Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Opal Grand Hotel
Project Location: 10 N. Ocean Blvd
Request: Class II Site Plan Modification
PCN: 12-43-46-16-E63-003-0010
Board: Site Plan Review and Appearance Board
Meeting Date: July 27, 2022
Board Action: 6 – 0 (Dana Post Adler absent)

Brief Description: Class II Site Plan Modification, Landscape Plan, and Architectural Elevations for the Opal Grand (fka Marriott) associated with the construction of a raised pool deck above an enclosed vehicular accessway from the north parking lot to the main entrance.

Board Action:
Approved (6-0 Dana Post Adler absent)

Project Description:
The Opal Grand Hotel, formerly known as the Marriott Hotel, is located on the northwest corner of East Atlantic Avenue and North Ocean Boulevard.

The Class II Site Plan Modification includes the following improvements: demolish existing pool deck fence (low wall and four piers) and replace with a raised deck, with 42-inch decorative aluminum guardrails and decorative stepped smooth stucco structural pier in Acadia white, lap siding Berkshire Beige, Bronze aluminum railings and Brilliant White wood tri, columns, and banding; modify existing road from the north parking lot to the main entrance by excavating it to slope down below a new raised pool deck expansion; relocate the pool equipment enclosure and pool shower; Install new planter boxes at the stairs and ramp of the pool deck and at the ends of the deck; install fire pit on the deck; install additional landscaping and lighting associated with the areas being improved.

Board Comments:
N/A

Public Comments:

Associated Actions:
N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.

DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Opal Grand Hotel

Meeting	File No.	Application Type
July 27, 2022	2020-106-SPF-SPR-CL2	Class II Site Plan Modification
Property Owner	**Applicant**	**Agent**
Ocean Properties LTD	Ocean Properties LTD	GE Architecture Inc./Gary P. Eliopoulos

Request

Consideration of a Class II Site Plan Modification, Landscape Plan, and Architectural Elevations for the Opal Grand (fka Marriott) associated with the construction of a raised pool deck above an enclosed vehicular accessway from the north parking lot to the main entrance.

General Data

Location: 10 North Ocean Boulevard, northwest corner of East Atlantic Avenue and North Ocean Boulevard

PCN: 12-43-46-16-E3-003-0010

Property Size: 4.6 acres

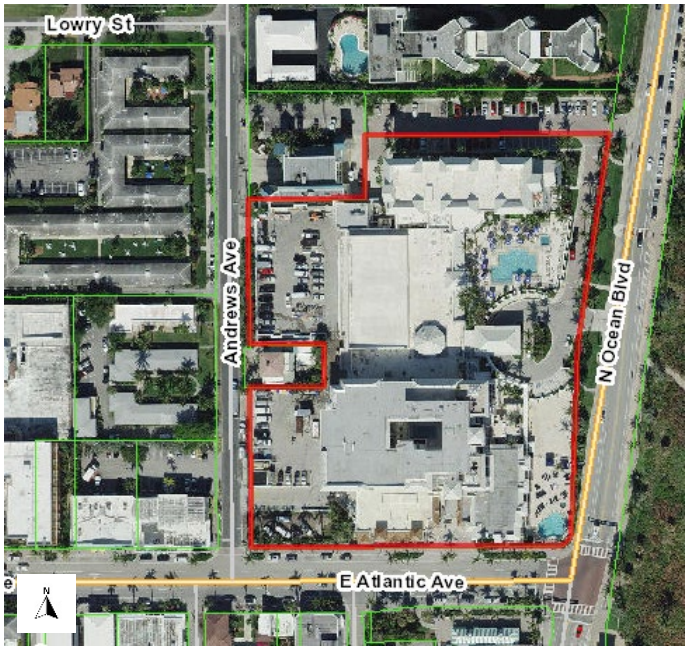
LUM: CC (Commercial Core)

Zoning: Central Business District (CBD), Beach Sub-district

Adjacent Zoning:
- **North:** Open Space (OS) & Community Facilities (CF)
- **South:** CBD, Beach Sub-district
- **East:** Atlantic Ocean
- **West:** Multiple Family Residential – Medium Density (RM) & CBD, Beach Sub-district

Existing Land Use: Hotel

CBD Beach Sub-district:
- **East Atlantic Avenue:** Primary Street, Required Retail Frontage
- **North Ocean Boulevard:** Primary Street, Required Retail Frontage



Background

The Opal Grand Hotel, formerly known as the Marriott Hotel, is located on the northwest corner of East Atlantic Avenue and North Ocean Boulevard. The existing 328,486 square foot development includes a 277-room hotel, associated indoor and outdoor hotel amenities, a valet parking queue, and structured parking garage. The hotel was first constructed in 1983 and has gone through several

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Jennifer Buce, Planner
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561.243.7138

Attachments:
- Application Justification Statement
- Site Plan
- Landscape Plan
- Architectural Elevations

modifications and expansions. The most recent approvals and modifications relative to the current hotel and the anticipated improvements are highlighted below:

October 14, 2008: SPRAB approved a Class IV Site Plan Modification for the construction of a two-story hotel addition containing nine cabana suites, expanding the existing restaurant, adding a retail and commercial component, constructing a four-story hotel addition with 27 suites along the entire south property line fronting on East Atlantic Avenue, adding a kitchen to better accommodate existing banquet rooms, and expansion of the existing pool deck.

September 22, 2010: SPRAB approved a two-year extension request for the Class IV Modification, which established a new expiration date of October 14, 2012.

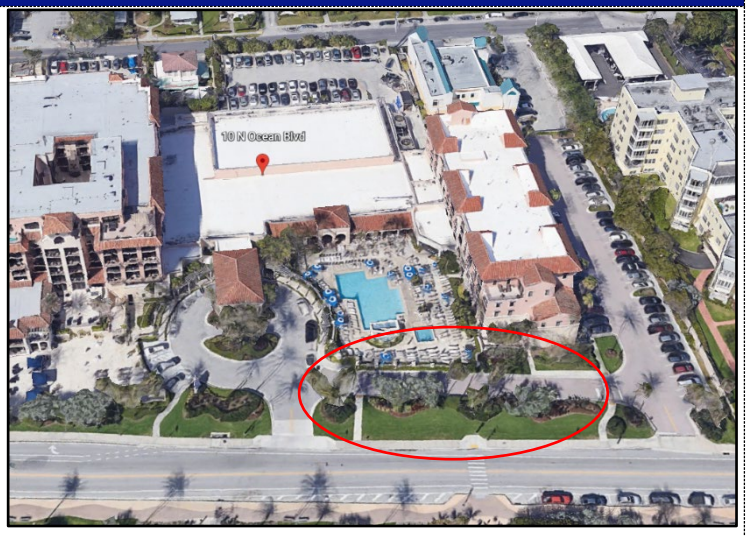
August 8, 2012: SPRAB approved an additional extension request and a Class I Site Plan Modification, allowing the Class IV Site Plan Modification to be completed in three phases.

June 12, 2019: SPRAB approved a Class II Site Plan Modification primarily related to architectural modifications associated with the rebranding of the hotel from the Marriott to the Opal Grand.

October 28, 2020: SPRAB approved a Class II Site Plan Modification associated with the addition of a new event deck, additional parking, and architectural modifications.

May 25, 2022: SPRAB approved a Class I Site Plan Modification to create a loading space for laundry drop off and a trash compactor and install roll up doors and windows on the west elevation.

Description of Proposal



The Class II Site Plan Modification includes the following improvements (located within area circled in red):

- Demolish existing pool deck fence (low wall and four piers) and replace with a raised deck, with 42-inch decorative aluminum guardrails and decorative stepped smooth stucco structural pier in Acadia white, lap siding Berkshire Beige, Bronze aluminum railings and Brilliant White wood tri, columns, and banding;
- Modify existing road from the north parking lot to the main entrance by excavating it to slope down below a new raised pool deck expansion;
- Relocate the pool equipment enclosure and pool shower;
- Install new planter boxes at the stairs and ramp of the pool deck and at the ends of the deck;
- Install fire pit on the deck;
- Install additional landscaping and lighting associated with the areas being improved.

The elevation below illustrates the street view of the raised deck area from North Ocean Boulevard.

Review and Analysis: Site Plan and Zoning

LDR Section 2.4.5(G)(1)(c), Modifications to site plans and Master Development Plans: Class II
The approval of items (other than Class I applications) which requires no review of Performance Standards found in Section 3.1.1, but which requires action by a Board.

The proposed modifications to the landscaping and the construction of the pool deck area and covered vehicular access way prompts the review of a Class II Site Plan Modification, which requires Board Action.

