



ADDITION/RENOVATION FOR 310 NE 1ST AVE

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW "F.B.C. 7TH EDITION 2020" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRELY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION, ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.
- THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
- ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
- BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH "F.B.C. 7TH EDITION 2020".
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH "F.B.C. 7TH EDITION 2020".
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

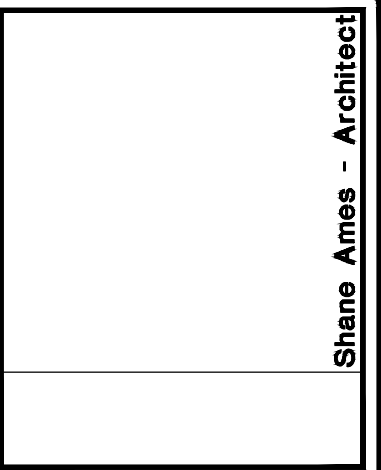
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(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

REVISIONS	BY
12/7/2022 HPB / TAC COMMENTS	A.G.



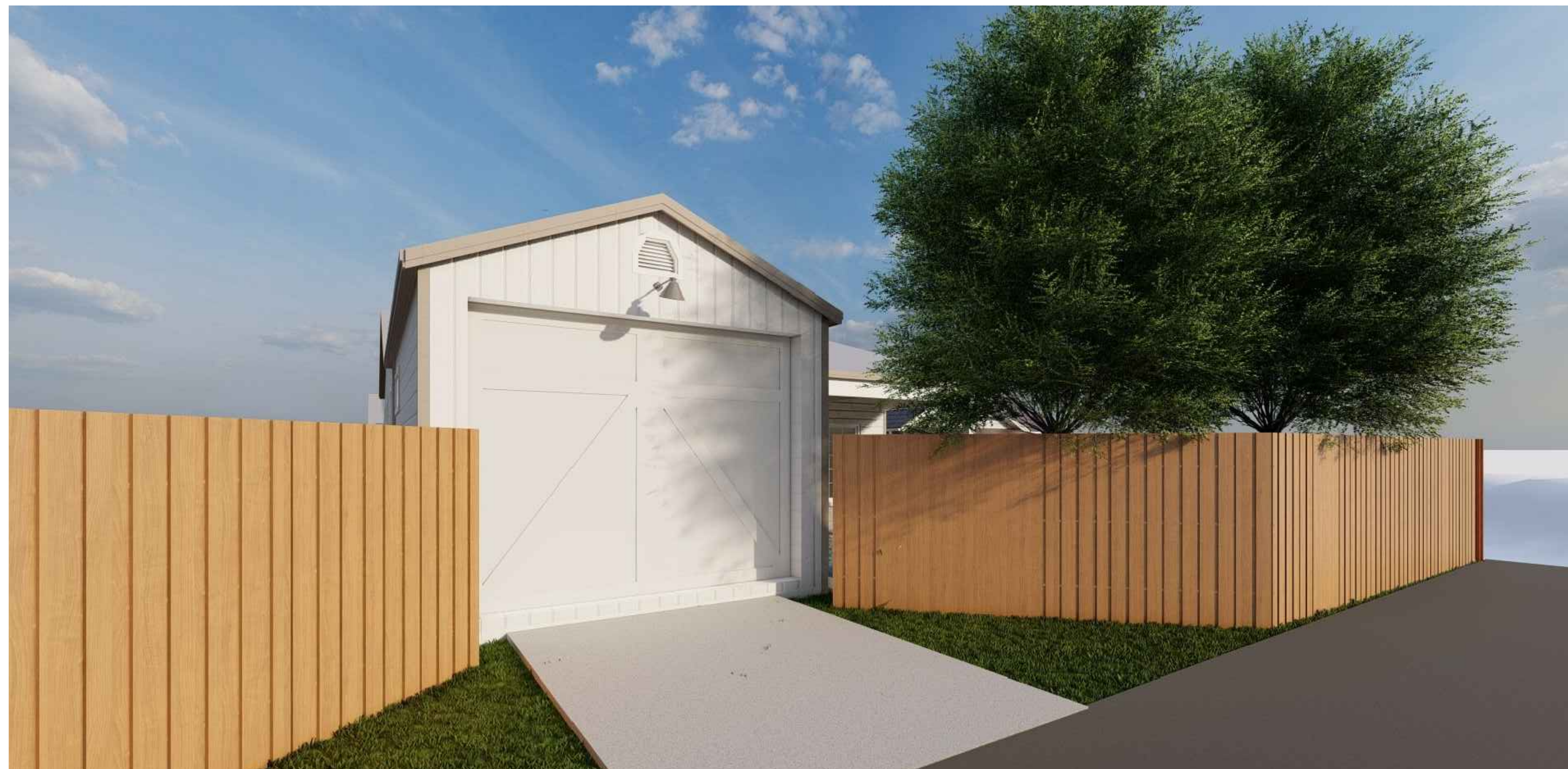
Shane Ames - Architect



DRAWN A.G. CHECKED
DATE 8/12/2022
SCALE AS NOTED
JOB NO. 22-5176
SHEET A01
OF XX SHEETS

COVER SHEET

ADDRESS: 18300 DELRAY PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: (561) 274-8444, FAX: (561) 274-8448



WHO ARE AND BY WHOM INTERNATIONAL ARCHITECTURE AND DESIGN PRACTICES ARE BEING SHAPED. THIS BOOK IS A COLLECTION OF ESSAYS AND INTERVIEWS THAT EXPLORE THE HISTORY AND FUTURE OF INTERNATIONAL ARCHITECTURE AND DESIGN. THE BOOK IS A MUST-READ FOR ANYONE INTERESTED IN THE FIELD OF INTERNATIONAL ARCHITECTURE AND DESIGN.

