



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 314 NE 3rd Ave

**Project Location:** 314 NE 3rd Ave

**PCN:** 12-43-46-16-01-081-0170

**Request:** Consideration of a Class III Site Plan Modification, Landscape Plan, Architectural Elevations, and a Landscape Waiver for modifications, an addition, and change of use to the existing warehouse building to convert it into an office use, pursuant to LDR section 2.4.5(G)(1)(d), 2.4.5(H), and 2.4.7(B)(5).

**Board:** Site Plan Review Appearance (SPRAB)

**Meeting Date:** July 27, 2022

**Board Action:** Approved on a 6-0 vote (Dana Adler absent)

**Board Actions:**

Approved the Class III Site Plan Modification (2022-074) request and waiver associated with modifications, an addition, and change of use to the existing warehouse building; along with renovations to the existing 760 sq. ft. second floor residential unit and affiliated garage.

**Project Description:**

The modifications includes a change of use converting the existing 2,060 sq. ft. warehouse to an office, with an addition of approximately 500 sq. ft. The proposal illustrates numerous site improvements including paving to accommodate an ADA parking space, landscaping, a new refuse container, perimeter fencing, and site lighting. There are also substantial modifications to the architectural design of the existing building. The subject request also includes a waiver from Land Development Regulations (LDR) Section 4.6.16(H)(3)(d), Minimum Landscape Requirements, to allow a 3-foot, 1-inch-wide landscape strip (measured to edge of curb), where a five-foot wide landscape strip is required

**Board Comments:**

The Board members were supportive of the proposal.

**Public Comments:** No comment

**Associated Actions:** N/A

**Next Action:** The SPRAB action is final unless appealed by the City Commission



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

## SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

314 NE 3<sup>rd</sup> Ave

Meeting	File No.	Application Type
July 27, 2022	2022-074-SPM-SPR-CLIII	Class III Site Plan Modification
Property Owner	Applicant	Agent
Ocean Parker Delray LLC	Ocean Parker Delray LLC	Jeffrey A. Costello, AICP, FRA-RA

### Request

Consideration of a Class III Site Plan Modification, Landscape Plan and a Landscape Waiver for modifications, an addition, and change of use to the existing warehouse building to convert it into an office use.

### Site Data & Information

**Location:** 314 NE 3<sup>rd</sup> Avenue, generally located on the west side of NE 3<sup>rd</sup> Avenue north of NE 3<sup>rd</sup> Street.

**PCN:** 12-43-46-16-01-081-0170

**Property Size:** 0.16 acres

**LUM:** CC (Commercial Core)

**Zoning:** Central Business District (CBD), Railroad Corridor Sub-district

#### Adjacent Zoning:

- **North:** CBD, Railroad Corridor Sub-district
- **East:** CBD, Railroad Corridor Sub-district
- **South:** CBD, Railroad Corridor Sub-district
- **West:** CBD, Central Core Sub-district

**Existing Land Use:** Approximately 2,000 square feet of warehouse and one residential unit of approximately 700 square feet.

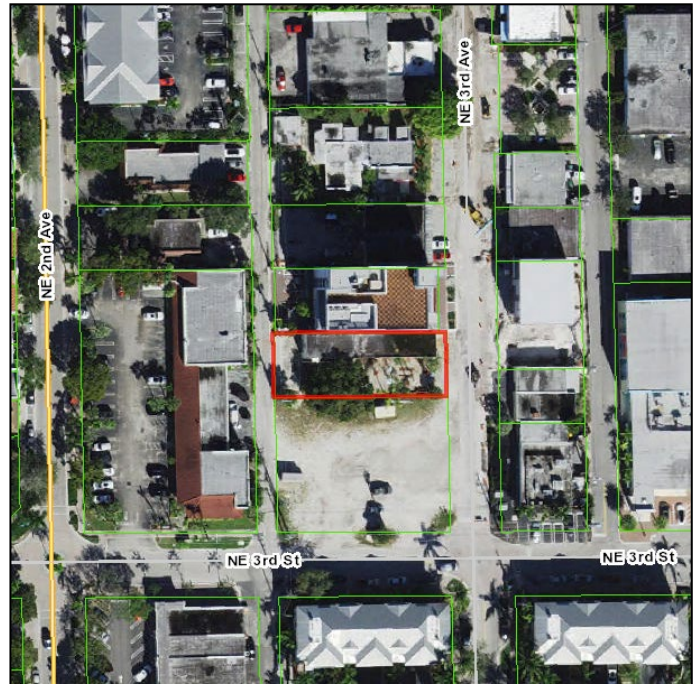
**Proposed Land Use:** A change of use is proposed to convert the existing warehouse into an office while maintaining the single residential unit.

#### Floor Area Ratio:

- **Existing:** 0.41
- **Proposed:** 0.5
- **Maximum Allowed:** 3.0

#### CBD Railroad Corridor Sub-district

- **NE 3<sup>rd</sup> Avenue:** Secondary Street



#### Project Planner:

Julian Gdaniec, Senior Planner; [gdaniec@mydelraybeach.com](mailto:gdaniec@mydelraybeach.com)  
561-243-7365

#### Attachments

- Site Plan, Architectural Plans, Civil Plans Landscape Plan, Survey
- Applicant Justification Statement



## Background

The site was originally developed in 1954 and contains a warehouse on the ground floor and one residential unit on the second floor with a garage accessible via the alley. The warehouse, which exemplifies a simple masonry vernacular style commonly built in the 1950s, has been occupied with an art studio for a number of years. The property fronts NE 3<sup>rd</sup> Avenue, which has recently undergone streetscape improvements as part of a City funded public improvement project.



Front (East) Elevation



Rear (West) Elevation

## Description of Proposal

The Class III Site Plan Modification includes a change of use converting the existing 2,060 sq. ft. warehouse to an office, with an addition of approximately 500 sq. ft. A new covered loggia connecting to an interior courtyard is also proposed, along with renovations to the existing 760 sq. ft. second floor residential unit and affiliated garage. There is no proposed expansion of the residential floor area and additional density is not proposed. The request also incorporates a major face lift to the exterior façade of the existing building.

In addition to the interior and exterior alterations to the structure the proposal illustrates numerous site improvements including paving to accommodate an ADA parking space, landscaping, a new refuse container, perimeter fencing, and site lighting.



The subject request also includes a waiver from Land Development Regulations (LDR) Section 4.6.16(H)(3)(d), Minimum Landscape Requirements, to allow a 3-foot, 1-inch-wide landscape strip (measured to edge of curb), where a five-foot wide landscape strip is required, on the southern interior lot line between the off-street parking and adjacent property.

## Review & Analysis: Site Plan and Zoning

### LDR Section 2.4.5(G)(1)(d), Class III Site Plan Modification

*A modification to the site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requiring partial review of Performance Standards found in Section 3.1.1.*

**LDR Section 3.1.1 Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

**3.1.1(A), Land Use Map**

*The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of CC, and a zoning designation of CBD, which is the preferred zoning district to implement the CC land use designation. Pursuant to LDR Table 4.4.13(A), offices are a permitted use in the Railroad Corridor Sub-district of the CBD.

**3.1.1(B), Concurrency**

*Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Potable Water and Sewer: Water and sewer services are existing on-site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage: Drainage and water run-off will be addressed through on-site retention, which should not impact the level of service standard.

Transportation: A Traffic Performance Standards (TPS) letter has been provided by Palm Beach County indicating the project is located within the Delray Beach Traffic Concurrency Exception Area (TCEA). As such, the proposed project meets the requirements of traffic concurrency.

Parks and Open Space: Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per dwelling unit is collected prior to issuance of a building permit for each unit. Given that there are no additional units proposed, a park impact fee is not required.

Solid Waste: The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: The proposed scope of work does not include the addition of new residential units. As such, school concurrency review is not applicable.

**Section 3.1.1 (C), Consistency**

*A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions and is provided as Appendix A.

**Comprehensive Plan**

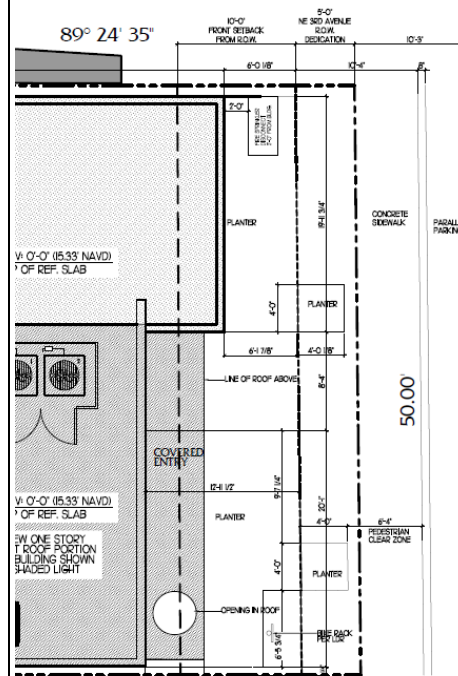
Overall, the proposed modifications are consistent with any applicable Goals, Objectives, or Policies of the Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element. The Proposal includes the adaptive reuse and modification of an existing building that will maintain the historically low-scale development pattern originally found along NE 3<sup>rd</sup> Avenue, as evidenced by the proposed floor area ratio of 0.5, whereas 0.41 exists.

**Policy NDC 1.3.7** Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse, development... that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area continue to evolve into a traditional, self-sufficient downtown...

**Section 3.1.1 (D), Compliance with the LDRs:**

*Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

**Section 4.4.13, Central Business District**

Standard/Regulation	Review
<b>Height</b> Table 4.4.13(C)	Maximum: 54 feet, 4 stories Proposed: 19 feet, 1-2 stories
<b>Streetscape Standards</b> 4.4.13(E)(2)	In an effort to adapt to the unique street design on NE 3 <sup>rd</sup> Avenue an alternative streetscape design has received approval from the Development Services Director pursuant to LDR Section 4.4.13(E)(2)(b)(4) as the proposed configuration is consistent with the intent of the regulations.
<b>Minimum Streetscape Width</b>	<p><b>Required:</b> 15 feet  <b>Curb Zone:</b> 4 feet (min.)  <b>Ped. Clear Zone:</b> 6 feet (min.)  <b>Front Setback Area:</b> up to 15 feet</p> <p><b>Provided:</b> 16 feet, 4 inches (total)  <b>Ped. Clear Zone:</b> 6 feet, 4 inches  <b>Curb Zone:</b> 4 feet  <b>Front Setback Area:</b> 6 feet, 1 inch</p> <p>Due to existing circumstances, the pedestrian clear zone directly abuts the street and curb, with the curb zone placed between the pedestrian clear zone and front property line. The curb zone includes the required street trees, which will be located within the five-foot wide area dedicated for right of way.</p> 
<b>Remaining Front Setback Area</b> 4.4.13(E)(2)(a)3.	<p><b>Required:</b> Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed.</p> <p><b>Proposed:</b> The remaining front setback continues the hardscaping to the main entrance flanked by a mix of planted ground covers that will further enhance the building's streetscape appeal while maintaining an unobstructed view of the building and, more specifically, the windows.</p>
<b>Frontage Type: Lobby</b> 4.4.13(E)(4)(g)	<p><b>Required:</b> Emphasize main entry, consistent with architecture, in scale and proportion with building, accessible from sidewalk, overhang encroachment up to 10 feet, post encroachment up to 5 feet</p> <p><b>Proposed:</b> Lobby entrance detail meets description; overhang and supporting posts encroach 5 feet.</p>
<b>Architectural Elevations</b> 4.4.13(F)	A review of the CBD architectural requirements is provided under the <b>Architectural Elevations</b> section of the report.
<b>Civic Open Space</b> LDR Section 4.4.13(G)	Not required, based on size of parcel.

**Other Requirements**

Standard/Regulation	Review
<b>Lighting (Photometric Plan)</b> 4.6.8(A)(3), Illumination Standards: Table 2	Illumination spillover is limited to the maximum degree feasible given the minimum illumination requirements for street lighting, off-street parking illumination, and lighting at the building entrance.



<b>Off-Street Parking</b> 4.4.13(l)(2)(d), properties less than 65 feet in width with a building no more than two stories in height are not required to provide off-street parking, except for restaurant and lounge uses.	Off-street parking is not required; 3 parking spaces plus two multi-modal spaces provided on-site.  The applicant is electing to provide an ADA space accessible from the alley and the residential unit will maintain the two parking spaces in the existing garage, which is accessed via a driveway connection to the alley. Two multi-modal parking spaces are provided between the residential driveway and the off-street ADA space that may be utilized by golf carts, motorcycles, or other legal alternative modes of transportation.
<b>Bicycle Parking</b> LDR Table 4.4.13(M)	One bicycle rack is located on the southeast corner of the site.

