SITE PLAN REVIEW AND APPEARANCE BOARD				
Regions West Atlantic				
Meeting	File No.	Application Type		
February 8, 2023	2022-201-SPF-SPR-CL5	Class V Site Plan		
Applicant / Property	Owner	Authorized Agent		
4760 West Atlantic Avenue, LLC		Andrew Savage, Bohler Engineering FL, LLC		

#### Request

Consideration of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 1,904 square foot Regions Bank with a drive thru facility located at 4760 West Atlantic Avenue.

## **Site Data & Information**

Location: 4760 West Atlantic Avenue

PCN: 12-42-46-13-01-000-0080

Property Size: 0.46 Acres

Land Use Designation: General Commercial (GC)

**Zoning District:** General Commercial (GC) **Overlay:** Four Corners Overlay District

#### **Adjacent Zoning:**

o North & West: GC

o **South:** Single Family Residential (R-1-A)

o East: Multiple Family Residential - Medium

Density (RM-9)

**Current Use:** Commercial (multiple tenants)

Proposed Use: Financial Institution (Bank with drive-thru)

#### Floor Area Ratio:

Maximum: 3.0Proposed: 0.10



rodriguess@mydelraybeach.com

2. Architectural Elevations

3. Stacking Distance Reduction



## **Background**

The 0.46 acre site is located on the southeast corner of West Atlantic Avenue and Whatley Road. The property currently includes a 4,738 square foot commercial building, built in 1985 and consists of a mix of retail and medical uses.



Entrance from Whatley Road

#### **Description of Proposal**

The proposal includes the demolishment of the existing structure to allow for the construction of a 1,904-square foot bank with drive thru facility. Access to the site will continue to be provided from Whatley Road via two points. One driveway, to the south of the property, will provide direct one-way access to the teller and ATM drive-thru lanes; the second, to the north of the property and approximately where the current driveway is located, provides a two-way drive-aisle and the main parking area. A total of 16 off-street parking spaces are provided to the front and rear of the building.

The proposal includes a reduction to the minimum stacking distance requirement for the drive thru lanes. The ATM lane provides 80 feet and the lane for the teller window provides 55 feet, whereas a minimum of 100 feet is required for each lane. The reductions were supported by the City Engineer (see attached memo), thereby not requiring additional review by the City Commission as a waiver.

Note: Any noted signage has not been reviewed and is not included with the request. A separate request is required through the sign permit process.





#### SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



### Review & Analysis: Site Plan and Zoning

### LDR Section 2.4.5(F)(5), Class V Site Plan

A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

**LDR Section 3.1.1 Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

#### 3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of GC, and a zoning designation of GC, which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is a preferred zoning district to implement the GC land use designation. Pursuant to LDR Section 4.4.9(B), services and facilities including banks with drive thru facilities are permitted uses within GC. Therefore, the resulting use of land is compatible with the underlying land use.

## 3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

<u>Potable Water and Sewer</u>: Water and sewer services exist and will continue to be provided on-site. The potable watermain on the northwest corner will be connected to the existing two-inch meter. Additionally, sanitary sewer will be accommodated through a six-inch PVC sewer line.

<u>Drainage</u>: Drainage and water run-off are addressed through on-site curb inlets and a 12-inch yard drain on the southeast corner of the property.

<u>Transportation:</u> The Transportation Performance Standards (TPS) letter, dated April 29, 2022, states that the proposed project is anticipated to generate less than 20 peak hour trips and meets the TPS of Palm Beach County. The Drive-Through Queueing Analysis dated April 8, 2022, and conducted by McMahon Associates, Inc., provides further details, identifying an average service rate of 2.2 minutes per customer for bank drive thru windows, resulting in an average service capacity of 27.3 vehicles per hour per lane.

Parks and Open Space: Park dedication requirements and fees do not apply to non-residential uses.

<u>Solid Waste</u>: Based on the Palm Beach County Waste Generation Rates, the proposed project is anticipated to generate approximately 7,045 pounds of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

<u>Schools</u>: Not Applicable for non-residential development.

#### SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



### 3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are LDR Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and LDR Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure that new development will not have a negative impact on the sounding area, provide any requisite amenities to enhance the quality of life for its residents when residential units are provided, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards as there are no identified concerns related to the overall consistency with Article 3.2.

## Comprehensive Plan

A review of the objectives and policies of the adopted Always Delray Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

<u>Policy NDC 1.3.10</u> Use the General Commercial land use designation to accommodate a wide range of non-residential and mixed-use development, and limited stand-alone residential development, along major corridors and in certain districts in the city.

<u>Policy ECP 3.1.6</u> Promote both good job creation and business ownership opportunities when encouraging the development and diversification of industry clusters.

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element and the Economic Prosperity. The proposal is a financing institution that will add to the diversity of businesses surrounding residential areas and support new development opportunities along West Atlantic Avenue.

#### 3.1.1(D), Compliance with the LDRs:

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

Standard/Regulation	Review		
Height	Maximum: 48 feet		
4.3.4(K)	<b>Proposed:</b> 18 feet and 8 inches		
Setback	Required:	Proposed:	
4.3.4(K)	Front: 10 feet	Front (north): 61.9 feet	
, ,	Side Interior: 10 feet	Side Interior (east): 26.5 feet	
	Side Street: 10 feet	Side Street (west): 49.5 feet	
	Rear: 10 feet	Rear (south): 28.3 feet	
Open Space	Required: 25% Minimum		
4.3.4(K)	<b>Proposed:</b> 31.22%		
Lot Coverage	Required: 75% Maximum		
4.3.4(K)	<b>Proposed:</b> 68.77%		
Landscape Buffer	Required: smaller distance of either 30 feet or ten percent of the average depth of the property		
4.3.4(H)(6)3.	(14.3 feet); cannot be less than to	n feet	
. , . ,	Proposed: 14.5 feet		

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#### SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



Other Requirements	
Standard/Regulation	Review
<b>Lighting (Photometric Plan)</b> 4.6.8(A)(3), Illumination Standards: Table 2	The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, drive thru lighting, and lighting at the property line adjacent a parcel or public right-of-way.
Off-Street Parking	Required:
4.6.9(C)(3)	4.5 parking spaces / 1,000 gross square feet = 9 parking spaces
	Proposed:
	16 parking spaces; one handicap space, four parallel spaces
Bicycle Parking	Required:
Table 4.6.9(C)-1	Two Type I bicycle parking spaces.
	Proposed:
	Two Type I bicycle parking spaces are provided near the main (west) building entrance.

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.

## Review & Analysis: Landscape Plan

### LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

The proposal includes the removal of eight trees, relocation of six trees, and the protection of a Silver Buttonwood, two Live Oaks, five Solitaire Palms, a Sabal Palm, and one unknown tree species; 10 trees total. The existing trees count for six of the required 13 canopy trees, and the proposal includes the planting of eight new trees. In addition, pursuant to LDR Section 4.6.4(A)(2), commercially zoned property abutting residentially zoned properties without any division or separation between them (street, alley, railroad, etc.) must provide either a solid masonary wall six feet in height or a continuous hedge at least four and a half feet in hieght; the proposal includes the planting of hedges five feet in height along the propety lines abutting residential property. The landscape plan has been deemed technically compliant by the Senior Landscape Planner.

#### **Review & Analysis: Architectural Elevations**

## LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

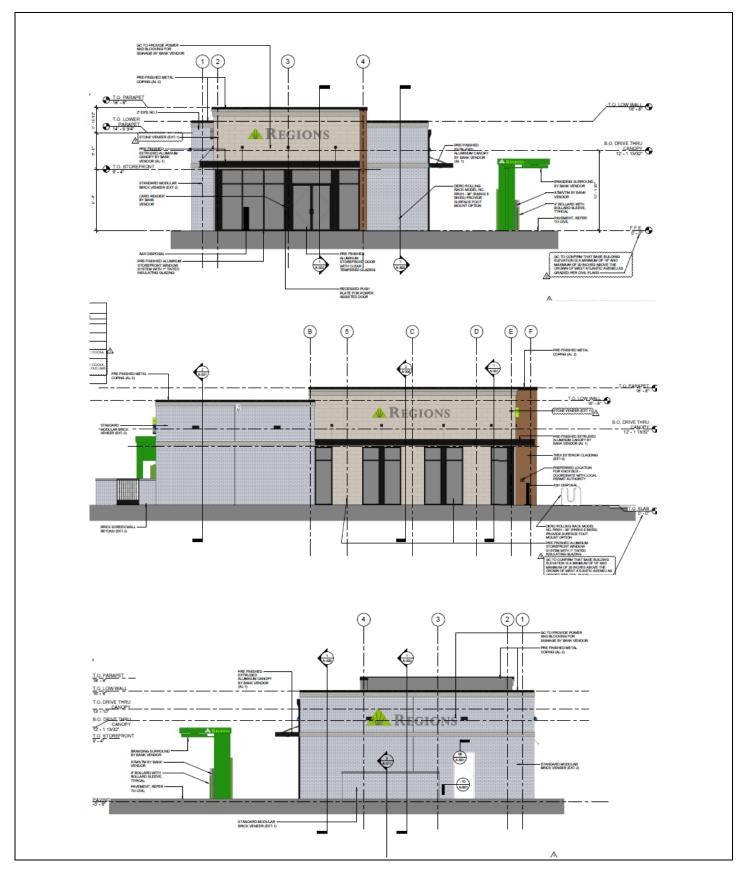
#### LDR Section 4.6.18, Architectural Elevations and Aesthetics

## (A) Minimum Requirements

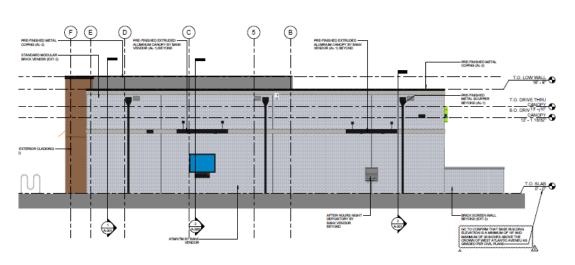
- 1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- 2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

The proposed elevations have been reviewed for compliance with Section 4.6.18 and are deemed in compliance with minimum standards.









### (B) Building and structure requirements.

The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. The project utilizes materials, colors, and finishes compatible with its surroundings.

#### (E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed development is generally in conformity with good taste and good design. The project is anticipated to enhance the appearance of the West Atlantic Avenue corridor and further encourage activity west of the central core downtown. The new building and improved site is also anticipated to be harmonious with other developments along the corridor, as it incorporates many elements such as color and material in the surrounding buildings. The elevation facing West Atlantic Avenue will be the most visible and includes a large area of wall void of any openings. While the texture of the painted brick adds interest, the applicant could consider the inclusion of a mural on the façade – through a separate application and review by the Public Arts Advisory Board – to further enhance the elevation and add interest along the busy corridor, which would be visible to the increased pedestrian and bicycle traffic, as well as the vehicular traffic.

### **Optional Board Motions**

- A. Move **approval** of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move **approval**, **as amended**, of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to continue with direction.

# PRELIMINARY LAND DEVELOPMENT PLANS

# WAGNER PROPERTY GROUP

**PROPOSED** 

# SITE IMPROVEMENTS

**LOCATION OF SITE** 4760 W ATLANTIC AVENUE, DELRAY BEACH PALM BEACH COUNTY, FL 33445

# REFERENCES AND CONTACTS

REFERENCES **GOVERNING AGENCIES** ◆ALTA/NSPS LAND TITLE SURVEY: **♦ PLANNING, ZONING COMMITTE** BOHLER ENGINEERING 1900 CORPORATE BLVD NW., SUITE 101E DEVELOPMENT SERVICES DEPARTMENT BOCA RATON, FL 33431 DELRAY BEACH, FL 33444 DATED: 03/11/22 (REV.0) PHONE: (561) 243-7365 **ELEVATIONS: NAVD 1988** FAX: (561) 243-7221 CITY OF DELRAY BEACH 100 NW 1ST AVE PROFESSIONAL SERVICES INDUSTRIES (PSI) 7950 NW 64TH ST PHONE: (561) 243-7200 501 WEST ATLANTIC AVENUE ◆ARCHITECTURAL PLAN: DELRAY BEACH, FL 33444 2100 FIRST AVE N SUITE 100 BIRMINGHAM, AL 35203 DATED: 05/12/22 WEST PALM BEACH, FL 33406 BOHLER ENGINEERING PHONE: (561) 686-8800 1900 CORPORATE BLVD NW., SUITE 101E ♦ PALM BEACH COUNTY TRAFFIC DIVISION WEST PALM BEACH, FL 33411 PHONE: (561) 684-4030 **♦ LIGHTING PLAN:** SESCO LIGHTING 737 SHOTGUN RD 7900 FOREST HILL BOULEVARD FT. LAUDERDALE, FL 33326 WEST PALM BEACH, FL 33413 PHONE: (561) 370-1134 UTILITIES ♦WATER AND SEWER VICTOR MAJTENYI - DEPUTY DIRECTOR OF UTILITIES CITY OF DELRAY BEACH UTILITY DEPARTMENT 434 SOUTH SWINTON AVENUE DELRAY BEACH, FLORIDA 33444

\* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



**DEVELOPER** WAGNER PROPERTY GROUP 4211 W BOY SCOUT BLVD | SUITE 620 TAMPA, FL 33607 SARAH LIAKOS C: 813-284-7978

SCALE: 1":500'

# LEGAL DESCRIPTION

LOTS 8 AND 9, COUNTRY CLUB ACRES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



PREPARED BY

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES	C-102
ALTA SURVEY (BY BOHLER)	-
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
PAVING GRADING & DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
STORMWATER POLLUTION PREVENTION PLAN PHASE I	C-601
STORMWATER POLLUTION PREVENTION PLAN PHASE II	C-602
STORMWATER POLLUTION PREVENTION DETAILS	C-603
TREE DISPOSITION PLAN	C-701
LANDSCAPE PLAN	C-702
LANDSCAPE DETAILS AND NOTES	C-703
CONSTRUCTION DETAILS SHEET	C-901 - C-905

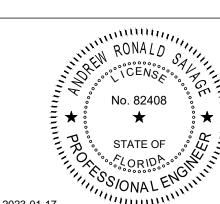
SHEET INDEX



400 N. Ashley Drive Lic. #: AA - 0003590 Tampa, FL 33602 W: www.bdgllp.com



THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND AN' ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OF ARCHITECTS, USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTABILITY OF THE PLANS. THE PLANS SHALL NO BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS: ANY CONSTRUCTION EXECUTED FROM THESE PLAN NITHOLIT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS: OR AN CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, (DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLAN SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY



SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS

2023-01-17	'''unuw		(11,	
Revision Number	BY	DATE	DESCRIPTION	
-		05/13/22	BID/PERMIT SET	
1		08/23/22	TAC REVIEW NO.1	
2		12/15/22	CITY COMMENTS	

PROJECT INFORMATION BLOCK DATE: DRAWN BY CHECKED BY:

SHEET TITLE

COVER SHEET

SHEET NUMBER

THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, FLORIDA, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER. IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE

**GENERAL NOTES** 

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE

DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE), THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES. OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH

ADDITIONAL WORK THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST <u>NOT</u> SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED

FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS. PRIOR TO PROCEEDING WITH ANY FURTHER WORK, IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND

ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES, ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC.

WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE

APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.

START OF CONSTRUCTION.

BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT 5. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE, ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. 6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY

FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES,

DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST. PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE

THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES. OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR

COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS 0. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE

CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME. . ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL

SED TO NAME BOHLER OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER

ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY

TERMINATION SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS METHODS. TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 3 NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES,

SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE

CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE 4 WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA. WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OF TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE. MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT

RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY

BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE

FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME. 26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND FLEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE, THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY . OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIEY

AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES. DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS

29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS. AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS

RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIÈS (ÚNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THÉ CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. . AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED

PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE. AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY

NATURE OR TYPE. EITHER EXPRESSED OR IMPLIED. UNDER ANY CIRCUMSTANCES

**DEMOLITION NOTES** 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY

COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE

COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL

THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED. REMOVED. AND/OR TO REMAIN. A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING,

FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT. SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE

TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE,

S. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF

ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS. AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF

THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS,

STATUTES ORDINANCES AND CODES THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING LITH ITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY

COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND DEMOLITION WORK B NOTIFY AT A MINIMUM. THE MUNICIPAL ENGINEER. DESIGN ENGINEER. AND LOCAL SOIL CONSERVATION JURISDICTION, AT

LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY

AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR

PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

COMPLIANT REMOVAL OF SAME.

RESPONSIBLE FOR ALL SUCH COSTS.

2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE. WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES

3. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT, BACKELLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.

4. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE, AND LOCAL GOVERNMENTS REQUIRE, THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE. THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST 6. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE

SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. 17 THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE

WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE

# **SOIL EROSION & SEDIMENT CONTROL PLAN NOTES**

AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE FLORIDA GUIDELINES FOR URBAN EROSION AND SEDIMENT ONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE FROSION CONTROL CONSTRUCTION NOTES

THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.49 ACRES. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE: A. STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE

B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE

FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT

ANY SILT FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE

THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS

CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION. 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES MEASURES AND STRUCTURES ADDITIONAL FACILITIES MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL

. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF

DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.

THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. 6. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE

OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. 7. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

## SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MÉASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY 3 ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, FXCFPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT

# ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE. **GRADING NOTES**

I. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT OCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS

SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE

MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. FARTHWORK ACTIVITIES INCLUDING BUT NOT LIMITED TO EXCAVATION BACKELL AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING

## **ACCESSIBILITY DESIGN GUIDELINES**

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.

THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS PECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MÚST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE ROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, <u>FLARE SIDES</u> SLOPES MUST NOT

EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH F TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. I'HIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHÉRWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO

ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES 3. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE

ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

# DRAINAGE AND UTILITY NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIEY AND CONFIRM ALL SANITARY CONNECTION.

(Rev.2/2021)

POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED O. GAS. WATER. ELECTRIC. SANITARY AND STORM. TELEPHONE. CABLE. FIBER OPTIC CABLE. ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR

ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR

VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARI ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL LITILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO

CONSTRUCTION. MUST RESOLVE SAME. 7 ALL FILL COMPACTION AND BACKELL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND

BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS

8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY,

WATER AND STORM SYSTEMS. ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL. COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE

AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR

TO COMMENCING CONSTRUCTION 12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

## **LIGHTING NOTES**

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS THE LIGHTING PLAN DEPICTS PROPOSED. SUSTAINED ILLUMINATION LEVELS CALCULATED LISING DATA PROVIDED BY THE NOTED MANUFACTURER, ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE

1 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT

(Rev. 1/2020)

TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE. BUT IS NOT LIMITED TO. VISUAL OBSERVATION. CLEANING OF LENSES. AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S MECHANICAL ENGINEER'S AND/OR LIGHTING

CONTRACTOR'S RESPONSIBILITY. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON

THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR FLECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES

AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE. UTILITIES. OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

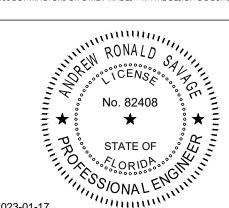
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HESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY AD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTE PLANS") ARE THE SOLE AND EXCLUSIVE, PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OF ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTABILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS. be scaled or modified for any forfose without the express Written approval of BDG ARCHITECTS, any Changes to These Plans REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS; ANY CONSTRUCTION EXECUTED FROM THESE PLAN WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS: OR AN' CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND architeus mat have on the project, and result in the full and Complete Release of BDG architects from any lability, claims, c Damages including errors and omissions arising out of or RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR STALL BE REFERRED IMMEDIATELT TO BUG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS, THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULIN AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.



Revision			
Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS
PROJE	ECT	<b>INFORM</b>	ATION BLOCK

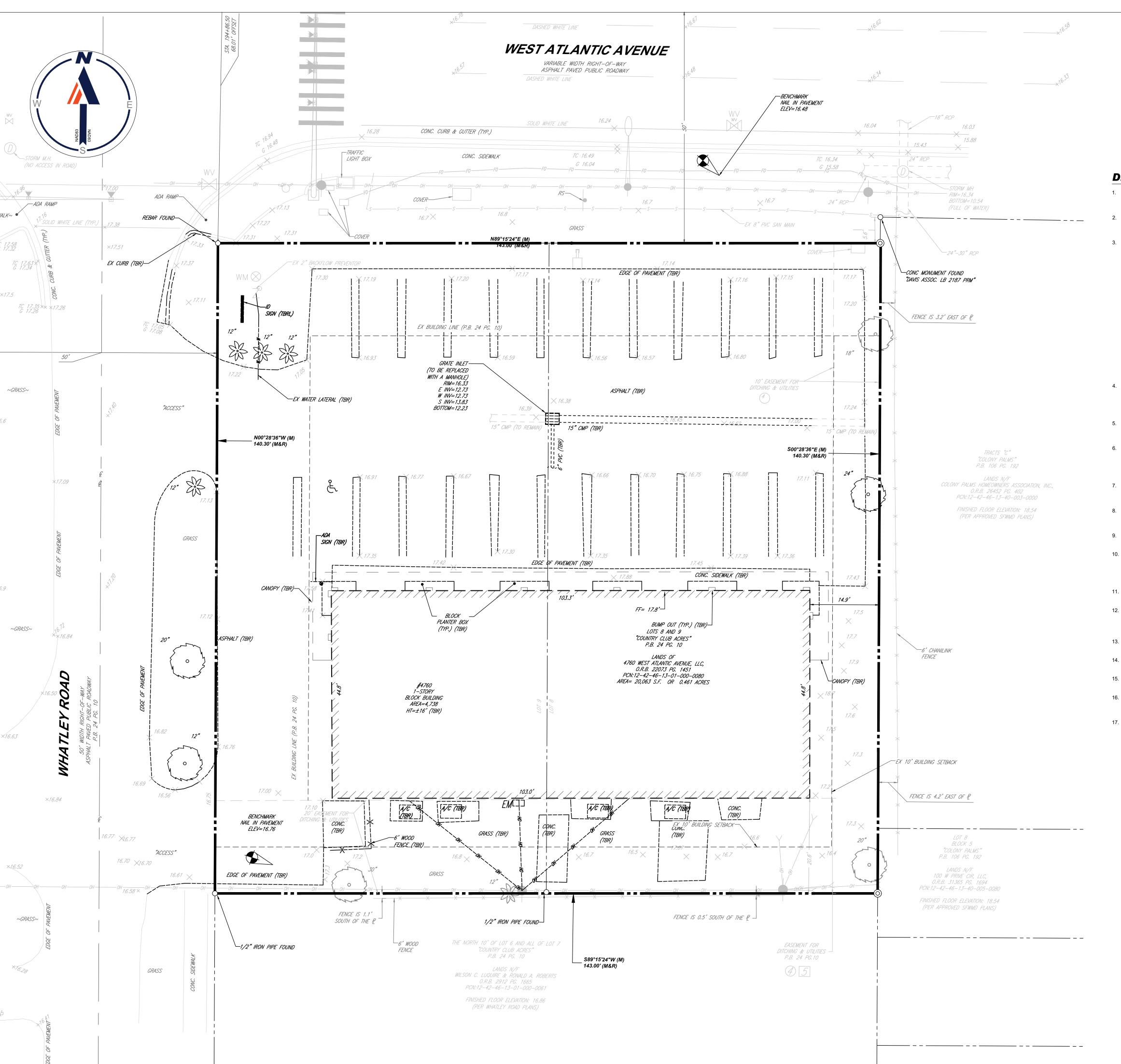
DATE: DRAWN BY **CHECKED BY:**  5/13/22

SHEET TITLE

SHEET NUMBER

JOB#

GENERAL **NOTES** 



DEMOLITION/REMOVAL LEGEND		
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT	
(TBR)	TO BE REMOVED	
(TBRL)	TO BE RELOCATED	
	CONCRETE CURB & GUTTER	
<b>A</b>	TYPICAL SIGN	
0	BOLLARD	

## **DEMOLITION NOTES:**

- BOHLER FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
- B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  D. LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND
- STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.

  E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES
- DEMOLITION ACTIVITIES.

  F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE
- THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.

  G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE
- REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.

  H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- 4. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- 5. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 6. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL REGULATIONS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 7. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT OF WAY.
- 8. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- 9. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER. AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 10. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION"
- 11. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- 12. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND APPLICABLE CODES.
- 14. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL
- 15. ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND
- LOCAL REGULATIONS.

  16. THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, XERIC UPLANDS, WETLANDS, CUTTHROAT
- GRASS SEEPS, HISTORICAL, AND ARCHAEOLOGICAL RESOURCES, OR CONES OF INFLUENCE FOR POTABLE WELLS, AQUIFER RECHARGE AREAS, SOIL TYPES, AND VEGETATIVE COVER LOCATED WITHIN PROJECT LIMITS.

DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.

17. CIVIL DEMOLITION PLAN IS BASED OFF OF THE SURVEY DATED 03/11/22. IF ITEMS ARE NOT SHOWN IN THE SURVEY, CONTRACTOR TO COORDINATE WITH OWNER TO CONFIRM IF ITEM(S) ARE TO REMAIN OR BE DEMOLISHED.



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DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

RONALD

NO. 82408

Revision Number BY DATE DESCRIPTION

- 05/13/22 BID/PERMIT SET

1 08/23/22 TAC REVIEW NO.1
2 12/15/22 CITY COMMENTS

PROJECT INFORMATION BLOCK

 JOB #
 213225

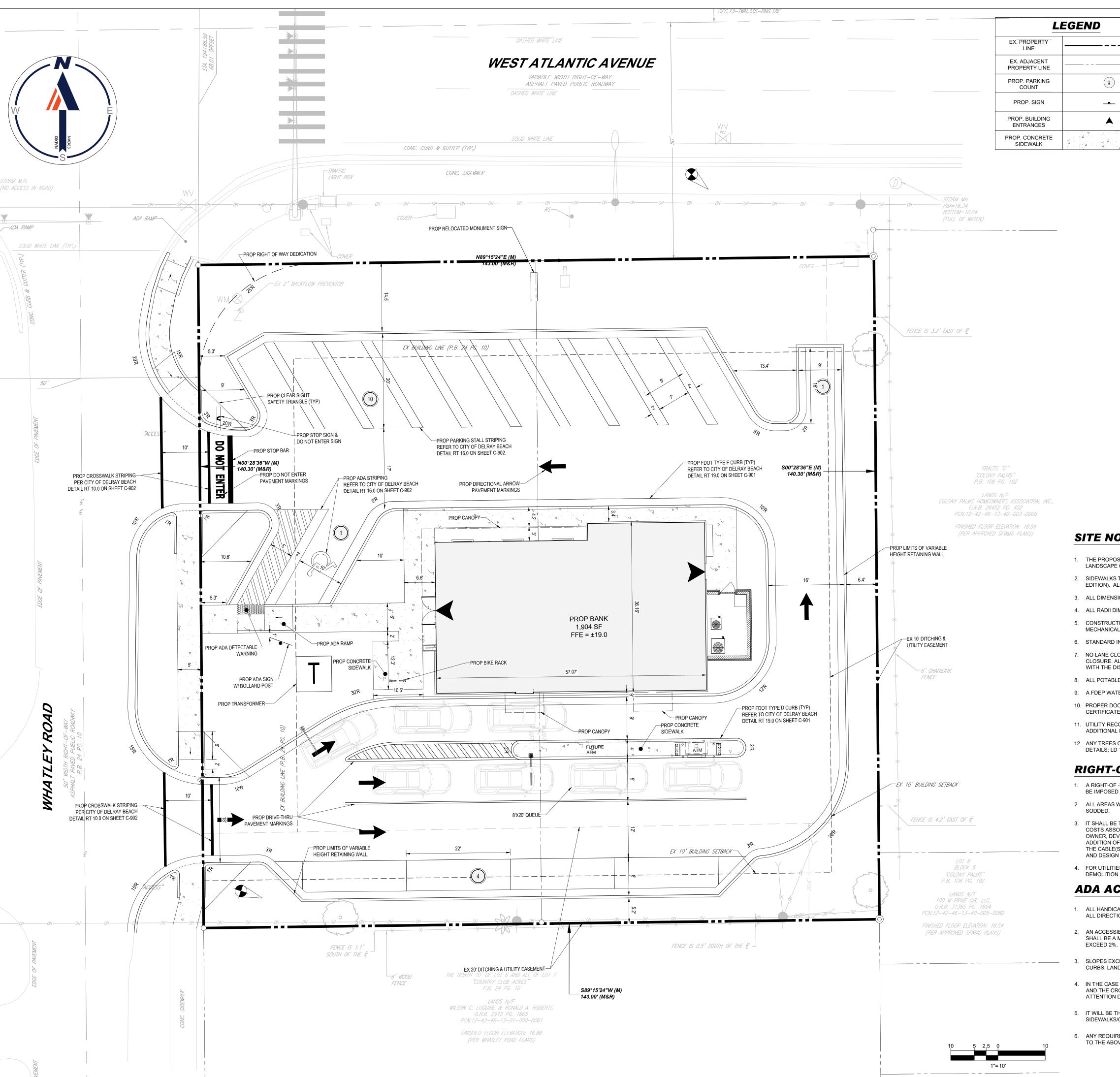
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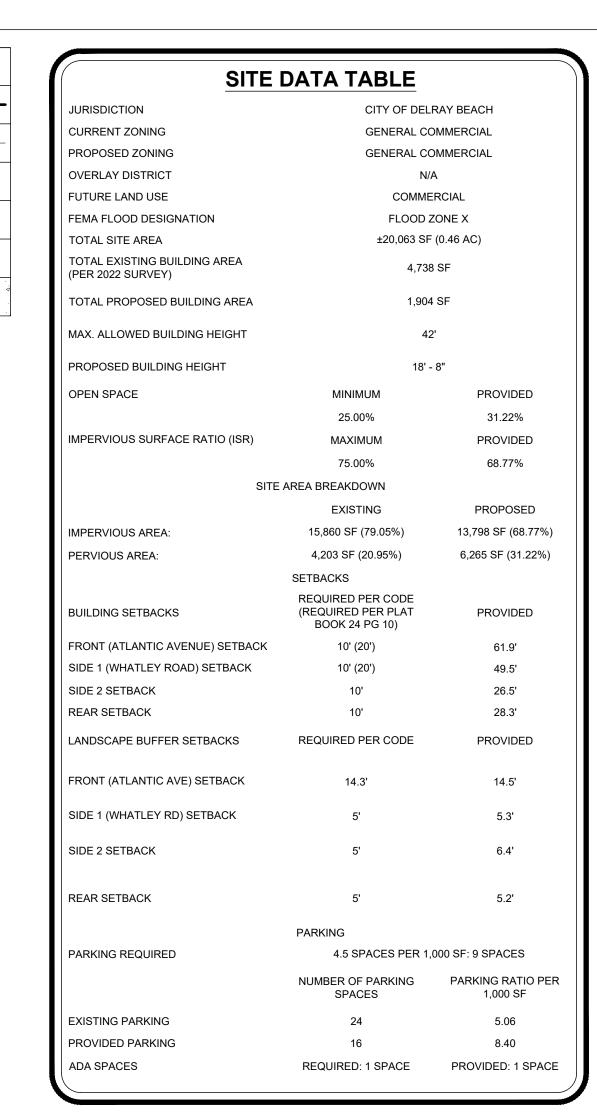
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DEMOLITION PLAN





