Marion
131 NW First Avenue
Delray Beach, Florida 33444

Original HPB site plan approval

DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

November 7, 2019

Randall Stofft Architecture
42 N Swinton Ave
Delray Beach, FL 33444
Jeffrey@Stofft.com & Fredy@Stofft.com

RE: Approval Letter for 131 NW 1st Avenue
Class III Site Plan Modification & Certificate of Appropriateness (COA) 2019-150

Dear Mr. Polania:

At its meeting of November 6, 2019 the Historic Preservation Board approved the Class III Site Plan Modification, Certificate of Appropriateness (2019-150), Landscape Plan, and Elevation requests associated with the renovation of the existing 1,375 sq. ft. mixed-use structure and construction of a new 1,433 sq. ft. addition on property located at **131 NW 1st Avenue, Old School Square Historic District**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations, subject to the following conditions:

1. That the original three windows be retained and the 4th additional window be offset;
2. That the proposed additions include a type of textured stucco that is slightly different from the original; and,
3. That the proposed windows be clear glass with no reflectivity or tint.

Site Plan Technical Items:

1. That the shared use parking calculation table be removed from the site plan;
2. That the rear setback for all structures be identified on the site plan;
3. That the percentage of existing and proposed open space and lot coverage be identified on the site plan;
4. That the existing square foot calculations for residential and office uses be identified on the site plan.
5. That the utility pole within the north/south alley on the east side of the property be moved closer to the property line to allow for the required amount of maneuver space for vehicles; and,
6. That site lighting calculations be provided on the Photometric Plan for the parking area on the east side of the property adjacent to the north/south alley.

Next Steps

Please be advised that the COA and site plan approval are valid for 24 months; thus, expiring on **November 6, 2021**. Prior to the expiration date of the COA and site plan, 25% of the cost of all improvements associated with the approved development must be constructed in order for this proposal to be considered established. Any request for an approval extension shall be filed 45 days prior to the previously noted expiration date.

Applicant Appeal

Pursuant to the City of Delray Beach Land Development Regulation Section 2.4.7(E), you have the right to appeal the decision by the Board to the City Commission. Such an appeal must be filed within ten (10) working days of the Board action.

Additionally, at the City Commission's discretion, this Board action can be appealed by the City Commission at its meeting of **December 3, 2019**, as it will be listed within the "Report of Appealable

Land Use Items" on the consent agenda. In such case, the HPB decision is NOT final until **December 3, 2019**. Decisions appealed by the City Commission or the applicant are scheduled for a new action. Plans pending certification or permit issuance could be held until the appeal period has lapsed.

Should you have any questions regarding this project approval, please do not hesitate to contact me via email at hoylandm@mydelraybeach.com or by phone at 561.243.7039.

Sincerely,

Michelle Hoyland

Michelle Hoyland
Principal Planner, Historic Preservation

MARION RESIDENCE

ABBREVIATIONS

ABV.	ABOVE	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
ACOUS.	ACOUSTICAL	HDWD.	HARDWOOD	REINF.	REINFORCE
ADJ.	ADJUSTABLE	HDWE.	HARDWARE	R.H.	RAIN WATER LEADER
ALUM.	ALUMINUM	HGT.	HEIGHT	S.C.	SOLID CORE
APPROX.	APPROXIMATE	HORIZ.	HORIZONTAL	SCHED.	SCHEDULE
BD.	BOARD	I.D.	INSIDE DIAMETER	SHT.	SHEET
BLDG.	BUILDING	INCANDS.	INCANDESCENT	SIM.	SIMILAR
BLK.	BLOCK	INSUL.	INSULATION	SQ.	SQUARE
BOT.	BOTTOM	INT.	INTERIOR	STAINLESS STEEL	
BTWN.	BETWEEN	JT.	JOINT	STD.	STANDARD
CEM.	CEMENT	LAM.	LAMINATE	STL.	STEEL
C.J.	CONT JOINT	LAV.	LAVATORY	STOR.	STORAGE
CLR.	CLEAR	LOC.	LOCATION	STRUCT.	STRUCTURAL
COL.	COLUMN	MAX.	MAXIMUM	SUSP.	SUSPENDED
CONC.	CONCRETE	MECH.	MECHANICAL	SYM.	SYMMETRICAL
CONN.	CONNECTION	MET.	METAL	T.O.	TOP OF CURB
CONT.	CONTINUOUS	MFR.	MANUFACTURER	TEL.	TELEPHONE
CTR.	COUNTERSUNK	MIN.	MINIMUM	TNG.	TONGUE AND GROOVE
DECOR.	DECORATIVE	MISC.	MISCELLANEOUS	THK.	THICK
DET.	DETAIL	M.O.	MASONRY OPENING	T.O.C.	TOP OF CHIMNEY
DIA.	DIAMETER	MTD.	MOUNTED	T.O.F.	TOP OF FRAMING
DIM.	DIMENSION	MTL.	METAL	T.O.L.	TOP OF LEDGER
DN.	DOWNSPOUT	N.I.C.	NOT IN CONTRACT	T.O.P.	TOP OF PLATE
DWG.	DRAWING	NO.	NUMBER	T.O.PL.	TOP OF PLATE
E.A.	EACH	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
EXHD.	EXHAUST	O.A.	OVERALL	U.O.N.	UNLESS OTHERWISE NOTED
EXP.	EXPANSION	O.C.	ON CENTER	VERT.	VERTICAL
EL.	ELEVATION	O.D.	OUTSIDE DIAMETER	VEST.	VESTIBULE
ELEV.	ELEVATOR	OFF.	OFFICE	V.G.D.	VERTICAL GRAIN
ELEC.	ELECTRICAL	OPNG.	OPENING	W/	WITH
EQ.	EQUAL	OPP.	OPPOSITE	W/O	WITHOUT
EQUIP.	EQUIPMENT	PLT.	PLATE	WD.	WATER CLOSET
EXP.	EXPANSION	PLAS.	PLASTER	WD.	WOOD
EXIST.	EXISTING	PLYWD.	PLYWOOD	WDW.	WINDOW
F.F.	FINISH FLOOR	PR.	PAIR	W.H.	WATER HEATER
FLASH.	FLASHING	PREC.	PRECAST	WWF.	WIRE MESH
FLUOR.	FLUORESCENT	P.T.	PRESSURE TREATED	WGT.	WEIGHT
FT.	FOOT/FEET	PTN.	PARTITION		
FTG.	FOOTING	QT.	QUARRY TILE		
GA.	GAUGE	RAD.	RADIUS		
GALV.	GALVANIZED	REINF.	REINFORCE		
GL.	GLASS	REQ.	REQUIRED		
GR.	GRADE	RM.	ROOM		
GYP.	GYPSUM				
H.B.	HOSE BIBB				

PROJECT TEAM

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561.243.4809 (F)
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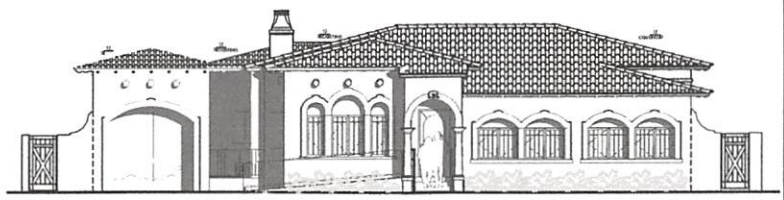
EMAIL: caryn@atsft.com



DESIGN PARAMETERS

CODE EDITIONS:
Florida Building Code (FBC) 2017
National Electrical Code (NEC) 2014
FLORIDA FIRE PREVENTION CODE 6TH EDITION
NFPA 101 LIFE SAFETY CODE 2015
NFPA 1 FIRE CODE 2015

RESIDENTIAL CODE INFORMATION

ALL RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH SEVEN VOLUMES OF THE FLORIDA BUILDING CODE 2017 EDITION. THE CODE IS COMPLIED WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY REFERENCE. THE NATIONAL ELECTRICAL CODE IS REFERENCED ST 4NEMAS NFPA,70.

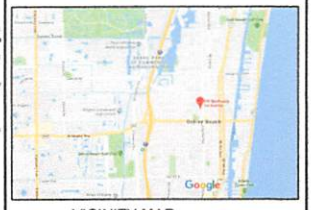
RESIDENTIAL POOL SAFETY ACT - CHAPTER 515 OF THE 2017 FBC RESIDENTIAL

ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION 424.9.1.1.1.8.

THE S.C.B.TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

DRAWING INDEX

		WITH SUBMITTAL COPY					
CS	COVER SHEET	X					
	SURVEY	X					
C1	CIVIL SITE IMPROVEMENT PLAN	X					
C2	CIVIL PAVING AND DRAINAGE DETAILS	X					
C3	CIVIL PAVING AND DRAINAGE DETAILS	X					
C4	CIVIL WATER AND WASTE WATER DETAILS	X					
C5	CIVIL DEMOLITION PLAN	X					
C6	CIVIL POLLUTION PREVENTION PLAN	X					
LP-1	LANDSCAPE PLAN	X					
TR-1	TREE REMOVAL PLAN	X					
A101	ARCHITECTURAL SITE PLAN (3/16 SCALE)	X					
A101a	ARCHITECTURAL SITE PLAN (1" = 10' SCALE)	X					
LS	LIFE SAFETY PLAN	X					
A200	DEMOLITION PLAN	X					
A201	NOTE PLAN	X					
A201a	DIMENSION PLAN	X					
A211	ROOF PLAN	X					
A301a	EXISTING WEST AND SOUTH EXTERIOR ELEVATIONS	X					
A301	PROPOSED WEST AND SOUTH EXTERIOR ELEVATIONS	X					
A302a	EXISTING EAST AND NORTH EXTERIOR ELEVATIONS	X					
A302	PROPOSED EAST AND NORTH EXTERIOR ELEVATIONS	X					
A303a	EXISTING GUEST HOUSE EXTERIOR ELEVATIONS	X					
A303	PROPOSED GUEST HOUSE EXTERIOR ELEVATIONS	X					
A401	REFLECTED CEILING AND LIGHTING PLAN	X					
A501	HANDICAP ACCESSIBILITY DETAILS	X					



1 VICINITY MAP
N.T.S.

CONSTRUCTION NOTES, SPECIFICATIONS AND GENERAL REQUIREMENTS

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, PERSONNEL OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND/OR OR SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS AND OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THIS PROJECT. ANY LOCAL ORDINANCE SPECIFIC TO THIS AREA SHALL BE OBSERVED. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND ANY ABOVE DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

THE PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR ENERGY CONSERVATION, FIRE PROTECTION, ACCESSIBILITY, STRUCTURAL DESIGN, CONSTRUCTION AND ASSEMBLY DESIGN, BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND CALCULATIONS SHALL BE BUILDING CODE REQUIREMENTS AND NFPA TOTAL DESIGN PROTECTION FOR WOOD CONSTRUCTION (WINDSTORM HOUSING).

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA WOOD ENERGY CODE. CONTRACTOR SHALL PROVIDE HIMSELF WITH THE DIVERSION CODE IN ITS ENTIRETY AND SUBLIM ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS.

JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND ON CONTRACT HEAD TO BIDDING AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL NOT BE SUBMITTED OF CONSTRUCTION CONTRACTS NEGOTIATION THE CONSTRUCTION PRIOR TO SUBMISSION OF THE BIDDING OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT WAS UNCLEAR. ANY DEVIATIONS WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. DO NOT SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN EXISTING BUILDING AND/OR AS AN ADDITION OF ALTERATIONS TO AN EXISTING BUILDING THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY DISCREPANCIES EXISTING BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO ENSURE THAT THE WORK CAN BE COMPLETED SMOOTHLY AND IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DRAWINGS OF STRUCTURAL AND CONSTRUCTION, SUBMITTED DURING CONSTRUCTION.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TOGETHER A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED NOT PART OF CONTRACT.

CLEAN UP / REPAIR:

A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT (FLASHING, ETC.) ALL FIXTURES, EQUIPMENT, GLASS, FLOORS, ETC. SHALL BE LEFT CLEAN AND FREE FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA:

A. PER 2017 FBR/RESIDENTIAL, TABLE R301.2(1), SUBJECT TO CHANGE FROM THE PERMITTING JURISDICTION AS REQUIRED. TEMPS CHANGE IN CLASSIFIED AS "SEVERE" SEE ADDITIONAL NOTES FROM SHEET WORK.

EARTH WORK:

A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS COMPACTION AND GEOLOGICAL REPORTS.

B. FOUNDATIONS SHALL BE MONOLITHIC OR BREAKS FOOTINGS BEFORE ON A SOIL STRUCTURAL DESIGN. ALL SOIL TESTS AND REPORTS SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

C. AFTER STANDARD CLEARING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY ABSORBENT CONTRACTOR WITH A MINIMUM OF FOUR PASSES.

D. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557). TO A DEPTHS OF 1 FEET BELOW ALL BUILDING SLOBS. AT GRAT ONE FIELD DENSITY TEST SHALL BE MADE FOR EACH 2500 SQUARE FEET OF BUILDING AREA. ALL SOIL TESTS TO BE MADE TO THE ARCHITECT AND THE CONTRACTOR PURPOSES. AGRAL TO PROTECT THE SOIL UNDERFOLD DENSITY TESTING SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.

E. ALL WALL BE CLEAN, WELL PRESSED AND CLEARFIELD SOIL BRIGHT ASTM CHAPLES OF ALL ROOTS, WEEDS, DEBRIS, ETC. ALL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED AT ABOVE.

F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FL. BUILDING CODE 2017.

CONCRETE:

A. GENERAL: ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI, 318-14.

B. PORTLAND CEMENT: ASTM C150 TYPES I,II,III, LOW ALKALI, BLL, TESTED AND CERTIFIED. USE TYPE I CEMENT FOR BLB. CONTAINING SULFATE CONCENTRATIONS OF MORE THAN 1.5 PERCENT.

C. WATER: FROM DOMESTIC SOURCES, CLEAN, POTABLE AND FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIALS.

D. AGGREGATES: ASTM C433 FOR SLABS ON GRADE.

E. SAND: ASTM C45 FOR SLABS ON GRADE.

F. FOUNDATIONS INSTALL AS BELLEGEOR THESE DRAWS, OR AS INAMCOLOTY THE FINAL SOILS REPORT.

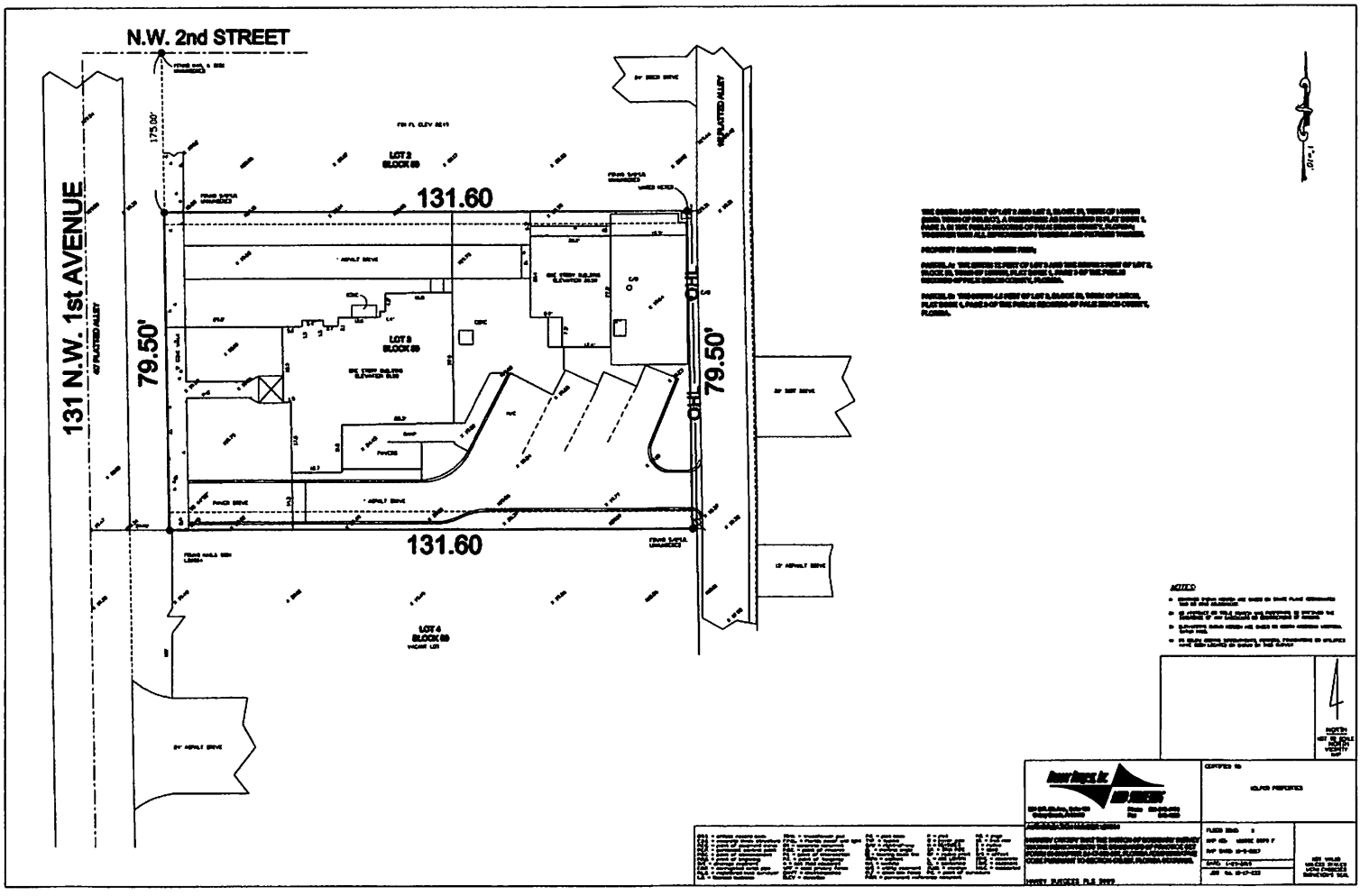
G. VAPOR BARRIER: BENEATH SLABS TO BE 6 MIL. POLYETHYLENE.

