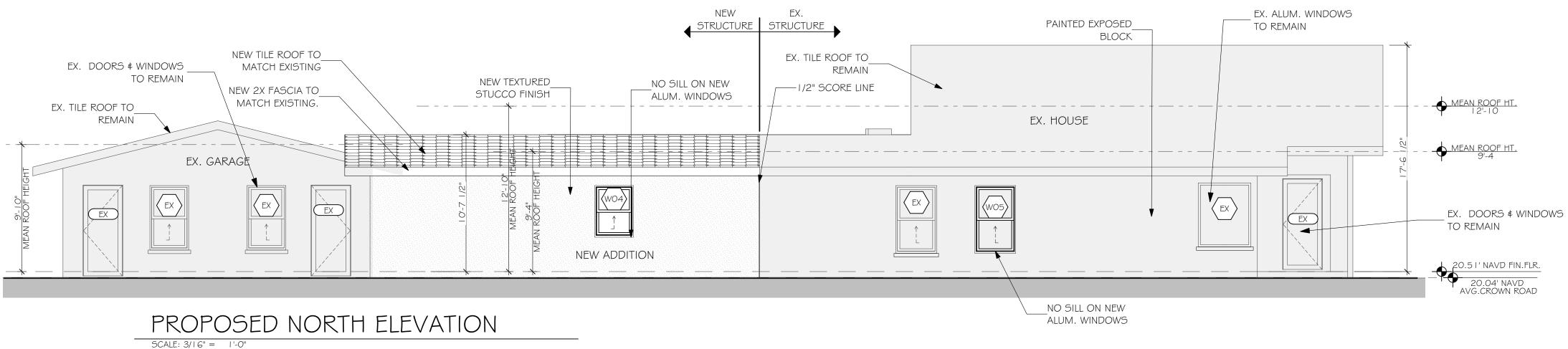
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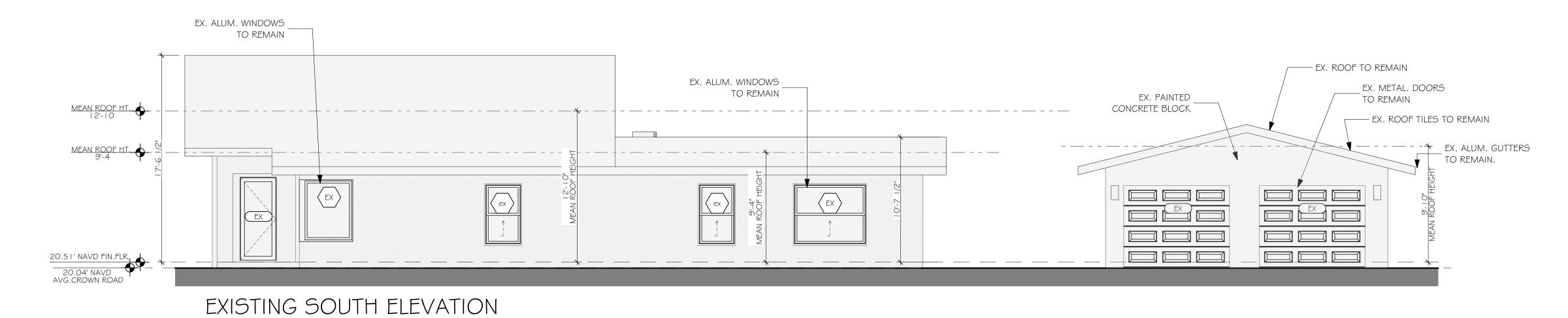
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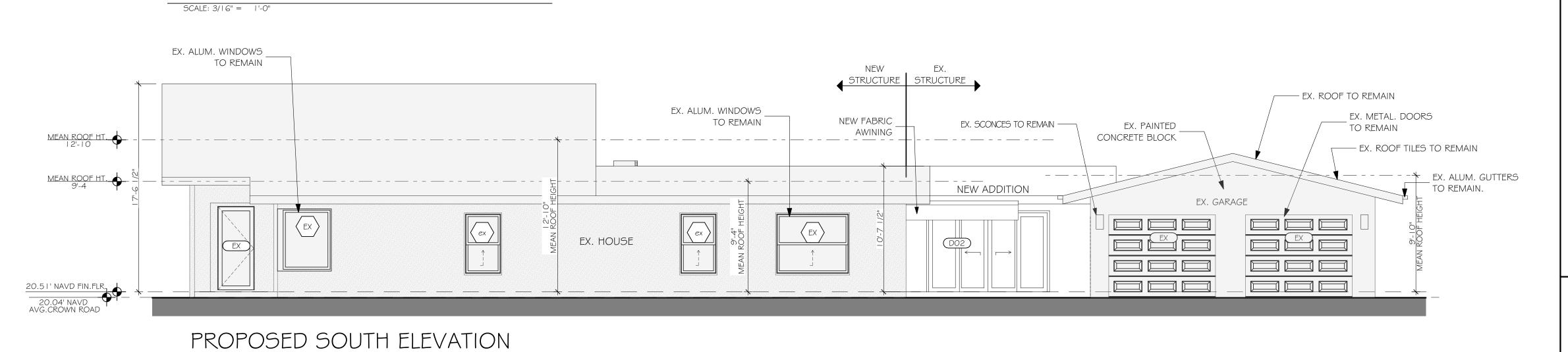
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> **ROOF PLAN &** PERSPECTIVES