# **SITE NOTES:**

- 1. THE PROPOSED ACTIVITIES SHALL COMPLY WITH CITY OF DELRAY BEACH DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS, AND FIRE CODES AT THE TIME OF PERMITTING.
- 2. SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH F.D.O.T. AND CITY OF DELRAY BEACH LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- 3. ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- 4. ALL RADII DIMENSIONS ARE 3' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 5. CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE, OR SCREENING, ETC
- 6. STANDARD INDICES REFER TO THE LATEST VERSION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY AND BRIDGE CONSTRUCTION".
- 7. NO LANE CLOSURES ARE ALLOWED BETWEEN 5:00 A.M. AND 7:30 P.M. THE F.D.O.T. RESERVES THE RIGHT TO REQUIRE DIFFERENT HOURS OF LANE CLOSURE. ALL LANE CLOSURES MUST BE APPROVED BY THE DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE LANE CLOSURE IN ACCORDANCE WITH THE DISTRICT LANE CLOSURE POLICY
- 8. ALL POTABLE WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
- 9. A FDEP WATER AND WASTEWATER PERMITS MUST BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- 10. PROPER DOCUMENTATION FOR ALL PUBLIC UTILITY EASEMENTS SHALL BE PROVIDED TO THE PROPERTY MANAGEMENT DEPARTMENT PRIOR TO CERTIFICATE OF COMPLETION.
- 11. UTILITY RECORD DRAWINGS ARE REQUIRED PRIOR TO PLACING THIS WATER AND WASTEWATER FACILITIES INTO SERVICE. PLEASE SEE THE ADDITIONAL INFORMATION SECTION FOR INSTRUCTIONS.
- 12. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2.

# **RIGHT-OF-WAY NOTES:**

- 1. A RIGHT-OF -WAY USE PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT THE TIME OF PERMIT APPLICATION.
- 2. ALL AREAS WITHIN THE COUNTY OR F.D.O.T. RIGHT-OF-WAY DISTURBED THROUGH THE COURSE OF CONSTRUCTION WILL BE RE-GRADED AND
- 3. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO PROTECT ALL COUNTY OR F.D.O.T. OWNED AND/OR MAINTAINED INFRASTRUCTURE. ANY/ALL COSTS ASSOCIATED WITH ALTERATIONS, RELOCATIONS OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE, SIGNALIZATION OR ROADWAY LIGHTING CONDUCTORS OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION. ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT AND DESIGN PRIOR TO ANY WORK COMMENCING.
- 4. FOR UTILITIES TO BE RELOCATED BY THE UTILITY PROVIDER, CONTRACTOR SHALL COORDINATE DEMOLITION SCHEDULE WITH UTILITY PROVIDERS. DEMOLITION OF SIDEWALKS AND DRIVEWAYS SHALL OCCUR PRIOR TO UTILITY RELOCATIONS.

# **ADA ACCESSIBILITY NOTES:**

- 1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- 5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- 6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



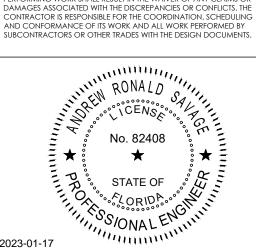
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**PROJECT** 

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PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR

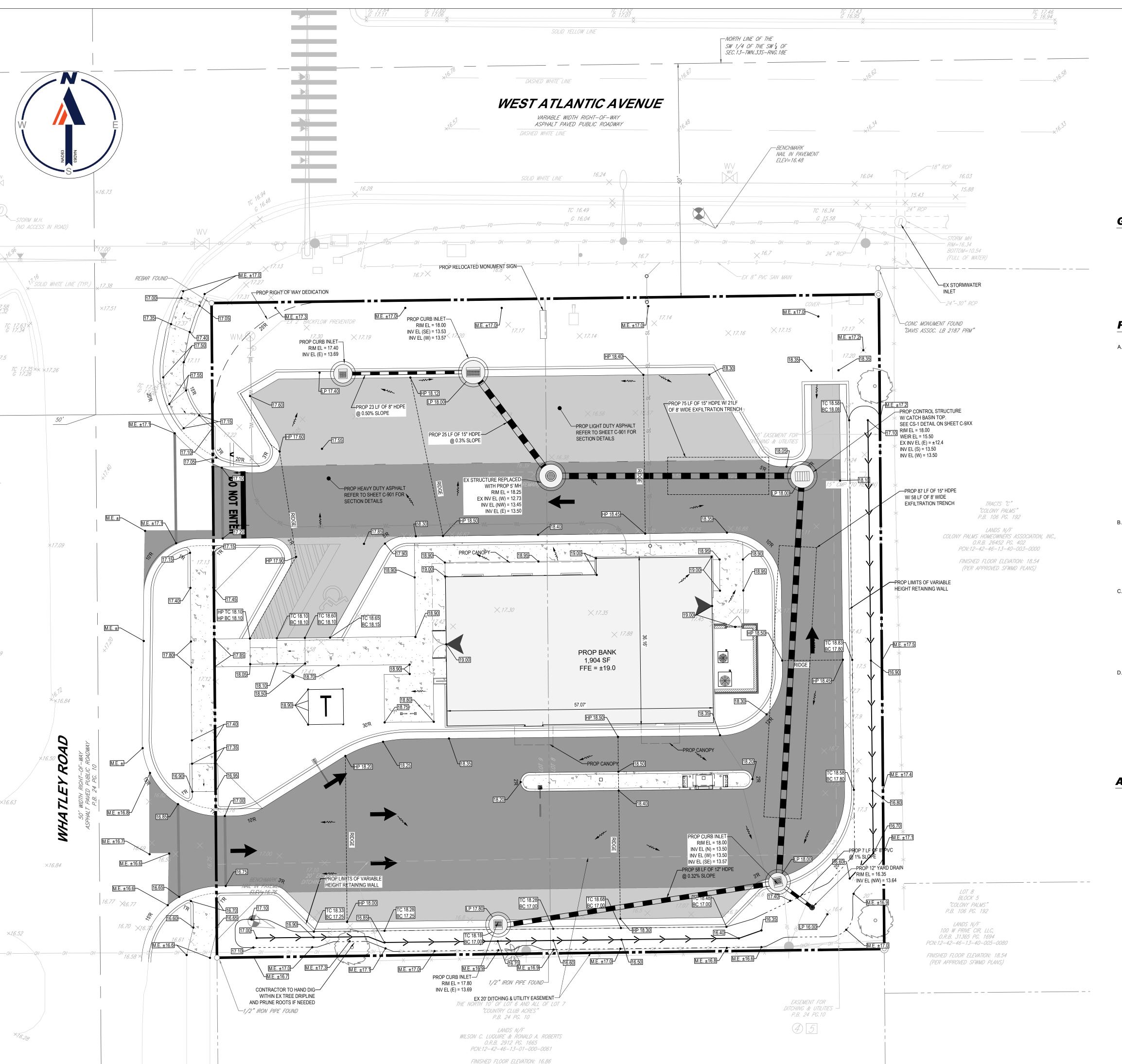
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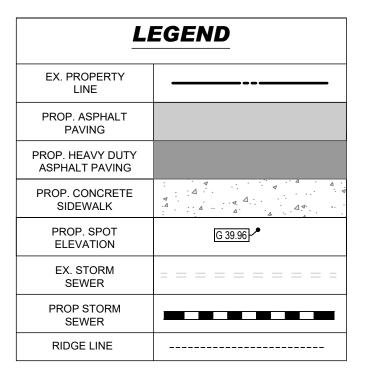
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CHECKED BY:

SITE LAYOUT PLAN



(PER WHATLEY ROAD PLANS)



# **GENERAL NOTES:**

STRUCTURES.

- 1. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO
- 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING
- 3. COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS
- 4. STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY AND BRIDGE CONSTRUCTION".
- 5. ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SODDED.

## **PAVING AND GRADING NOTES:**

## A. GENERAL:

- 1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
- 2. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TC" = TOP OF CURB ELEVATION; "G" = FINISHED GRADE; "MEG" = PROPOSED GRADE TO MATCH EXISTING GRADE; T/W = TOP OF RETAINING WALL ELEVATION; B/W = BOTTOM OF RETAINING WALL ELEVATION.
- 3. THE ALTA/ACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- 4. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- 5. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- 6. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE
- CONTRACTOR'S EXPENSE. 7. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT
- SHALL BE SAW CUT TO ENSURE A PROPER JOINT. 8. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE
- ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

## B. MATERIALS:

- 1. BASE COURSE SHALL BE ABC-3 PER F.D.O.T. SPECIFICATIONS. OR EQUIVALENT LIMEROCK THICKNESS W/ MINIMUM LBR-100. (MAX. 6" LIFTS)
- 2. ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK, AND CONSTRUCTED IN TWO 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS.
- 3. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000
- PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.

# C. INSTALLATION:

- 1. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180), TO A MINIMUM 12" AND SHALL HAVE A MINIMUM LBR 40.
- 2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
- 3. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- 4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM TO THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.

- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- 4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
- 5. DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

# **ADA ACCESSIBILITY NOTES:**

- 1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
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- 3. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

# **DATUM NOTE:**

ELEVATIONS SHOWN HEREON, IF ANY, ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON NAVD-88. THE EXPECTED ACCURACY OF THE ELEVATIONS SHOWN HEREON IS 0.03' FOR THE HARD SURFACE ELEVATIONS AND 0.1' FOR THE SOFT SURFACE ELEVATIONS. ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.



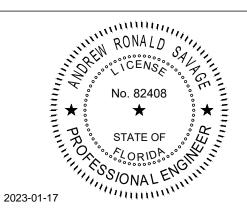
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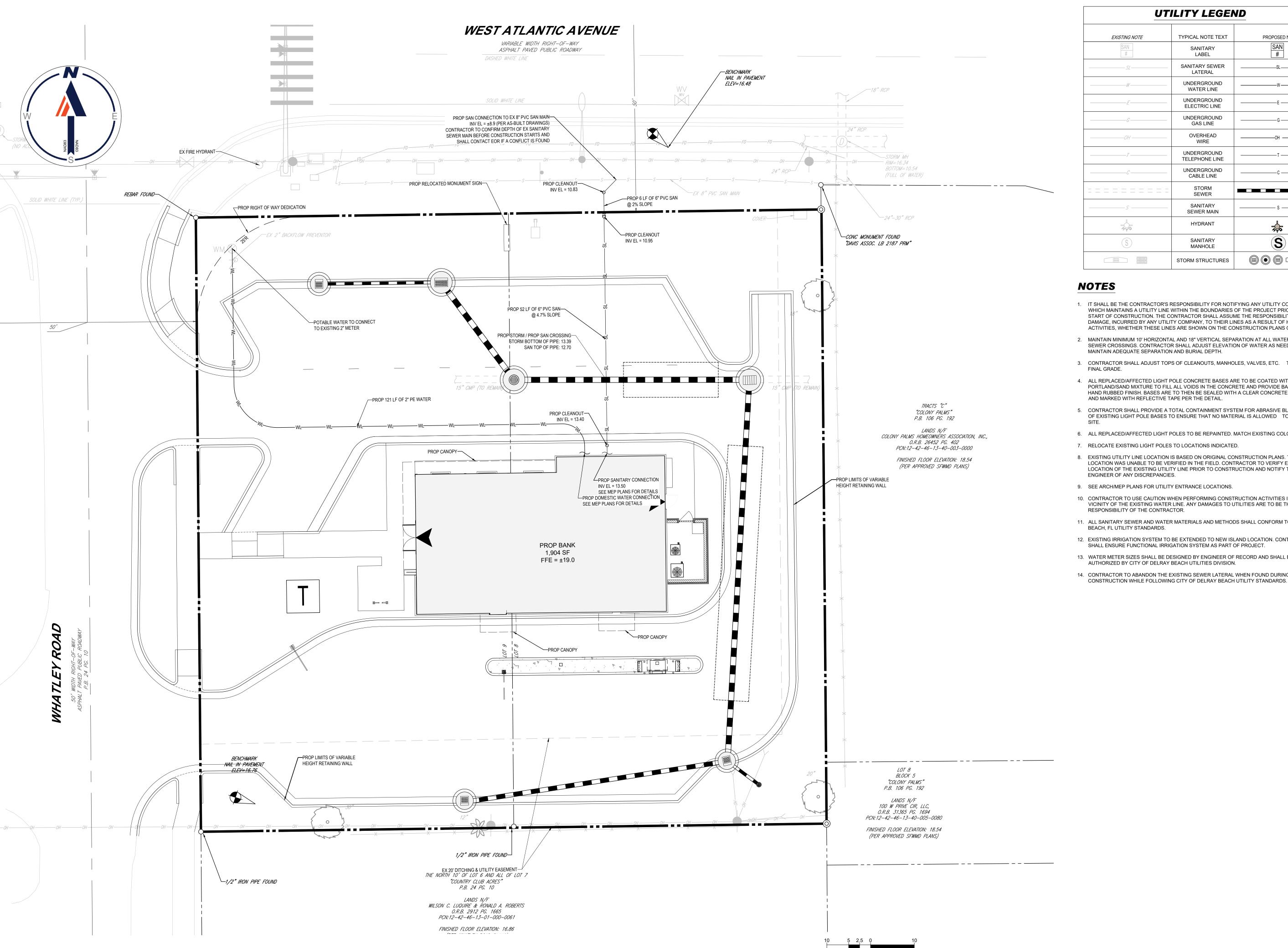
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PROJECT INFORMATION BLOCK JOB# DATE: 5/13/22 DRAWN BY: CHECKED BY:

SHEET TITLE

**PAVING GRADING & DRAINAGE** PLAN



<u>U</u>	TILITY LEGEN	ND .
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
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	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	
E	UNDERGROUND ELECTRIC LINE	——Е
	UNDERGROUND GAS LINE	
OH	OVERHEAD WIRE	———ОН ———
	UNDERGROUND TELEPHONE LINE	т
	UNDERGROUND CABLE LINE	с
=======	STORM SEWER	
	SANITARY SEWER MAIN	s
<b>=</b>	HYDRANT	<del>-</del>
(\$)	SANITARY MANHOLE	S
	STORM STRUCTURES	