JOE & SUSAN WAGMAN

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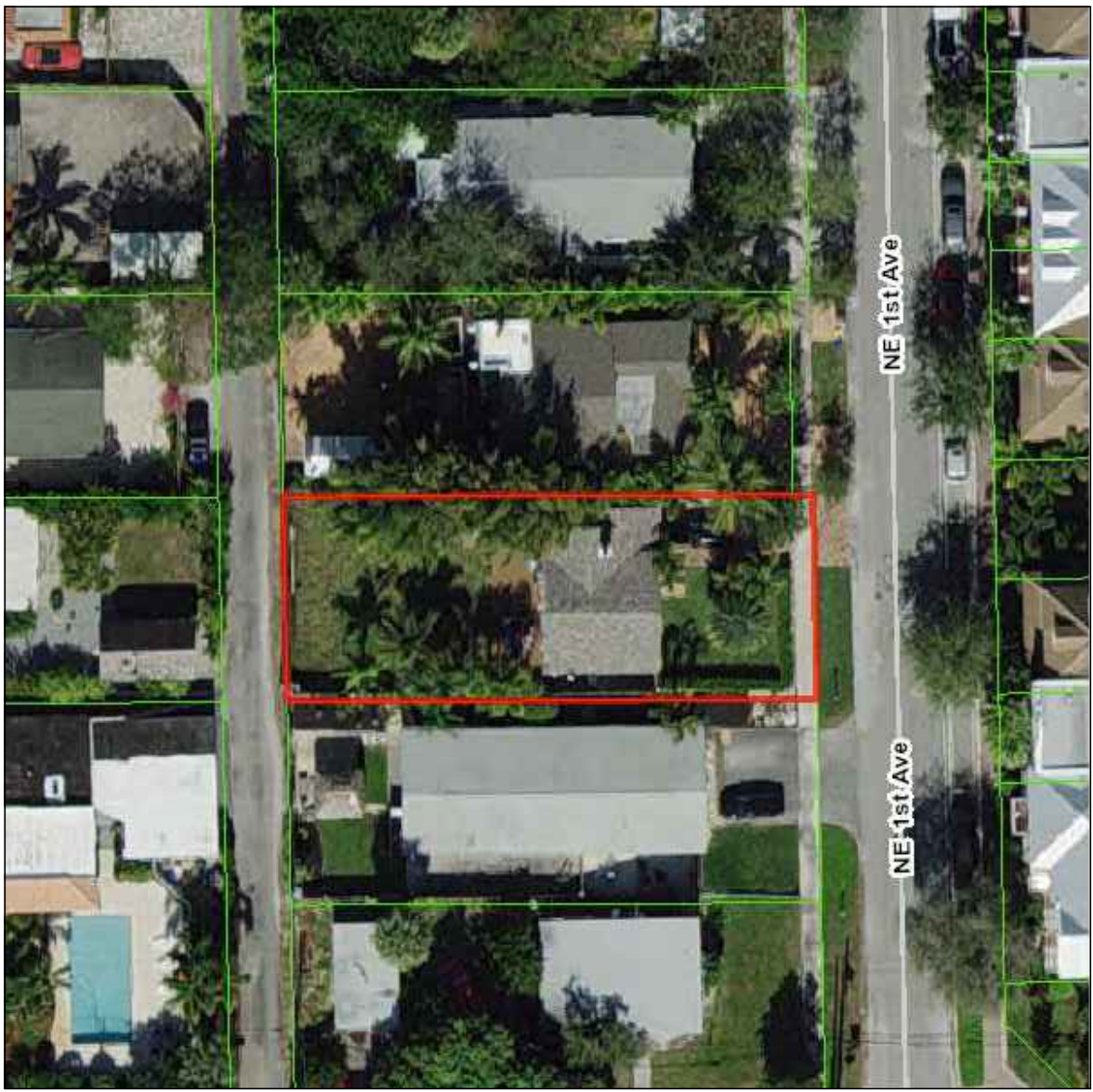
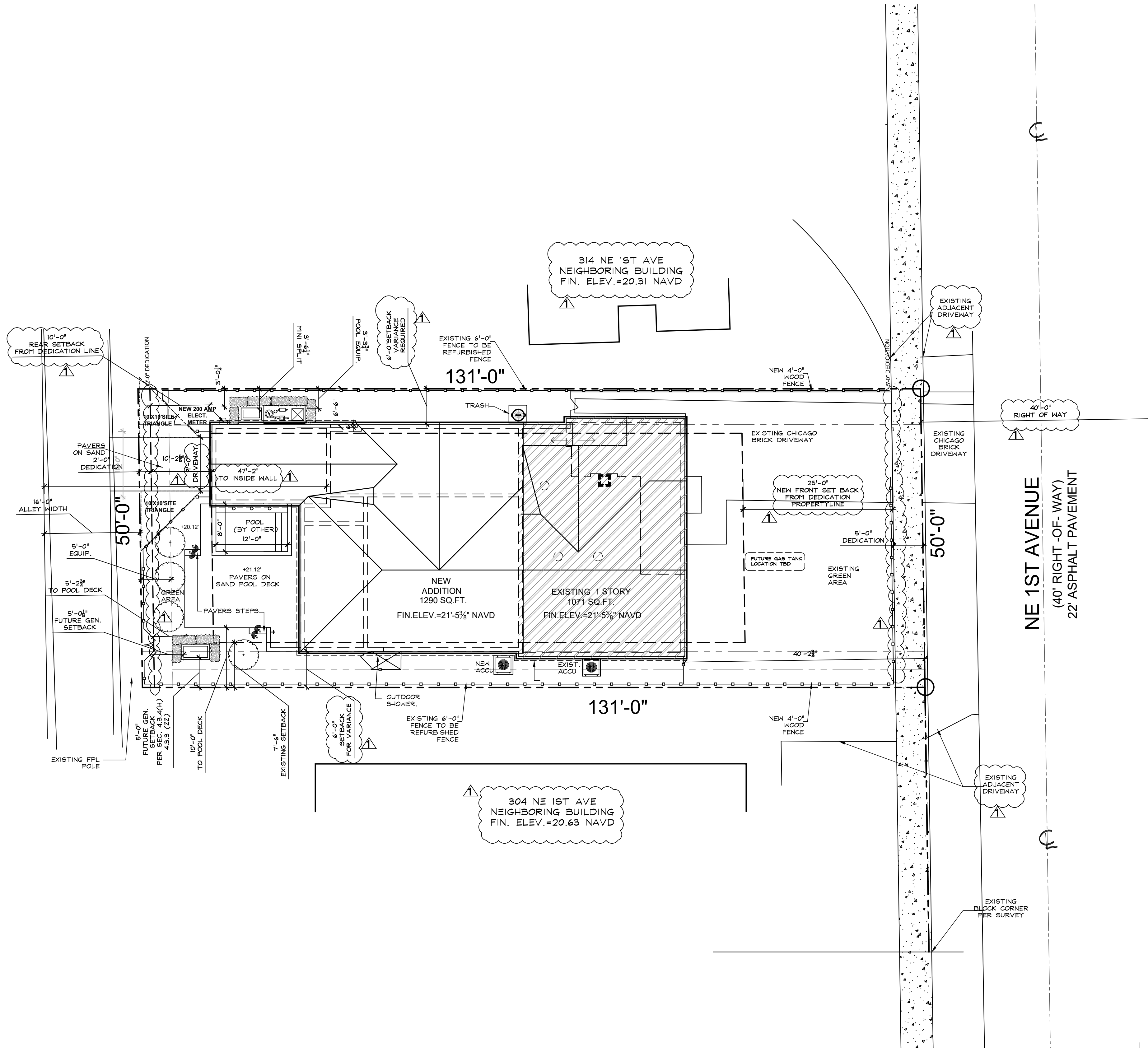
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Shane Ames - Architect



