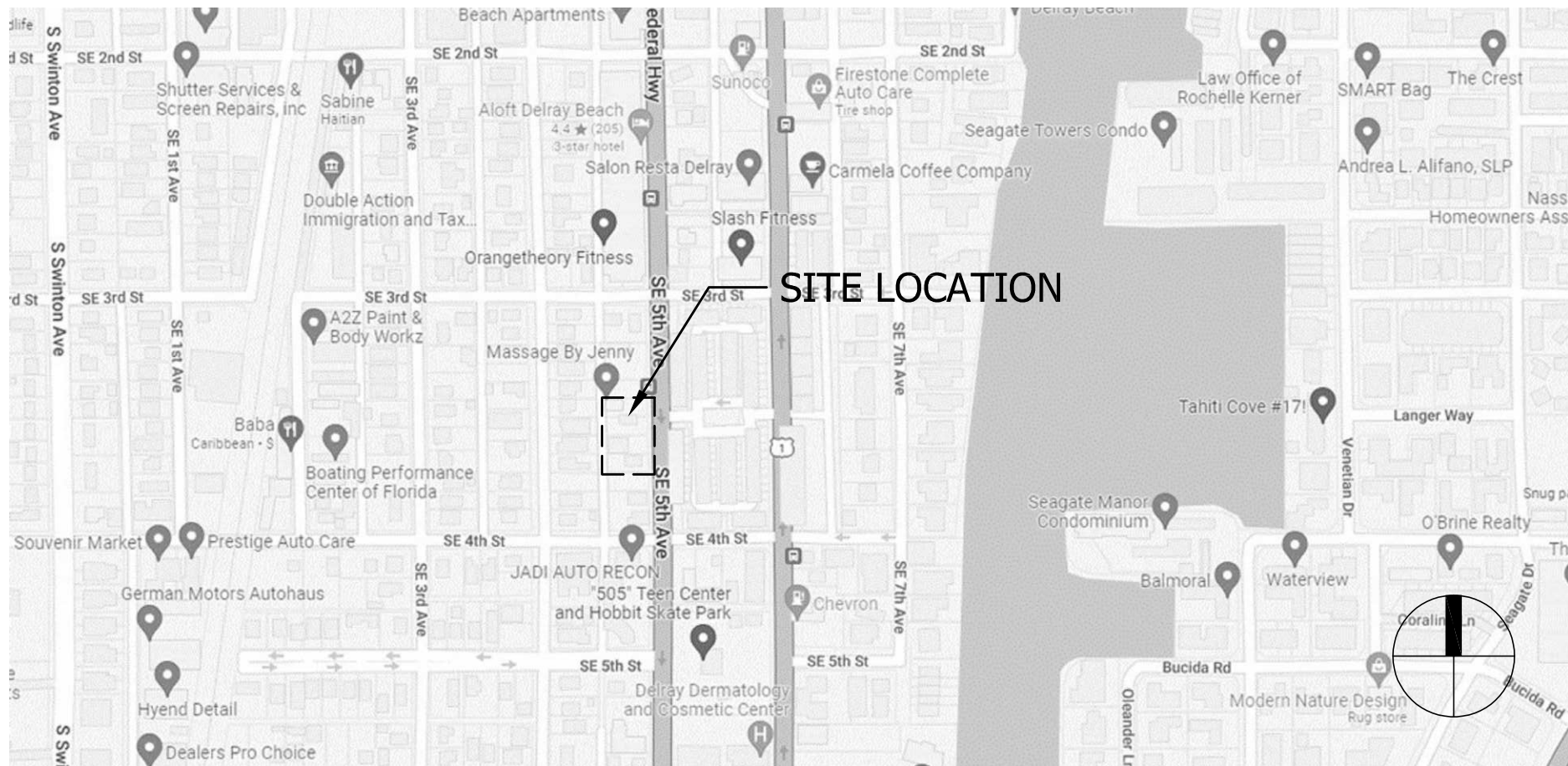


# 354 NE 5TH AVE

354 SE 5th Avenue  
Delray Beach, FL 33483



## SILBERSTEIN ARCHITECTURE:

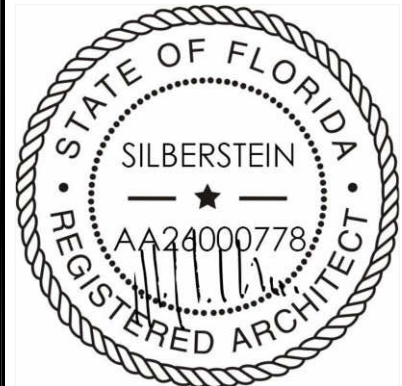
- CV-1.0 Cover Sheet
- S-1.0 Survey
- A-1.0 Overall Site Plans
- A-1.1 Site Plan
- A-1.2 Roof Plan
- A-1.3 / A-1.4 Floor Plans
- A-1.5 Photometric Plan
- A-2.0 / A-2.1 Exterior Lighting Plans
- A-3.0 East Elevation
- A-3.1 West Elevations
- A-3.2 North/South Elevations
- A-3.3 Window Covering Diagram
- A-4.0 Section
- A-4.1 Site Line Study
- A-6.0 / A-6.1 Details
- A-7.0 Schedules

## CAUFIELD & WHEELER, INC. (CIVIL):

- CS Cover Sheet
- PP-1 Pollution Prevention Plan
- PD-1 General Notes Plan
- PD-1A Demolition Plan
- PD-2 Paving & Grading Plan
- PD-2A Drainage Plan
- PD-3 Pavement, Marking & Signage Plan
- PD-4 Paving & Grading & Drainage Details
- PD-5 Paving & Grading & Drainage Details
- PD-6 Paving & Grading & Drainage Details
- WS-1 Water Distribution, Sanitary Sewer and Utility Plan
- WS2 Water Distribution, & Sanitary Sewer Details
- WS3 Water Distribution, & Sanitary Sewer Details
- WS4 Compose Utility Plan

## CHRIS CABEZAS (LANDSCAPE):

- LP-1 Tree Disposition Plan
- LP-2 Landscape Plan & Schedules
- LP-3 Landscape Details & Specifications



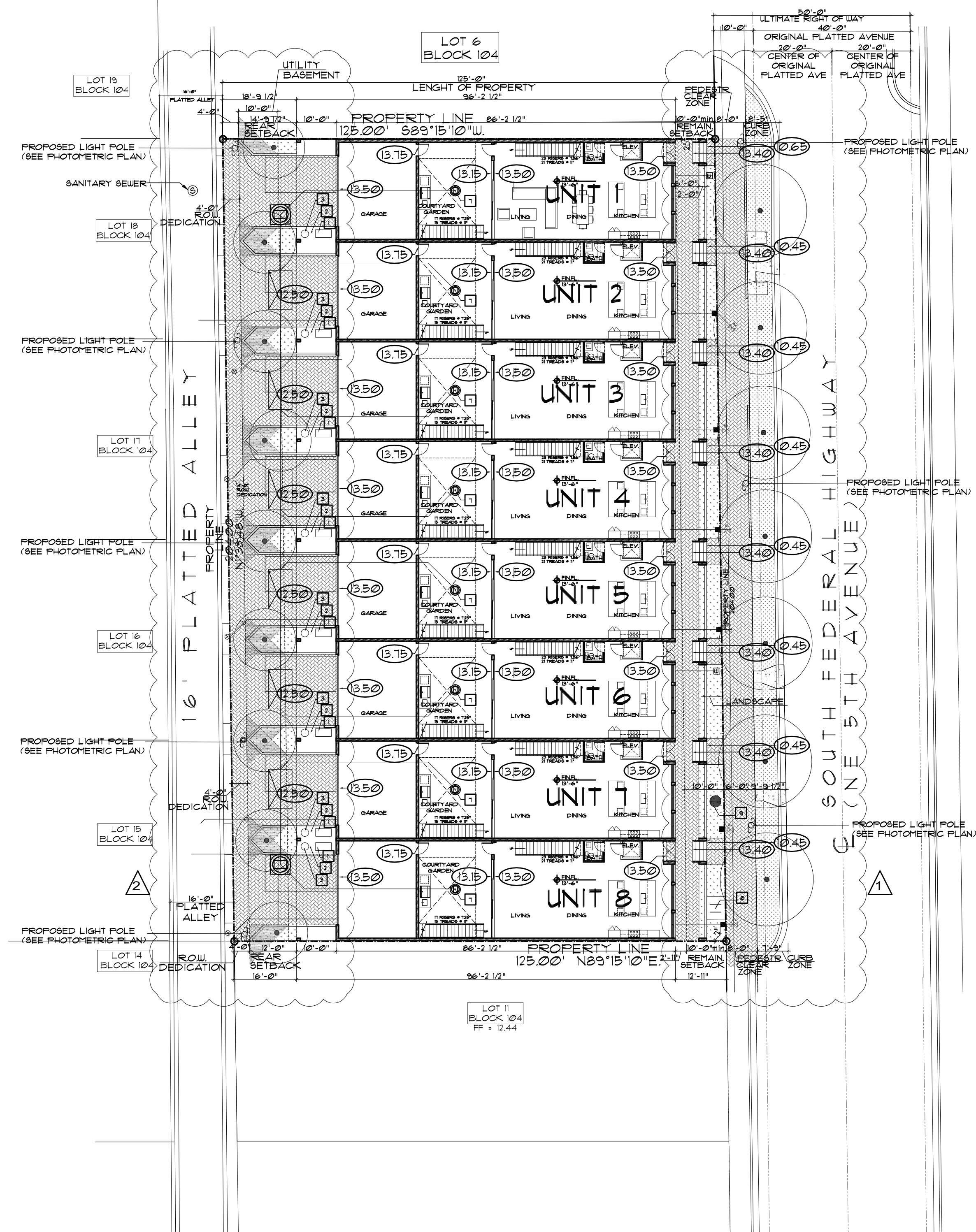
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DELRAY BEACH, FL 33483

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PERMIT SET	
REVISIONS	
1.	TAC COMMENTS 6.2.22
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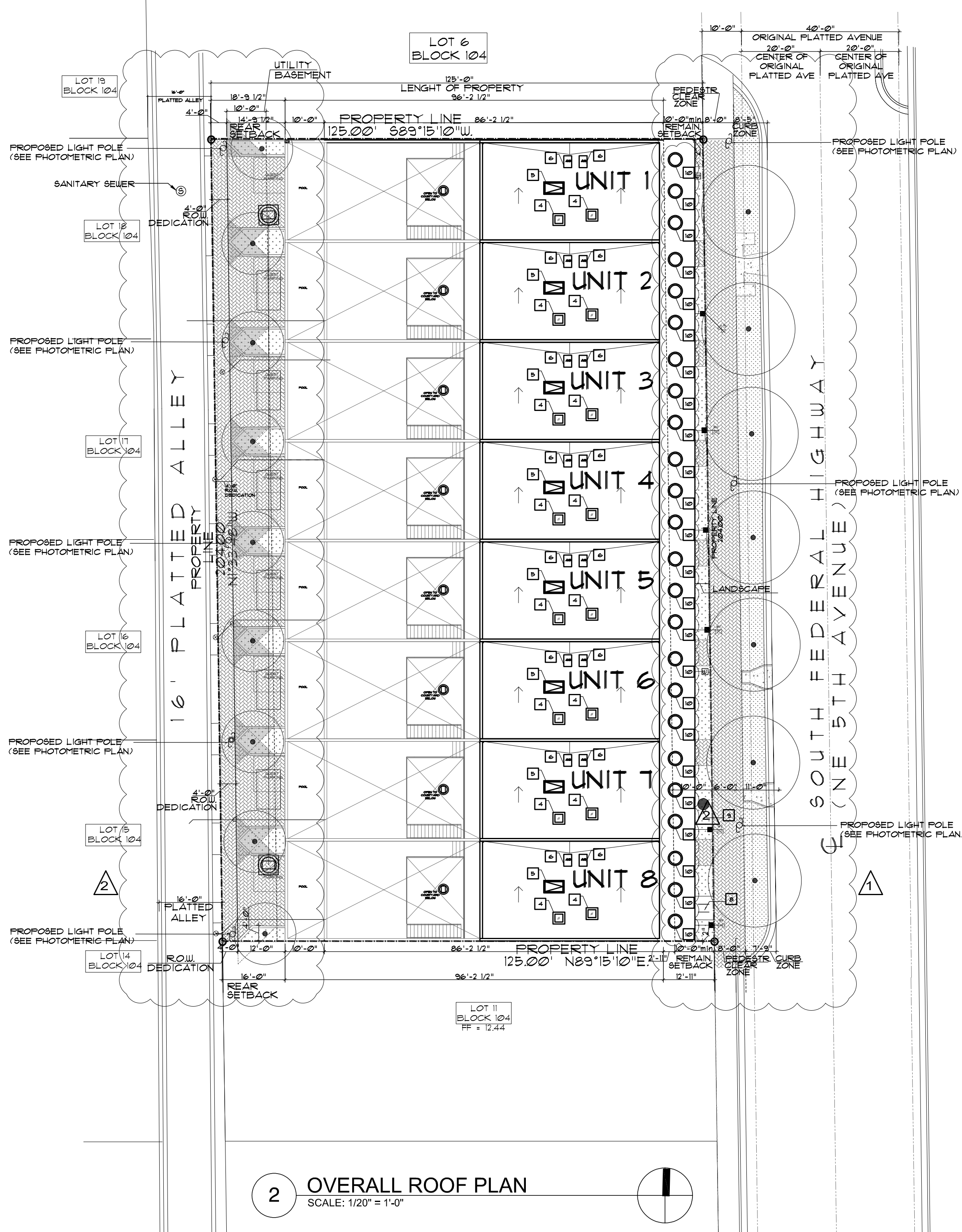
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PRINT DATE:  
SEPTEMBER 21, 2022





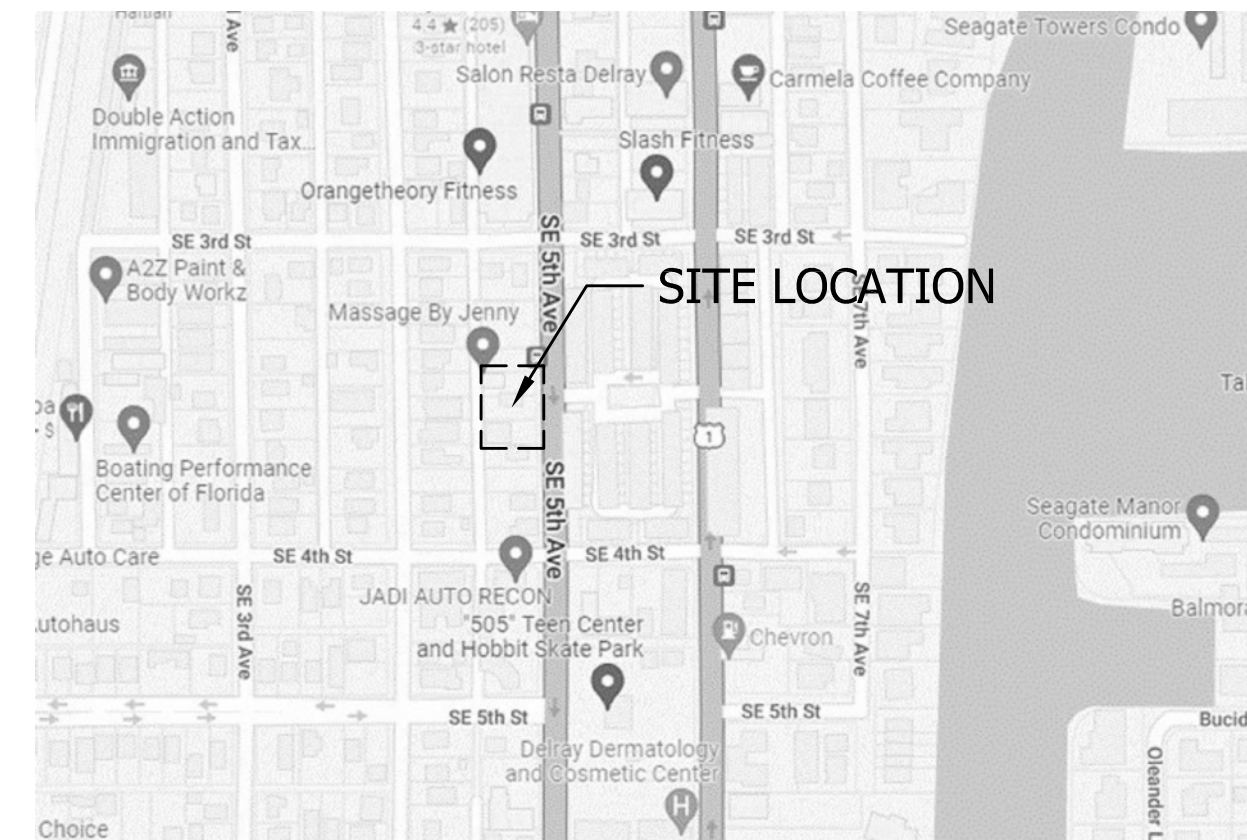
1 OVERALL SITE PLAN  
SCALE: 1/20" = 1'-0"

NOTE  
SEE A1.1 AND A1.2 FOR LARGER SCALE



2 OVERALL ROOF PLAN  
SCALE: 1/20" = 1'-0"

LEGEND	
DESCRIPTION	
1 FUTURE 2'X4' GENERATOR	6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
2 CONCRETE SLAB	7 DRAIN
3 POOL EQUIPMENT	8 BICYCLE RACK FOR 2 ON CONCRETE PAD
4 SKYLIGHT WITH 6" CURB	9 LOCATION OF SCULPTURE
5 ROOF HATCH	10 3'0 SKYLIGHT WITH 4" CURB

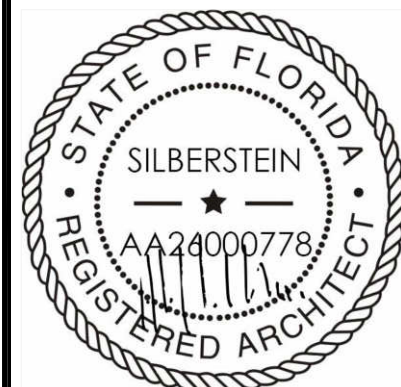


3 VICINITY MAP  
SCALE: N.T.S.

SITE INFORMATION		
ADDRESS: 353 SE 5TH AVE. DELRAY BEACH, FL		
LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.		
PROJECT DESCRIPTION:		NEW MULTI-FAMILY RESIDENTIAL
CURRENT PROPERTY USE:		MULTI-FAMILY RESIDENTIAL
ZONING DISTRICT:		CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX
SETBACKS	REQUIRED	PROVIDED
NORTH	0'-0"	0'-2"
WEST-ALLEY	10'-0"	14'-9 1/2" - 12'-0"
SOUTH	0'-0"	0'-2"
EAST-NE 5TH AVE	10'-0"	10'-0" - 12'-11"
DWELLING UNITS	30 DU/ACRE MAX	8/0.29 = 27.58 DU/AC
BUILDING HEIGHT:	REQUIRED	PROVIDED
TOP OF ROOF	54'-0" MAX	39'-6" A.F.F.
SITE AREA CALCULATION		
TOTAL SITE AREA	24,684 S.F.	
BUILDING FOOTPRINT	19,352 S.F. 77.12%	
CIVIC SPACE:	REQUIRED	PROVIDED
	4,684 X 5%	234 S.F.
BUILDING AREA PER UNIT: 5 UNITS TOTAL		
FIRST FLOOR A/C	1162 S.F.	
SECOND FLOOR A/C	1175 S.F.	
THIRD FLOOR A/C	1175 S.F.	
TOTAL A/C PER UNIT	3512 S.F.	
TOTAL A/C ALL UNITS	28,096 S.F.	
COURTYARD PER UNIT	481 S.F.	
GARAGE PER UNIT	523 S.F.	
TOTAL GROSS AREA PER UNIT	4522 S.F.	
TOTAL GROSS ALL UNITS	36,176 S.F.	
REDUCTION OF URBAN HEAT ISLAND		
TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE		
PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
(B) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
GUEST SPACES	0.5 PER UNIT=4	8 IN DRIVEWAY
TOWNHOUSES SHALL BE FEE SIMPLE.		
BIKE REQUIREMENTS		
	REQUIRED	PROVIDED
	1 PER 4 UNITS	2

### WAIVERS

DESCRIPTION	
LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.	
WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.	
WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.	
WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.	