Section 4.4.13, Central Business District

Standard/Regulation	Review
Primary and Secondary Streets and Alleys 4.4.13(B)(1)	*Primary Streets are intended to develop over time as superior pedestrian environments and, as such, are held to higher standards in the regulations regarding building placement, building frontage, and the location of parking and service uses.* While the improvements do not include the streetscape area, as is required found on new construction projects, the addition of the deck over the roadway improves the pedestrian environment by bringing more activity closer to the street.
Required Retail Frontage 4.4.13(B)(2)	*Certain Primary Streets within the CBD are intended to be lively, highly active pedestrian environments that support businesses and reinforce local character.* Hotels are allowed on streets designated with required retail frontage. The addition of the raised deck brings the active outdoor spaces closer to the street, where a roadway currently exists that separates the outdoor hotel areas from the public realm.
Architectural Elevations 4.4.13(F)	A review of the CBD architectural requirements is provided under the **Architectural Elevations** section of the report, as applicable to the improvements.

Other Requirements

Standard/Regulation	Review
Lighting LDR Section 4.6.8	**Requirement(s):** *all developments/redevelopments are encouraged to utilize energy efficiency lighting; Artificial lighting used to illuminate premises shall be directed in such a way to minimize light spillover on adjacent properties and reduce urban glow...When lighting is proposed within the vicinity of the beach it shall comply with all other City of Delray Beach Code Sections, including, but not limited to, Section 91.51 (Sea Turtles) which requires that all lighting shall be screened or shielded so that the light is not visible from the beach.*

	Provided: The LED Amber Lighting proposed around the pool deck meets the standards and complies with the requirements of the "Sea Turtle Protection and Sand Preservation" of the Palm Beach County Code of Ordinances.
Lighting, Cutoff luminaire required LDR Section 4.6.8(2)	**Requirement:** *all perimeter exterior lighting shall be full cutoff luminaries to minimize spillover on adjacent properties…to decrease urban glow, no luminaries shall be directed upwards.* **Provided:** The lighting proposed in the access driveway tunnel is full cut off luminaries and meets the illumination standard for a tunnel which is 1.0-to-10-foot candles. Therefore, the tunnel lighting is not anticipated to negatively affect sea life.
Off Street Parking, Hotels and motels LDR Section 4.6.9(C)(7)(e)	As the changes to the pool deck and addition of the tunnel do not increase the number of guest rooms or interior floor area, parking is not being modified as part of this application.

Review & Analysis: Landscape Plan

LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

(a) Objectives of landscaping regulations Section 4.6.16;

(b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Pursuant to **LDR Section 4.6.16(C)(1)(a)**, prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of LDR Section 4.6.16 shall be assured through the review and approval of a landscape plan pursuant to Section 2.4.3(C).

The proposed landscape improvements primarily consist of tree relocation and preservation, as well as additional installation of shrubs to ground covers to enhance the frontage along North Ocean Boulevard. The landscape plans were reviewed and found to comply with landscape requirements pursuant to LDR Section 4.6.16. An arborist report and tree disposition plan are submitted with the landscape plan; no mitigation for replacement or in-lieu fees are required by the modifications.

Review & Analysis: Architectural Elevations

LDR Section 2.4.5(I)(5), Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR Section 4.6.18(A)(2)

It *is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

LDR Section 4.6.18(E), Criteria for board action, *the following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.*

1. *The plan or the proposed structure, is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*

2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*

3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The following Objective and Policy from the Neighborhood, Districts, & Corridors Element of the Always Delray Comprehensive Plan are applicable to the subject request.

Policy NDC 1.3.5 *Use the Commercial Core land use designation to stimulate the vitality and economic growth of the city while simultaneously enhancing and preserving the cultural and historic downtown area.*

Objective NDC 2.2 Downtown and Surrounding Neighborhoods *Protect and enhance the "Village by the Sea" character of the downtown and neighborhoods located east of I-95.*

The proposed modifications are consistent with the surrounding area and the overall appearance of the building's Florida Vernacular architectural style. The access driveway, which acts as a tunnel with the decorative aluminum louvered vents, has a clearance of 8 feet and 4 inches and will primarily be used for valet parking operations, transporting vehicles from the main entrance of the hotel to the north parking lot. The raised pool deck is four feet from the top of the ground floor to the top of the deck. The deck, which measures 111 feet, 10 inches by 23 feet, 1 inch, will provide additional space for guests utilizing the hotel pool and outdoor areas. The deck includes steps, a handicap ramp, decorative planters, and a firepit. The pool equipment is being relocated to the north of the raised deck, which will be enclosed and will not be visible to guests. Below are renderings of the proposed access driveway tunnel and the pool deck expansion. The proposed modifications, which contribute to the image of the hotel and the overall image of the City, are in good taste and illustrate good design.

Reviewed by Others

The proposal was reviewed by the **Downtown Development Authority (DDA)** on March 9, 2020. The DDA Board recommended approval of the proposal.

Board Action Options

A. Move **approval** of the Class II Site Plan Modification (2020-106) associated with the construction of a raised pool deck above an enclosed vehicular accessway from the north parking lot to the main entrance for the **Opal Grand Hotel** located at 10 North Ocean Boulevard, finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.

B. Move to **deny** the Class II Site Plan Modification (2020-106) associated with construction of a raised pool deck above an enclosed vehicular accessway from the north parking lot to the main entrance for the **Opal Grand Hotel** located at 10 North Ocean Boulevard, finding that the request is not consistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

C. Move to **continue with direction**.

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)

ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE
NORTH OCEAN BLVD.	FINISHED GRADE TO 37'-0" 397' LOT FRONTAGE	70% / 90%	10'-0" MAX.	353' / 454'	0'
	REMAINING LENGTH		15'-0" MIN.	15' / 50'	478'-0"

ALLOWABLE MIN. BUILDING LENGTH: 353'-0" = 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

ALLOWABLE MAX. BUILDING LENGTH: 454'-0" = 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK: 0'-0" = 0%

PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK: 478'-0" = 100 %

BUILDING HEIGHT — REQUIRED: MIN. 25'-0"/48'-0" — PROVIDED: 18'-6" (TOP OF CABANA SUITES)

OPEN SPACE — REQUIRED: 10 % — PROVIDED: 11.3 %

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)

ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE
ATLANTIC AVENUE (LOWER LEVEL)	FINISHED GRADE TO 37'-0" 397' LOT FRONTAGE	70% / 90%	10'-0" MAX.	278' / 357'	283'-6"
	REMAINING LENGTH	10% / 30%	15'-0" MIN.	40' / 119'	49'-0"
ATLANTIC AVENUE (UPPER LEVEL)	37'-0" TO 48'-0" 397' LOT FRONTAGE	70% / 90%	15'-0" MIN.	278' / 357'	357'-0"
	REMAINING LENGTH	10% / 30%	5'-0" MIN.	40' / 119'	40'-0" (10%)

ALLOWABLE MIN. BUILDING LENGTH: 278'-0" = 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

ALLOWABLE MAX. BUILDING LENGTH: 357'-0" = 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK: 283'-6" = 71.4%

PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK: 49'-0" = 12.3 %

BUILDING HEIGHT — REQUIRED: MIN. 25'-0"/48'-0" — PROVIDED: 42'-11" (ROOF DECK ABOVE AVG. CROWN OF RD.)

OPEN SPACE — REQUIRED: 10 % — PROVIDED: 11.3 %

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)

ROAD/ BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)	PROPOSED BUILDING FRONTAGE
ANDREWS AVENUE	FINISHED GRADE TO 42'-11" 77'-4 1/8" LOT FRONTAGE	70% / 90%	10'-0" MAX.	54' / 70'	12'-0"
	REMAINING LENGTH		15'-0" MIN.	23' / 7'	26'-6"

ALLOWABLE MIN. BUILDING LENGTH: 54'-0" = 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