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CONTRACT # 2005-0005 AMES INTERNATIONAL ARCHITECTURE OWNERSHIP OF PLANS AND SPECIFICATIONS ARE LOANED TO THE CLIENT FOR THE PURPOSE OF THE PREPARATION OF PERMITS. PLANS, SPECIFICATIONS, DRAWINGS AND SPECIFICATIONS ARE LOANED TO THE CLIENT FOR THE PURPOSE OF THE PREPARATION OF PERMITS. PLANS, SPECIFICATIONS, DRAWINGS AND SPECIFICATIONS ARE LOANED TO THE CLIENT FOR THE PURPOSE OF THE PREPARATION OF PERMITS. PLANS, SPECIFICATIONS, DRAWINGS AND SPECIFICATIONS ARE LOANED TO THE CLIENT FOR THE PURPOSE OF THE PREPARATION OF PERMITS.



LOCATION MAP

- SITE PLAN NOTES**
1. LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
 2. LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
 3. LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
 4. DRIVEWAYS, WALKWAYS, SLAB ON GRADE, POOL DECKS, SWIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY.(NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
 5. SWIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS. PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
 6. LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
 7. SITE PLAN AS DRAWN REFLECTS ARCHITECTS CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES, AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

AREA CALCULATIONS			
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	25'-0"	25'-0"	25'-0"
SIDE INTERIOR SETBACK	7'-6"	5'-0"	#6'-0"(VARIANCE)
SIDE INTERIOR SETBACK GARAGE	7'-6"	N/A	#6'-0"(VARIANCE)
SIDE INTERIOR SETBACK(ADDITION)	7'-6"	N/A	#6'-0"(VARIANCE)
REAR SETBACK NEW ADDITION	10'-0"	N/A	10'-0"
REAR SETBACK EXISTING	10'-0"	10'-0"	
HEIGHT NEW GARAGE	35'-0"	N/A	14'-8"
HEIGHT OF ADDITION	35'-0"	N/A	17'-7"
HEIGHT OF ROOF		12'-2"	16'-10"
WIDTH OF SITE	80'-0"	50'-0"	50'-0"
DEPTH OF SITE	100'-0"	131'-0"	131'-0"
FRONTAGE	80'-0"	100'-0"	100'-0"
SITE AREA WITHOUT DEDICATION		6,549	6,549
SITE AREA WITH DEDICATION			6,199
PERVIOUS/IMPERVIOUS AREA		4785/1764	2526/4023
OPEN SPACE(LANDSCAPE)	25%	83%	62%
WATER BODIES	N/A	N/A	N/A
FLOOR AREA		1,106	1,382
TOTAL FLOOR AREA		=	2,488
LOT COVERAGE	40%	17%	38%
LOT COVERAGE WITH DEDICATION	40%	18%	40%
FLOOR AREA RATIO	N/A	N/A	N/A
NUMBER OF DWELLING UNITS		1	1
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A

CODE PARAMETERS		
GOVERNING CODE	:	2020 FBC.7TH ED.
MUNICIPALITY	:	CITY OF DELRAY BEACH
OCCUPANCY CLASS	:	SINGLE FAMILY RESIDENTIAL
MAX. BUILDING HEIGHT	:	35'-0" ABOVE GRADE
FRONT SETBACK	:	25'-0"
REAR SETBACK	:	10'-0"
SIDE SETBACK	:	7'-6"
POOL SETBACK	:	10'-0"
ZONING	:	OSSHAD
LAND USE DESIGNATION	:	N/A
FLOOD ZONE	:	X