354 SE 5TH AVE  
DELRAY BEACH, FL 33483

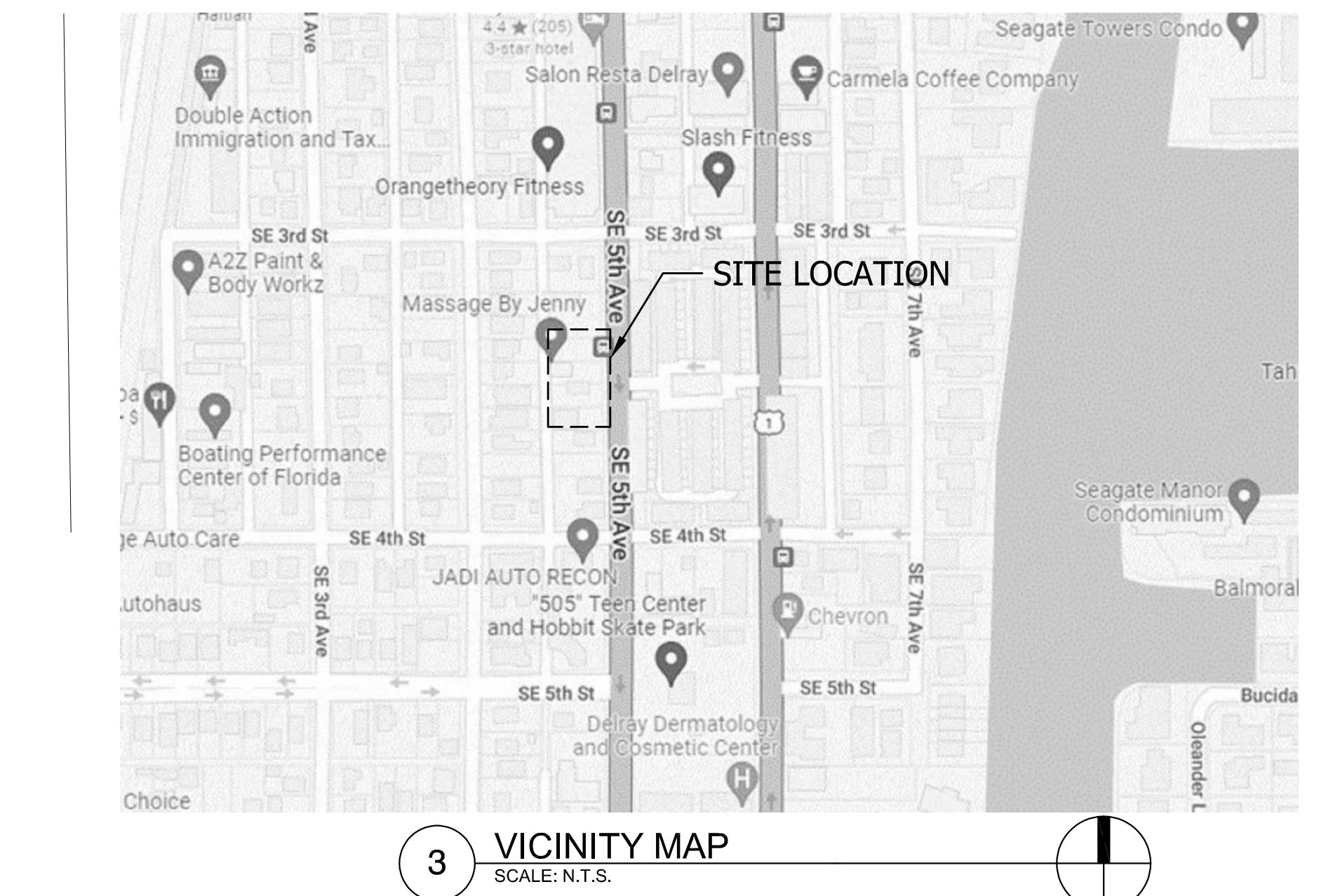
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PERMIT SET	
REVISIONS	
1. TAC COMMENTS	6.2.22
2. TAC COMMENTS	8.1.22
3. TAC COMMENTS	9.21.22
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A-1.0

PRINT DATE:  
SEPTEMBER 21, 2022





<b>SITE INFORMATION</b>		
<b>ADDRESS:</b>		955 SE 5TH AVE. DELRAY BEACH, FL
<b>LEGAL DESCRIPTION:</b> LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.		
<b>PROJECT DESCRIPTION:</b>		NEW MULTI-FAMILY RESIDENTIAL
<b>CURRENT PROPERTY USE:</b>		MULTI-FAMILY RESIDENTIAL
<b>ZONING DISTRICT:</b>		CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX
<b>SETBACKS</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
NORTH	0'-0"	0'-2"
WEST-ALLEY	10'-0"	14'-9 1/2" - 12'-0" <span style="border: 1px solid black; padding: 2px;">A</span>
SOUTH	0'-0"	0'-2"
EAST-NE 5TH AVE	10'-0"	10'-0" - 12'-11"
<b>DWELLING UNITS</b>	30 DU/ACRE MAX	8/0.29 = 27.50 DU/AC
<b>BUILDING HEIGHT:</b>	REQUIRED	PROVIDED
<b>TOP OF ROOF</b>	54'-0" MAX	39'-6" A.F.F.
<b>SITE AREA CALCULATION</b>		
<b>TOTAL SITE AREA</b>		24,884 S.F. <span style="border: 1px solid black; padding: 2px;">A</span>
<b>BUILDING FOOTPRINT</b>		19,352 S.F. 77.12%
<b>CIVIC SPACE:</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
	4,684 X 5%	234 S.F.
<b>BUILDING AREA PER UNIT: 5 UNITS TOTAL</b>		
<b>FIRST FLOOR A/C</b>		1162 S.F.
<b>SECOND FLOOR A/C</b>		1175 S.F.
<b>THIRD FLOOR A/C</b>		1175 S.F.
<b>TOTAL A/C PER UNIT</b>		3,512 S.F.
<b>TOTAL A/C ALL UNITS</b>		28,096 S.F.
<b>COURTYARD PER UNIT</b>		487 S.F.
<b>GARAGE PER UNIT</b>		523 S.F.
<b>TOTAL GROSS AREA PER UNIT</b>		4,522 S.F.
<b>TOTAL GROSS ALL UNITS</b>		36,176 S.F.
<b>REDUCTION OF URBAN HEAT ISLAND</b>		
TOTAL IMPERVIOUS PARKING 446 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE		
<b>PARKING REQUIREMENTS</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
(b) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
GUEST SPACES	0.5 PER UNIT=4	8 IN DRIVEWAY
TOWNHOUSES SHALL BE FEE SIMPLE. <span style="border: 1px solid black; padding: 2px;">1</span>		
<b>BIKE REQUIREMENTS</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>
	1 PER 4 UNITS	2

LEGEND	
DESCRIPTION	
1	FUTURE 2'X4' GENERATOR
2	CONCRETE SLAB
3	POOL EQUIPMENT
4	SKYLIGHT WITH 6" CURB
5	ROOF HATCH
6	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
7	DRAIN
8	BICYCLE RACK FOR 2 ON CONCRETE PAD
9	LOCATION OF SCULPTURE
10	3'0 SKYLIGHT WITH 4" CURB

524 NE 2ND STREET DELRAY BEACH FL 33483  
TEL 561 276 9393 LICENSE # AA26000778  
WWW.SILBERSTEINARCHITECT.COM  
jsilberstein@architect.com or studio@besttaichitect.com

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 jpsilberstein@silbersteinarchitect.com or studio@silbersteinarchitect.com



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DELRAY BEACH, FL 33483

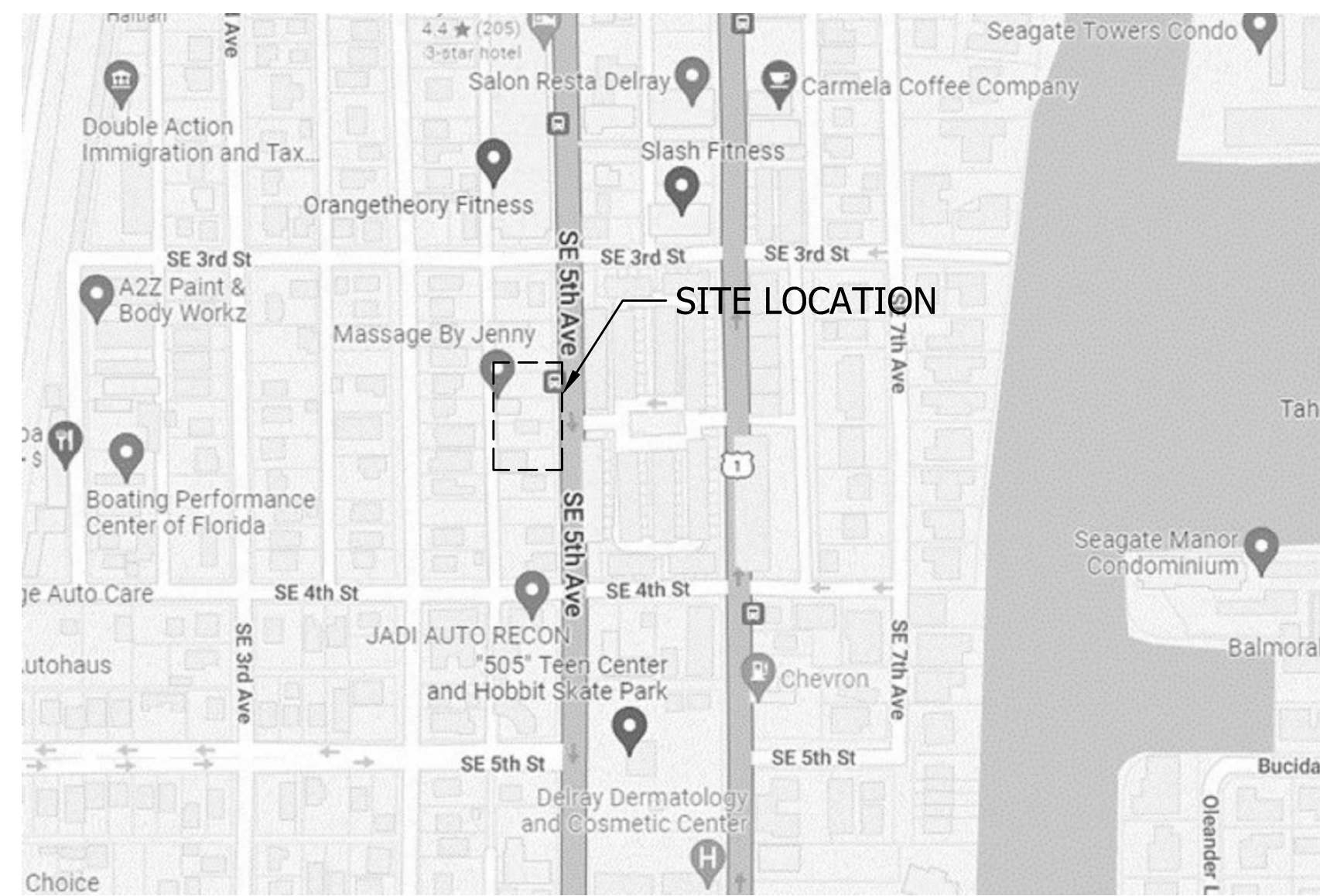
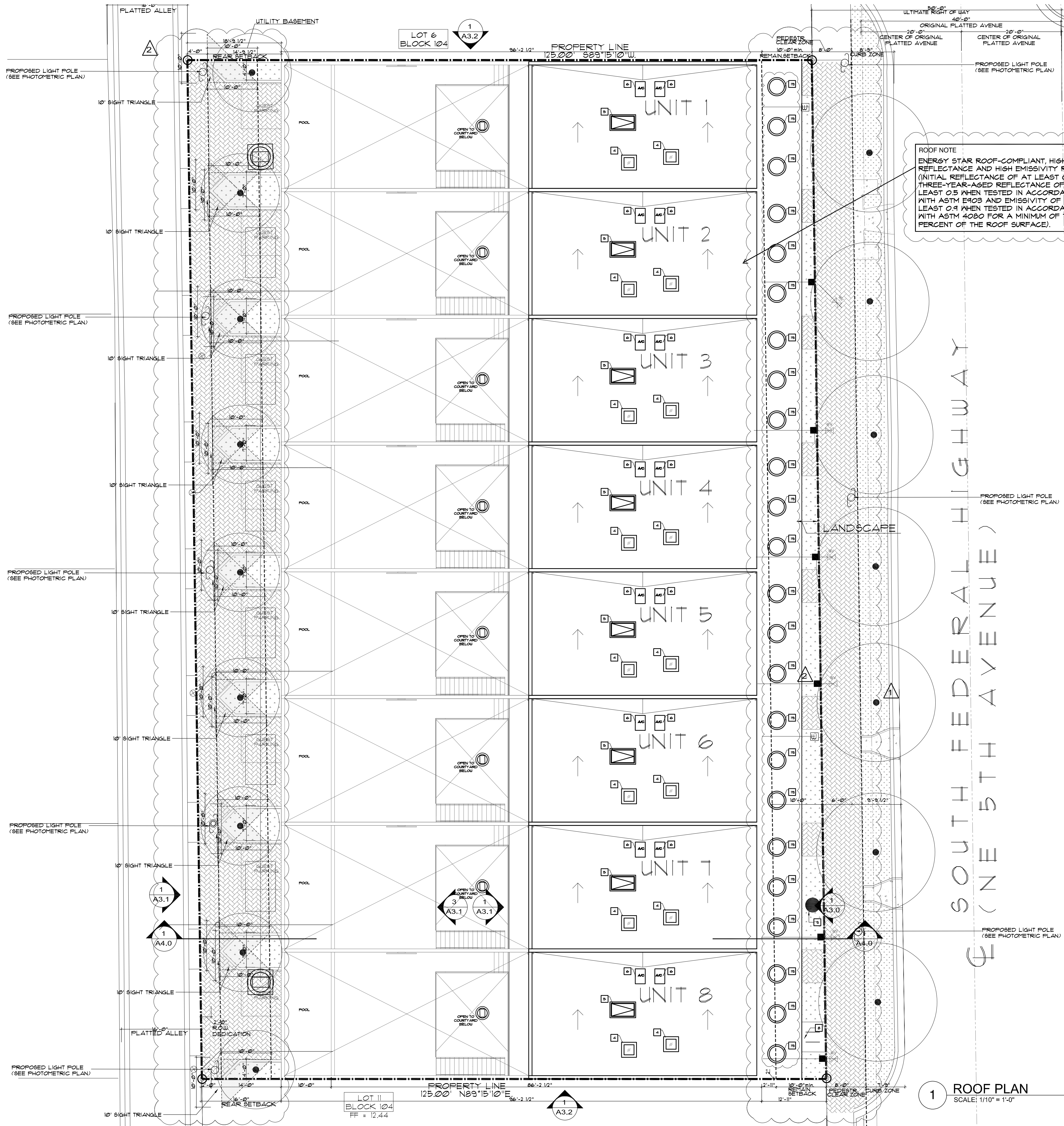
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PERMIT SET		
<u>REVISIONS</u>		
1.	TAC COMMENTS	6.2.22
2.	TAC COMMENTS	8.1.22
3.	TAC COMMENTS	9.21.22
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**A-1.1**

PRINT DATE:  
SEPTEMBER 21, 2022





3 VICINITY MAP  
SCALE: N.T.S.

SITE INFORMATION

ADDRESS:	353 SE 5TH AVE, DELRAY BEACH, FL
LEGAL DESCRIPTION:	LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.
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SETBACKS	REQUIRED	PROVIDED
NORTH	0'-0"	0'-2"
WEST-ALLEY	10'-0"	14'-9 1/2" - 12'-0"
SOUTH	0'-0"	0'-2"
EAST-NE 5TH AVE	10'-0"	10'-0" - 12'-11"

DWELLING UNITS	30 DU/ACRE MAX	8/0.29 = 27.58 DU/AC
BUILDING HEIGHT:	REQUIRED	PROVIDED
TOP OF ROOF	54'-0" MAX	39'-6" A.F.F.