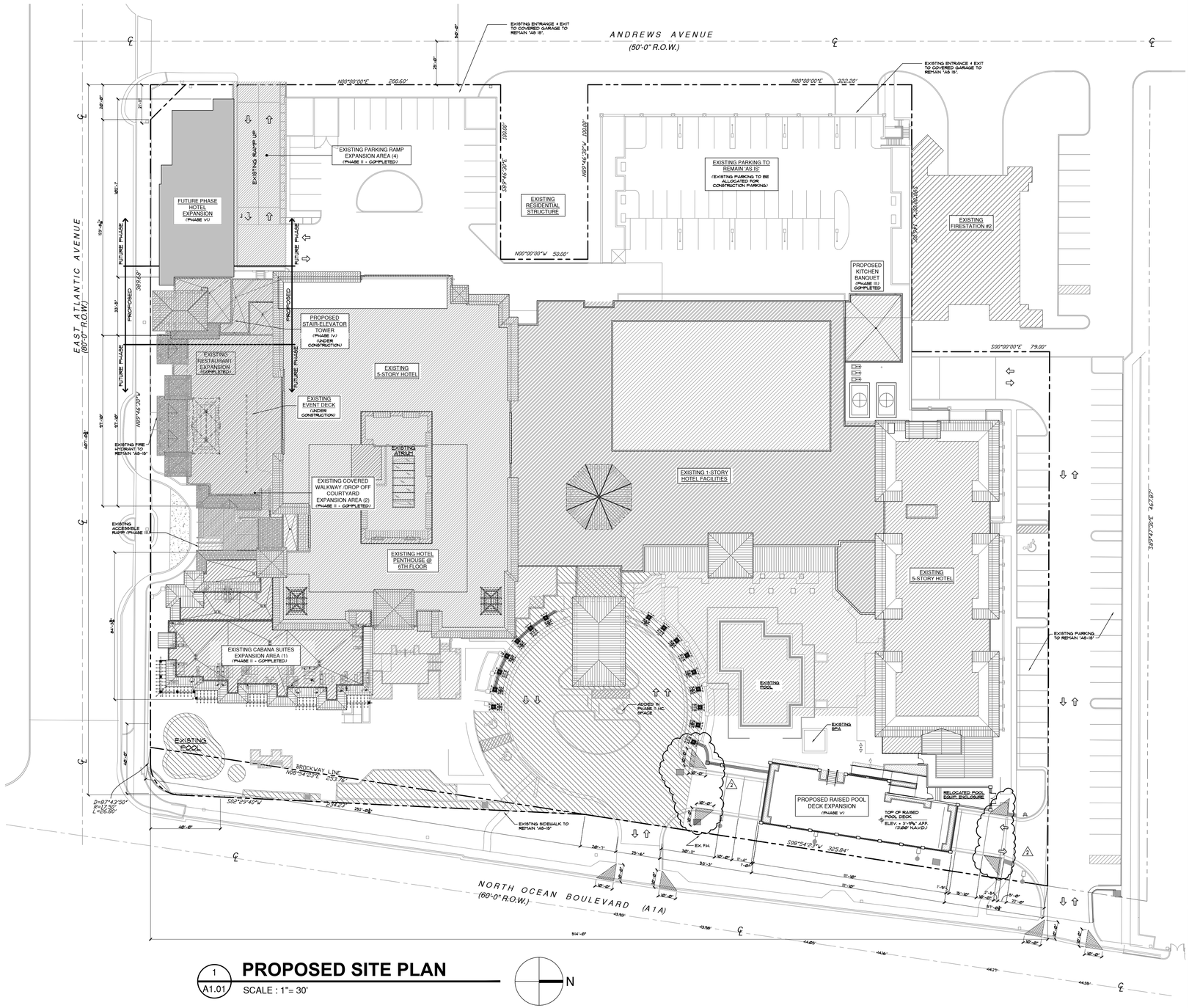
ALLOWABLE MAX. BUILDING LENGTH: 70'-0" = 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.

PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK: 12'-0" = 15.6%

PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK: 26'-6" = 34.4 %

BUILDING HEIGHT — REQUIRED: MIN. 25'-0"/48'-0" — PROVIDED: 42'-11" (ROOF DECK ABOVE AVG. CROWN OF RD.)

OPEN SPACE — REQUIRED: 10 % — PROVIDED: 11.3 %

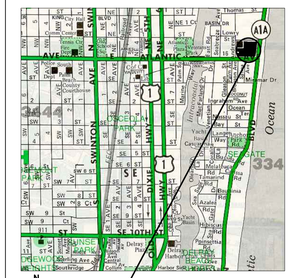


1 A1.01 **PROPOSED SITE PLAN**

SCALE : 1"= 30'

N

LOCATION MAP:



ZONING: CENTRAL BUSINESS DISTRICT

SITE:

TOTAL SITE AREA	= +/- 202,180 S.F.	100 %
EXISTING BASEMENT PARKING GARAGE	= 117,473 S.F.	
• EXISTING GROUND FLOOR	= 61,934 S.F.	30.7 %
EXISTING MEZZANINE	= 4, 098 S.F.	
EXISTING SECOND FLOOR	= 31,411 S.F.	
EXISTING THIRD FLOOR	= 31,341 S.F.	
EXISTING FOURTH FLOOR	= 30,662 S.F.	
EXISTING FIFTH FLOOR	= 30,402 S.F.	
EXISTING PENTHOUSE SUITES	5,414 S.F.	
TOTAL EXISTING BUILDING AREA	= 312,735 S.F.	

EXISTING EASTSIDE EXPANSION (2 STORY HOTEL CABANA SUITES)

• EXISTING GROUND FLOOR	= 5,760 S.F.	2.8 %
EXISTING SECOND FLOOR	= 5,417 S.F.	
TOTAL EXISTING EASTSIDE ADDITION	= 11,177 S.F.	

SOUTH EXPANSION (1 STORY RESTAURANT EXPANSION)

• PROPOSED GROUND FLOOR (RESTAURANT EXPANSION)	= 4,253 S.F.	2.1 %
• PROPOSED GROUND FLOOR (OUTDOOR DINING)	= 2,152 S.F.	1 %

SOUTH EXPANSION (EVENT DECK)

• PROPOSED EVENT DECK	= 3,943 S.F.	
• PROPOSED GREEN BUFFER DECK (RESTAURANT EXPANSION)	= 1,132 S.F.	

SOUTHEAST STAIR-ELEVATOR TOWER (4 STORY EXPANSION)

• PROPOSED TOWER STREET LEVEL (SERVICING RESTAURANT, EVENT DECK & FUTURE 4 STORY RETAIL- HOTEL EXPANSION)	= 910 S.F.	0.4 %

PROPOSED GROUND FLOOR TOWER = 1,747 SQ. FT. (TIE-IN WITH PROPOSED RESTAURANT EXPANSION)
PROPOSED MEZZANINE LEVEL = 227 SQ. FT. (TIE-IN WITH FUTURE MEZZANINE HOTEL EXPANSION)
(TIE-IN WITH FUTURE MEZZANINE HOTEL EXPANSION)
PROPOSED EVENT DECK TOWER LOBBY = 876 SQ. FT. (TIE-IN WITH FUTURE 2ND FLR. HOTEL EXPANSION)
PROPOSED 2ND FLR. ELEVATOR LOBBY = 227 SQ. FT.
PROPOSED 3RD FLR. ELEVATOR LOBBY = 672 SQ. FT. (TIE-IN WITH FUTURE 2ND FLR. HOTEL EXPANSION)

EAST RAISED POOL DECK / DRIVEWAY TUNNEL PHASE VI

• PROPOSED RAISED POOL DECK	= 3,993 S.F.	1.9 %

WEST/SIDE EXPANSION (4 STORY COMMERCIAL/HOTEL GUEST SUITES)

• PROPOSED TOTAL GROUND FLOOR (RETAIL SPACES)	= 4,116 S.F.	2.0 %
PROPOSED TOTAL MEZZANINE LEVEL (HOTEL SUITES)	= 3,851 S.F.	
PROPOSED SECOND FLOOR (HOTEL SUITES)	= 3,690 S.F.	
PROPOSED THIRD FLOOR (HOTEL SUITES)	= 3,703 S.F.	
TOTAL BLDG. AREA	= 19,360 S.F.	

• TOTAL BUILDING FOOTPRINT	= 73,561 S.F.	36.3 %
• IMPERVIOUS	= 100,967 S.F.	50.0 %
• LANDSCAPE (PERV.)	= 22,826 S.F.	11 %
• LANDSCAPE (FUTURE PHASE IV RETAIL)	= 5,339 S.F.	2.7 %

SETBACKS:

SIDE INT.	0'-0"	N.A. EXISTING
FRONT	5'-0"/10'-0"	2'-5'/5'-0"/10'-0" (ALONG ATLANTIC AVE.)
REAR	10'-0"	N.A. EXISTING
SIDE STREET	5'-0"/10'-0"	8'-2" (ALONG ANDREWS AVE.)
ALLOWABLE HT.	48'-0"	

LEGAL DESCRIPTION

PARCEL 3, SEACREST HOTEL PROPERTY -PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 84, PAGE 35 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LEGEND:

- EXISTING & P H A S E I & II COMPLETED
- P H A S E V & VI (FUTURE PHASE) AREAS TO REMAIN "AS IS" OR CONVERTED TO OPEN SPACE -SEE LANDSCAPE PLAN
- PAVERS AS PER EXISTING CITY SPECIFICATIONS.
- REMAINER OF DRIVEWAYS TO BE ASPHALT -SEE CIVIL DWGS.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DESCRIPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. VERIFY ALL SLOPES OF PROPOSED SIDEWALKS W/ CIVIL DRAWINGS.

ADDITION AND RENOVATION: PROPOSED PARKING:

PHASE III

1 STORY RESTAURANT EXPANSION
PROPOSED RESTAURANT @ 4,253 SQFT.
@ 6 SPACES/1000 SQFT. (REQUIRED) = 26 SPACES
PROPOSED RELOCATED OUTDOOR SEATING
@ 2,152 SQFT. (NOTED: EXISTING 1,000 SQFT.= 6 SPACES)
ADDITIONAL 1,152 SQFT. @ 6 SPACES/1000 SQFT.
= 7 SPACES

TOTAL PARKING REQUIRED = 33 SPACES

PHASE III

1 STORY BANQUET/KITCHEN ADDITION
PROPOSED KITCHEN ADDITION @ NW CORNER/ 1,282 SQFT.
(NO ADDIT. PARKING REQUIRED).

PHASE III

EVENT DECK
PROPOSED EVENT DECK @ 3,943 SQFT.
@ 6 SPACES/1000 SQFT. (REQUIRED) = 24 SPACES
PROPOSED GREEN BUFFER DECK @ 1,132 SQFT.
(ASTRO TURF SURFACE NOT OCCUPIABLE SPACE)
TOTAL DECK AREA: 5,075 SQ. FT.

