# ENT OF BILL

### Development Services Department

#### **BOARD ACTION REPORT - APPEALABLE ITEM**

Project Name: 314 NE 3rd Ave Project Location: 314 NE 3rd Ave PCN: 12-43-46-16-01-081-0170

**Request:** Consideration of a Class III Site Plan Modification, Landscape Plan, Architectural Elevations, and a Landscape Waiver for modifications, an addition, and change of use to the existing warehouse building to convert it into an office use, pursuant to LDR section 2.4.5(G)(1)(d),

2.4.5(H), and 2.4.7(B)(5).

**Board:** Site Plan Review Appearance (SPRAB)

Meeting Date: July 27, 2022

**Board Action**: Approved on a 6-0 vote (Dana Adler absent)

#### **Board Actions:**

Approved the Class III Site Plan Modification (2022-074) request and waiver associated with modifications, an addition, and change of use to the existing warehouse building; along with renovations to the existing 760 sq. ft. second floor residential unit and affiliated garage.

#### **Project Description:**

The modifications includes a change of use converting the existing 2,060 sq. ft. warehouse to an office, with an addition of approximately 500 sq. ft. The proposal illustrates numerous site improvements including paving to accommodate an ADA parking space, landscaping, a new refuse container, perimeter fencing, and site lighting. There are also substantial modifications to the architectural design of the existing building. The subject request also includes a waiver from Land Development Regulations (LDR) Section 4.6.16(H)(3)(d), Minimum Landscape Requirements, to allow a 3-foot, 1-inch-wide landscape strip (measured to edge of curb), where a five-foot wide landscape strip is required

#### **Board Comments:**

The Board members were supportive of the proposal.

**Public Comments:** No comment

**Associated Actions:** N/A

**Next Action**: The SPRAB action is final unless appealed by the City Commission

314 NE 3rd Ave

Meeting	File No.	Application Type
July 27, 2022	2022-074-SPM-SPR-CLIII	Class III Site Plan Modification
Property Owner	Applicant	Agent
Ocean Parker Delray LLC	Ocean Parker Delray LLC	Jeffrey A. Costello, AICP, FRA-RA

#### Request

Consideration of a Class III Site Plan Modification, Landscape Plan and a Landscape Waiver for modifications, an addition, and change of use to the existing warehouse building to convert it into an office use.

#### **Site Data & Information**

**Location:** 314 NE 3<sup>rd</sup> Avenue, generally located on the west side of NE 3<sup>rd</sup> Avenue north of NE 3<sup>rd</sup> Street.

PCN: 12-43-46-16-01-081-0170

Property Size: 0.16 acres
LUM: CC (Commercial Core)

Zoning: Central Business District (CBD), Railroad Corridor Sub-

district

### Adjacent Zoning:

North: CBD, Railroad Corridor Sub-district
East: CBD, Railroad Corridor Sub-district
South: CBD, Railroad Corridor Sub-district
West: CBD, Central Core Sub-district

**Existing Land Use:** Approximately 2,000 square feet of warehouse and one residential unit of approximately 700 square feet.

**Proposed Land Use:** A change of use is proposed to convert the existing warehouse into an office while maintaining the single residential unit.

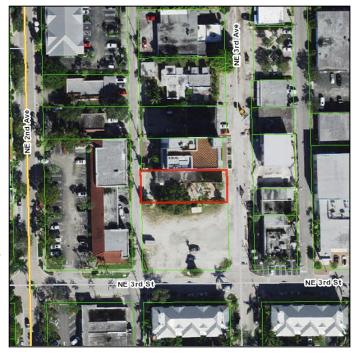


Existing: 0.41Proposed: 0.5

Maximum Allowed: 3.0

#### **CBD Railroad Corridor Sub-district**

NE 3<sup>rd</sup> Avenue: Secondary Street





#### **Background**

The site was originally developed in 1954 and contains a warehouse on the ground floor and one residential unit on the second floor with a garage accessible via the alley. The warehouse, which exemplifies a simple masonry vernacular style commonly built in the 1950s, has been occupied with an art studio for a number of years. The property fronts NE 3<sup>rd</sup> Avenue, which has recently undergone streetscape improvements as part of a City funded public improvement project.





Front (East) Elevation

Rear (West) Elevation

#### **Description of Proposal**

The Class III Site Plan Modification includes a change of use converting the existing 2,060 sq. ft. warehouse to an office, with an addition of approximately 500 sq. ft. A new covered loggia connecting to an interior courtyard is also proposed, along with renovations to the existing 760 sq. ft. second floor residential unit and affiliated garage. There is no proposed expansion of the residential floor area and additional density is not proposed. The request also incorporates a major face lift to the exterior façade of the existing building.

In addition to the interior and exterior alterations to the structure the proposal illustrates numerous site improvements including paving to accommodate an ADA parking space, landscaping, a new refuse container, perimeter fencing, and site lighting.



The subject request also includes a waiver from Land Development Regulations (LDR) Section 4.6.16(H)(3)(d), Minimum Landscape Requirements, to allow a 3-foot, 1-inch-wide landscape strip (measured to edge of curb), where a five-foot wide landscape strip is required, on the southern interior lot line between the off-street parking and adjacent property.

### Review & Analysis: Site Plan and Zoning

#### LDR Section 2.4.5(G)(1)(d), Class III Site Plan Modification

A modification to the site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requiring partial review of Performance Standards found in Section 3.1.1.

**LDR Section 3.1.1 Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.



#### 3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of CC, and a zoning designation of CBD, which is the preferred zoning district to implement the CC land use designation. Pursuant to LDR Table 4.4.13(A), offices are a permitted use in the Railroad Corridor Sub-district of the CBD.

#### 3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

<u>Potable Water and Sewer</u>: Water and sewer services are existing on-site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

<u>Drainage</u>. Drainage and water run-off will be addressed through on-site retention, which should not impact the level of service standard.

<u>Transportation:</u> A Traffic Performance Standards (TPS) letter has been provided by Palm Beach County indicating the project is located within the Delray Beach Traffic Concurrency Exception Area (TCEA). As such, the proposed project meets the requirements of traffic concurrency.

<u>Parks and Open Space:</u> Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per dwelling unit is collected prior to issuance of a building permit for each unit. Given that there are no additional units proposed, a park impact fee is not required.

<u>Solid Waste</u>: The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

<u>Schools</u>: The proposed scope of work does not include the addition of new residential units. As such, school concurrency review is not applicable.

#### Section 3.1.1 (C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions and is provided as Appendix A.

#### **Comprehensive Plan**

Overall, the proposed modifications are consistent with any applicable Goals, Objectives, or Policies of the Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element. The Proposal includes the adaptive reuse and modification of an existing building that will maintain the historically low-scale development pattern originally found along NE 3<sup>rd</sup> Avenue, as evidenced by the proposed floor area ratio of 0.5, whereas 0.41 exists.

**Policy NDC 1.3.7** Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse, development... that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area continue to evolve into a traditional, self-sufficient downtown...

#### Section 3.1.1 (D), Compliance with the LDRs:

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.



<b>Section 4.4.13</b> ,	Central	<b>Business</b>	District

Standard/Regulation	Review		
Height Table 4.4.13(C) Streetscape Standards 4.4.13(E)(2)	Maximum: 54 feet, 4 stories Proposed: 19 feet, 1-2 stories In an effort to adapt to the unique street design on NE 3 <sup>rd</sup> Avenue an alternative streetscape design has received approval from the Development Services Director pursuant to LDF Section 4.4.13(E)(2)(b)(4) as the proposed configuration is consistent with the intent of the regulations.		
Minimum Streetscape Width	Required: 15 feet  Curb Zone: 4 feet (min.)  Ped. Clear Zone: 6 feet (min.)  Front Setback Area: up to 15 feet  Provided: 16 feet, 4 inches (total)  Ped. Clear Zone: 6 feet, 4 inches  Curb Zone: 4 feet  Front Setback Area: 6 feet, 1 inch  Due to existing circumstances, the pedestrian clear zone directly abuts the street and curb, with the curb zone placed between the pedestrian clear zone and front property line. The curb zone includes the required street trees, which will be located within the five-foot wide area dedicated for right of way.		
Remaining Front Setback Area 4.4.13(E)(2)(a)3.	Required: Hardscape or Landscaping comprised of plants in removable planters, palma and/or ground planting may be installed adjacent to the building provided views into storefrom windows are not obstructed.  Proposed: The remaining front setback continues the hardscaping to the main entrance flanked by a mix of planted ground covers that will further enhance the building's streetscape appeal while maintaining an unobstructed view of the building and, more specifically, the		
Frontage Type: Lobby 4.4.13(E)(4)(g)	windows.  Required: Emphasize main entry, consistent with architecture, in scale and proportion with building, accessible from sidewalk, overhang encroachment up to 10 feet, post encroachment up to 5 feet  Proposed: Lobby entrance detail meets description; overhang and supporting posts encroach 5 feet.		
Architectural Elevations 4.4.13(F)	A review of the CBD architectural requirements is provided under the <b>Architectura Elevations</b> section of the report.		
Civic Open Space LDR Section 4.4.13(G)	Not required, based on size of parcel.		

**Other Requirements** 

Standard/Regulation	Review
4.6.8(A)(3), Illumination Standards:	Illumination spillover is limited to the maximum degree feasible given the minimum illumination requirements for street lighting, off-street parking illumination, and lighting at the building entrance.



Off-Street Parking 4.4.13(I)(2(d), properties less than 65 feet in width with a building no more	Off-street parking is not required; 3 parking spaces plus two multi-modal spaces provided on-site.
than two stories in height are not required to provide off-street parking, except for restaurant and lounge uses.	The applicant is electing to provide an ADA space accessible from the alley and the residential unit will maintain the two parking spaces in the existing garage, which is accessed via a driveway connection to the alley. Two multi-modal parking spaces are provided between the residential driveway and the off-street ADA space that may be utilized by golf carts, motorcycles, or other legal alternative modes of transportation.
Bicycle Parking LDR Table 4.4.13(M)	One bicycle rack is located on the southeast corner of the site.

#### Review & Analysis: Landscape Plan

### LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

In addition to the landscaping at the front of the building and the provided street trees, the rear and side (south) area of the property have also been enhanced by additional landscaping improvements that includes a mix of trees and palms, as well as a variety of ground covers.

The plan has been reviewed for compliance with LDR Section 4.6.16 by the senior landscape planner and project planner. The plans have been deemed compliant in all aspects with an exception that necessitates a landscape waiver as detailed below.

#### Tree Removal/Relocation

Regarding tree mitigation requirements, the applicant is proposing to relocate one palm and remove one palm but will not remove any existing canopy trees from the property.

	ion	To a long or		- · ·		I	-
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	<b>Condition Rating</b>	Comments
В	Coconut Palm	Cocos nucifera			24'	70%	
		· ·	'	·	·		
Remova	al						
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
		-					
	Number of Trees with Condition ≥ 50%: 0 trees Total DBH: 0" Removed						
	Number of Trees with Condition < 50%: 0 trees Total # of Trees Removed			Total # of Trees Removed: 0			
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
	Cabbage Palm	Sabal palmetto			10'	70%	
C							
С							
С				lumber of Palms wit	th Condition ≥ 50%	: 1 Palms	

FILE NO.: 2022-074-SPM-SPR-CLIII – 314 NE 3<sup>RD</sup> AVENUE



#### Waiver

Pursuant to LDR Section 2.4.7(B)(5), prior to granting a waiver, the granting body shall make findings that granting of a waiver:

- a. Shall not adversely affect the neighboring area.
- b. Shall not significantly diminish the provision of public facilities.
- c. Shall not create an unsafe situation.
- d. Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

Pursuant to LDR Section 4.6.16(H)(3)(d), a landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet at the time of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width that is free of any vehicular encroachment, including car overhang.

A waiver has been requested to provide a 3-foot, one-inch planting strip where a minimum 5-foot planting strip is required along the southern interior property line between the proposed off-street ADA parking space and adjacent property.

If approved, the waiver is not anticipated to adversely affect the neighboring area or create an unsafe situation. Landscape buffering is still proposed to the maximum degree feasible given the limited space. The waiver will not diminish the provision of public facilities as access to the alley is adequately maintained and the waiver is requested to facilitate the inclusion of an ADA parking space, which is an amenity to those members of the public that may visit the subject property but are unable to find adequate parking elsewhere within a reasonable proximity. The waiver would not grant a special privilege as the request is not being made in order to accommodate minimum required parking. Likewise, any reduced visual screening that may result from the waiver is far less impactful given that it is located back of house adjacent to a service alley where it is common to find existing properties with the entirety of the rear setback adjacent to the alley paved with hardscape.

**Note:** A waiver for the proposed landscape strip to the north of the property is not required because the driveway providing access to the garage is an existing site condition and the applicant is proposing to decrease the degree of nonconformity that is currently present.

#### Review & Analysis: Architectural Elevations

#### LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.





#### LDR Section 4.6.18, Architectural Elevations and Aesthetics

#### (A) Minimum Requirements

- 1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- 2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

The minimum aesthetic standards of this Section have been met by the proposed architectural modifications to the building. The modifications maintain an overall appropriate design that expresses proper design concepts, which are further defined and regulated by the architectural standards provided in the CBD.

#### (E), Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed modifications meet the intent of the Criteria for Board Action in that the modifications are in good taste and design and will contribute to the continued adaptive reuse and redevelopment occurring along NE 3<sup>rd</sup> Avenue, which have significantly improved the streetscape and brought more economic investment to the area. The added architectural features and details appear to be of high quality and will contribute to the positive image of Delray Beach. A more thorough analysis and overview of the architectural elevations is provided in the review of the requirements provided in Section 4.4.13(F).

#### LDR Section 4.4.13(F), Architectural Standards.

To ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

standards apply in all CBD Sub-districts.  Standard/Regulation	Review
Façade Composition Tripartite Composition: Base Middle, Top 4.4.13(F)(2)	The improvements generally meet the intent of the building composition requirements, which are not currently exemplified by the existing building. For example, a base doesn't currently exist on the building; the addition includes a 2-foot tall base, and the overhang above the entrance defines a top.
Appropriate Architectural Styles 4.4.13(F)(3)	Proposed Style: Masonry Modern Style Details: Flat roof, emphasis of solid mass, smooth stucco and pre-cast stone finishes, windows are generally recessed, limited ornamentation; expanded eyebrow above entrance to provide shade, stone and wood detailing; and tripartite composition.
<b>Walls</b> 4.4.13(F)(4)	Required: Maximum two primary material's appropriate to architectural style Provided: Smooth stucco and coquina stone finish, appropriate for Masonry Modern Required: Maximum four base wall colors Provided: Two base wall colors, white and coquina
Openings 4.4.13(F)(5)	Transparency requirement has been met. Public entrances are easily identified. Overhead door facing NE 3 <sup>rd</sup> Avenue has been removed.
<b>Roofs</b> 4.4.13(F)(6)	Flat roof and rooftop equipment are screened by a parapet and appropriate to the Masonry Modern style. Rooftop terraces are not included in the plans; access is provided for maintenance purposes only.

FILE NO.: 2022-074-SPM-SPR-CLIII - 314 NE 3RD AVENUE



Standard/Regulation	Review
Parking Garages 4.4.13(F)(8)	The existing garage door opening along the alley will be maintained; the new door will continue to provide screening of the interior parking reserved for the residential unit.
Reduction of Urban Heat Islands 4.4.13(F)(9)	White Energy Star roofing will be installed to comply with this requirement. The non-roofed shade coverage and courtyard/patio area (light-colored, high albedo surface) will provide 675 sq. ft. or 39%, exceeding the 30% requirement of LDR Section 4.4.13(F)(9)(a).
Green Building Practices 4.4.13(F)(10)	Green building certification is not required for developments containing less than 50,000 square feet; the applicant has not specifically indicated if any green building elements will be incorporated into the project.