LEGAL DESCRIPTION

LOT 26, SUBDIVISION OF LOT 65, DELRAY BEACH FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 20, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

- SCOPE OF WORK FOR ADDITION:**
- MASTER SUITE
 - GARAGE
 - POWDER ROOM
 - KITCHEN
 - GREAT ROOM
 - VERANDA
 - NEW POOL (BY OTHER)

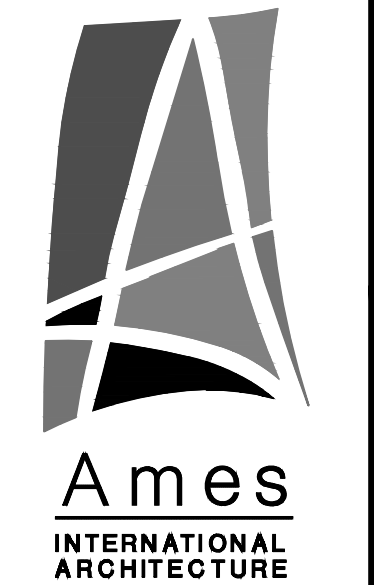
(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

SITE PLAN

JOE & SUSAN WAGMAN
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FLORIDA, 33444.

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1	12/17/2022 HFB / TAG COMMENTS	A.G.

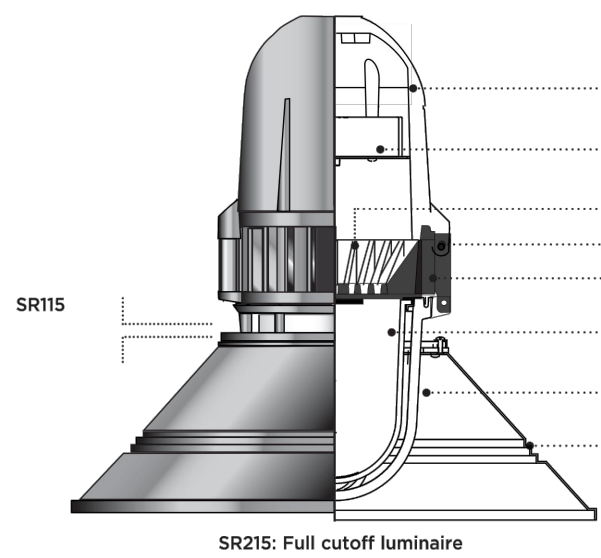
Shane Ames - Architect



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OF XX SHEETS

TYPE:	QUANTITY:	PROJECT:
CATALOG NUMBER:		
FIXTURE	WATTAGE	VOLTAGE
FINISH	OPTION	OPTION
OPTION	OPTION	OPTION



- 1- Cast aluminum driver housing.
- 2- Universal driver tray with twist lock design.
- 3- Sealed and isolated LED compartment.
- 4- Housing/shade assembly hinge mechanism.
- 5- Cast aluminum LED heat dissipator.
- 6- Borosilicate prismatic heavy glass diffuser.
- 7- Cast aluminum ribbed cage.
- 8- Structurally reinforced perimeter aluminum shade. Inner surface is standard white enamel for increased light performance.

SR115T



SR215T



MATERIALS

Sciocco is made of corrosion resistant 356 aluminum alloy with a copper (CU) content of less than 0.1%.

The top cast aluminum housing is designed with a hinged mechanism. The hard aluminum shade assembly is designed with a set of perimeter reinforcement ribs. The inner surface is standard white enamel for higher light efficiency.

The lower optical assembly includes sealed borosilicate prismatic glass diffuser, which is secured with a silicone memory retention gasket.

ELECTRICAL

DRIVER Standard driver is 0-10V dimming-ready (dims to 10%) with: 100-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C/-22°F to 60°C/140°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED Standard 4000K LED platform included. Optional 3000K and 3500K available. Removable modular LED platform.

LIFE

51,000hrs L₇₀B₅₀ (based on IESNA TM-21 Test Method and LM80 data). 68,000hrs L₇₀B₅₀ (calculated projection from LM80 data).

FINISH

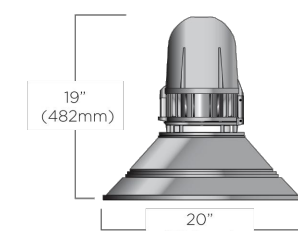
Five-stage preparation process including preheating of cast aluminum parts for air pocket extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

MOUNTING

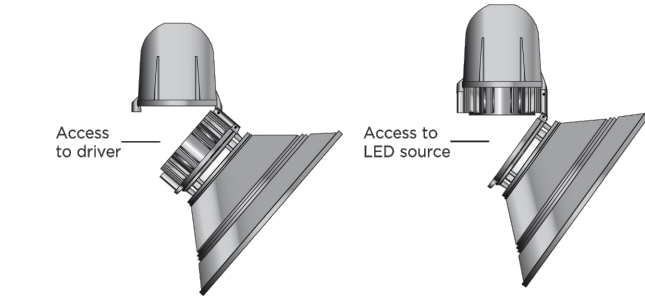
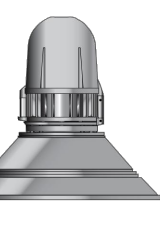
Maximum weight: 14.66 lbs (6.7 kg)

Sciocco is designed as a modular luminaire concept offering a selection of mounting arrangements for various architectural requirements. Pole, wall or suspended attachments are proposed with high quality components to meet multiple installation conditions.