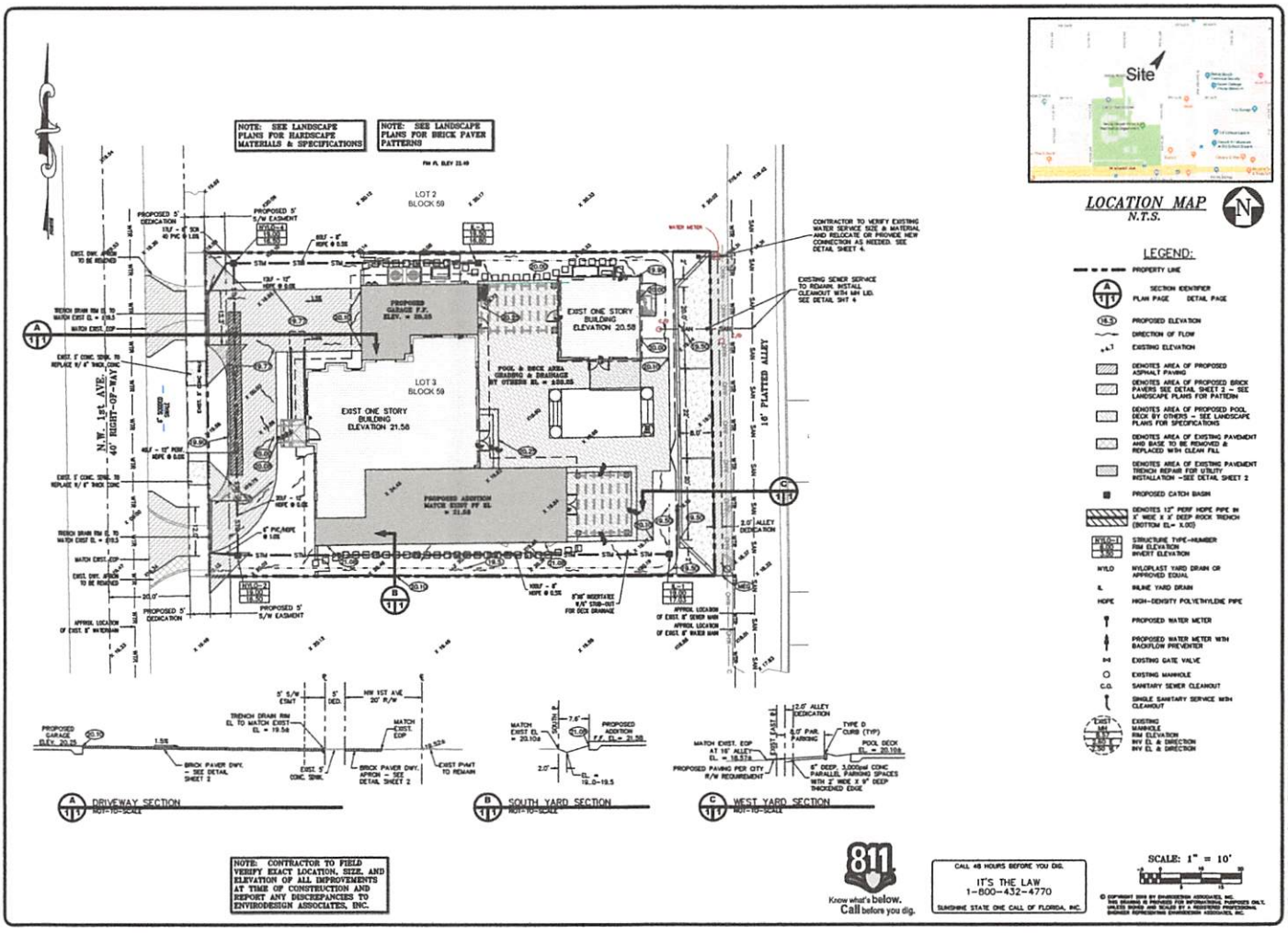
H. CONCRETE SHALL BE READY MIX (UNIFORM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS) AS SHOWN ON GRADE & LARGE FOR DETAILS. COLUMNS AT 28 DAYS ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-14) THE ACI DETAILING MANUAL (ACI 315-LATEST EDITION) AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-LATEST EDITION). ALL STEEL REINFORCEMENT SHALL BE AS REQUIRED THE LATEST ACI SPECIFICATIONS, WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185 UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLABS. SLAB ON GRADE: LAP ALL WWF A MINIMUM OF 8 INCHES (LAP ALL REINFORCING STEEL SHALL BE CLASS B TENSION SPLICE UNLESS OTHERWISE NOTED). ALL REINFORCING STEEL SHALL BE NEW, DEFORMED BARS (ASTM A-615, GRADE 60). ALL REINFORCING STEEL SHALL BE FREE OF LOOSE MILL SCALE, RUST, OIL OR OTHER COATINGS. ALL WORK SHOWN IN REINFORCEMENT SHALL BE AS RECOMMENDED HOOKS (U.N.O.).

REINFORCING STEEL:

A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE (EXCEPT WHERE MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL:
- 1.5 INCHES (WITH BARRIER) (ELEVATED JET)
- 1 INCHES AND COLUMNS (1.5")
- 1.5 INCHES CONCRETE BELOW GRADE 1"
- 1.5 INCHES FOOTINGS (3")
- 1 INCHES FOUNDATION WALL (1.5")
- 1 INCHES OF SLAB ON GRADE (1.5")
- 1 INCHES OF SLAB ON GRADE (1.5")
- 1 INCHES OF SLAB ON GRADE


N.W. 2nd STREET
131 N.W. 1st AVENUE
40' PLATTED ALLEY
175.00'
79.50'
131.60
LOT 3
BLOCK 89
LOT 5
BLOCK 89
LOT 4
BLOCK 89
VACANT LOT
131.60
79.50'
OHT
OHT
PLATTED ALLEY
1" = 10'
NOTES
NORTH
CERTIFIED TO



LOCATION MAP
N.T.S.

LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER — PLAN PAGE / DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 – SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF PROPOSED POOL DECK BY OTHERS – SEE LANDSCAPE PLANS FOR SPECIFICATIONS
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- DENOTES AREA OF EXISTING PAVEMENT TRENCH REPAIR FOR UTILITY INSTALLATION –SEE DETAIL SHEET 2
- PROPOSED CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN X' WIDE X X' DEEP ROCK TRENCH (BOTTOM EL= X.00)
- STRUCTURE TYPE–NUMBER, RIM ELEVATION, INVERT ELEVATION
- NYLO — NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- BL — BLINE YARD DRAIN
- HDPE — HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED WATER METER
- PROPOSED WATER METER WITH BACKFLOW PREVENTER
- EXISTING GATE VALVE
- EXISTING MANHOLE
- C.O. — SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT
- EXIST MH — EXISTING MANHOLE, RIM ELEVATION, INV EL & DIRECTION

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

811 Know what's below. Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'

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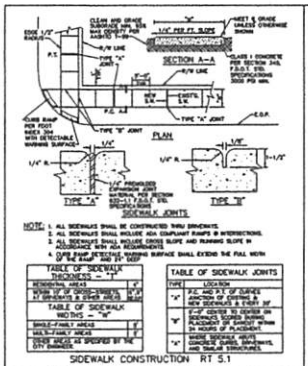
NO.	DATE	REVISIONS
A	07/09/19	REVISE PER NEW SITE PLAN & LANDSCAPE PLAN

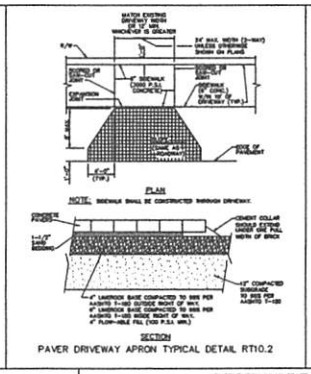
CIVIL SITE IMPROVEMENTS PLAN FOR:
MARION RESIDENCE
131 NW 1ST AVE.
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
Public Utilities • Land Development • Water Resources
Certificate of Authorization No. 6330
208 Fairway Drive, Deerfield Beach, Florida 33441
Phone: (954) 571-0500 Fax: (954) 571-0505

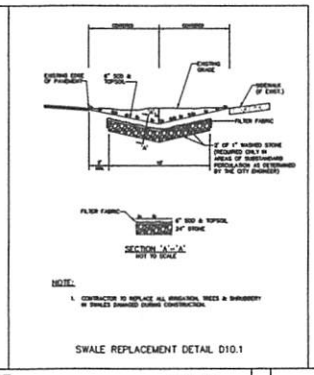
DRAWN: K.P.B.
CHECKED: J.A.P.
DATE: 03/20/19
JOB NO. 19002-ENG
SHEET NO. 1 OF 6



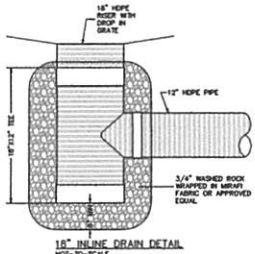
SIDEWALK CONSTRUCTION RT 5.1



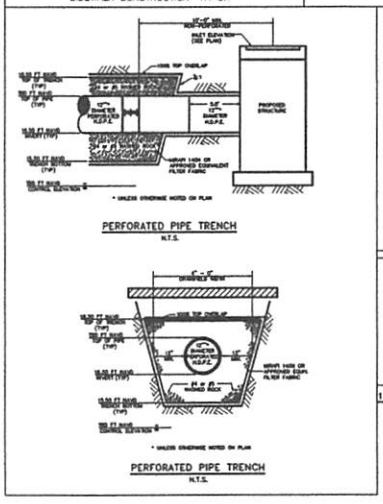
PAVER DRIVEWAY APRON TYPICAL DETAIL RT10.2

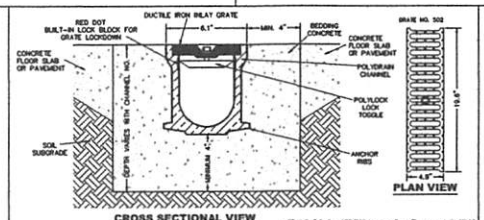


SWALE REPLACEMENT DETAIL D10.1

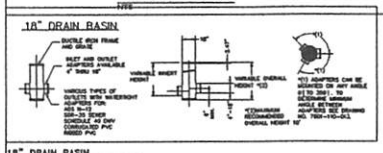


18" INLINE DRAIN DETAIL
NOT-TO-SCALE

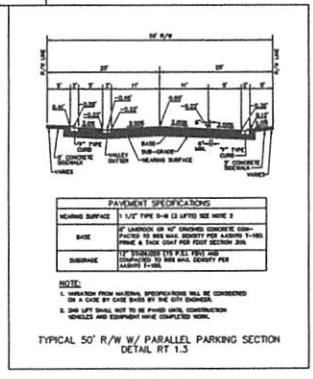




TRENCH DRAIN
N.T.S.



18" DRAIN BASIN
N.T.S.



TYPICAL 50' R/W W/ PARALLEL PARKING SECTION
DETAIL RT 1.3

NOTE: USE PAVING SPECIFICATIONS FOR ASPHALT PAVING IN ALLEY.

811 Know what's below. Call before you dig.

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1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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NO.	DATE	REVISIONS
1		
2		
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4		

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PAVING & DRAINAGE DETAILS FOR:
MARION RESIDENCE
131 NW 1ST AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
Corporate Office: 2300 Corporate Blvd. Suite 232
250 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 272-0555 Fax: (561) 272-0558

DRAWN: K.F.D.
CHECKED: J.A.P.
DATE: 8/16/19
JOB NO. 19002-DTL
SHEET NO. 2 OF 6

G:\JOBS\19002 - 131 NW 1st Ave Marion Res Delray Beach\DWG\19002 DTL.dwg, 8/16/2019 4:48:35 PM, AEPlot.cfg, 1=24.00 x 36.00 inches

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.
2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL ROOT, BRUSH, ROOTS OR OTHER OBJECTIONABLE MATTER ENCOUNTERED IN THE CONSTRUCTION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CONTOURS OF THE SUBGRADE TO A DEPTH OF 12 INCHES BELOW THE LINE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.
3. SUBLIMITED BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SUBLIMITED BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SUBLIMITED BASE SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.
4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
5. MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A DEPTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF MUCK/PEAT IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A DEPTH OF TWO FEET AT THE SWALE BANKS AND REPLACED WITH GRANULAR MATERIAL.
6. WHERE SOD IS SPECIFIED, LOWER THE GRADE 3 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.
7. CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
8. MUCKO - WHERE MUCKO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDED HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.
9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE SC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.
10. TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.05 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
12. ALL CONCRETE SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-17, WHICHEVER APPLICABLE.
14. SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS (IF EXISTS) WHO PAST ARE BEHIND THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY CHECK TO THE CONSIDERATION AND COMPACTION OF THE SUBGRADE.
15. INLETS AND MANHOLES - ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND HIGHWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHICH APPLICABLE.
16. GRADE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
17. GRADES SHOWN ARE FINISHED GRADES.
18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. N/A N.A.V.D.
19. REINFORCED CONCRETE PIPE - THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE COVERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
22. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADWAY OR PARKING AREAS SHALL BE COVERED IN THE FDOT SPECIFICATIONS, LATEST EDITION. FILTER MATERIAL SHALL BE PLACED IN 300 INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST FLUSH HOSE AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAY HAS BEEN INSTALLED.

GENERAL NOTES

1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT REFLECT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE RELOCATIONS OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL ELEVATIONS REFER TO N.A.V.D. 1988. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 21.00' (CONSTRUCTION).
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE REVIEWING AGENCIES.
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED NOTICES AND COMPLYING WITH ALL FORMITED CONDITIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
10. ALL CONCRETE SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
12. DAVIDSON ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 943.2.3.1
16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/LOCATIONS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST EDI.).
20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING CONVENTIONAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 612 OF THE FDOT DESIGN STANDARDS (LATEST EDI.)

CITY OF DELRAY BEACH GENERAL NOTES

[illegible]

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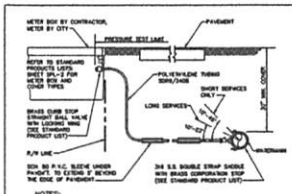
DAVIDSON ASSOCIATES, INC.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
[illegible]
PH. (561) 737-[illegible]

PAVING & DRAINAGE DETAILS FOR:
MARION RESIDENCE
131 NW 1ST AVE
DELRAY BEACH, FLORIDA

No.	Date	Revision
1		
A		

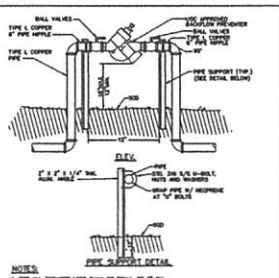
DESIGN: E.F.D.
CHECKED: J.A.P.
DATE: 6/16/19
JOB NO. 19003-01
SHEET NO. 3 of 6



NOTES:

1. SUPERVISE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.)
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
9. ALL VALVES TO BE BALL VALVES.
10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
12. IF EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER. IF EXISTING SERVICE IS UNUSABLE, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.