The proposed building improvements exhibit many characteristics of the Masonry Modern style. The exterior utilizes predominately smooth stucco and stone finishes. The articulation of the massing emphasizes the solidity of the structure without coming across as overtly heavy or cumbersome. The ratio of glass to wall smartly balances the need to incorporate transparency along the frontage while also maintaining the solidity of the structure. There is a prominent roof overhang that provides shade and frames the front entrance to the building. The design utilizes wood accent finishes in a subtle and effective way. The addition has a defined base, middle, and top that is achieved utilizing elements such as material variation and horizontal projections, which are effective methods of introducing a tripartite composition into a single-story structure with flat roof.

#### **Review by Others**

The **Downtown Development Authority (DDA)** reviewed the subject request, and recommended approval at its meeting of July 11, 2022.

#### **Optional Board Motions**

- 1. **Move approval** of the Class III (2022-074) Site Plan Modification, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE** 3<sup>rd</sup> **Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- 2. **Move approval, as amended,** of the Class III (2022-074) Site Plan, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE 3<sup>rd</sup> Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- 3. **Move denial** of the Class III (2022-074) Site Plan, Landscape Plan, Architectural Elevations and Waiver for a change of use, modifications, and an addition to the subject property, located at **314 NE 3<sup>rd</sup> Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.
- 4. Move to continue with direction.

### **Technical Notes**

Prior to certification of the site plan, the following must be completed:

- 1. Update site plan data table to correct scrivener's error.
- 2. Update site plan to clarify a specific proposed material for the hardscape in the remaining front setback area adjacent to the streetscape, as well as the area to be dedicated as right of way but improved by the applicant.
- 3. Enter into a landscape maintenance agreement with the City of Delray Beach.
- 4. Provide the requisite five-foot right of way dedication to the City of Delray Beach.

Note: Submit separate application for review and approval of signage; not included with the subject request per LDR.

#### **Courtesy Notices**

X Courtesy Notices were sent to:

- Del-Ida Park Historic District

FILE NO.: 2022-074-SPM-SPR-CLIII – 314 NE 3<sup>RD</sup> AVENUE

Page | 8



# Appendix A: Section 3.2.3, Standards for site plan and/or plat actions

A.	Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.  Not applicable  Meets intent of standard  Does not meet intent
B.	All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).  Not applicable  Meets intent of standard  Does not meet intent
C.	Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives, and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.  Not applicable  Meets intent of standard  Does not meet intent
D.	Any proposed street widening or modification to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.  Not applicable  Meets intent of standard  Does not meet intent
E.	Remaining infill lots within the Coastal High Hazard Area of the Coastal Planning Area shall be developed using zoning which is identical or similar to the zoning of adjacent properties or that results in less intense development.  Not applicable  Meets intent of standard  Does not meet intent
F.	Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.  Not applicable  Meets intent of standard  Does not meet intent
G.	Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.  Not applicable  Meets intent of standard  Does not meet intent
Н.	Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.  Not applicable  Meets intent of standard  Does not meet intent



I.	Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.  Not applicable  Meets intent of standard  Does not meet intent
J.	Tot lots and recreational areas, serving children, teens, and adults shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.  Not applicable  Meets intent of standard  Does not meet intent
K.	Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e., workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program; development in all other areas shall not exceed the Standard density.    Not applicable   Not applicable   Does not meet intent

FILE NO.: 2022-074-SPM-SPR-CLIII – 314 NE 3<sup>RD</sup> AVENUE Page | **10** 



STRUCTURAL CONSULTANT

**ABBREVIATIONS** 

GENERAL CONSTRUCTION NOTES (CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE - 7TH EDITION (2020) INCLUDING ACCESSIBILITY, BUILDING, ENERGY CONSERVATION, EXISTING BUILDING, FUEL GAS, PLUMBING, MECHANICAL AND HVHZ) :

ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED OR NOT. O. REBARS SHALL BE PLACED AS SHOWN IN THE PLANS, SEE COLUMN SCHEDULE FOR MORE INFORMATION.

I. SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS (#5 = 30°, #7 = 42°), AND REINFORCING SHALL BE CONTINUOUS.

2. REINFORCING FOR FOUNDATION SHALL BE CONTINUOUS AROUND CORNERS AND CHANGES OF DIRECTION WITH THE ADDITION OF A CORNER BAR 48 BAR DIAMETERS ALONG EACH LEG, FOR EACH BAR IN FOUNDATION.

3. PROVIDE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ACOUS. ACOUSTICA SHEET DESCRIPTION ADJUSTABLE R.O. ROUGH OPENING HDWD. HARDWOOD ALL WORK BY ALL TRADES TO BE CONFILETED IN ACCORDINATE ALL THE WORK OF ALL THE TRADES.

2. BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.

3. BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY OR THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE DRAWINGS. BUILDER TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED TO RECEIVE A BUILDING PERMIT. ARCHITECT SHALL HAVE A REASONABLE AMOUNT OF TIME TO FINALIZE A RESPONSE TO ADDITIONAL REQUESTED INFORMATION.

4. SUBMIT MIN. THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.

5. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL BE FAMILIAR WITH THE GOVERNING CODE, IN ITS ENTIRETY, AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

6. THE BUILDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS WITHOUT ANY PRIOR NOTICE. ITEMS, WHICH WHEN SUBSTITUTED REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL. (SEE NOTE 39) BRENNAN HDWE. HARDWARE RWD. REDWOOD AO.O I COVER SHEET AND GENERAL NOTES ALUMINUM ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

ROOF FRAMING NOTES (SEE ROOF PLANS FOR ADDITIONAL NOTES)

1. THE TRUSS LAYOUT SHOWN ON THIS SET IS SCHEMATIC IN NATURE HOWEVER, THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS MFG, LAYOUT, THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T., BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIMISE PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY, FINAL SIGNED AND SEALED ENGINEERED TRUSS DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO POURING OF FOUNDATION AS PER GENERAL NOTES.

2. ROOF SHEATHING SHALL BE 19/32" EXTERIOR PLYWOOD, APA EXTERIOR EXPOSURE 1, C-D GRADE, INSTALLED PER MANUFACTURER RECOMMENDATION & INSTALLED OVER ROOF TRUSSES PERPENDICULAR TO ROOF FRAMING & PANEL END JOINTS STAGGERED. SHEATHING SHALL BE NAILED WITH 8D. GALV. RINGSHANKED NAILS AT 6' O.C. IN FIELD, 4" O.C. • EDGES & 4" O.C. DIAPHRAGM BOUNDARY (RSRS-O3, 21/2" X 0.131" TYPICAL (ZONES 2e, 2", 3).

3. REFER TO ARCHITECTURAL FLOOR PLAN DRAWING FOR ALL ROOM VALLTS, TIE BEAM HEIGHTS, SIZE, AND REINFORCING.

4. CONTRACTOR STRAPS SHALL BE OF GALVANIZED SHEET STEEL ASTM A446-75 GRADE A (FY-33,000 PSI).

5. ALL CONNECTOR STRAPS SHALL BE OF GALVANIZED SHEET STEEL ASTM A446-75 GRADE A (FY-33,000 PSI).

6. ALL STEEL SEAT DETAILS SUPPORTING GIRDER TRUSSES SHALL BE COORDINATED WITH THE TRUSS MANUFACTURER FOR SIZE AND BOLT REQUIREMENTS (SEE PLAN).

7. ALL FLAT ROOF AREAS SHALL HAVE A MIN. SLOPE OF 1/4" PEP FOOT ENGINEERING INC HEIGHT RAIN WATER LEADER BUILDING R.W.L. AI.O SITE PLAN, PROJECT DATA 1600 S. DIXIE HWY, STE 400 BOCA RATON, FLORIDA 3343; BLOCK HORIZONTAL S.C. SOLID CORE HOR. LSI.O PROPOSED LIFE SAFETY FLOOR PLANS BOTTOM INSIDE DIAMETER SCHED. SCHEDULE A3.0 PROPOSED FLOOR PLANS, EXISTING FLOOR PLANS INCAND. INCANDESCENT CABINET SHT. SHEET CLEAR INSUL. INSULATION SIM. SIMILAR A3.1 DEMOLITION FLOOR PLANS ANY PRIOR NOTICE. ITEMS, WHICH WHEN SUBSTITUTED REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL. (SEE NOTE 39)

7. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STUCTURAL MEMBERS DURING CONSTRUCTION.

8. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.

9. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.

10. ALL WINDOW AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FLORIDA STATE ENERGY CODE SECTION 502.4.

11. ALL FIXED GLASS, BUTT GLASS, AND GLASS BLOCK SHALL BE INSTALLED TO WITHSTAND THE DESIGNED WIND LOAD.

12. TRUSSES MANUFACTURER SHALL SUBMIT THREE COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REG. ENGINEER OF THEIR FLOOR/ROOF TRUSS DESIGN FOR REVIEW

13. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHUS AND MISCELLANEOUS EQUIPMENT. BUILDER SHALL COORDINATE LOCATIONS PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS.

14. PROVIDE GROUTED CELL AT BEARING POINT OF EACH GIRDER TRUSS.

15. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH BEARING CLIPS, TOP AND BOTTOM EACH STUD, AS PER CODE AND AS DETAILED.

16. CONCRETE SHALL CONFORM TO ASTM C94. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 3IS AND ACI 301. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 310 AND ACI 301. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 310 AND ACI 301. ALL CONCRETE BELOW GRADE-2\* UNFORMED / CONCRETE COLUMNS, BEAMS, SLABS, AND BALCONY SLABS - 3,000 PSI. UNLESS OTHERWISE NOTED ON STRUCTURAL PLANS ANS SCHEDULES.

19. MINIMUM CONCRETE COLUMNS, BEAMS, SLABS, AND BALCONY SLABS - 3,000 PSI. UNLESS OTHERWISE NOTED ON STRUCTURAL PLANS ANS SCHEDULES.

10. MINIMUM CONCRETE COLUMNS, BEAMS, SLABS, AND BALCONY SLABS - 3,000 PSI. UNLESS OTHERWISE NOTED ON STRUCTURAL PLANS ANS SCHEDULES.

10. MINIMUM CONCRETE BELOW GRADE-3\*

10. PLACING DRAWINGS AND BAR LISTS SHALL CONFORM TO ACI!S MANUAL OF STANDARD PRACTICE FOR DETAILING RE COLUMN INTERIOR SQ. SQUARE A5.0 EXISTING/DEMOLITION ELEVATIONS CONCRETE STAINLESS STEEL CIVIL ENGINEER A5.1 PROPOSED ELEVATIONS CONNECTION LAVATORY STD. CONTINUOUS STEEL A5.2 | ELEVATION PERSPECTIVES LOC. STL. (SEE PLAN).
ALL FLAT ROOF AREAS SHALL HAVE A MIN. SLOPE OF 1/4" PER FOOT.
ALL FLAT ROOF AREAS SHALL HAVE A MIN. SLOPE OF 1/4" PER FOOT.
ALL CONNECTIONS INDICATED ARE MINIMUM REQUIREMENTS AND ARE SUBJECT TO FINAL REVIEW UPON ROOF TRUSS SHOP DRAWINGS SUBMITTAL TO ARCHITECT'S OFFICE.
SUBMIT THREE (3) COPIES OF THE TRUSS LAYOUT TO ARCHITECT FOR APPROVAL.
BRACING OF TRUSSES BY TRUSS ENGINEER (TYP.)
ALL GIRDER BEARING SEATS TO BE VERIFIED W/ TRUSS ENGINEERING (WIDTH PER ENGINEERING.)
ALL UPLIFTS & REACTIONS IN EXCESS OF 3000# SHALL BE NOTED ON ALL SUBMITTALS AS REQUIRED FOR DEEM TO COMPLY OF LOCAL GOVERNING AGENCY. COUNTERSUNK MAXIMUM STOR. STORAGE I OF 5 CIVIL SITE IMPROVEMENT PLAN **ENVIRODESIGN** DECORATIVE MECHANICAL STRUC. STRUCTURAL ASSOCIATES INC. 2 OF 5 PARKING & DRAINAGE DETAILS DETAIL METAL SUSPENDED 3 OF 5 GENERAL NOTES DOUGLAS FIR MANUFACTURER TOP OF CURB AGENCY

13. GALVANIZED FLASHING FOR VALLEYS SHALL BE 26 MIN. GAUGE (SEE WALL SECTION)

14. GALVANIZED DRIP EDGE SHALL BE 26 MIN. GAUGE (SEE WALL SECTION)

15. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR CHECKING CEILING HEIGHTS WITH GIRDER AND TRUSS BOTTOM CHORD HEIGHTS.

16. ALL PLYWOOD FOR WALL AND ROOF SHEATHING IS TO BE 19/32' APA RATED STRUCTURAL SHEATHING, 40/20, EXPOSURE I NAILED WITH 8D GALV. RING-SHANK 6 6/4/4' U.O.N.

17. THE BEAM DEPTHS HAVE BEEN SET ACCORDING TO THE ARCHITECTURAL REQUIREMENTS FOR WINDOW/DOOR HEAD HEIGHTS. CONTRACTOR TO VERIFY DEPTHS AND REPORT DISCREPANCIES TO THIS ENGINEER IMMEDIATELY.

18. ALL CONCRETE BEAMS DEEPER THAN 12' SHALL HAVE NOMINAL 8' BEARING ON SUPPORTING MASONRY.

19. BCLB - 2X4 BOTTOM CHORD LATERAL BRACING 6 8'-O'

20. BCDB - 2X4 BOTTOM CHORD LATERAL BRACING 6 AS SHOWN (20'-O' MAX)

21. VXB - VERTICAL X-BRACING AS SHOWN (SEE DETAIL)

22. GRAVITY LOADING ROOF - NON CONCURRENT LIVE LOAD 8 OP SF (IO PSF BC) FOR ATTIC SPACES)

DEAD LOAD - 25 PSF (I5 PSF TC / IO PSF BC)

FOR AHUL - 200 LBS POINT LOAD TC STORAGE DL - 20 PSF BC

FLOOR FRAMING NOTES DIAMETER MINIMUM TELEPHONE WATER & WASTE WATER DETAILS DOWN MISCELLANEOUS TEG TONGUE AND GROOVE 5 POLLUTION PREVENTION PLAN DOWN SPOUT MASONRY OPENING THK. THICK COMPOSITE UTILITY PLAN T.O.C. TOP OF CHIMNEY MOUNTED EXISTING TREE PLAN EACH TOP OF FRAMING MULLION T.O.FR. LANSCAPE ARCHITECT ELEVATION NOT IN CONTRACT T.O.L. TOP OF LEDGER PLANTING PLAN ELECTRICAL NUMBER T.O.PL. TOP OF PLATE SPECIFICATIONS EQUAL NOT TO SCALE TYPICAL PHOTOMETRIC PLAN & LIGHT FIXTURE SPECIFICATIONS EXHAUST OVERALL UNLESS NOTED OTHERWISE LANDSCAPE ARCHITECTURE INC STORAGE: DL = 20 PSF BC

FLOOR FRAMING NOTES

1. THE STRUCTURAL FRAMING SHOWN IS SCHEMATIC IN NATURE. HOWEVER THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL FLOOR DESIGNERS LAYOUT. PROVIDE SIGNED AND SEALED SHOP DRAWINGS AND CALCULATIONS FOR APPROVAL. FAILURE TOP PROVIDE SHOP DRAWINGS MAY RESULT IN ADDITIONAL ENGINEERING.

2. FLOOR PLYWOOD (WHEN APPLICABLE) SHALL BE 23/32" APA RATED STRUCTURAL SHEATHING, 48/24, EXPOSURE I NAILED WITH IOD • 6"/12" GALV. RINGSHANK (UNLESS OTHERWISE NOTED)

3. ADDITIONAL BEARING POINTS OR MODIFIED POINTS OF SUPPORT SHALL BE APPROVED BY ENGINEER OF RECORD.

4. BOTTOM OF TIE BEAMS MAY BE DROPPED TO ACCOMMODATE WINDOW HEAD HEIGHTS, PROVIDE ADDITIONAL (2) #5 BARS FOR EACH 8" DROP,

5. CONTRACTOR TO VERIFY ALL DIMENSIONS. REPORT DISCREPANCIES TO THIS ENGINEER PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

6. THE BEAM DEPTHS HAVE BEEN SET ACCORDING TO THE ARCHITECTURAL REQUIREMENTS FOR WINDOW/DOOR HEAD HEIGHTS. CONTRACTOR TO VERIFY DEPTHS AND REPORT DISCREPANCIES TO THIS ENGINEER PRIOR ON SUPPORTING MASONRY.