Pendant version only. Fixture must be installed on a finished ceiling for exterior applications and/or when exposed to incident weather.



EPA: 0.75



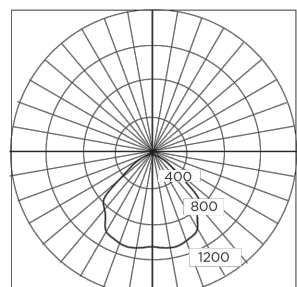
Sciocco is designed for ease of access with a double hinge sealed mechanism isolating the light chamber from the driver compartment minimizing maintenance handling and possibly damaging components.

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS.COM

Luminaires may be altered for design improvement or discontinued without prior notice.

TYPICAL PHOTOMETRY SUMMARY



Descriptive Information
Total Lums: 2656 Lumens
Total Input Watts: 53 W
Source: LED
Total efficiency: 50%
BUG Rating: B1-U0-G0
CCT: 4000K

SR115-LIW56
SR215-LIW56

Outdoor report Polar graph
Maximum Candela = 1101

Please visit our web site www.luminis.com for complete I.E.S. formatted download data.

LUMINAIRE SELECTION

MODEL#	LED LIGHT SELECTION	INPUT WATTS	CRI	CCT °K	VOLTAGE *	FINISH
	SUFFIX	DELIVERED LUMENS				
	☐ LIW30	1350	26W	80	120V	☐ WHT Snow white
	☐ LIW56	2656	53W	80	277V	☐ BKT Jet black
					Optional	☐ BZT Bronze
					☐ 347V	☐ MST Matte silver
					☐ 480V	☐ CRT Titanium gray
						☐ DGT Gun metal
						☐ CHT Champagne
						☐ SGT Steel gray
						☐ BGT English cream
						OPTIONAL COLORS
						☐ CS Custom color
						☐ RAL RAL® color
						(Refer to color chart)

OPTIONS

ELECTRICAL

- ☐ FS Fuse 1"
- ☐ PH Photocell 1"
- ☐ 347L 347V input power driver

Alternate CCT °K LED

- ☐ K3 3000K CCT LED
- ☐ K35 3500K CCT LED

ACCESSORIES

- ☐ SC Safety cable extends 18" over mounting plate (with stem mounting only)
- ☐ SSC Stabilizer cables
- ☐ HS House shield installed within the glass diffuser

CONTROL

- ☐ NLTAIR2 nLight AIR Control gen2 embedded in canopy, with black antenna 1.5 x 1.5

MOUNTING

- ☐ ACA Pole mount attachment with 45° support
- ☐ 2ACA Double pole mount attachment with 45° support at 180°
- ☐ ACW Wall mount attachment with 45° support
- ☐ APA Pole mount shepherd arm attachment
- ☐ 2APA Double pole mount shepherd arm attachment at 180°
- ☐ APC Pole mount straight arm attachment
- ☐ 2APC Double pole mount straight arm attachment at 180°
- ☐ APS Post top shepherd arm attachment
- ☐ CAT3 Caterary suspension attachment with 12" adjustment mechanism
- ☐ W Wall mount shepherd arm attachment
- ☐ T Wall mount straight arm attachment
- ☐ STM 36" Field-cuttable stem with 45° swivel (other lengths available, please specify)
- ☐ SPG Silver braided power cord with adjustable suspension cable, 36" length (other lengths on request)