SITE AREA CALCULATION		
TOTAL SITE AREA		24684 S.F.
BUILDING FOOTPRINT		19352 S.F. 77.12%
CIVIC SPACE:	REQUIRED	PROVIDED
	4684 X 5%	234 S.F.

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TOTAL A/C ALL UNITS	28,096 S.F.
COURTYARD PER UNIT	487 S.F.
GARAGE PER UNIT	523 S.F.
TOTAL GROSS AREA PER UNIT	4,522 S.F.
TOTAL GROSS ALL UNITS	36,176 S.F.

REDUCTION OF URBAN HEAT ISLAND  
TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE

PARKING REQUIREMENTS	REQUIRED	PROVIDED
(B) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
GUEST SPACES	0.5 PER UNIT=4	8 IN DRIVEWAY

TOWNHOUSES SHALL BE FEE SIMPLE.

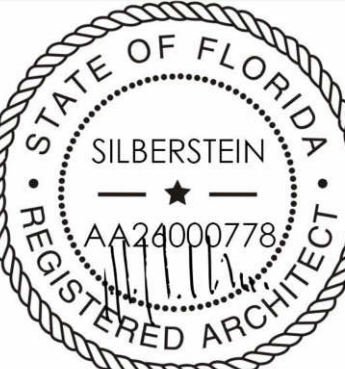
BIKE REQUIREMENTS	REQUIRED	PROVIDED
	1 PER 4 UNITS	2

LEGEND

DESCRIPTION
1 FUTURE 2'X4' GENERATOR
2 CONCRETE SLAB
3 POOL EQUIPMENT
4 SKYLIGHT WITH 6" CURB
5 ROOF HATCH
6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
7 DRAIN
8 BICYCLE RACK FOR 2 ON CONCRETE PAD
9 LOCATION OF SCULPTURE
10 3'0 SKYLIGHT WITH 4" CURB

WAIVERS  
DESCRIPTION  
LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.  
WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.  
WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.  
WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.

1 ROOF PLAN  
SCALE: 1/10" = 1'-0"

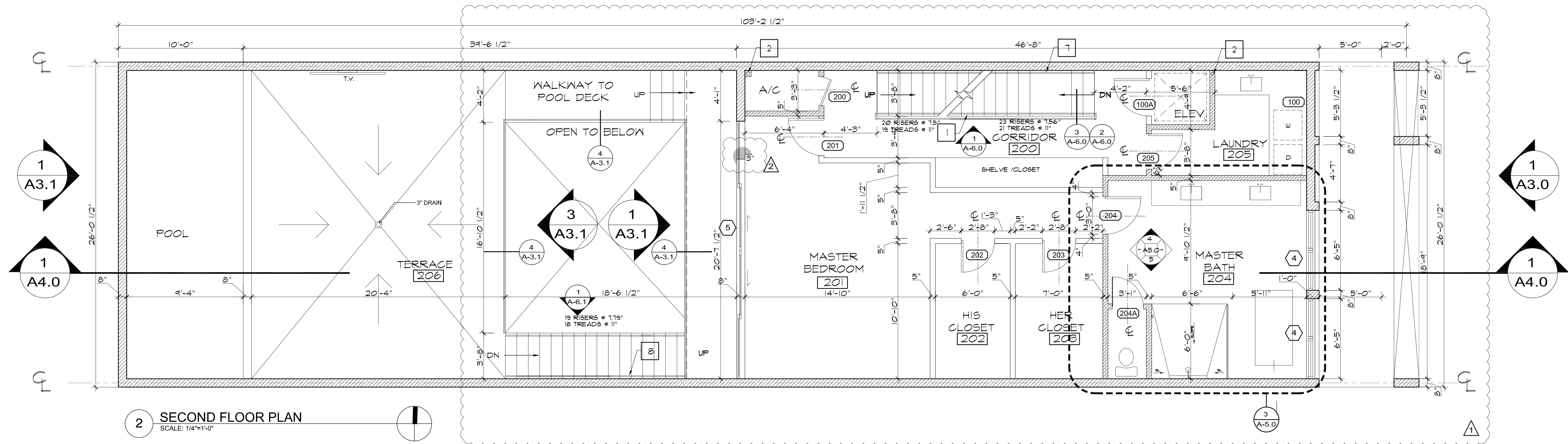
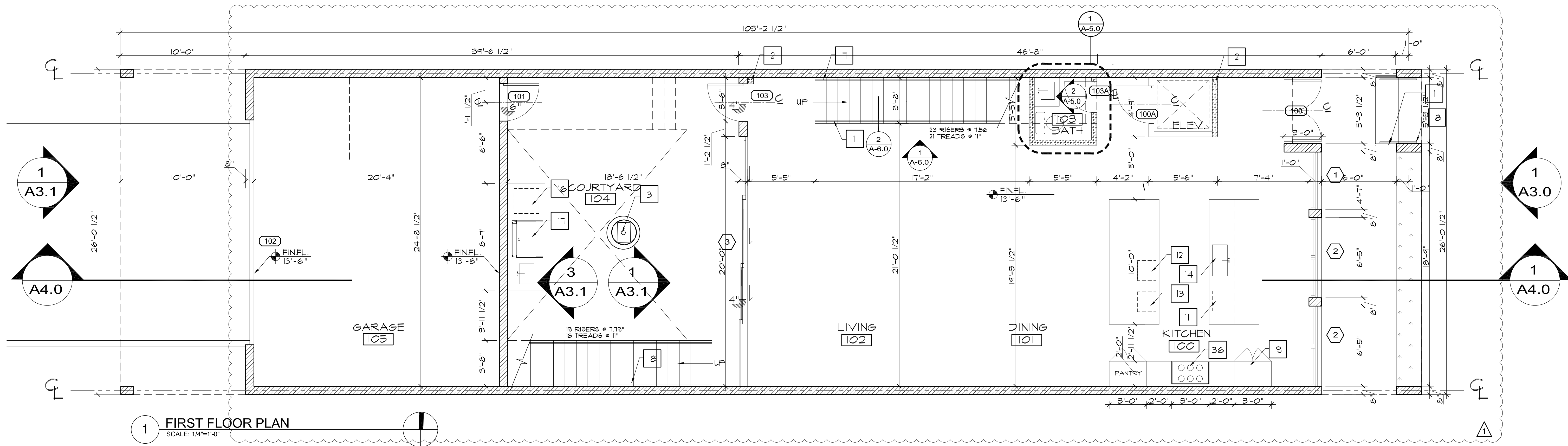


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DELRAY BEACH, FL 33483

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PERMIT SET	REVISIONS
1. TAC COMMENTS	6.2.22
2. TAC COMMENTS	8.1.22
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LEGEND			
DESCRIPTION			
1	GLASS RAIL	8	STAINLESS STEEL HANDRAIL BRACKET ROUND
2	3" DRAIN	9	36" BUILT-IN REFRIGERATOR
3	YARD DRAIN	10	36" GAS COOKTOP
4	2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DWGS.	11	DISHWASHER
5	ROOF HATCH BY BILCO TYPE NB	12	UNDERCOUNTER MICROWAVE
6	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.	13	UNDERCOUNTER OVEN
7	HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL, 1 1/2" Ø 1500, STAINES STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM	14	30" UNDERMOUNT SINK / WITH DISPOSAL
		15	HOOD ABOVE COOKTOP
		16	2' UNDERCOUNTER FRIDGE
		17	36" BUILT-IN GAS BBQ, VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT
		18	OVERFLOW SCUPPER
		19	3'Ø SKYLIGHT WITH 4" CURB

**NOTES:**  
 1. FINAL MODEL, TYPE, BRAND, COLOR, MATERIAL AND/OR FINISH TO BE SELECTED BY ARCHITECT  
 2. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY  
 3. SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT  
 4. STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FBC R311.1.4.3, TO NOT ALLOW THE PASSAGE OF A 4" SPHERE  
 5. ALL DIMENSIONS ARE NOMINAL  
 6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS  
 7. DO NOT SCALE DRAWINGS

WALL TYPES LEGEND:	
	8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OVENS CORNING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926
	8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL
	3-5/8" 25 GA MTL. STUD @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD
	3-5/8" 25 GA MTL. STUD OR AS NOTED ON PLANS @ 16" O.C. WITH 3-1/2" SOUND ATTENUATION BATT FIBER GLASS INSULATION (OVENS CORNING.COM).
	8" CMU WALL (SEE STRUCTURAL REQUIREMENTS) WITH UL CLASSIFICATION D-2 (2-HOUR FIRE RATED) TO HAVE 7/8" METAL FURRING STRIPS WITH 5/8" SUPRESS SOUND ENGINEERED DRYWALL ON BOTH SIDES

PERMIT SET		
REVISIONS		
1.	TAC COMMENTS	6.2.22
2.	TAC COMMENTS	8.1.22
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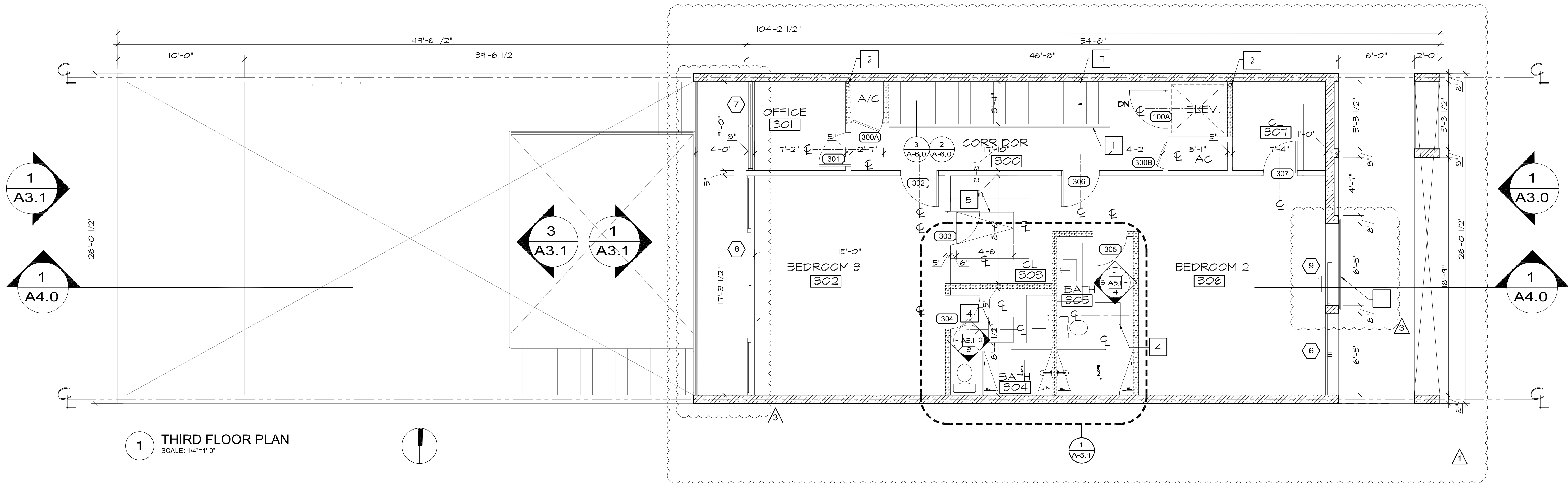
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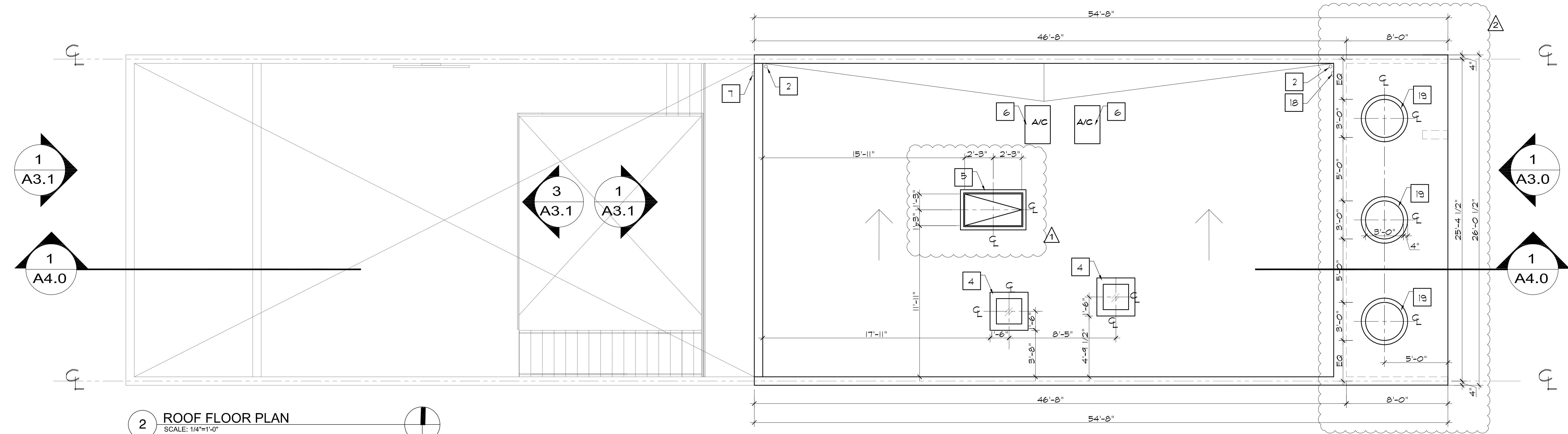
354 SE 5TH AVE.  
 DELRAY BEACH, FL 33483

**SILBERSTEIN ARCHITECTURE**  
 524 NE 2ND STREET DELRAY BEACH FL 33483  
 TEL 561 276 9393 LICENSE # AA 24000778  
 WWW.SILBERSTEINARCHITECT.COM  
 js@silbersteinarchitect.com or studio@silbersteinarchitect.com





1 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 ROOF FLOOR PLAN  
SCALE: 1/4"=1'-0"

#### LEGEND

##### DESCRIPTION

1 GLASS RAIL	8 STAINLESS STEEL HANDRAIL BRACKET ROUND	13 UNDERCOUNTER OVEN
2 3" DRAIN	HEWA005LAGRND BY INCINE DESING.COM + STAINLESS STEEL HANDRAILTUBE ROUND BY INCINE DESING.COM	14 30" UNDERMOUNT SINK / WITH DISPOSAL
3 YARD DRAIN		15 HOOD ABOVE COOKTOP
4 2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DUGS.	9 36" BUILT-IN REFRIGERATOR	16 2' UNDERCOUNTER FRIDGE
5 ROOF HATCH BY BILCO TYPE NB	10 36" GAS COOKTOP	17 36" BUILT-IN GAS BBQ. VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT
6 ROOF MOUNTED A/C CONDENSER. VERIFY LOCATION IN FIELD.	11 DISHWASHER	18 OVERFLOW SCUPPER
7 HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL 1" Ø 1500, STAINES STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM	12 UNDERCOUNTER MICROWAVE	19 3'Ø SKYLIGHT WITH 4" CURB

##### NOTES:

- FINAL MODEL, TYPE, BRAND, COLOR, MATERIAL AND/OR FINISH TO BE SELECTED BY ARCHITECT
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY
- SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT
- STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FBC R311.14.3. TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
- ALL DIMENSIONS ARE NOMINAL
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS
- DO NOT SCALE DRAWINGS

#### WALL TYPES LEGEND:

	8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OWENSCORNING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926
	8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL
	3-5/8" 25 GA MTL. STUD @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD
	3-5/8" 25 GA MTL. STUD OR AS NOTED ON PLANS @ 16" O.C. WITH 3-1/2" SOUND ATTENUATION BATT FIBER GLASS INSULATION (OWENSCORNING.COM).
	8" CMU WALL (SEE STRUCTURAL REQUIREMENTS) WITH UL CLASSIFICATION D-2 (2-HOUR FIRE RATED) TO HAVE 7/8" METAL FURRING STRIPS WITH 5/8" SUPRESS SOUND ENGINEERED DRYWALL ON BOTH SIDES