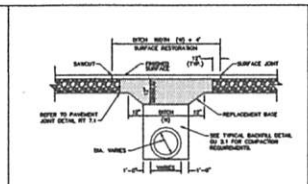
TYPICAL SERVICE CONNECTION PW 9.1o



NOTES:

1. FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
3. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
4. RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.02.
5. USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIRECTOR OF UTILITIES.
6. RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

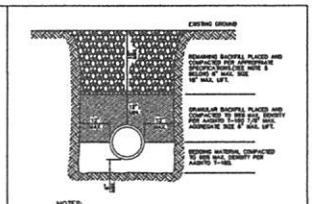
REDUCED PRESSURE ZONE BACKFLOW PREVENTER PW 10.2



NOTES:

1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
2a. BASE MATERIAL SHALL BE PLACED IN THIN LIFTS, AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
2b. 12" OVERHANGING PLEXIGLAS FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. ALL ENGINEERED PAVEMENT MARKINGS SHALL BE REMOVED IN ACCORDANCE WITH CITY STANDARDS.
5. SURFACE MATERIAL SHALL BE F.D.O.T. TYPE S-1 OR S-III ASPHALTIC CONC. (MIN. THICKNESS 1 1/2").
6. ANY PAVE OUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNIMPEDED TRAFFIC FLOW.

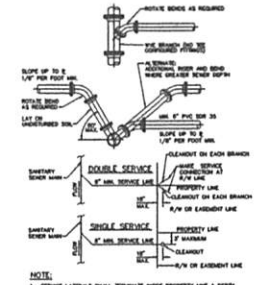
PAVEMENT REPAIR DETAIL GU 1.1



NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED BEHIND CAISSON AND BACKFILL CONSISTING OF WASHED AND GRADED UNBROKEN 3/4" -1 1/2" STONE.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-COMPACT THE AREA IN QUESTION, DIGS TO THE BOTTOM OF MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

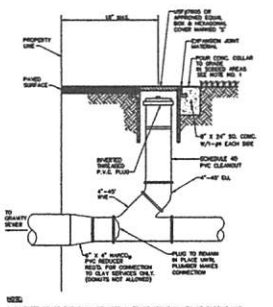
TYPICAL BACKFILL DETAIL GU 2.1



NOTE:

1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
3. SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.

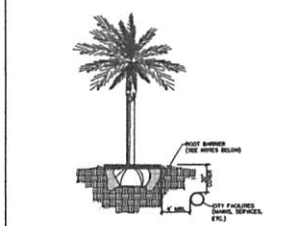
SEWER SERVICE CONNECTIONS WW 4.1



NOTE:

1. BARRED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

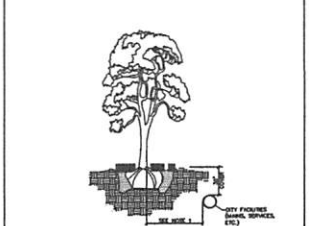
TYPICAL RESIDENTIAL CLEANOUT WW 5.1



NOTES:

1. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY FACILITIES.
2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
3. ROOT BARRIERS SHALL BE MINIMUM 24" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 26" PANELS MANUFACTURED BY DEEPROOT.
4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1



NOTES:

1. THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

811 Know what's below. Call before you dig.

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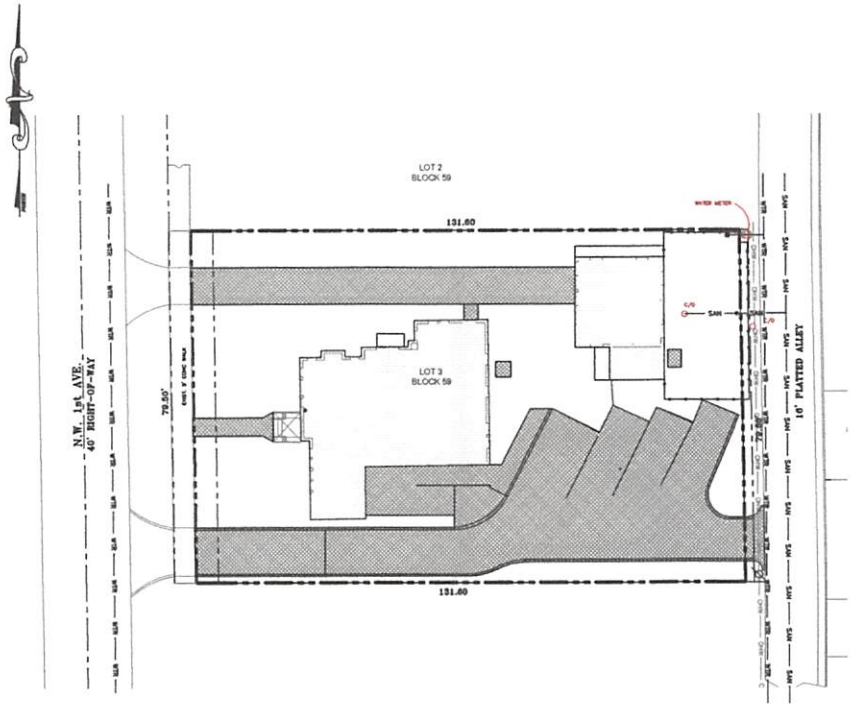
JOSHUA A. PAGE, P.E. No. 63 / 73888

WATER & WASTEWATER DETAILS FOR:
MARION RESIDENCE
131 NW 1ST AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates
ENGINEERS • ENVIRONMENTAL CONSULTANTS
Certificate of Authorization #8-3556
208 Palmetto Drive, Boy Scouts Building, Delray Beach, Florida 33444
Phone: (561) 274-0202 Fax: (561) 274-0203

DRAWN: K.P.D.
CHECKED: J.A.P.
DATE: 8/16/19
JOB NO. 19082-DTL
SHEET NO. 4 OF 6



LOCATION MAP
N.T.S.

LEGEND:

PROPERTY LINE

DENOTES EXIST IMPROVEMENTS TO BE REMOVED

DENOTES EXIST STRUCTURES TO REMAIN

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL EXISTING ON-SITE UTILITIES WITH THE UTILITY PROVIDERS PRIOR TO REMOVAL OF ANY UTILITIES.
2. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING ON-SITE IMPROVEMENTS IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCY REQUIREMENTS. NO DEBRIS SHALL BE BURIED ON-SITE.
3. THE CONTRACTOR SHALL PLUG/CAP ALL EXISTING WATER AND SEWER SERVICES NOT TO REMAIN AT THE MAIN AND REMOVE ALL ABANDONED LINES.
4. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PRIVATE DRAINAGE. NO EXISTING DRAINAGE SHALL REMAIN UNDERGROUND, INCLUDING, BUT NOT LIMITED TO, ANY EXISTING EXFILTRATION TRENCH, STORM PIPE, OR CATCH BASINS.
5. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PAVEMENT AND BASE MATERIALS. EXISTING BASE MATERIALS MAY BE RECYCLED ON-SITE AS SUBGRADE STABILIZER BUT SHALL NOT BE REUTILIZED AS A PAVING BASE MATERIAL.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS.
7. THE CONTRACTOR SHALL PROVIDE DUST AND POLLUTION PREVENTION MEASURES PRIOR TO, AND MAINTAIN DURING, ANY DEMOLITION WORK. SEE DETAILS ON SHEET 8.
8. TRENCH RESTORATION ASSOCIATED WITH DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE TRENCH RESTORATION DETAILS INCLUDED ON SHEET 4.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY CONTAMINATED SOILS, AS DESIGNATED BY OTHERS, ARE HANDLED AS REQUIRED BY REGULATORY AGENCIES. NO WORK SHALL BE PERFORMED IN THESE AREAS WITHOUT PRIOR APPROVAL FROM REGULATORY AGENCIES.

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'

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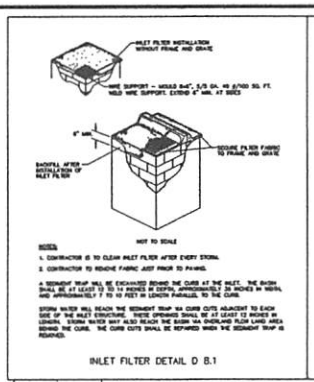
NO.	DATE	REVISIONS
1	07/08/19	REVISE PER NEW SITE PLAN & LANDSCAPE PLAN

DEMOLITION PLAN FOR:
MARION RESIDENCE
131 NW 1ST AVE.
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
2101 FLORIDA CENTRAL PARKWAY, SUITE 1
POMPANO BEACH, FLORIDA 33069
Phone: (954) 971-5500 Fax: (954) 374-8868

DRAWN: K.F.D.
CHECKED: J.A.P.
DATE: 03/20/19
JOB NO. 19062-ENG
SHEET NO. 5 OF 6



NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

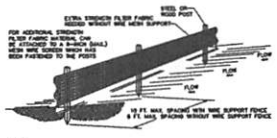
A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 24 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 12 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D 8.1

1. THE INTENT OF EROSION CONTROL MEASURES PROVIDED GRAPHICALLY ON PLANS IS TO REDUCE A SUBSIDE TO CONTROL SILT AND SEDIMENT ON THE SITE. THE SILT FENCE SHALL PROVIDE FOR THE ACCUMULATION OF SILT IN SEDIMENTS. THE INTENT OF EROSION CONTROL SHALL BE TO REDUCE THE SEDIMENT LOAD TO THE MAXIMUM EXTENT PRACTICABLE. SILT FENCE IS THE PRIMARY AND PERMANENT MEASURE TO PREVENT THE SEDIMENTATION OF WATERS BY WATER THAT CONTAINS SILT. SILT FENCE SHALL BE INSTALLED PRIOR TO THE EXTENSIVE EARTH DISTURBANCE THAT MAY OCCUR DURING THE CONSTRUCTION PROCESS. ADDITIONAL SILT FENCE SHALL BE INSTALLED AS NEEDED TO MEET THE INTENT OF THE DESIGN.
2. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO PREVENT SEDIMENTATION OF WATERS BY WATER THAT CONTAINS SEDIMENT. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO PREVENT SEDIMENTATION OF WATERS BY WATER THAT CONTAINS SILT. ADDITIONAL EROSION CONTROL MEASURES SHALL INCLUDE BALES OF HAY, SILT FENCE, SEDIMENT TRAPS, SEDIMENTATION BASINS, AND OTHER SEDIMENTATION RESTRICTION MECHANISMS IN THE DESIGN.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH PRECIPITATION EVENT THAT EXCEEDS ONE INCH. REPLACEMENT OF SILT FENCE SHALL BE MADE PROMPTLY, AS NEEDED.
4. SILT FENCE SHALL BE REMOVED AFTER THE SITE IS STABILIZED.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
6. FAILURE TO PROPERLY MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION STOP WALTON.
7. REMOVED SILTED TRAPS, BE PROTECTED BY FILTER AND GRADED BACK AS PER PLAN PROVIDED DETAIL.
8. ANY ACCESS ROADS TO SITE SHALL BE GRADED WITH CRUSHED STONE, WHERE PRACTICAL.
9. ALL EXPOSED GROUND, MEASURED AND TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. MAXIMUM PRUNING, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. EXCAVATED FILL MATERIALS OPERATIONS SHALL BE RETAINED WHERE IN A CONFIDENTIAL AREA.

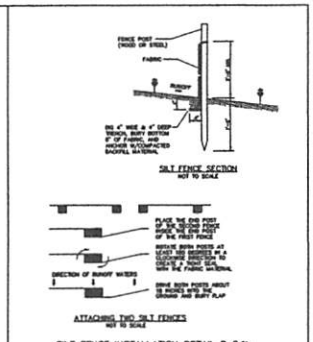
EROSION CONTROL NOTES DETAIL D9.1



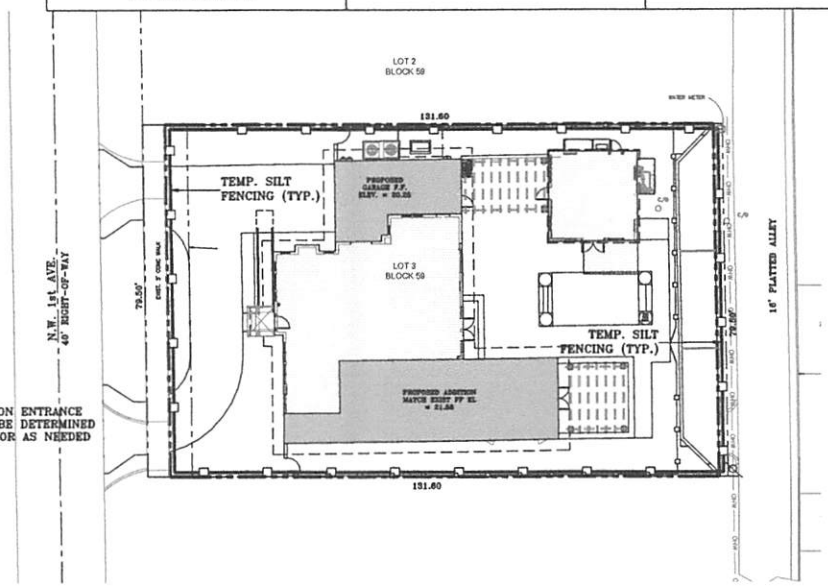
NOTES:

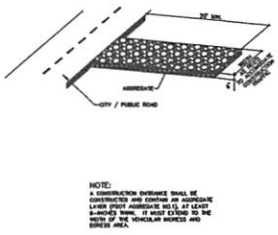
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR WIRE RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 3 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 24 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 20 INCHES (50 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2



SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2





NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C

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NO.	DATE	REVISIONS
1		
2		
3		
4		

NOT VALID WITHOUT ORIGINAL SEAL

PRINTED 8 - 7"x11" R. ALL 2 SHEETS

POLLUTION PREVENTION PLAN FOR:
MARION RESIDENCE
131 NW 1ST AVE.
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
2300 Palmer Avenue, Suite 1 Delray Beach, Florida 33444
Phone: (561) 272-0555 Fax: (561) 272-0558

DRAWN: K.P.D.
CHECKED: J.A.P.
DATE: 08/20/10
JOB NO. 10002-ENG
SHEET NO. 6 OF 6

PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
N BS	2	Bursera simaruba (Gumbo Limbo) 8' straight single trunk, 8' o.a., 12' ht., 7' spr., 4" cal.
N CES	2	Conocarpus erectus 'sericeus' (Silver Buttonwood) 8' straight single trunk, 8' o.a., 12' ht., 7' spr., 3" cal.
N CE	4	Conocarpus erectus (Green Buttonwood) 8' straight single trunk, 8' o.a., 12' ht., 7' spr., 3" cal.
PE2	1	Ptychosperma elegans (Double Alexander Palm) 16' o.a. ht., double, full
PE3	1	Ptychosperma elegans (Triple Alexander Palm) 16' o.a. ht., triple, full

KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		
ALP	2	Alpinia zerumbet 'Variegata' (Variegated Shell Ginger) 4'-5' ht., 30" spr., full to ground
ALO	3	Alocasia macrorrhiza 'California' (Dwarf Elephant Ears) 2'-4' ht., 30" spr., full, matched
BAM	8	Bambusa textilis gracilis (Graceful Bamboo) 8'-9' ht., 3' spr., full, matched
BEG	3	Begonia 'Angel Wing' (Angel Wing Begonia) 30" ht., 24" spr., 3/4" o.a.
CCH	18	Trachelospermum jasminoides (Confederate Jasmine) 12"-24" ht., 12" spr., 24" o.c.
CRO	3	Croton 'Stranaholm' (Stranaholm Croton) 3' o.a. ht., 24" spr., standard, full
CYC	3	Cycas revoluta (Sago Palm) 2'-4' ht., 3' spr., full, matched
DIE	28	Dieffenbachia (Albicans Vera) 18" ht., 12" spr., 18" o.c.
FGI	35	Ficus microcarpa 'Green Island' (Ficus Green Island) 14" ht., 14" spr., 18" o.c.
N IVS	44	Ilex vomitoria 'Schillings Dwarf' (Schillings Dwarf Holly) 14" ht., 14" spr., 18" o.c.
IXO	33	Ixora 'Nora Grant' (Ixora) 18" ht., 18" spr., 24" o.c.
IXT	9	Ixora 'Petite' (Taiwanese Ixora) 24" ht., 18" spr., 18" o.c.
LIR	50	Liriope muscari (Liriope) 12" ht., 12" spr., 18" o.c.
N ERN	35	Ernodea littoralis (Golden Beach Creeper) 18" ht., 18" spr., 24" o.c.
POD	45	Podocarpus macrophylla (Podocarpus Hedge) 4'-5' ht., 24" spr., 24" o.c.
PRC	3	Philodendron 'Royal Congo' (Royal Congo) 2' ht., 24" spr., 24" o.c.
SPA	21	Spathiphyllum alleizotii (Green Orchids) 18" ht., 12" spr., 18" o.c.
TRA	220	Trachelospermum asiaticum (Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.
TRV	80	Trachelospermum asiaticum 'variegatum' (Variegated Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.

N DENOTES NATIVE SPECIES

MULCH — Dark Brown Mulch, use cypress – Contractor to determine quantity, 3" depth

ARTIFICIAL TURF — Contractor to determine quantity.

