



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

1625 South Ocean Boulevard

Meeting	File No.	Application Type
January 25, 2023	2023-031-SPF-SPR-CL1	Class I Site Plan Modification
Property Owner	Applicant	Agent
1625 South Ocean, LLC	1625 South Ocean, LLC	Thomas F. Carney, Carney Stanton P.L.

Request

Consideration of a Class I Site Plan Modification, Landscape Plan, and Architectural Elevations to 1625 South Ocean Boulevard associated with modifications to the certified site plan that include a floor plan modification between two units, minor architectural opening changes and colors, and the relocation of the transformer from the north side of the property to the front of the property.

General Data

Location: 1625 South Ocean Boulevard

PCN: 12-43-46-28-00-000-1060

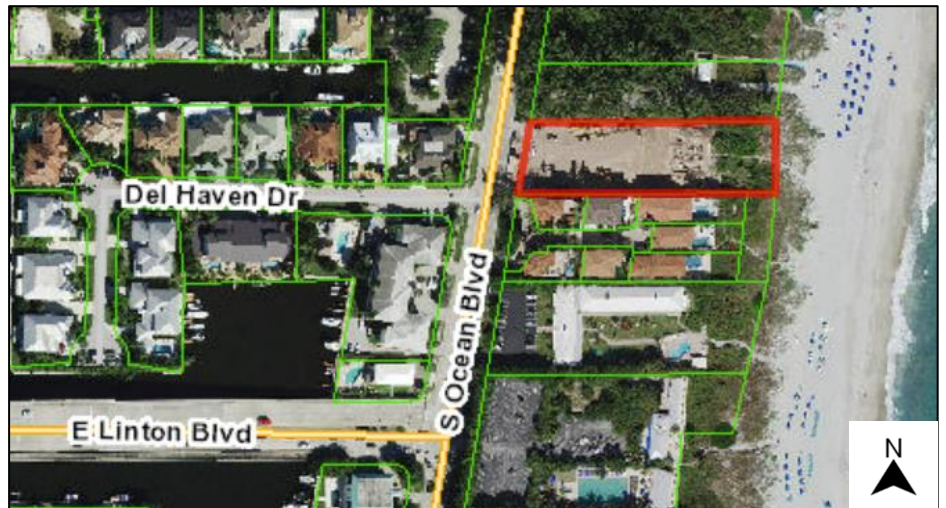
Property Size: 1.17 acres

LUM: Medium Density (MD)

Zoning: Residential Medium Density (RM)

Adjacent Zoning:

- North: Open Space (OS)
- South: RM
- East: Atlantic Ocean
- West: Single Family Residential (R-1-AA)



Existing Land Use: Multiple-Family Structure/Condominium (Under Construction)

Background

On June 24, 2020, the Board approved a Class V Site Plan for a 14 unit, multi-family development which contains a variety of residential floor plans ranging from 2,745 square feet to 3,543 square feet, with three bedrooms per unit including shared pool and spa, each unit is designed with balconies overlooking the Atlantic Ocean. A total of thirty-five parking spaces are provided; twenty eight underground, and seven surface parking spaces. The approval of the Class V Site Plan included a Special Action from **LDR Section 4.6.9(D)(3)(c)(2)** to reduce the stacking of 100 feet for queuing between the proposed underground garage security gate and the property line, a stacking distance of 49 feet 7 inches was approved..



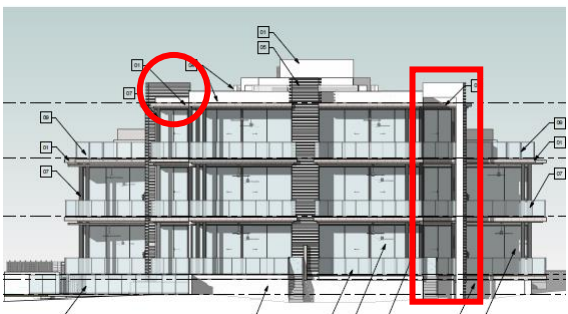
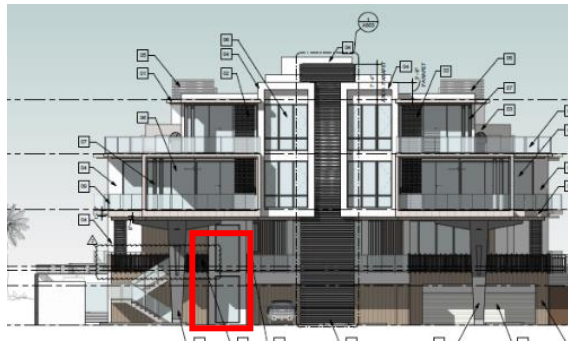
A demolition permit for the previous development was approved on July 16, 2021, and the site permit was approved on October 28, 2022. On July 28, 2021, a Class II Site Plan modification was approved by the Board due to minor changes generated from comments from the Florida Department of Transportation and the City of Delray Beach Building Department. The project is currently under construction.