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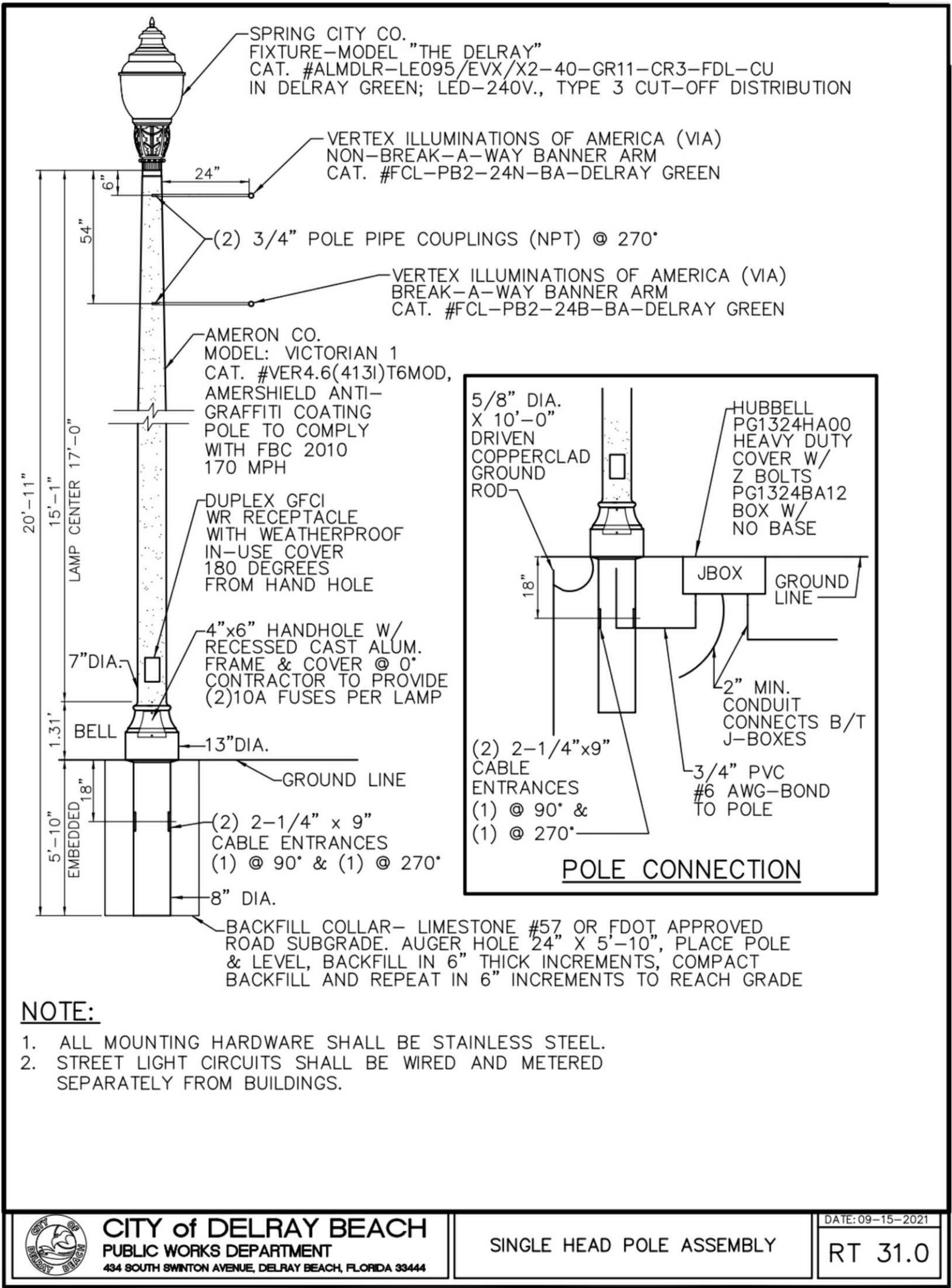
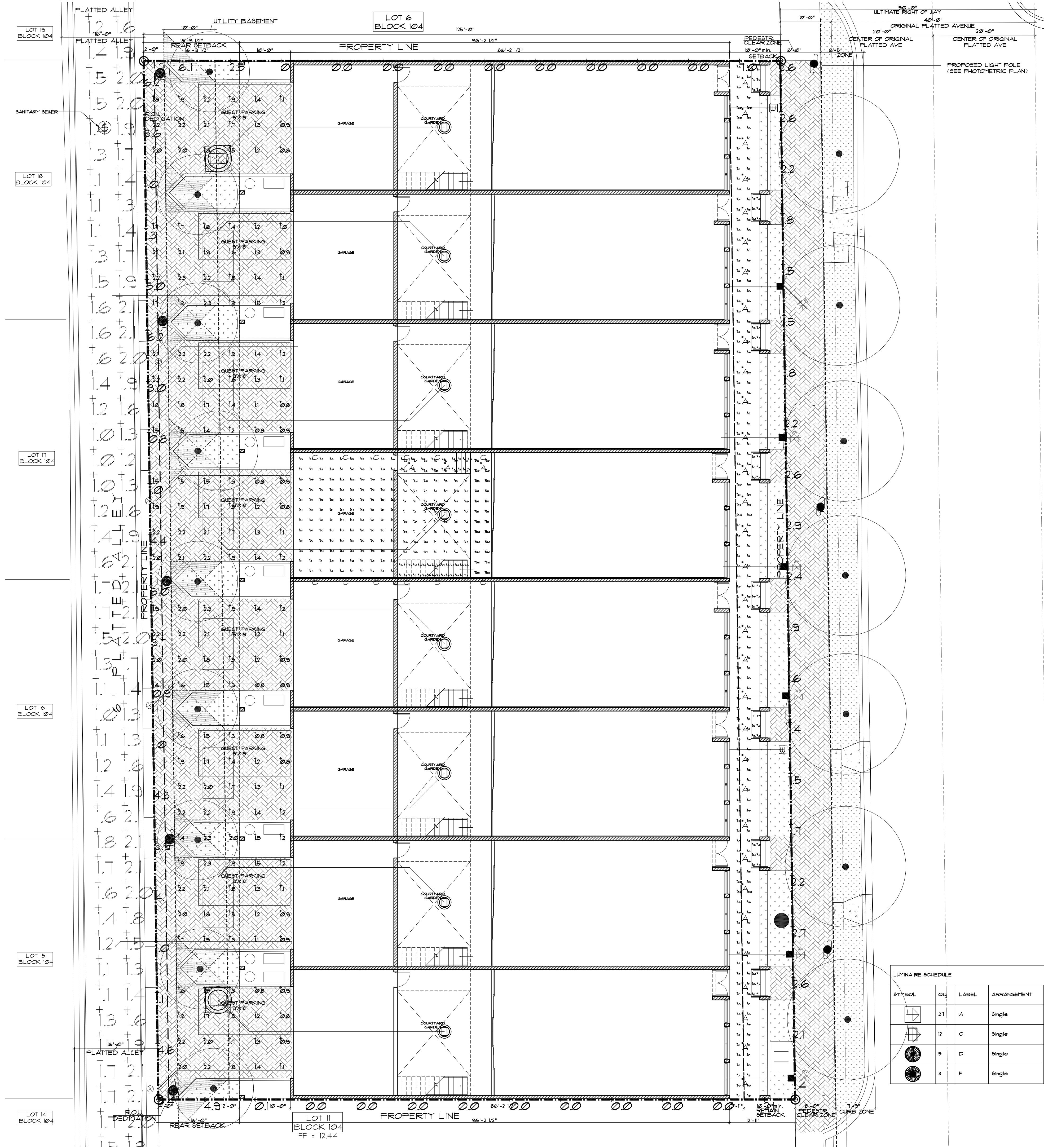
PERMIT SET	REVISIONS
1. TAC COMMENTS	6.2.22
2. TAC COMMENTS	8.1.22
3. TAC COMMENTS	8.25.22
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PRINT DATE:  
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SILBERSTEIN ARCHITECTURE  
524 NE 2ND STREET DELRAY BEACH FL 33483  
TEL 561 276 9393 LICENSE # AA 24000778  
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2 POLE SPEC  
SCALE: 1/4" = 1'-0"

CALCULATION SUMMARY								
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	LV RATIO
1ST FLOOR	Illuminance	Fc	4.71	9.9	0.5	9.42	19.80	N.A.
2ND FLOOR	Illuminance	Fc	1.33	5.1	0.0	N.A.	N.A.	N.A.
ALLEY Illum	Illuminance	Fc	1.56	2.1	1.0	1.56	2.10	N.A.
ALLEY Illuminance	Lumiance	Cd/Sqft	0.86	1.4	0.4	2.15	3.50	N.A.
ALLEY Illuminance	Veiling Luminance	Cd/Sqft	N.A.	N.A.	N.A.	N.A.	N.A.	0.12
BUILDING ENTRANCES	Illuminance	Fc	1.51	8.1	5.1	1.47	1.71	N.A.
PARKING	Illuminance	Fc	1.58	2.3	0.8	1.98	2.88	N.A.
SPILL - HORIZONTAL - 6' AFG	Illuminance	Fc	1.99	1.0	0.0	N.A.	N.A.	N.A.
SPILL - VERTICAL - 6' AFG	Illuminance	Fc	1.31	4.5	0.0	N.A.	N.A.	N.A.
STEPS TO 2ND FLOOR	Illuminance	Fc	4.03	7.5	2.0	2.02	3.75	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	Qty	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS
	31	A	Single	USA LIGHTING, LLC	B350 09X3 27K5 55 8 WH SH FTIC UNV D22	RECESSED	N/A	0.870	826
	12	C	Single	BEGA-US	33 514 K3	WALL MOUNTED	N/A	0.900	204
	5	D	Single	Lithonia Lighting	RADPT P2 30K 01M	POLE MOUNTED; 12' AFG.	N/A	0.900	4930
	3	F	Single	Spring City Electrical Manufacturing	ALMDLR LE095 EVX X2 40 GR11 CR3 FDL CU	POLE MOUNTED; 22' AFG.	N/A	1.000	9015

1 PHOTOMETRIC PLAN  
SCALE: 1/10" = 1'-0"



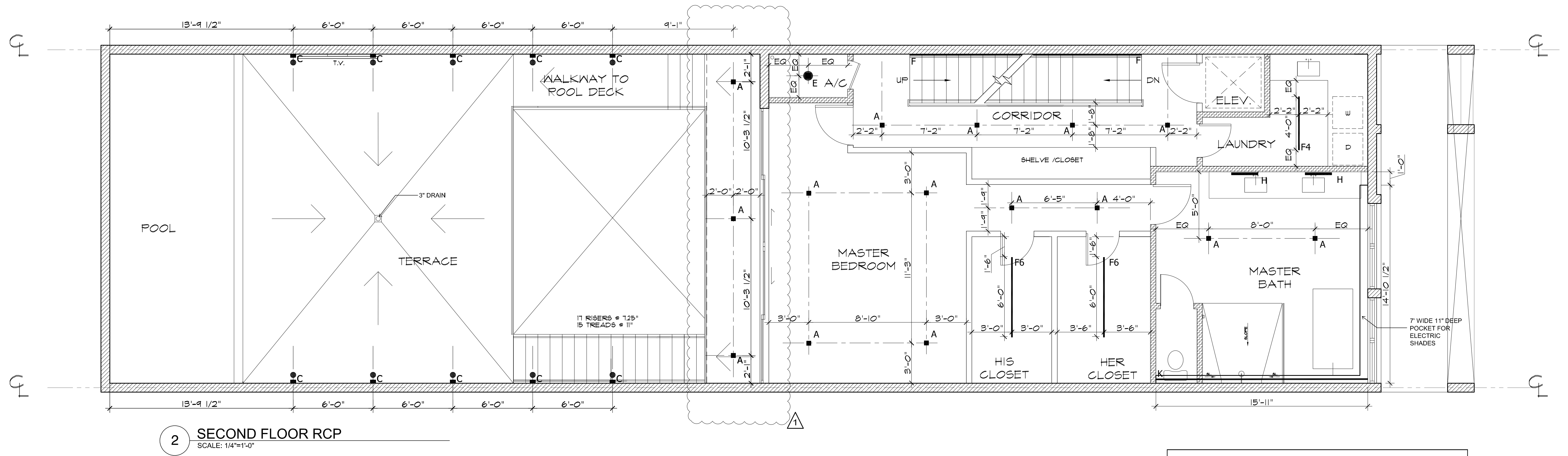
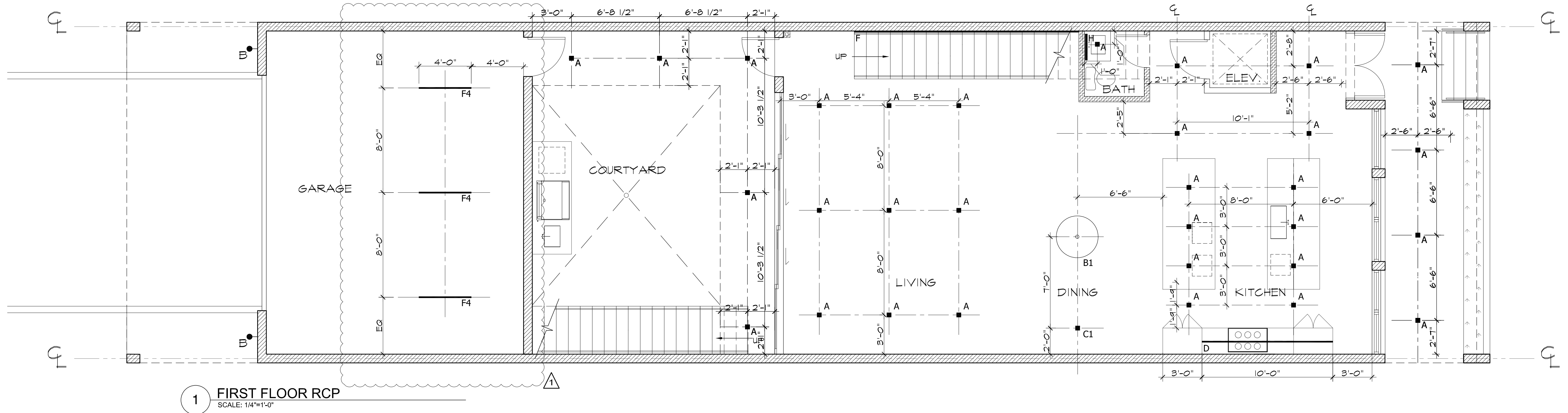
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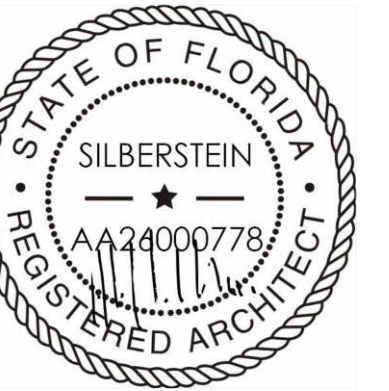
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PRINT DATE:  
SEPTEMBER 21, 2022





LIGHT FIXTURE SCHEDULE:	
SYM	TYPE
A	3" SQUARE DOWNLIGHT - MODEL USA1 LIGHTING B38DL
B	WALL MOUNTED LIGHT.
C	WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 118003
B1	PENDANT LIGHT.
C1	SQUARE DOWNLIGHT
D	UNDER CABINET LIGHT BY CABINET MAKER
E	DOWNLIGHT
F	DECORATIVE LINE OF LIGHT. LARGE INDICATED IN PLANS.
H	LIGHTED MIRROR
K	DECORATIVE LINE OF LIGHT - WATERPROOF



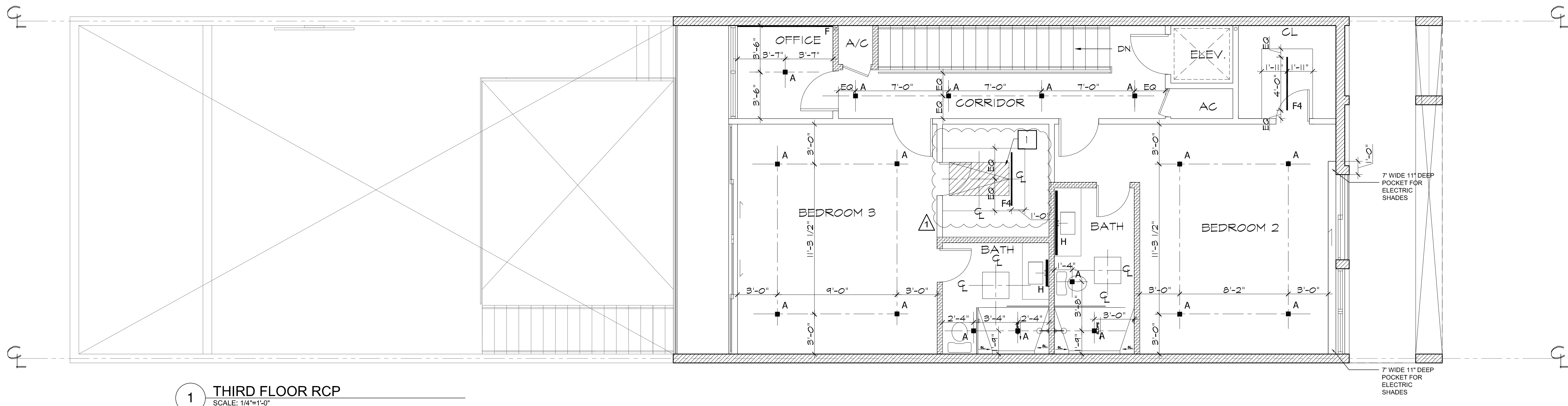
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PRINT DATE:  
SEPTEMBER 21, 2022





1 THIRD FLOOR RCP  
SCALE: 1/4"=1'-0"

LIGHT FIXTURE SCHEDULE:	
SYN	TYPE
A	3" SQUARE DOWNLIGHT - MODEL USAI LIGHTING B39DL
B	WALL MOUNTED LIGHT.
C	WALL MOUNTED LIGHT - WATERPROOF - MODEL V48MOK 115003
B1	PENDANT LIGHT.
C1	SQUARE DOWNLIGHT
D	UNDER CABINET LIGHT BY CABINET MAKER
E	DOWNLIGHT
F	DECORATIVE LINE OF LIGHT, LARGE INDICATED IN PLANS.
H	LIGHTED MIRROR
K	DECORATIVE LINE OF LIGHT - WATERPROOF

LEGEND

1	ROOF HATCH BY BILCO TYPE N.B
---	------------------------------



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3

**STUCCO / WOOD RELIEF**

SCALE: 1"=1'-0"

TYPICAL STUCCO RELIEF

STUCCO REVEAL

1/2"

3/4"