STEPPING STONES: (34) 18" x 18"

NOTES

All plant material to be Florida #1 or better.
Sod to be St. Augustine 'Floratam', contractor to determine quantity.
All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.
Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.

SPECIFICATIONS

MINIMUMS: All plant material used shall be true to name and size in conformity with the Florida Nurseryman's Grades and Standards, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.
PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedence over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities needed for as plans. Discrepancies should be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.
PLANTING SOIL: Topsoil shall be clean, clarity, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 6" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Ground cover plants shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.
FERTILIZER: Palms and tropical fertilizer (10-2-10) or approved equal shall be applied after planting and prior to mulching per manufacturer recommended application rates.
MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade "A" unless otherwise approved.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2 away from walls or other destructions. Material with a mature size greater than any exterior shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palmetto are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.
WATERING: All plant material shall be watered to thoroughly after installation so as to remove all air pockets. Sod material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.
GUYING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect. However, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.
SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 3 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be rolled smooth and all debris removed prior to installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

CITY OF DELRAY BEACH STANDARD RECOMMENDATIONS

All plant material shall be grade #1 or better.

Mulch shall be applied to a minimum depth of three (3) inches in all planting beds.

All prohibited plant species shall be eradicated from site.

All landscape areas shall be provided with an irrigation system, automatically operated, to provide complete coverage to all plant materials and grass to be maintained. System shall be equipped with proper pressure reducer valves / backflow system and a rain sensor / automatic cutoff.

Sod and irrigation shall be provided within the expanded portion of the right-of-way adjacent to the Property Line.

Reinforced concrete curbing at least six (6) inches in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with drainage.

No trees or shrubs shall be planted in Water, Sewer or Drainage Easements.

Existing native sod within all landscape islands, interior landscape strips and perimeter strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of the curb or pavement (see diagram below). A suitable planting soil mixture of 50/50 (sand/topsoil) shall either be backfilled in place of the native soil or artificially mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than 1/2" dia. prior to mixing. All properties owner this section shall be responsible for the installation and maintenance of sod in lieu of backfilling to ensure the thirty (30) inch depth has been met.

LANDSCAPE CALCS–DELRAY BEACH

A.	TOTAL LOT AREA		9,905	SQ. FT.
B.	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		7,142	SQ. FT.
C.	TOTAL PERVIOUS LOT AREA	C=(A-B)	2,763	SQ. FT.
D.	AREA OF SHRUBS AND GROUND COVER REQUIRED	D=(C x .30)	829	SQ. FT.
E.	AREA OF SHRUBS AND GROUNDCOVERS PROVIDED		1,428	SQ. FT.
F.	NATIVE VEGETATION REQUIRED	F=(D x .25)	207	SQ. FT.
G.	NATIVE VEGETATION PROVIDED		248	SQ. FT.
H.	TOTAL PAVED VEHICULAR USE AREA		616	SQ. FT.
I.	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I=(H X .10)	62	SQ. FT.
J.	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		385	SQ. FT.
K.	TOTAL INTERIOR SHADE TREES REQUIRED	K=(I / 125 S.F.)	1	TREES
L.	TOTAL INTERIOR SHADE TREES PROVIDED		1	TREES
M.	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREA		241	L.F.
N.	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N=(M / 30)	8	TREES
O.	TOTAL NUMBER OF PERIMETER TREES PROVIDED		12	TREES
P.	TOTAL NUMBER OF TREES TO BE SAVED OF SITE		4	TREES
Q.	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q=(E x .30)	5	TREES
R.	TOTAL NUMBER OF NATIVE TREES PROVIDED		12	TREES
S.	TOTAL NUMBER OF TREES ON PLAN PROVIDED		13	TREES

EXISTING TREES ON SITE

NAME	TO REMAIN (EA)
LIVE OAK	1
GUMBO LIMBO	2
PARADISE PALM	1

MITIGATION CALCS

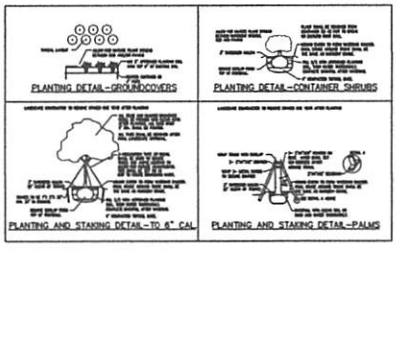
MITIGATION REQUIRED		12"
MITIGATION PROPOSED		TOTAL CAL. INCHES
UPSIZED (2) GUMBO LIMBO		4"
ADDED (4) GREEN BUTTONWOODS		8"
	TOTAL INCHES	12"

TREE KEY

EXISTING TREE TO REMAIN

IRRIGATION NOTES

Contractor to modify existing irrigation system to provide 100% coverage to all plants using approved water source. Rain sensor required as per City code.



ACTLAND
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137 NORTH SWINTON AVENUE
DELRAY BEACH, FL 33444
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F (561) 276-6277
www.actland.com

SCALE: 1"=10'-0"

PROJECT
MARION RESIDENCE
131 N.W. 1ST AVENUE
DELRAY BEACH, FL

TITLE
LANDSCAPE PLAN

PROJ. NO.	
LP-1	FILE NAME
BB	DRAWN
3/29/19	DATE
6/28/19	REV.
8/20/19	

SHEET
LP-1

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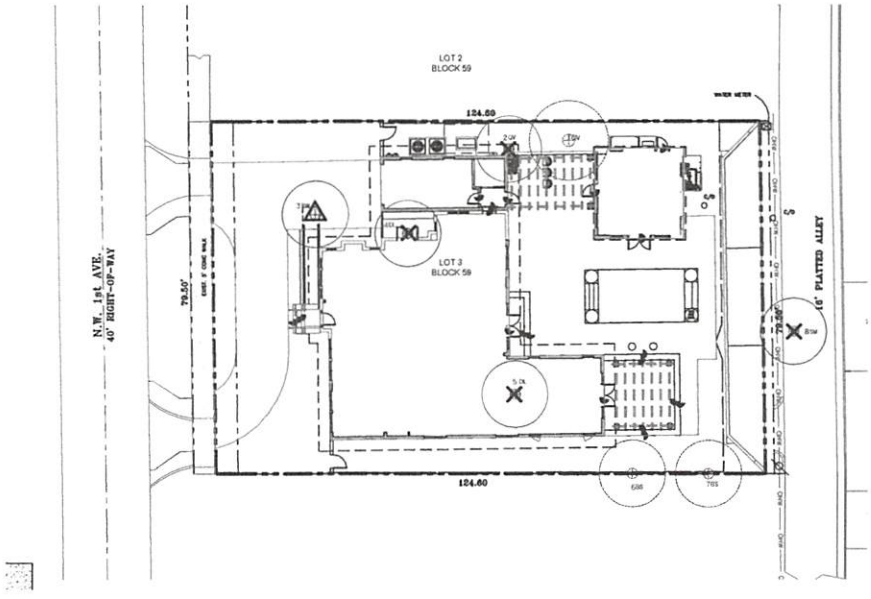

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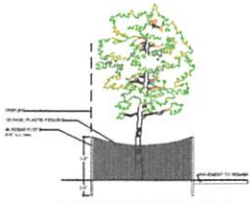


PLACE LP-IMAGE PLANTS PERGOLA BY TRUGAS OR OTHER APPROVED EQUAL. PLANTS SHALL BE PLACED AT THE DRIPLINE OF THE TREE (UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN) AND 3 FT. (THREE FEET) BEYOND THE DRIPLINE. SHRUBS SHALL BE PLACED AT THE EDGE OF THE DRIPLINE OF THE TREE (UNLESS OTHERWISE INDICATED ON THE PLAN) AS FEASIBLE WHERE THE UNLIKELY OVERGROWN PLACEMENT THAT IS TO REMAIN. SHRUBS SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.

TREE PROTECTION DETAIL

N.T.S.

TREE PROTECTION NOTE

All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.

TREE LEGEND

- EXISTING TREE TO BE RELOCATED
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN IN PLACE

TREE RELOCATION AND PROTECTION NOTES

1. All trees to be relocated to be tagged in field with orange tree tape.
2. Trees to be relocated will be coordinated by contractor with City of Delray Beach to be relocated to city property.
3. Five (5) Live Oak and three (3) Florida Palm to be tagged and relocated off site.
4. If possible at relocations to be done by 90" tree spade. If relocation by tree spade is not feasible, then hand digging will be required.
5. Tree relocation to be coordinated with ground contractor on site to minimize unloading.
6. Identify all underground utilities prior to tree relocation.
7. All salvaging of relocated trees on city property to be handled by others.
8. All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.
9. Trees over four inches in caliper that are to be relocated off to root pruned at least eight weeks in advance of their moving date.

TREE MITIGATION SUMMARY

NO.	KEY	LATIN NAME	COMMON NAME	HT. AND SPR.	CONDITION	PROPOSED ACTION	DBH
1	QV	QUERCUS VIRGINIANA	LIVE OAK	30' Ht., 25' spr.	34%	REMAIN	10"
2	QV	QUERCUS VIRGINIANA	LIVE OAK	30' Ht., 30' spr.	47%	REMOVE- Girdling roots, limited root space for this species, no control locally	12"
* 3	PW	ACOELORRHAPHE WRIGHTII	PARRYOTO PALM	15' Ht., 5' spr.	80%	RELOCATE	n/a
4	EL	DIPSIS LUTESCENS	ARECA PALM	8' Ht., 4' spr.	25%	REMOVE- Too small to be free	n/a
5	EL	DIPSIS LUTESCENS	ARECA PALM	12' Ht., 12' spr.	50%	REMOVE- Nutrient deficiencies	n/a
6	SS	SUSERIA SMARUBA	QUABO LARGO	14' Ht., 12' spr.	50%	REMAIN	10"
7	SS	SUSERIA SMARUBA	QUABO LARGO	12' Ht., 10' spr.	30%	REMAIN	8"
8	SM	SWETENIA MAHAGONI	MAHOGANY	22' Ht., 20' spr.	25%	REMOVE- Storm damage, limited root space for this species, no control locally	12"

* SEE SHEET LP-1 FOR TREE RELOCATIONS

MITIGATION REQUIRED 12"

PROJECT
MARION RESIDENCE
131 N.W. 1ST AVENUE
DELRAY BEACH, FL

TITLE
TREE REMOVAL PLAN

LP-1	PROJ. NO. / FILE NAME
BD	DRAWN
1/15/19	DATE
1/29/19	REV.
6/28/19	
8/20/19	

SHEET
TR-1

PARKING INFORMATION	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE
SINGLE FAMILY DETACHED RESIDENCE	2(DW)ELLING UNIT	1 D.U.	2 SPACES	2 SPACES (+ garage on car lift)
BUSINESS AND PROFESSIONAL OFFICE	1/400 S.F. NET AREA	1,030 S.F.	2.57 SPACES	3 SPACES

MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)						
	WEEKDAY			WEEKEND		
USE	12am - 6am	9am - 4pm	6pm - 12am	9am - 4pm	6pm - 12am
RESIDENTIAL (2 REQ'D)	(100%) - 2.0	(60%) - 1.2	(90%) - 1.8	(80%) - 1.6	(90%) - 1.8
OFFICE (3 REQ'D)	(5%) - 0.15	(100%) - 3.0	(10%) - 0.3	(10%) - 0.3	(5%) - 0.15
TOTAL	2.15	4.2	2.1	1.9	1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM)	7 (TOTAL)

ZONING (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)	REQUIRED	EXISTING	PROPOSED
LOT SIZE	N/A	10,462 S.F.	9,965.7 S.F.
BUILDING SQUARE FOOTAGE (A/C)	N/A	1,797 S.F.	2,800 S.F.
BUILDING SQUARE FOOTAGE (TOTAL)	N/A	1,874 S.F.	3,749 S.F.
OPEN SPACE (non-vehicular)	35% = 3,612.5 SF OF REMAIN 20% = 2,415.5 SF OF PROPOSED	45% = 5,677 S.F.	27.9% = 2,783 SF.
FRONT SETBACK	25 FEET MIN.	25'-3"	26'-0" ADDITION (25'-0" existing house)
SIDE SETBACK	7 FEET 6 INCH MIN.	VARIES (6'-1" MIN)	7'-6" ADDITION
REAR SETBACK	10 FEET MIN.	VARIES (19'-3" MIN)	36'-4" ADDITION
STRUCTURE HEIGHT (HOUSE)	35 FEET MAX.	19'-0" GRADE TO MID-POINT	19'-0" GRADE TO MID-POINT
STRUCTURE HEIGHT (GUEST HOUSE)	35 FEET MAX.	11'-4"	11'-4"
COMMERCIAL (OFFICE)	N/A	N/A	1,385 S.F.
RESIDENTIAL	N/A	N/A	1,337 S.F.

TOTAL AREA: 2,722 S.F.

COMMERCIAL / RESIDENTIAL AREA CALCULATION	
COMMERCIAL	1030 SF
COMMERCIAL - GARAGE	355 SF
RESIDENTIAL	1337 SF
TOTAL AREA	2722 SF

Florida Fire Prevention code 6th Edition - Florida Specific NFPA 1 Fire code, 2015 Edition and Florida Specific NFPA 101 Life Safety Code, 2015 Edition.

EXISTING A/C S.F. CALCULATION AREA CALCULATION	
EXISTING MAIN HOUSE	1375 SF
EXISTING GUEST COTTAGE	412 SF
TOTAL AREA	1787 SF

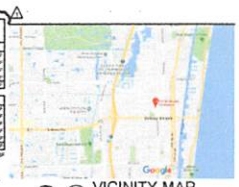
AREA CALCULATION	
CONC ENTRY EXISTING	27 SF
EXISTING STORAGE	61 SF
OPEN PORCH EXISTING	89 SF
TOTAL AREA	177 SF
TOTAL EXISTING AREA	1,874 SF

EXISTING OPEN SPACE CALCULATIONS	
EXIST. 1ST AREA	10462 SF
EXIST. IMPERVIOUS	4785 SF
EXIST. OPEN SPACE	5677 SF

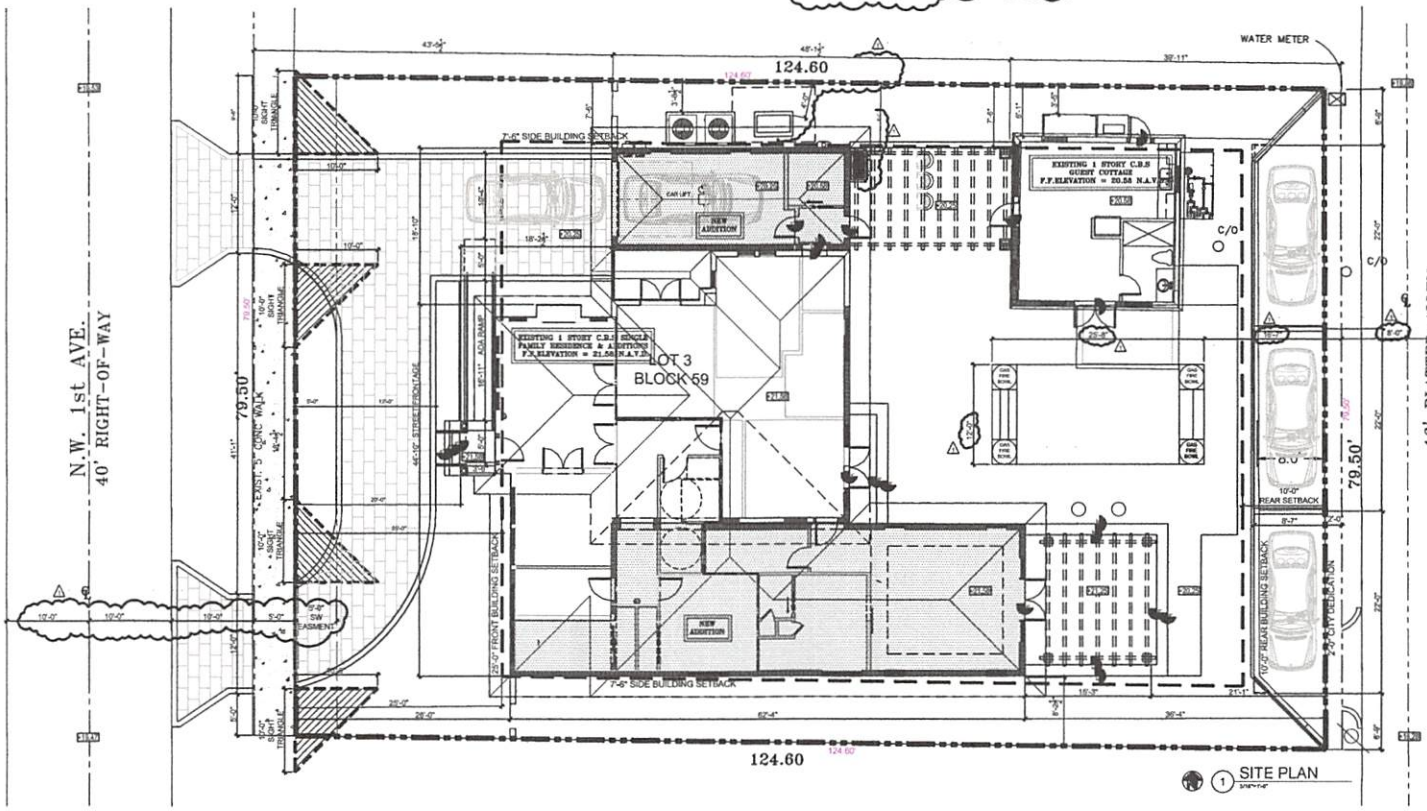
NEW OPEN SPACE CALCULATIONS	
1ST AREA	10462 SF
IMPERVIOUS	7142 SF
OPEN SPACE	3320 SF