Description of Proposal

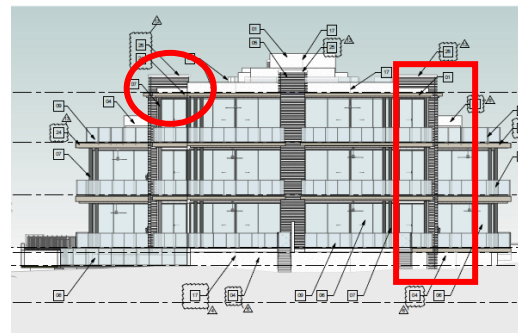
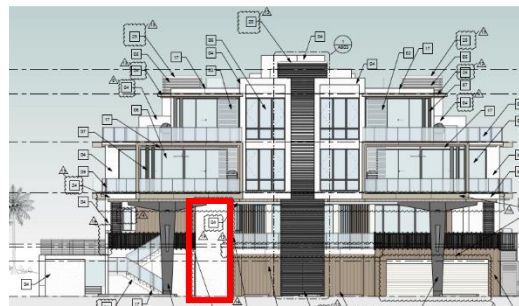
The subject request is associated with modifications to the site plan, landscape plan, and exterior elevations including the following:

- Units two and eight, located on first floor and second floor are combined to function as a single unit through an interior stair (no changes to the footprint other than internally) All of the proposed changes to the combined units are internal and do not affect the exterior of the building.
- The transformers moved from the north side of the property to the west (in front of parking area) based on a request by Florida Power and Light (FPL);
- Material legend changes such as the addition of scuppers; addition of caps at top of the Iberia tile clad walls, porcelain tile and lumicor tile added to the interior courtyard, and modifications to the material and paint legend due to a change in the supply companies.
- Minor changes to the architectural details such as the removal of two windows from the front elevation due to elevator constraints and slight changes to the windows in Unit eight (lower transom windows eliminated due to a request by the owner), cladding added to the right side to be consistent with the other vertical columns, and roof screen adjustments.

Approved



Proposed



Review and Analysis

LDR Section 2.4.5(G)(1)(b), Modifications to Site Plans and Master Development Plans: Class I

Approval of items listed in Section 2.4.5(I)(1) such as but not limited to: walls, fences, slabs, dumpster enclosures, sheds, etc. which do not require Board action; and changes in architectural elevations which require Board action.

The proposal includes changes in the site plan and architectural elevations therefore requiring Board action.

The items identified in **LDR Section 2.4.5(I)(1)(b)** are features and exterior color changes that are not significantly visible from the public street system, facade changes which do not significantly alter the style or image of a structure. The proposed changes, while relatively minor, are “visible from the public street system”, and therefore, Board action is required.

Review and Analysis Landscape Plan

LDR Section 2.4.5(H)(5), Landscape Plan Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.*
- (b) Site and landscape design standards pursuant to Section 4.6.16. Section 2.4.5(H)(5), Landscape Plan Findings*

The approved landscape plan has been revised to accommodate additional canopy trees and accurately calculate the palm trees. The provision of additional canopy trees is to address the mitigation requirements based on of the prior development's landscaping. As a result of the additional canopy trees, the required in-lieu payment is reduced from \$63,300 to \$46,700 for the removal of hardwood trees. The required in-lieu payment for the palm trees is now accurately calculated at \$9,000, whereas it was previously calculated at \$2,800.00. The Senior Landscape Planner has reviewed the plan and found it to be in compliance to LDR Section 4.6.16: Landscape Regulations. The in-lieu payments are due prior to the issuance of a building permit that includes the current modifications.

Review and Analysis: Architectural Elevations

Pursuant to **LDR Section 2.4.5(I)(5)**, Architectural (Appearance) Elevations Findings. *At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.*

Pursuant to **LDR Section 4.6.18 (A)(2)**, *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

Pursuant to **LDR Section 4.6.18(E), Criteria for board action**, *the following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.*

- 1. The plan or the proposed structure, is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The development proposal consists of a three-story condominium building with underground parking access along the front of the property. The building has a contemporary architectural style with flat roofs, smooth stucco finish in pure white color and accents in grey, vertical windows with clear glass anodized aluminum (grey) frames, porcelain tile cladding walls, glass handrail with aluminum framing, and aluminum decorative screen panels in “Charcoal Grey”. The south and north elevations consist of window openings and balconies. The rear/east elevation, consist of balconies and a large expanse of openings facing the ocean. The appurtenances (elevator shaft, mechanic equipment) placed above the roof level of the building are not intended for human occupancy and are screened with aluminum panels. The subtle changes that were made to comply with building comments and change in manufacturer remain in good taste and harmony with the surrounding neighborhood and are mostly internal to the property or set far back. The project will not cause the nature of the local environment to materially depreciate.

Board Action Options

- A. Move **approval** of the Class I Site Plan Modification (2023-031), Landscape Plan and Architectural Elevations for 1625 South Ocean Boulevard, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended**, of the Class I Site Plan Modification (2023-031), Landscape Plan, and Architectural Elevations, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- C. Move **denial** of the Class I Site Plan Modification (2023-031), Landscape Plan and Architectural Elevations, by finding that the request is not consistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**