### Review & Analysis: Landscape Plan

#### LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

(a) Objectives of landscaping regulations Section 4.6.16.;

(b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

In addition to the landscaping at the front of the building and the provided street trees, the rear and side (south) area of the property have also been enhanced by additional landscaping improvements that includes a mix of trees and palms, as well as a variety of ground covers.

The plan has been reviewed for compliance with LDR Section 4.6.16 by the senior landscape planner and project planner. The plans have been deemed compliant in all aspects with an exception that necessitates a landscape waiver as detailed below.

#### Tree Removal/Relocation

Regarding tree mitigation requirements, the applicant is proposing to relocate one palm and remove one palm but will not remove any existing canopy trees from the property.

##### Relocation

Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
B	Coconut Palm	Cocos nucifera			24'	70%	

##### Removal

Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
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Number of Trees with Condition  $\geq$  50% : 0 trees

Number of Trees with Condition < 50%: 0 trees

Total DBH: 0" Removed

Total # of Trees Removed: 0

Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
C	Cabbage Palm	Sabal palmetto			10'	70%	

Number of Palms with Condition  $\geq$  50% : 1 Palms

Number of Palms with Condition < 50%: 0 Palms

**Waiver**

Pursuant to **LDR Section 2.4.7(B)(5)**, prior to granting a waiver, the granting body shall make findings that granting of a waiver:

- Shall not adversely affect the neighboring area.
- Shall not significantly diminish the provision of public facilities.
- Shall not create an unsafe situation.
- Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

Pursuant to **LDR Section 4.6.16(H)(3)(d)**, a landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet at the time of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width that is free of any vehicular encroachment, including car overhang.

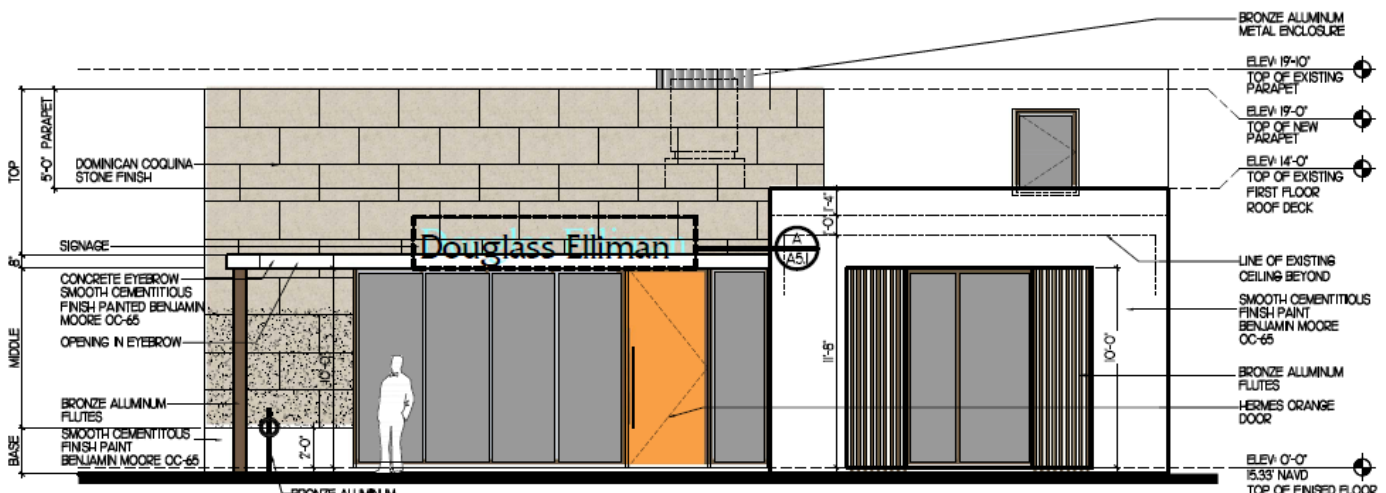
A waiver has been requested to provide a 3-foot, one-inch planting strip where a minimum 5-foot planting strip is required along the southern interior property line between the proposed off-street ADA parking space and adjacent property.

If approved, the waiver is not anticipated to adversely affect the neighboring area or create an unsafe situation. Landscape buffering is still proposed to the maximum degree feasible given the limited space. The waiver will not diminish the provision of public facilities as access to the alley is adequately maintained and the waiver is requested to facilitate the inclusion of an ADA parking space, which is an amenity to those members of the public that may visit the subject property but are unable to find adequate parking elsewhere within a reasonable proximity. The waiver would not grant a special privilege as the request is not being made in order to accommodate minimum required parking. Likewise, any reduced visual screening that may result from the waiver is far less impactful given that it is located back of house adjacent to a service alley where it is common to find existing properties with the entirety of the rear setback adjacent to the alley paved with hardscape.

**Note:** A waiver for the proposed landscape strip to the north of the property is not required because the driveway providing access to the garage is an existing site condition and the applicant is proposing to decrease the degree of nonconformity that is currently present.

**Review & Analysis: Architectural Elevations****LDR Section 2.4.5(l)(5), Architectural (appearance) elevations: Findings**

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.



**LDR Section 4.6.18, Architectural Elevations and Aesthetics****(A) Minimum Requirements**

1. *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
2. *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

The minimum aesthetic standards of this Section have been met by the proposed architectural modifications to the building. The modifications maintain an overall appropriate design that expresses proper design concepts, which are further defined and regulated by the architectural standards provided in the CBD.

**(E), Criteria for Board Action**

*The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.*

1. *The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The proposed modifications meet the intent of the Criteria for Board Action in that the modifications are in good taste and design and will contribute to the continued adaptive reuse and redevelopment occurring along NE 3<sup>rd</sup> Avenue, which have significantly improved the streetscape and brought more economic investment to the area. The added architectural features and details appear to be of high quality and will contribute to the positive image of Delray Beach. A more thorough analysis and overview of the architectural elevations is provided in the review of the requirements provided in Section 4.4.13(F).

**LDR Section 4.4.13(F), Architectural Standards.**

*To ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.*

Standard/Regulation	Review
<b>Façade Composition Tripartite</b> <b>Composition: Base Middle, Top</b> 4.4.13(F)(2)	The improvements generally meet the intent of the building composition requirements, which are not currently exemplified by the existing building. For example, a base doesn't currently exist on the building; the addition includes a 2-foot tall base, and the overhang above the entrance defines a top.
<b>Appropriate Architectural Styles</b> 4.4.13(F)(3)	<b>Proposed Style:</b> Masonry Modern <b>Style Details:</b> Flat roof, emphasis of solid mass, smooth stucco and pre-cast stone finishes, windows are generally recessed, limited ornamentation; expanded eyebrow above entrance to provide shade, stone and wood detailing; and tripartite composition.
<b>Walls</b> 4.4.13(F)(4)	<b>Required:</b> Maximum two primary material's appropriate to architectural style <b>Provided:</b> Smooth stucco and coquina stone finish, appropriate for Masonry Modern <b>Required:</b> Maximum four base wall colors <b>Provided:</b> Two base wall colors, white and coquina
<b>Openings</b> 4.4.13(F)(5)	Transparency requirement has been met. Public entrances are easily identified. Overhead door facing NE 3 <sup>rd</sup> Avenue has been removed.
<b>Roofs</b> 4.4.13(F)(6)	Flat roof and rooftop equipment are screened by a parapet and appropriate to the Masonry Modern style. Rooftop terraces are not included in the plans; access is provided for maintenance purposes only.



Standard/Regulation	Review
<b>Parking Garages</b> 4.4.13(F)(8)	The existing garage door opening along the alley will be maintained; the new door will continue to provide screening of the interior parking reserved for the residential unit.
<b>Reduction of Urban Heat Islands</b> 4.4.13(F)(9)	White Energy Star roofing will be installed to comply with this requirement. The non-roofed shade coverage and courtyard/patio area (light-colored, high albedo surface) will provide 675 sq. ft. or 39%, exceeding the 30% requirement of LDR Section 4.4.13(F)(9)(a).
<b>Green Building Practices</b> 4.4.13(F)(10)	Green building certification is not required for developments containing less than 50,000 square feet; the applicant has not specifically indicated if any green building elements will be incorporated into the project.

The proposed building improvements exhibit many characteristics of the Masonry Modern style. The exterior utilizes predominately smooth stucco and stone finishes. The articulation of the massing emphasizes the solidity of the structure without coming across as overtly heavy or cumbersome. The ratio of glass to wall smartly balances the need to incorporate transparency along the frontage while also maintaining the solidity of the structure. There is a prominent roof overhang that provides shade and frames the front entrance to the building. The design utilizes wood accent finishes in a subtle and effective way. The addition has a defined base, middle, and top that is achieved utilizing elements such as material variation and horizontal projections, which are effective methods of introducing a tripartite composition into a single-story structure with flat roof.

#### Review by Others

The **Downtown Development Authority (DDA)** reviewed the subject request, and recommended approval at its meeting of July 11, 2022.

#### Optional Board Motions

- Move approval** of the Class III (2022-074) Site Plan Modification, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE 3<sup>rd</sup> Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- Move approval, as amended**, of the Class III (2022-074) Site Plan, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE 3<sup>rd</sup> Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- Move denial** of the Class III (2022-074) Site Plan, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE 3<sup>rd</sup> Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.
- Move to continue with direction.**

#### Technical Notes

Prior to certification of the site plan, the following must be completed:

- Update site plan data table to correct scrivener's error.
- Update site plan to clarify a specific proposed material for the hardscape in the remaining front setback area adjacent to the streetscape, as well as the area to be dedicated as right of way but improved by the applicant.
- Enter into a landscape maintenance agreement with the City of Delray Beach.
- Provide the requisite five-foot right of way dedication to the City of Delray Beach.

Note: Submit separate application for review and approval of signage; not included with the subject request per LDR.

#### Courtesy Notices

- ☒ Courtesy Notices were sent to:
- Del-Ida Park Historic District



**Appendix A:**  
**Section 3.2.3, Standards for site plan and/or plat actions**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.  
☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- B. All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).  
☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- C. Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives, and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.  
☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- D. Any proposed street widening or modification to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.  
☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- E. Remaining infill lots within the Coastal High Hazard Area of the Coastal Planning Area shall be developed using zoning which is identical or similar to the zoning of adjacent properties or that results in less intense development.  
☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.  
☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- G. Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.  
☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- H. Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.  
☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent



- I. Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- J. Tot lots and recreational areas, serving children, teens, and adults shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- K. Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e., workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program; development in all other areas shall not exceed the Standard density.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent



## GENERAL NOTES

GENERAL CONSTRUCTION NOTES: CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE - 7TH EDITION (2020) INCLUDING ACCESSIBILITY, BUILDING, ENERGY AND ALL WORK BY ALL TRADES MUST BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED OR NOT.

1. BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.

2. BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

3. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

4. THERE PLANS AS DRAWN AND NOTED BY THE BUILDER PROVIDING EASY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

5. SPECIFICALLY ADDRESSED ON THE PLANS AND NOTED BY THE BUILDER PROVIDING EASY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

6. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

7. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

8. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

9. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.

10. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

11. ENERGY CODE SECTION 5.04.

12. TISS MANUFACTURER SHALL SUBMIT THREE COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REG. ENGINEER TO THE BUILDER FOR REVIEW AND APPROVAL. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

13. TOSSERS TO BE DESIGNED TO CARRY LOADS OF ATTC A/Cs AND MISCELLANEOUS EQUIPMENT; BUILDER SHALL COORDINATE LOCATIONS PRIOR TO FABRICATION.

14. PROVIDE GROUDED CABLE AT BEARING POINT OF EACH GROSS TRUSS.

15. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

16. CONCRETE SHALL CONFORM TO ASTM C94 OR TO ANY OTHER SPECIFIED WORK SHALL BE IN ACCORDANCE WITH ACI 308 AND ACI 308.3 ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 308.3.

17. FILLED CELLS 3"000 PSI COARSE GRADE W/ B TO TOP OF SLAB.

18. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VAPOR BARRIER 3/4" / BEAMS AND COLUMNS 1 1/2" FORMED / CONCRETE BELOW GRADE 2".

19. REINFORCING CONCRETE COVER OVER 60000 ASTM A63.

20. THE BUILDER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED SITES PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY, OR THE BUILDER SHALL ACCEPT ALL LIABILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS, BUILDINGS TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.

21. ACI 308.3 MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (A.C.I. 308.3).

22. ALL TYPES OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.

23. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

24. CONCRETE BEAM SIZES MAY BE INCREASED/BE MAXI AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK, COURSE/ DROP BOTTOM OF THE BEAMS AS REQUIRED.

25. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

26. DOWEL COLUMNS AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DETAILS AS VERTICAL BEAMS ABOVE.

27. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

28. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUDED CABLES AT EACH LIFT OVER 4' OF HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING.

29. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

30. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

31. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE TIMBER CONSTRUCTION MANUAL; AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

32. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

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108. PROVIDE VERTICAL AND HORIZONTAL BRACING TO ALL TRUSSES AND BEAMS DURING CONSTRUCTION.