7. ALL CONCRETE BEAMS DEEPER THAN 12" SHALL HAVE NOMINAL 8" BEARING ON SUPPORTING MASONRY.

8. GRAVITY LOADING EXPANSION OBSCURE U.O.N. UNLESS OTHERWISE NOTED 601 N. CONGRESS AVE. STE 105-A DELRAY BEACH, FLORIDA 33445 (561) 276-6311 EXTERIOR ON CENTER VEST. VESTIBULE EXISTING OUTSIDE DIAMETER FINISH FLOOR OPNG. OPENING WITHOUT FLASHING OPPOSITE W.C. WATER CLOSET PLATE FLUORESCEN Date | Construction FOOT/FEET PLAS. PLASTER WATER HEATER FOOTING PAIR GRAVITY LOADING
LIVE LOAD = 40 PSF (60 PSF AT EXTERIOR BALCONIES)
DEAD LOAD = 25 PSF GAUGE PRCST. PRECAST 10. DEAD LOAD = 25 PSF

MCHANICAL NOTES

1. COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES, REGISTERS IN THE FIELD, WITH ELECTRICAL, LIGHTING, AND ARCHITECTURAL ELEMENTS,
2. COORDINATE LOCATION OF A/C UNITS AND FANS WITH BUILDING STRUCTURE SO THAT NO INTERFERENCES OCCUR.
3. BUILDER TO COORDINATE ALL DUCT LOCATIONS WITH ALL TRADES SO THAT NO INTERFERENCES OCCUR.
4. FURRISH AND INSTALL DISCONNECTED SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING AS REQUIRED.
5. SEAL ALL DUCTS IN AN APPROVED MANNER AND INSLIRE AGAINST LEAKAGE.
6. PROVIDE AND INSTALL FLEXIBLE CONNECTIONS OF APPROVED TYPE AT ALL A/C UNIT SUPPLY AND RETURN DUCT CONNECTIONS AND AT ALL FAN CONNECTIONS (AT THE INDIVIDUAL PIECES OF EQUIPMENT). WHERE APPLICABLE.
7. RUN CONDENSATE DRAIN TO NEAREST INDIRECT WASTE TRAP.
8. THERMOSTAT LOCATION SHALL BE APPROVED BY THE BUILDER AND OWNER BEFORE INSTALLATION.
9. ALL EXHAUST FANS SHALL DISCHARGE THROUGH ROOF A MINIMUM OF IO-O' FROM ALL A/C UNIT FRESH AIR INTAKES.
10. SWITCH TOILET EXHAUST FAN SEPARATELY FROM BATHROOM LIGHT FIXTURES (UNLESS OTHERWISE NOTED).
11. AIR CONDITIONING CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL EQUIPMENT AND DUCT WORK. A/C CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A/C EQUIPMENT SPECIFIED ON THE ENERGY CALCULATIONS/AIR SYSTEM SUMMARY.
12. MECHANICAL A/C SYSTEM TO BE DESIGNED TO MAINTAIN A RELATIVE HUMDITY LEVEL OF LESS THAN 50% TO MINIMIZE THE POTENTIAL FOR ALLERGENS.
13. IF GAS BBQ IS INSTALLED INTO AN ENCLOSED CABINET, A LOUVERED SCREENED VENT MUST BE PROVIDED.
14. PROVIDE SAFE WASTE FOR AIR CONDITIONING UNIT W/ TRAP, (SEE A/C SHOP DRAWING FOR LOCATION OF UNITS AND DRAINS.
15. ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLIATION.

PLUMBING NOTES:

A LI SLOWED LIFADS SHALL BE EQUIPPED WITH ANTI-SCAI DING PROTECTION PER CODE

A LI SLOWED LIFADS SHALL BE EQUIPPED WITH ANTI-SCAI DING PROTECTION PER CODE GALVANIZED P.T.D.F. PRESSURE TREATED RWB CONSTRUCTION GLASS PTN. PARTITION 4875 PARK RIDGE BLVD., STE IIO BOYNTON BEACH, FLORIDA 33426(561) (561) 270-1808 GRADE QUARRY TILE CL CENTER LINE GYPSUM RADIUS POUND OR NUMBER RAD. HOSE BIBB FLOOR SLAB SHALL BE MIN. 4" THICK POURED CONCRETE SLAB WITH 6X6, I.4XI.4 WWF, ON 6 MIL VISQUEEN VAPOR BARRIER, ON WELL- TAMPED SAND FILL (U.O.N. SEE FOLINDATION PLAN)

FLOOR SLAB SHALL BE MIN. 4" THICK POURED CONCRETE SLAB WITH 6X6, I.4XI.4 WWF, ON 6 MIL VISQUEEN VAPOR BARRIER, ON WELL- TAMPED SAND FILL (U.O.N. SEE FOLINDATION PLAN)

FOOTINGS AND SLAB CONCRETE SHALL CONFORM TO ACI 30I AND SHALL HAVE 2500 PSI COMPRESSIVE STRENGTH IN 28 DAYS, MAXIMUM SLUMP 5".

ALL POOTINGS SHALL BEAR ON SOIL PREPARED AS RECOMMEND BY A FLORIDA CERTIFIED GEOTECHNICAL ENGINEER AND SUBMITTED TO BUILDING DEPT.

REINFORCING STEEL SHALL BE ASTM 615, GRADE 60

FILL SHALL BE CLEAN SAND, FREE FROM DELETERIOUS MATERIAL AND WELL GRADED AND COMPACTED MIN. 95% PER CODE (SEE GEOTECHNICAL REPORT)

FOOTINGS HAVE BEEN DESIGNED FOR 2,500 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL SUBMIT SOIL BEARING REPORT, PRIOR TO DOING ANY WORK.

TERMITE TREAT SOIL AS PER CODE.

SEE SECTIONS AND/OR DETAILS FOR CONNECTION REQUIREMENTS FOR LOAD BEARING WALLS AND PARTITIONS.

DOUBLE MESH AT PERIMETER OF MONOLITHIC FOOTINGS SHALL BE 30' MIN. BEYOND EDGE OF FOOTINGS. DOUBLE MESH AT INTERIOR EDGE OF FOOTINGS SHALL EXTEND 30' EACH SIDE OF FOOTING EDGE. (SEE FOLINDATION PLAN IF NECESSARY)

SEE FOUNDATION PLAN FOR DEPTH LOCATIONS OF PAD TYPE FOOTINGS.

TOP OF FINISHED SLAB SHALL BE 0'-0' (REFERENCE FINISH SLAB) (SEE STRUCTURAL)

COLUMN AND FOOTING CENTERLINES, SHALL COINCIDE UNLESS DIMENSIONED OTHERWISE.

REFERENCE BLEVATION O'-0', (SEE SURVEY PLOT FOR NG.V.D./IV.D.)

PROVIDE EXPANSION JOINTS BETWEEN INTERIOR AND EXTERIOR SLABS ON GRADE.

COORDINATE SLAB BLEVATIONS, STEPS, AND SLOPES WITH ARCHITECTURAL DRAWINGS.

SEE ARCHITECTURAL DRAWINGS FOR THE ORIENTATION OF THE BUILDING.

ALL WINDOW & DOOR OPENINGS SHALL BE COORDINATED & VERIFY WITH MANUFACTURER/SUPPLIER PRIOR TO FABRICATION. M.E.P. ENGINEER 14. PROVIDE SAFE WASTE FOR AIR CONDITIONING UNIT W/ TRAP, (SEE A/C SHOP DRAWING FOR LOCATION OF UNITS AND DRAINS.
15. ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION.
17. ALL SHOWER HEADS SHALL BE EQUIPPED WITH ANTI-SCALDING PROTECTION PER CODE.
2. PLUMBING CONTRACTOR SHALL VERIFY CENTERLINE DIMENSIONS OF FIXTURE AS PER OWNERS SELECTION.
ARCHITECTS STATLS.
1. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
FIRE BLOCKING AND DRAFTSTOPPING.
7. DRAFTSTOPPING IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1000 S.F. IN ATTICS FOR AREAS OVER 9000 S.F.
8. INSTALL FIREBLOCKING IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOT) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.
BLECTRICAL NOTES (ELECTRICAL TO FOLLOW THE NATIONAL ELECTRICAL CODE LATEST ADOPTED EDITION (SEE ELECTRICAL PLANS FOR ADDITIONAL NOTES): THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS LLC. 902 CLINT MOORE RD. STE 142 BOCA RATON, FLORIDA 33487 (561) 274-0200 **COVER SHEET** 

**GENERAL NOTES** 

Project Number:

21268

pun

Revisions CITY COMMENTS

SHEET INDEX

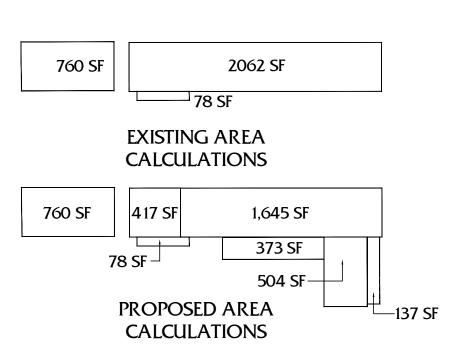
SITE PLAN APPROVAL 02/23/2022 Drawn | Checked --- |---Date | Approval Date | Permit

Seal:

AA0002340 © 2022

AREA CALCULATIONS			
EXISTING IST FLOOR A/C	1,645 S.F.		
NEW IST FLOOR A/C	504 S.F.		
NEW GAR/STOR FLOOR A/C	495 S.F.		
OTAL IST FLOOR A/C	2,644 S.F.		
EXISTING 2ND FLOOR A/C	760 S.F.		
OTAL UNDER AIR	3,404 S.F.		
COV. ENTRY / COV. LOGGIA	510 S.F.		
OTAL BUILDING	3,914 S.F.		

PERCENTAGE AREA		
CALCULATIONS		
EXISTING BUILDING	2,900 S	
BUILDING ADDITION	1,014 S	
PERCENTAGE NEW	34.	



314 NE 3RD AVENUE		
CENTRAL BUS. DIST. / RAILROAD CORR. SUB DIST.		
MAXIMUM LOT COVERAGE		
TOTAL LOT AREA= (6,755 SF - DED. R.O.W. 350 SF)	6,405 = S	
PROPOSED LOT COVERAGE = 49.2%	3,154 = S	
MAX ALLOWABLE LOT COVERAGE = N/A	O = S	

MAXIMUM F.A.R.	
TOTAL LOT AREA	6,405 = SF
PROPOSED F.A.R. = 41.2%	2,644 = SF
MAX ALLOWABLE F.A.R. = 300%	19,215 = SF

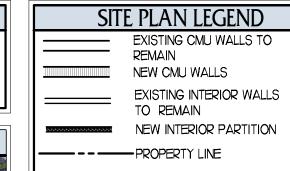
NOTE: ALL UTILITIES TO BE UNDERGROUND

		PROJECT SUMMARY				
1		RENOVATION LEVEL:				
ı		ARCHITECTURAL STYLE:	MASONRY MODE			
		PROJECT DESCRIPTION:	COMPLETE RENOVATION FROM ART STUDIO / WAREHOUSE WITH SECO FLOOR I BEDROOM APARTMENT TO BUISNESS OFFICE WITH SECO FLOOR I BEDROOM APARTMENT INCLUDING INSTALLATION OF F BUILDING FIRE SPRINKLLER SYST			
┨	'					

ll .							
	PROJECT DATA						
Ì	PROJECT ADDRESS:	314 NE 3RD AVENUE, DELRAY BEACH, FLORIDA					
١.	FOLIO NUMBERS:	12-43-46-16-01-081-0170					
	LEGAL DESCRIPTION:	LOT 17, BLOCK 81					
'		THE SUBDIVISION OF BLOCK 81					
		ACCORDING TO THE PLAT RECORDED IN PLAT BOOK II, PAGE 31, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND					
		SITUATE, LYING, AND BEING IN PALM BEACH COUNTY					
	OCCUPANCY TYPE:	MIXED USE-BUISINESS / RESDENTIAL R-3					
	ZONNING CLASSIFICATIONS:	CENTRAL BUISINESS DISTRICT / RAILROAD CORRIDOR SUB-DISTRICT					
	CONSTRUCTION TYPE:	VB					
	INTERIOR FINISH CLASS:	А					
	FINISH FLOOR ELEVATION:	15.12' N.A.V.D.					
	FLOOD ZONE:	D					
	BASE FLOOD ELEVATION:	15.12° N.A.V.D.					
	YEAR BUILT:	1954					
	EXISTING BUILDING HEIGHT:	12'-11'					
	PROPOSED BUILDING HEIGH	14'-8'					
	LOT SIZE:	6,405 SQ. FT.					
	SQUARE FOOTAGE:	3,913 SQ. FT.					

1	LECAL DECEDIDATION
	LEGAL DESCRIPTION
	LOT 17, BLOCK 81  THE SUBDIVISION OF BLOCK 81  ACCORDING TO THE PLAT RECORDED IN PLAT BOOK II, PAGE 32, RECORDED IN THE PUBLIC  RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING, AND BEING IN  PALM BEACH COUNTY, FLORIDA.
	LOCATIONALID