# **NOTES**

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT.
- 2. MAINTAIN MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION AT ALL WATER AND SEWER CROSSINGS. CONTRACTOR SHALL ADJUST ELEVATION OF WATER AS NEEDED TO MAINTAIN ADEQUATE SEPARATION AND BURIAL DEPTH.
- 3. CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, ETC. TO MATCH FINAL GRADE.
- 4. ALL REPLACED/AFFECTED LIGHT POLE CONCRETE BASES ARE TO BE COATED WITH A PORTLAND/SAND MIXTURE TO FILL ALL VOIDS IN THE CONCRETE AND PROVIDE BASE WITH A HAND RUBBED FINISH. BASES ARE TO THEN BE SEALED WITH A CLEAR CONCRETE SEALANT AND MARKED WITH REFLECTIVE TAPE PER THE DETAIL.
- 5. CONTRACTOR SHALL PROVIDE A TOTAL CONTAINMENT SYSTEM FOR ABRASIVE BLASTING OF EXISTING LIGHT POLE BASES TO ENSURE THAT NO MATERIAL IS ALLOWED TO EXIT THE
- 6. ALL REPLACED/AFFECTED LIGHT POLES TO BE REPAINTED. MATCH EXISTING COLOR.
- 7. RELOCATE EXISTING LIGHT POLES TO LOCATIONS INDICATED.
- 8. EXISTING UTILITY LINE LOCATION IS BASED ON ORIGINAL CONSTRUCTION PLANS. THE EXACT LOCATION WAS UNABLE TO BE VERIFIED IN THE FIELD. CONTRACTOR TO VERIFY EXACT LOCATION OF THE EXISTING UTILITY LINE PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- 9. SEE ARCH/MEP PLANS FOR UTILITY ENTRANCE LOCATIONS.
- 10. CONTRACTOR TO USE CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF THE EXISTING WATER LINE. ANY DAMAGES TO UTILITIES ARE TO BE THE
- 11. ALL SANITARY SEWER AND WATER MATERIALS AND METHODS SHALL CONFORM TO DELRAY BEACH, FL UTILITY STANDARDS.
- 12. EXISTING IRRIGATION SYSTEM TO BE EXTENDED TO NEW ISLAND LOCATION. CONTRACTOR
- SHALL ENSURE FUNCTIONAL IRRIGATION SYSTEM AS PART OF PROJECT. 13. WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE
- AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION. 14. CONTRACTOR TO ABANDON THE EXISTING SEWER LATERAL WHEN FOUND DURING

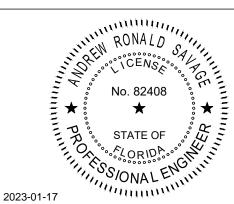


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PROJECT

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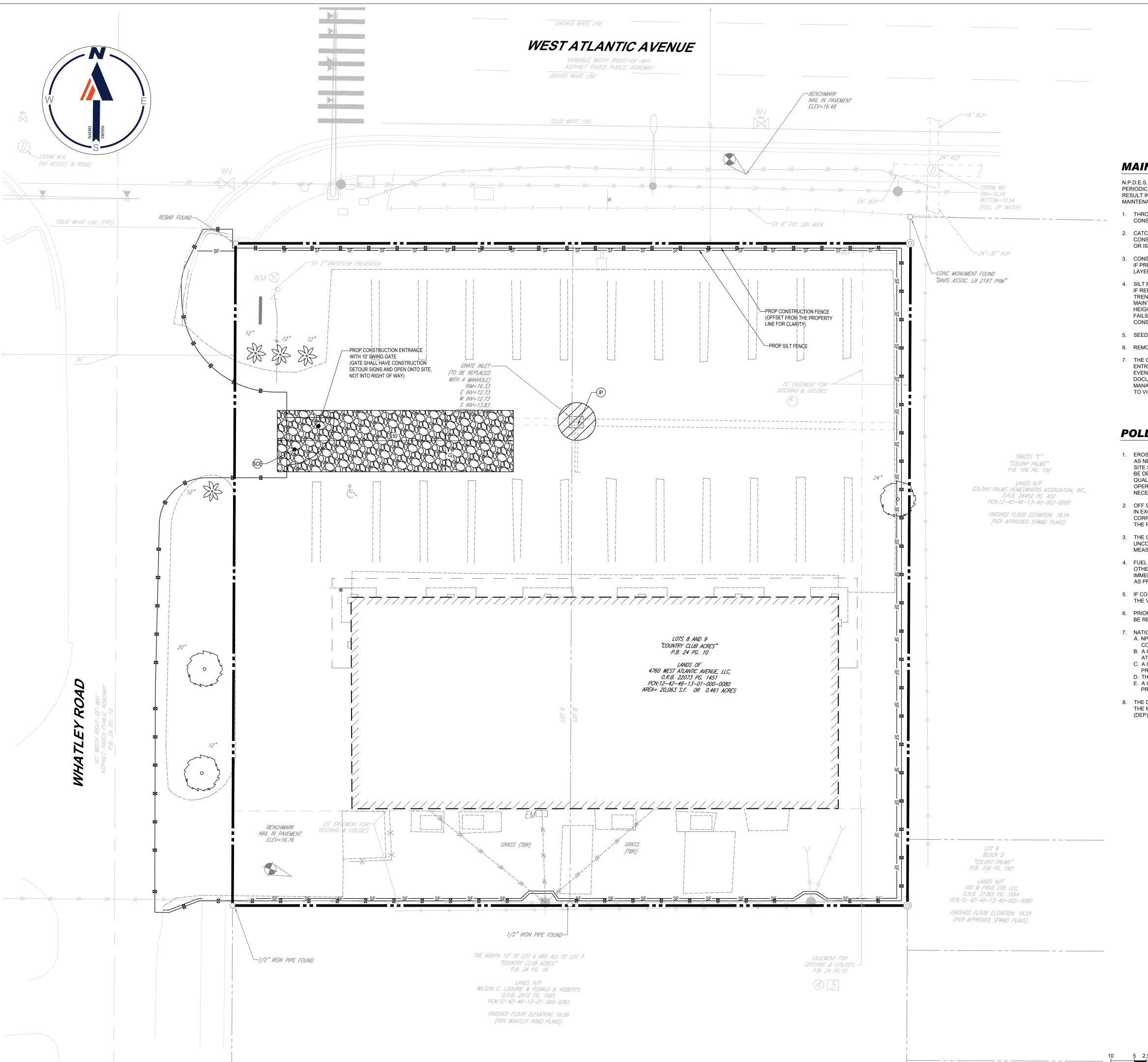
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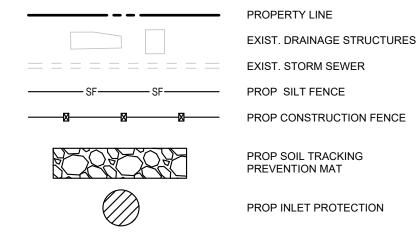
SHEET TITLE

**UTILITY PLAN** 

SHEET NUMBER



# LEGEND:



# **MAINTENANCE NOTES:**

N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.

- 1. THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING FDOT ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
- 2. CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
- 3. CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
- 4. SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY NPDES QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT. WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE, CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- 5. SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
- 6. REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE BASIN DESIGNED INFILTRATION PERFORMANCE
- 7. THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE. INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE

# **POLLUTION PREVENTION NOTES:**

- 1. EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.]
- 2. OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- 3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- 4. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON
- 5. IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
- 6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY
- 7. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
- A. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C. B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(A) PART III.C.2, F.A.C.
- C. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-621.300(4)(a)PART III.D.1. F.A.C.
- D. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a)PART V.D.6, F.A.C.
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- 8. THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING. TO SURFACE WATERS, OR ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.

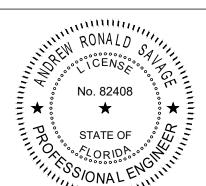


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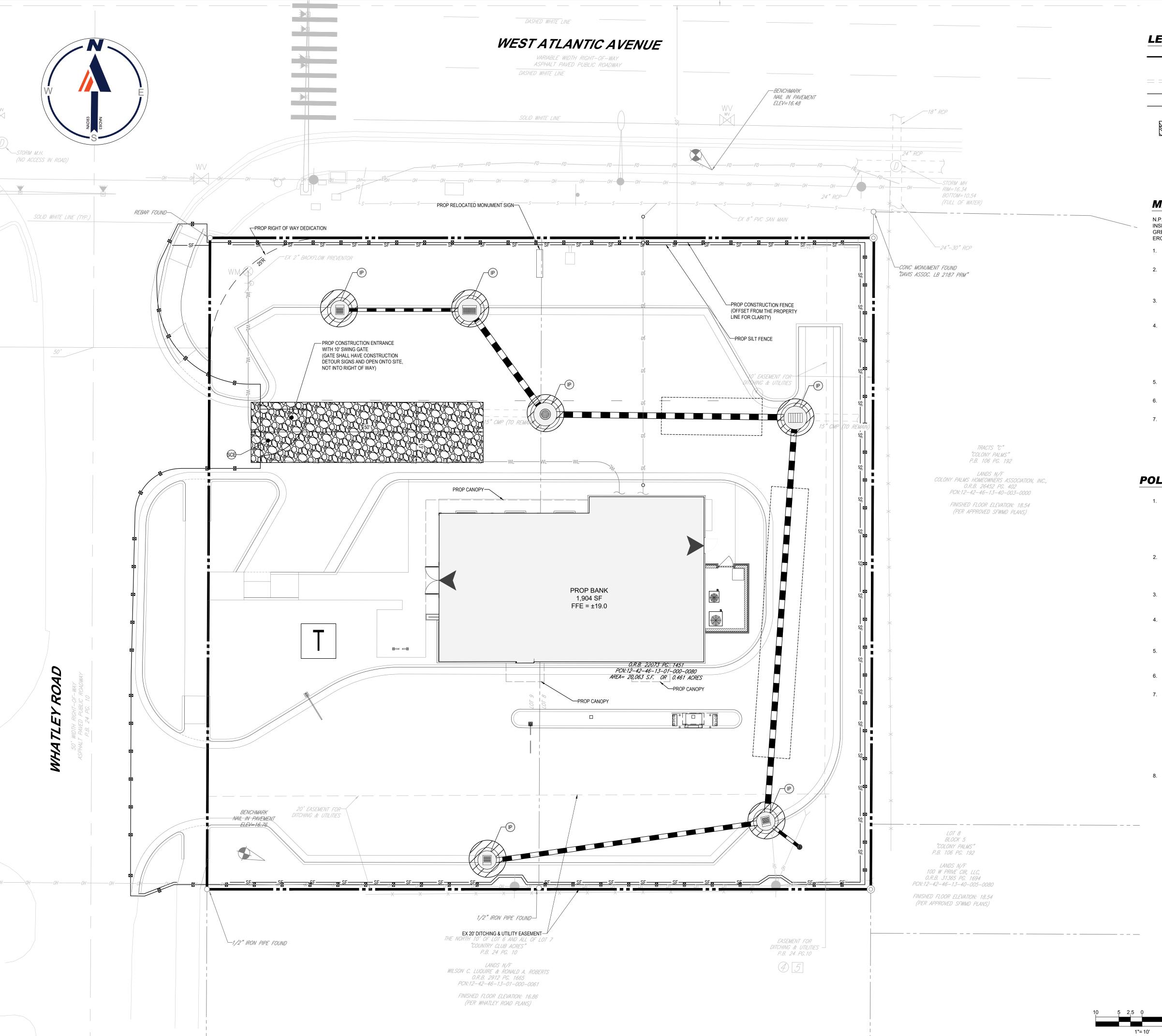
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SHEET TITLE

**SHEET NUMBER** 

STORMWATER **POLLUTION PREVENTION** PLAN PHASE 1



# **LEGEND:**

PROPERTY LINE EXIST. DRAINAGE STRUCTURES

EXIST. STORM SEWER PROP SILT FENCE

PROP CONSTRUCTION FENCE PROP SOIL TRACKING

PREVENTION MAT PROP INLET PROTECTION

# **MAINTENANCE NOTES:**

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- 6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
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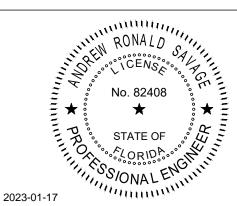
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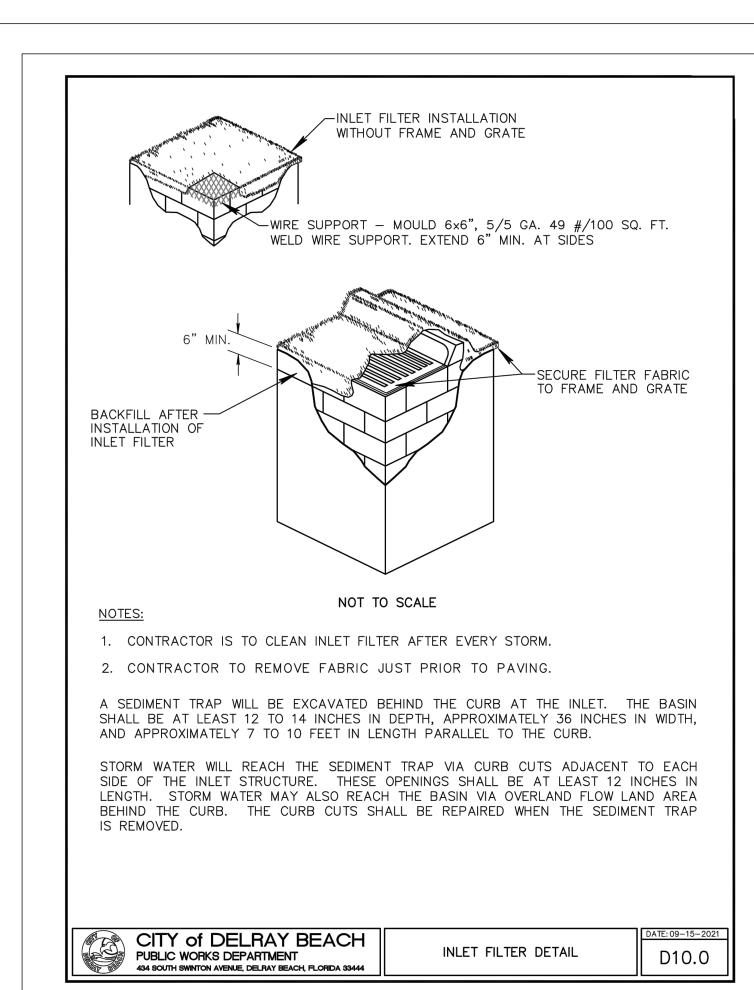
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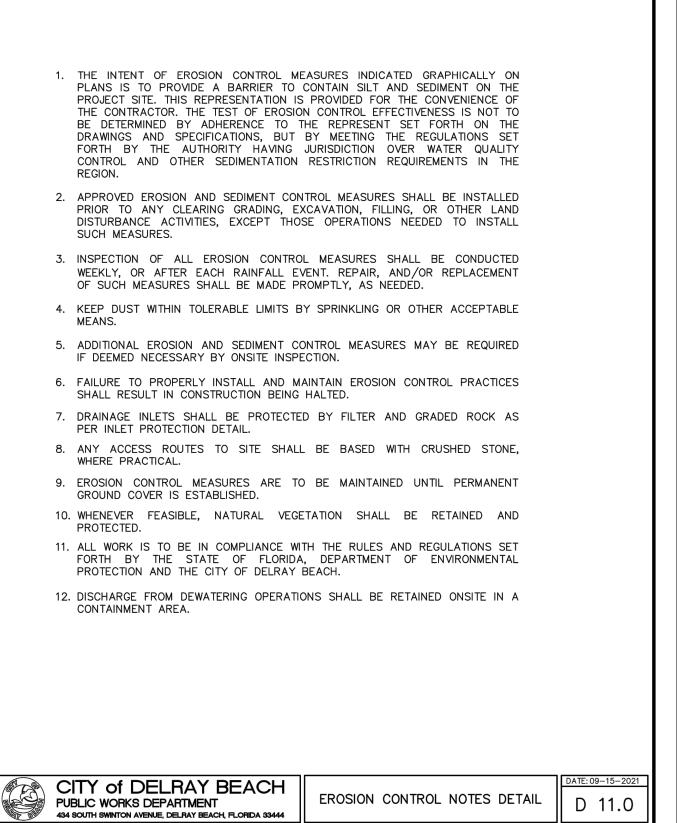
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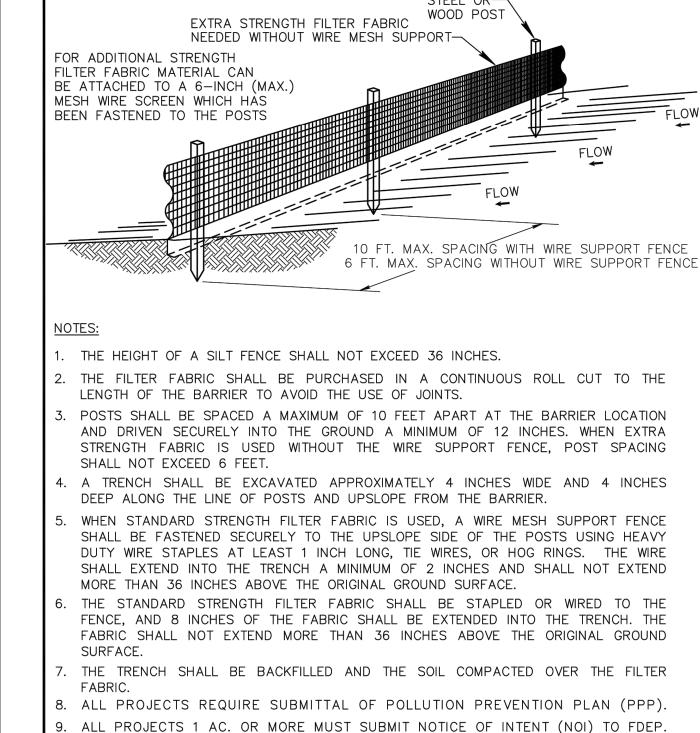
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STORMWATER **POLLUTION PREVENTION** PLAN PHASE 2