P H A S E I V

PHASE IV

ELEVATOR- STAIR TOWER
PROPOSED STREET-LEVEL ENTRY @ 635 SQ. FT.
(TIE-IN TO FUTURE RETAIL GROUND FLOOR PHASE V)
PROPOSED GROUND FLOOR TOWER @ 1,747 SQ. FT.
(TIE-IN WITH PROPOSED RESTAURANT EXPANSION PHASE III)
PROPOSED MEZZANINE LEVEL @ 229 SQ. FT.
(TIE-IN WITH MEZZANINE HOTEL EXPANSION)
PROPOSED EVENT DECK TOWER LOBBY @ 876 SQ. FT.
(TIE-IN WITH MEZZANINE HOTEL EXPANSION)
PROPOSED 2ND FLR. ELEVATOR LOBBY @ 556 SQ. FT.
(TIE-IN WITH 2ND FLR. HOTEL EXPANSION)
PROPOSED 3RD FLR. ELEVATOR LOBBY @ 377 SQ. FT.
(TIE-IN WITH FUTURE 3RD FLR. HOTEL EXPANSION)

P H A S E V

PHASE V — THIS PERMIT
RAISED POOL DECK W/ DRIVEWAY TUNNEL
PROPOSED RAISED POOL DECK @ 3,780 SQ. FT.
(EXCAVATION AND RAMPING OF EXT'G. DRIVEWAY)
PROPOSED RAISED POOL DECK @ 3,993 SQ. FT.
(BUILD OVER PROPOSED DRIVEWAY TUNNEL)
POOL EQUIPMENT ENCLOSURE @ 400 SQ. FT.

P H A S E V I

PHASE VI
4 STORY COMMERCIAL/HOTEL GUEST SUITES ADDITION
PROPOSED GROUND FLOOR RETAIL SPACE
@ 2,663 SQFT. @ 4.5 SPACES/1000 SQFT. (REQUIRED)
= (11.8 SPACES) 12 SPACES

PROPOSED (15) 4-STORY HOTEL GUESTROOM SUITES
@ SE CORNER (RANGING FROM 383 SQFT. TO 1,104 SQFT.)
NOTE: (2) EXISTING HOTEL SUITES ELIMINATED IN EXISTING HOTEL FOR NEW HOTEL CONN. CORRIDOR
@ EXISTING HOTEL FLOORS 2ND & 3RD.
.7 SPACES/ROOM (REQUIRED)
= (10.5 - 1.4 = 9.1) 10 SPACES

TOTAL PARKING REQUIRED FOR HOTEL RENOVATION/ADDITION = 79 SPACES

TOTAL PARKING REQUIRED FOR EXISTING HOTEL & HOTEL RENOVATION/ADDITION =

EXISTING HOTEL (REQUIRED)	= 383 SPACES
EXTG. 2 STORY (B/CABANA SUITE (REQ.)=	6 SPACES
PROPOSED HOTEL RENOV/ADDITION	= 79 SPACES

EXISTING PARKING	= 489 SPACES
50 SPACE VARIANCE (JUNE 1990)	= 50 SPACES
TOTAL EXISTING PARKING	= 539 SPACES

PHASE II PARKING CONDITION

EXISTING H.C. PARKING	= 2 SPACES
EXISTING PARALLEL PARKING	= 4 SPACES
EXISTING STANDARD PARKING	= 26 SPACES
TOTAL SPACE ELIMINATED	= 32 SPACES
TOTAL EXISTING PARKING	= 507 SPACES
ADDITIONAL HC SPACE (PHASE II)	= 1 SPACE
TOTAL EXISTING PARKING	= 508 SPACES

PHASE III ADDITIONAL HC PARKING	= 4 SPACE
PARKING SPACE ELIMINATED AFTER CONVERTED TO ACCESSIBLE PARKING	= 2 SPACE
TOTAL PARKING	= 506 SPACES

PARKING REQUIRED

EXISTING HOTEL	= +371 SPACES REQUIRED
INTERIOR RENOVATION (SPA & ADMIN.)	= -6.22 CREDIT SPACES
PHASE II (CABANA SUITES, COURTYARD & RAMP)	= +6 SPACES REQUIRED
PHASE III (PROPOSED RESTAURANT EXPANSION)	= +33 SPACES REQUIRED
PHASE III (PROPOSED EVENT DECK)	= +24 SPACES REQUIRED
PHASE III (PROPOSED STAIR-ELEVATOR TOWER)	= +0 SPACES REQUIRED
PHASE IV (GROUND FLOOR RETAIL)	= +12 SPACES REQUIRED
PHASE IV (SOUTH WEST HOTEL EXPANSION)	= +10 SPACES REQUIRED
TOTAL OVERALL PARKING REQUIRED	= 456 SPACES REQUIRED

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AA-26002044

1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR — PERMIT
BIDS
PERMIT — 22B22
CONSTRUCTION

PROJECT TITLE

PROPOSED OPAL GRAND RAISED POOL DECK/ DRIVEWAY TUNNEL (PHASE V)

10 N. OCEAN BLVD. DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS
1 REVISED 11.22 PER CITY COMMENTS ,
- PROVIDE OVERALL SITE PLAN (FOR REFERENCE ONLY.).
2 REVISED 6.03.22 PER CITY COMMENTS
- COORDINATE W/ CIVIL DWGS. IN RESPONSE TO COMMENTS TO PROVIDE SIGHT TRIANGLE AT INTERSECTION OF DRIVEWAY TUNNEL.

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER 312A101

DRAWING TITLE
PROPOSED OVERALL SITE PLAN (FOR REF. ONLY)

DATE 11.012.21 | DRAWN BY GE/JC

JOB NUMBER 20190312

DRAWING NUMBER
2 **A1.01**

6/3/2022 2:47:34 PM
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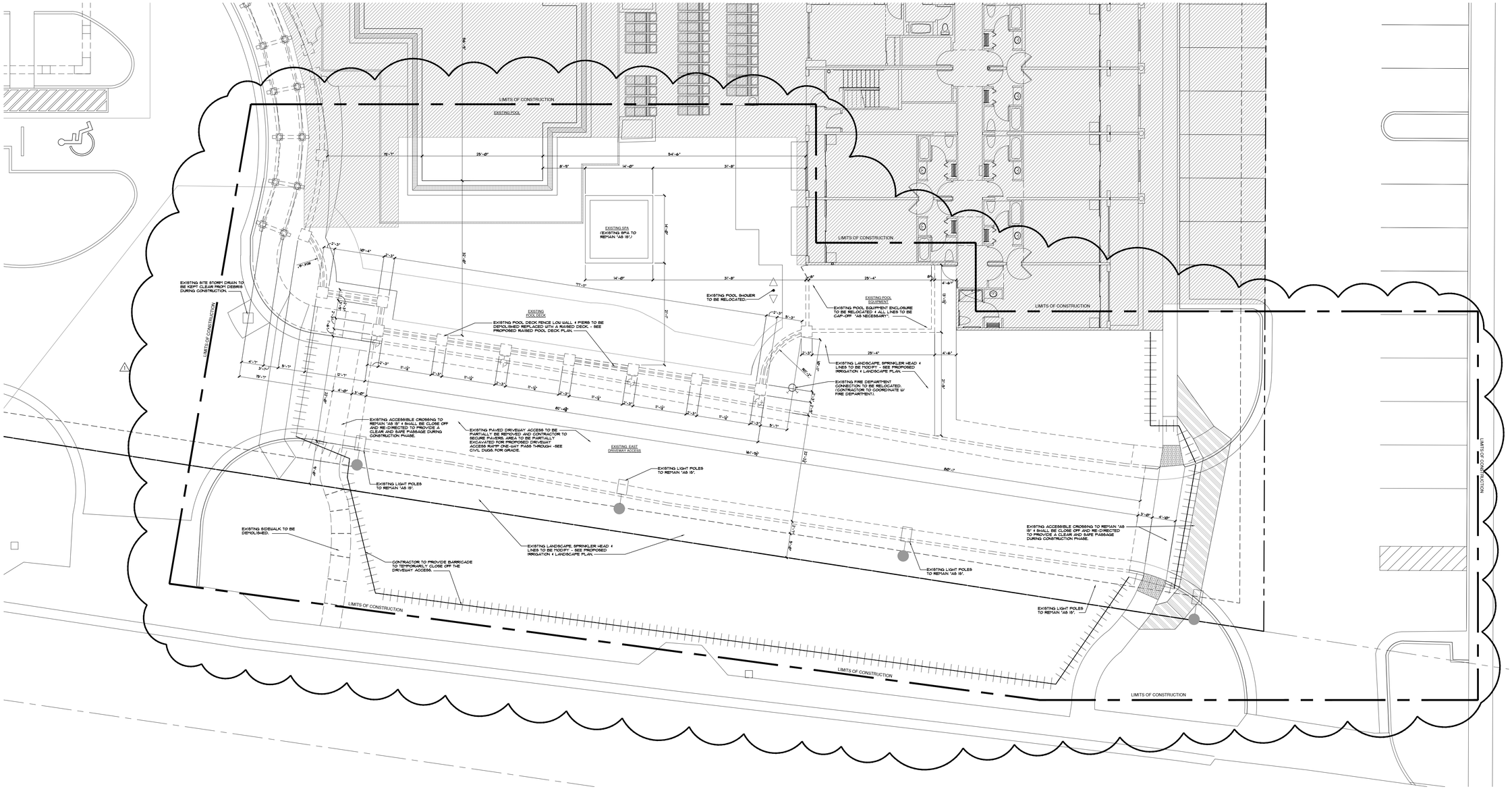
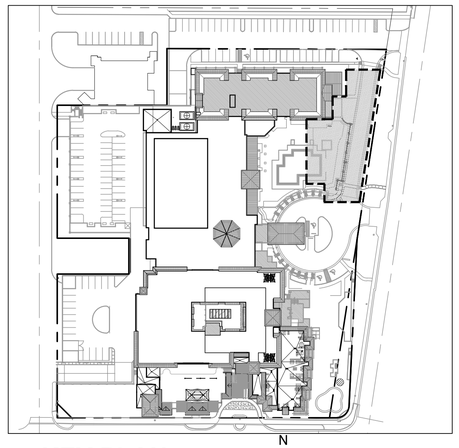