- — — — SET BACK LINE

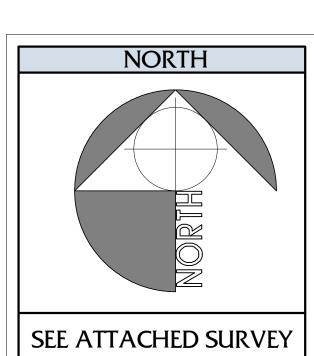
Project Number: 21268

314



Revisions CITY COMMENTS 02.29.22 CITY COMMENTS

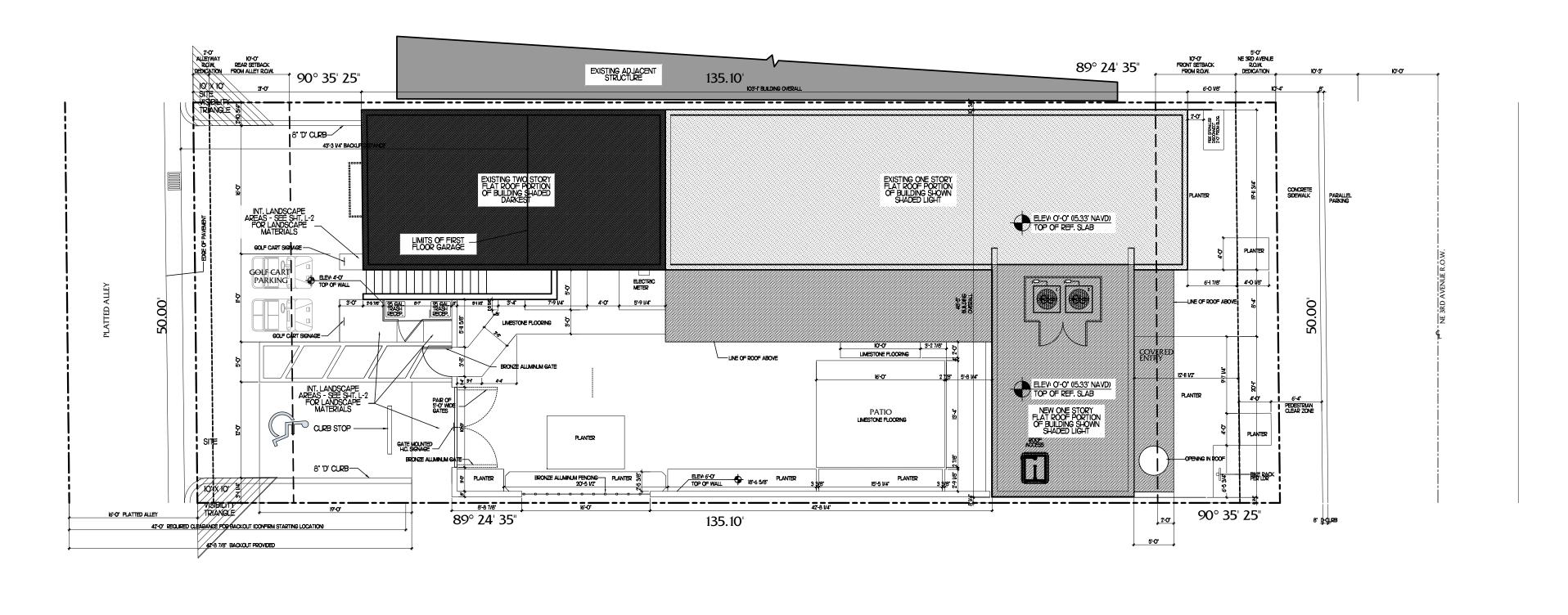
CITY COMMENTS 06.28.22

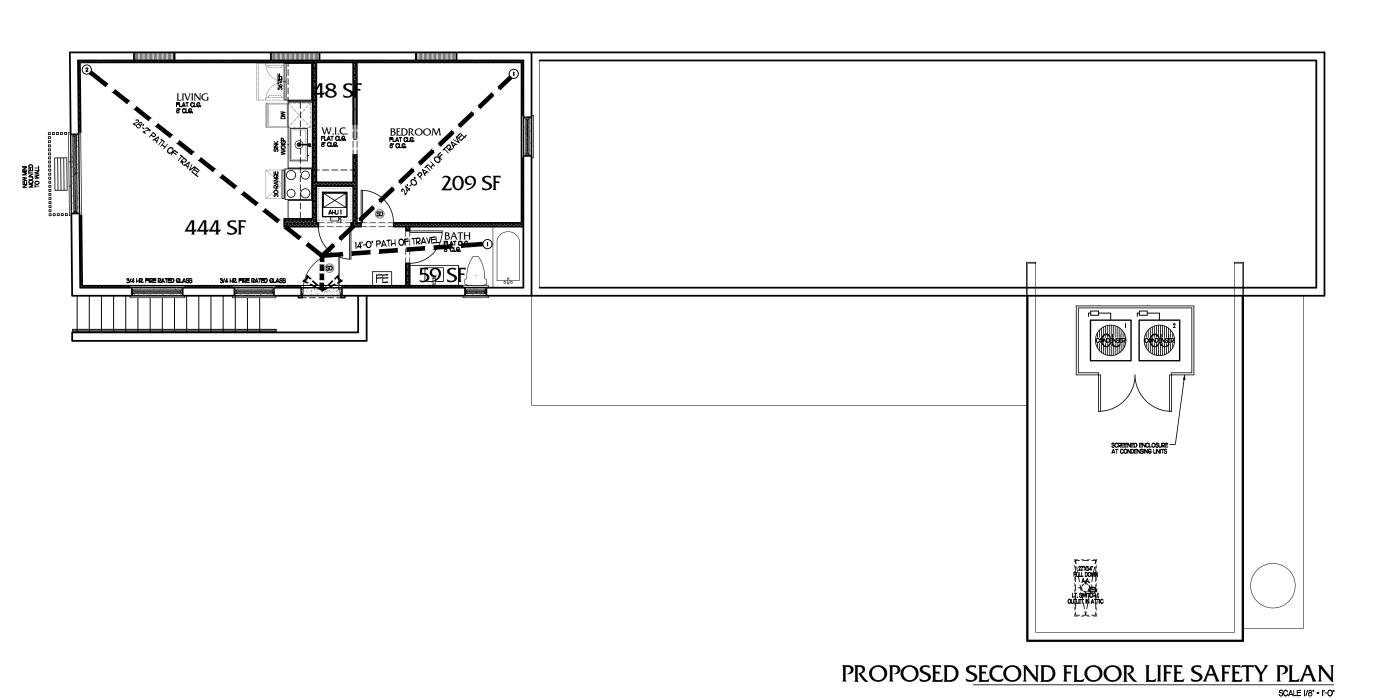


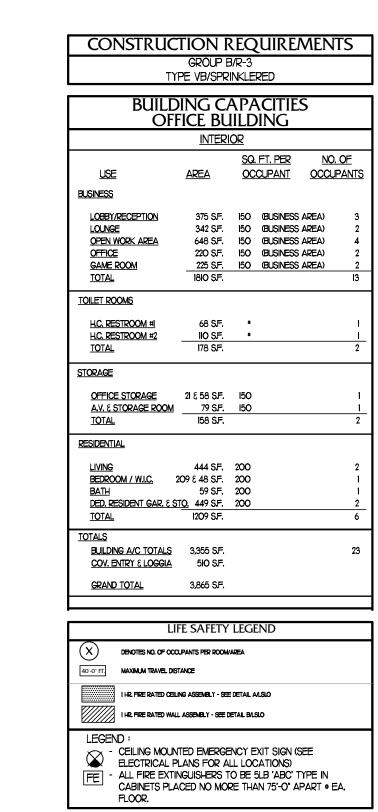
NOT FOR CONSTRUCTION Date ( Drawn | Checked 02/23/2022 Date | Approval
Date | Permit
Date | Construction Seal:

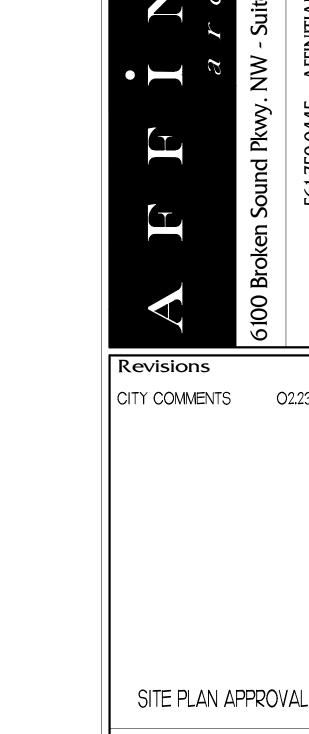
FOR LEGAL DESCRIPTION AA0002340 © 2022

SITE PLAN









Project Number:

ray

Del

21268

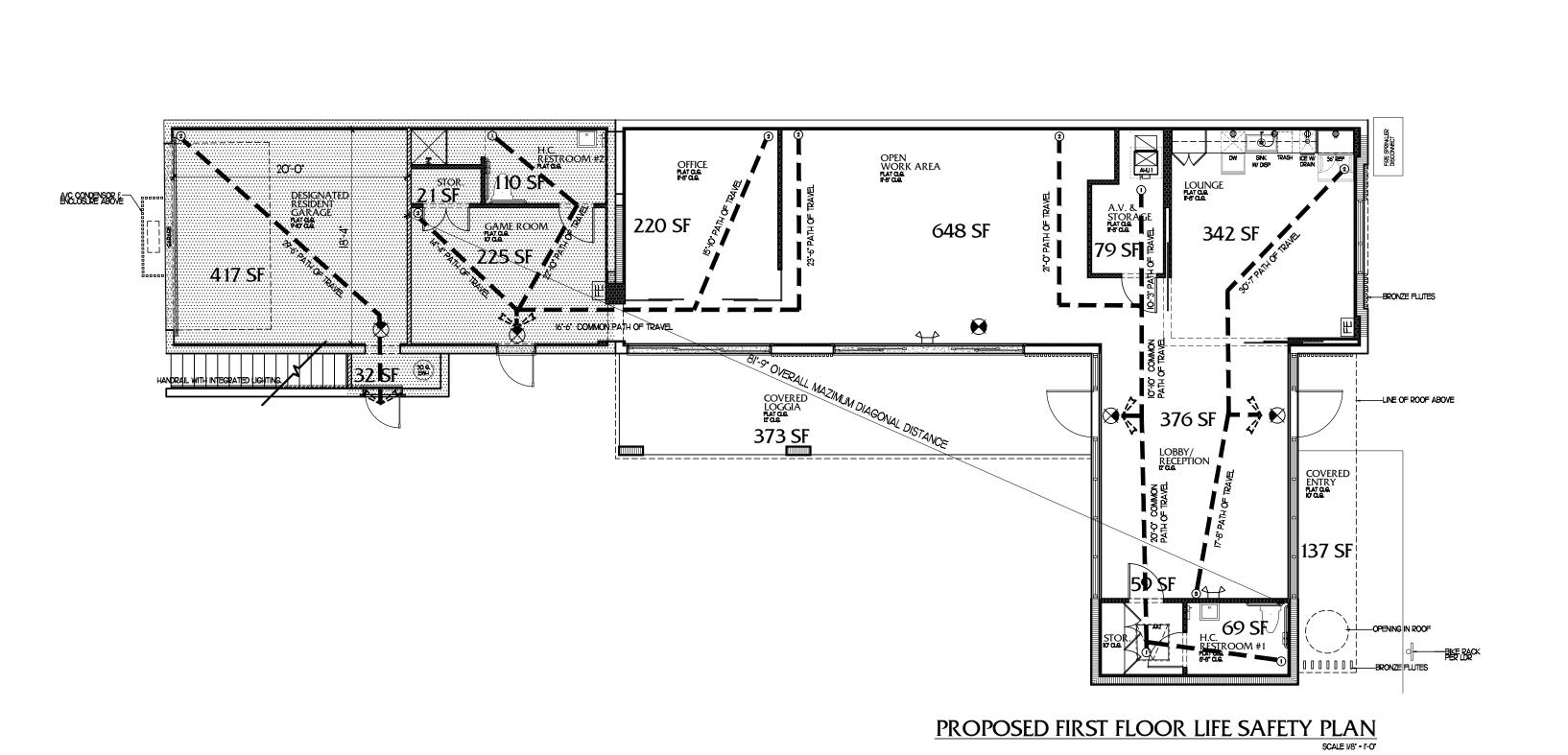
Date 02/23/2022
Drawn | Checked --- |--Date | Approval Date | Permit Date | Construction -

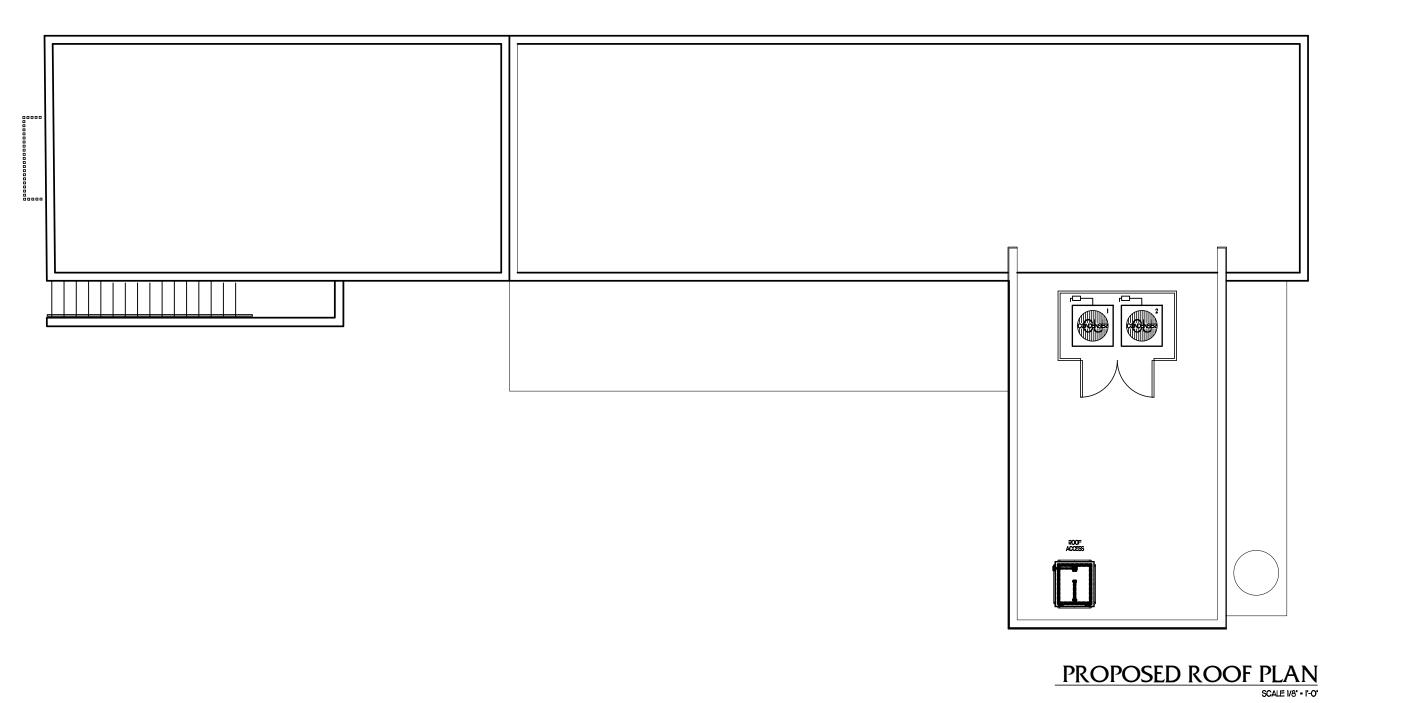
Seal:

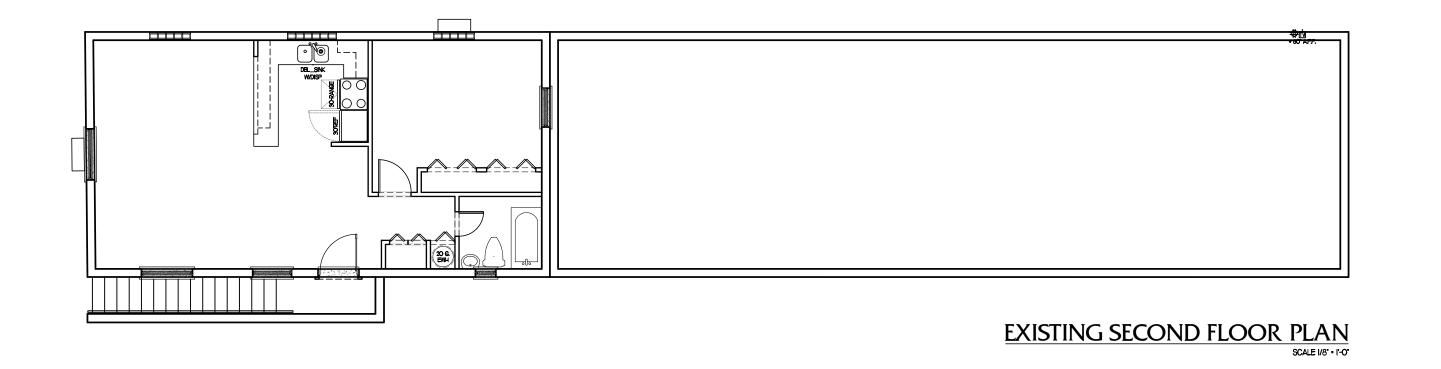
NORTH

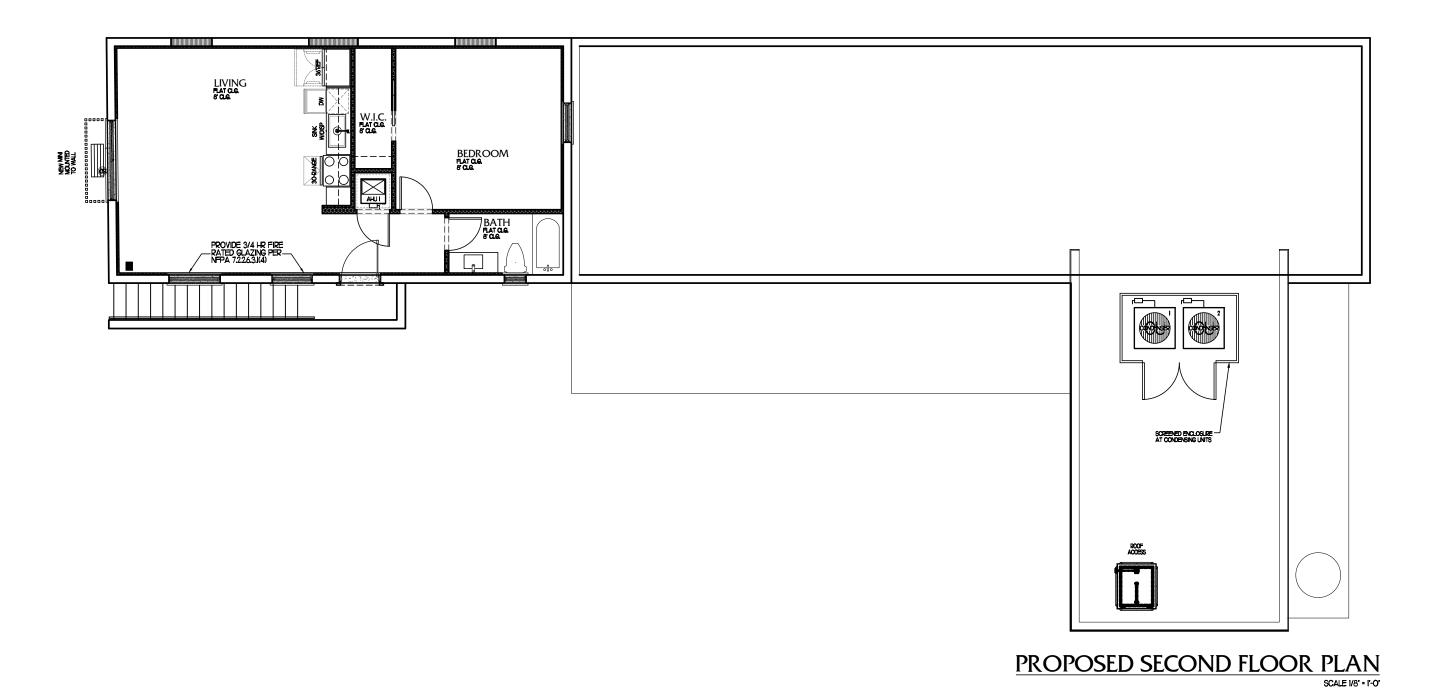
AA0002340 © 2022

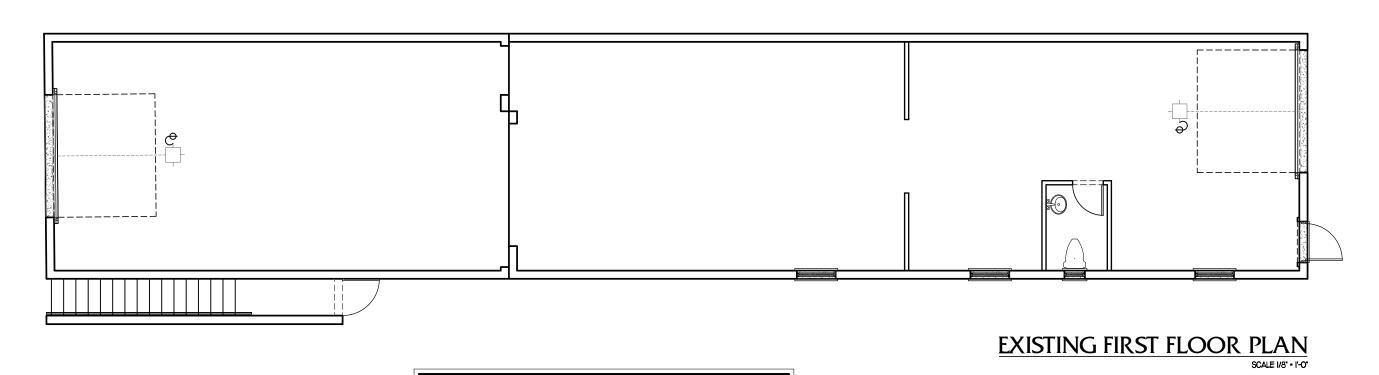
LIFE SAFETY FLOOR PLANS





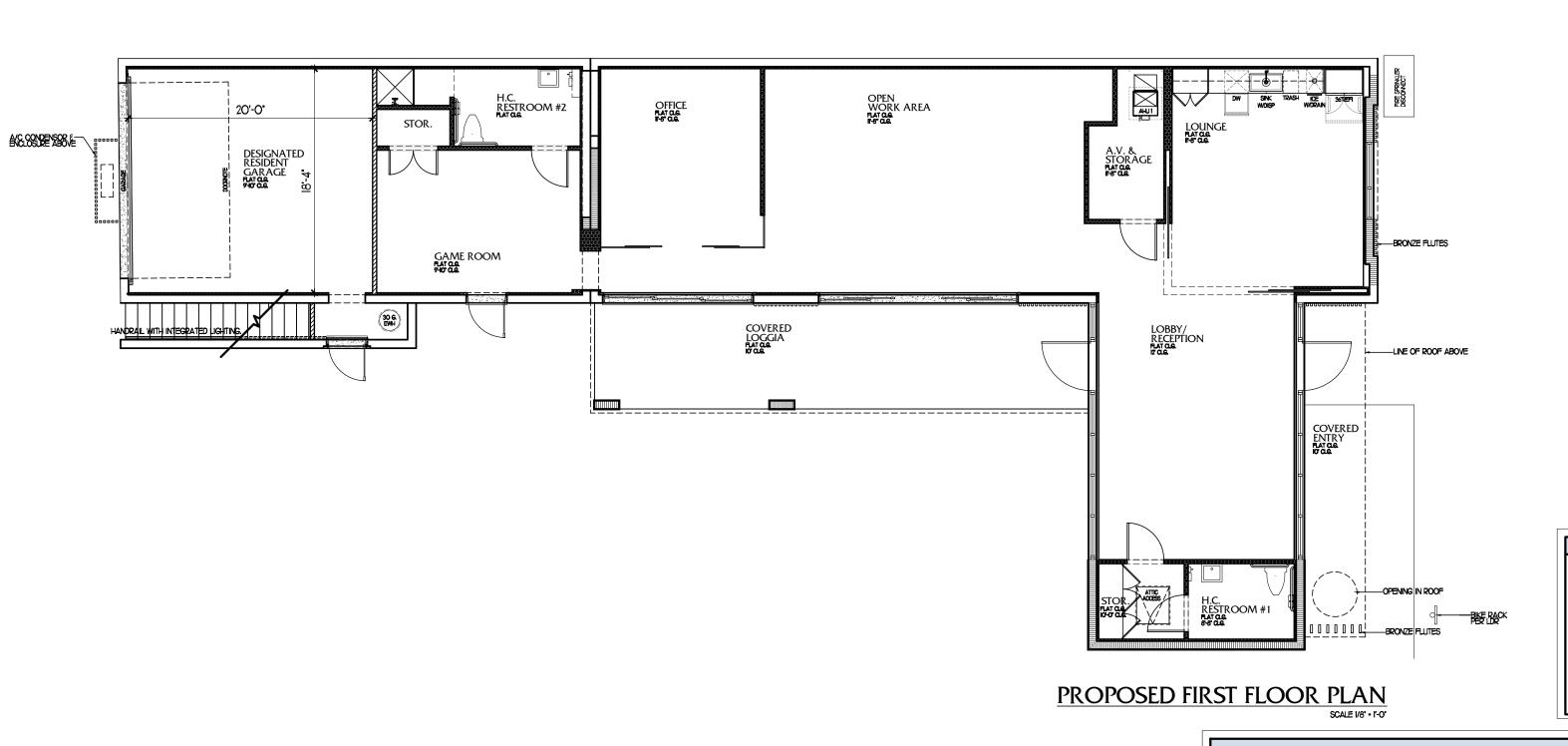






AREA CALCU	ILATIONS
EXISTING IST FLOOR A/C	1,645 S.F.
NEW IST FLOOR A/C	504 S.F.
NEW GAR/STOR FLOOR A/C	449 S.F.
TOTAL IST FLOOR A/C	2,598 S.F.
2ND FLOOR A/C	760 S.F.
TOTAL UNDER AIR (+ 2,148)	2,906 S.F.
COV. ENTRY / COV. LOGGIA	510 S.F.
TOTAL BUILDING	3,865 S.F.

PERCENTAGE AREA CALCULATIONS			
EXISTING BUILDING	2,900 S.F		
BUILDING ADDITION	1,014 S.F		
PERCENTAGE NEW	34.9		





Project Number: 2 1 2 6 8

Delray 31

Revisions CITY COMMENTS

SITE PLAN APPROVAL

Date 02
Drawn | Checked
Date | Approval
Date | Permit
Date | Construction 02/23/2022 d --- |---

Seal:

AA0002340 © 2022

A3.0

Revisions

CITY COMMENTS 02.23

SITE PLAN APPROVAL

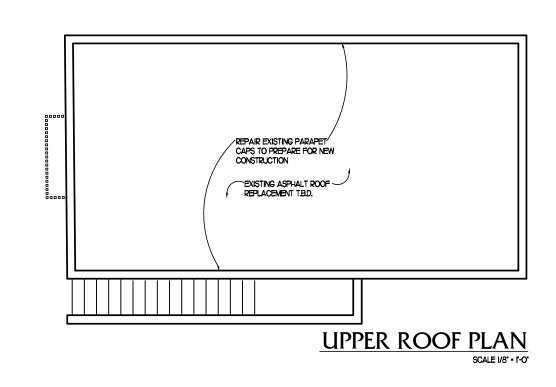
Date O2/23/2022
Drawn | Checked --- |--Date | Approval Date | Permit Date | Construction -

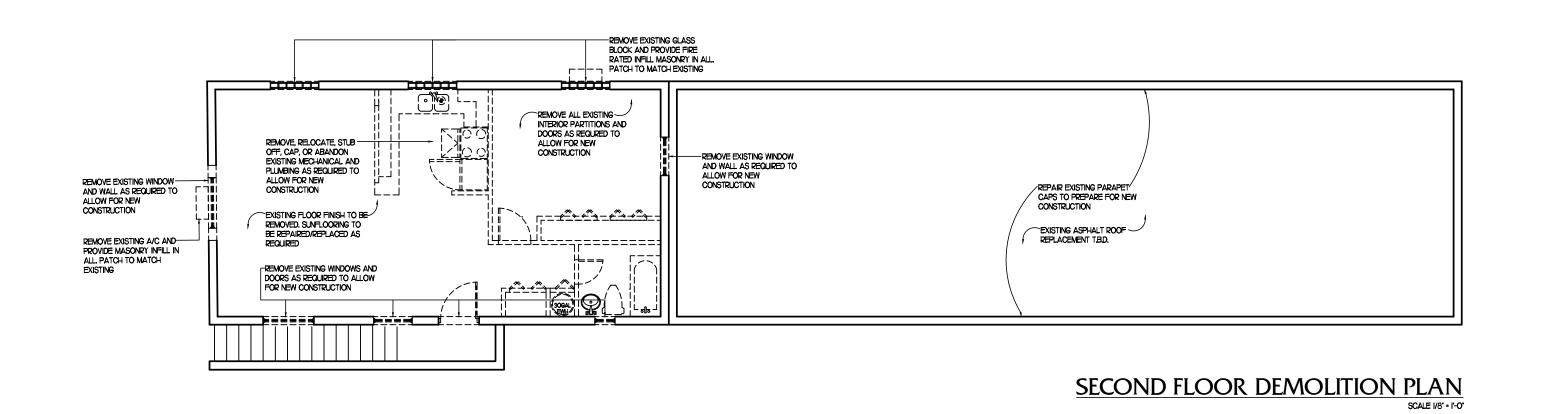
Seal:

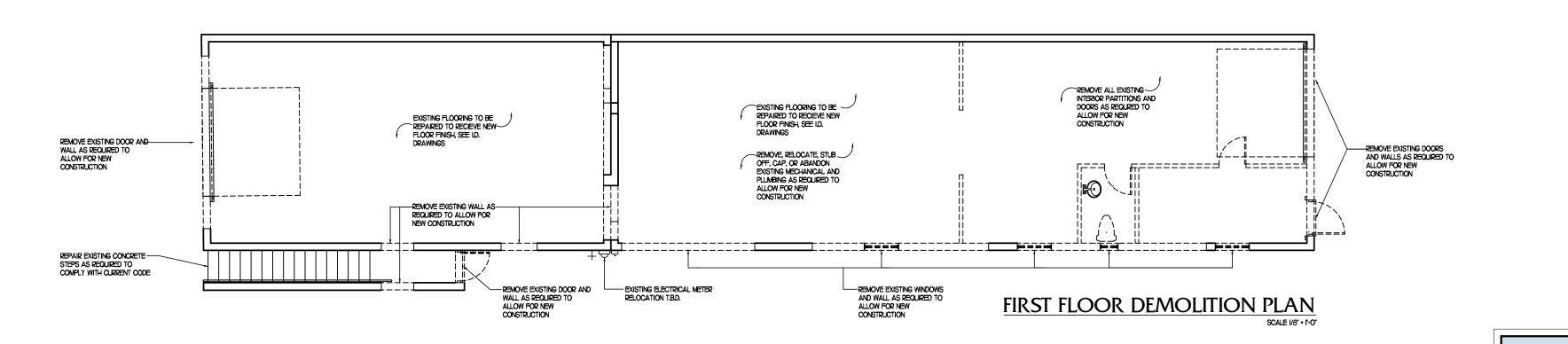
AA0002340 © 2022

DEMOLITION PLAN

1/8" = 1'-0"







21268

THE FACADE HAS TWO PRIMARY MATERIALS SMOOTH STUCCO AND STONE

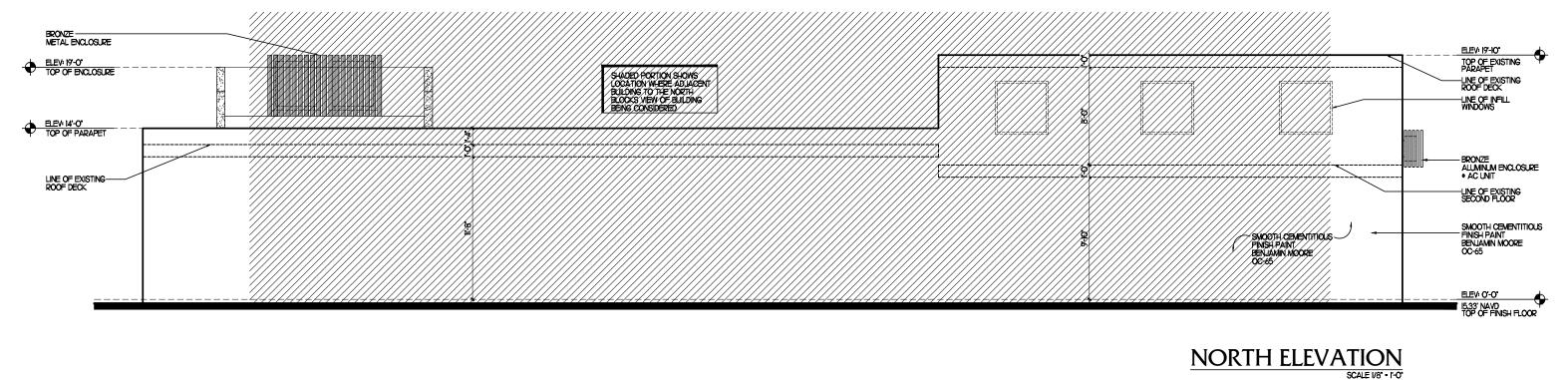
THERE IS NO VISIBLE BLANK WALL WHICH EXCEEDS 50 FEET IN LENGTH OR
IS MORE THAN 20 PERCENT OF THE LENGTH OF THE BUILDING FACING THE STREET

THE FRONT FACADE HAS 863 SQUARE FEET.
THERE IS 283 SQUARE FEET OF OPENING IN THE FRONT FACADE.