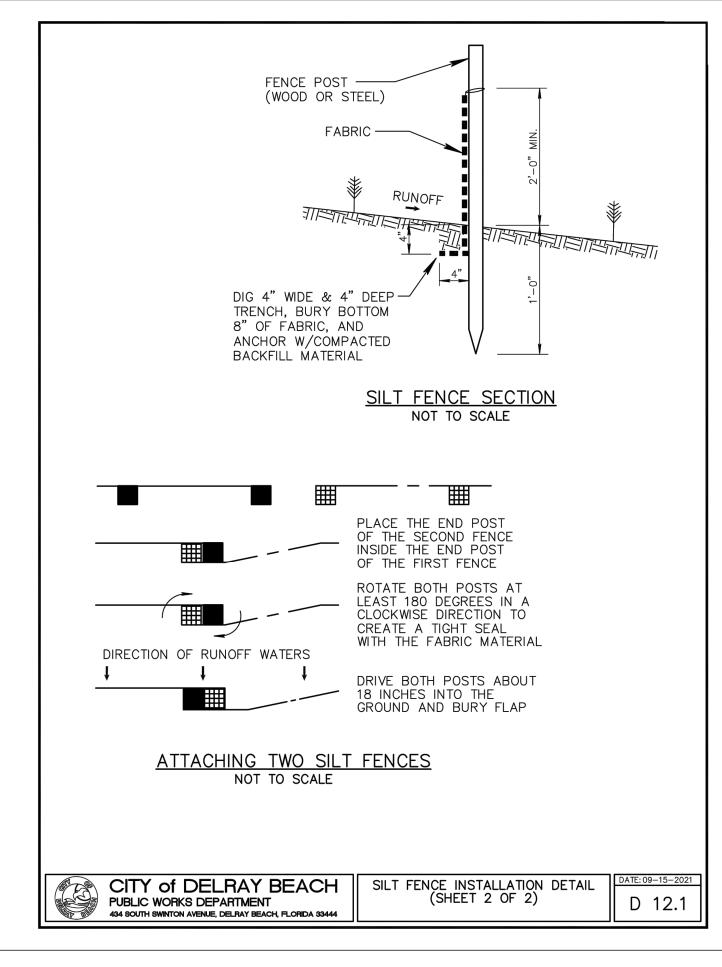
CITY of DELRAY BEACH

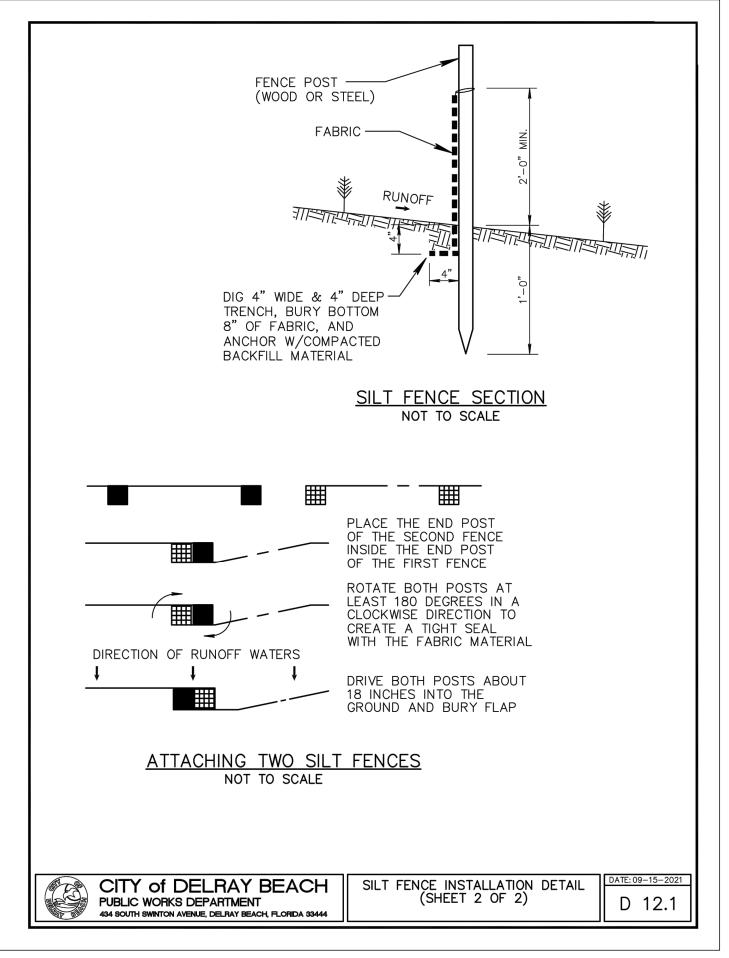
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

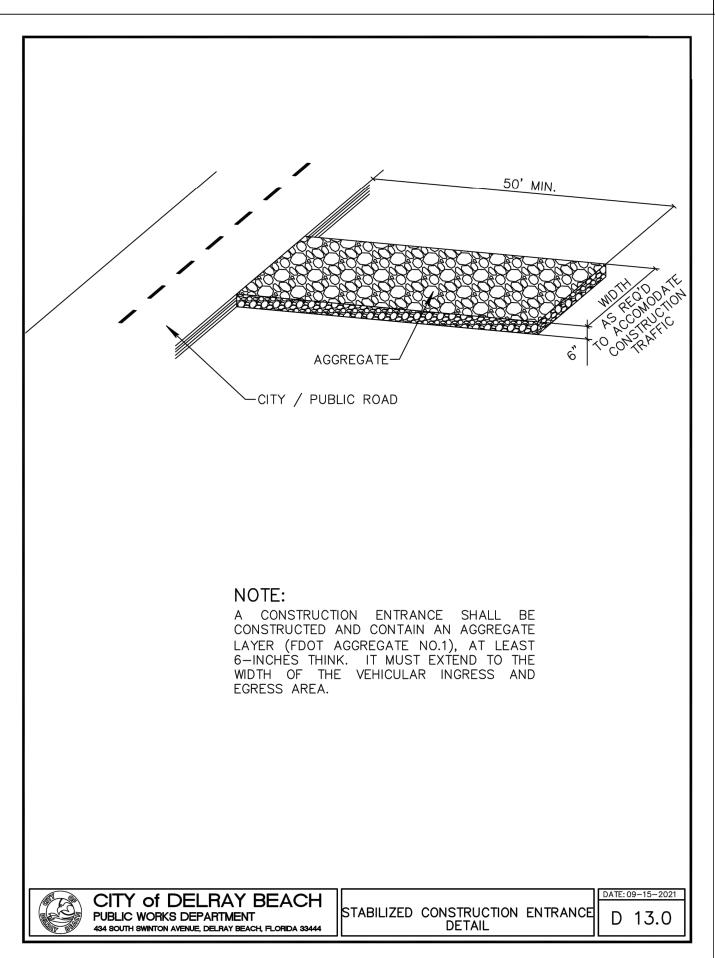
SILT FENCE INSTALLATION DETAIL

(SHEET 1 of 2)

D12.0









architects

Suite. 600

Tampa, FL 33602

400 N. Ashley Drive P: 813 - 323 - 9233

Lic. #: AA - 0003590

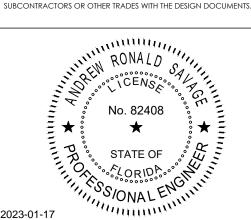
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PROJECT

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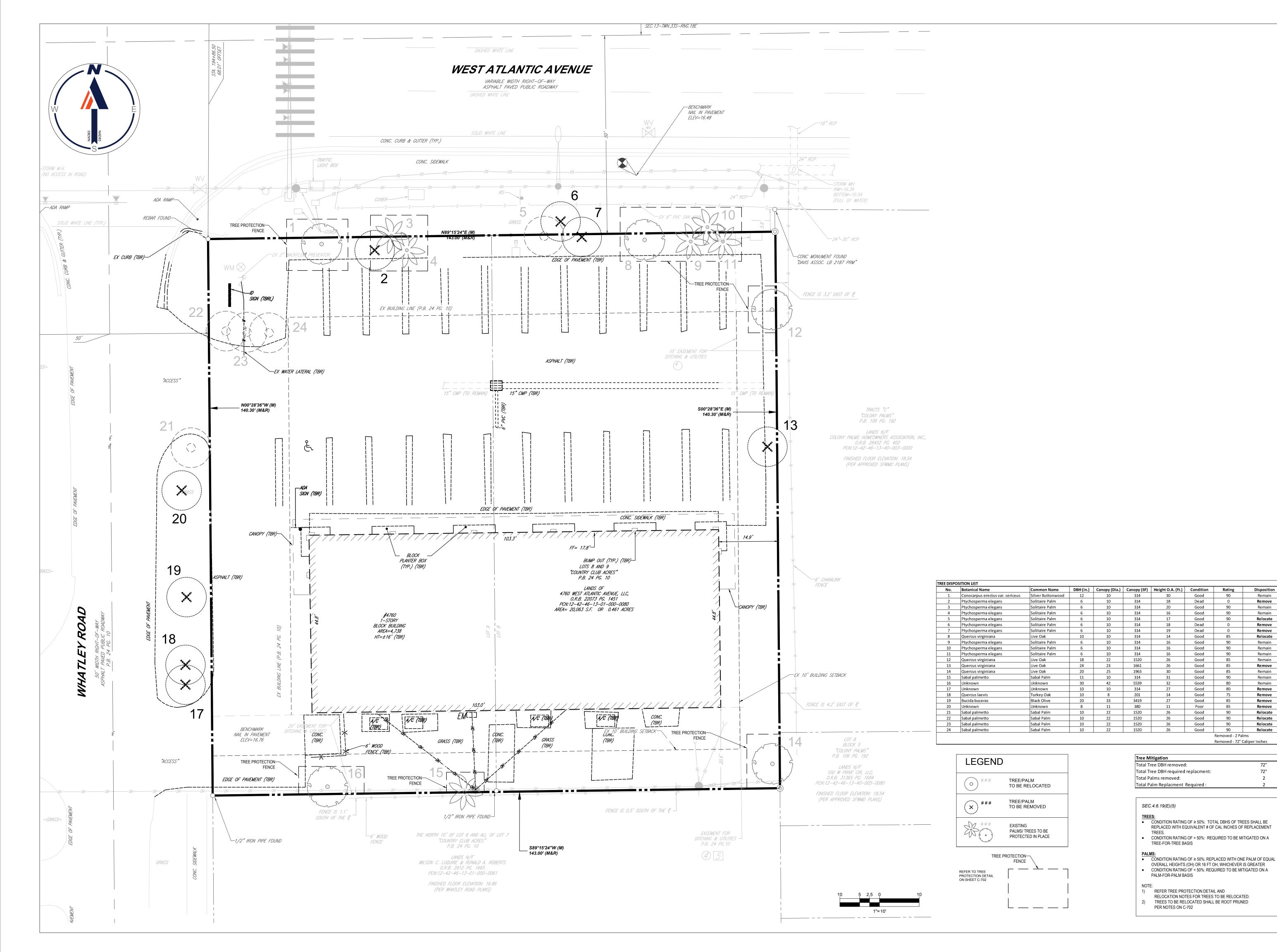
DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY

Revision Number	ву	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

JOB# DATE: 5/13/22 DRAWN BY: CHECKED BY:

SHEET NUMBER

STORMWATER **POLLUTION PREVENTION DETAILS** 





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# REGIONS

FLSO193215RL

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OF FLORIDA

2023-01-17			
levision lumber	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1

PROJECT INFORMATION BLOCK			
JOB # 213225			
DATE:			5/13/22
DRAWN BY: ML			
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SHEET TITLE

TREE **DISPOSITION** PLAN

SHEET NUMBER

# TREE DISPOSITION NOTES:

Comply with applicable requirements of the following standards:

Tree relocation work shall be performed in compliance with the CONTRACTOR'S progress, schedule as approved by the City. However, relocation work shall start no sooner than the beginning of the construction contract and shall be completed by the completion date of the contract. No relocation work shall start before the date approved nor continue without the knowledge of the City.

- A. Where referenced standards conflict with other specified requirements, the more restrictive or stringent requirements shall govern.
- 1. American National Standards Institute (ANSI): Z60.1 American National Standards for Nursery Stock (Sponsor: American Association of Nurserymen, Inc.).
- 2. National Arborist Association, ~537 Stratford Rd., Wantagh, NY 11793 (NAA): Ref. 1 Transplanting of Trees and Shrubs in the Southeastern United States.
- 3. Florida Department of Agriculture and Consumer Services: Grades and Standards for Nursery Plants.