1 / A1.02 EXISTING/ DEMOLITION PARTIAL POOL DECK PLAN

SCALE : 1"=10'-0"

N



KEY PLAN

N

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CONSTRUCTION

PROJECT TITLE

PROPOSED OPAL GRAND RAISED POOL DECK / DRIVEWAY TUNNEL (PHASE V)

10 N. OCEAN BLVD. DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1 REVISED 1/7/22 AS PER CITY COMMENTS :
- COORDINATE W/ CIVIL DWGS. (MATCH LIMIT OF CONSTRUCTION)
- CHANGE SCALE TO 1"=10'-0" TO COORDINATE.

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FILE NUMBER 312A102

DRAWING TITLE

EXT'G. / DEMO POOL DECK PLAN

DATE 07.20.21 | DRAWN BY GE/JC

JOB NUMBER 20190312

DRAWING NUMBER

A1.02

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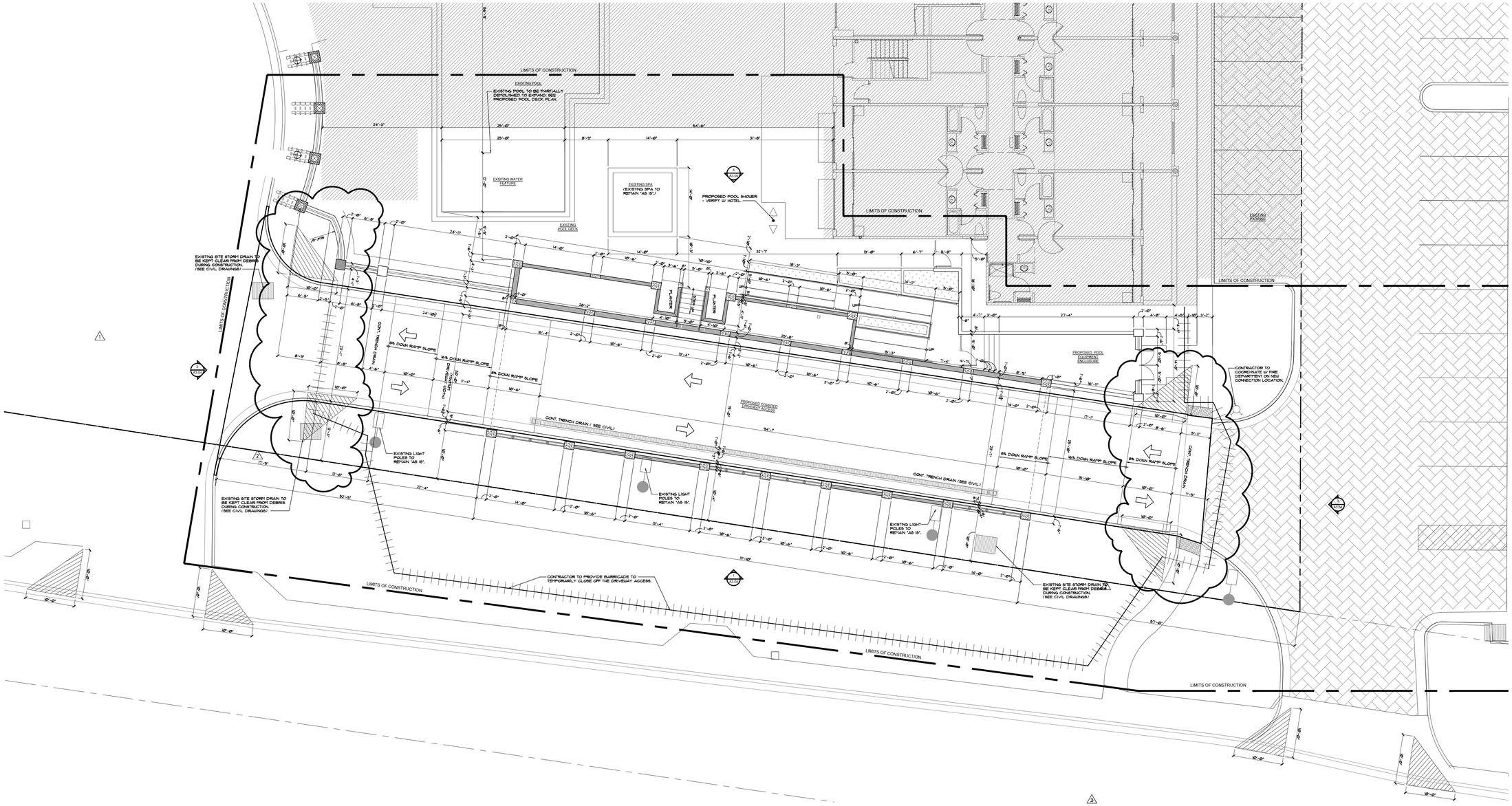
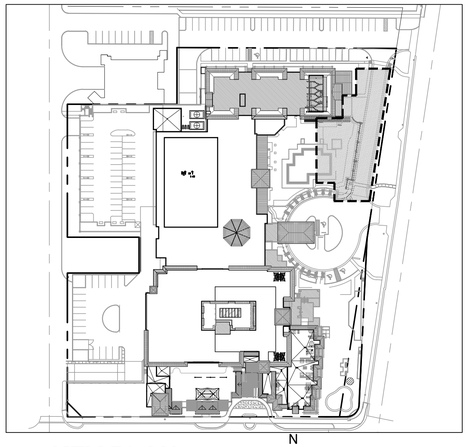


1 / A1.03 **PROPSED POOL DECK/ DRIVE THROUGH TUNNEL**

SCALE : 1"=10'-0"

N



KEY PLAN

N

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CONSTRUCTION

PROJECT TITLE

PROPOSED OPAL GRAND RAISED POOL DECK / DRIVEWAY TUNNEL (PHASE V)

10 N. OCEAN BLVD. DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1 REVISED 1.17.22 PER CITY COMMENTS :
- EXPAND DRIVEWAY TUNNEL.
- INDICATE SIGHT TRIANGLES AT NORTH AND SOUTH ENTRY POINTS.
- COORDINATE W/ CIVIL DRAWING.
- REVISED LOCATION OF ACCESSIBLE RAMP.
- COORDINATE LIMITS OF CONSTRUCTION.
- REVISED SCALE 1"-10"-0" FOR COORDINATION

2 REVISED 6.03.22 PER CITY COMMENTS :
- COORDINATE W/ CIVIL DWGS. IN RESPONSE TO COMMENTS TO PROVIDE SIGHT TRIANGLE AT INTERSECTION OF DRIVEWAY TUNNEL.