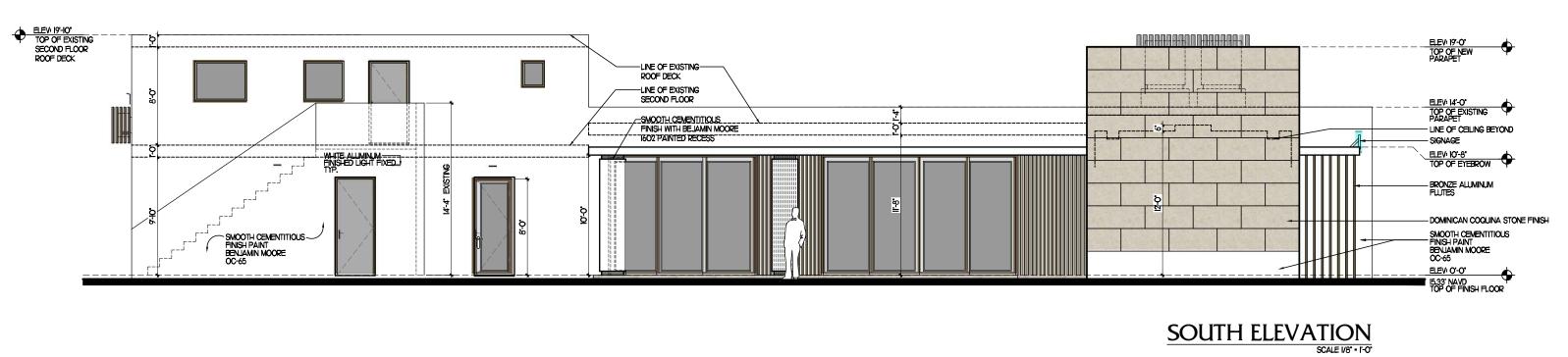
THE PUBLIC ENTRY IS EASILY IDENTIFIABLE AND INTEGRATED INTO THE BUILDING ARCHITECTURE MECHANICAL ELEMENTS ARE SCREENED

ALL EAST FACING GLAZING

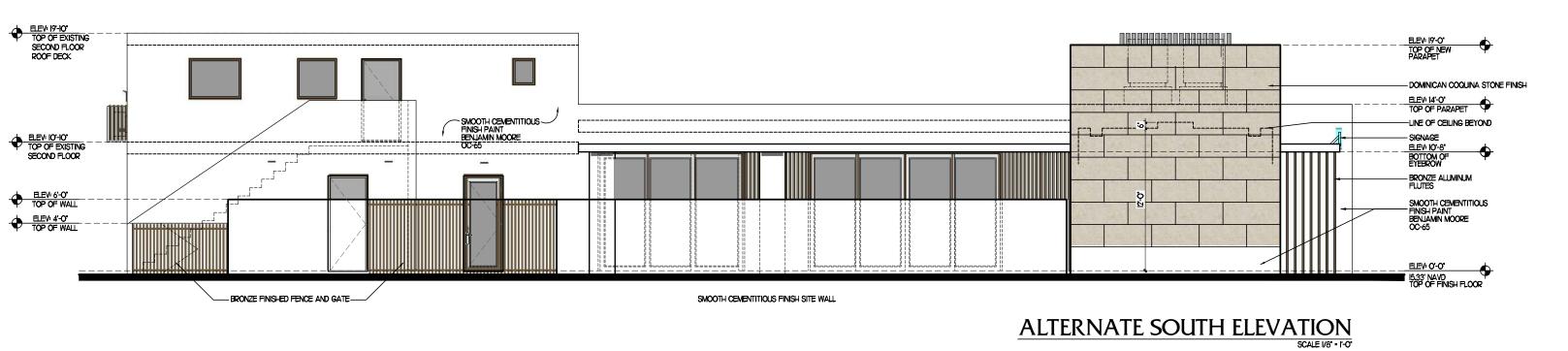












PROPOSED ELEVATIONS

SITE PLAN APPROVAL

Date 02/23/2022
Drawn | Checked --- |--Date | Approval Date | Permit Date | Construction 
Seal:

AA0002340 © 2022

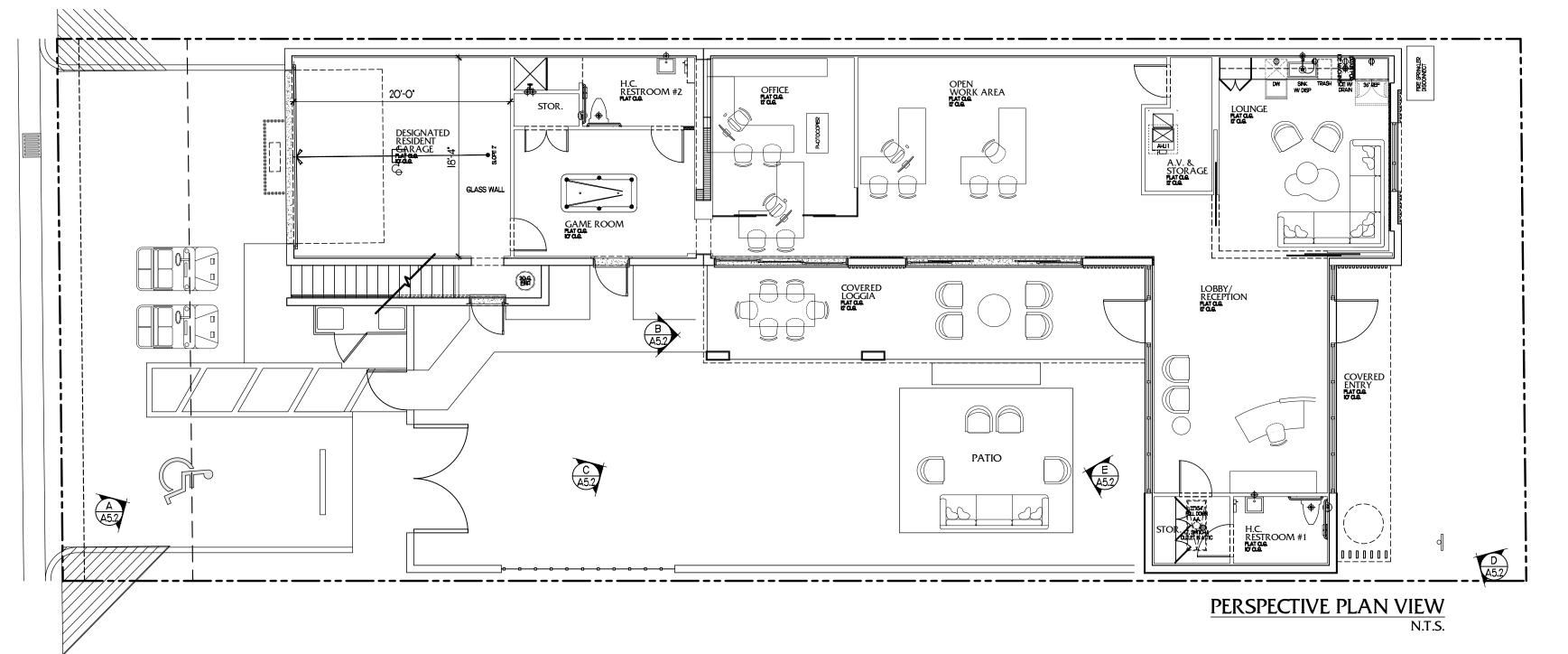
6100 Broken Sound Pkwy.

O3.29.22

Revisions

CITY COMMENTS

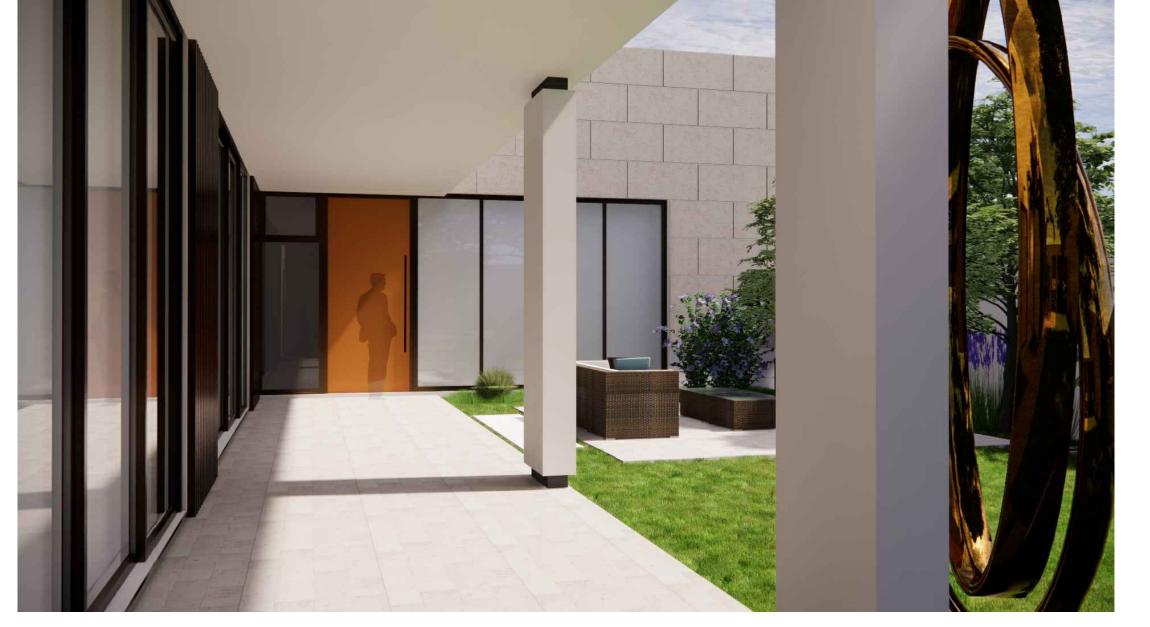
CITY COMMENTS



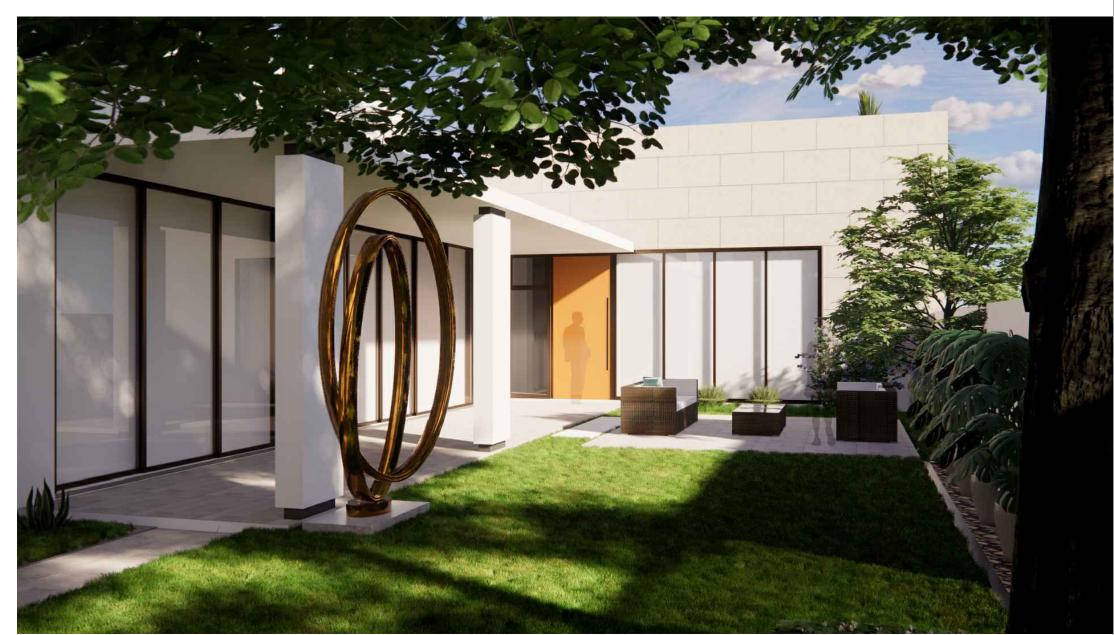


PERSPECTIVE VIEW A





PERSPECTIVE VIEW B N.T.S.



PERSPECTIVE VIEW C



PERSPECTIVE VIEW D N.T.S.



PERSPECTIVE VIEW E N.T.S.

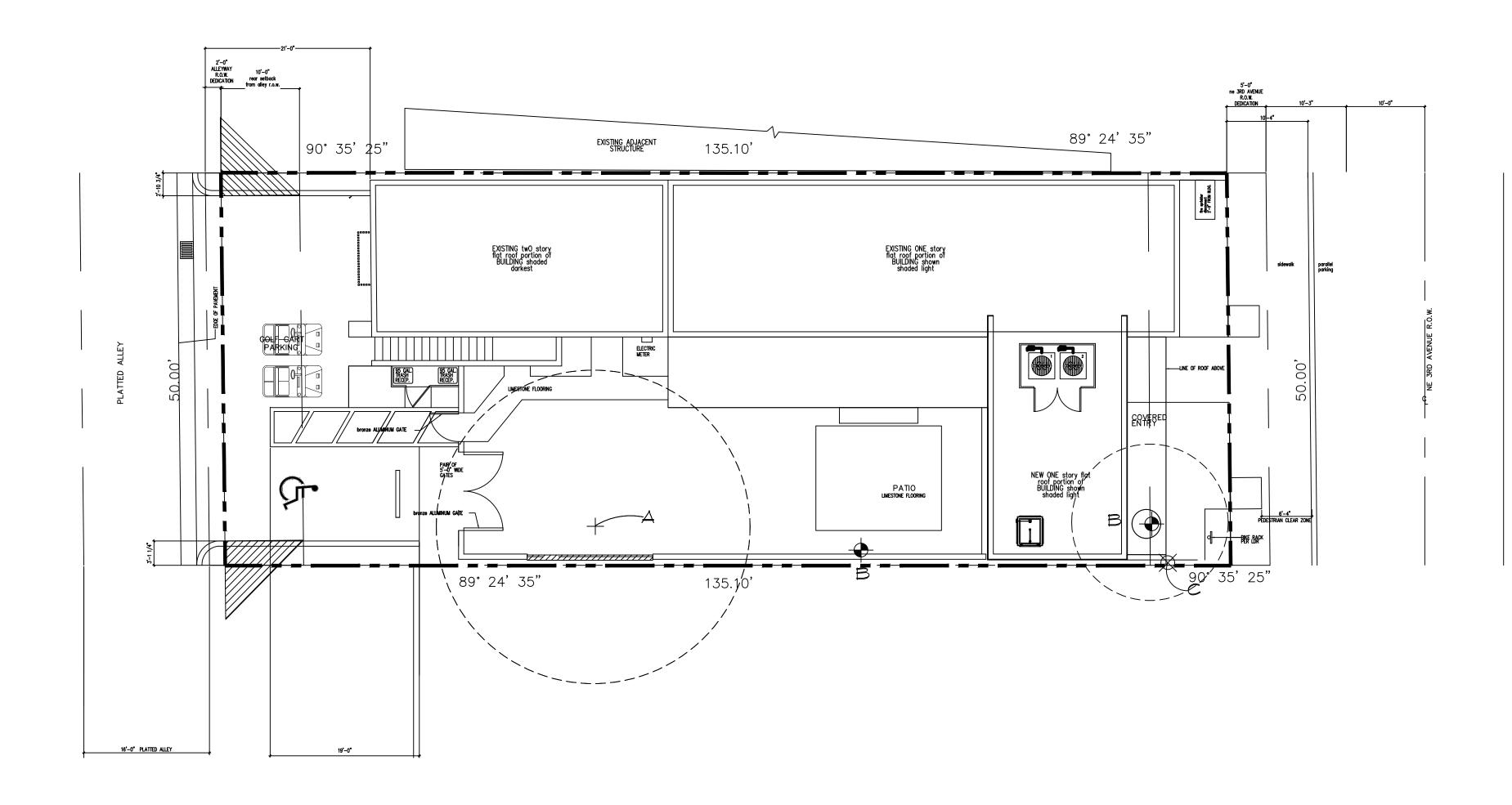
ELEVATION PERSPECTIVES

SITE PLAN APPROVAL

Project Number: 2 1 2 6 8

Date 02/23/2022
Drawn | Checked --- |--Date | Approval Date | Permit Date | Construction -

AA0002340 © 2022



# **Tree Disposition and Mitigation**

Project Address: 314 NE 3 Avenue			Parcel ID (for multiple IDs, use one for the common area):				
Preserv	e						
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Α	Seagrape	Coccoloba uvifera	40'	35'	67"	60%	
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
Relocati	on						
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
В	Coconut Palm	Cocos nucifera			24'	70%	
Remova							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments

			)	·		J	4
			<u>Nu</u>	mber of Trees with Cor	ndition ≥ 50% :	: 0 trees	Total DBH: 0" Removed
			<u>Nu</u>	mber of Trees with Co	ndition < 50%:	0 trees	Total # of Trees Removed: 0
alm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	<b>Condition Rating</b>	Comments
,	Cabbage Palm	Sabal palmetto			10'	70%	

Number of Palms with Condition ≥ 50%: 1 Palms Number of Palms with Condition < 50%: 0 Palms

John Sutton John Sutton/Sutton Consulting Arborist ISA Certified Arborist #SO-0326

# LEGEND

EXISTING TREES TO BE REMOVED + ) EXISTING TREES TO REMAIN

EXISTING PALMS TO REMAIN

EXISTING TREES TO BE RELOCATED



NEW LOCATION OF RELOCATED TREES



PROPOSED PALMS

PROPOSED TREES

314 ne 3 ave delray beach, fl.

dave bodker

landscape architecture/planning inc.