109. PROVIDE VERTICAL AND

REBAR SHALL BE PLACED AS SHOWN IN THE PLANS. SEE COLUMN SCHEDULE FOR MORE INFORMATION.

6. PROVIDE A MINIMUM OF TWO (2) REINFORCING BARS PER JOINT AND PROVIDE ANCHORING FOR ALL REINFORCING SHALL BE CONTINUOUS.

7. REINFORCING FOR FOUNDATION SHALL BE CONTINUOUS ALONG CORNERS AND CHANGES OF DIRECTION WITH THE ADDITION OF A CORNER BAR 48 BAR

8. PROVIDE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS A

9. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO CONSUMER SERVICES.

**ROOF FRAMING NOTES: ROOF PLANS FOR ADDITIONAL NOTES:**

THE TRUSS LAYOUT SHOWN ON THIS SET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION

THAT THE TRUSS MANUFACTURER WILL FOLLOW THE FINAL TRUSS RISE LAYOUT. THIS FRAMING SCHEME DIRECTION OF TRUSSES, MAJOR BEARING POINTS, ETC CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OR RECORD WHO MUST REVIEW

AND APPROVE ANY SUCH CHANGES. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THE TRUSS SYSTEM WITHOUT THE WRITTEN AUTHORITY LIMITED

TO THIS OFFICE FOR REVIEW PRIOR TO POLING OF FOUNDATION AS PER GENERAL NOTES.

2. INSTALL OVERLAP JOINTS AT THE CENTER LINE OF EACH TRUSS. PROVIDE STAGGERED PERMANUFACTURER RECOMMENDATION E

3. INSTALLED OVER LAP TRUSSES PERPENDICULAR TO ROOF RAFTING P FRAME, END JOINTS STAGGERED. SHEATHING SHALL BE NAILED W/ 10 G GALV. RING-

4. SHEATHING SHALL BE 1/2" THICK. PROVIDE 12" X 12" C/D DIAPHRAGM BRACING PER AISI C220. PROVIDE 2X12" TOP CHORDS WITH 3/4" X 3/4"

5. REFER TO ARCHITECTURAL FLOOR PLAN DRAWINGS FOR ALL ROOM VALLIES, THE BEAM HEIGHTS, SIZE AND ENDOING. PROVIDE 2X12" TOP CHORDS WITH 3/4" X 3/4"

6. PROVIDE 2X12" TOP CHORDS WITH 3/4" X 3/4" END JOINTS. PROVIDE 2X12" TOP CHORDS WITH 3/4" X 3/4" END JOINTS. PROVIDE 2X12" TOP CHORDS WITH 3/4" X 3/4"

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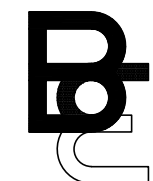
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## STRUCTURAL CONSULTANT



**BRENNAN**  
**ENGINEERING INC.**  
1600 S. DIXIE HWY. STE 400  
BOCA RATON, FLORIDA 33433  
(561) 392-3748

## CIVIL ENGINEER

**ENVIRODESIGN  
ASSOCIATES INC.**  
298 NE 2ND AVE  
DELRAY BEACH, FLORIDA 33444  
(561) 274-6500

## LANDSCAPE ARCHITECT

**DAVE BODKER**  
LANDSCAPE ARCHITECTURE INC.  
601 N. CONGRESS AVE. STE 105-A  
DELRAY BEACH, FLORIDA 33445  
(561) 276-6311

## BUILDER

### RWB CONSTRUCTION

4875 PARK RIDGE BLVD., STE 110  
BOYNTON BEACH, FLORIDA 33426(561)  
(561) 270-1808

## M.E.P. ENGINEER

**THOMPSON & YOUNGROSS**  
ENGINEERING CONSULTANTS LLC  
902 CLINT MOORE RD. STE 142  
BOCA RATON, FLORIDA 33487  
(561) 774-0200

## ABBREVIATIONS

ACQUS.	ACQUISITION	H.C.	HOLLOW CORE	RM	ROOM
ADJ1	ADJUSTABLE	HDW.	HARDWOOD	RO	ROUGH OPENING
ALU.	ALUMINUM	HDW.	HARDWARE	RWD	REDWOOD
BLDG.	BUILDING	HT.	HEIGHT	RWL	RAIN WATER LEADER
BLK.	BLOCK	HD.	HORIZONTAL	SC	SOLID CORE
BOT.	BOTTOM	IOR.	INSIDE DIAMETER	SC-ED	SC-EDGLE
CAB.	CABINET	INCAND.	INCANDESCENT	SH	SHOET
CLAR.	CLEAR	INSUL.	INSULATION	SM	SMALLER
COL.	COLUMN	INT.	INTERIOR	SQ	SQUARE
CONC.	CONCRETE	LAM.	LAMINATE	SST.	STAINLESS STEEL
CONN.	CONNECTION	LAV.	LAVATORY	STD.	STANDARD
CONT.	CONTINUOUS	LOC.	LOCATION	STL.	STEEL
CTSK.	COUNTERSINK	MAX.	MAXIMUM	STR.	STORAGE
DEC.	DECORATIVE	MECH.	MECHANICAL	STRUC.	STRUCTURAL
DET.	DETAIL	MET.	METAL	SUSP.	SUSPENDED
D.F.	DOUGLAS FIR	MFR.	MANUFACTURER	T.C.	TOP OF CURB
DIA.	DIAMETER	MIN.	MINIMUM	TEL.	TELEPHONE
DN.	DOWN	MISC.	MISCELLANEOUS	TGS	THICKNESS AND GROOVE
DS.	DOWN SPOUT	MSD.	MASONRY	THK.	THICK
DWG.	DRAWING	MUXTD.	MIXTURED	TJCR.	TOP OF CHIMNEY
EAL.	EACH	MUL.	MULLION	TJCR.	TOP OF FRAMING
EL.	ELEVATION	N/C	NOT IN CONTRACT	TOL.	TOP OF LEADER
ELEC.	ELECTRICAL	NO.	NUMBER	T.O.P.L.	TOP OF PLATE
EQ.	EQUAL	N.T.S.	NOT TO SCALE	TP.	TYPICAL
EXH.	EXHAUST	O.	OVERALL	UNO.	UNLESS NOTED OTHERWISE
EXP.	EXPANSION	OB.	OBSCURE	UNO.	UNLESS OTHERWISE NOTED
EXT.	EXTERIOR	OC.	ON CENTER	VEST.	VESTIBULE
EXIST.	EXISTING	OD.	OUTSIDE DIAMETER	W	WITH
F.F.	FINISH FLOOR	OPN.	OPENING	W/O	WITHOUT
F.F.	FLASHING	OPP.	OPPOSITE	W.C.	WATER CLOSET
FLOOR.	FLOURESCENT	PL.	PLATE	W/O	WOOD
F.F.	FOOT/FEET	PLS.	PLASTER	WA	WATER-HEATER
F.F.	FOOTING	PLR.	PLUMB	WT.	WEIGHT
G.	GAUGE	PRCST.	PRECAST	-	AND
GALV.	GALVANIZED	P.T.D.F.	PRESSURE TREATED	-	ANGLE
GL.	GLASS	P.TN.	PARTITION	-	CENTER
GR.	GRADE	QT.	QUARRY TILE	CL	CLAY LINE
GYP.	GYPISUM	RAD.	RADIUS	-	POUND OR NUMBER
H.B.	HOSE BIBB	REQ.	REQUIRED		

## SHEET INDEX

[illegible]

evisions

CITY COMMENTS 02.23.22

SITE PLAN APPROVAL

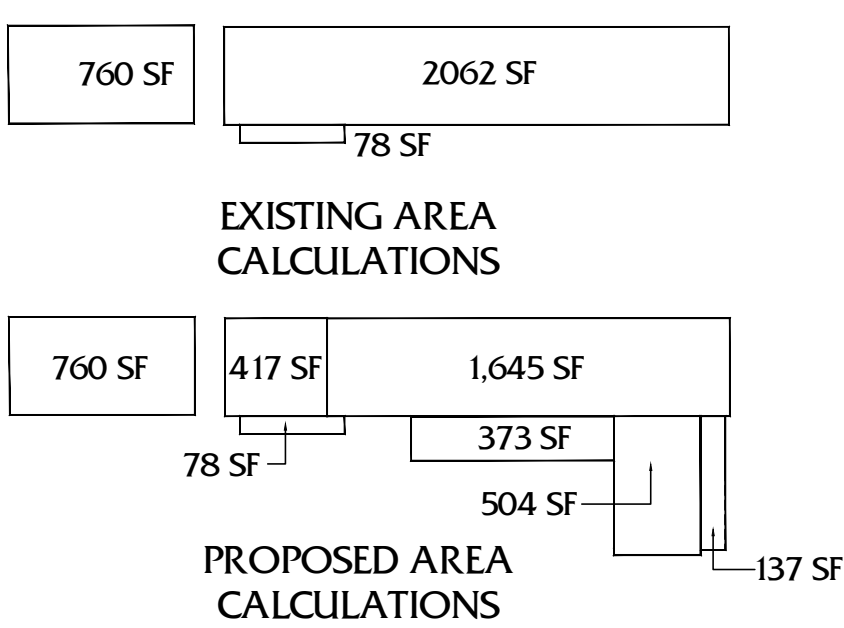
Date	02/23/2022	
Drawn   Checked		---  ---
Date   Approval		-
Date   Permit		-
Date   Construction		-

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COVER SHEET

AREA CALCULATIONS	
EXISTING 1ST FLOOR A/C	1,645 SF
NEW 1ST FLOOR A/C	504 SF
NEW GAR/STOR FLOOR A/C	495 SF
TOTAL 1ST FLOOR A/C	2,644 SF
EXISTING 2ND FLOOR A/C	760 SF
TOTAL UNDER AIR	3,404 SF
COV. ENTRY / COV. LOGGIA	510 SF
TOTAL BUILDING	3,914 SF

PERCENTAGE AREA CALCULATIONS	
EXISTING BUILDING	2900 SF
BUILDING ADDITION	1,014 SF
PERCENTAGE NEW	34.9%



314 NE 3RD AVENUE	
CENTRAL BUS. DIST. / RAILROAD CORR. SUB DIST.	
MAXIMUM LOT COVERAGE	
TOTAL LOT AREA* (6,755 SF - DED. R.O.W. 350 SF)	6,405 * SF
PROPOSED LOT COVERAGE * 49.2%	3,154 * SF
MAX ALLOWABLE LOT COVERAGE * N/A	0 * SF

MAXIMUM F.A.R.	
TOTAL LOT AREA	6,405 * SF
PROPOSED F.A.R. * 41.2%	2,644 * SF
MAX ALLOWABLE F.A.R. * 300%	19,215 * SF

NOTE: ALL UTILITIES TO BE UNDERGROUND

PROJECT SUMMARY	
RENOVATION LEVEL	3
ARCHITECTURAL STYLE	MASONRY MODERN
PROJECT DESCRIPTION	COMPLETE RENOVATION FROM ART STUDIO / WAREHOUSE WITH SECOND FLOOR 1 BEDROOM APARTMENT TO BUSINESS OFFICE WITH SECOND FLOOR 1 BEDROOM APARTMENT INCLUDING INSTALLATION OF FULL BUILDING FIRE SPRINKLER SYSTEM

PROJECT DATA	
PROJECT ADDRESS	314 NE 3RD AVENUE, DELRAY BEACH, FLORIDA
FOLIO NUMBERS	12-43-46-16-01-081-0170
LEGAL DESCRIPTION	LOT 17, BLOCK 81 THE SUBDIVISION OF BLOCK 81 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 11, PAGE 31, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING, AND BEING IN PALM BEACH COUNTY
OCCUPANCY TYPE	MIXED USE-BUSINESS / RESIDENTIAL R-3
ZONING CLASSIFICATIONS	CENTRAL BUSINESS DISTRICT / RAILROAD CORRIDOR SUB-DISTRICT
CONSTRUCTION TYPE	VB
INTERIOR FINISH CLASS	A
FINISH FLOOR ELEVATION	15.12' NAVD.
FLOOD ZONE	D
BASE FLOOD ELEVATION	15.12' NAVD.
YEAR BUILT	1954
EXISTING BUILDING HEIGHT	12'-11"
PROPOSED BUILDING HEIGHT	14'-8"
LOT SIZE	6,405 SQ. FT.
SQUARE FOOTAGE	3,913 SQ. FT.