NEW + EXISTING A/C S.F. CALCULATION AREA CALCULATION	
EXISTING MAIN HOUSE	1375 SF
EXISTING GUEST COTTAGE	412 SF
ADJACENT BRA MASTER	187 SF
MUNDER'S HALL BATH	81 SF
TOTAL AREA A/C	2055 SF

AREA CALCULATION	
COMMERCIAL - GARAGE	355 SF
CON. ENTRY EXISTING	27 SF
OPEN PORCH EXISTING	89 SF
TRELLIS @ MASTER	195 SF
TRELLIS @ OUTDOOR BAR	234 SF
TOTAL AREA IN A/C	2,800 SF
TOTAL AREA IN ADDITION	2748 SF



1 VICINITY MAP
N.T.S.



REVISIONS	BY	DATE
1 TAC COMMENTS	MP	06.24.19

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT ARCHITECTS
distinctive inspirational architecture

Job No. 1809063

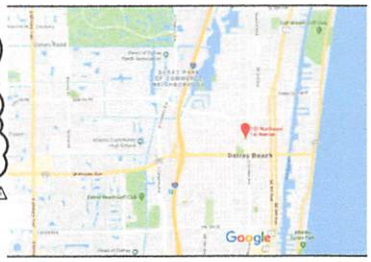
A101

PARKING INFORMATION				
	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE
SINGLE FAMILY DETACHED RESIDENCE	2 DWELLING UNIT	1 D.U.	2 SPACES	2 SPACES (in garage or car ht)
BUSINESS AND PROFESSIONAL OFFICE	1/400 S.F., NET AREA	1,050 S.F.	2.57 SPACES	3 SPACES

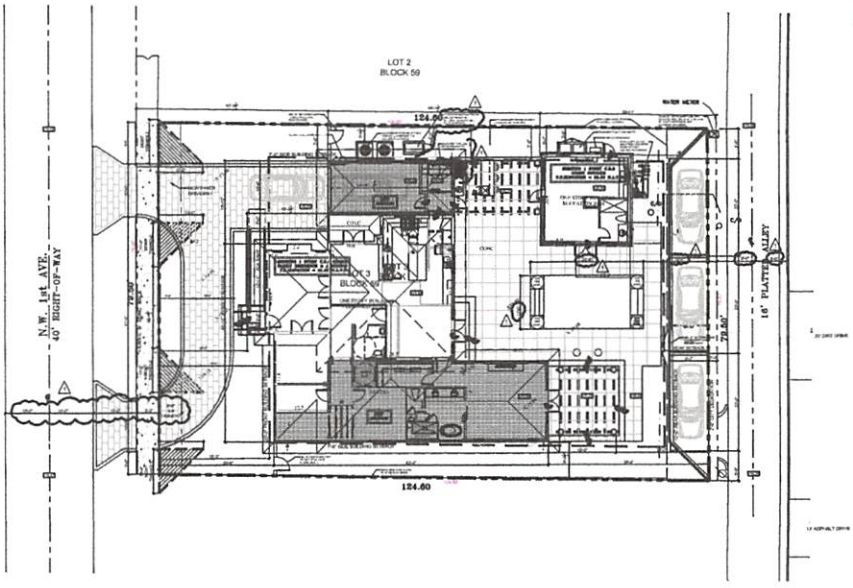
MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)

	WEEKDAY			WEEKEND	
USE	12am - 6am	6am - 4pm	4pm - 12am	6am - 4pm	4pm - 12am
RESIDENTIAL (2 REQ'D)	(100%) - 2.0	(60%) - 1.2	(90%) - 1.8	(80%) - 1.6	(90%) - 1.8
OFFICE (3 REQ'D)	(5%) - 0.15	(100%) - 3.0	(10%) - 0.3	(10%) - 0.3	(5%) - 0.15
TOTAL	2.15	4.2	2.1	1.9	1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM)	7 (TOTAL)

ZONING: (OL) SCHOOL SQUARE HISTORIC ARTS DISTRICT				
	REQUIRED	EXISTING	PROPOSED	
LOT SIZE	N/A	10,402 S.F.	9,905.7 S.F.	
BUILDING SQUARE FOOTAGE (A/C)	N/A	1,791 S.F.	2,863 S.F.	
BUILDING SQUARE FOOTAGE (TOTAL)	N/A	1,814 S.F.	3,749 S.F.	
OPEN SPACE (non-vehicular)	35% = 3,641 SF OF OPEN SPACE 25% = 2,600 SF OF PERVIOUS	45% = 5,677 S.F.	27.9% = 2,763 SF.	
FRONT SETBACK	25 FEET MIN.	25'-0"	25'-0" ADDITION (25'-0" existing house)	
SIDE SETBACK	7 FEET 6 INCH MIN.	VARIES (6'-1" MIN)	7'-6" ADDITION	
REAR SETBACK	10 FEET MIN.	VARIES (19'-5" MIN)	36'-4" ADDITION	
STRUCTURE HEIGHT (HOUSE)	35 FEET MAX.	19'-0" GRADE TO MID-POINT	19'-0" GRADE TO MID-POINT	
STRUCTURE HEIGHT (GUEST HOUSE)	35 FEET MAX.	11'-4"	11'-4"	
COMMERCIAL (OFFICE)	N/A	N/A	1,385 S.F.	TOTAL AREA 2,722 S.F.
RESIDENTIAL	N/A	N/A	1,337 S.F.	



1 VICINITY MAP
N.T.S.



1 SITE PLAN
1" = 10'-0"

EXISTING OPEN SPACE CALCULATIONS

LOT AREA	10402 SF
EXIST. IMPERVIOUS	4725 SF
EXIST. OPEN SPACE	5677 SF

NEW OPEN SPACE CALCULATIONS

LOT AREA	10402 SF
IMPERVIOUS	7639 SF
OPEN SPACE	2763 SF

EXISTING A/C S.F. CALCULATION

AREA CALCULATION

EXISTING-MAIN HOUSE	1374 SF
EXISTING-GUEST COTTAGE	412 SF
TOTAL AREA	1791 SF

AREA CALCULATION

CON. ENTRY EXISTING	27 SF
EXISTING-STORAGE	91 SF
OPEN PORCH EXISTING	89 SF
TOTAL AREA	207 SF
TOTAL EXISTING AREA	1,814 SF

NEW + EXISTING A/C S.F. CALCULATION

AREA CALCULATION

EXISTING-MAIN HOUSE	1374 SF
EXISTING-GUEST COTTAGE	412 SF
A/C-ADDITION-MASTER	987 SF
A/C-ADDITION-UTILITY	91 SF
TOTAL AREA A/C	2864 SF

AREA CALCULATION

COMMERCIAL - GARAGE	208 SF
CON. ENTRY EXISTING	27 SF
OPEN PORCH EXISTING	89 SF
TRELLIS @ MASTER	169 SF
TRELLIS @ GUTTER BAR	226 SF
TOTAL AREA NON A/C	684 SF
TOTAL AREA W/ ADDITION	3548 SF

COMMERCIAL / RESIDENTIAL AREA CALCULATION

COMMERCIAL	1385 SF
COMMERCIAL - GARAGE	208 SF
RESIDENTIAL	1337 SF
TOTAL AREA	2722 SF

REVISIONS	BY	DATE
1 TAC COMMENTS	RSF	06.24.19

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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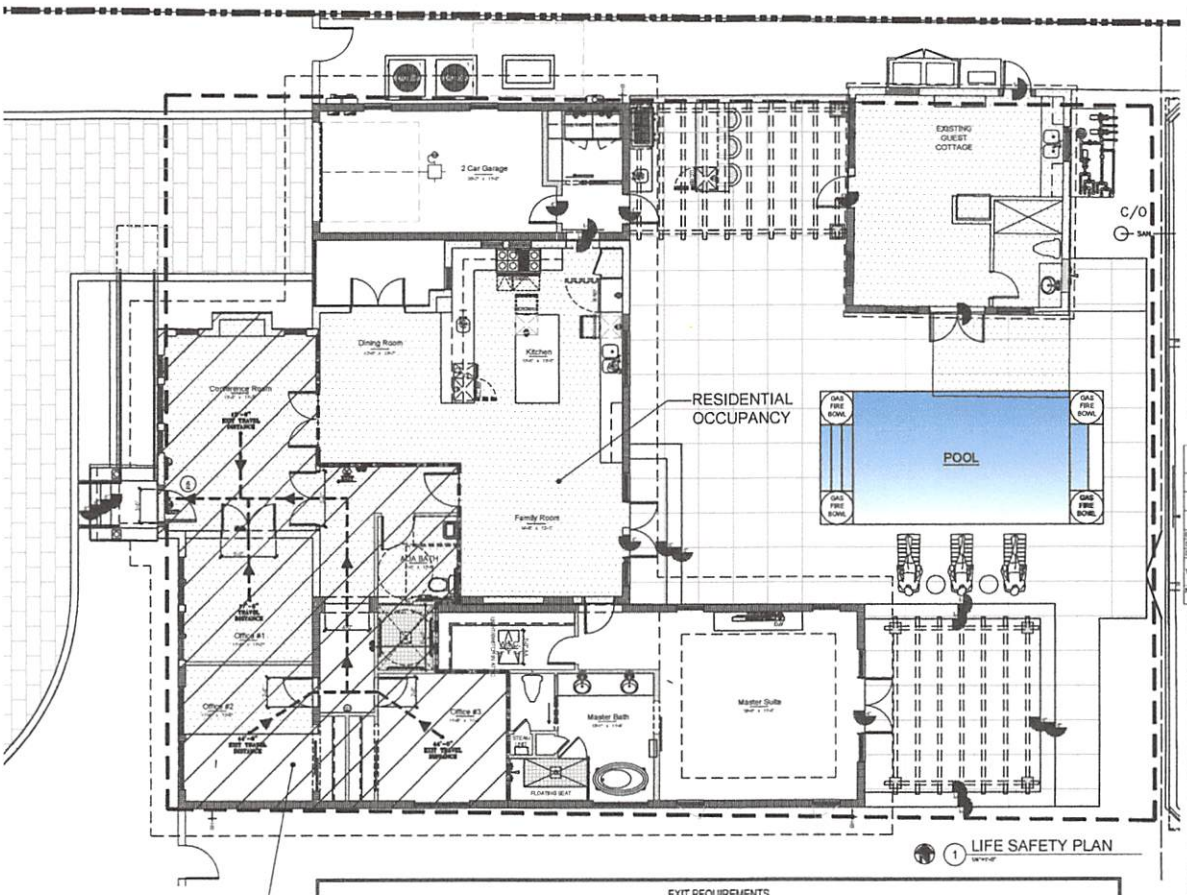
A101a



1 LIFE SAFETY PLAN

LIFE SAFETY PLAN LEGEND

(A) DENOTES OCCUPANCY

NOTE: TOTAL INTERIOR BUSINESS OCCUPANCY: 8

EXIT SIGN LED, SINGLE FACE, EDGE LIT, BATTERY BACKUP, CLEAR ALUMINUM MOUNT, RED LETTERS TO BE PLACED NO LESS THAN 60" AFF TO BOTTOM OF FIXTURE

THERMOPLASTIC EMERGENCY LIGHT FIXTURE WITH 90 MIN. EMERGENCY BATTERY PACK, MONRUBIN "CAA" SERIES.

RAISED CHARACTER & BRAILLE EXIT SIGNS: A SIGN STATING "EXIT" IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ADC 4.117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE. EXIT SIGN MUST BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR @ 60" A.F.F. TO THE CENTERLINE OF THE SIGN. BRAILLE LETTERING ALSO USED FOR VISION IMPAIRED PERSONS.

DIRECTION OF EGRESS TRAVEL w/ ACCUMULATED OCCUPANCY LOAD

FIRE EXTINGUISHERS

DESIGNED UNDER NFPA 10 (NO HAZARD OCCUPANCY)

MAX. 3,000 S.F. OF AREA TO BE PROTECTED BY ONE OF THE FIRE EXTINGUISHERS

(FE) LARGER LATER, MFR 3A10, 5B WATER (DY CHEMICAL TYPE) WEIGHS 10.25 LBS, 20" H, 13" W, 9.5"D W/ 24" HOSE, 3A-10BC WITH LARGER CABINET 24"H x 9W SURFACE MOUNTED, THE CABINET TO BE MOUNTED WITH ITS LEADING EDGE 41 OR BELOW 27" FROM THE FINISHED FLOOR TO COMPLY W/ ICH WALL PROJECTION.

MARION Delray Beach, Florida "B" Occupancy Per FBC 2017, Chapter 3, Section 304 Occupancy Load Calculations Per FBC 2017, Chapter 10, Section 1004, Table 1014.1.2				
Location	Square Footage	S.F. / Occupant Required		Max. # of Occupants
BUSINESS	736	100	(gross x 1)	7
STORAGE 1	22	300	(gross x 1)	0
STORAGE 2	24	300	(gross x 1)	0
Total				8
Note #1: Per 2017 FBC-Building, Chapter 10, Table 1004.1.2, BUSINESS				

MARION Delray Beach, Florida BUSINESS "B" Per FBC 201.7, Chapter 3, Section 309 MINIMUM PLUMBING FIXTURE CALCULATIONS Per FBC 2017, Plumbing, Chapter 4, Section 403, Table 403.1			
Total Occupant Load			8
Fixtures Men & women	Required		Provided
Water Closets	1 per 25 occupants For the first 50 and 1 per 50 for the remainder exceeding 50	0.01	1
Urinal			N/A
Lavatories	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	0.01	1
Drinking Fountain	1 per 1000 occupants	1	1 SEE NOTE #2
Service Sink	not required - see note #1		

Note #1 : Per section 403.2 exception #e : For business and mercantile occupancies with an occupant load of 15 or fewer, service sink is not required.

NOTE #2 : WATER COOLER PROVIDED.

EXIT REQUIREMENTS

PER FBC 2017 TABLE 1006.2.1

SPACE	OCCUPANT LOAD (SEE CALCS.)	SPRINKLERED	MIN. # OF EXITS REQUIRED	# OF EXITS PROVIDED	MIN. SEPARATION OF EXITS REQUIRED	SEPARATION OF EXITS PROVIDED	MAX. TRAVEL DISTANCE	COMMON PATH OF EGRESS TRAVEL	STAIR EGRESS WIDTH (IN INCHES)	REQUIRED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)	PROVIDED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)
BUSINESS	8 OCCUPANTS	YES	1	1	N/A	N/A	100'-0"	40'-0"	N/A	32"	34" CLEAR

EGRESS DOOR NOTES:

1. ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.
2. ALL DOORS REQUIRED TO BE ACCESSIBLE TO HAVE A CLEAR OPENING WIDTH OF 32" WITH THE DOOR OPENED 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR & THE OPPOSITE STOP.
3. MULTIPLE MEANS OF EGRESS SHALL BE SIZED SUCH THAT THE LOSS OF ANY ONE MEANS OF EGRESS SHALL NOT REDUCE THE AVAILABLE CAPACITY TO LESS THAN 50% OF THE REQUIRED CAPACITY.
4. MAINTAIN A MINIMUM OF 12" CLEAR SPACE ON THE PUSH SIDE & 18" CLEAR SPACE ON THE PULL SIDE OF DOORS PER 2017 FLORIDA ACCESSIBILITY CODE, CHAPTER 11.
5. ALL THRESHOLDS AT DOORS NOT TO EXCEED 1/2", RAISED THRESHOLDS & FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED w/ SLOPE NO GREATER THAN 1:2.