## DESCRIPTION

- A. Plant materials to be relocated on site are indicated on the Drawings. Those not shown will be relocated as directed by the City.
- B. The person (foreman or superintendent) in charge of and responsible for the CONTRACTOR'S tree relocation crews shall have a minimum 10 years experience in transplanting of plant materials, shall be recognized by the American Association of Nurserymen, be an ISA Certified Arborist, and be a licensed "Tree Trimmer" in Indian River County.
- C. Existing trees to remain shall be protected during all construction phases. Protective barriers shall be provided and built to FDOT #544 specifications for those existing trees adjacent to construction operations. Replacement of any trees that are damaged or destroyed due to the CONTRACTOR'S operations shall be the CONTRACTOR'S responsibility and shall be replaced at the CONTRACTOR'S expense. Any existing tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the existing tree lost. Replacement trees shall be Florida No. 1 and have a caliper DBH of no smaller than
- D. Remove other vegetation as necessary and as directed by the LANDSCAPE ARCHITECT to accommodate new plantings.
- E. Tree pits or holes remaining after relocation of plant material shall be backfilled with clean fill and brought back flush with surrounding grade, unless the pits are to be immediately replanted. Pits that are to be quickly replanted shall be surrounded by safety barricades to prevent accidental falls into pits. In areas where new plant material will replace relocated plant material, appropriate soil mix shall be used as backfill.

## QUALITY ASSURANCE

- A. Unless otherwise specified herein, tree transplanting shall conform to National Arborist Association, Ref. 1.
- B. CONTRACTOR shall comply with National Arborist Association standards for pruning and shall remove branches from trees that are to remain as necessary to clear new construction.
- C. CONTRACTOR shall recommend procedures to compensate for loss of roots (if any) and shall perform initial pruning of branches and stimulation of root growth where removed to accommodate new construction.
- D. Tree repair work shall be performed for damage incurred by construction by an ISA Certified Arborist.
- E. Routine progress evaluation reports shall be provided on relocated trees until the end of the maintenance period.
- F. Evaluate existing trees prior to transplanting and verify that trees are free from disease and sufficiently strong to survive relocation from the site to their new location. Notify the LANDSCAPE ARCHITECT in writing of any trees that the CONTRACTOR considers insufficiently strong to survive relocation.

- A. CONTRACTOR shall submit for approval by OWNER a list of equipment, procedures, and labor force anticipated for use in tree relocation. CONTRACTOR shall include start date, completion date, and schedule of relocation as part of the approved progress schedule and, in addition, shall submit a more detailed daily schedule for the transplanting period, showing the schedule for root pruning and the number of units to be dug and relocated to specified areas.
- For those materials that require root pruning, the relocation schedule will begin at the end of the specified root pruning period.
- C. CONTRACTOR shall apply for and pay all costs associated with tree removal/relocation permits. The permit shall be obtained from the City. In addition to City permits, a "Tree Removal License" shall be required by BC EP&GMD for all trees to be removed or relocated
- D. Prior to start of relocation work, the CONTRACTOR shall submit for approval details of the tree protection system to be utilized. All trees indicated to remain during construction shall be protected in accordance with recognized standards of the industry and protection shall be removed once construction is complete. CONTRACTOR shall also certify that where damage occurred, trees were promptly and properly treated, and shall indicate which damaged trees (if any) are incapable of retaining full growth potential and are
- E. The CONTRACTOR, in order to guarantee his work, may use methods, sequence and schedule for effecting tree relocations and plant protection methods different from what is described in these specifications. However, if different, the CONTRACTOR must submit for approval a full description of all proposed methods, sequence of events and schedule for effecting tree relocations and plant protection.
- F. CONTRACTOR shall coordinate tree relocation with road construction and other related operations and such coordination shall be clearly evidenced in the schedule submittal.
- G. CONTRACTOR must submit procedures to be utilized for maintenance of all relocated trees.

- A. Relocated plant material shall fall under the standard 12 month guarantee.
- B. Damage to other plants, lawn or construction work occurring within the work area during tree relocation shall be repaired at no cost to the City. This also includes, but is not limited to, damage of curbs, walks, roads, fences, site furnishings, etc. Replacing and replanting of damaged trees, shrubs or turf shall be performed in accordance with this specification
- C. Existing tree canopy shall not have more than 25% loss after relocation procedures are completed. CONTRACTOR shall be responsible for replacing any canopy loss due to lack of care and/or inadequate methods of transplanting the trees and palms that would cause the death of said plant material. Any transplanted tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the transplanted tree lost. Replacement trees shall be Florida No. 1 having a caliper DBH no smaller than 3". Replacement shall be the CONTRACTOR'S responsibility.

# TRANSPLANTING \_ GENERAL

- A. Transplanting shall consist of on-site transplanting of existing trees. Trees shall be transplanted only once from existing location to permanent positions as shown on Drawings.
- B. Digging, Wrapping and Handling: Plants shall be dug and prepared for moving in a manner that will not cause damage to branches, shape, root system, and development.
- C. Balled and Burlapped Plants: Balls shall be firmly wrapped with burlap or approved cloth substitute. No balled plant will be acceptable if the ball is cracked and broken, or if the stem or trunk is loose in the ball, either before or during transplanting. Balled plants shall be lifted and handled from the bottom of the ball, properly protected and delivered to the replanting site, to be planted immediately and watered thoroughly. Ball sizes shall be as recommended in ANSI Z60.1

# **TAGGING**

A. Trees within the designated areas for relocation shall be clearly marked by means of yellow plastic surveyors' ribbons and coordinated with the LANDSCAPE ARCHITECT and City prior to root pruning and/or digging.

## ROOT PREPARATION

- A. Trees to be relocated shall be root pruned at least 60 days prior to digging with clean, sharp equipment. The specific requirements for root ball size shall be in accordance with the table below. CONTRACTOR shall maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth, mulch to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature
- B. Root Ball Size Chart: Root ball sizes shall be in accordance with minimum standards set forth in Grades and Standards for Nursery Plants

Part 11, Palms and Trees, Florida Department of Agriculture, as follows: Caliper Minimum Ball Diameter 3 1/2 - 4: 28" 4 - 4 1/2" 4 1/2 - 5" 5 - 5 1/2" Larger Sizes Increase proportionally Ball Diameter Medium Ball Diameter Less than 20" Not less than 75% of diameter 20" to 30" Not less than 65% of diameter

## CROWN PREPARATION

30" to 48"

- A. Shade Trees:
- 1. Shade Trees: Selectively prune and thin crown to remove approximately one third of the branches. In so doing, preserve the basic shape and form of the tree, eliminate cross branching and dead or diseased branches.
- 2. Hand strip selected species of all leaves following pruning and prior to moving.

A. Burlapping will be required. Trees that are burlapped for relocation shall comply with and be handled in same manner as new plant material specified in Section 02900- Landscape Work.

HANDLING AND TRANSPORTATION

help ensure against desiccation.

- A. Trees shall be properly handled during moving so trunks will not be scarred or damaged and to avoid broken limbs. Broken limbs which do not cause the tree to be rejected shall be repaired under the following guidelines:
- 1. Properly prune dead, dying, or damaged branches with clean, sharp equipment. 2. Remove injured bark and wood of a tree with a clean, sharp knife to a point where healthy bark and wood make contact at their
- 3. Inspect and treat wound for insect and disease.
- 4. Seal wounds with bituminous base wound paint for all limbs greater than 3" diameter.

Not less than 60% of diameter

- B. Transport trees on vehicles of adequate size to prevent overcrowding, broken limbs, foliage damage or root ball damage.
- C. Root ball should be kept moist during all phases of relocation.
- D. Tree crowns shall be protected with shade cloth to prevent desiccation and wind burn. Crowns shall be periodically sprayed with water to
- E. Plant material shall be handled only in ways and means accepted by the industry and acceptable to the LANDSCAPE ARCHITECT.
- F. Plant material shall be planted the same day it is dug. Preparation of planting pits or beds shall be coordinated to ensure this schedule.

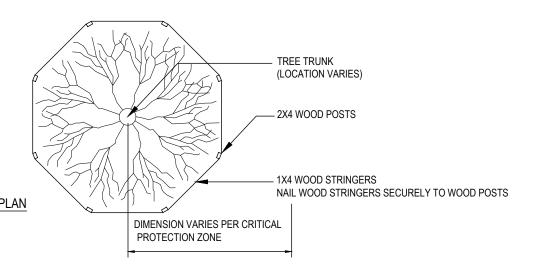
## PLANTING

## RELOCATED MATERIAL

- 1. Relocated trees shall be planted according to procedures described for new material, section ANSI A300 (PART 6). Verify that final grades have been established prior to planting operations. Ensure that proposed planting pits drain by test filling with water prior to
- 2. CONTRACTOR shall continue watering and caring for relocated material for 90 days, refer to watering and maintenance sections
- 3. Mulch tree pit areas to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature
- 4. Brace trunk and leave in place until trees/ palms are wind firm. (1± year)
- 5. Wrap trunks and structural branches of thin barked trees to protect against sun scald and dehydration. Retain through at least one
- growing season, and through cold season.
- 6. Feed with a diluted solution of N\_P\_K in solution form with a soil needle, providing water, air, and nutrients. 7. Where foliage is retarded, spray with one of the soluble types of foliage feeders.
- 8. At time of planting, use soil needles for watering new transplant to fill air pockets and to keep roots (especially feeder roots) moist, live, and healthy. Direct fine spray at foliage to help harden\_off new leaves.

Designated material shall be staked and guyed according to planting details.

- A. CONTRACTOR shall be responsible for the manual watering of relocated plant materials for 90 days. If utilized, all temporary watering system installations shall be completely removed by the CONTRACTOR after the watering period.
- B. Following transplanting, CONTRACTOR shall water trees daily for the first two weeks, every other day for the next two weeks. Soaking then shall continue on a twice weekly basis for another period of eight (8) weeks. Such watering shall thoroughly saturate the root ball to its full depth and is in addition to the underground irrigation system.
- **MAINTENANCE** A. All relocated plant materials shall be maintained immediately after each item is planted and continued until 90 day watering period is completed or until final acceptance whichever is latest, at which time the Property Owner, will assume responsibility for maintenance of the
- landscaping materials, following the procedures and recommendations of the CONTRACTOR. B. During this maintenance period, all relocated plant materials shall be maintained in accordance with the standards established under ANSI
- CLEAN UP A. Upon completion of the work, the CONTRACTOR shall thoroughly clean the landscaped area, removing all equipment, unused materials, rubbish and surplus excavated material, and shall fine grade all disturbed areas, including areas adjacent to the transplanted materials, to provide a neat and uniform site. All damaged or altered existing structures, as a result of the landscape work, shall be corrected.



NOTES: CRITICAL PROTECTION ZONE: THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE TRUNK DIAMETER AT 54" ABOVE FINISHED GRADE, FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY. ANY CONSTRUCTION ACTIVITY WITHIN THE "CRITICAL PROTECTION ZONE" SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY!

DO NOT PLACE ANY TREE BARRICADE ON PRIVATE PROPERTY BEGIN ALL TREE BARRICADES AT THE ROW LINE. \*TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.

DIMENSION VARIES PER ROOT PRUNING SHALL NOT EXCEED 25% OF THE EXISTING ROOT SYSTEM, AND A CRITICAL PROTECTION "BIOBARRIER" SHALL BE INSTALLED. IF THE ROOT SYSTEM IS TO BE IMPACTED BY MORE THAN 25%, THE AFFECTED TREE MAY BE REMOVED. IF THE IMPACTED TREE IS LOCATED ON PRIVATE PROPERTY, THE AFFECTED OWNER SHALL BE NOTIFIED IN WRITING AND A "RIGHT OF ENTRY" SHALL BE OBTAINED BY THE OWNER. SAFETY ORANGE NYLON OR POLYPROPYLENE TYPE FENCE 1"X4" MINIMUM STRINGER SECURELY AFFIX FENCE TO STRINGER WITH STAPLES OR NAILS 4' MIN. HEIGHT 2"X4" MINIMUM POSTS 12' MAXIMUM SPACING UNDISTURBED SOIL ELEVATION

TREE BARRICADE DETAIL



400 N. Ashley Drive P: 813 - 323 - 9233 Suite. 600 Tampa, FL 33602

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Number BY DATE DESCRIPTION 05/13/22 BID/PERMIT SET 08/23/22 TAC REVIEW NO.1

PROJECT INFORMATION BLOCK JOB# DATE: 5/13/22 DRAWN BY: CHECKED BY:

SHEET TITLE

TREE **DISPOSITION NOTES** 

# **GENERAL LANDSCAPE NOTES:**

- 1. ALL PLANTING BEDS TO BE MULCHED WITH 3" FLORIMULCH MELALEUCA (COCOA BROWN) MULCH. INSTALL A DOUBLE LAYER OF WEED FABRIC UNDER ALL MULCH INSTALLATIONS
- 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- 3. DIGGING IN UTILITY EASEMENTS SHALL BE BY HAND ONLY
- 4. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN. 6. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE
- INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- 7. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- 8. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- 9. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER
- 10. ANY TREE INSTALLED WITHIN 10 FT. OF NEW CONCRETE SIDEWALKS AND/OR NEARBY UNDERGROUND UTILITY OR PIPE SHOULD BE INSTALLED WITH BIOBARRIER ROOT BARRIER FABRIC AS SHOWN. SEE DETAIL DETAIL 8, C-704.
- 11. THERE IS TO BE NO PLANTING OF TREES OR SHRUBS EITHER DIRECTLY OVER OR WITHIN 10 HORIZONTAL FEET OF THE SANITARY SEWER GRAVITY SEWERS AND FORCE MAIN.

# **ROOT BARRIER NOTES:**

TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCROACH INTO A PBCUE WITHOUT PRIOR BCWUD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL AND PBCWUD

SEE DETAIL 8, SHEET C-704 FOR ROOT BARRIER DETAILS.