LEGAL DESCRIPTION

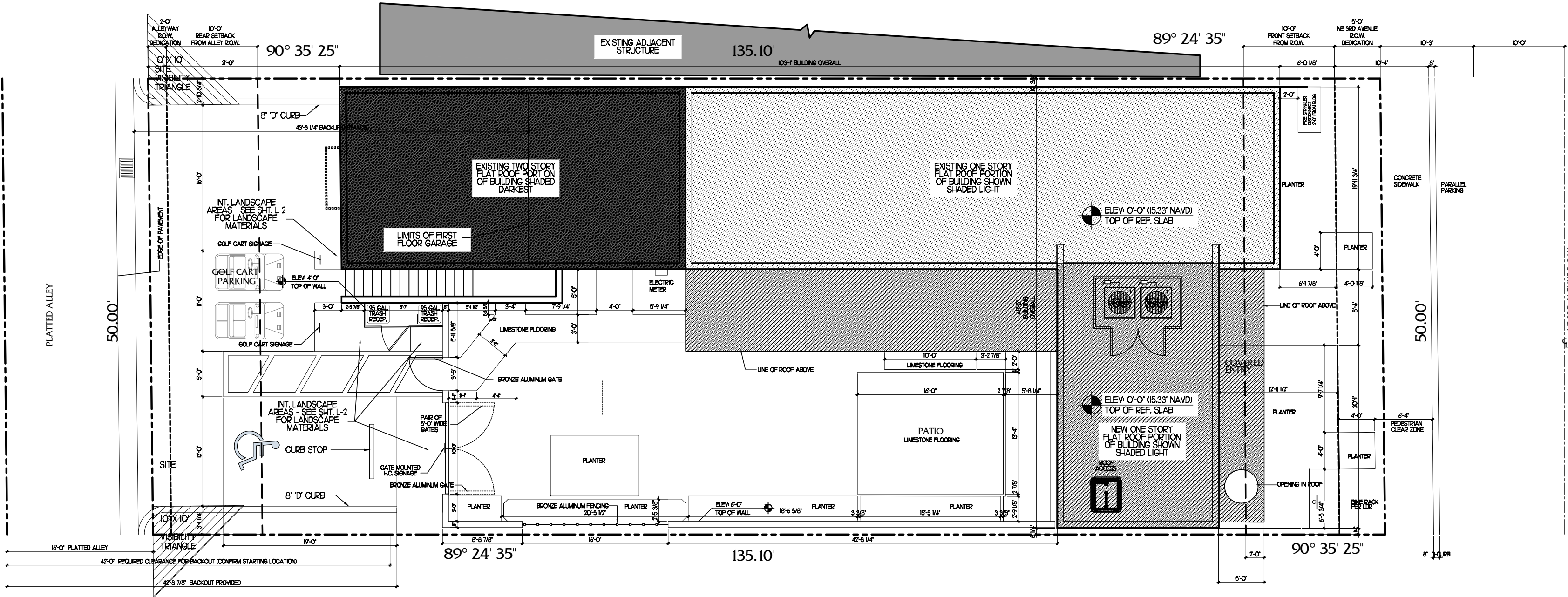
LOT 17, BLOCK 81 THE SUBDIVISION OF BLOCK 81 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 11, PAGE 31, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING, AND BEING IN PALM BEACH COUNTY, FLORIDA.

LOCATION MAP

SITE PLAN LEGEND	
	EXISTING CMU WALLS TO REMAIN
	NEW CMU WALLS TO REMAIN
	EXISTING INTERIOR WALLS TO REMAIN
	NEW INTERIOR PARTITION
	PROPERTY LINE
	EASEMENT LINE
	SET BACK LINE

Project Number:  
21268

314 NE 3rd Avenue  
Delray Beach, Florida



NORTH

SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION

SITE PLAN

1" = 10'-0"

A F I N I T I  
architects

6100 Broken Sound Pkwy. NW - Suite 8 - Boca Raton FL - 33487

561.750.0445 AFINTIARCHITECTS.COM

Revisions	
CITY COMMENTS	02/29/22
CITY COMMENTS	03/29/22
CITY COMMENTS	06/28/22

NOT FOR CONSTRUCTION

Date 02/23/2022

Drawn | Checked --- | ---

Date | Approval 03/29/22

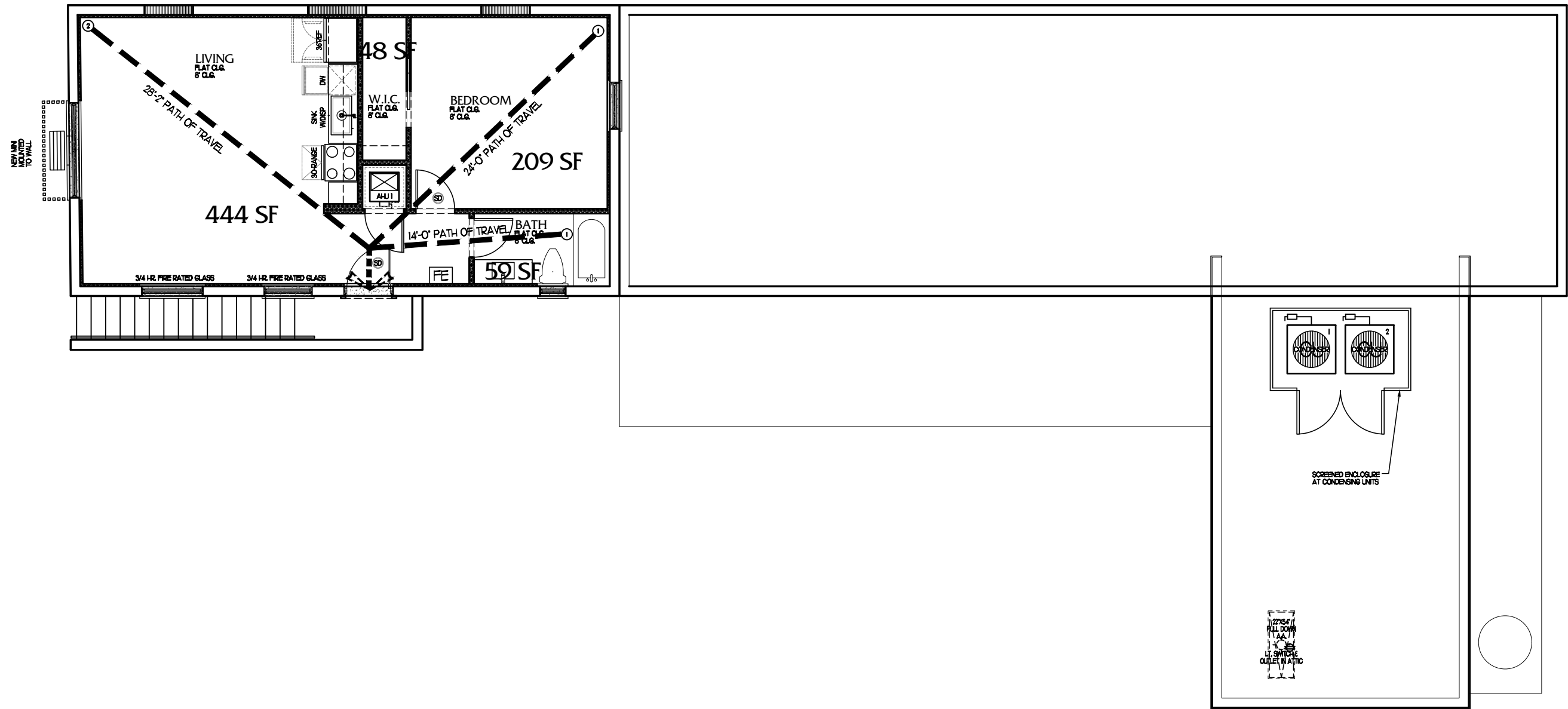
Date | Permit -

Date | Construction -







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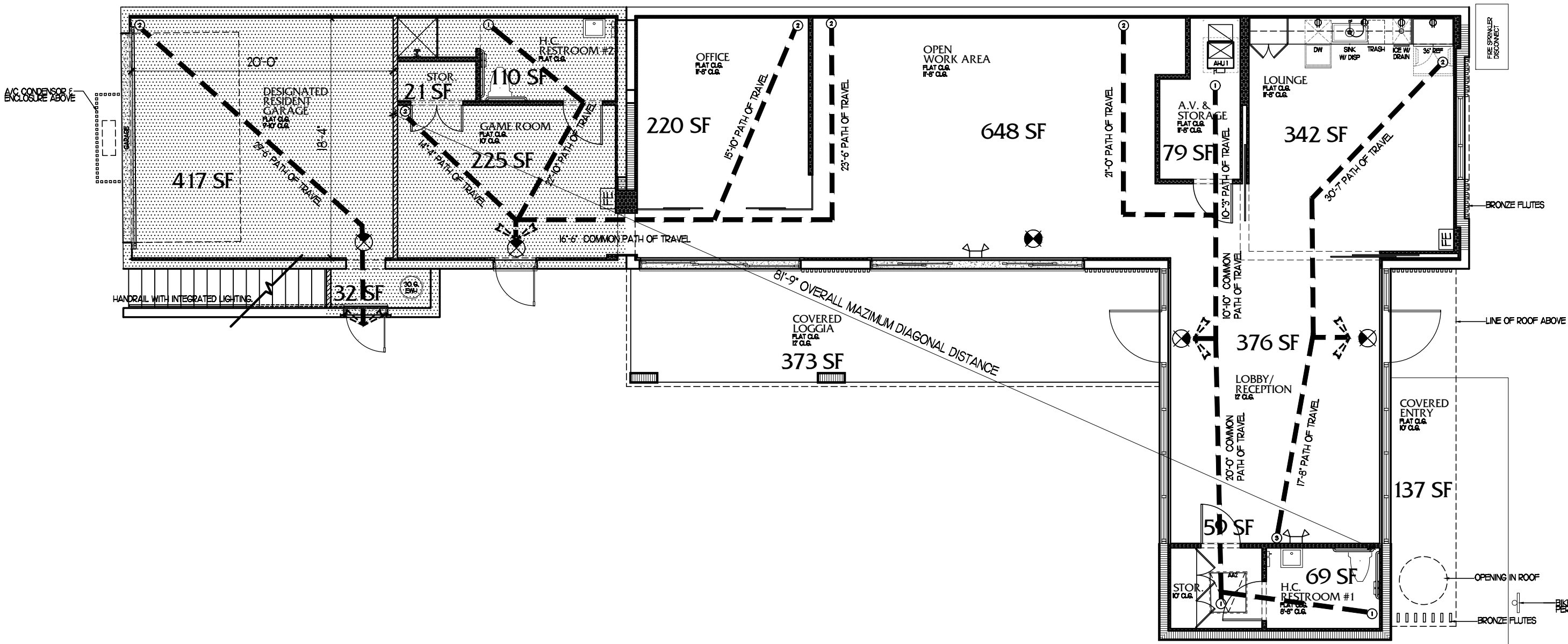
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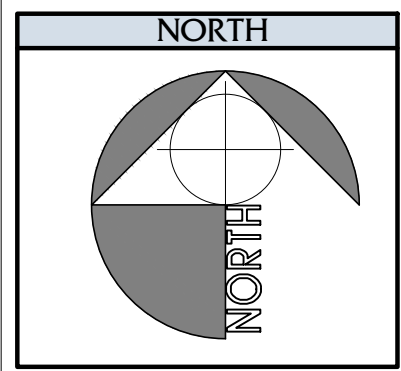


PROPOSED SECOND FLOOR LIFE SAFETY PLAN  
SCALE 1/8" = 1'-0"

CONSTRUCTION REQUIREMENTS				
GROUP B1B-3				
TYPE VES/SPRINKLERED				
BUILDING CAPACITIES				
OFFICE BUILDING				
INTERIOR				
USE	AREA	SQ. FT. PER OCCUPANT	NO. OF OCCUPANTS	
BUSINESS				
LOBBY/RECEPTION	375 SF.	150 (BUSINESS AREA)	3	
LOUNGE	342 SF.	150 (BUSINESS AREA)	2	
OPEN WORK AREA	648 SF.	150 (BUSINESS AREA)	4	
OFFICE	220 SF.	150 (BUSINESS AREA)	2	
GAME ROOM	225 SF.	150 (BUSINESS AREA)	2	
TOTAL	1850 SF.		13	
TOILET ROOMS				
H.C. RESTROOM #1	68 SF.	*	1	
H.C. RESTROOM #2	100 SF.	*	1	
TOTAL	178 SF.		2	
STORAGE				
OFFICE STORAGE	316.58 SF.	150	1	
A.V. & STORAGE ROOM	79 SF.	150	1	
TOTAL	395 SF.		2	
RESIDENTIAL				
LIVING	444 SF.	200	2	
BEDROOM / W.C.	209 & 48 SF.	200	1	
BATH	59 SF.	200	1	
RESIDENT GAR. & STO.	449 SF.	200	2	
TOTAL	1209 SF.		6	
TOTALS				
BUILDING A.V.C. TOTALS	3,955 SF.		23	
COLL. ENTRY L. & LOBBIA	50 SF.			
GRAND TOTAL	3,965 SF.			
LIFE SAFETY LEGEND				
	DOORWAY NO. OF OCCUPANTS PER ROOM/AREA			
	MAXIMUM TRAVEL DISTANCE			
	1-HR. FIRE RATED CEILING ASSEMBLY - SEE DETAIL BULBO			
	1-HR. FIRE RATED WALL ASSEMBLY - SEE DETAIL BULBO			
LEGEND 1:				
	CEILING MOUNTED EMERGENCY EXIT SIGN (SEE ELECTRICAL PLANS FOR ALL LOCATIONS)			
	ALL FIRE EXTINGUISHERS TO BE SLB ABC TYPE IN CABINETS PLACED NO MORE THAN 75'-0" APART • EA. FLOOR.			