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FILE NUMBER **312A103**

DRAWING TITLE

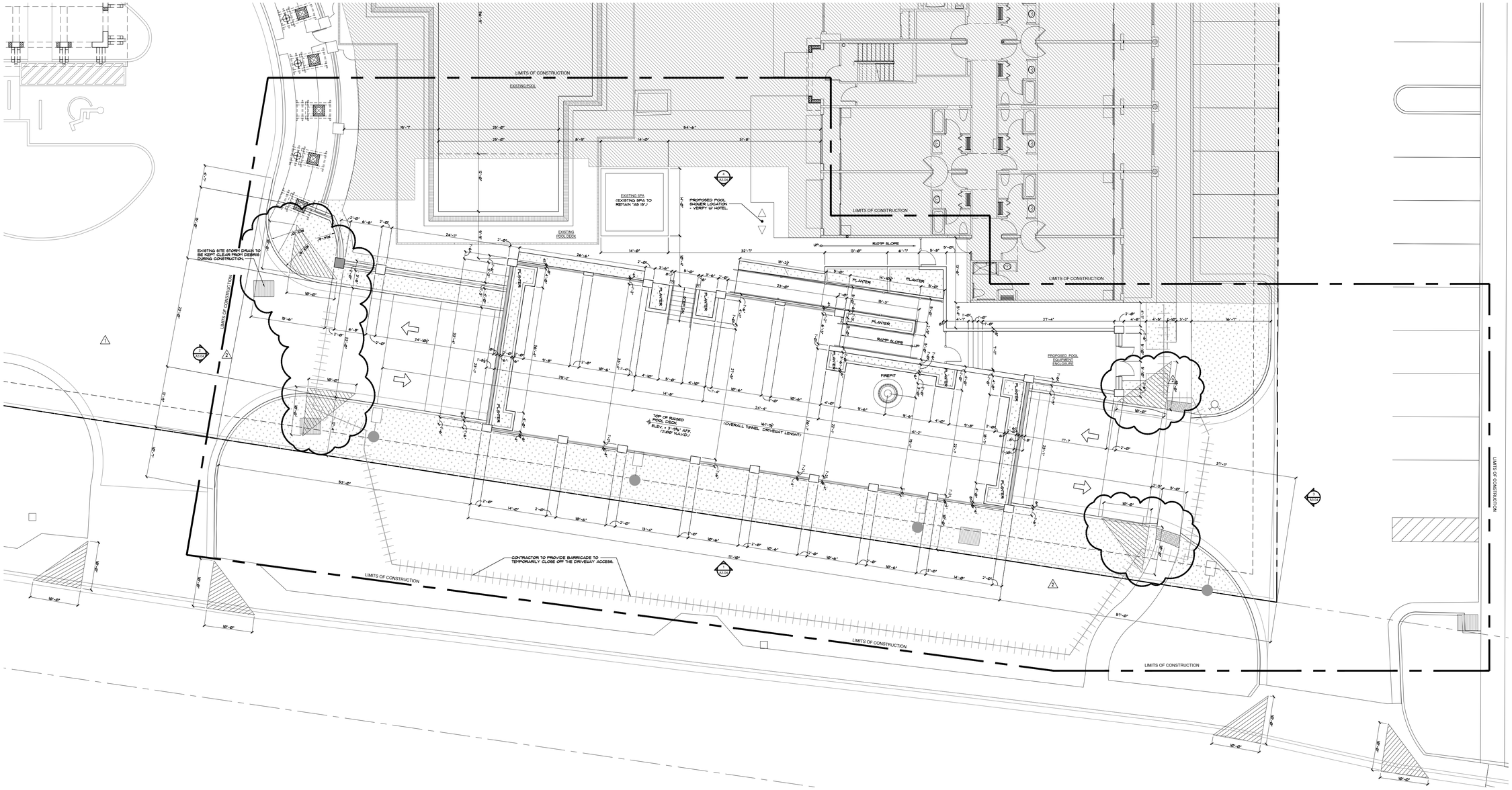
PROPOSED POOL DECK/ DRIVE TRHOUGH TUNNEL

DATE **01.21.20** | DRAWN BY **GE/JC**

JOB NUMBER **20190312**

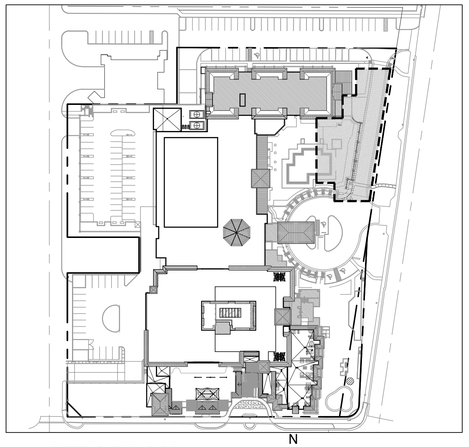
DRAWING NUMBER

A1.03



1 A1.04 **PROPSED RAISED POOL DECK**

SCALE : 1"=10'-0"



KEY PLAN

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CONSTRUCTION

PROJECT TITLE

PROPOSED OPAL GRAND RAISED POOL DECK / DRIVEWAY TUNNEL (PHASE V)

10 N. OCEAN BLVD.
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1 REVISED 1.7.22 PER CITY COMMENTS :
- INDICATE SIGHT TRIANGLES AT NORTH AND SOUTH ENTRY POINTS.
- COORDINATE W/ CIVIL DRAWING.
- REVISED LOCATION OF ACCESSIBLE RAMP.
- COORDINATE LIMITS OF CONSTRUCTION.
- REVISED SCALE 1"=10'-0" FOR COORDINATION.
- INCREASED PROPOSED RAISED POOL DECK FINISH FLOOR.

2 REVISED 6.03.22 PER CITY COMMENTS :
- COORDINATE W/ CIVIL DWGS. IN RESPONSE TO COMMENTS TO PROVIDE SIGHT TRIANGLE AT INTERSECTION OF DRIVEWAY TUNNEL.

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FILE NUMBER 312A104

DRAWING TITLE

PROPOSED RAISED POOL DECK PLAN

DATE 01.21.20 | DRAWN BY GE/JC

JOB NUMBER 20190312

DRAWING NUMBER

A1.04

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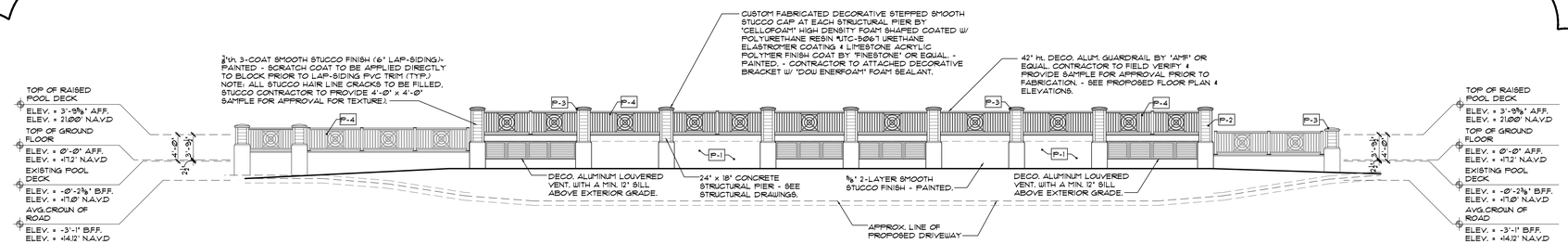
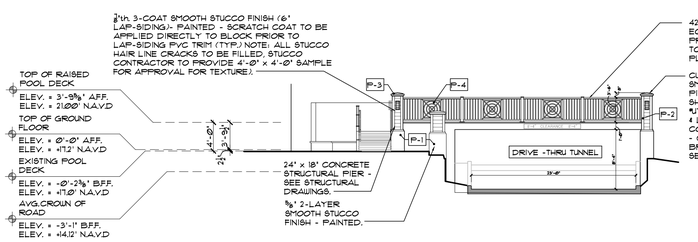


1 A3.04 PROPOSED RAISED POOL DECK EAST ELEVATION

SCALE : 1"=10'-0"



2 A3.04 PROPOSED RAISED POOL DECK SOUTH ELEVATION

SCALE : 1"=10'-0"

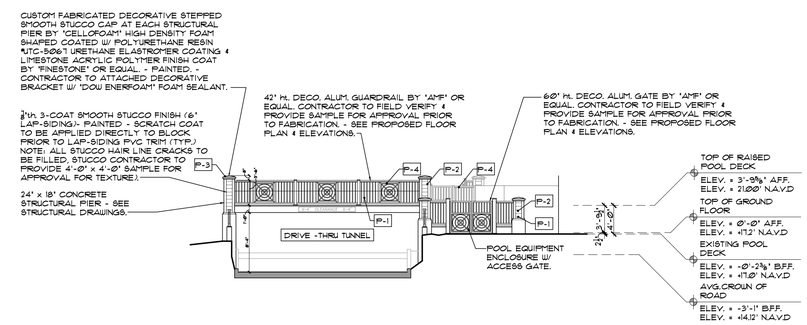
PAINT LEGEND

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE OR SHERWIN WILLIAMS SPECIFICATIONS.