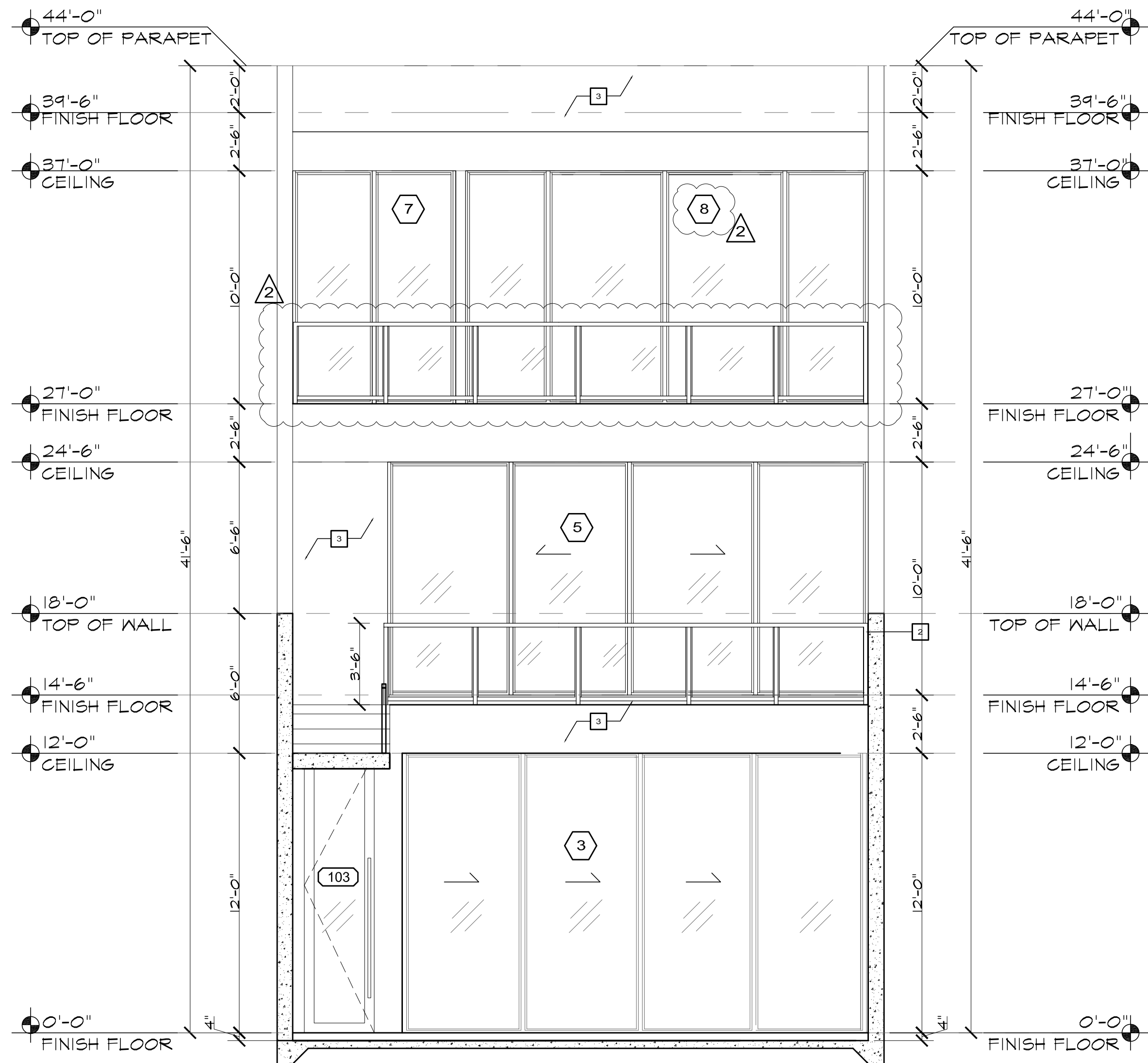
4"

1/2"

1/2"

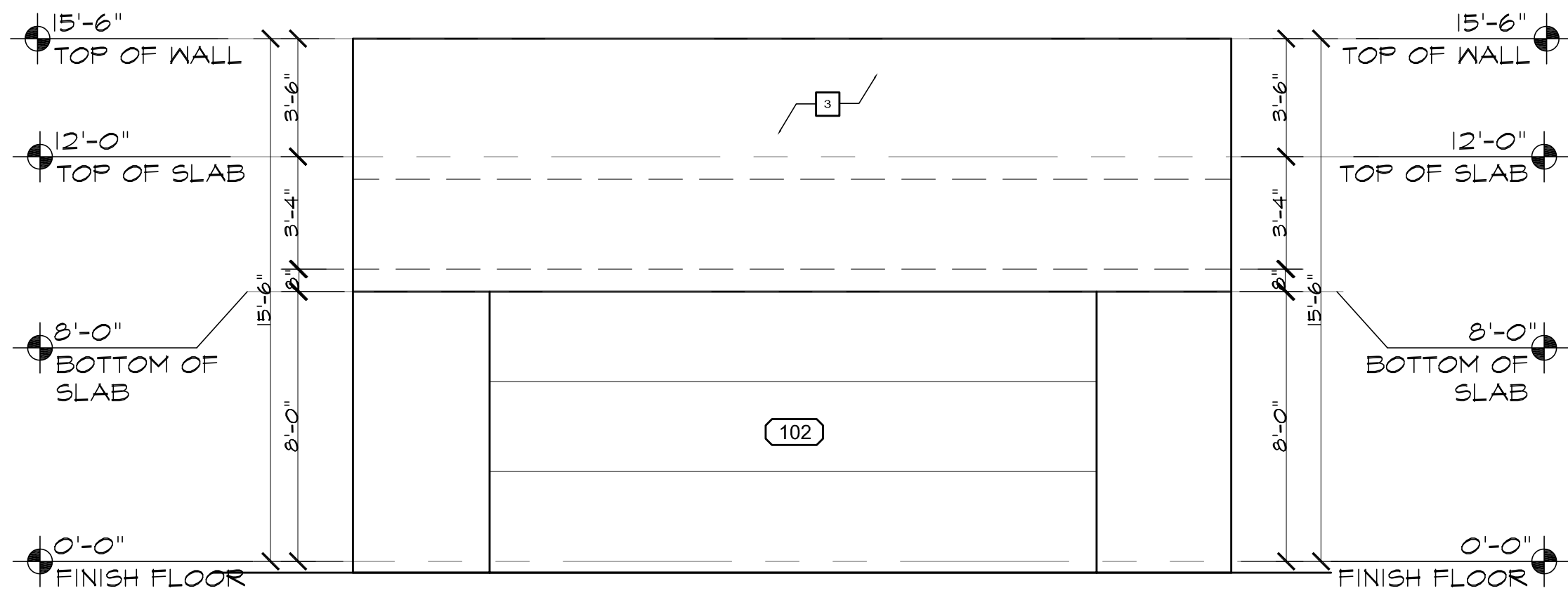
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TAC COMMENTS		6.2.22
TAC COMMENTS		8.1.22
TAC COMMENTS		8.25.22



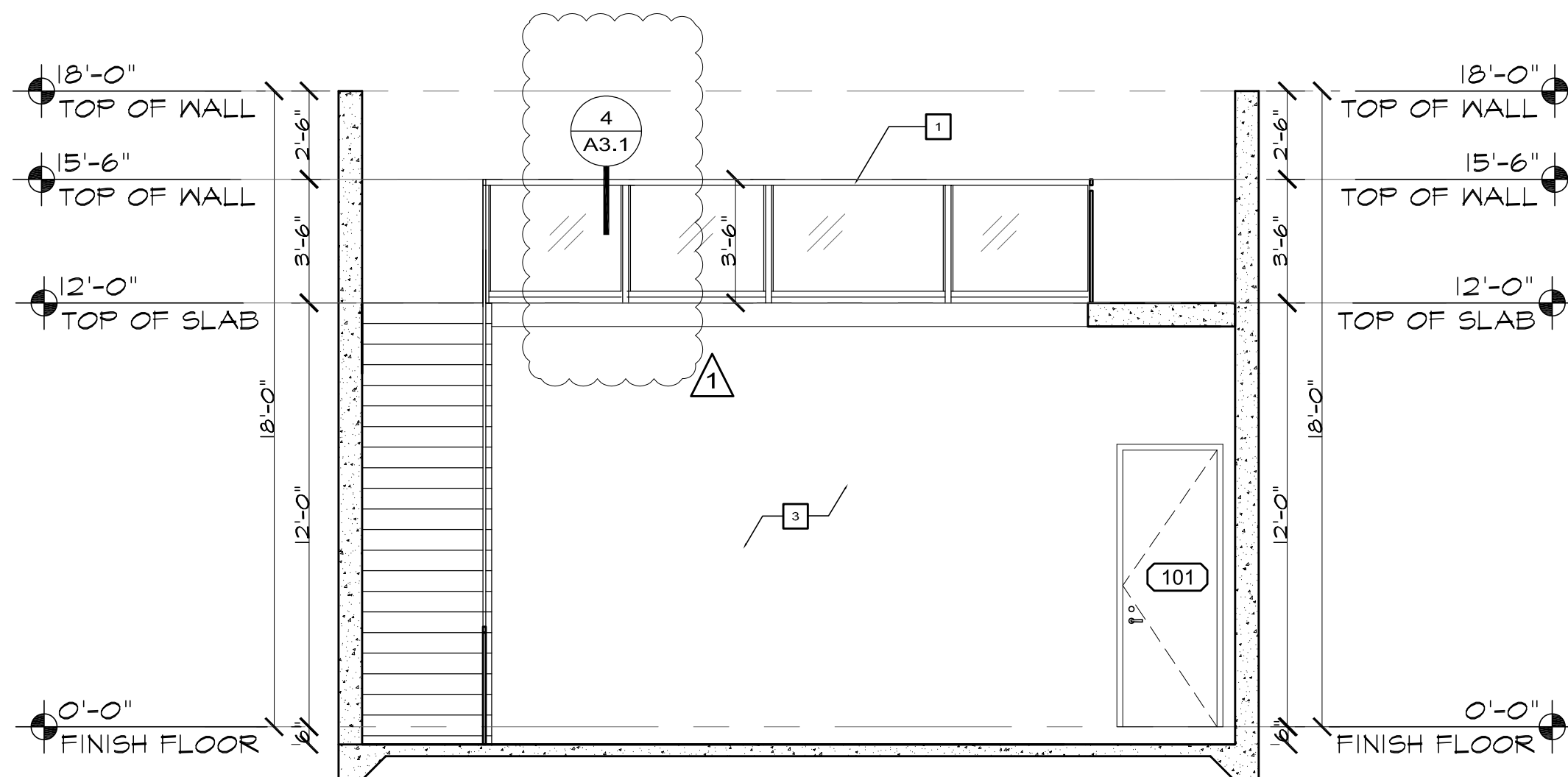


1 INTERIOR WEST ELEVATION  
SCALE: 1/4" = 1'-0"

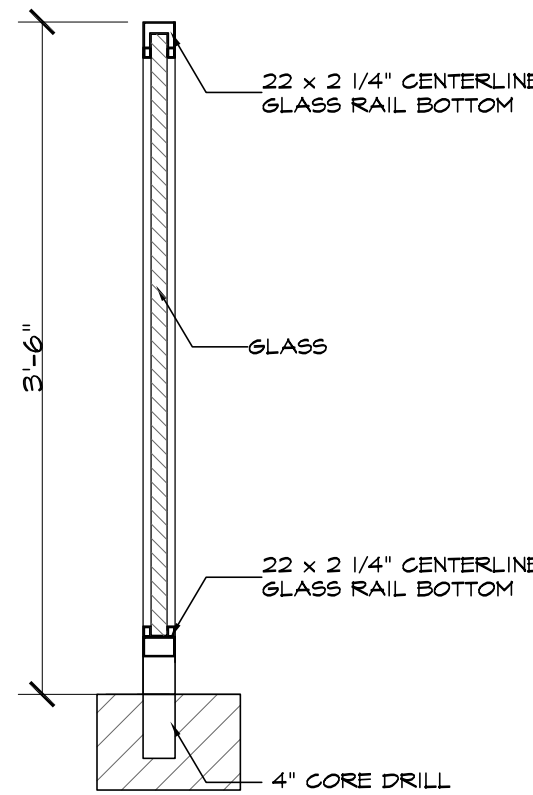
EXTERIOR GLAZING SCHEDULE									
ALL GLAZING: CLEAR LAMINATED IMPACT GLASS - SOLARBAN 60									
SYM	MASONRY OPENING		WINDOW TYPE	MANUFACTURER	FRAME	FINISH	DETAILS	REMARKS	
	WIDTH	HEIGHT							
1	4'-7"	12'-0"	FIXED	-	ALUM	SUPER WHITE	-		
2	6'-5"	12'-0"	FIXED	-			-		
3	20'-0"	12'-0"	SLIDERS	-			-		
4	6'-5"	10'-0"	FIXED	-			-		
5	20'-7 1/2"	10'-0"	SLIDERS	-			-		
6	6'-5"	10'-0"	FIXED	-			-	7'-0" CASEMENT	
7	7'-0"	10'-0"	FIXED	-			-	7'-0" CASEMENT	
8	17'-3 1/2"	10'-0"	SLIDERS	-			-		
9	6'-5"	10'-0"	SLIDERS	-			-		
EXTERIOR DOOR SCHEDULE									
(SYM)	NOMINAL SIZE VERIFY		DOOR TYPE	DOOR	FINISH	THK.	HARDWARE GROUP	DETAIL(S)	REMARKS
	WIDTH	HEIGHT							
100	5'-3 1/2"	12'-0"	ALUM.	-	NATURAL TEAK	1 3/4"	-	-	
101	3'-0"	8'-0"	-	FIBERGLASS	PAINT WHITE	1 3/4"	-	-	FIBERGLASS EXTERIOR IMPACT
102	18'-0"	8'-0"	-	-	PAINT SUPER WHITE	-	-	-	AMARR BRAND HERITAGE 3000 STAINED WOOD PANEL 3 LAYER INSULATED GARAGE DOOR TO MEET MIAMI DADE NOA
103	3'-0"	12'-0"	ALUM./GLASS	-	ANODIZED ALUMINUM OR SILVER	1 3/4"	-	-	
SEE ELEVATION DRAWINGS FOR MULLION LOCATIONS									



2 WEST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



3 EAST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



4 HANDRAIL SECTION DETAIL  
SCALE: 1/4" = 1'-0"

LEGEND	
DESCRIPTION	
1	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" DARK BRONZE ALUMINUM FRAME. BY JC ORNAMENTAL.COM
2	TAPER-LOGO SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L215 and 9BL21 BASE SHOES BY CR LAURENCE CO.-800-421-6144 - BASE FINISHED WITH BREAK METAL - SUBMIT SHOP DRAWINGS
3	3/8" FLOAT FINISH STUCCO- SUPER WHITE

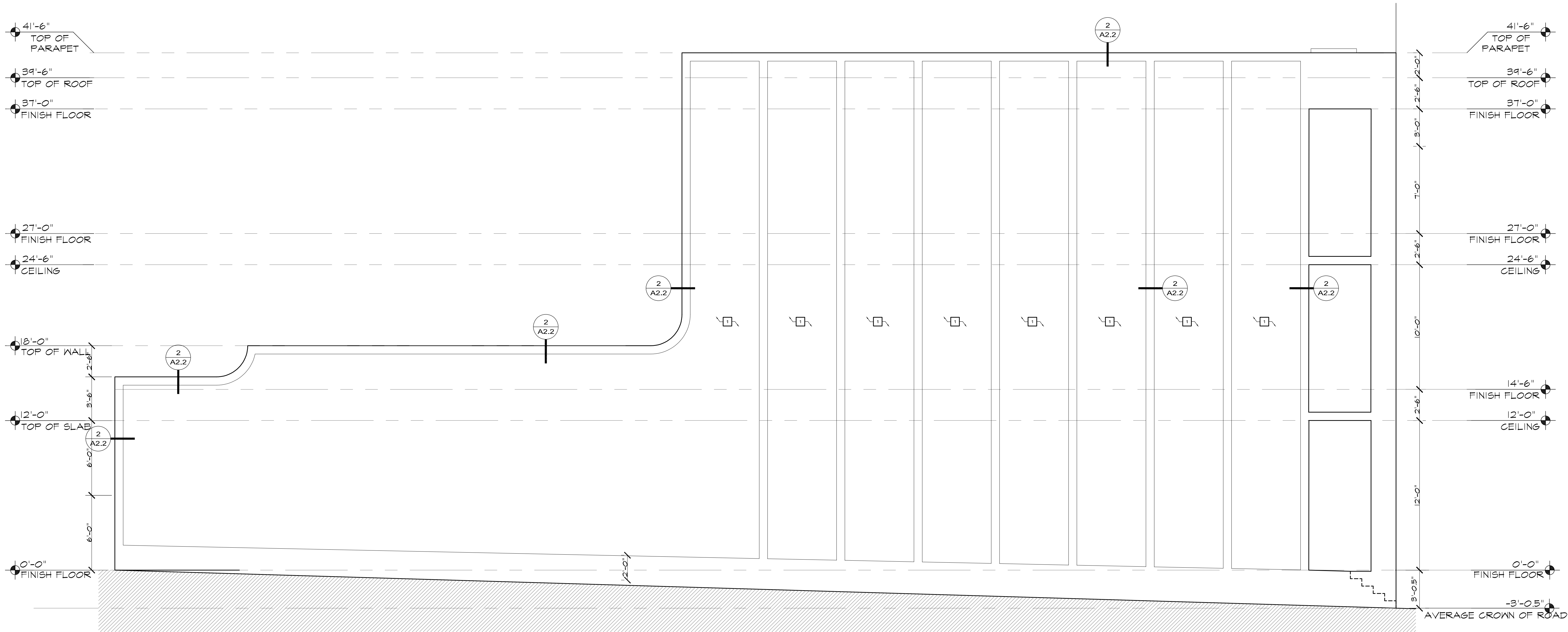


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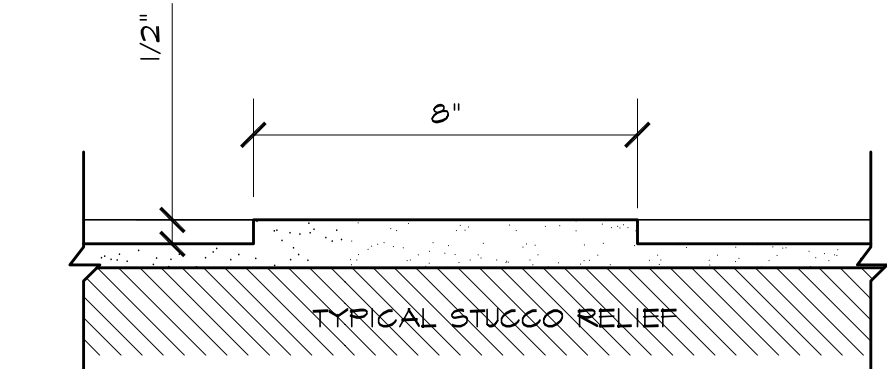
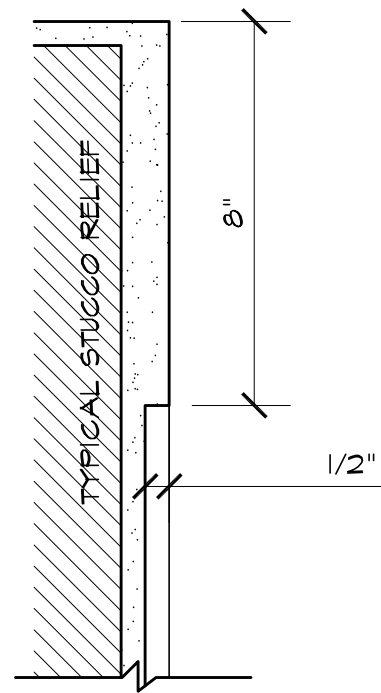
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1. TAC COMMENTS	6.2.22
2. TAC COMMENTS	8.25.22
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1 SOUTH/NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