REVISIONS	BY	DATE
1 TAC COMMENTS	JBP	06.24.19

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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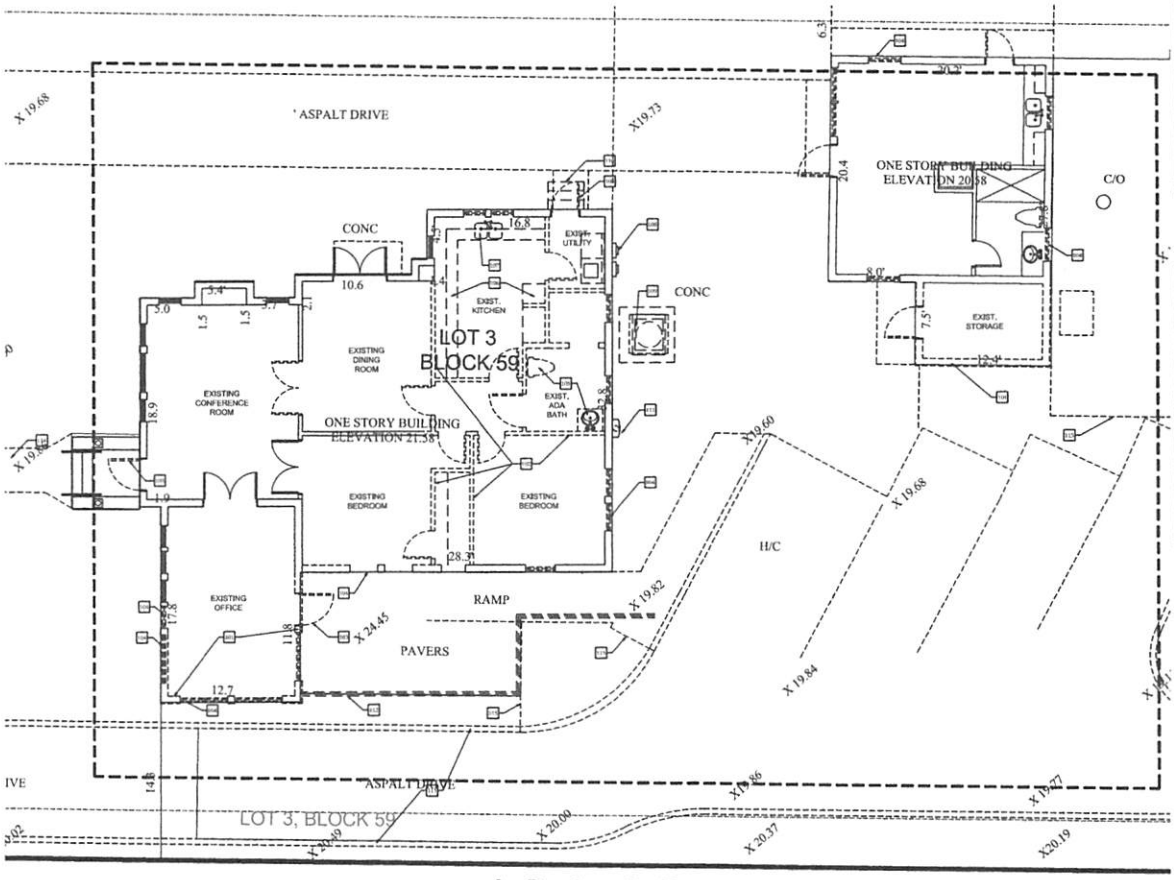

DEMOLITION PLAN

DEMOLITION PLAN KEY NOTE LEGEND

DEMOLITION GENERAL NOTES

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT ARCHITECTS

Job No. 1505063

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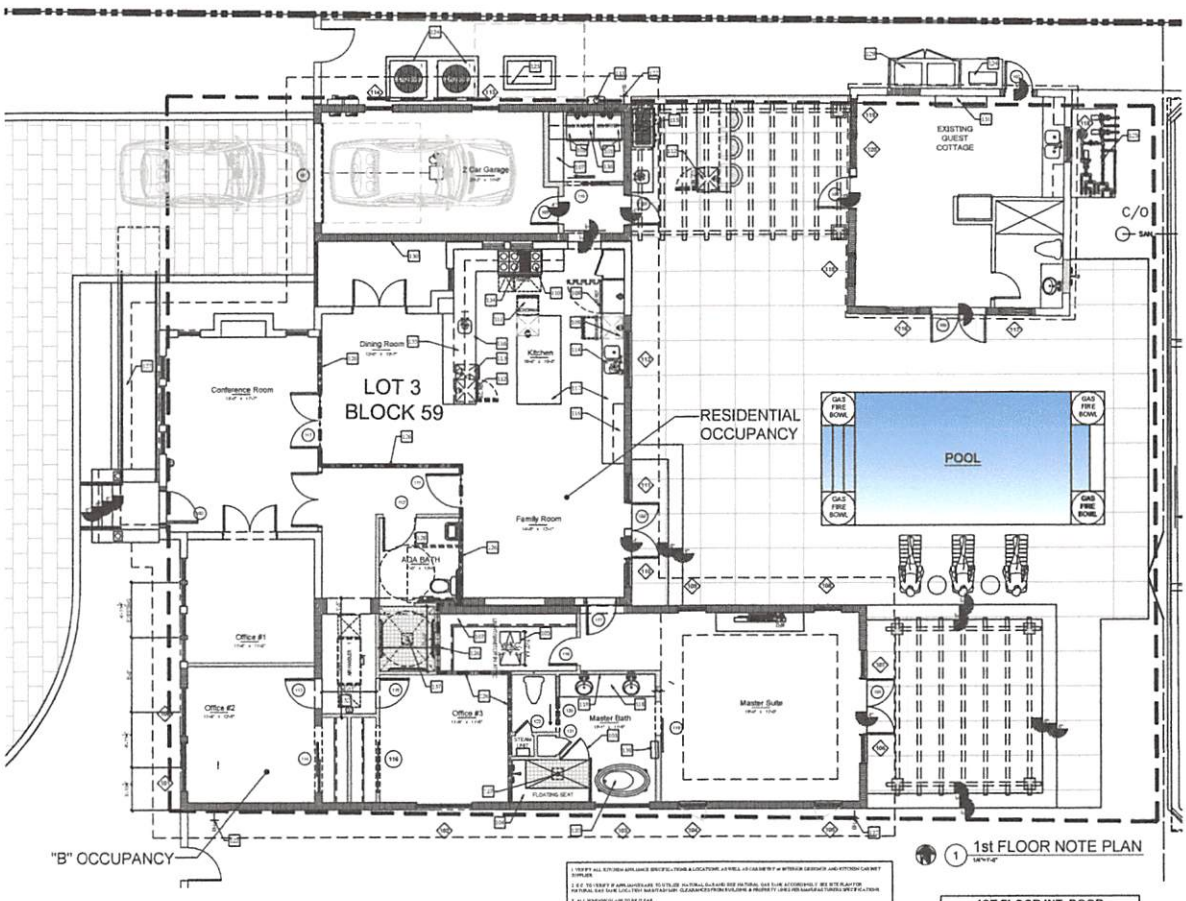

1 1st FLOOR NOTE PLAN
1/8"=1'-0"

EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
AREA SUMMATION	
[illegible]	[illegible]
[illegible]	[illegible]
TOTAL AREA	[illegible]

NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
AREA SUMMATION	
[illegible]	[illegible]
[illegible]	[illegible]
TOTAL AREA	[illegible]

FIELD VERIFY ALL EXISTING DIMENSIONS AS NECESSARY FOR NEW CONSTRUCTION

1. VERIFY ALL KITCHEN APPLIANCE SPECIFICATIONS & LOCATIONS AS WELL AS CABINETRY w/ INTERIOR DESIGNER AND KITCHEN CABINET SUPPLIER
2. G.C. TO VERIFY IF APPLIANCES TO UTILIZE NATURAL GAS AND SEE NATURAL GAS SUPPLY ACCORDINGLY. SEE SITE PLAN FOR NATURAL GAS SUPPLY LOCATION MAINTAIN SAFE CLEARANCES FROM BUILDING & PROPERTY LINES PER MANUFACTURERS SPECIFICATIONS
3. ALL WINDOW GLASS TO BE CLEAR
4. OWNER WILL SUPPLY ALL KITCHEN APPLIANCES, MARBLE WOOD, APPLIANCES FOR WHICH G.C. TO INSTALL
5. OWNER WILL SUPPLY ALL DOWN SEASONS SUNDRY – G.C. TO INSTALL
6. ALL SHOWERS TO HAVE SEDUS SHELVES FOR TOILETRIES
7. OWNER WILL SUPPLY ALL TOWELRAIL TOILETS, CABINETS, AND FIXTURES – G.C. TO INSTALL
8. OWNER WILL SUPPLY STEAM EQUIPMENT – G.C. TO INSTALL
9. G.C. TO COORDINATE WITH OWNER REGARDING ALL TILE WORK
10. OWNER WILL SUPPLY ALL INTERIOR HEATING / A/C UNITS EXPRESS – G.C. TO INSTALL
11. ALL INTERIOR DOORS TO BE SOLID CORE. OWNER WILL SUPPLY ALL GLASS DOOR SHARES
12. OWNER WILL SUPPLY SLIDING DOORS AND HARDWARE – G.C. TO INSTALL
13. OWNER WILL SUPPLY ALL LIGHT SWITCH PLATE COVERS – G.C. TO INSTALL
14. G.C. TO COORDINATE ALL MARBLE/TILE FLOORING MATERIAL WITH OWNER

1ST FLOOR INT. DOOR SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	TYPE	FIRE RATING	NOTES
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

FLOOR PLAN KEY NOTE LEGEND

[illegible]	[illegible]

1ST FLOOR WINDOW SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	HEAD HT.	TYPE	NOTES
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

NOTE: ALL WINDOW GLASS TO BE CLEAR

1ST FLOOR EXT. DOOR SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	TYPE	FIRE RATING	NOTES
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

REVISIONS	BY	DATE
TAC COMMENTS	[illegible]	[illegible]

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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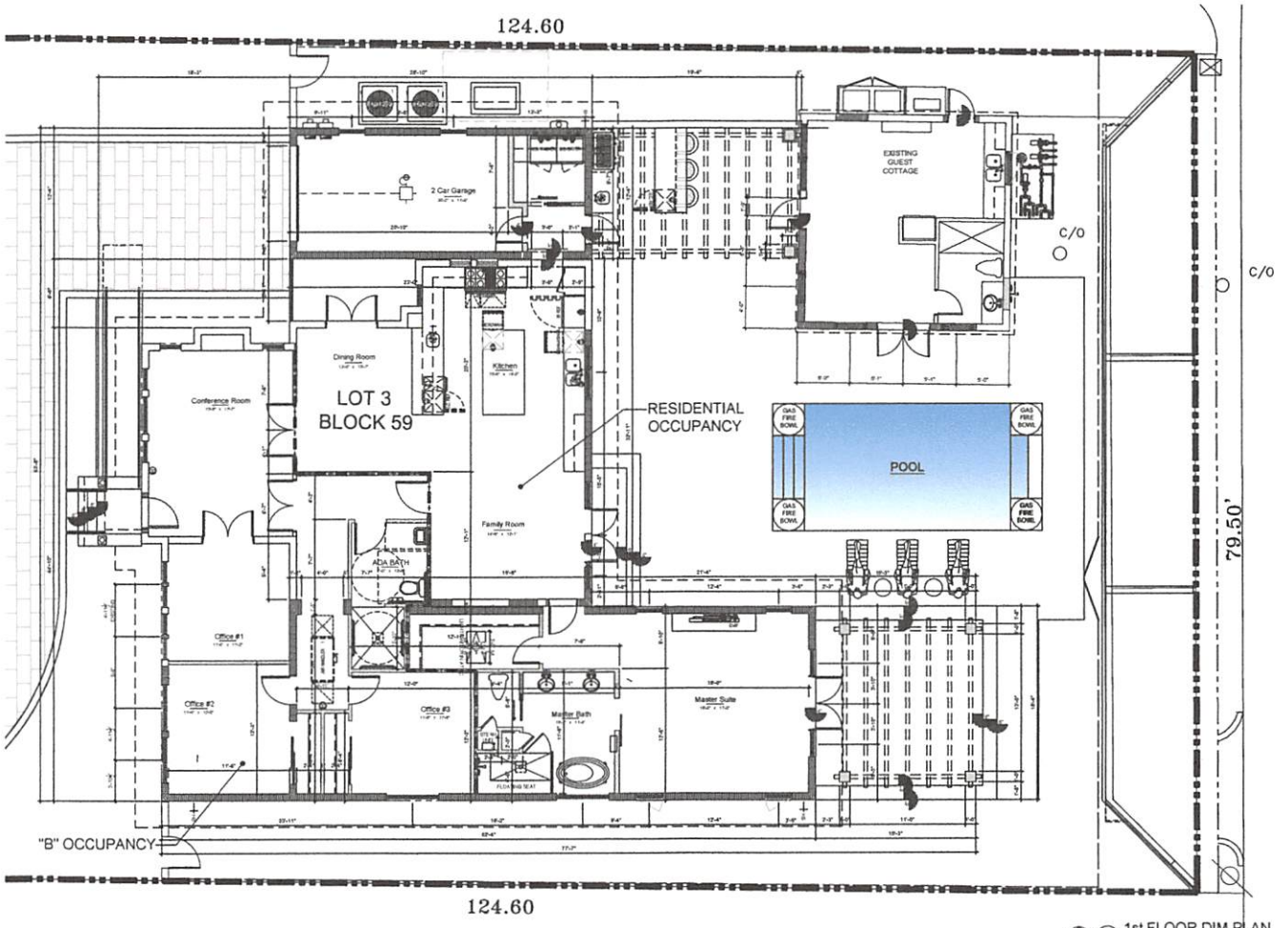
A201



1 1st FLOOR DIM PLAN

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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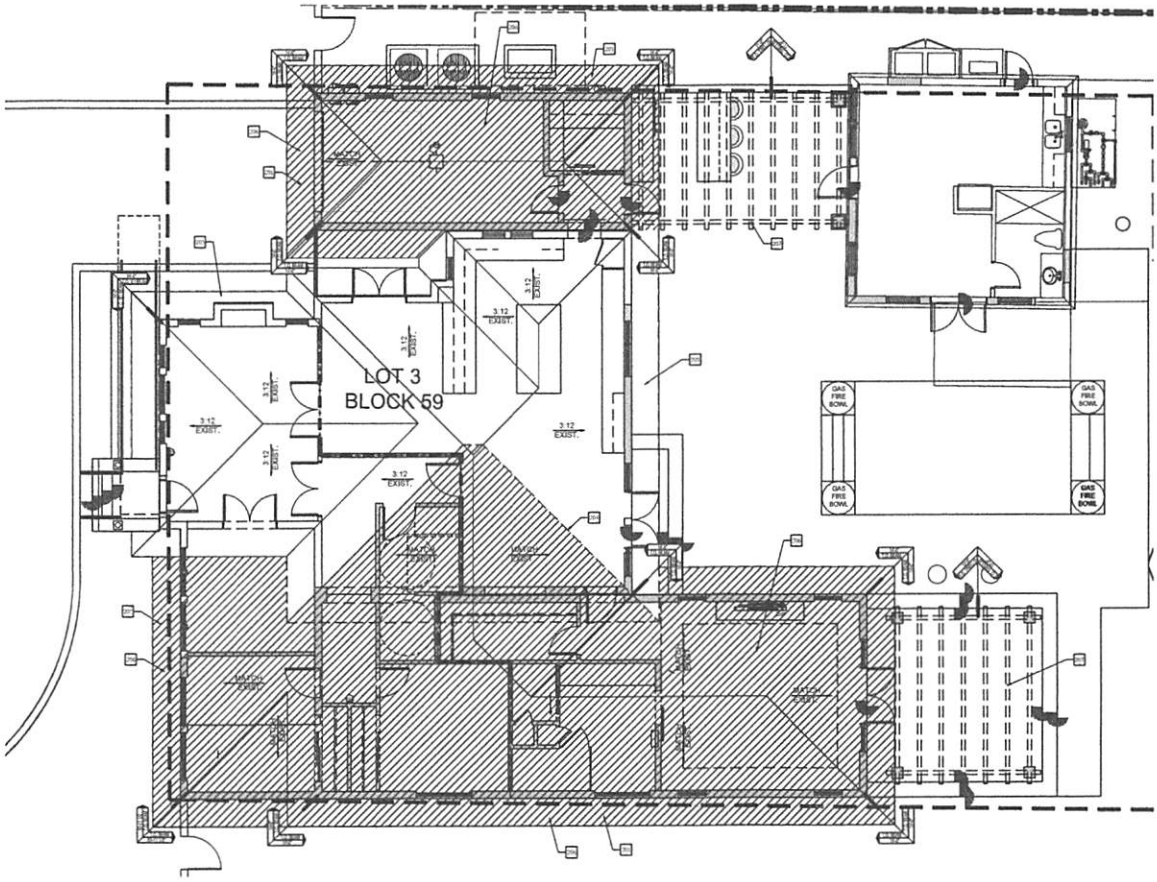
Job No. 180503