P-1	ACADIA WHITE #AC-41 (MAIN BUILDING SMOOTH STUCCO AREAS)
P-2	BERKSHIRE BEIGE #HC-2 (LAP SIDING).
P-3	BRILLIANT WHITE WOOD TRIM, COLUMNS & BANDING.
P-4	"BRONZE" ALUMINUM RAILINGS.

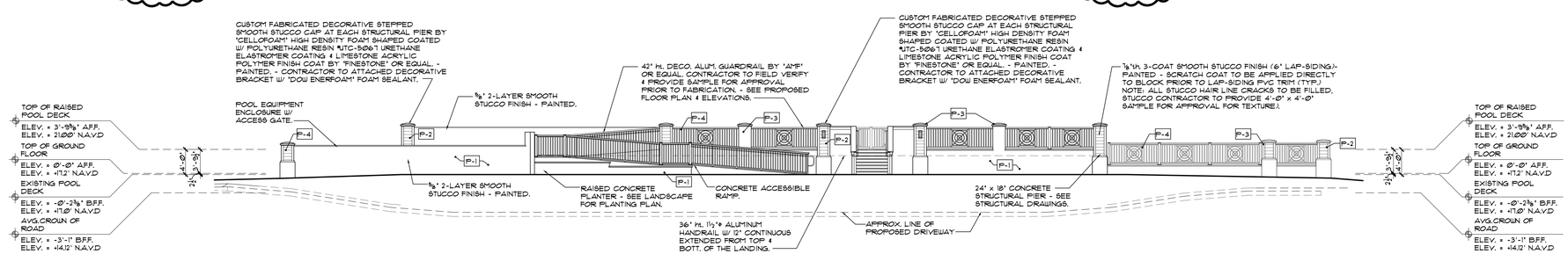
NOTE:

1. ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR HOTEL APPROVAL.
2. ALL STUCCO TO BE MIXED W/ "XYPEX ADMIX 10000" OR EQUAL.
3. ALL STUCCO HAIR LINE CRACKS TO BE FILLED PRIOR TO PAINTING. STUCCO CONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR HOTEL APPROVAL FOR TEXTURE.



3 A3.04 PROPOSED RAISED POOL DECK NORTH ELEVATION

SCALE : 1"=10'-0"



4 A3.04 PROPOSED RAISED POOL DECK WEST ELEVATION

SCALE : 1"=10'-0"

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CONSTRUCTION	

PROJECT TITLE

PROPOSED OPAL GRAND RAISED POOL DECK/ DRIVEWAY TUNNEL (PHASE V)

10 N. OCEAN BLVD. DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1 REVISED 1.7.22 PER CITY COMMENTS :
- EXPAND DRIVEWAY TUNNEL.
- INDICATE SIGHT TRIANGLES AT NORTH AND SOUTH ENTRY POINTS.
- COORDINATE W/ CIVIL DRAWING.
- REVISED LOCATION OF ACCESSIBLE RAMP.
- COORDINATE LIMITS OF CONSTRUCTION.
- REVISED SCALE 1"=10'-0" FOR COORDINATION.
- INCREASED PROPOSED RAISED POOL DECK FINISH FLOOR.
- PROVIDE AVERAGE CROWN OF ROAD REFERENCE.

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FILE NUMBER **312A304**

DRAWING TITLE

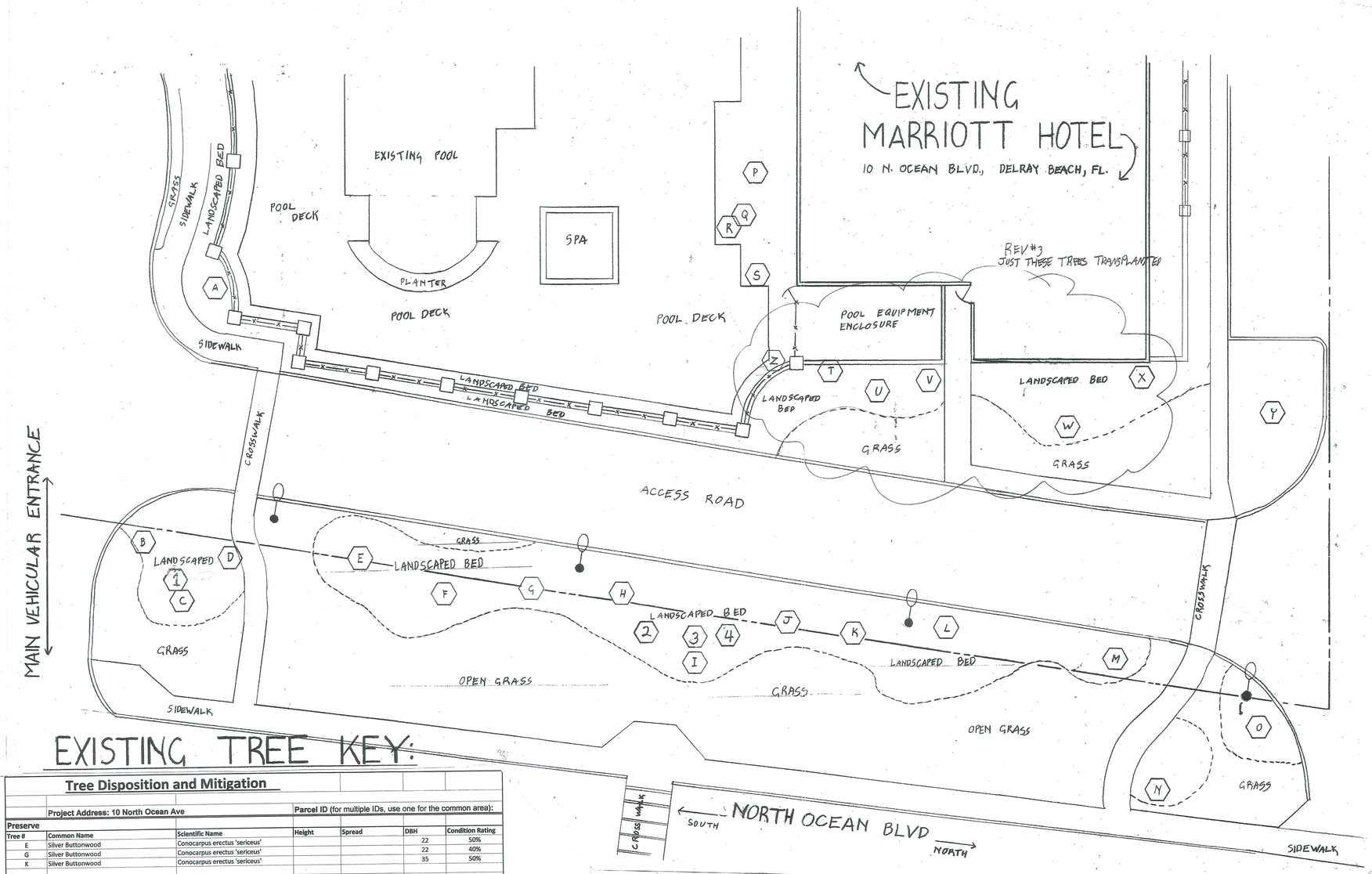
PROPOSED RAISED POOL DECK ELEVATIONS

DATE	DRAWN BY
1.21.20	GE/JC

JOB NUMBER **20190312**

DRAWING NUMBER

1 **A3.04**



EXISTING TREE KEY:

Tree Disposition and Mitigation

Project Address: 10 North Ocean Ave — **Parcel ID (for multiple IDs, use one for the common area):**

Preserve

Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating
E	Silver Buttonwood	Conocarpus erectus 'sericeus'			22	50%
G	Silver Buttonwood	Conocarpus erectus 'sericeus'			22	40%
K	Silver Buttonwood	Conocarpus erectus 'sericeus'			35	50%

Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating
A	European Fan Palm	Chaamaerops humilis	10' OA			70%
B	Coconut Palm	Cocos nucifera	24' OA			70%
C	Coconut Palm	Cocos nucifera	24' OA			70%
D	Coconut Palm	Cocos nucifera	24' OA			70%
1	European Fan Palm	Chaamaerops humilis	11' OA			70%
F	Bismarckia	Bismarckia nobilis	16' OA			70%
H	Coconut Palm	Cocos nucifera	28' OA			70%
I	Coconut Palm	Cocos nucifera	28' OA			60%
J	Coconut Palm	Cocos nucifera	28' OA			70%
2	European Fan Palm	Chaamaerops humilis	5' OA			60%
3	European Fan Palm	Chaamaerops humilis	6' OA			60%
4	European Fan Palm	Chaamaerops humilis	8' OA			60%
L	Bismarckia	Bismarckia nobilis	14' OA			70%
M	Coconut Palm	Cocos nucifera	21' OA			70%
N	Coconut Palm	Cocos nucifera	18' OA			70%
O	Coconut Palm	Cocos nucifera	22' OA			60%
P	Key Thatch Palm	Thrinax morrisii	8' OA			70%
Q	Coconut Palm	Cocos nucifera	24' OA			60%
R	Key Thatch Palm	Thrinax morrisii	7' OA			70%
S	Key Thatch Palm	Thrinax morrisii	7' OA			70%
Y	Coconut Palm	Cocos nucifera	26' OA			70%