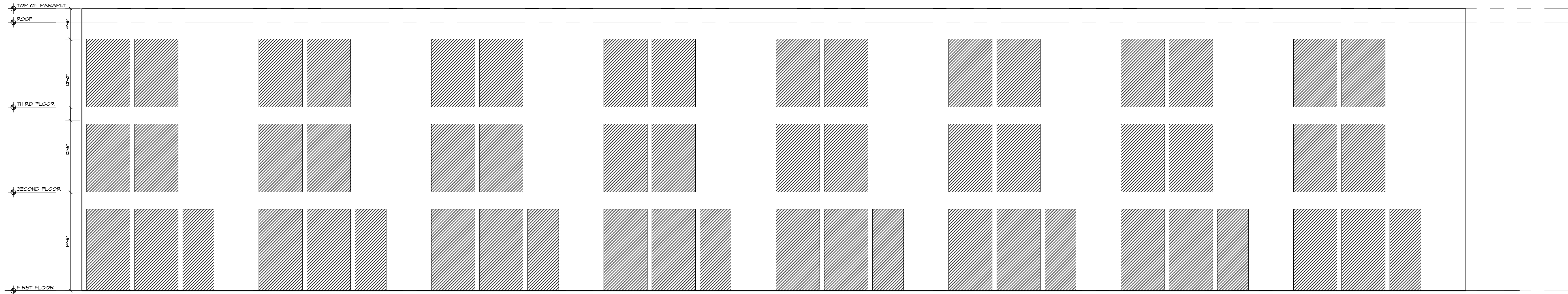
2 STUCCP RELIEF  
SCALE: 3'-0" = 1'-0"

LEGEND	
DESCRIPTION	
1	8" FLOAT FINISH STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE



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WINDOW COVERING CALCULATIONS			
WINDOW COVERING SHALL BE BETWEEN 20%-75% OF WALL AREA			
FLOOR	WALL AREA	GLASS AREA	PERCENTAGE
FIRST	2953 S.F.	1672 S.F.	56.7%
SECOND	2546 S.F.	1024 S.F.	40.2%
THIRD	2546 S.F.	1024 S.F.	40.2%

LEGEND	
DESCRIPTION	
<div></div>	GLASS
<div></div>	WALL

1 WINDOWS COVERING DIAGRAM  
SCALE: 1/8"=1'-0"

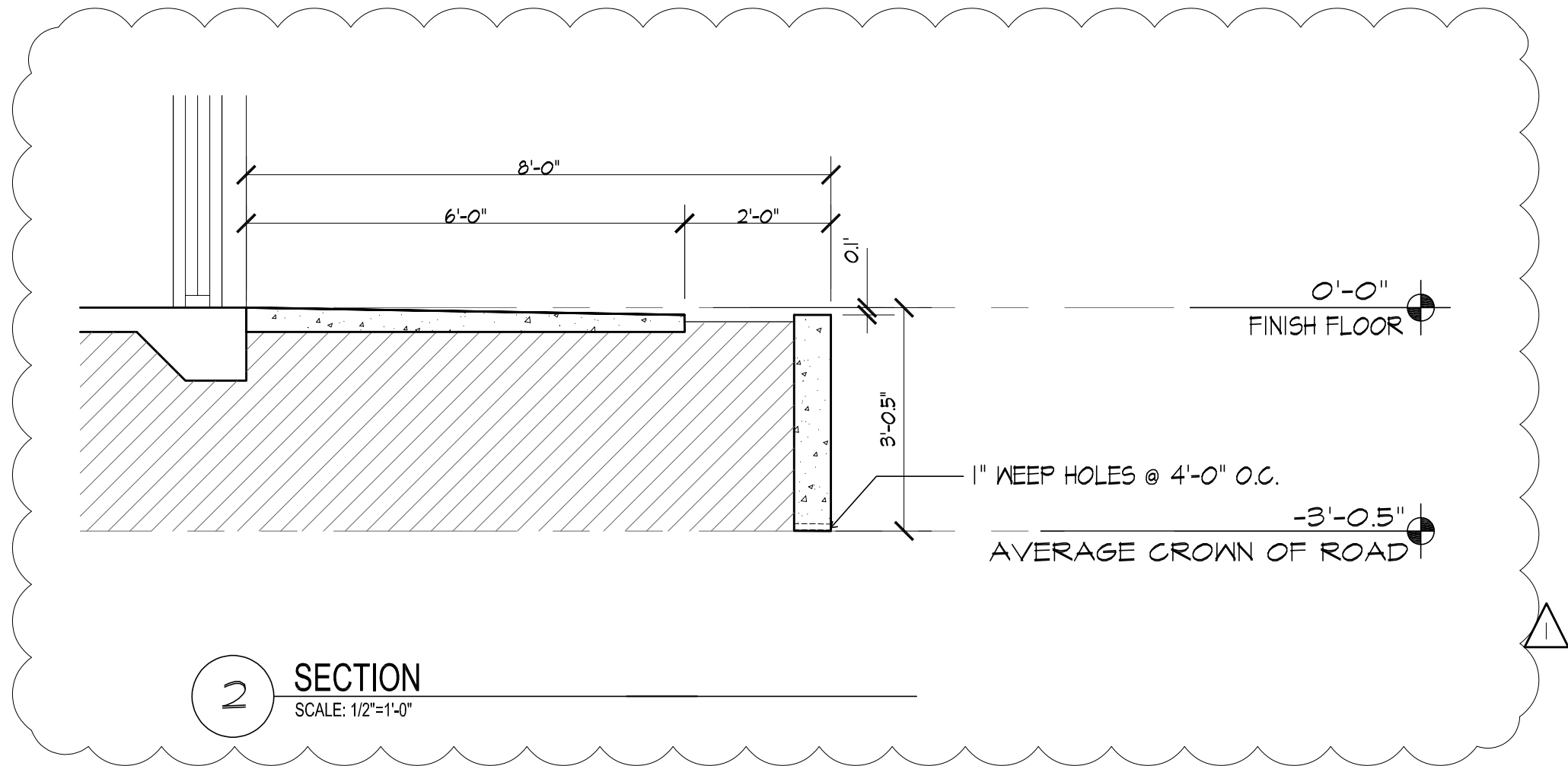
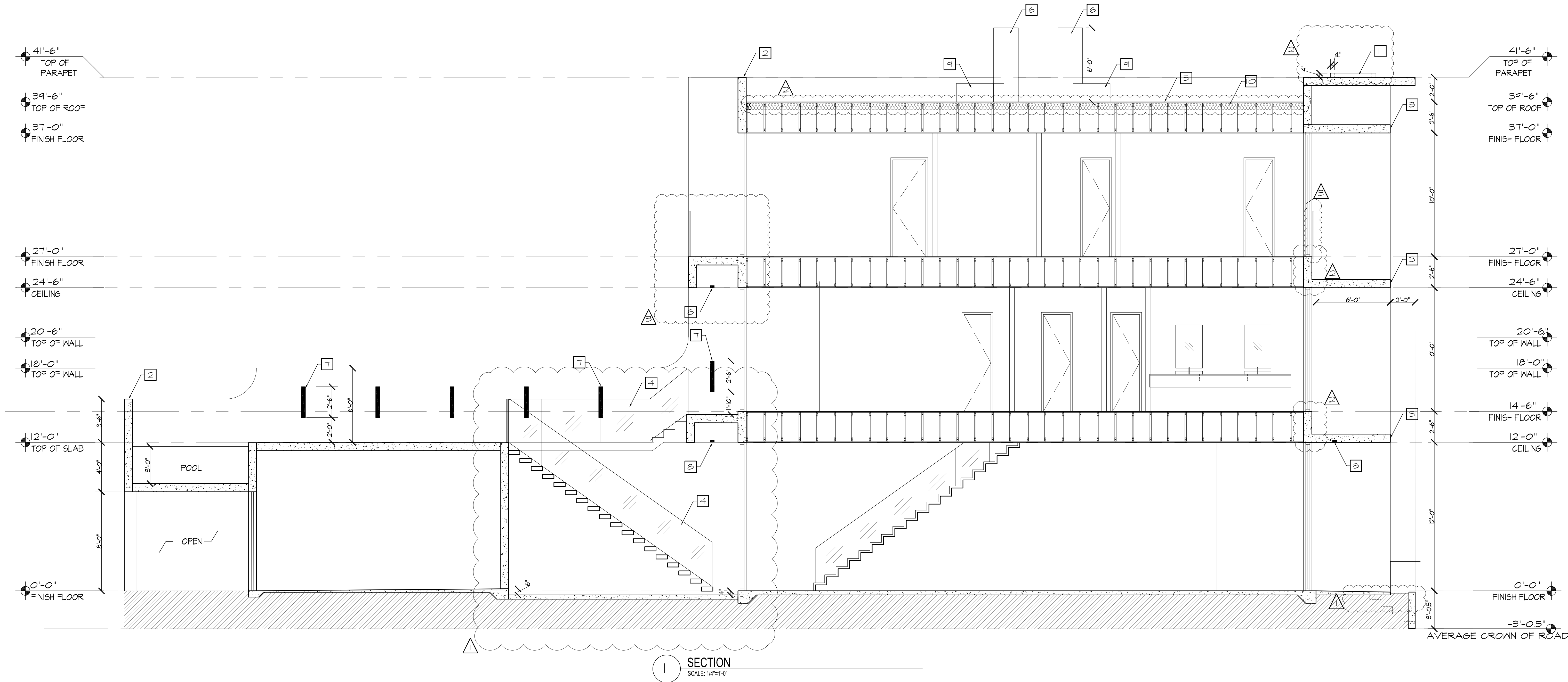


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LEGEND	
DESCRIPTION	
1	WHITE SMOOTH FLOAT FINISH STUCCO
2	SLOPE TOP OF PARAPET WALL TOWARDS ROOF, STUCCO STOP AT ROOF FLASHING
3	CONTINUOUS DRIP EDGE, TYP.
4	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" DARK BRONZE ALUMINUM FRAME, BY JC ORNAMENTAL.COM
5	GAF EVERGUARD FREEDOM HN 60 MIL FULLY ADHERED ROOF MEMBRANE, OR APPROVED EQUAL OVER R-30 AVERAGE TAPERED ROOF INSULATION
6	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
7	WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 115003
8	3" SQUARE DOWNLIGHT - MODEL USAI LIGHTING B35DL
9	SKYLIGHT WITH 6" CURB
10	ICYNENE INSULATION R-19
11	SKYLIGHT WITH 4" CURB
NOTES:	
1. FINISHES TO BE SELECTED BY OWNER	
2. CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS FOR ARCHITECT'S APPROVAL	



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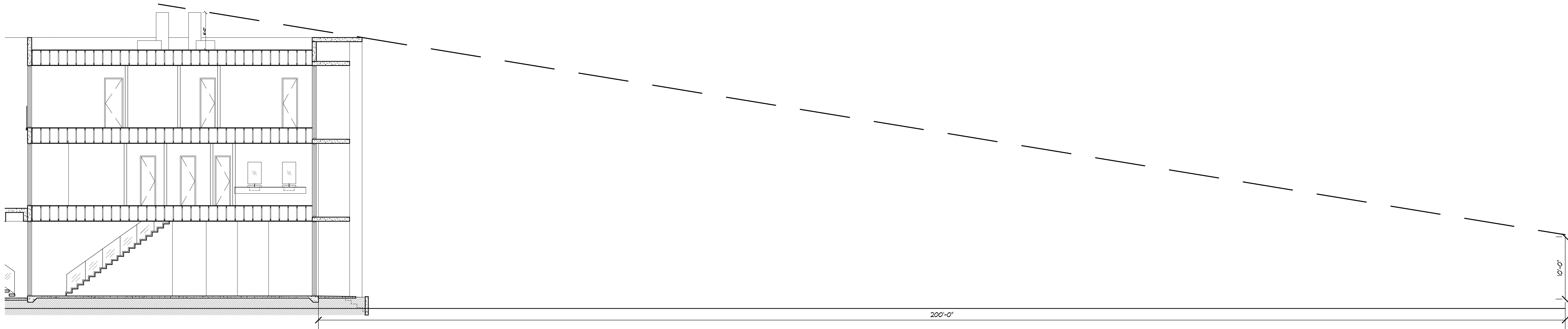
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1 SITE LINE STUDY  
SCALE: 1/8" = 1'-0"