PROPOSED FIRST FLOOR LIFE SAFETY PLAN  
SCALE 1/8" = 1'-0"



Project Number:  
21268

314 NE 3rd Avenue  
Delray Beach, Florida

A F F I N I T I  
architects

6100 Broken Sound Pkwy. NW - Suite 8 - Boca Raton FL - 33487  
561.750.0445 AFFINITIARCHITECTS.COM

Revisions

CITY COMMENTS	02.23.22
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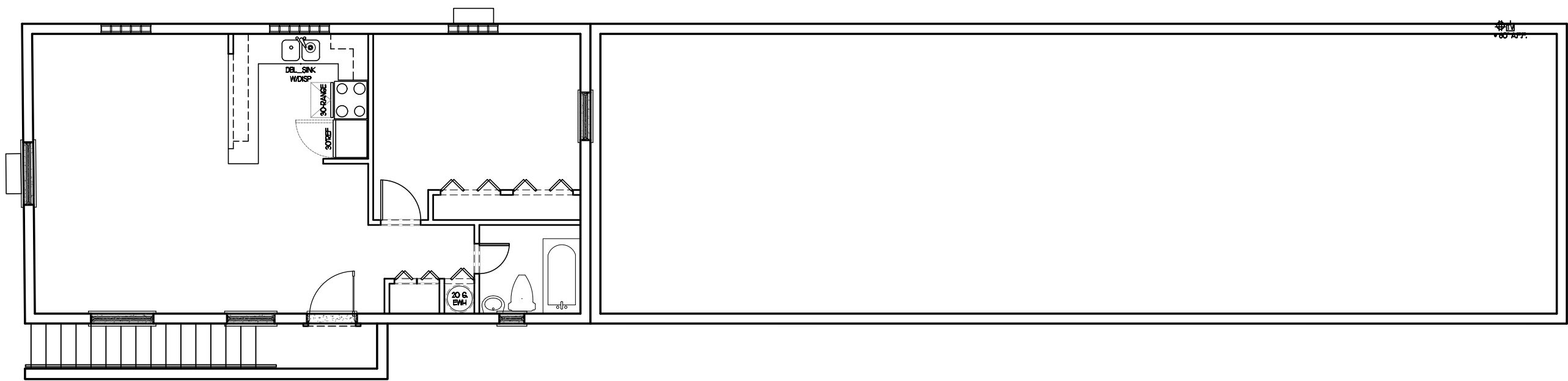
SITE PLAN APPROVAL

Date	02/23/2022
Drawn   Checked	---
Date   Approval	-
Date   Permit	-
Date   Construction	-

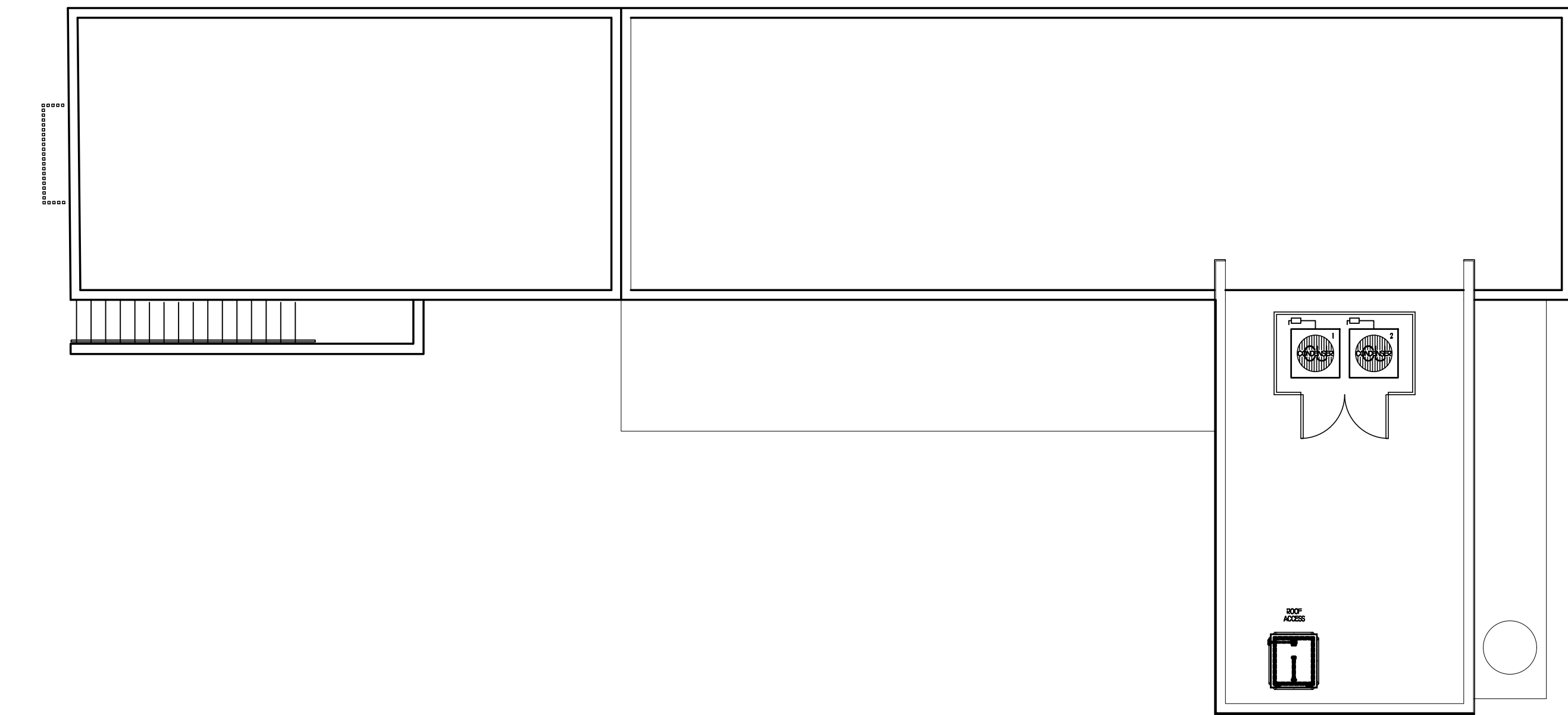
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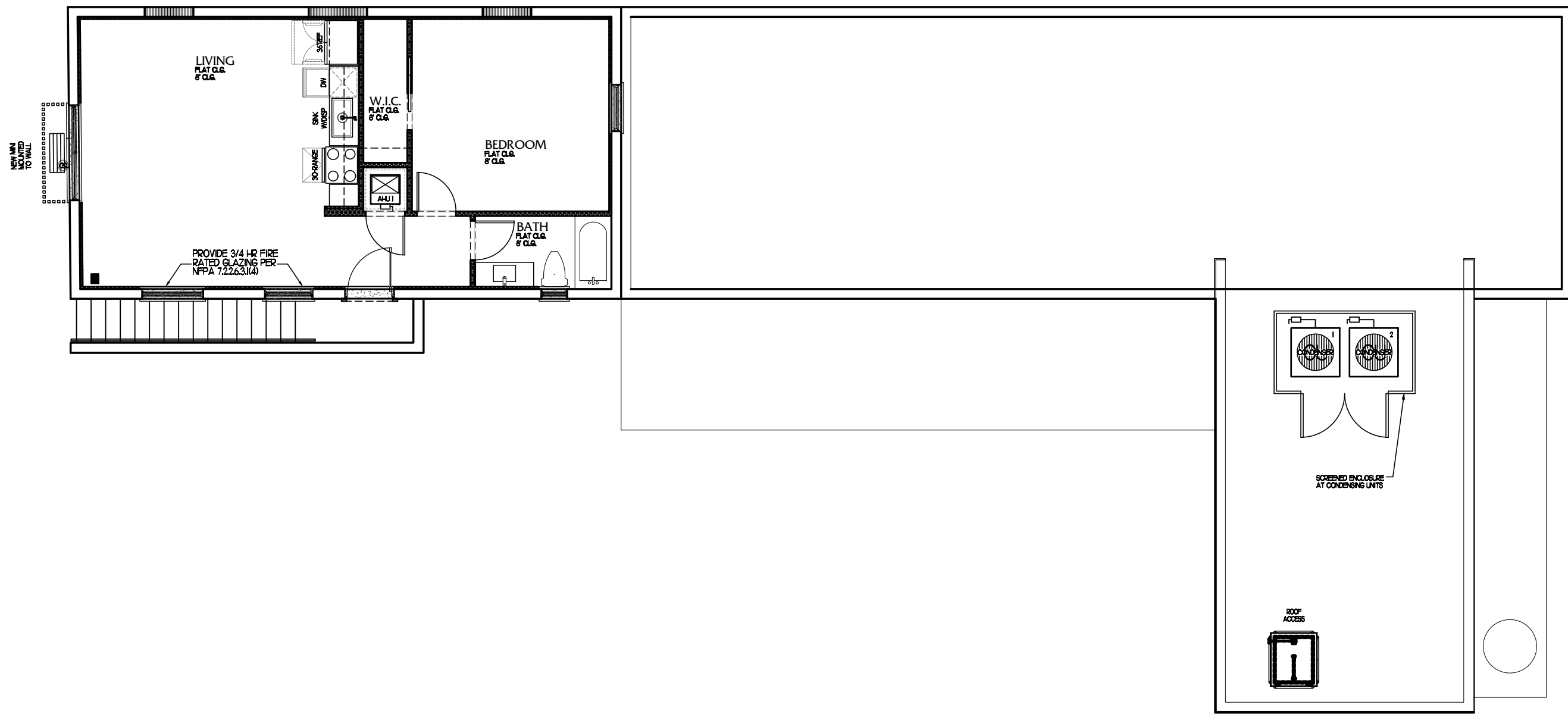
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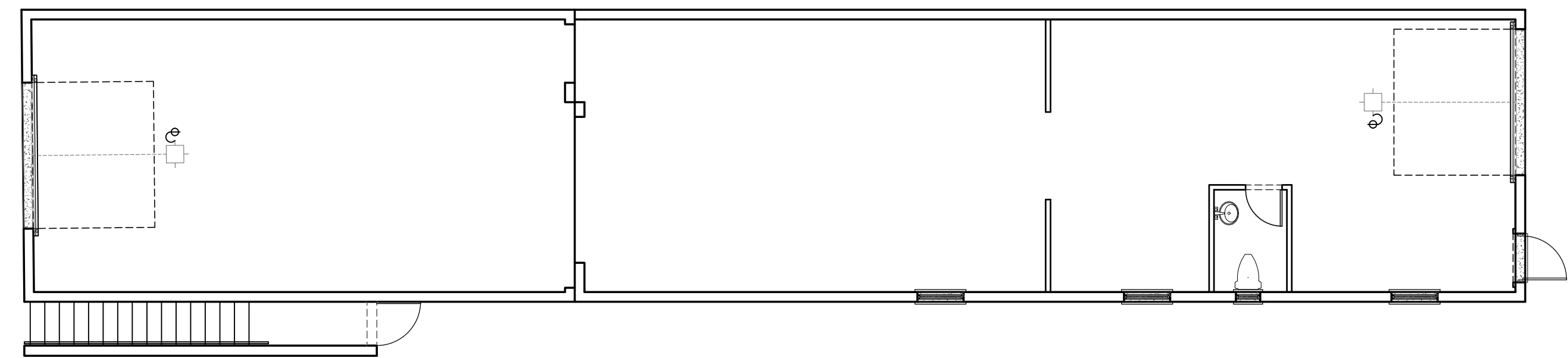
EXISTING SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"