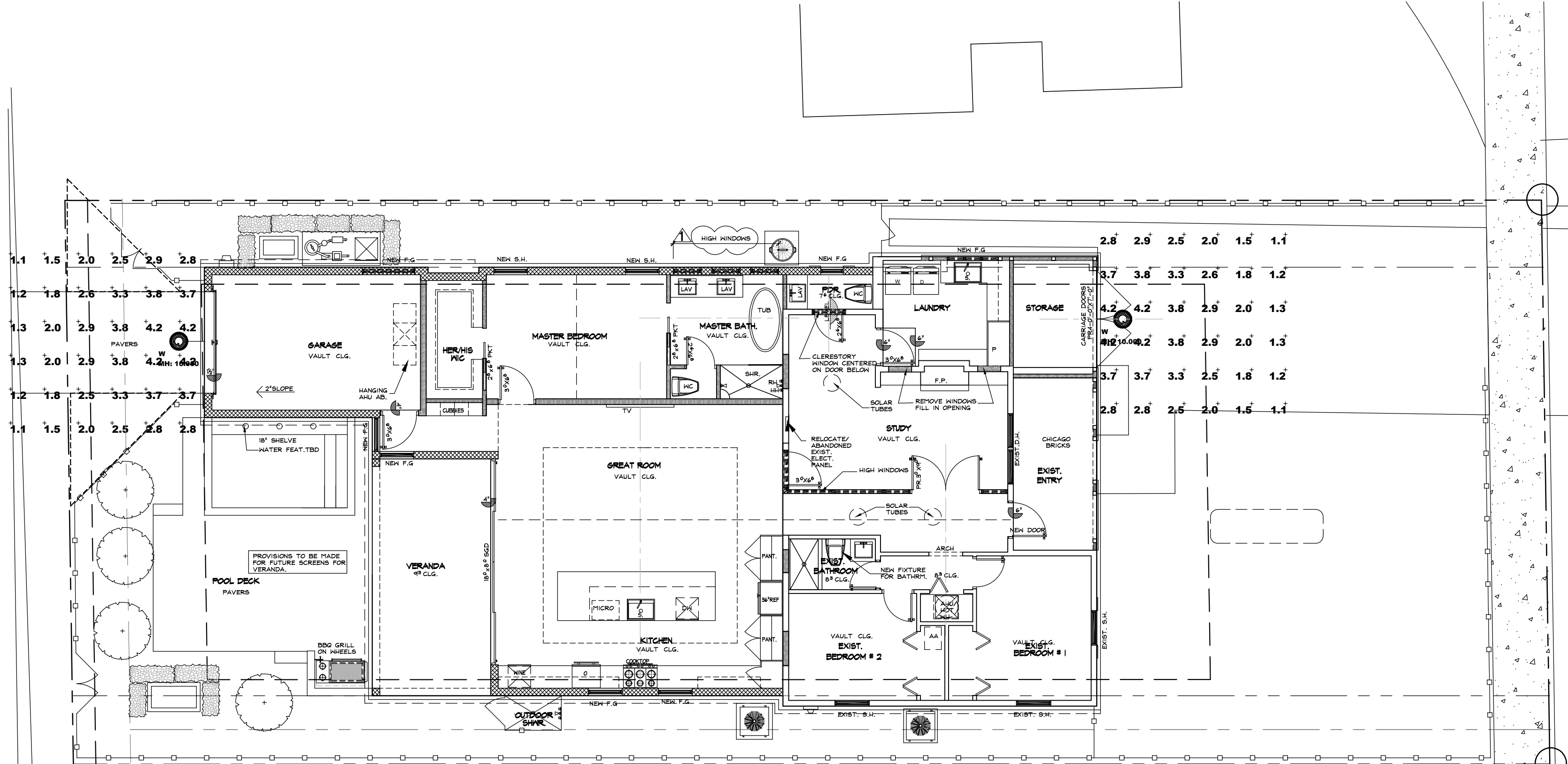
NOTES

- 1- Luminaires are factory prewired for 120V (if no voltage is specified.) For other voltages, please specify with catalog number, or consult factory.
- 2- Fuse and photocell options are normally installed with poles when specified with luminis luminaires. (Except for other types of mounting.)
- 3- 120/277V only.
- 4- Installed in 8" or 10" g 12" canopy with STM. Refer to the mounting images for more details.
- 5- Not compatible with PH, Wall mounts, Pole mounts, Post tops, CAT3.
- 6- White antenna available upon request.

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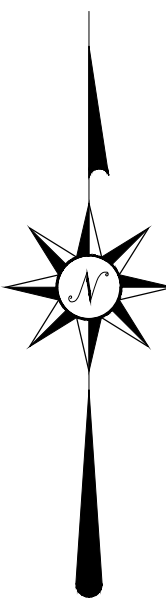
Luminaires may be altered for design improvement or discontinued without prior notice.



ADJUSTED TO 1/8" SCALE FOR CLARITY.

Luminaire Schedule: 310 NE 1ST AVE - SITE DELRAY BEACH, FL 09/20/2022									
Symbol	Qty	Label	Arrangement	Manufacturer	Catalog Number	Mounting	LLF	Luminaire Lumens	Luminaire Watts
	1	W	Single	Luminis Canada Inc.	SR115-L1W30-xxx-xxx-ACW	10' WALL MOUNT A.F.F. (bottom of fixture)	0.903	1350	26

Calculation Summary: 310 NE 1ST AVE - SITE DELRAY BEACH, FL 09/20/2022							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
GARAGE ENTRY	Illuminance	Fc	2.64	4.2	1.1	2.40	3.82

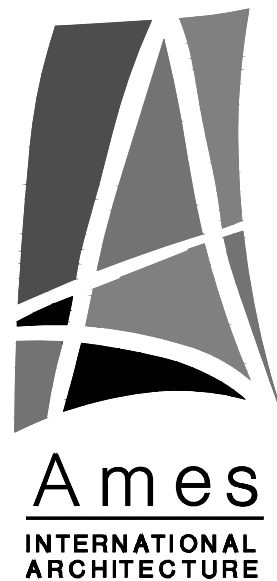


(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

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DELRAY BEACH
FLORIDA, 33444.

REVISIONS	BY
12/7/2022 HPB / TAC COMMENTS	A.G.

Shane Ames - Architect



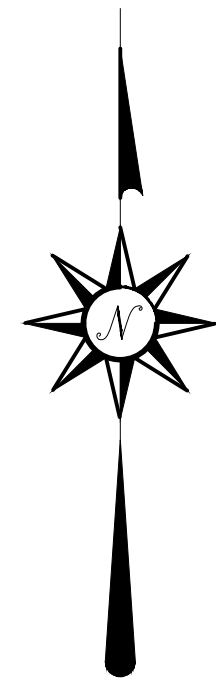
PHOTOMETRIC PLAN

DRAWN A.G.
CHECKED
DATE 8/12/2022
SCALE 1/8" = 1'-0"
JOB NO. 22-5176
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OF XX SHEETS

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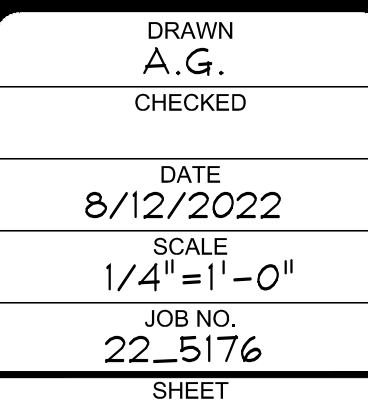
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(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