601 n. congress ave., suite 106—a delray beach, florida 33445 561—276—6311

#LA0000999

sheet title: existing tree

plan

project number: 15221 date: scale: 12/20/2021 1" = 10' drawn by:

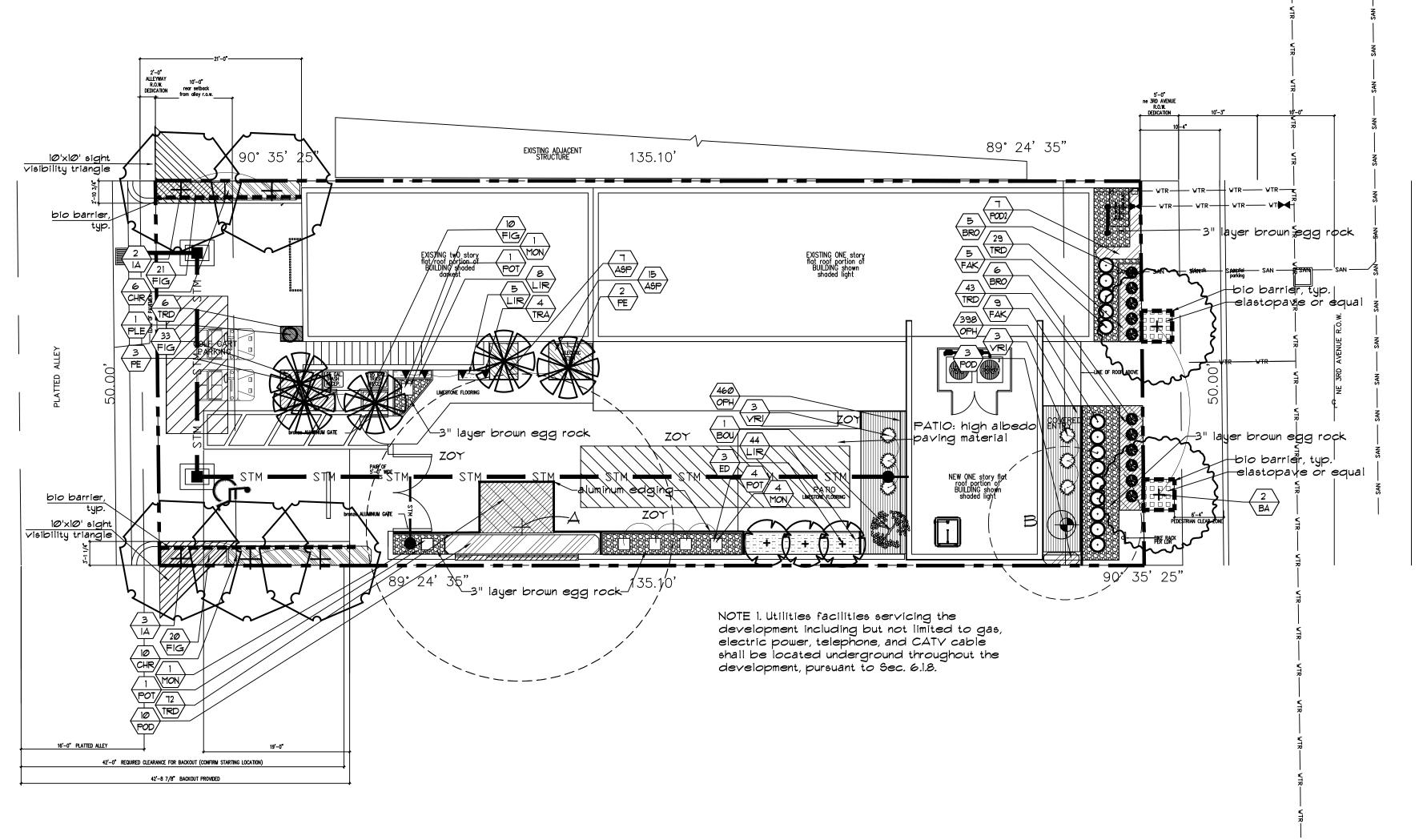
revisions:

sheet:

↑02/28/22-city comments
↑04/25/22-city comments
↑05/19/22-interior landscape  $\triangle$ 06/22/22-city comments







# PLANT LIST

<u>SYM</u>	BOTANICAL/COMMON NAME	SPECIFICATIONS	<u> QTY</u>	<u>native</u> *	<u>ORNAMENTAL ONLY</u> =
BA	Bulnesea arborea Verawood	16' ht. x 8' spr., 3" cal. 8' c.t.	2		
ΞD	Elaeocarpus decipiens Japanese Blueberry	12' ht. x 6' spr., 2" cal. 3' c.t., matched	3		+
A	llex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal. 8' c.t	5	*	
⊃E	Ptychosperma elegans Solitaire Palm	16' o.a. ht., 8' ct, matched	5		+
ASP	Aspidistra elatior variegata Variegated Aspidistra	18" ht. x 18" spr., 18" o.c.	22		+
30U	Bougainvillea Purpie Bougainvillea	5' ht. sculptural stump	1		+
BRO	Neoregelia 'Jeffrey Block' Jeffrey Block Bromeliad	18" ht. x 18" spr.	11		+
CHR	Chrysobalanus icaco Green Tip Cocoplum	4' ht. x 2' spr., 2' o.c.	16	*	
FAK	Tripsacum floridanum Dwarf Fakahatchee Grass	24" ht. x 18" spr., 18" o.c.	14	*	+
IG	Ficus microcarpa Green Island Ficus	10" ht. x 10" spr., 12" o.c.	84		
-IR	Liriope muscari 'Evergreen Giant' Evergreen Giant Liriope	12" ht. x 12" spr., 12" o.c.	57		+
10N	Monstera deliciosa Swiss Cheese Plant	36" ht. on moss pole to be planted in glazed	6 pots		+
OPH	Ophiopogon japonicus Mondo Grass	5" ht. x 5" spr., 4" o.c.	858		+
PLE	Dracaena reflexa 'Variegata' Pleomele	5' ht., 3 ppp	1		+
90D	Podocarpus macrophyllus Podocarpus	6' ht. x 2' spr., 2' o.c.	13		+
POD2	Podocarpus macrophyllus Podocarpus	4' ht. × 2' spr., 2' o.c.	٦		+
POT	White glazed pots to be planted with Monstera deliciosa	± 30" ht. x 18" square	6		+
TRA	Trachelospermum jasminoides Confederate Jasmine	8' ht., 5 runners on Jacob	s cable 4		+
RD	Trachelospermum asiaticum 'Minima' Dwarf Asian Jasmine	5" ht. x 12" spr., 12" o.c.	150		+
RI	Vriesea imperialis Imperial Bromeliad	3' ht. × 3' spr.	6		+
OY	Empire japonicum Zoysia Zoysia Sod	full, fresh sod	as required		
	Gravel	brown egg rock	3" layer		
	4" Aluminum Edging	1/8"x4"	as required		
	Bio Barrier	36" D. hung vertically	as required		

CODE DATA

A	TOTAL LOT AREA		6,405 S.F.
В	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		4,538 SF.
С	TOTAL PERVIOUS LOT AREA	C = (A - B)	1,867 S.F.
н	TOTAL PAVED VEHICULAR USE AREA		915 S.F.
1	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I = (H x .10)	92 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		115 S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	K = (1/125 S.F.)	2 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED		2 TREES
М	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS!		53 LF.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N = (M/3Ø) N = (M/25) IF ADJACENT TO PROPERTY IN RESIDENTIAL USE	2 TREES
0	TOTAL NUMBER OF PERIMETER TREES PROVIDED		2 TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE		2 TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q = ((K + N) x 50)	2 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED		7 TREES
s	TOTAL NUMBER OF TREES ON PLAN PROVIDED		8 TREES

- ALL PLANT MATERIAL SHALL BE FLORIDA \* GRADE OR BETTER.

- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.

- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.

- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS. 10 PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.

- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.

- THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.

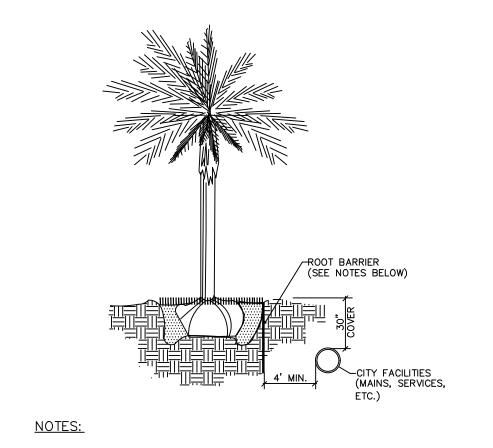
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1,1 & LD 1,2.

NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 1,1 AND LD 1,2.

THE AREA BETWEEN THE PROPERTY LINE / R.O.W. LINE AND THE EDGE OF PAVEMENT OF CITY STREETS SHALL BE SODDED OR LANDSCAPED WITH A GROUND COVER ACCEPTABLE TO THE CITY ENGINEERING DEPARTMENT. IT IS UNDERSTOOD THAT ANY REPAIRS DUE TO CITY MAINTENANCE WILL BE REPLACED. (THE CITY WILL ONLY REPLACE WITH ST. AUGUSTINE OR BAHIA

A COST ESTIMATE WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION. AN IRRIGATION PLAN WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION

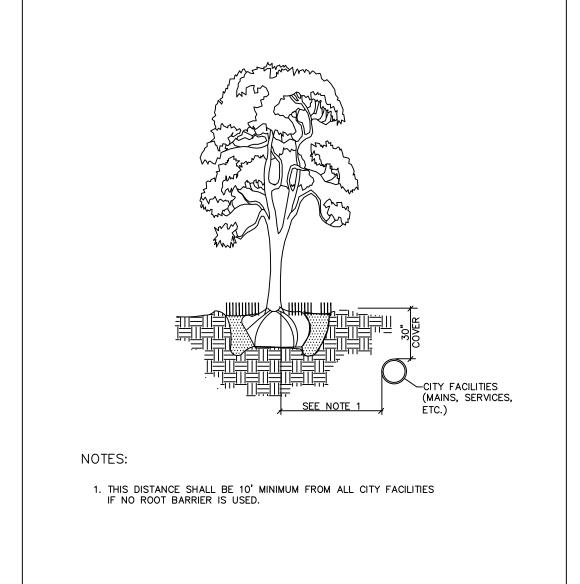




1. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY FACILITIES. 2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.

3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER. 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1



TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

314 ne 3 ave

delray beach, fl.

dave bodker

landscape architecture/planning inc.

601 n. congress ave., suite 106—a delray beach, florida 33445 561-276-6311

> #LA0000999 sheet title:

> > plan

planting

project number: date: 12/20/2021 scale: 1" = 10' drawn by: lmb

revisions:

 $\Lambda$ 02/28/22-city comments  $\triangle$ 04/25/22-city comments ₫05/19/22—interior landscape  $\triangle$ 06/22/22-city comments

sheet:

NOTE: Ornamental only: not used to fulfill any code requirement

- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the
- responsibilities, including all change and repairs incident B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to fertilizing, mulching, staking and guying where required
- cleanup, maintenance and guarantee. C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the ocations shown in order to provide for any modifications

which might be necessary.

watering, pruning where required, sod installation, weeding,

- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive
- separate, additional compensation for this. E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said paument The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.
- F. Ten percent (10%) of the total contract price will be held as stainer for 30 days after final written acceptance.
- G. The Landscape Contractor will coordinate his work with all other trades at the job site.
- (2) Paim frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an
- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third. (4) Palms with mechanical damage, such as from cables,
- chains, equipment and nails, shall be rejected. l. Chlorosis: The allowable level of Chlorosis in foliage shall
- be set forth in the latest edition of the Florida Departmen of Agriculture's "Grades and Standards for Nursery Plants". J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise
- a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.
- A. Sod shall be solid sod and shall be standard quality grade.
- Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to suppor when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sociahall have been moused at leas three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted

- (1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soi as directed by the Landscape Architect
- J. Existing Plant Material to be Relocated:

i. Removal of Plant Material:

- (1) All existing plant material to be relocated shall be root pruned a minimum of 30 days or for a period a determined by the Landscape Architect prior to
- (2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with requirements as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2", as

follows:		
ALIPER	MIN. BALL DIA.	MIN. BALL DEPT
- 15"	16"	75% of dia.
5 - 1.75"	20"	65% of dia.
75 - 2"	22"	65% of dia.
- 2.5"	24"	65% of dia.
5 - 35"	26"	65% of dia.
5 - 4"	28"	65% of dia.
- 45"	30"	60% of dia.
5 - 5"	32"	60% of dia.
- 5.5"	34"	60% of dia.
5" or more	Increase in	60% of dia.
	proportion	up to 48",
		then decrease is
		proportion for l
		size diameter.

(3) Root pruning shall be accomplished by digging a trench

#### (4) A mixture of good organic fertilizer and planting soil shall be used to refill the trench.

exposed roots shall be cut off smoothly.

completely around the plant about 18 inches deep. All

(5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if directed by the Landscape Architect. For wire, hog wire before before the plant is removed from the hole for relocation. The wire shall be looped and tensioned the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the

## Quality Assurance:

- groundcover either at the place of growth or at the site before planting for compliance with the requirements for ame, variety, size, and quality. The Landscape Archite retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.
- B. Responsibility for Assuring Quality Work:
- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape materials and work
- (1) Plant material shall be Florida 4 or better as set Agriculture's Grades and Standards for Nursery Plants.
- (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or

- A. All plant material, unless indicated otherwise, shall be sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (55 to 65 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.
- A. Potable, from municipal water supplies or other sources which

are approved by a public health department.

- (1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)
- A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients
- B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a
- C. Annuals: Fertilize with Osmocote Sierra blend 14-14-14 or approved equal.
- D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free

or boxes shall be fully labeled with the manufacturer!

flowing and delivered in unopened bags. All bags containers

E. All fertilizer shall comply with the State of Florida

A. Disposal of Trash: All debris and other objectionable

B. Excess fill: All excess fill which results from the

Excess fill shall be disposed of as directed.

be thoroughly swept.