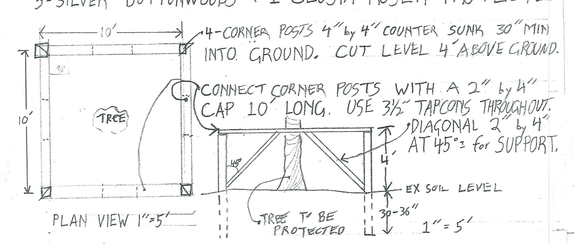
Relocation

Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating
W	Clusia	Clusia rosea			12	50%

Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating
T	Coconut Palm	Cocos nucifera	24' OA			70%
U	Coconut Palm	Cocos nucifera	24' OA			70%
V	Coconut Palm	Cocos nucifera	24' OA			70%
X	Coconut Palm	Cocos nucifera	26' OA			70%
Z	Coconut Palm	Cocos nucifera	10' OA			70%

TREE PROTECTION DETAIL

3-SILVER BUTTONWOODS + 1-CLUSIA ROSEA PROTECTED



REVISIONS	BY
12/8/19 NOTE TREE STATUS	C.O.
1-22-22 UPDATE	C.O.
5-6-22 ADDRESS CITY COMMENTS	C.O.
5-25-22 ARBORIST REPORT ADDED	C.O.

OPAL GRAND RAISED POOL DECK EXISTING TREE SURVEY

10 N. OCEAN BLVD, DELRAY BCH.

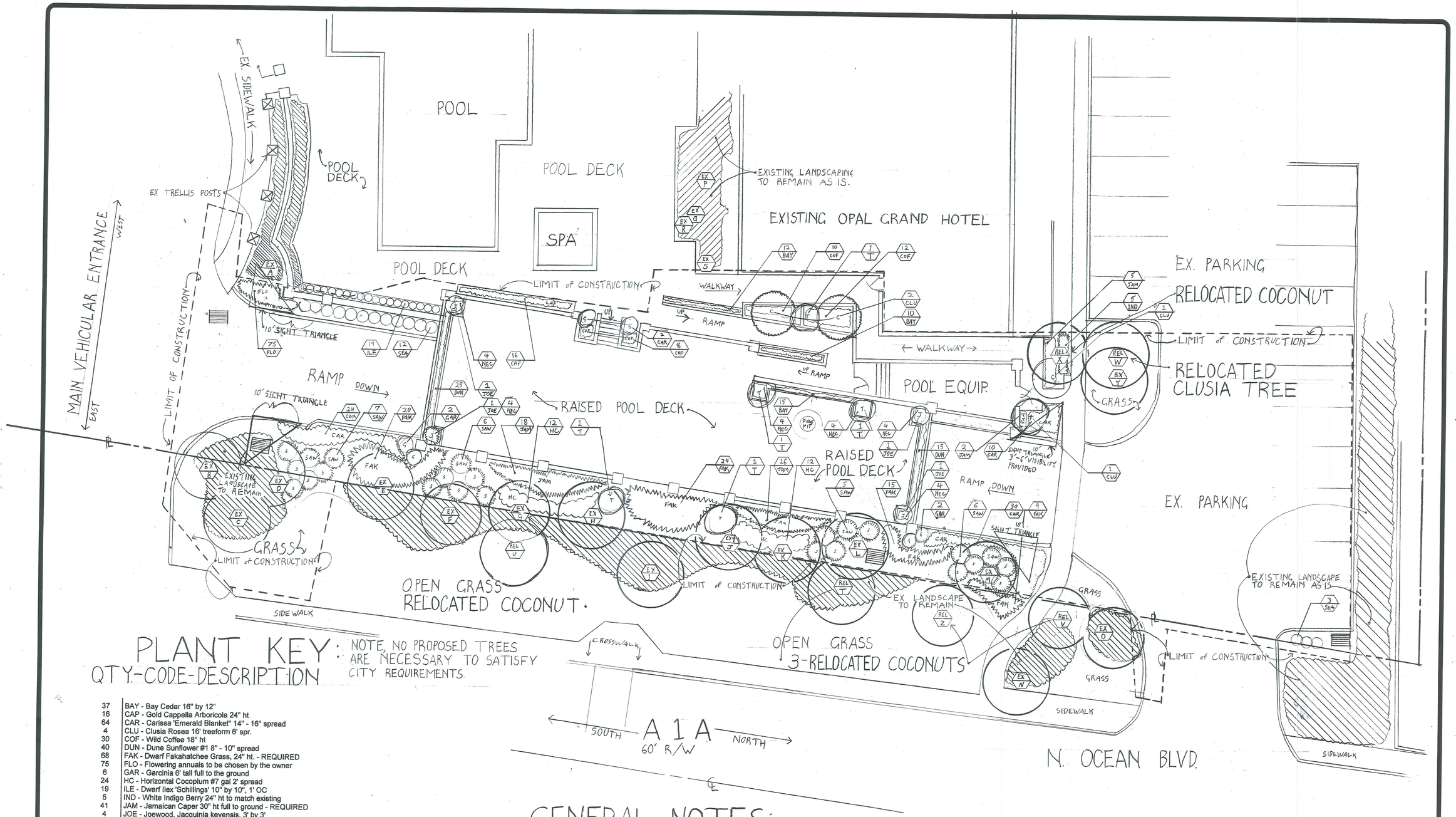
BY GENERAL LANDSCAPING CORP. (561) 239-8280

DRAWN: Clint O
CHECKED:
DATE: 11-21-19
SCALE: 1" = 10'
JOB NO.:
SHEET:

1 OF 2 SHEETS

REGISTERED LANDSCAPE ARCHITECT CLINT OSBORN LA 0001087 STATE OF FLORIDA

NATIONAL PRINTWEST NO. 6103ACTB-24X36



PLANT KEY:

NOTE, NO PROPOSED TREES ARE NECESSARY TO SATISFY CITY REQUIREMENTS.

QTY.-CODE-DESCRIPTION

37	BAY - Bay Cedar 16" by 12"
16	CAP - Gold Cappella Arboricola 24" ht
64	CAR - Carissa 'Emerald Blanket" 14" - 16" spread
4	CLU - Clusia Rosea 16' treeform 6' spr.
30	COF - Wild Coffee 18" ht
40	DUN - Dune Sunflower #1 8" - 10" spread
68	FAK - Dwarf Fakahatchee Grass, 24" ht. - REQUIRED
75	FLO - Flowering annuals to be chosen by the owner
6	GAR - Garcinia 6' tall full to the ground
24	HC - Horizontal Cocoplum #7 gal 2' spread
19	ILE - Dwarf Ilex 'Schillings' 10" by 10", 1' OC
5	IND - White Indigo Berry 24" ht to match existing
41	JAM - Jamaican Caper 30" ht full to ground - REQUIRED
4	JOE - Joewood, Jacquinia keyensis, 3' by 3'
24	NEC - Necklace Pod 18" by 18"
24	SAW - Saw Palmetto 2' by 2' similar pigmentation - REQUIRED
15	SEA - Seagrape hedge 24" ht full to ground
3	T - Green Thatch Palm 4' OA ht.

GENERAL NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS. NO CYPRESS MULCH PERMITTED.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITHAN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED.
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.
- THERE ARE NO EASEMENTS IN PROJECT AREA.
- BRANCHING TREES to be PROTECTED DURING CONSTRUCTION WITH 10'x10' SOLID WOOD BRACHING.

Pursuant to Sec. 4.6.16.(F) Irrigation requirements, all landscaped areas shall be provided with a fully automated sprinkler system that will provide complete coverage of all plant materials and grass to be maintained. All systems shall be designed to allow for head-to-head coverage (100-percent coverage with 100-percent overlap).

- THE RAISED DECK IS 10'4" FROM the PROPERTY LINE.
- EXISTING IRRIGATION SYSTEM WILL BE UTILIZED FOR COVERAGE.

NORTH

0' 5' 10' 15' 20'
1" = 10'

REGISTERED LANDSCAPE ARCHITECT CLINT OSTER LA 0001081 STATE OF FLORIDA

REVISIONS	BY
5/6/22 ADD NOTES AS PER CITY COMMENTS	C.O.
5/16/22 LOCATE TREE 'G' ON PLAN	C.O.
5/31/22 MOVE SIGHT TRIANGLE	C.O.

OPAL GRAND RAISED POOL DECK LANDSCAPE PLAN

10 N. OCEAN BLVD, DELRAY BCH.

By GENERAL LANDSCAPING (561) 239-8280

DRAWN	Clint O.
CHECKED	
DATE	1-22-22
SCALE	1" = 10'
JOB NO.	
SHEET	2 OF 2 SHEETS

NATIONAL PRINTRAST NO. 6103ACYB-24X36