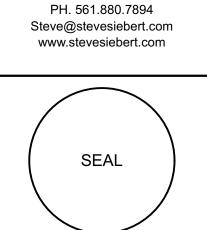








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TEXAS 26934

REMODEL FOR: NEE RESIDENCE

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 21-397

 DATE:
 3.4.22

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 B.T.

 CHECKED BY:
 S.S.

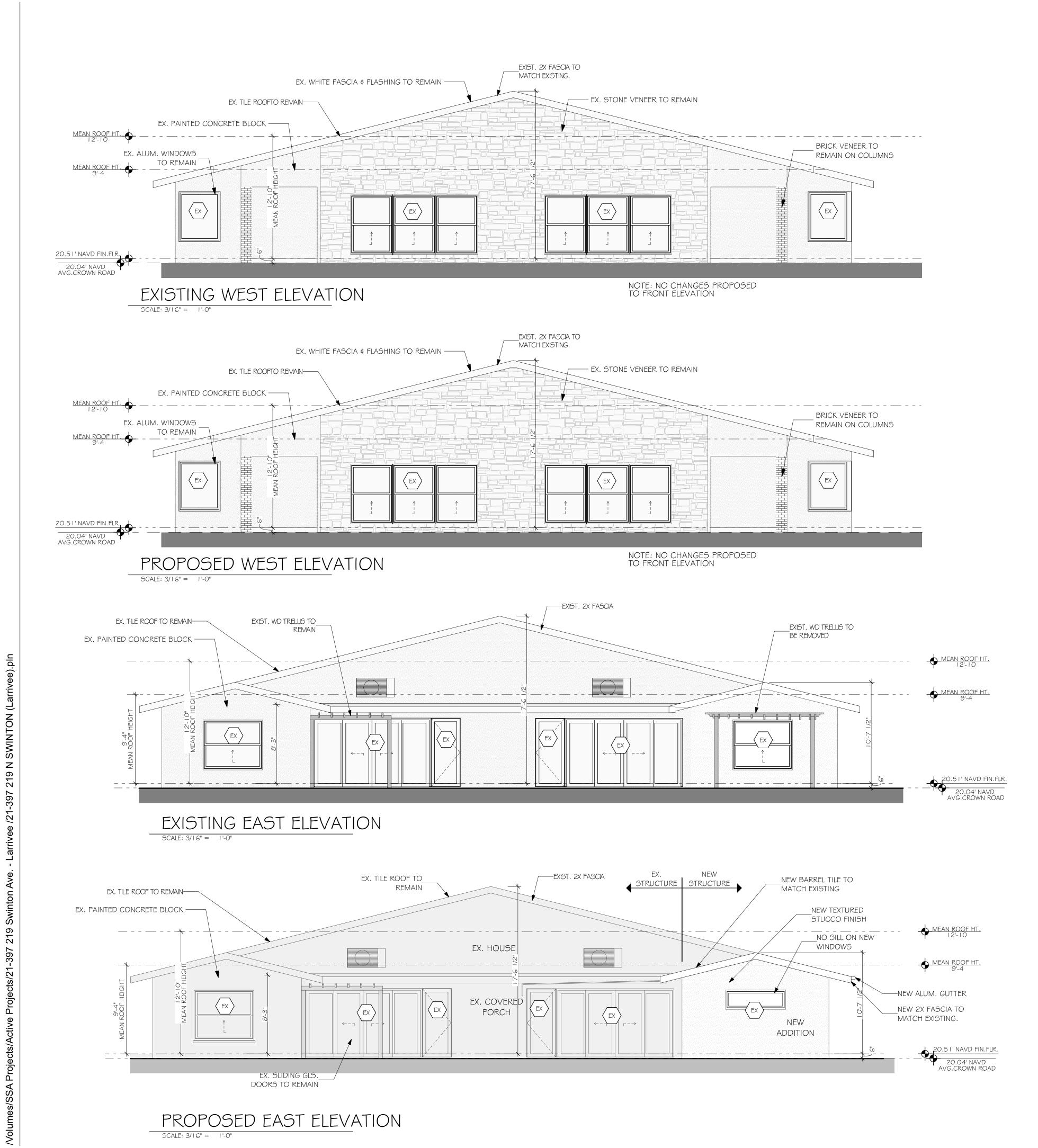
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REVISIONS: ______