A201a



ROOF PLAN
KEY NOTE LEGEND

30	EXISTING ROOF TILE TO REMAIN EXISTING TILE (RE-ENGINEERED WIND TRUSSES, REFER TO STRUCTURAL & ENGINEERING)
35	12"x24" ATTIC ACCESS HATCH (WALL DAMPER STAIRS) CONTACTOR FINAL LOCATION W/OWNER PLACEMENT
36	12"x24" ATTIC ACCESS HATCH, COORDINATE FINAL LOCATION W/ENGINEER/OWNER
38	LINE OF EXISTING ROOF
39	EXISTING BASIC ROOF TILE REMOVED/REPLACED AS REQUIRED PER NEW CONSTRUCTION. G.C. TO ENSURE THAT EXISTING TILE TO BE RECLAIMED TO BE RE-USED
56	LINE OF NEW ROOF. ROOF TO MATCH EXISTING BOWL AND FACIA HEIGHT
57	NEW TRELLIS STRUCTURE

TYPICAL ROOF NOTES

1. THIS ROOF PLAN IS FOR GRAPHIC INFORMATION ONLY (I.E. RIDGE LINES, TIE BEAM HEIGHTS, OVERALL DIMENSIONS, ETC.)
2. G.C. SHALL CONFIRM ALL STRUCTURAL COLUMN AND BEAM SIZE, LOCATION AND REINFORCEMENT TO BE STRUCTURAL ENGINEER CONFIRMED TO CONSTRUCTION.
3. G.C. TO VERIFY POSITIVE SLOPE ATTACHED FLOOR TO ENSURE IN-FIELD DRAINAGE AT ALL LANDS, CHANGE OFFSET, INTERIOR LIVING SPACES, BALCONY'S AND GARAGE
4. G.C. TO PROVIDE INTERNAL OR EQUAL INSULATION AT THE UNDERSIDE OF ALL ROOF SLABS INCLUDING GARAGES, LANDS AND BALCONY'S. ALL ROOF SLABS TO BE PROVIDED WITH A 1" AIR SPACE TOTAL BLAIR ADEQUATE FOR VENTILATION. G.C. TO REVIEW C.O. TEMPS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE
5. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS AND ADDITIONAL INFORMATION
6. REFER TO THE REFLECTED CEILING PLAN FOR ALL HEIGHTS, DIMENSIONS AND CEILING DETAILS
7. G.C. TO COORDINATE ARCHITECTURAL DRAWINGS WITH INTERIOR DESIGN DRAWINGS FOR EXACT DIMENSIONS AND CEILING DESIGN
8. SEE TYPICAL WALL SECTIONS FOR TYPICAL ROOF CONSTRUCTION

ROOF SPECIFICATION

FLAT ROOF DECK:

ALL FLAT ROOF DECK TO HAVE 5/8 DEWALT ROOF DECK, OVER 1 PLY OF 30# FELT. THE INSULATION SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAIN WITH A MIN. 1/4" PER FOOT SLOPE. ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A 15 YEAR WARRANTY

REFER TO STRUCTURAL FOR ALL BEAM SIZES

REFER TO MEP SHEETS FOR EXACT ROOF DRAIN & DOWNSPOUT LOCATION

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
A TAC COMMENTS	MP	06.24.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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distinctive inspirational architecture

Job No. 1805063

A211

① ROOF PLAN

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION. NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPOUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPORTS TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED AC LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING AC CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING GAS LINE TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

(TAC REVIEW) 06-24-19

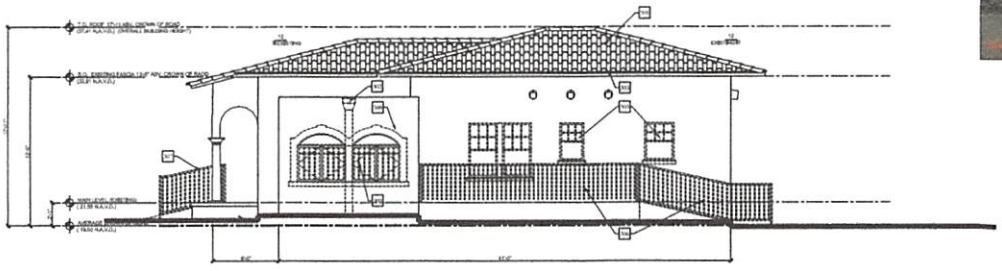
REVISIONS	BY	DATE
1 TAC COMMENTS	MM	06.24.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

1 EXISTING FRONT ELEVATION (WEST)
SCALE: 1/4"=1'-0"

BARREL TILE TO MATCH EXISTING

EXISTING RESIDENCE

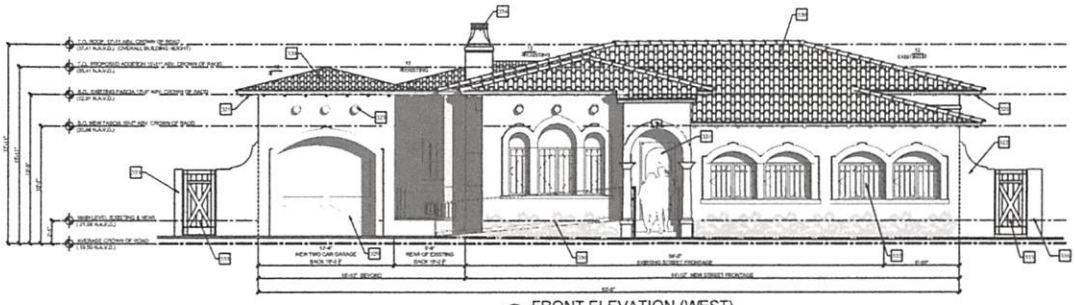


2 EXISTING SIDE ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"

RANDALL STOFFT
ARCHITECTS
distinctive inspirational architecture

Job No. 1805063

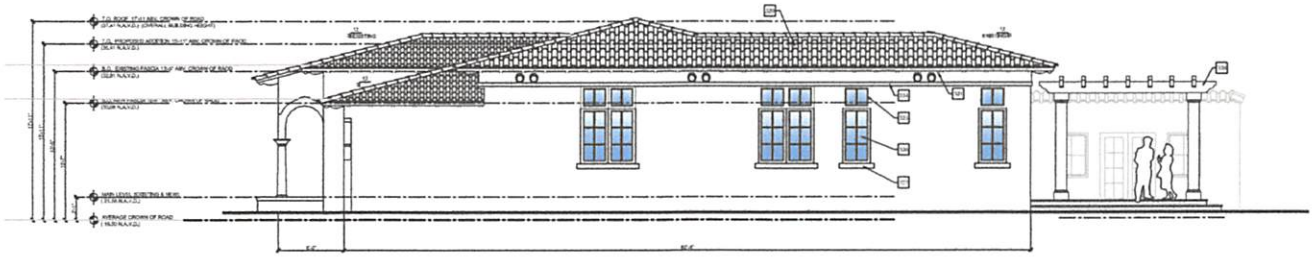
A301e



1 FRONT ELEVATION (WEST)

BARREL TILE TO MATCH EXISTING

EXISTING RESIDENCE



2 SIDE ELEVATION (SOUTH)

EXTERIOR ELEVATION
KEY NOTE LEGEND

1.08	NEW GUIDED, TELESCOPIC FIBERGLASS/WOOD FRAME TRELLIS TO MATCH EXISTING
3.01	FINISH MASTER TILE TO MATCH EXISTING
3.02	DECORATIVE CONCRETE TO MATCH EXISTING
3.03	RESTORE FULL MASONRY (ALL SURFACES) TO MATCH EXISTING
3.04	PAINTED STUCCO BAND
3.07	CAST STONE COPING
3.08	NEW WROUGHT WITHOUT BAND - USE WITHOUT BAND SCREWS & NO OPENING CLIP
3.17	PAINTED STUCCO WALL
3.18	NEW WROUGHT WITHOUT BAND - USE WITHOUT BAND SCREWS & NO OPENING CLIP
3.19	INFILL STUCCO PLASTER BAND (SAME FROM SCREWED)
3.20	NEW WALL SCONCE PLACING - REFER TO PLAN FOR LOCATION OF ACCESSIBLE DETAILED IN WEST AND
3.21	NEW DECORATIVE FRONT DOOR
3.22	FINISH TO MATCH EXISTING WINDOW
3.23	NEW TRANSOM
3.24	NEW CONCRETE CAP
3.25	NEW 4" HIGH PROTECTIVE WALL
3.26	NEW WALL BY OTHERS
3.27	A.C. COMPRESSOR ON WALL AT REAR COMPOSITE PAD
3.28	TRANSFORMER WALL AT TRELLIS CONCRETE PAD
3.29	BLUE BIRD WRITTEN - "BLUE BIRDS WRITTEN" REPLACE

(TAC REVIEW) 06-24-19

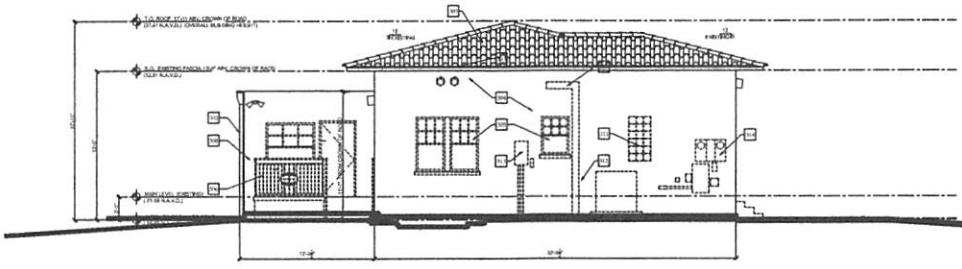
REVISIONS	BY	DATE
1 TAC COMMENTS	RSF	06.24.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT
ARCHITECTS
disciplined, inspirational architecture

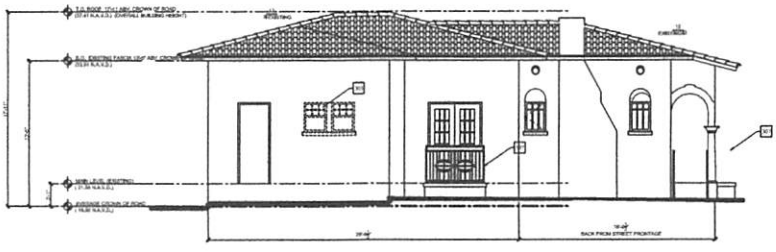
Job No. 1505003

A301



EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION - NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPOUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-FAMILY SINGLE LOAD
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE REMOVED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

(3) EXISTING REAR ELEVATION (EAST)
1/8"=1'-0"



(4) EXISTING SIDE ELEVATION (NORTH)
1/8"=1'-0"

(TAC REVIEW) 06-24-19

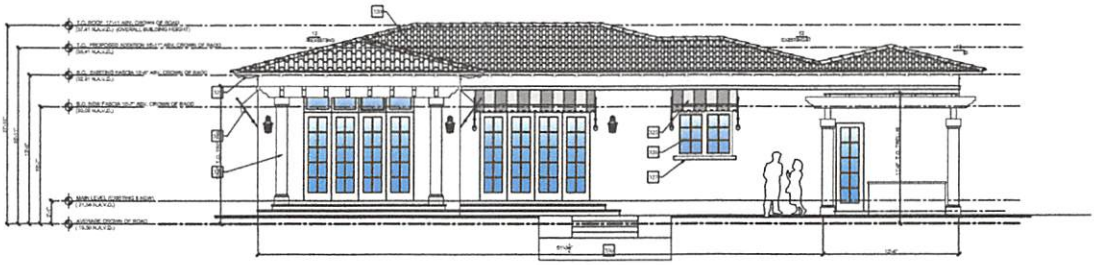
REVISIONS	BY	DATE
TAC COMMENTS	MF	06.24.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

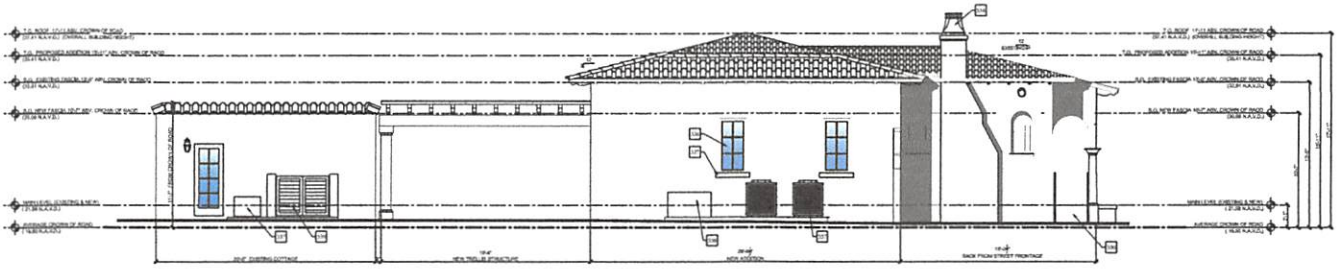
RANDALL STOFFT
ARCHITECTS
distinctive contemporary architecture

Job No. 1505063

A302e



3 REAR ELEVATION (EAST)



4 SIDE ELEVATION (NORTH)

EXTERIOR ELEVATION KEY NOTE LEGEND	
120	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
121	RAGGED RAFTER TAILS TO MATCH EXISTING
122	STUCCO FINISH SYSTEM TO MATCH EXISTING
123	DECORATIVE BARREL TILE ACCENTS TO MATCH EXISTING
124	RAGGED STUCCO BAND
125	CANVAS AWNING
126	NEW IMPACT WINDOW/DOOR – SEE WINDOW/DOOR SCHEDULE AS ADD. TO BE CLEAR
127	RAISED STUCCO SILL
128	NEW WOOD TRELLIS (SEE STRUCT. DRAWINGS)
129	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
130	NEW ADA RAMP & RAILING – REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A001
131	NEW PARKING ENTRY DOOR
132	RELOCATED IMPACT WINDOW
133	NEW WOOD GATE
134	NEW CHIMNEY CAP
135	NEW 8" HIGH PRIVACY WALL
136	NEW POOL – BY OTHERS
137	A/C CONDENSER ON MIN. 4" THICK CONCRETE PAD
138	GENERATOR ON MIN. 4" THICK CONCRETE PAD
139	TRASH WINE BOXES & HIGH MOUNT/PROPERTY SPACE GATE

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
1 TAC COMMENTS	NF	06.25.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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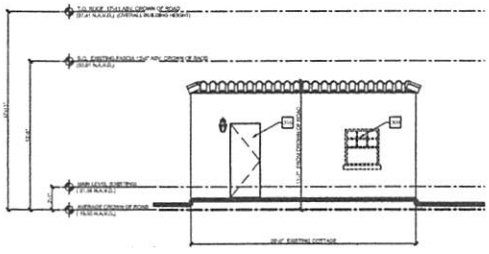
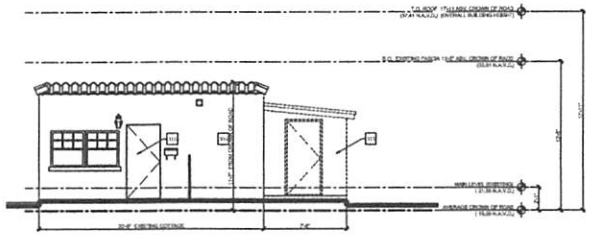
ARCHITECTS
distinctive implemental architecture

Job No. 1805061

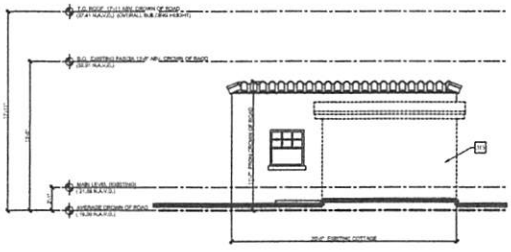
A302



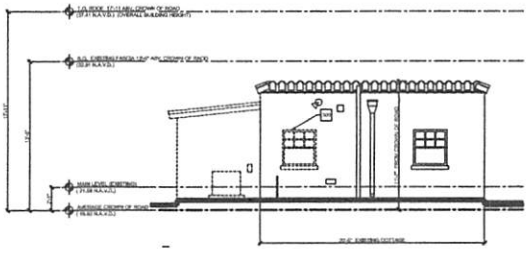
5 GUEST HOUSE - NORTH ELEVATION (EXISTING)