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# SITE DATA TABLE

<u> </u>		
RISDICTION	CITY OF DELF	RAY BEACH
RRENT ZONING	GENERAL CO	MMERCIAL
OPOSED ZONING	GENERAL CO	MMERCIAL
TURE LAND USE	COMME	RCIAL
TAL SITE AREA	±20,063 SF	(0.46 AC)
TAL EXISTING BUILDING AREA R 2022 SURVEY)	4,738 SF	
TAL PROPOSED BUILDING EA	1,904	SF
HICULAR USE AREA	10,660	) SF
EN SPACE	MINIMUM	PROVIDE
	25.00%	31.87%
	EXISTING	PROPOSE
PERVIOUS AREA:	15,860 SF (79.05%)	13,798 SF (68

PERVIOUS AREA:

ANDSCAPE BUFFER SETBACKS

# LANDSCAPE CALCULATIONS

4,203 SF (20.95%)

REQUIRED

ı	SETBACK	5'	61.9'
ı	SIDE 1 (WHATLEY RD) SETBACK	5'	49.5'
ı	SIDE 2 SETBACK	5'	26.5'
ı	REAR SETBACK	5'	28.3'
ı		PARKING	
		REQUIRED	PROVIDED
	TREE SPECIES (4.6.16 (E)(5)	13 TREES	8 PROPOSED, 6 EXISTING
	INTERIOR LANDSCAPE (4.4.16 (H)(3)g&h	303 SQ.FT. 24 TREES	567 SQ.FT. 24 TREES
	LANDSCAPE STRIP LDR SEC. 4.6.16(H)(3)(A)	8 TREES & 115 SHRUBS	230 L.F. W/ 8 TREES & 156 SHRUBS
	LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	143 L.F. SOUTH, 140 L.F. EAST 6 TREES & 72 SHRUBS, 5 TREES & 70 SHRUBS,	6 TREES & 110 SHRUBS, 5
	FOUNDATION LANDSCAPING LDR SEC. 4.6.16 (H)(4)	90 L.F.	90 L.F. 3 TREES & 64 SHRUBS
	STREET TREES LDR SEC. 4.6.16. (H)(6)	175 L.F 5 TREES	5 TREES
	MIN. 1 TREE PER ISLAND (5) WITH 75% OF LANDSCAPE AREA AS SHRUBS	5 TREES	5 TREES
1	NATIVE SPECIES: TREE /	50% TREES (13 TREES X .5) =	NATIVE TREES = 7 TREES

25% SHRUBS (710 X .25) =176

	GENERAL	COMMERCIAL		
	GENERAL	COMMERCIAL		
	COM	MERCIAL		
	±20,063	SF (0.46 AC)		
G AREA	4,7	738 SF		ar
ING	1,9	004 SF		400 N. Ash
	10,0	660 SF		Suite. 600
	MINIMUM	PROVIDED		Tampa, FL
	25.00%	31.87%		

6,265 SF (31.22%)

PROVIDED

NATIVE SHRUBS = 594

PLANT SCHEDULE
TREES CODE QTY BOTANICAL NAME COMMON NAME CONTAINER ONOCARPUS ERECTUS SERICEUS 16' OA HT., 7' SPRD., MULTI-TRUNK B&B SILVER BUTTONWOOD EUGENIA FOETIDA SPANISH STOPPER 16` OA HT., 7` SPRD., 3" CAL. LYSILOMA SABICU HORSEFLESH MAHOGANY 16` OA HT., 7` SPRD., 4" CAL. MIN. MYRCIANTHES FRAGRANS SIMPSON'S STOPPER FLORIDA THATCH PALM 10`-12` CT. THRINAX RADIATA CANOPY TREES | CODE | QTY BOTANICAL NAME COMMON NAME CONTAINER COCCOLOBA DIVERSIFOLIA PIGEON PLUM BOTANICAL NAME TYCHOSPERMA ELEGANS ALEXANDER PALM RELOCATED ELOCATED 10`-14` C.T., NO BOOTS SABAL PALMETTO CABBAGE PALMETTO SABAL PALMETTO CABBAGE PALMETTO RELOCATED RELOCATED SHRUBS BOTANICAL NAME COMMON NAME CONTAINER SPACING CRINUM AUGUSTUM 'QUEEN EMMA' 36" HT. X 36" SPRD. QUEEN EMMA CRINUM LILY CONTAINER 48" o.c. CORDYLINE FRUTICOSA 'AUNTIE LOU' AUNTIE LOU TI PLANT 30" HT. X 24" SPRD. CONTAINER STRELITZIA REGINAE BIRD OF PARADISE 24" HT X 24" SPRD CONTAINER CONTAINER CHRYSOBALANUS ICACO COCO PLUM 24" HT X 24" SPRD CONTAINER 60" HT. X 48" SPRD. CLUSIA GUTTIFERA SMALL LEAF CLUSIA CONTAINER FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FIG CONTAINER 24" HT X 24" SPRD ILEX VOMITORIA 'NANA' WARF YAUPON HOLLY CONTAINER JUNIPERUS CHINENSIS 18" HT. X 18" SPRD. CONTAINER LIRIOPE MUSCARI GIANT LILYTURF 18" HT. X 18" SPRD. CONTAINER 18" o.c. MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON 30" HT. X 30" SPRD. CONTAINER MUHLENBERGIA CAPILLARIS 24" HT X 24" SPRD PINK MUHLY GRASS CONTAINER 3 GAL. POT TRIPSACUM FLORIDANUM DWARF FAKAHATCHEE GRASS 24" HT. X 24" SPRD. SPACING CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM 18" HT. X 18" SPRD. CONTAINER 18" o.c. ERNODEA LITTORALIS GOLDEN CREEPER 12" HT. X 12" SPRD. CONTAINER 18" o.c. LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF 18" HT. X 18" SPRD. CONTAINER COMMON NAME SPACING BOTANICAL NAME CONTAINER

PALMETTO ST. AUGUSTINE GRASS

STENOTAPHRUM SECUNDATUM 'PALMETTO'

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SO1932

HESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTABILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS be scaled or modified for any typeose without the express written approval of BDG architects. Any changes to these plans, regardless of how minor, without the express written approval OF BDG ARCHITECTS; ANY CONSTRUCTION EXECUTED FROM THESE PLAN VITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS; OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, OF DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS, THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY



evision umber	BY	DATE	DESCRIPTION	
-		05/13/22	BID/PERMIT SET	
1		08/23/22	TAC REVIEW NO.1	
2		12/14/22	CITY COMMENTS	
PRO IECT INFORMATION BLOCK				

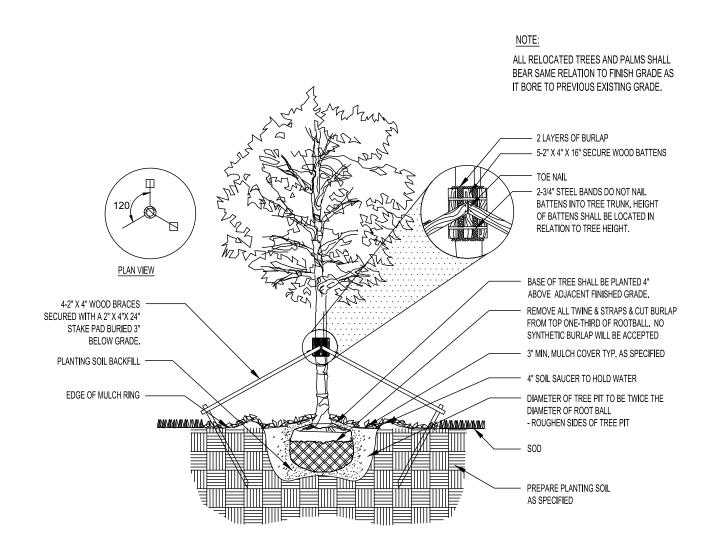
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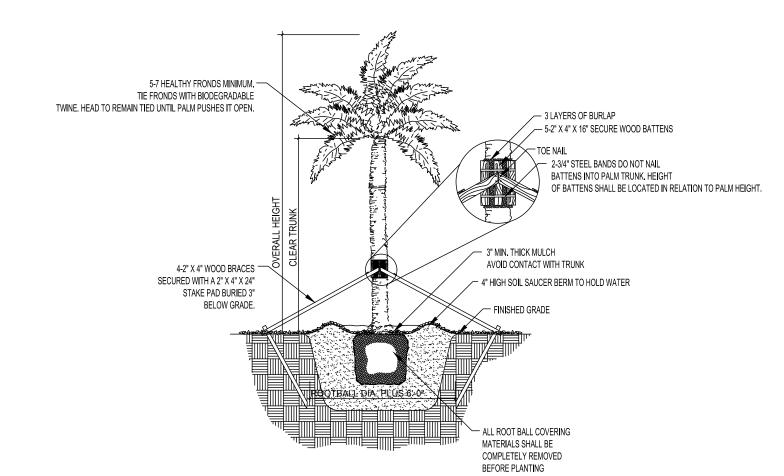
**LANDSCAPE** PLAN

SHEET NUMBER

FULL, TIGHT COVERAGE

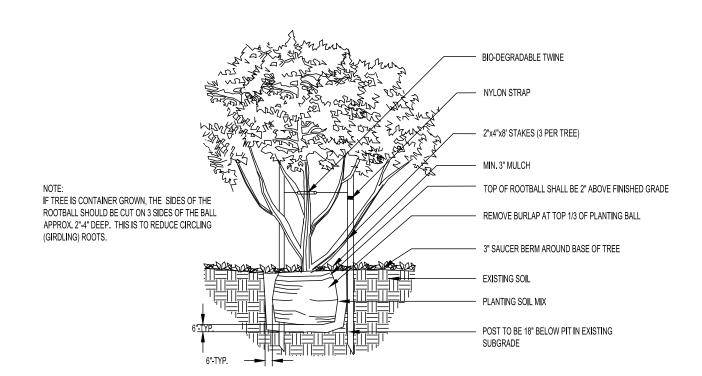


TREE INSTALLATION SECTION

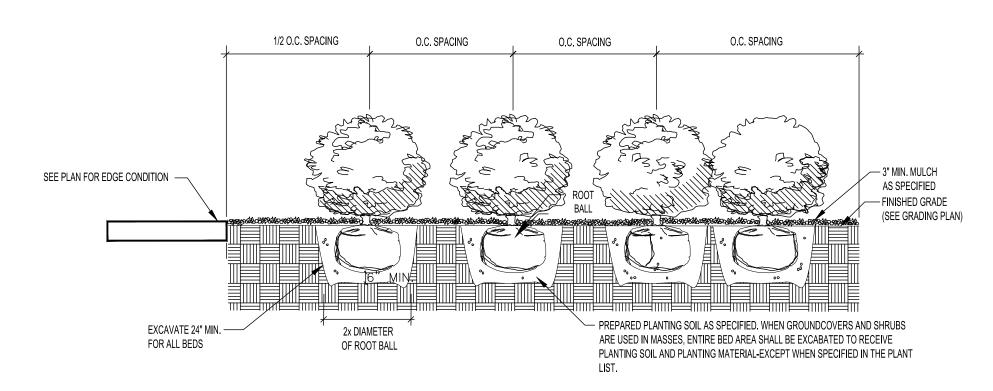


NTS

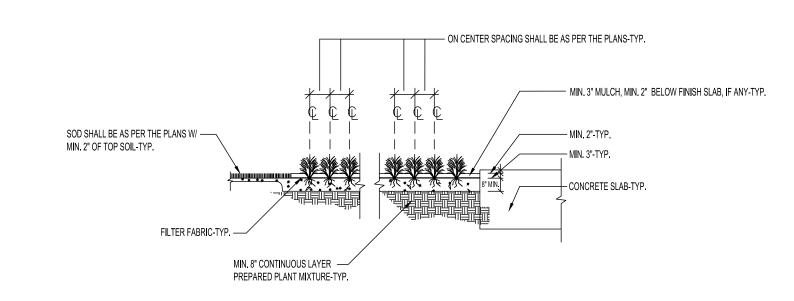
PALM INSTALLATION NTS



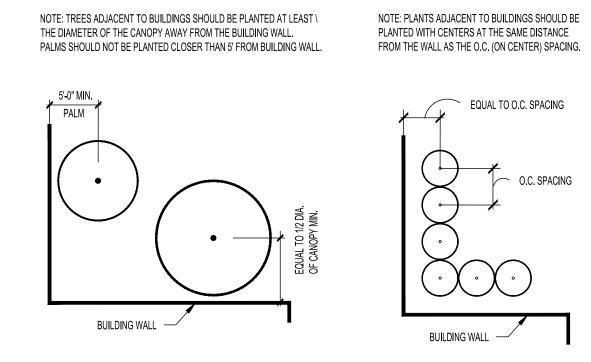
SMALL TREE NTS



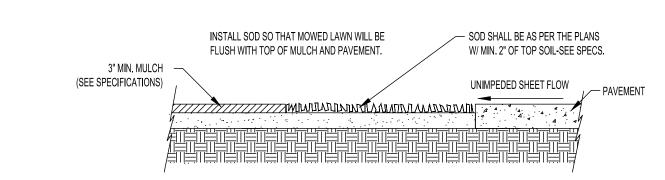
SHRUB PLANTING NTS



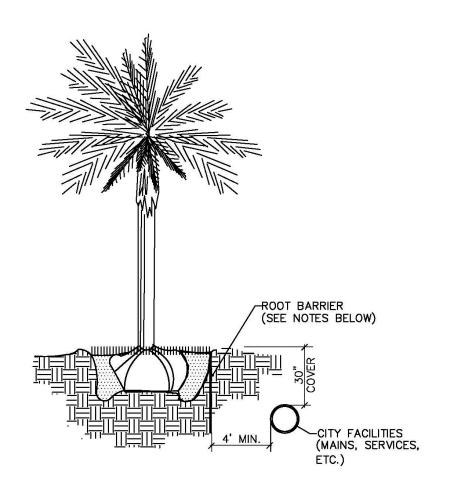
GROUNDCOVER PLANTING NTS



PLANTING ADJACENT TO BUILDING NTS



SOD INSTALLATION NTS



# NOTES:

- 1. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY FACILITIES. 2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL
- EXTEND UP TO FINISHED GRADE. 3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36"
- PANELS MANUFACTURED BY BIOBARRIER. 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

**ROOT BARRIER** NTS



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REGIONS

REGIONS PROJECT FLSO193215RL

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Number BY DATE DESCRIPTION 05/13/22 BID/PERMIT SET 08/23/22 TAC REVIEW NO.1

PROJECT INFORMATION BLOCK JOB# DATE: 5/13/22

CHECKED BY: SHEET TITLE

DRAWN BY:

LANDSCAPE **DETAILS** 

SHEET NUMBER

## **LANDSCAPE NOTES:**

- A PRE-INSTALLATION MEETING WITH THE CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL.
- 2. ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCING AND SIGNAGE. THE TREE PROTECTION FENCING SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS DEPICTED ON THE PLAN OR AT THE EDGE OF THE DRIPLINE(S) IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- 3. ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-300 STANDARDS TO CORRECT POTENTIAL HAZARDS.
- 4. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR PALM. CONTACT THE COUNTY TO OBTAIN PERMIT INFORMATION.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
- 6 TREE RELOCATIONS:
- A. EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION

  B MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:
  - R MINIMUM ROOT BALL DIAMETER

    16
    24
    32
    42
    54
    60
    70
    80
  - >8 12 INCHES PER INCH OF TRUNK DIAMETER
- TRANSPLANTED TREES WITH UNDERSIZED ROOT BALLS MAY BE REJECTED BY THE CITY ARBORIST AND REPLACEMENT TREES MAY BE REQUIRED.
- C. A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT
  PRUNING
- 7. ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
- 8. SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE CITY AND COUNTY PRIOR TO USE.
- ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES AND STANDARDS FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
- 10. ALL SIZES SHOWN FOR PLANT MATERIAL ARE TO BE CONSIDERED MINIMUMS.
- 11. WHERE QUANTITIES AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT LISTS, THE PLANS SHALL TAKE PRECEDENCE.
- 12. ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AFTER ACCEPTANCE OF THE PLANTS BY THE CITY AND COUNTY.
- 13. PLANT BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING.
- 14. ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
- 15. ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING, NO DRY PLANTING
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE
- IRRIGATION SYSTEM IS OPERATIONAL.

  17. ALL WIRE GUYS AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLORESCENT COLORED TAPE.
- Th. ALE WINE GOTO AND JONE ABOVE OF THE BET EAGOED WITH EGNESOLIVE GOLONED TALE
- 18. MULCHING:
- ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 3-INCH LAYER OF MULCH.