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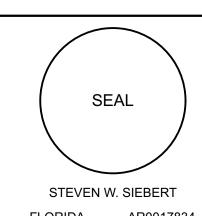
PROPOSED ELEVATIONS

A2.2



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ENCE

AIVER KESIDENC 219 N. SWINTON AVE.

REMOD

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THE DIMENSIONS.

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PROPOSED ELEVATIONS

A2.1



EX. EAST ELEVATION (Rear)



EX. WEST ELEVATION (Front)



EX. NORTH EAST (Oblique)



EX. SOUTH ELEVATION (Side)



EX. NORTH GARAGE ELEVATION (Rear)



EX. SOUTH GARAGE ELEVATION (Front)

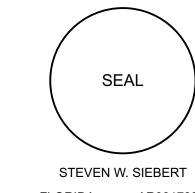
DOOR SCHEDULE:												
ID	W	HT	THK	MATERIAL	ZONE	REQUIRED PRESSURES (PSF)	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	TYPE	HRDWR GROUP	COLOR	COMMENTS
DOI	3'-0"	6'-8"	1 3/4"	WD/GLS	4	PER NOA	+80/-80	BY G.C.	I	А	WHT	GARAGE MAN DOOR
D02	10'-0"	6'-8"	MANU	ALUM/GLS	5	PER NOA	+60/-60	BY G.C.	2	D	WHT	SLIDING GLS. DOORS
D03	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	-	4	С	WHT	POCKET DOOR
D04	2'-0"	6'-8"	1 3/4"	SC WD	-	-	-	-	3	В	WHT	
D05	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	-	4	С	WHT	POCKET DOOR
D06	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	-	3	В	WHT	
D07	2'-6"	6'-8"	1 3/4"	SC WD					3	С	WHT	
D08	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	-	5	С	WHT	BIFOLD DOOR
D09	3'-0"	6'-8"	1 3/4"	SC WD	1	-	-	-	5	С	WHT	BIFOLD DOOR

	WINDOW SCHEDULE:											
ID	W	HT	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	TYPE	EGRESS	MATERIAL	COLOR	COMMENTS
WOI	4'-0"	5'-0"	4		+/-80	BY G.C.	N	S.H.	N	ALUM.	WHT	CLEAR GLASS, NO-TINT, NON-REFLECTIVITY
WO2	4'-0"	5'-0"	4		+/-80	BY G.C.	N	S.H.	N	ALUM.	WHT	CLEAR GLASS, NO-TINT, NON-REFLECTIVITY
WO3	6'-3"	2'-0"	4		+/-80	BY G.C.	N	FIXED	N	ALUM.	WHT	CLEAR GLASS, NO-TINT, NON-REFLECTIVITY
W04	3'-0"	4'-0"	4		+/-80	BY G.C.	N	S.H.	N	ALUM.	WHT	CLEAR GLASS, NO-TINT, NON-REFLECTIVITY
W05	3'-2"	5'-3"	4		+/-80	BY G.C.	N	S.H.	N	ALUM.	WHT	CLEAR GLASS, NO-TINT, NON-REFLECTIVITY



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DRAWN BY: B.T. CHECKED BY:______S.S.

REVISIONS: TAC COMMENTS 5.27.22

EX. PHOTOGRAPHS & SCHEDULES

HISTORIC STREETSCAPE