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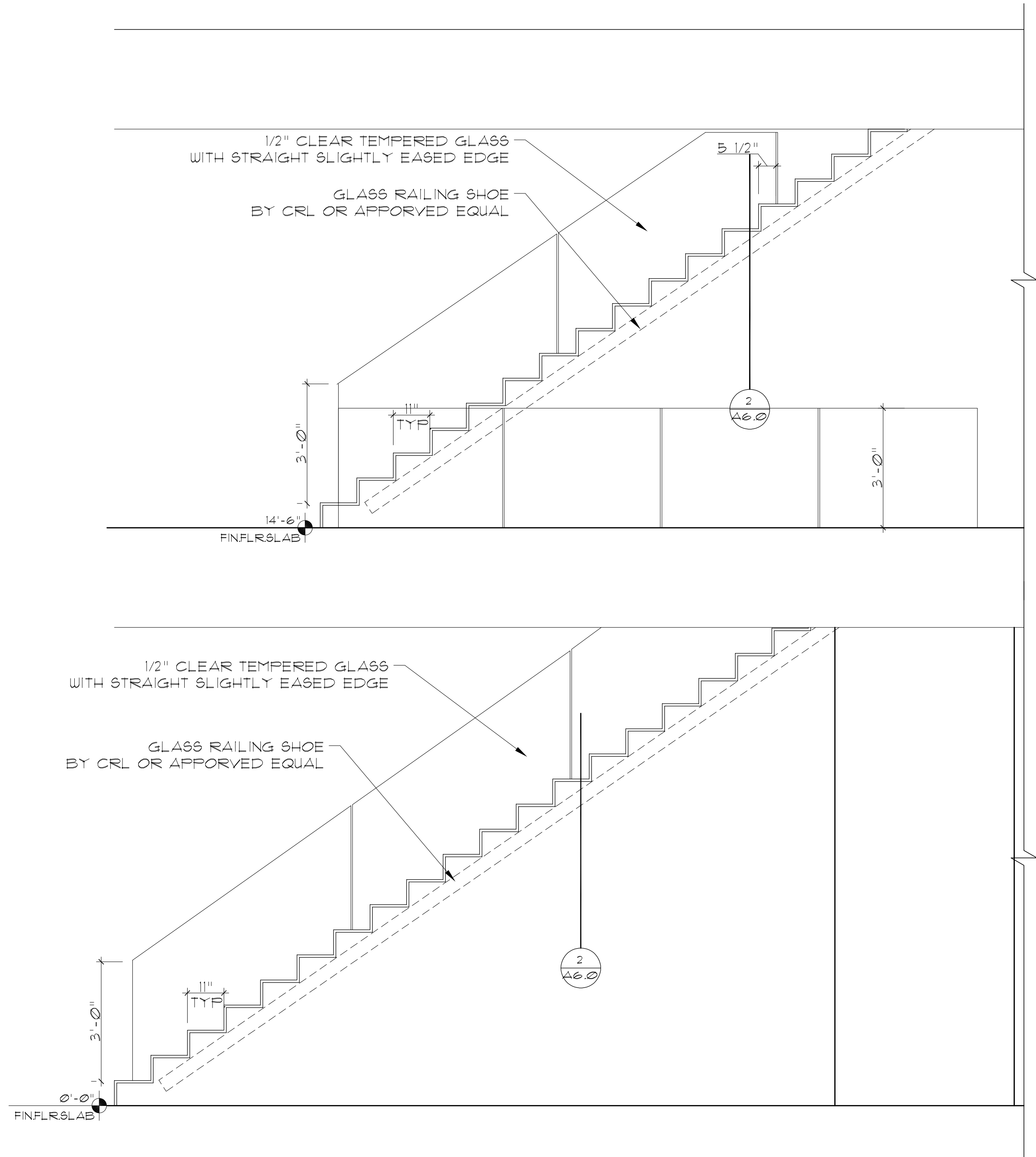
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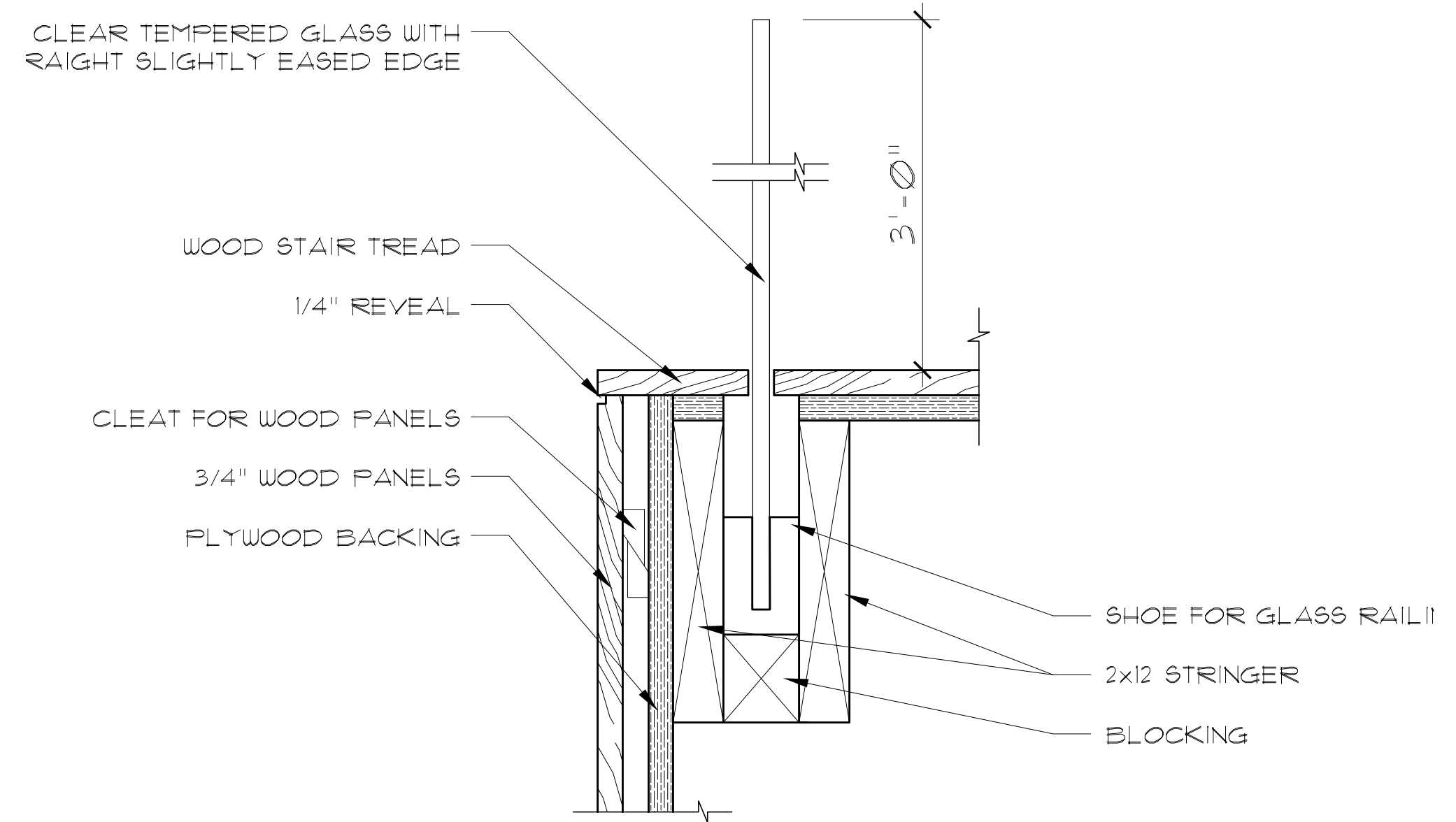
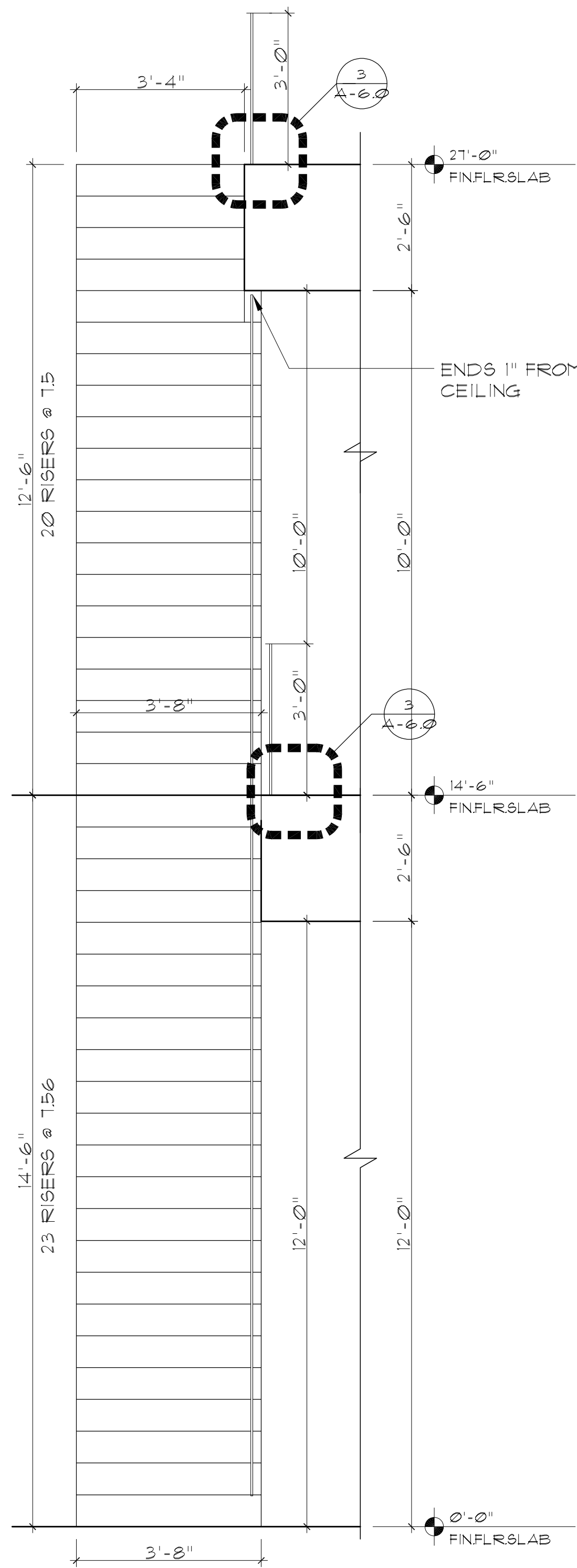
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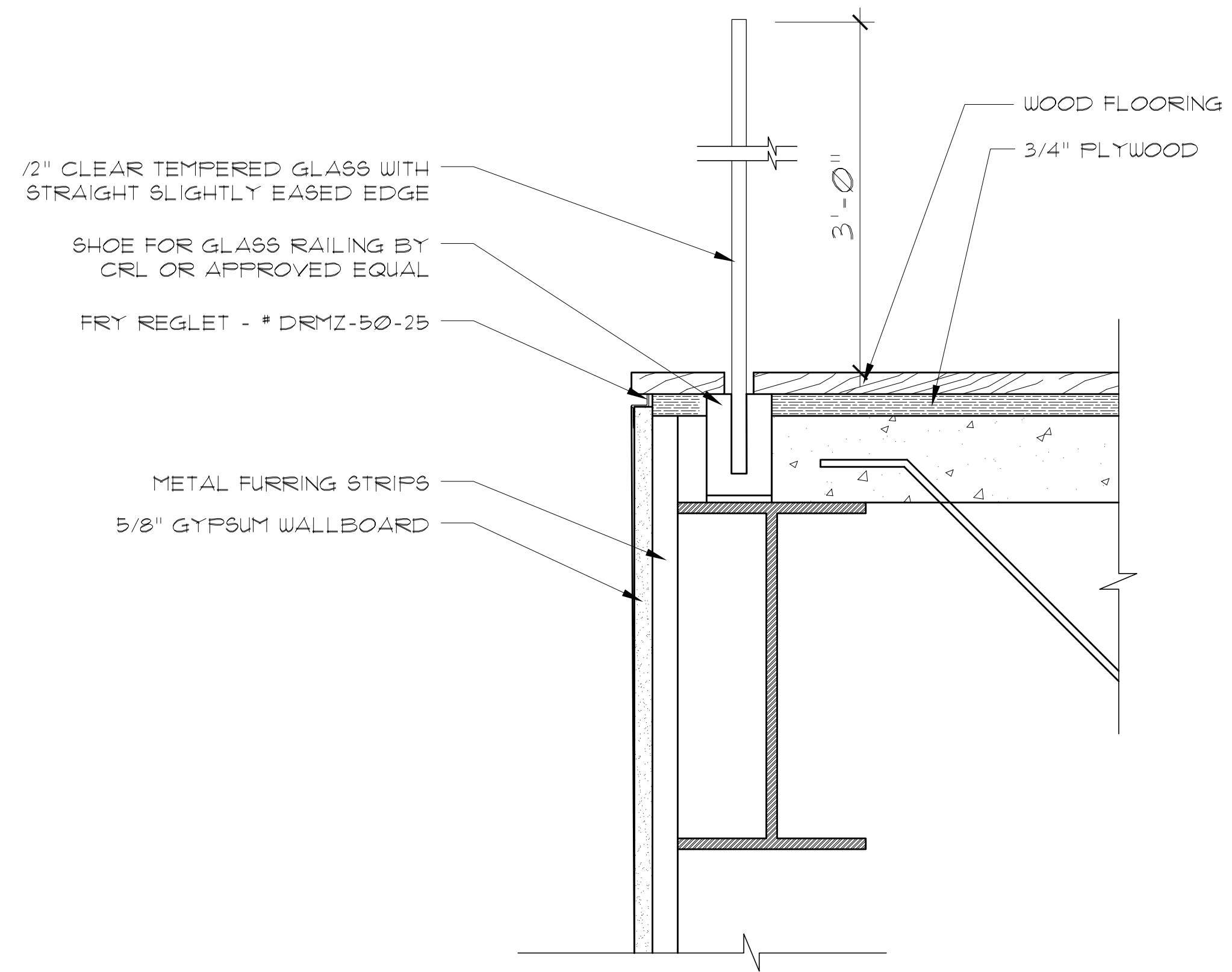




1 STAIR DETAIL  
SCALE: 1/2"=1'-0"



2 STAIR DETAIL  
SCALE: 3/4"=1'-0"



3 RAILING DETAIL  
SCALE: 3/4"=1'-0"



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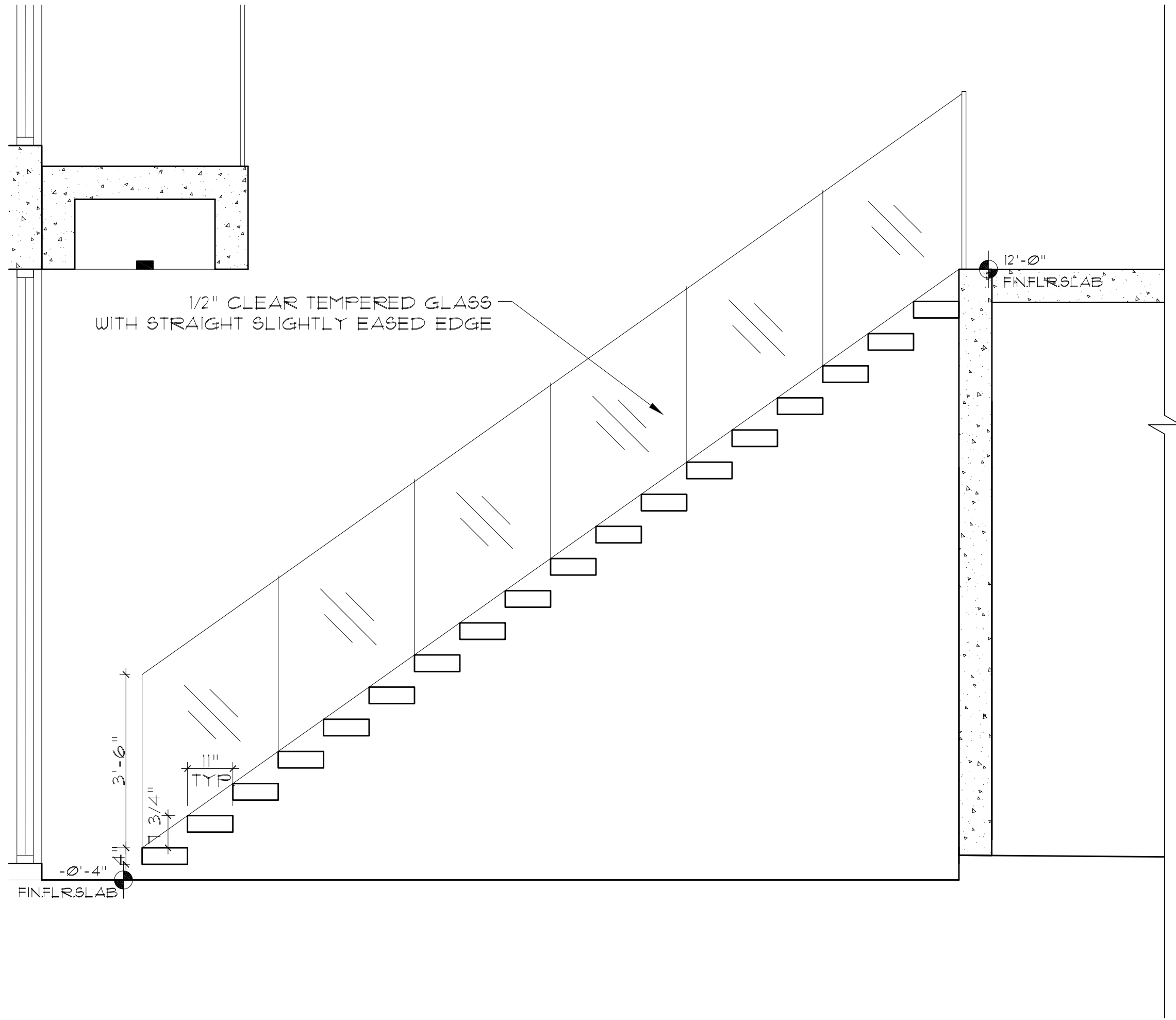
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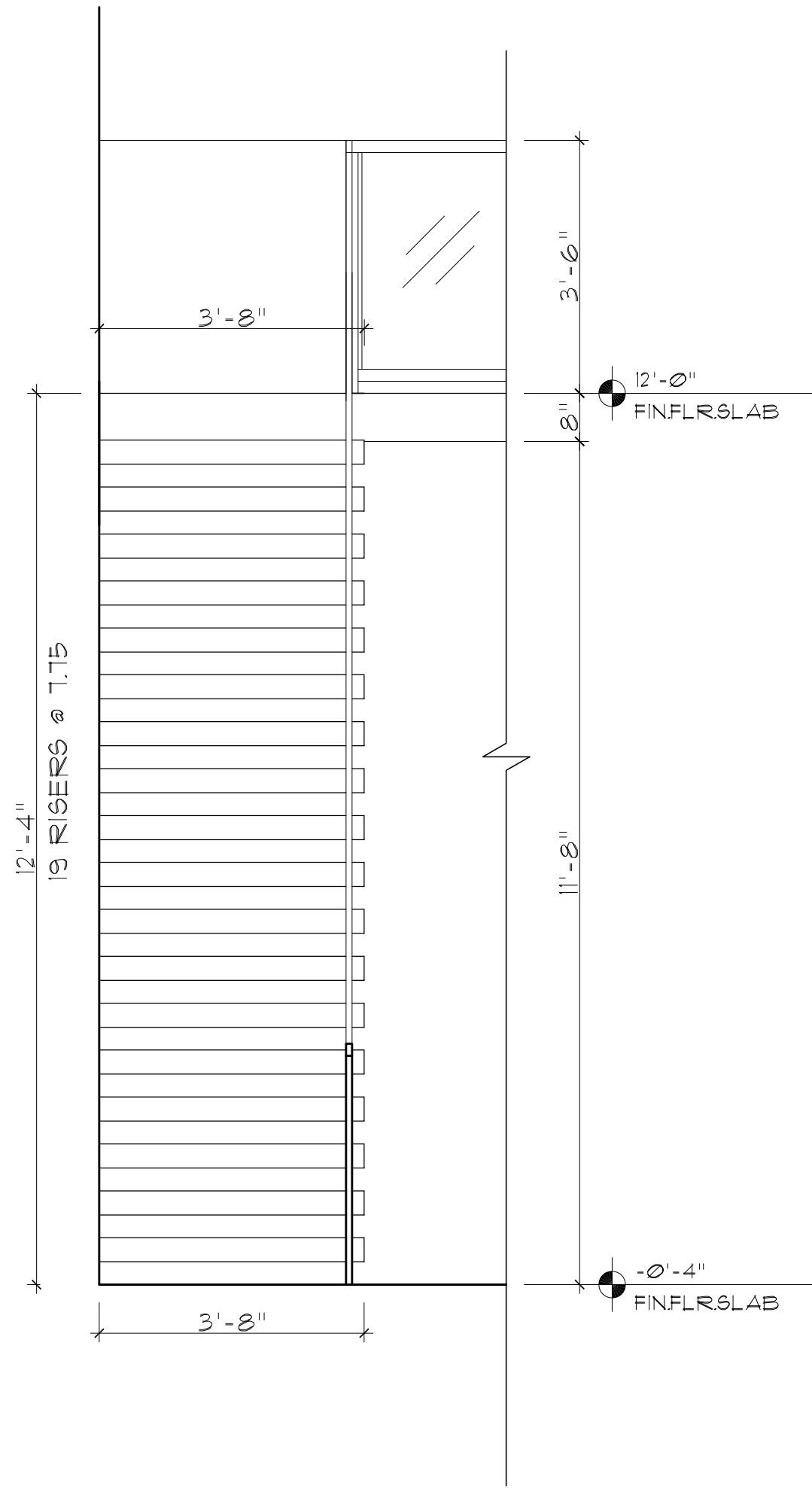
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1 STAIR DETAIL  
SCALE: 1/2"=1'-0"