REVISIONS

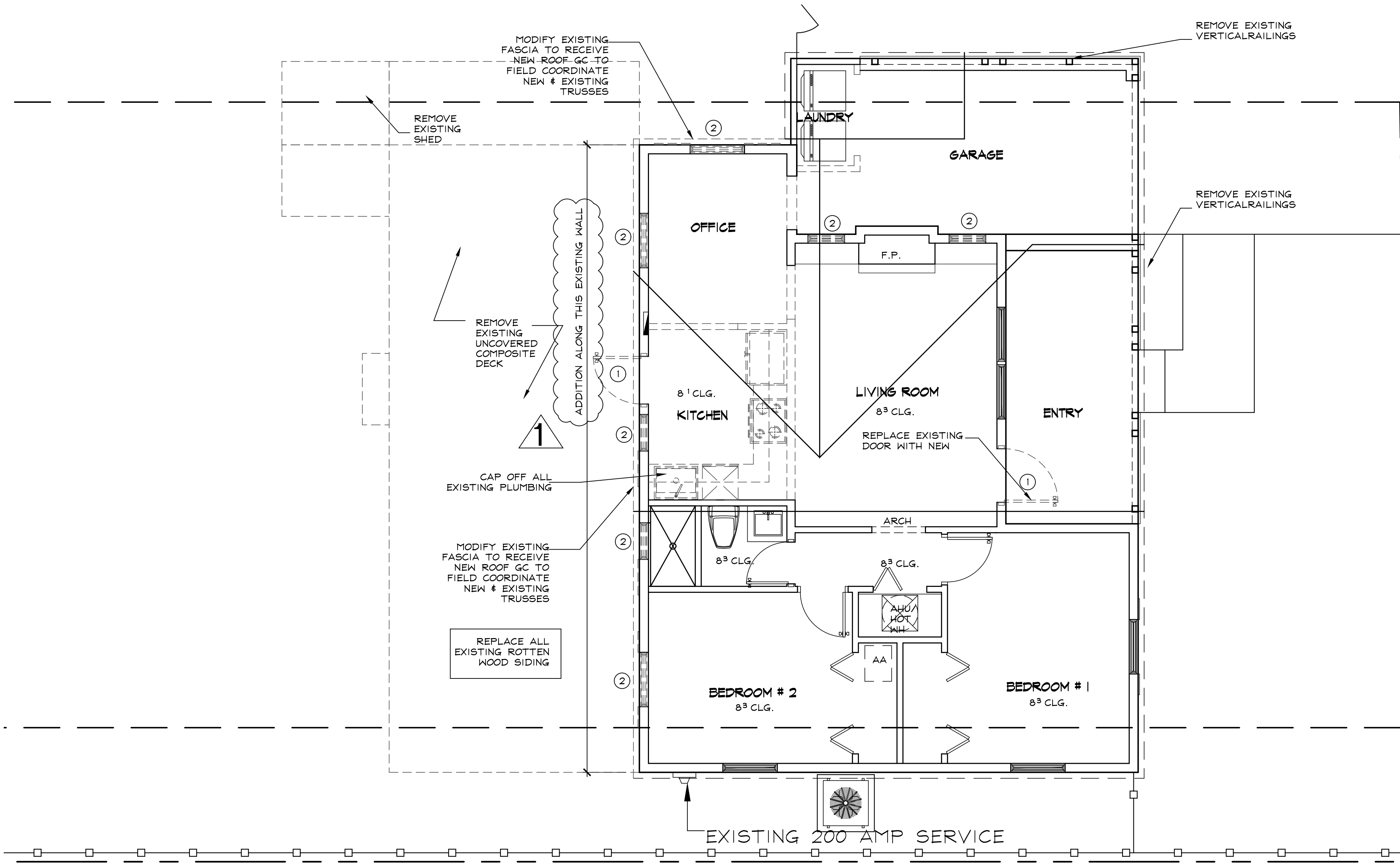
	Shane Ames - Architect
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A03

OF XX SHEETS

Lic# : AA0002307 ARCH.R.# : AR0012001
ADDRESS : HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 8444, FAX : (561)2748449.



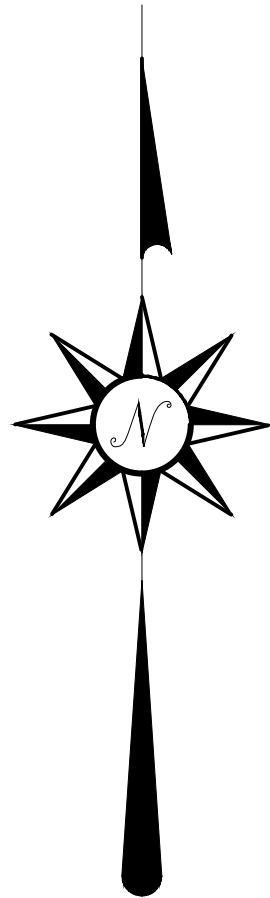
DEMOLITION NOTES:

1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
7. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
8. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
9. FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC.
12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
15. GC, AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

DEMOLITION LEGEND:

- ① REMOVE DOOR
- ② REMOVE WINDOW & BLOCK UP OPENING
- ③ REMOVE INTERIOR WALL
- ④ REMOVE EXTERIOR CMU WALL
- ⑤ REMOVE BUILT-IN
- ⑥ REMOVE ELECTRICAL FIXTURES
- ⑦ REMOVE PLUMBING FIXTURES
- ⑧ REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
- ⑨ REMOVE/MODIFY ROOF STRUCTURE
- ⑩ REMOVE FLOOR COVERING
- ⑪ REMOVE APPL.
- ⑫ ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
- ⑬ REMOVE SOFFIT/BEAM
- ⑭ MODIFY EXISTING CEILING

DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW INTERIOR FRAMED WALL
	NEW C.M.U. WALL



(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

JOE & SUSAN WAGMAN
810 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

REVISIONS		BY
1	12/7/2022 HPB / TAC COMMENTS	A.G.