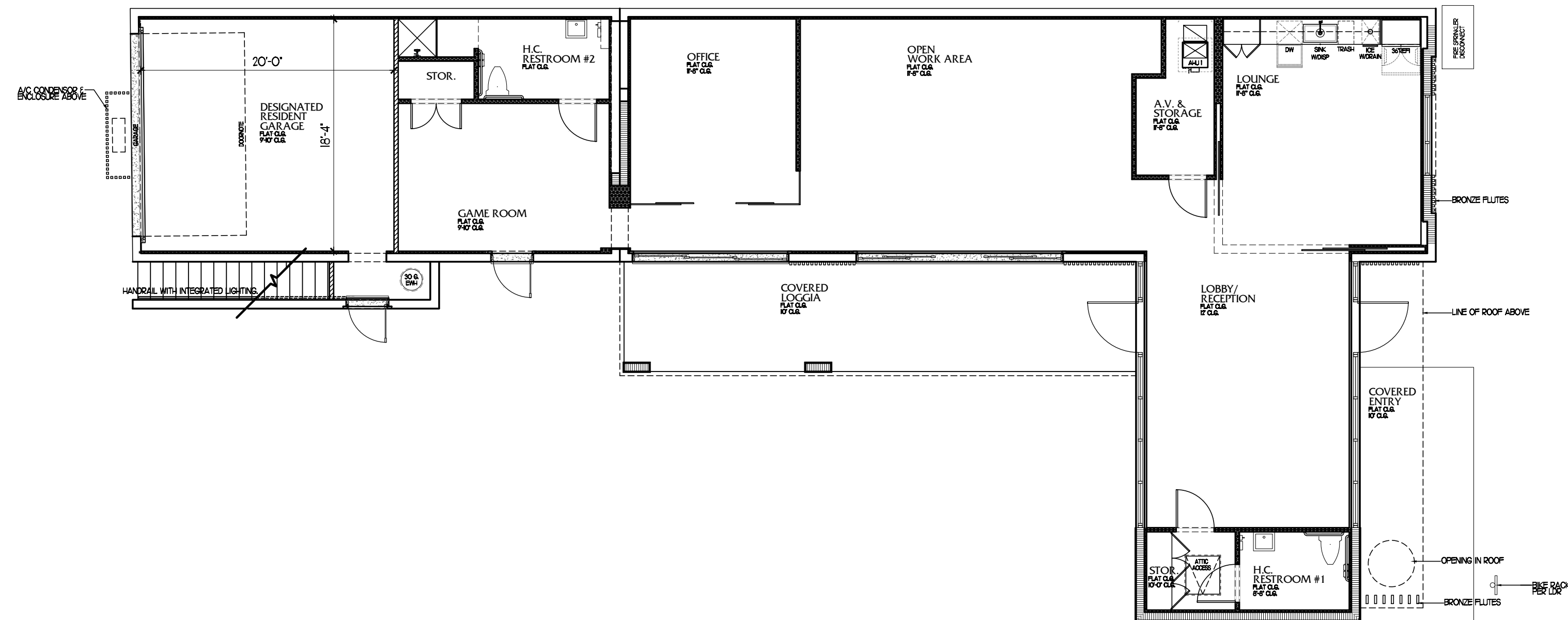
PROPOSED ROOF PLAN  
SCALE 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

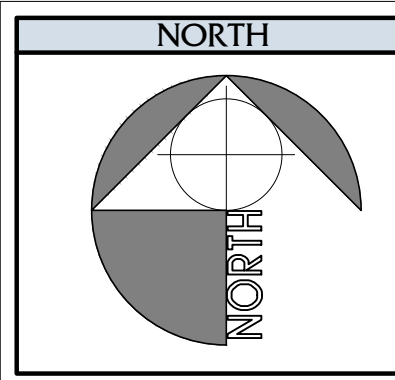


EXISTING FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

AREA CALCULATIONS	
EXISTING 1ST FLOOR A/C	1,645 S.F.
NEW 1ST FLOOR A/C	504 S.F.
NEW GAR/STOR FLOOR A/C	449 S.F.
TOTAL 1ST FLOOR A/C	2,598 S.F.
2ND FLOOR A/C	760 S.F.
TOTAL UNDER AIR (+ 2,148)	2,906 S.F.
COV. ENTRY / COV. LOGGIA	510 S.F.
TOTAL BUILDING	3,865 S.F.
PERCENTAGE AREA CALCULATIONS	
EXISTING BUILDING	2,900 S.F.
BUILDING ADDITION	1,014 S.F.
PERCENTAGE NEW	34.9%



Project Number:  
2 1 2 6 8

314 NE 3rd Avenue  
Delray Beach, Florida

A F F I N I T I  
a r c h i t e c t s

6100 Broken Sound Pkwy. NW - Suite 8 - Boca Raton FL - 33487  
561.750.0445 AFFINITIARCHITECTS.COM

Revisions

CITY COMMENTS 02.23.22

SITE PLAN APPROVAL

Date 02/23/2022  
Drawn | Checked  
Date | Approval  
Date | Permit  
Date | Construction

Seal:

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A3.0

## Revisions

CITY COMMENTS 02.23.22

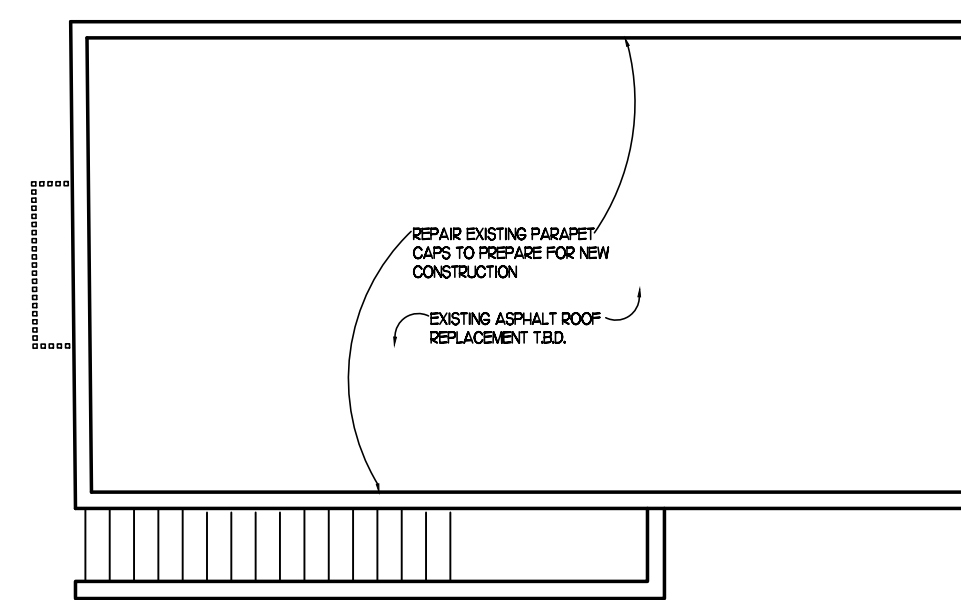
## SITE PLAN APPROVAL

Date	02/23/2022
Drawn   Checked	---  ---
Date   Approval	-
Date   Permit	-
Date   Construction	-

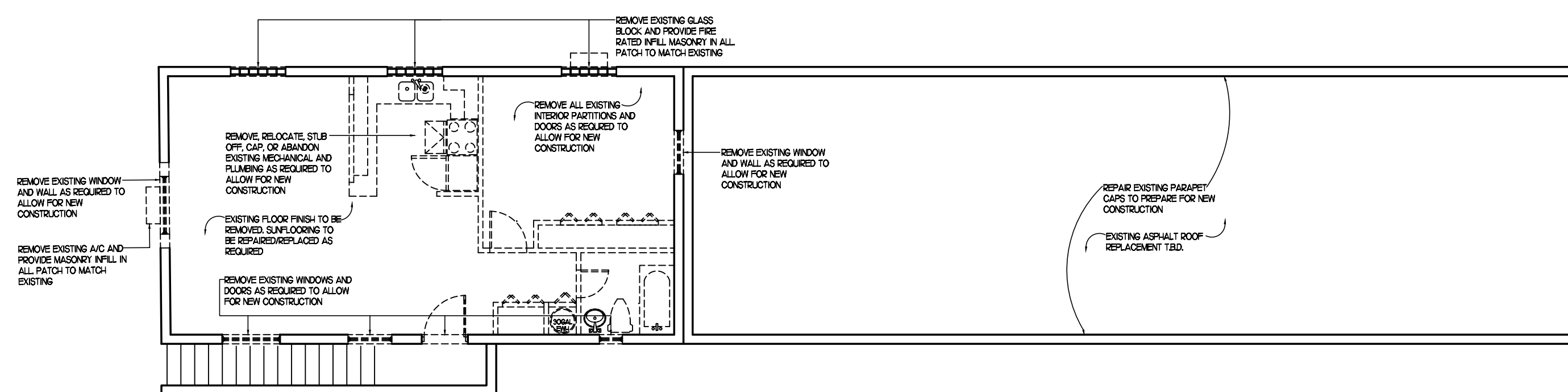
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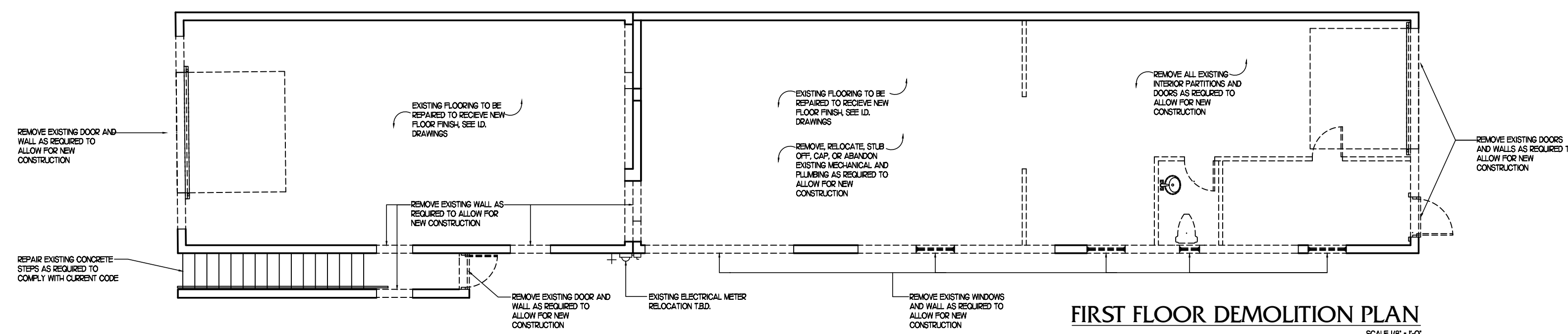
## A3.1



UPPER ROOF PLAN



### SECOND FLOOR DEMOLITION PLAN



**FIRST FLOOR DEMOLITION PLAN**

## DEMOLITION PLAN

$$1/8'' = 1'-0''$$

SITE PLAN APPROVAL	
Date	02/23/2022
Drawn   Checked	---  ---
Date   Approval	-
Date   Permit	-
Date   Construction	-

## A5.1

[illegible][illegible]

Architectural drawing of the West Elevation of the building. The drawing shows a cross-section of the building facade with various materials and dimensions. Key features include a bronze aluminum enclosure, smooth cementitious finish with Benjamin Moore OC-65 paint, and a white aluminum frosted light fixed top. Dimensions are provided for various sections, including a 10'0" wide section, a 6'0" high section, and a 2'0" high section. The drawing is labeled "WEST ELEVATION" and "SCALE: 1/8" = 1'-0"

Architectural drawing of the alternate west elevation of the building. The drawing shows a cross-section of the building with various materials and finishes. Key features include a bronze aluminum enclosure, mechanical equipment behind the roof deck, a smooth stucco finish, and a bronze aluminum enclosure. The drawing is labeled with dimensions and elevations. The scale is 1/8" = 1'-0".