Completion and Final Acceptance:

on this final inspection.

material created through planting operation and landscape

construction shall be removed completely on a daily basis

from the job or as directed by the Landscape Architect, And

paved areas including curbs and sidewalks which have been

strewn with soil, sod waste, fertilizer or other debris shall

installation of the project shall remain the property of the

All excess fill which the Owner does not want shall be

Owner and remain on the project at the option of the Owner.

removed and disposed of from the project at no additional

cost. No excess fill shall be removed or disposed of from

A. Responsibility for Protection and Restoration of Property:

B. Protection Against Mechanical Damage: The Contractor's

include providing protection from vehicles and providing

she shall repair, restore and replace all property which

becomes damaged as a result of any negligence of the

A. Upon written notice from the Contractor of the presumptive

completion as defined below, of the entire project, the

will make an inspection within 48 hours after the written

contract Plans and Specifications, such inspection shall

constitute the final inspection. The Contractor shall be

B. If, however, the inspection mentioned in paragraph A, above,

necessary instructions or "punch lists". Upon correction

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

of work, another inspection will be made which shall

unsatisfactory, final acceptance shall not be given and the

Owner and/or Landscape Architect will give the Contractor the

discloses any work, in whole or in part, as bei

Landscape Architect, along with other appropriate parties

notice. If all construction provided for and compensated by

the contract is found to be completed in accordance with the

notified in writing of final acceptance as of the date of the

Contractor or his or her employees in complying with these

warning signs and barricades as might be necessary and he or

The Contractor shall be responsible for all damage or injury

the site until approved by the Owner or Landscape Architect

### Delivery, Handling and Storage: A. Delivery and Handling:

- (1) Movement of nursery stock shall comply with all Federal,
- (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable p materials immediately from the job site. Maintain and
- (3) Transport materials on vehicles large enough to allow covered to prevent wind damage during transit.

capable of being installed within 48 hours of cutting.

- (1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities
- Submittale 4 Approvals A. Written request for approval to substitute a plant species or a plants designation (B\$B, WB\$B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of
- installed on the project. The Contractor must provide written proof that the specified plant material is B. Any request for the approval of an equal shall be in writing.

the material specified. Approval must be given by the

Landscape Architect before the material is delivered and

Approval shall be given by the Landscape Architect before the

- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are mplemented in the project.
- D. if requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape project. Also, two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.
- E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the before it is delivered and installed on the project.

## Staking and Guying:

- A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to quying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or equirement of staking or guying.
- B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations ordinances and code requirements from the appropriate local

- A. Utilities (Above Ground and Underground):
  - (1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities

## However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that

could result in damage or injury to persons, utilities

structures or property. The Contractor shall make a

thorough search of the site for utilities, structures,

etc., before work is commenced in any particular

F. If requested by the Owner or Landscape Architect, submit a

sample and analysis of all planting soil types for approval

H. If requested by the Owner or Landscape Architect, submit a

I. Submit three prints of shop drawing for all staking and

J. Submit in writing any hindrance to the owners routine

guarantee of plant material.

materials growth, or survival, that would affect the

K. Submit in writing any hindrance to the timely completion of

be required by, State, local or Federal Authorities.

L. Submit and Certificate of inspection of plant material as may

A. When the specifies plant designation (B4B, WB4B, CG etc.).

vailable, the Contractor shall submit a written request

to the Landscape Architect, for a substitution along with

WB4B, CG, etc.), type grade, quality, size, quantity, etc.

of material is not available. The Landscape Architect

type, grade, quality, size, quantity, etc. of a material is not

written, documented proof that the plant designation (B4B,

installed. Do not deliver and install any material which is

Architect. Also, ant changes, if any, to the contract amount

because of an approved substitute, shall be established in

material substitute is delivered and installed on the

shall approve all substitutions before they are delivered and

anticipated to be a substitute, before it has been submitted

Specifications and on the Plans are not to be implemented

staking and guying methods before they are implemented in the

The Landscape Architect will approve all shop drawings of

Architect before the material is delivered and installed on

by the Landscape Architect before the material is delivered

sample and analysis of the mulch for approval by the Landscape

- (2) The Contractor shall take immediate steps to repair replace, or restore all services to any utilities or other facilities which are disrupted due to his or her additional outside services which may be necessary prosecute repairs on a continuous "around the clock" pasis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.
- (3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall made on the relocation of the work so it will clear the
- (4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in 72 hours prior to the time of the requested interruption.
- A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.
- B. Plant Area Next to Pavement: All planting areas next to payement areas, such as, but not limited to, curbs, roads drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS ! INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans
- A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based or information from the plans.

- compliance and conformity with the provisions expressed of (6) Edge and weed all shrubs, groundcover and flower beds implied in the Plans and Specifications including any and al "punch lists" which may be issued outlining certain items of once a week work which were found unsatisfactory or required completion or (1) Remove all litter once a week
  - (8) Spraying and Dusting: Contractor shall do all seasonal epraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation
- F. The guarantee shall not begin until the day final acceptance Certain responsibilities prior to Final Acceptance: The following is a partial list of certain responsibilities. It is not a
- complete list, but only a summary of certain responsibilities. A. The Contractor is responsible for the entire project prior to written acceptance. B. The Contractor is responsible for safety on and off the job

C. Completion of the work shall mean the full and exact

- C. Maintenance Prior to Final Acceptance:
- (1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance.
- (2) Plant maintenance shall include watering, mowing edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guye stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer litter removal, and all other care needed for proper growth of the plants.
- (3) immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional
- (4) All plant material shall be weeded once a week. In the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect. If necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undestrable vegetation at the expense of the Contractor.

- (5) Edge and mow sod once a week
- D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected
- and found to be completed in accordance with contract Plans E. Final acceptance shall not be official until acknowledged in
  - (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion, guillies, washouts, or other causes shall be repaired by ing with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense
  - (ID) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or ove planting areas or adjacent to plants without prope safequards and protection.
  - (11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains.
  - D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled. E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is
  - installed until final acceptance. F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of
  - G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of

- A. The guarantee shall not begin until the day final written
- B. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees palm and shrubs are to be guaranteed for one year from the
- C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God".
- D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period.
- $\ensuremath{\mathsf{A}}.$  The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:
- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the

(2) There is a question to its ability to survive after the

the minimum quality indicated in the Specifications.

end of the quarantee period that would render it below

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root advance. The extended time shall be negotiated between all

parties concerned, but must receive final approval by the

- C. Size, Quality, and Grade
- (1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced The size of the replacement shall not necessarily be the same size as the original specified plant at its initial plant to be replaced at the time it has been determined that it must be replaced.
- B. Spacing of Groundcover 4 Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly

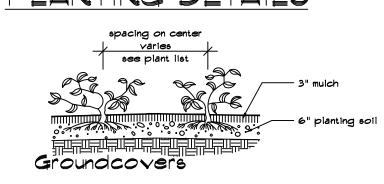
without growing into the other bed, walkway, structure, etc.

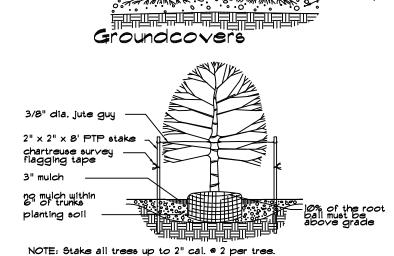
immediately shall be covered with moist soil or mulch to be maintained as necessary until planting. D. Subsurface Conditions: Some or all work areas may be

C. The rootballs of B4B plants which cannot be planted

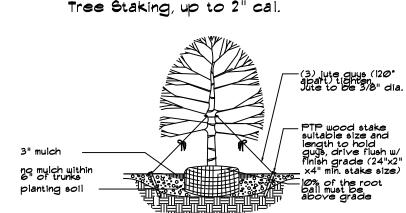
- compacted and/or contain existing material such as limerock which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. he Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling of required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as misuse of the chemicals which will cause detrimental residual litions. Care shall also be used so that any final grade
- F. Excavation of Plant Holes: (1) General
- a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approxima ertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or
- unanticipated factors which are a conflict. b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the
- Landscape Architect. Installation: A. General: The Contractor shall lay out on the ground the
- locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

# PLANTING DETAILS





All plastic nursery tape / flagging must be removed from all plants.



NOTE: Guy all trees larger than 2" cal.

All plastic nursery tape / flagging must be removed from all plants. Tree Staking, above 2" cal.

#### However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally

- (2) Replacements shall be guaranteed for a period equal to
- period shall begin at time of acceptable replacement (3) Final payment to the Contractor shall not relieve he or she of the quarantee obligations
- Plan and Specification interpretation
- $\ensuremath{\mathsf{A}}.$  On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decisio In resolving conflicts between the Plans and Specifications THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

## Permits and Codes:

- A. The Contractor shall procure all necessary permits to accomplish all of the work.
- B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and and/or Federal jurisdiction the project is located in.
- A. The Contractor shall not start on any changes or additiona work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner additional work prior to the execution of a written agreement
- may or may not be compensated for. "Job Site, "Project Site Etc.":
- A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in

A. In performing the scope of work, all safety on of off the job

site shall be the sole responsibility of the Contractor. The

Landscape Architect shall not be responsible for safety on or

Safety On and Off the Job Site:

off the job site.

- (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting opeoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place. be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the ourlap peel down 1/3 from the top of the rootball ar cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and
- (2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.

(3) Water Saucer: A 4-inch high water saucer shall be

not be mixed or used in any way with the topsoil

tapped to grade. Subsoil removed from tree pit shall

- formed around the rim of each individual tree or paim pit and maintained in place. (4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large fo hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks Girdling, bark slippage, limb breakage and any other
- (5) All trees and paims shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

damage that might occur by improper handling or

- (6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.
- C. Sod: (1) Soil Preparation: Within 24 hours prior to placing sod,
- prepare the soil in the following manner: a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square fee
- diameter from the top two inches of soi c. Grade the sod areas so that the top of the sod will

b. Remove stones and foreign matter over two inches in

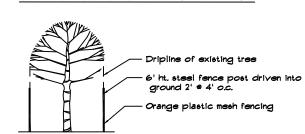
# be at finished grade after rolling and tamping.

# 3" mulch -----finished grade Shrubs -(3) 4" x 4" x 8' brace: chartreuse survey

2" x 4" PTP wood blocking banded around trunk ( not nailed ) w/ triple layer burlap between trunk and blocking 10% maximum of the root ball must be above grade visible on surface 3" mulch ----— clean sand existing grade PTP wood stakes suitable size and length to hold braces (24" x 2" x 4" min. ) drive flush w/ finish

grade, stake nailed to brace

EXISTING TREE PROTECTION BARRIER DETAIL



Straight Trunk Palms

#### The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape ${\bf r}$ Architect's on site observations or inspections are not for safety on or off the job site

# On Site Observations and Inspections

- A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architected
- B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in
- C. An inspections at the growing site does not preclude the right of rejection at the project site.

D. The fact that the Landscape Architect has not made an early

on site observation or inspections to discover faulty work or

work omitted, or work performed which is not in accordance

with the contract requirements, shall not bar the Landscape

- Architect from subsequently rejecting such work at a later E. The Landscape Architect's on site observations or inspection shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor
- intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

## Plant Material

- A. Plant material shall be nursery grown except:
- (1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant material which is only available as a collected item
- from sources such as residences. B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida \*1, or better, at the time of installation and final acceptance. Existing

plant material to remain or to be relocated shall be excluded

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound healthy, vigorous and free from insects, plant diseases and

## (2) Placing Sod:

- a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.
- b. Water sod every day for a period of three weeks.
- c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawr d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is

f clearance from pest control officials of either State

brought to the site, furnish a written certification

# or Federal Department of Agriculture.

- a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy
- b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as
- Spread six inches of topsoil mixture uniformly over the entire planting area.
- 2) Spread 50% organic fertilizer at a rate of 4 pounds pe 000 square feet uniformly over the groundcover area. 3) Rotor mix, or by other approved method, to a depth of
- 4) Fine grade to remove all trash, rocks, and debris to (5) Regrade to finish grade before adding two inches mulch. (6) Thoroughly water and firm the plants into the soil mixture.
- (1) Areas to be mulched shall have existing weeds and regetation removed, including root systems, before applying mulch.

## (2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other

- GENERAL NOTES
- I. ALL PLANTS TO BE FLORIDA NO. I OR BETTER 2, NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY
- WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM 4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS. THE PLANS ARE TO OVERRIDE THE PLAN .191 IN ALL CASES, SOD QUANTITY 15 TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING
- 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE. . CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS
- SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE. S. ALL TREES AND PALMS TO BE STAKED AND GUYED.
- 9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE.

11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND

## EXCAVATION DETAIL THE CONTRACTOR MUST ADHERE TO THE FOLLOWING: - BACK OF CURB (TYP)

- EXCAVATION AREA (30" DEPTH) - COMPACTED SOIL (12" WIDE)

1'-@"-

NOTE: Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips adjacent to vehicular use areas, shall be excavated down to a depth of 30 inches below existing grade except for a 12-linch buffer from the inside of curb or pavement (see diagram). A suitable planting soil mixture of 50/50, 60/40 (sand/topsoil) or as otherwise indicated by the Registered Landscape Architect, shall either be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the 30-inch depth has been met.

D. Measurement of Trees, Palms, Shrubs, and Groundcovers

(1) Trees, Shrubs, and Groundcover a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part

CALIPER MIN. BALL DIA MIN. BALL DEPTH 65% of dia. 1.5 - 1.75" 65% of dia. 25 - 35" 65% of dia. 4 - 45" 60% of dia 60% of dia. 45 - 5" 5.5" or more increase 60% of dia. up to 48", proportion for large

b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, pranches, limbs or fronds, which extend out beyond the main mass of the plant.

back of leaf-drop will not be accepted and must be removed Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough

F. Mechanical Destruction of Foliage: Mechanical destruction of

foliage resulting from root pruning shall not effect more

on plant material, it shall be completely removed prior to

(1) Remove a minimum of fronds from the crown of the palms

E. Die-Back and Leaf Drop: plant material showing signs of die-

- than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists
- (3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around

trees and palms in sod areas and any other areas as

to facilitate transporting and handling.

- indicated on the plans. F. Watering: (1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of
- the root zone. Avoid erosion, puddling, and washing soil away from the roots. (2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as ecessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve
- shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if

approved for use, then the Contractor shall be

responsible for supplying water for watering, by such

loss of roots as a result of transplanting operations

Landscape Architect. This condition shall apply until

required, without flooding areas beyond where water is

needed and/or over watering other landscape material.

- means as a water truck or tank G. Pruning and Thinning: (1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the
- Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant. (2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during
- any pruning and thinning. (1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threater plant material, they shall be removed as directed by the

- EXCAVATION BEGINS, THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING. AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM 13. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED TO BE GUARANTEED FOR ONE (1) TEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. IS NOT POTABLE OR RECLAIM WATER, AND THE WATER STAINS SITE
  - CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE I4. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR

SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE

THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR

- 15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY, COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE, THIS ICLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE.
- ND FREE OF WEEDS AND DEBRIS AND EXCAYATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS IT. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN

19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH

16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED

- REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED. 18. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING.
- NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING 18LANDS OR PLANTING AREAS ADJACE TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS REQUIRED TO SUPPORT THE CURB. 20. ALL PLASTIC NURSERY TAPE TO BE REMOVED FROM TREE TRUNKS OF NEWLY PLANTED TREES. IF IT IS NECESSARY TO TIE TREE TRUNKS TO A STAKE, BIODEGRADABLE JUTE IS TO BE USED.

21. TREES PLANTED IN PARKING ISLANDS OR AROUND VEHICULAR USE AREAS SHALL NOT BE PLANTED WHERE THEY OBSCURE SIGNS.

OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND).

sheet:

#LA0000999 sheet title: specifications

details, notes

landscape architecture/planning inc.

601 n. congress ave., suite 106-a

delray beach, florida 33445

dave bodker

561-276-6311

project:

314 ne 3 ave

project number 15221 date: 12/20/2021 scale: n.t.s. drawn by: lmb

> revisions:  $\bigwedge$ 02/28/22-city comments  $\triangle$ 04/25/22—city comments  $\triangle$ 06/22/22—city comments