Shane Ames - Architect



DRAWN A.G. CHECKED	DATE 8/12/2022 SCALE 1/4" = 1'-0" JOB NO. 22-5176 SHEET
A04	
OF XX	SHEETS

DEMOLITION PLAN

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[illegible]

(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

[illegible]

Shane Ames - Architect



DRAWN A.G.	
CHECKED	
DATE 8/12/2022	
SCALE $\frac{1}{4}'' = 1' - 0''$	
JOB NO. 22_5176	
SHEET	
A07	
OF	XX
SHEETS	

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(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

NEW + EXISTING BUILDING ELEVATIONS

JOE & SUSAN WAGMAN

310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

[illegible]

Shane Ames - Architect



DRAWN
A.G.
CHECKED

DATE
11-2-1999

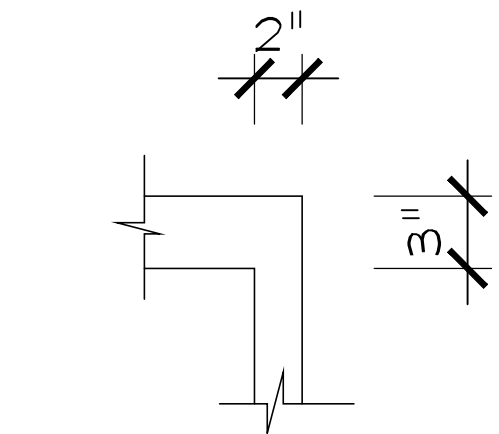
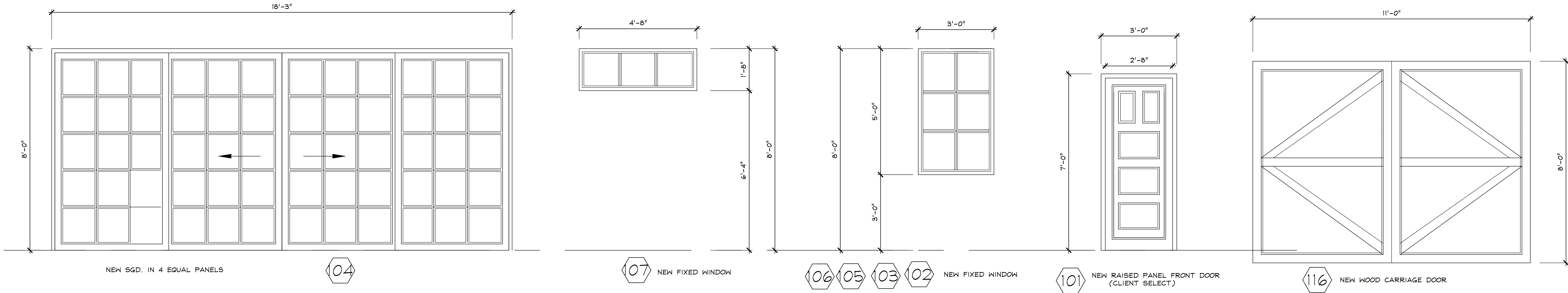
SCALE

JOB NO.

22_5176

A08

OF XX SHEETS



TYP. WOOD CASING DETAIL

1

3. PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS. (V.I.F.)
4. BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
5. GC TO FIELD VERIFY ALL SIZES PRIOR TO FABRICATION OF THE WINDOWS
6. ALUMINUM FRAME FOR PROPOSED WINDOWS -STYLE & COLOR CLIENT SELECT
7. CLEAR GLASS FOR ALL WINDOWS AND DOORS PROPOSED.
8. IMPACT GLASS FOR ALL NEW WINDOWS AND DOORS

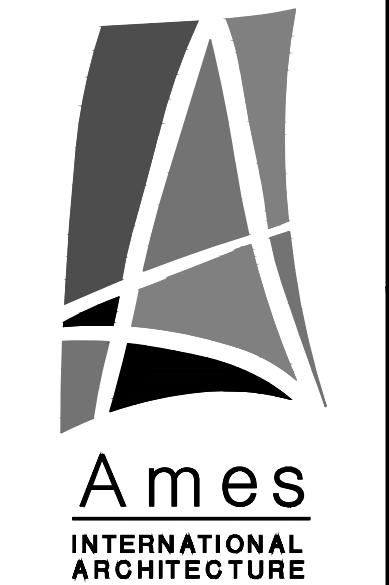
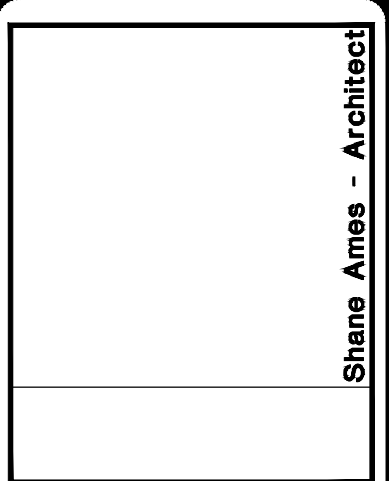
(HISTORIC PRESERVATION) PRELIMINARY DRAWINGS

DOOR + WINDOW SCHEDULE

JOE & SUSAN WAGMAN

310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

REVISIONS	BY
12/7/2022 HPB / TAC COMMENTS	A.G.



DRAWN A.G. CHECKED
DATE 8/12/2022
SCALE 1/4" = 1'-0"
JOB NO. 22-5176
SHEET A09
OF XX SHEETS