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ROOM FINISH SCHEDULE									
		FLOOR		CEILING		WALLS			
NUMBER	ROOM	FLOOR	BASE	MATERIAL	HEIGHT (FROM TOP FINISH FLOOR)				REMARKS
100	KITCHEN	F-1	B-2	C-1	12'-0"	M-1			
101	DINING				12'-0"				
102	LIVING				12'-0"				
103	BATH				12'-0"	M-1/M-2			
104	COURTYARD			-	VARIES	-			
105	GARAGE	F-2	B-1	-	12'-0"				
200	CORRIDOR	F-1	B-2	C-1	10'-0"	M-1			
201	MASTER BEDROOM				10'-0"				
202	HIS CLOSET				10'-0"				
203	HER CLOSET				10'-0"				
204	MASTER BATH				10'-0"	M-1/M-2			
205	LAUNDRY		B-1		10'-0"	M-1			
206	TERRACE		B-2	-	VARIES	-			
300	CORRIDOR				10'-0"	M-1			
301	OFFICE				12'-0"				
306	BEDROOM 3				10'-0"				
303	CLOSET				10'-0"				
304	BATH				10'-0"	M-1/M-2			
305	BATH				10'-0"	M-1/M-2			
306	BEDROOM 2				10'-0"	M-1			
307	CLOSET				10'-0"	M-1			

DOOR SCHEDULE									
SYM	NOMINAL SIZE		DOOR TYPE	FRAME	FINISH	THK.	DETAIL(S)	HARDWARE GROUP	REMARKS
	WIDTH	HEIGHT							
100A	3'-0"	10'-0"	2	WOOD	PAINT	1'-3/4"	1/A-7.0	1	
103A	2'-6"	10'-0"						1	
200	2'-4"	10'-0"						1	
201	3'-0"	10'-0"						1	
202	2'-8"	10'-0"						1	
203	2'-8"	10'-0"						1	
204	3'-0"	10'-0"						1	
204A	2'-6"	10'-0"		GLASS		-	-	1	
205	3'-0"	10'-0"		WOOD		1'-3/4"	1/A-7.0	4	
300A	2'-4"	10'-0"						1	
300B	2'-4"	10'-0"						1	
301	2'-8"	10'-0"						1	
302	3'-0"	10'-0"						1	
303	2'-8"	10'-0"						1	
304	2'-8"	10'-0"						1	
305	2'-8"	10'-0"						1	
306	3'-0"	10'-0"						1	
307	2'-03"	10'-0"						1	

PAINT NOTES

INTERIOR AND EXTERIOR SUBSTRATE PREPARATION

APPROXIMATELY 40% OF ALL PAINT FAILURES CAN BE DIRECTLY ATTRIBUTED TO IMPROPER SURFACE PREPARATION. STRICTLY FOLLOWING ALL SURFACE PREPARATION INSTRUCTIONS ON ALL SURFACES IS ESSENTIAL TO ACHIEVE MAXIMUM BENEFITS OF THE COATINGS TO BE USED

A. DRYWALL (WALLS AND CEILINGS)

- Cracks, holes and blemished areas are to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start #024
- Ceilings or walls are to be primed with Benjamin Moore's Fresh Start Primer.
- Finish all drywall surfaces using Benjamin Moore's Regal Select Interior Flat #541 Line.
- Finish all drywall ceilings using Benjamin Moore's #508 Waterborne Ceiling Paint

B. INTERIOR WOOD SURFACES TO BE PAINTED

- Surfaces must be clean and free of wax, grease and water-soluble materials.
- Blemished areas to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start Primer #024.
- Finish all interior wood doors and trim to be finished using Benjamin Moore's Advance Waterborn Interior Alkyd Satin Finish #142

C. EXTERIOR MASONRY AND WOOD SUBSTRATES

- All masonry surfaces must be thoroughly brushed with a stiff fiber brush to remove loose particles.
- Form release agents are to be removed with appropriate solvents and laitance deposits must be thoroughly removed by hand wire brushing or other appropriate means.
- Surfaces are to be dry and free of greasy residue. Surfaces should be thoroughly washed with strong detergent (Benjamin Moore's M83 Oil and Grease Emulsifier) to remove all grease, oil, and soap residue.
- Prime all new masonry with Benjamin Moore's Masonry Conditioner #608 Line.
- Prime new wood using Benjamin Moore's Fresh Start #024
- Finish all exterior masonry and wood using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

D. EXTERIOR METAL SURFACES TO BE PAINTED

- Surfaces to be painted shall be cleaned with an appropriate solvent or detergent solution to remove all traces of dirt, dust, grime, and oily residues prior to application of the specified coatings in accordance with SSPC-SP1-63 Solvent Cleaning.
- Loose, peeling, blistering and flaking paint and rust shall be removed by wire brush, scraping or sanding. Surfaces with a hard shiny finish should be dulled by sandpaper or other abrasive methods to insure adhesion of succeeding coats
- Glossy surfaces should be dulled by sanding.
- To the properly prepared surface prime using Benjamin Moore's Corotech V10 Acrylic Metal Primer
- Finish all exterior metal surfaces using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

NOTES:

- COLOR SHALL BE WHITE OR AS SELECTED BY OWNER
- SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
- ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED

LEGEND

NOTE: SEE PAINT NOTES FOR ALL FINISHES TYP.

FLOOR FINISHES

- F-1: PORCELAIN TILE TO BE SELECTED BY OWNER  
F-2: POLISHED CONCRETE FLOOR SEALED  
F-3: WOOD FLOORING TO BE SELECTED BY OWNER

BASE FINISHES

- B-1: BASE AND CASING ARE FINGER JOINT PINE PRIMED. 1/16" X 3-1/2" FOR THE BASE AND 9/16" X 3-1/2" FOR THE CASING.  
B-2: REVEAL BASE BY 'FRY REGLET'. ALL 1/2" REVEAL FIN.F.L. TO DRYWALL 5/8" - CLEAR ANODIZED PAINTED. SEE DTL 1A 5/7.0

CEILING FINISHES

- C-1: 5/8" GYPSUM WALL BOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.  
C-2: 1x6 WOOD 6" x 3/4"

WALL FINISHES

- M-1: 5/8" GYPSUM WALLBOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.  
M-2: TILE - COLOR, SIZE, EXACT LOCATION TBD BY OWNER  
M-3: 5/8" GYPSUM WALLBOARD WITH QUIET 5 MOLD RESISTANT BY OWENS CORNING.COM

DOOR TYPES

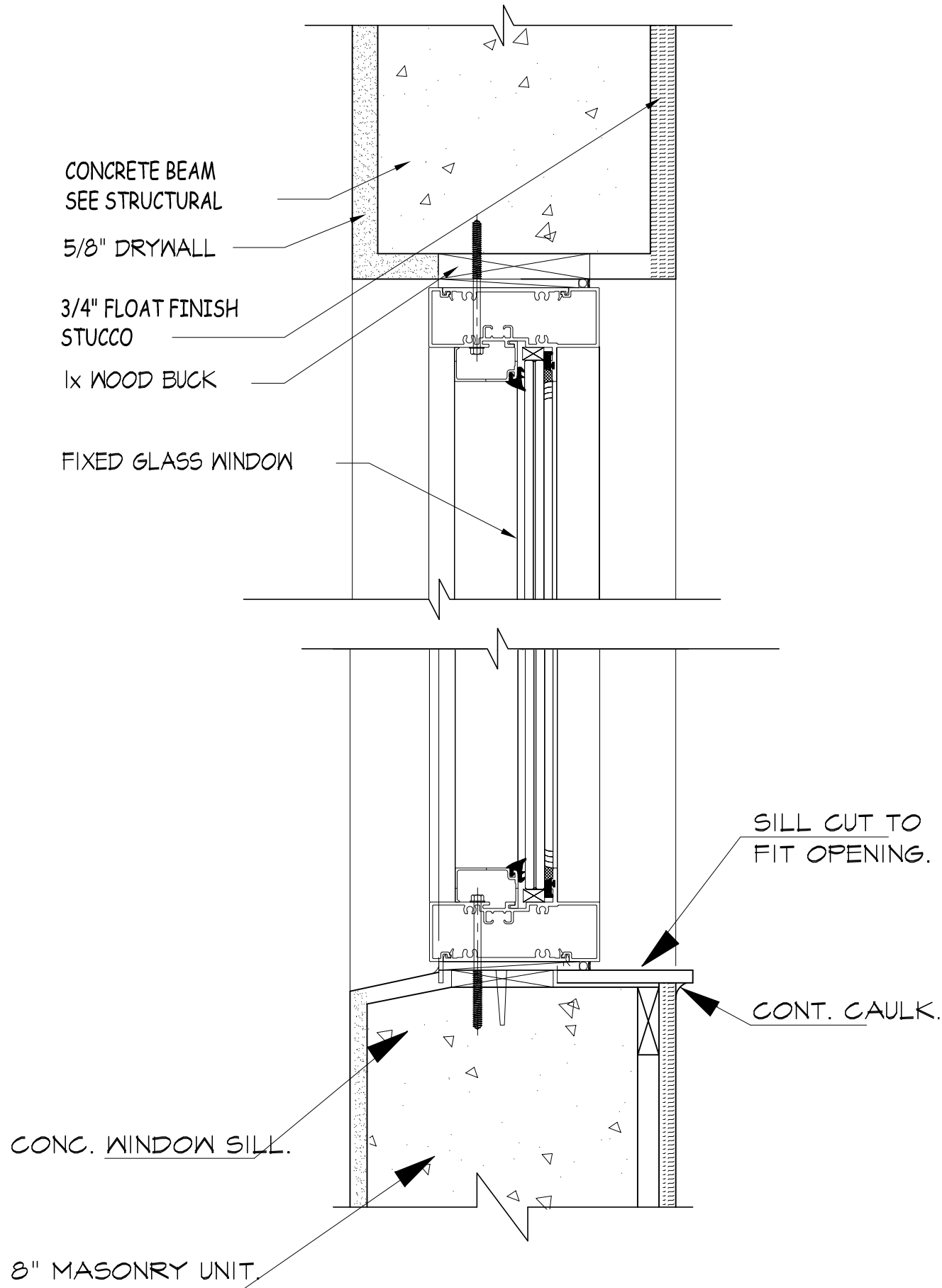
- FLUSH: FRAMELESS DOOR BY INSENSATION.COM OR INDUSTRIESDORR.COM - SEE ATJ FOR DETAILS
- RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND Z TRANSMITTERS

HARDWARE GROUP: SUBMIT SHOP DWGS FOR ARCHITECT'S APPROVAL.

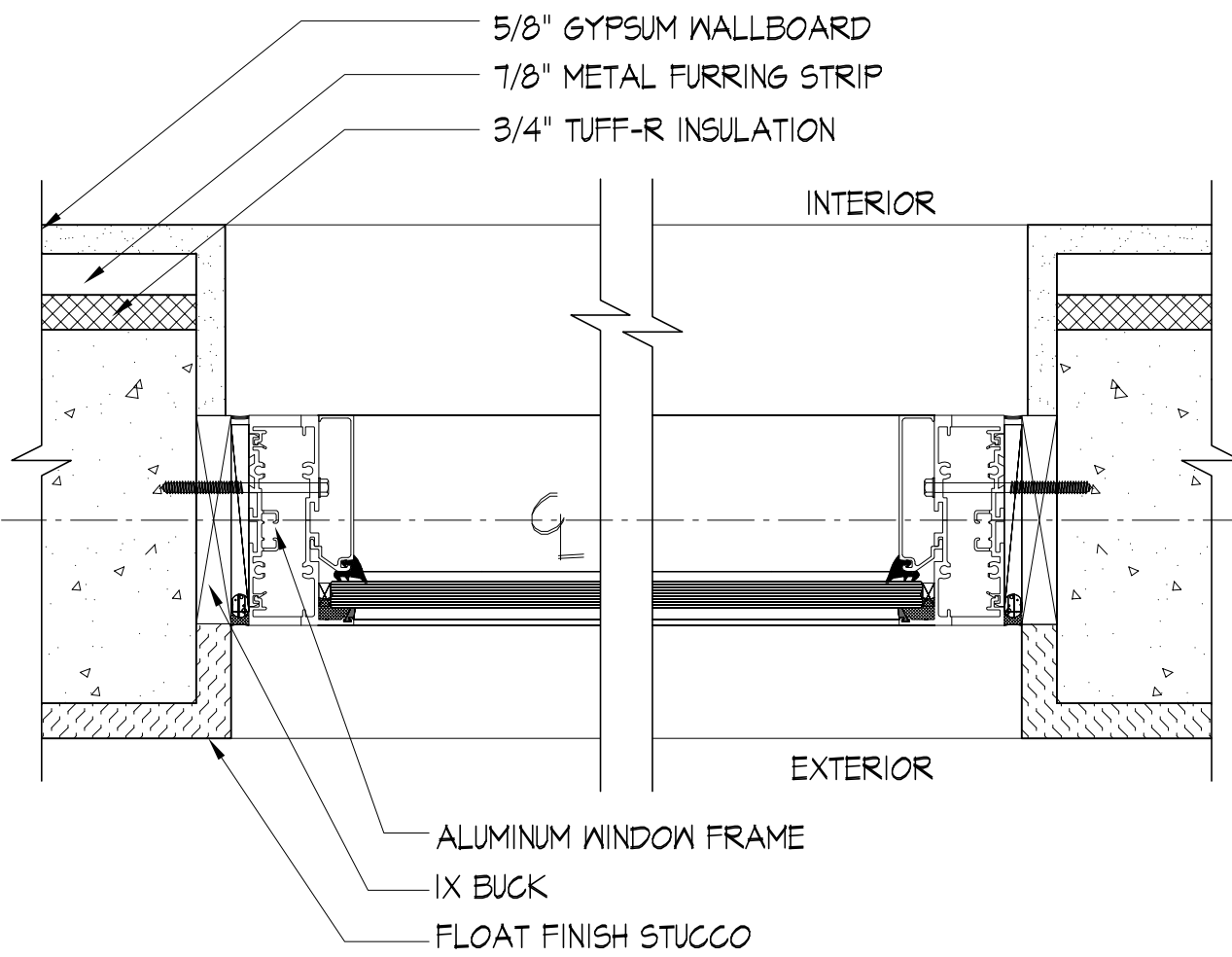
- PRIVACY PASSAGE W/ WALL DOOR STOP EMTEK P.L.
- PASSAGE W/ CYLINDER LOCK TURN KEY INSIDE - EMTEK P.L. SQUARE ROSE W/ WEATHER STRIPPING AND THRESHOLD STOP
- POCKET DOOR - EMTEK - P.L.
- PASSAGE - EMTEK P.L. W/ WALL DOOR STOP
- PULL - BY CRL
- RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND Z TRANSMITTERS

NOTES:

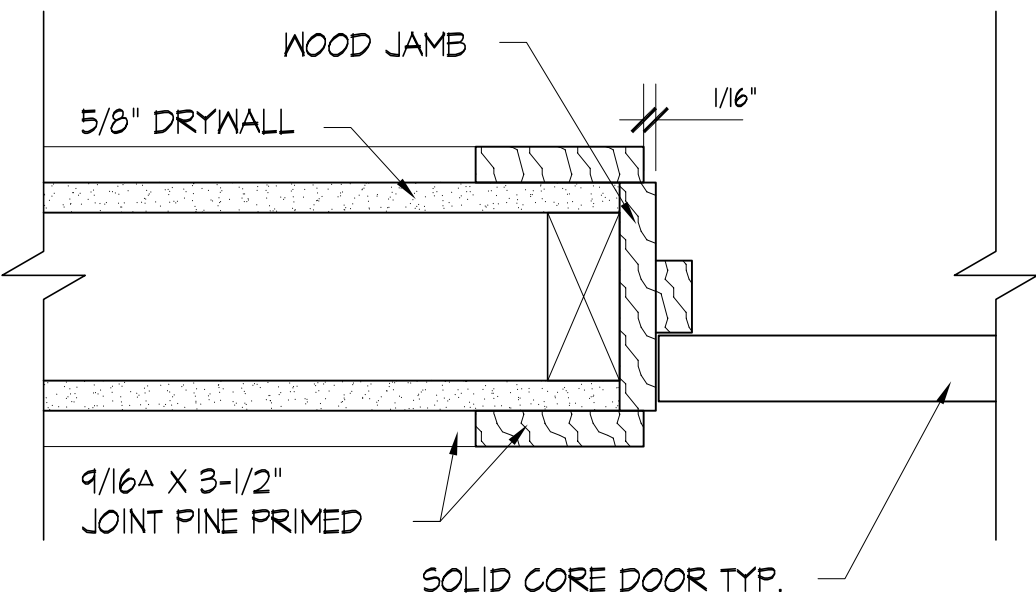
- COLOR SHALL BE SUPER WHITE BY BM
- SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
- ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED
- PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL FOR ALL FINISHES, DOOR, HARDWARE



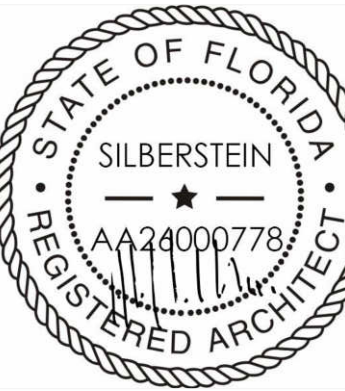
1 WINDOW HEAD/SILL DETAIL TYPICAL  
SCALE: 3/4"=1'-0"



2 WINDOW JAMB DETAIL TYPICAL  
SCALE: 3/4"=1'-0"



3 INTERIOR DOOR JAMB DETAIL TYPICAL  
SCALE: 3/4"=1'-0"



PERMIT SET	
REVISIONS	
1. TAG COMMENTS	6.2.22
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	