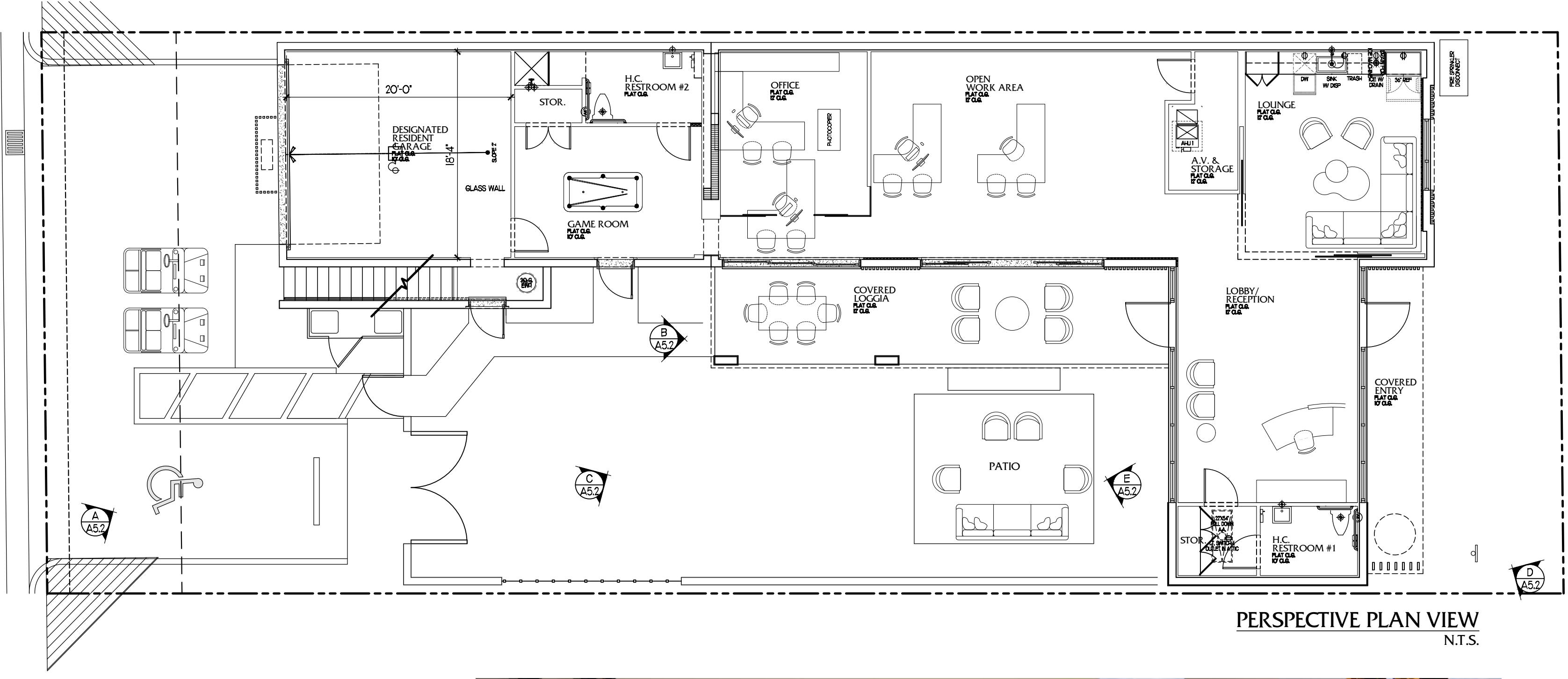
Labels and dimensions:

- ELEV 11'-0" TOP OF EXISTING SECOND FLOOR ROOF DECK
- SMOOTH STUCCO FINISH PAINT BRUSHING MOORE OC-65
- BRONZE ALUMINUM ENCLOSURE + AD LIN
- ELEV 11'-0" TOP OF EXISTING SECOND FLOOR
- BRONZE ALUMINUM ENCLOSURE
- MECHANICAL EQUIPMENT BEHIND LINE OF ROOF BEYOND
- LINE OF ROOF BEYOND
- DOWNWARD CURVING STONE FINISH
- ELEV 11'-0" TOP OF NEW FIRST FLOOR ROOF DECK
- LINE OF CEILING BEYOND
- ELEV 9'-0" TOP OF WALL
- ELEV 8'-0" TOP OF WALL
- ELEV 6'-0" TOP OF WALL
- ELEV 0'-0" FIRST FLOOR TOP OF FINISH FLOOR

SCALE 1/8" = 1'-0"

Architectural drawing of the alternate south elevation of a building. The drawing shows a long, low profile with a central section featuring large windows and a side section with a textured stone finish. Annotations include elevation markers on the left (Elev. 17'-0" to 4'-0") and right (Elev. 17'-0" to 0'-0"), material callouts (Smooth Cementitious Finish, Dominican Cooling Stone, Bronze Aluminum Flutes), and a scale of 1/8" = 1'-0". The drawing is labeled "ALTERNATE SOUTH ELEVATION".

## PROPOSED ELEVATIONS



PERSPECTIVE PLAN VIEW  
N.T.S.



PERSPECTIVE VIEW A  
N.T.S.



PERSPECTIVE VIEW B  
N.T.S.



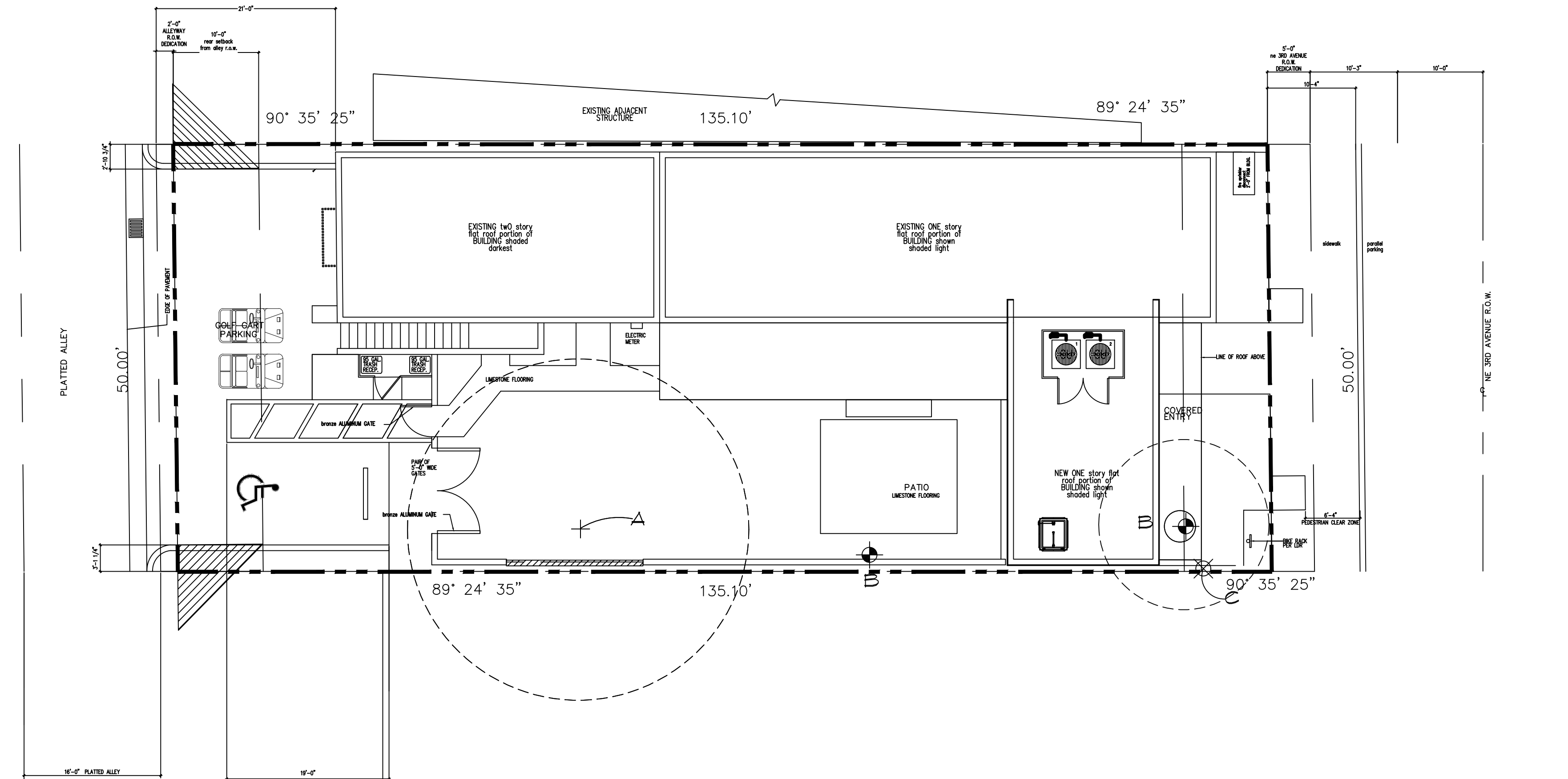
PERSPECTIVE VIEW C  
N.T.S.



PERSPECTIVE VIEW D  
N.T.S.



PERSPECTIVE VIEW E  
N.T.S.



LEGEND

- ⊗

EXISTING TREES TO BE REMOVED

⊕

EXISTING TREES TO REMAIN

●

EXISTING PALMS TO REMAIN
- ⊗

EXISTING TREES TO BE RELOCATED

⊕

NEW LOCATION OF RELOCATED TREES

●

PROPOSED PALMS

⊕

PROPOSED TREES

Tree Disposition and Mitigation

Project Address: 314 NE 3 Avenue			Parcel ID (for multiple IDs, use one for the common area):				
Preserve							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
A	Seagrape	Coccoloba uvifera	40'	35'	67"	60%	
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
Relocation							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
B	Coconut Palm	Cocos nucifera			24'	70%	
Removal							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
				Number of Trees with Condition ≥ 50% : 0 trees		Total DBH: 0" Removed	
				Number of Trees with Condition < 50%: 0 trees		Total # of Trees Removed: 0	
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
C	Cabbage Palm	Sabal palmetto			10'	70%	

Number of Palms with Condition ≥ 50% : 1 Palms  
Number of Palms with Condition < 50%: 0 Palms

John Sutton  
John Sutton/Sutton Consulting Arborist  
ISA Certified Arborist #SO-0326

project:  
**314 ne 3 ave**  
delray beach, fl.

dave bodker  
landscape architecture/planning inc.  
601 n. congress ave., suite 106-a  
delray beach, florida 33445  
561-276-6311

#LA0000999

sheet title:

existing tree  
plan

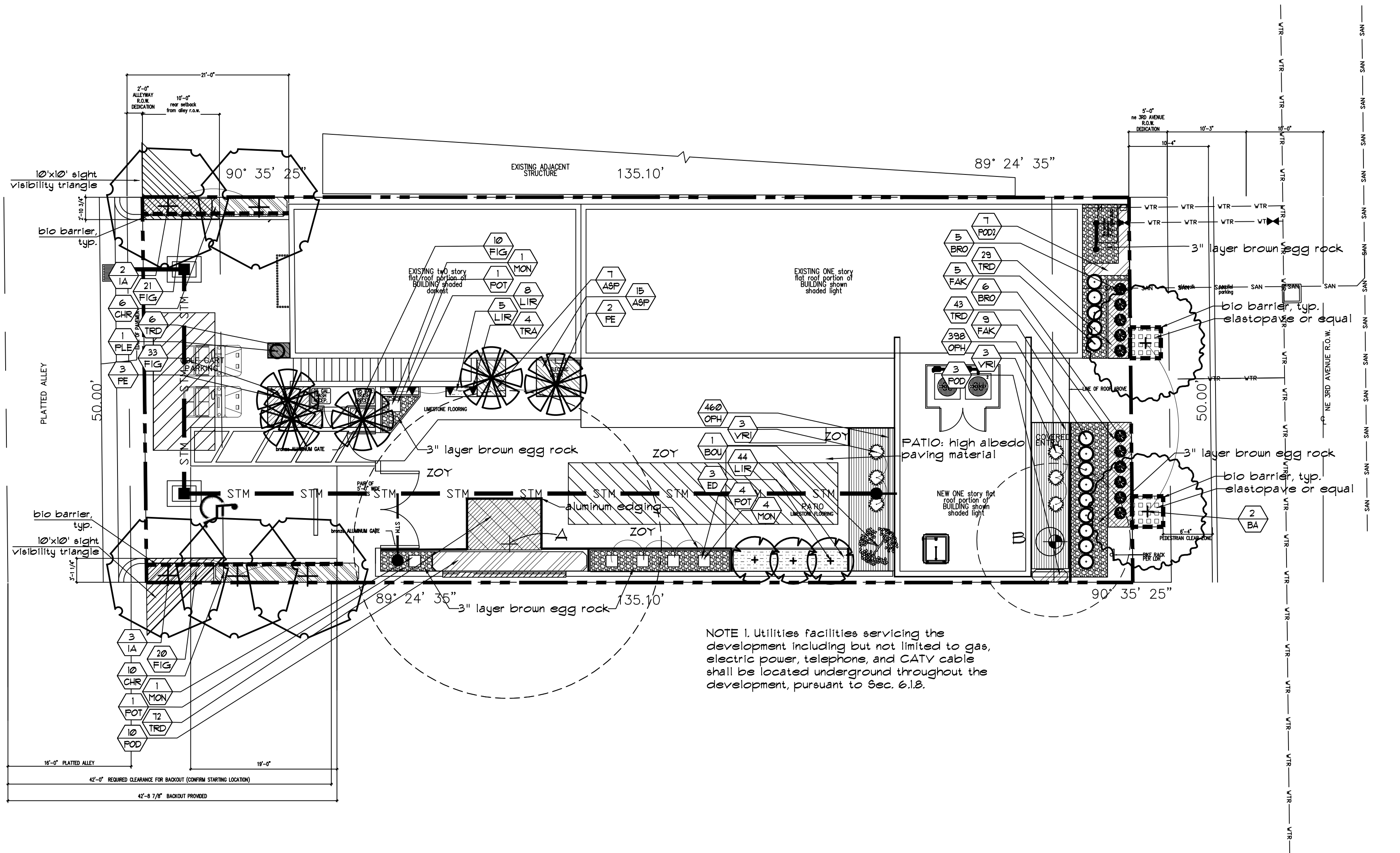
project number:  
15221  
date: 12/20/2021  
scale: 1" = 10'  
drawn by: lmb

revisions:  
Δ 02/28/22-city comments  
Δ 04/25/22-city comments  
Δ 05/19/22-interior landscape  
Δ 06/22/22-city comments  
Δ  
Δ

sheet:



L-1



## PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE *	ORNAMENTAL ONLY +
BA	Bulnesia arborea Versawood	16' ht. x 8' spr., 3" cal. 8' c.t.	2		
ED	Elaeocarpus decipiens Japanese Blueberry	12' ht. x 6' spr., 2" cal. 3' c.t. matched	3		+
IA	Ilex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal. 8' c.t.	5	*	
FE	Ptychosperma elegans Solitaire Palm	16' o.a. ht., 8' c.t. matched	5		+
ASP	Aspidistra elatior variegata Variegated Aspidistra	18" ht. x 18" spr., 18" o.c.	22		+
BOU	Bougainvillea Purple Bougainvillea	5' ht. sculptural stump	1		+
BRO	Neoregelia 'Jeffrey Block' Jeffrey Block Bromeliad	18" ht. x 18" spr.	11		+
CHR	Chrysobalanus icaco Green Tip Coccolup	4' ht. x 2' spr., 2" o.c.	16	*	
FAK	Tripsacum floridanum Dwarf Fakahatchee Grass	24" ht. x 18" spr., 18" o.c.	14	*	+
FIG	Ficus microcarpa Green Island Ficus	10" ht. x 10" spr., 12" o.c.	84		
LIR	Liriope muscari 'Evergreen Giant' Evergreen Giant Liriope	12" ht. x 12" spr., 12" o.c.	51		+
MON	Monstera deliciosa Swiss Cheese Plant	36" ht. on moss pole to be planted in glazed pots	6		+
OPH	Ophiopogon japonicus Mondo Grass	5" ht. x 5" spr., 4" o.c.	858		+
FLE	Dracaena reflexa 'Variegata' Pleomele	5' ht., 3 ppp	1		+
FOD	Fodocarpus macrophyllus Fodocarpus	6' ht. x 2' spr., 2" o.c.	13		+
FOD2	Fodocarpus macrophyllus Fodocarpus	4' ht. x 2' spr., 2" o.c.	7		+
FOT	White glazed pots to be planted with Monstera deliciosa	± 30" ht. x 18" square	6		+
TRA	Trachelospermum jasminoides Confederate Jasmine	8' ht., 5 runners on Jacobs cable	4		+
TRD	Trachelospermum asiaticum 'Minima' Dwarf Asian Jasmine	5" ht. x 12" spr., 12" o.c.	150		+
VRJ	Yriessia imperialis Imperial Bromeliad	3' ht. x 3' spr.	6		+
ZOY	Empire japonicum Zoysia Zoysia Sod	full, fresh sod	as required		
	Gravel	brown egg rock	3" layer		
	4" Aluminum Edging	1/8"x4"	as required		
	Bio Barrier	36" D. hung vertically	as required		

NOTE: Ornamental only; not used to fulfill any code requirement

## CODE DATA

A	TOTAL LOT AREA		6,409 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		4,538 S.F.
C	TOTAL PERVIOUS LOT AREA	$C = (A - B)$	1,867 S.F.
H	TOTAL PAVED VEHICULAR USE AREA		915 S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	$I = (H \times 10)$	92 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		115 S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	$K = (I/25 S.F.)$	2 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED		2 TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS		53 L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	$N = (M/30)$ $N = (M/25)$ IF ADJACENT TO PROPERTY IN RESIDENTIAL USE	2 TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED		2 TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE		2 TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	$Q = (K + N \times 50)$	2 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED		1 TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED		8 TREES

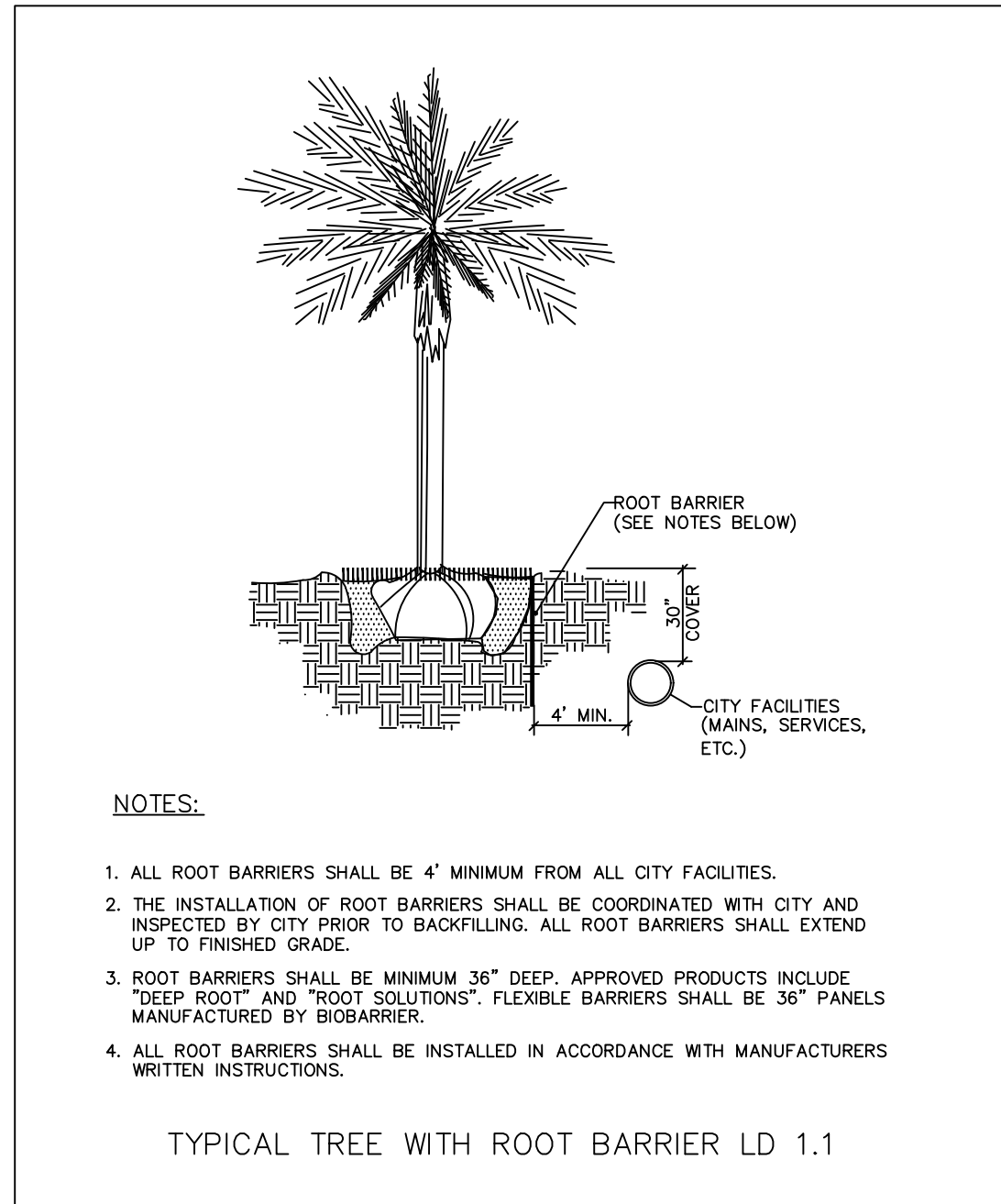
- ALL PLANT MATERIAL SHALL BE FLORIDA # GRADE OR BETTER.
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.
- SOO AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 11 & LD 12.

NOTE:  
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 11 AND LD 12.

THE AREA BETWEEN THE PROPERTY LINE / ROW LINE AND THE EDGE OF PAVEMENT OF CITY STREETS SHALL BE SOCCED OR LANDSCAPED WITH A GROUND COVER ACCEPTABLE TO THE CITY ENGINEERING DEPARTMENT. IT IS UNDERSTOOD THAT ANY REPAIRS DUE TO CITY MAINTENANCE WILL BE REPLACED. (THE CITY WILL ONLY REPLACE WITH ST. AUGUSTINE OR BAHIA GRASS.

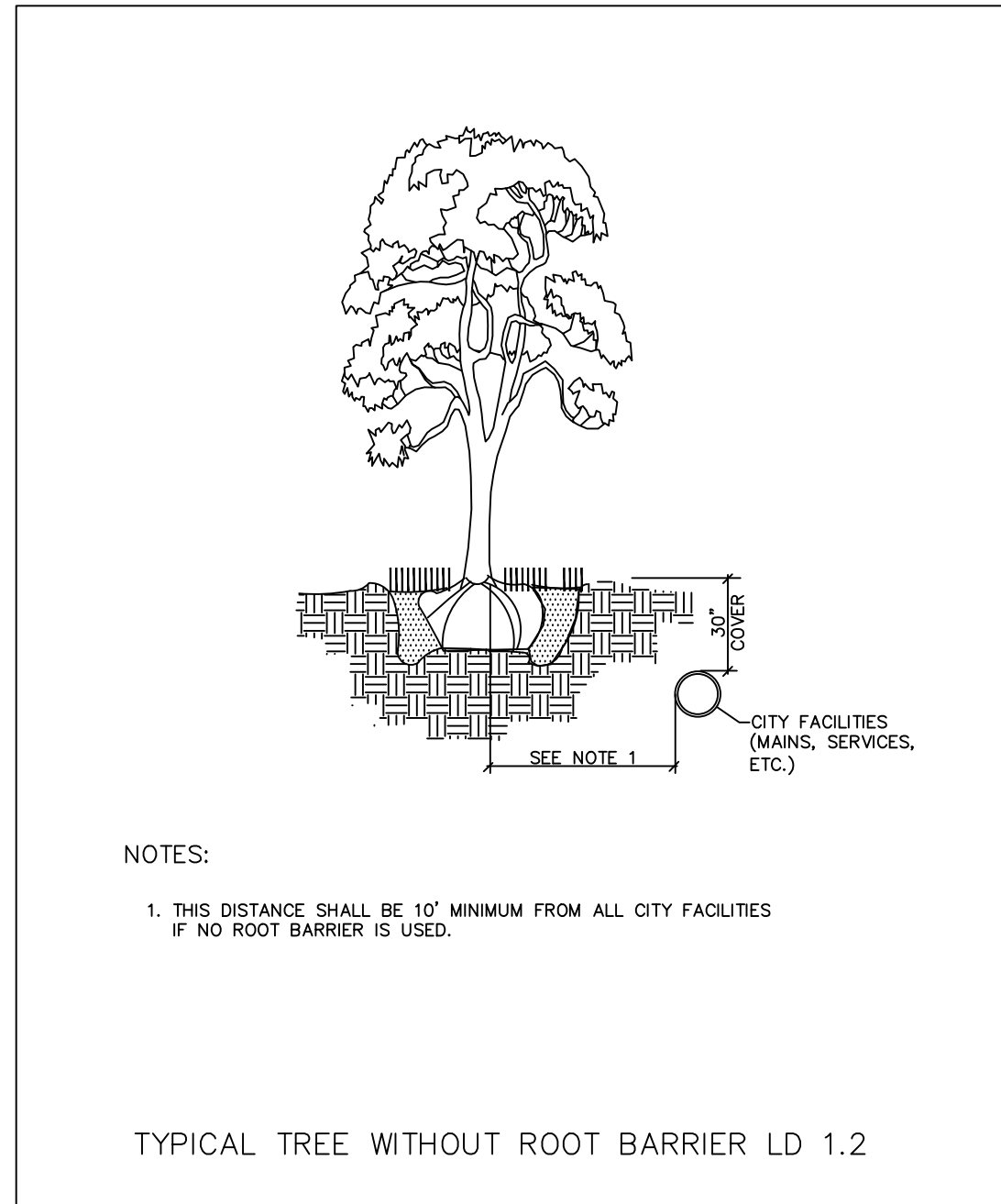
A COST ESTIMATE WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION.

AN IRRIGATION PLAN WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION.



### NOTES:

1. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



### NOTES:

1. THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

project:  
**314 ne 3 ave**  
delray beach, fl.

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601 n. congress ave., suite 106-a  
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sheet title:  
**planting**  
**plan**

project number:  
15221

date: 12/20/2021  
scale: 1" = 10'  
drawn by: lmb

revisions:  
A02/28/22-city comments  
A04/25/22-city comments  
A05/19/22-interior landscape  
A06/22/22-city comments  
A  
A

sheet:



**L-2**

2 of 3 sheets

[illegible]