6 GUEST HOUSE - WEST ELEVATION (EXISTING)



7 GUEST HOUSE - SOUTH ELEVATION (EXISTING)



8 GUEST HOUSE - EAST ELEVATION (EXISTING)

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND RE-PLACED AS NECESSARY FOR NEW CONSTRUCTION - NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPOUT TO BE REMOVED
303	EXISTING CLAY BARREL SLOPE TILE TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAIL/GRIP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING CLAY BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
1 TAC COMMENTS	MP	06.28.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT
ARCHITECTS
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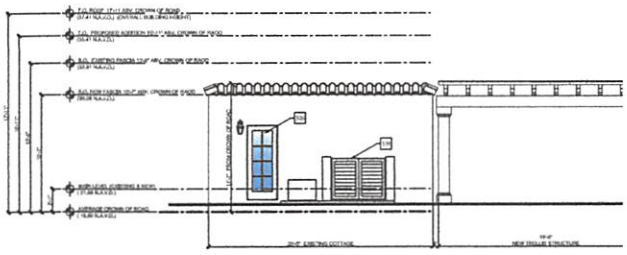
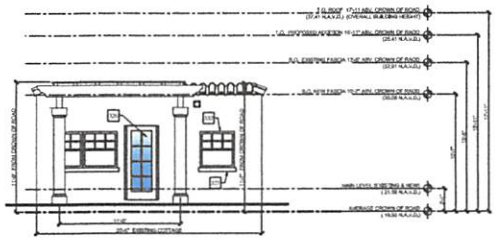
Job No. 1805063

A303e

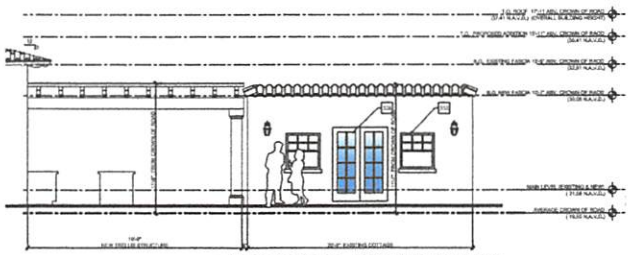


5 GUEST HOUSE - NORTH ELEVATION
1/8"=1'-0"

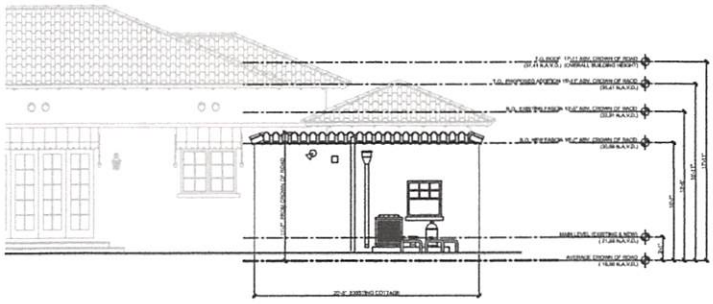


6 GUEST HOUSE - WEST ELEVATION
1/8"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
100	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
101	NEW BATTER TILE TO MATCH EXISTING
102	EXTERIOR SCONCE SYSTEM TO MATCH EXISTING
103	DECORATIVE BARRIER TILE (TYPE) TO MATCH EXISTING
106	RAISED STUCCO BAND
113	CANVAS AWNING
126	NEW IMPACT WINDOW/DOOR - SEE WINDOW/DOOR SCHEDULE GLASS TO BE TINTED
127	RAISED STUCCO SILL
128	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)
129	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
130	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON BUILDING
131	NEW DECORATIVE ENTRY DOOR
132	BELOW VISE IMPACT WINDOW
133	NEW WOOD GATE
134	NEW CHIMNEY CAP
135	NEW 6" DECORATIVE WALL
136	NEW POOL - BY OTHERS
137	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
138	GENERATOR ON MIN. 6" THICK CONCRETE PAD
139	TRASH BIN BEHIND 6 HIGH BOGUE COMPOSITE FENCE GATE



7 GUEST HOUSE - SOUTH ELEVATION
1/8"=1'-0"



8 GUEST HOUSE - EAST ELEVATION
1/8"=1'-0"

(TAC REVIEW) 06-24-19

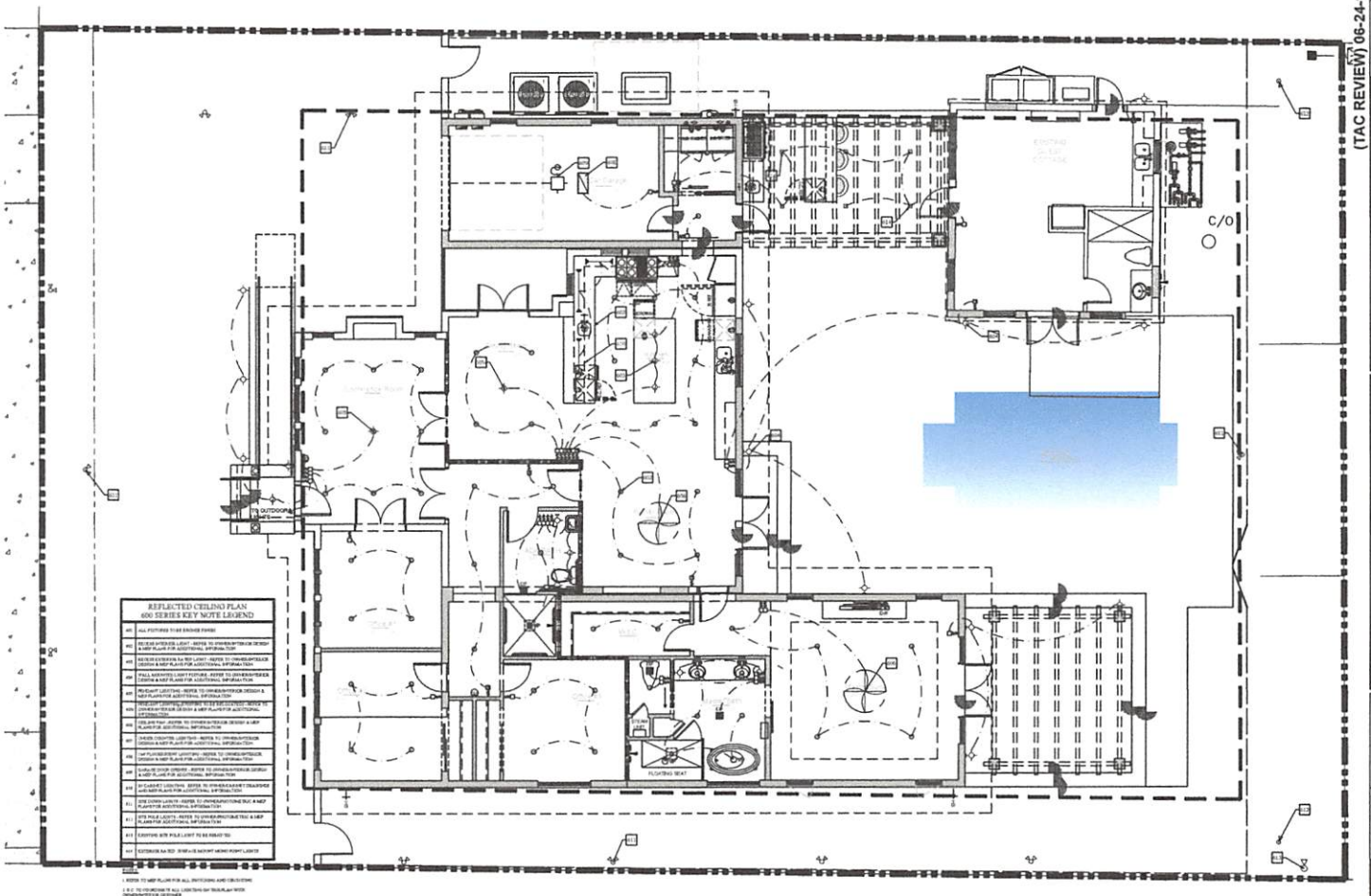
REVISIONS	BY	DATE
1 FINAL COMMENTS	MP	06.05.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT ARCHITECTS
distinctive, inspirational, architecture

Job No. 1805063

A303



1 1st FLOOR REFLECTED CEILING / LIGHTING PLAN

(TAC REVIEW) 06-24-19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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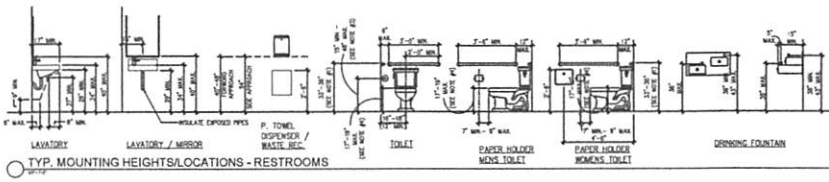
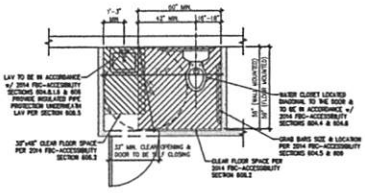
Job No. 1805063

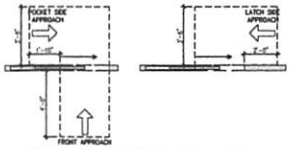
A601



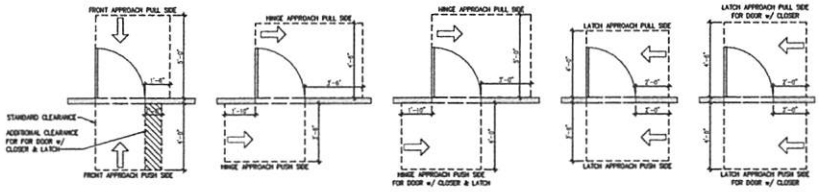
TYP. MOUNTING HEIGHTS/LOCATIONS - RESTROOMS



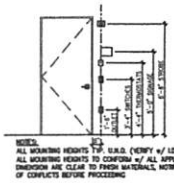
MIN ADA STALL DIMENSIONS



MINIMUM MANEUVERING CLEARANCES AT SLIDING DOORS & GATES

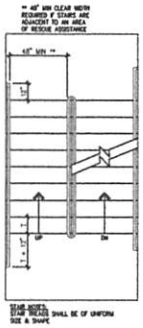


MINIMUM MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS & GATES



NOTES:
ALL MOUNTING HEIGHTS TYP. U.N.O. (VERIFY w/ I.D. DWGS)
ALL MOUNTING HEIGHTS TO CONFORM w/ ALL APPLICABLE CODES
DIMENSION ARE CLEAR TO FINISH MATERIALS, NOTIFY ARCHITECT OF CONFLICTS BEFORE PROCEEDING

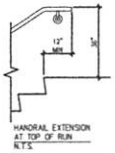
TYP. MOUNTING HEIGHTS - DEVICES



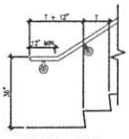
STAIR NOTES:
STAIR TREADS SHALL BE OF UNIFORM SIZE & SHAPE

PROVIDE AT LEAST 1 INTERMEDIATE LANDING FOR EACH 12' OF VERTICAL RISE

HANDRAIL ENDS TO BE EITHER ROUNDED OR RETURNED TO WALL, FLOOR, OR POST

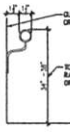


HANDRAIL EXTENSION AT TOP OF RUN
N.T.S.

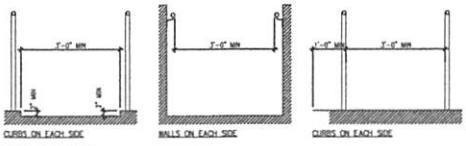


HANDRAIL EXTENSION AT BOTTOM OF RUN
N.T.S.

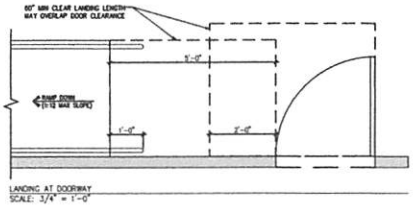
STAIR TREAD AND RISER REQUIREMENTS
N.T.S.



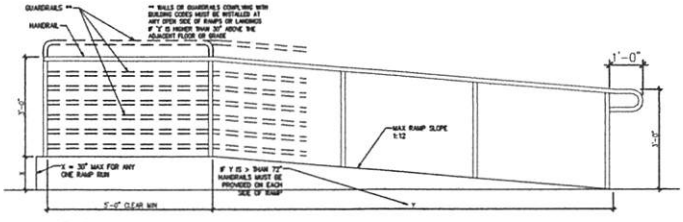
HANDRAIL MOUNTING REQUIREMENTS
N.T.S.



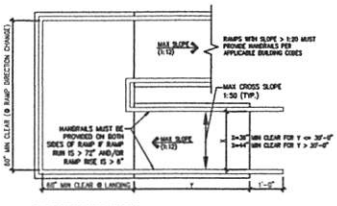
RAMP EDGE PROTECTION
SCALE: 3/4" = 1'-0"



LANDING AT DOORWAY
SCALE: 3/4" = 1'-0"



HANDRAILS AT RAMPS
SCALE: 3/4" = 1'-0"



RAMP SWITCHBACK LANDING
N.T.S.

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	TMP	06.06.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

RANDALL STOFFT
ARCHITECTS

Job No. 1505063

A801

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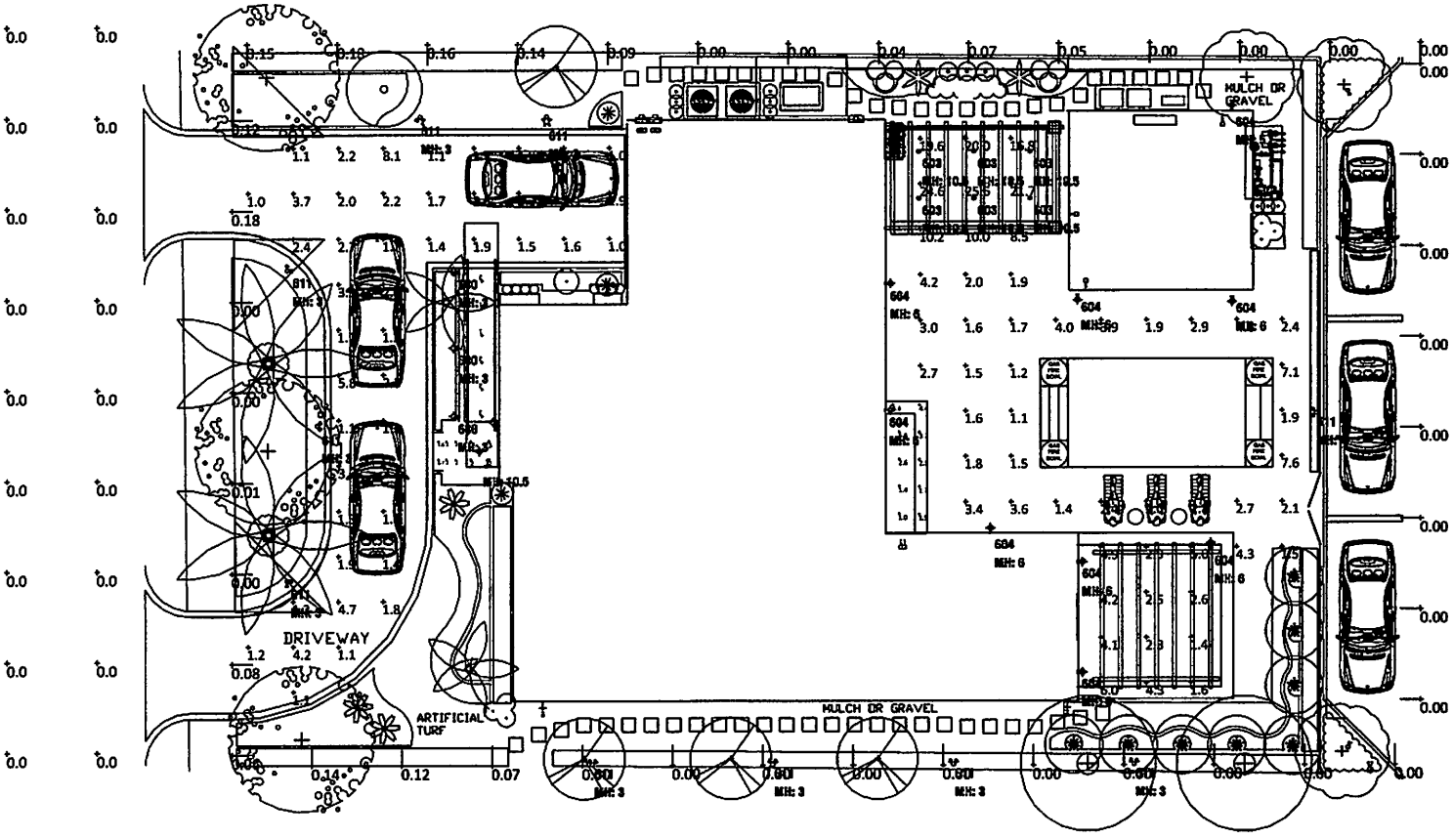
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