  D. A MULCH RING WITH A MINIMUM RADIUS OF 24 INCHES (48 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
- E. CYPRESS OR COLORED MULCH SHALL NOT BE USED.
- F. NO MULCH SHALL BE PLACED TOUCHING OR WITHIN SIX INCHES OF THE TRUNK OF A TREE OR PALM.
- 19. ALL NEWLY LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 24 INCHES BELOW FINAL GRADE AND BACK FILLED WITH CLEAN DEBRIS-FREE SOIL. EXISTING SOIL MAY BE RE-USED FOR BACKFILLING IF DEBRIS IS REMOVED AND ORGANIC CONTENT IS SUFFICIENT OR SOIL IS AUGMENTED WITH TOPSOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPE AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
- 20. ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE A MINIMUM OF 3.5 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 3-INCH MULCH LAYER.
- 21. THE LOCATION OF PLANT MATERIAL AS SHOWN ON THESE PLANS IS FINAL. THE FINAL LOCATIONS CAN BE ADJUSTED ON SITE TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. THESE CHANGES MUST COMPLY WITH ALL SAFETY SETBACK CRITERIA AND BE DIRECTED OR APPROVED BY THE CONSULTANT AND THE COUNTY CODES.
- 22. REPORT ANY AND ALL DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE CONSULTANT AND COUNTY IMMEDIATELY
- 23. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND COUNTY PRIOR TO CONSTRUCTION.
- 24. BEFORE CONSTRUCTION BEGINS THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. IF SUCH DAMAGE OCCURS THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY REPAIRS AND THEY SHOULD BE MADE IMMEDIATELY AT THE CONTRACTORS
- 25. ALL WORK MUST COMPLY WITH THE FLORIDA STATE STATUTE 553.81- "PROTECTION OF UNDERGROUND PIPELINES."
- 26. THE CONTRACTOR MUST COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.

- 27. THE LOCATION OF ALL THE UTILITIES SHOWN ON THE PLAN IS APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR ON SITE. ALL PLANTING MAY BE ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ANY ADJUSTMENTS GREATER THAN 10 FEET SHALL BE DONE ONLY WITH THE APPROVAL OF THE CONSULTANT AND THE COUNTY.
- 28. CAUTION SHOULD BE EXERCISED WHEN WORKING NEAR EXISTING PLANTING AND ANY FURNISHING THAT IS TO REMAIN ON SITE TO PREVENT ANY DAMAGE. ANY SIGNS, STRUCTURES, OR PLANTING SHALL BE REPLACED AT THE CONTRACTORS EXPENSE IF DAMAGED BEYOND USE. DAMAGED BEYOND USE WILL BE DETERMINED BY THE CONSULTANT AND THE COUNTY.
- 29. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE DISTRICT LOCATION SURVEYOR IMMEDIATELY.
- 30. MAINTENANCE OF TRAFFIC FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.S. DEPARTMENT OF TRANSPORTATION, F.H.W.A.). ATTENTION IS DIRECTED TO STANDARD INDEX NUMBER 623 OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 31. THE CONTRACTOR SHALL INSURE THAT INSTALLATION OF ALL PLANTING IN MEDIANS AND RIGHT OF WAYS CONFORMS TO CRITICAL SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND IN F.D.O.T. MAINTENANCE
- 32. ANY MAINTENANCE THAT INVOLVES TRAFFIC ACTIVITY SHALL BE COORDINATED WITH THE COUNTY BEFORE AND DURING CONSTRUCTION ACTIVITIES.
- 33. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL WORK AREAS AT THE END OF EACH WORKING DAY. ANY DEBRIS SHALL BE COLLECTED AND DEPOSITED APPROPRIATELY OFF SITE DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION.
- 34. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS THAT ARE REQUIRED BY THE CITY FOR TREE REMOVAL. RELOCATION. TREE PROTECTION OR INSTALLATION BEFORE BEGINNING WORK.
- 35. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING PROTECTIVE BARRIERS AROUND THE DRIP LINE OF TREES. THESE PROTECTIVE BARRIERS SHALL BE SEEN EASILY BY OPERATORS OF TRUCKS AND OTHER EQUIPMENT. THEY SHALL BE CONSTRUCTED OF STURDY MATERIALS (NOT FLAGGING OR RIBBON) AND SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION.
- 36. DO NOT STORE OR USE ANY MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE THAT IS TO BE RELOCATED OR PROTECTED IN PLACE UNLESS THE ACTIVITY IS BEING DONE TO PROTECT THE TREES.
- 37. DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY OF THE TREES TO BE RELOCATED OR PROTECTED IN PLACE. THIS INCLUDES SUBSTANCES SUCH AS PAINT, OIL, SOLVENTS, PETROLEUM PRODUCTS, ASPHALT, CONCRETE, MORTAR, OR ANY OTHER MATERIAL THAT MAY CAUSE DAMAGE TO THE TREE'S ROOT SYSTEM.
- 38. CLEARING OF VEGETATION WITHIN THE DRIP LINE OF THE TREES DESIGNATED TO BE PROTECTED IN PLACE OR RELOCATED SHALL BE PERFORMED CAUTIOUSLY WITH HAND TOOLS TO MINIMIZE ANY DAMAGE TO THE TREE'S ROOT SYSTEM
- 39. DO NOT ATTACH ANYTHING TO TREES THAT ARE TO REMAIN ON THE SITE UNLESS IT IS SOMETHING THAT WILL PROTECT AND NOT DAMAGE THE TREE.
- 40. KEEP A NATURAL GRADE ABOVE THE DRIP LINE ON ANY TREE THAT IS TO BE PROTECTED IN PLACE. ANY PRESERVED TREES DISTURBED DURING CONSTRUCTION MUST BE RETURNED TO ITS ORIGINAL GRADE AFTER CONSTRUCTION.
- 41. ALL LANDSCAPE AND PLANTING SHALL COMPLY WITH COUNTY LAND USE POLICY AND WITH CHAPTER 62B-55 OF THE FLORIDA ADMINISTRATIVE CODE.
- 42. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 GRADE OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS," PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANT MATERIAL MUST
- 43. ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN OR SPECIFICATIONS WILL ALSO BE REQUIRED FOR ACCEPTANCE. ANY SUBSTITUTIONS MUST BE APPROVED BY THE CONSULTANT AND THE COUNTY.
- 44. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTING MEETING SPECIFICATIONS AS NOTED BEFORE INSTALLATION. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL PLANTING THAT DOES NOT MEET SPECIFICATIONS AND BE HELD RESPONSIBLE TO REPLACE IT WITH APPROPRIATE PLANTING.
- 45. IN THE EVENT OF A VARIATION BETWEEN THE PLANT LISTS AND THE ACTUAL QUANTITY OF PLANTS SHOWN, THE PLANS
- 46. ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH

51. CONTRACTOR TO REPLACE REJECTED PLANT MATERIAL WITHIN ONE WEEK OF NOTICE.

BE HEALTHY, VIGOROUS MATERIALS, FREE OF PESTS AND DISEASES.

- 47. ALL PLANT MATERIALS MUST BE PROTECTED DURING TRANSPORT AND DELIVERY TO THE JOB SITE WITH SHADE CLOTH OR OTHER ACCEPTABLE MEANS OF WINDBURN PREVENTION.
- 48. CONTRACTORS SHALL FIELD VERIFY ALL INFORMATION PRIOR TO INITIATING PLANTING INSTALLATION. ALL EXISTING PLANTING SHALL REMAIN INTACT AND UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.
- 49. CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR THE REVIEW AND APPROVAL OF THE CONSULTANT.
- 50. ALL TREES MUST BE FLORIDA #1, STRAIGHT TRUNKED, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED.

- 52. INSTALLATION- ALL PLANT MATERIAL SHALL BE INSTALLED IN A SOUND HIGH QUALITY MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES WITH THE QUALITY OF PLANT MATERIALS AS HEREINAFTER DESCRIBED. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES
- 53. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING ALL TREES AND LANDSCAPE PER DIVISION 32.
  CONTRACTOR SHALL INSURE THAT ALL DRAINAGE AND PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION
  OF PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PLANTS IF DEAD OR DYING PRIOR TO
  FINAL ACCEPTANCE.
- 54. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHOULD BE PLACED ON A TRIANGULAR SPACING SHOWN IN THE PLANTING DETAILS. PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- 55. TREES GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE THE GROW BAG REMOVED ENTIRELY BEFORE PLANTING.
- 56. BALLED AND BURLAPPED MATERIAL SHALL HAVE THE TOP ONE HALF (½) OF THE BURLAP AROUND THE BASE OF THE TRUNK CUT AND PULLED BACK. DO NOT REMOVE THE BURLAP BUT WIRE CAGES, STRAPS, ETC. MUST BE CUT AND R REMOVED COMPLETELY BEFORE INSTALLATION.
- 57. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES, AND ANY OTHER MATERIALS FROM THE LANDSCAPE ARCHITECT FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
- 58. THE FOLLOWING GUIDELINES SHALL BE FOLLOWED TO ENSURE SUCCESSFUL TRANSPLANTING OF TREES:
- a. ANY TREE BEING RELOCATED SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT, OR REPLANTING OF THAT TREE.
- b. TREES MUST BE ROOT PRUNED APPROPRIATELY PRIOR TO REMOVAL.
   c. DURING AND FOLLOWING TRANSPLANTING THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
- d. TRANSPLANTED TREES SHALL BE BRACED AT LEAST ONE FULL YEAR.
   e. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME BUT SHALL BE WATERED SUFFICIENTLY
- UNTIL THE TREE GROWTH IS REESTABLISHED.

  f. RELOCATED TREES/PALMS WILL BE MOVED IN ACCORDANCE WITH MINIMUM STANDARDS SET FORTH IN ANSI
- A-300
   g. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS
   OR PALM PRUNING IN ACCORDANCE WITH CITY STANDARDS.
- 59. CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK. CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION OR INSTALLATION
- 60. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED WHILE COMPLETING PLANTING INSTALLATION WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE CONSULTANT AND
- 61. GENERAL GRADING TO APPROXIMATELY 1 INCH SHALL BE PROVIDED BY THE CONTRACTOR. ALL FINISHED SITE
- GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE CONTRACTOR.

  62. ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED TO PROVIDE CONTINUOUS CLEAR ZONES FOR SIGHT VISIBILITY FOR PEDESTRIANS AND VEHICULAR TRAFFIC AND LANDSCAPE MAINTENANCE SHALL CONFORM TO STANDARD INDEX 546 CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 63. APPLICATION/ SCHEDULE: WATER NEW TREES, PALMS, AND SHRUBS EVERY DAY FOR THE FIRST TWO WEEKS, THREE TIMES A WEEK FOR THE SECOND TWO WEEKS, AND THEN TWICE A WEEK FOR THE NEXT EIGHT WEEKS FOR A TOTAL OF A 90 DAY WATERING PERIOD. NO FURTHER WATERING WILL BE REQUIRED. HAND WATERING SCHEDULE TO START AT FINAL ACCEPTANCE OF PROJECT.
- 64. EARTH BERM 4" HIGH OUTSIDE THE PROPOSED ROOT BALL PRIOR TO WATERING. APPLY A MINIMUM OF 4" OF WATER WITHIN THE SAUCER, OR 1-3 GALLONS PER INCH OF TRUNK DIAMETER, WHICH EVER IS MORE AT EACH WATERING. WATER APPLICATION SHOULD SATURATE THE ROOT BALL TO ITS ENTIRE DEPTH. DO NOT WATER IF ROOT BALL IS ALREADY SATURATED.
- 65. HANDWATERING IS IN ADDITION TO THE UNDERGROUND IRRIGATION SYSTEM.

## SOIL PREPARATION, SOIL MIX, FERTILIZER, & MULCH NOTES:

- 1. ENSURE THAT ALL PLANTING SOIL IS FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS AND STONES LARGER THAN ONE INCH IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. SHOULD ANY SOIL AMENDMENT BE NECESSARY, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE CONSULTANT AND THE COUNTY.
- 2. APPLY APPROVED HERBICIDE- ACCORDING TO MANUFACTURERS RATE AND SPECS WITHIN LIMITS OF ALL AREAS TO BE PLANTED. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY OR SPRAY WITHIN ROOT ZONE. CONTRACTOR AND COUNTY TO ENSURE TOTAL WEED ERADICATION.
- 3. SCARIFY SUBSOIL TO A DEPTH OF 3 INCHES.

C. 70% SAND

- 4. PLANTING MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL CONSIST OF A THOROUGHLY BLENDED MIXTURE OF: A. 20% TOPSOIL B. 10% PEAT OR COMPOST
- 5. PLANTING MIX FOR BACKFILL AROUND ROOT BALLS OF PALMS:
- A. 90% NATIVE SAND FROM ON SITE OR APPROVED SUBSTITUTE B. 10% TOPSOIL
- 6. FERTILIZE ALL TREES, SHRUBS AND GROUNDCOVER WITH PLANTING TABLETS 20-20-5 FORMULA, 21 GRAM.
- 7. ALL SHRUB BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 24" AND BACK FILLED WITH THE SPECIFIED MIXTURE.
- 8. SMOOTH ALL PREPARED TOPSOIL TO 3" EXCEPT WITHIN DRIP LINES OF EXISTING TREES AND 4" BELOW TOP OF SURROUNDING PAVING EDGES. REMOVE ALL ROCKS AND OTHER OBJECTS OVER 1" IN DIAMETER.
- 9. FINISH GRADE ALL PREPARED TOPSOIL AREAS TO A SMOOTH, EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AND ELIMINATE ANY LOW AREAS WHICH MAY COLLECT WATER.
- 10.TOPSOIL SHALL NOT BE EXTREMELY ACIDIC OR ALKALINE, NOR CONTAIN ANY TOXIC SUBSTANCE WHICH MAY BE
- 11.CONTRACTOR SHALL MULCH ALL PLANTING MATERIAL THROUGHOUT AND COMPLETELY TO A 3 INCH DEPTH WITH
- CLEAN, WEED FREE FLORAMULCH
- 12.MINIMUM OF 2" TOPSOIL MUST BE ADDED UNDER ALL SODDED AREAS.

HARMFUL TO PLANT GROWTH. THE PH SHALL BE IN THE RANGE OF 5.5-6.5.

- IRRIGATION NOTES:
- 1. XERISCAPE PRINCIPLES HAVE BEEN APPLIED TO THIS LANDSCAPE PLAN AS SPECIFIED IN SFWMD'S XERISCAPE PLANT GUIDE II AND SHALL BE APPLIED ALL THROUGHOUT LANDSCAPE INSTALLATION AND MAINTENANCE.
- 2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY IRRIGATION OR PROVIDE HAND WATERING FOR ALL RELOCATED TREES AND PALMS FROM NOTICE TO PROCEED UNTIL PERMANENT IRRIGATION SYSTEM IS OPERABLE.
- 3. THE IRRIGATION SYSTEM SHALL BE CONFIGURED TO ACCOMMODATE EXISTING TREES AND PALMS PER PLANS.
- 4. ALL LANDSCAPED AREAS MUST BE IRRIGATED IN ACCORDANCE WITH ALL LOCAL/ COUNTY REQUIREMENTS.
- 5. REMOVE EXISTING IRRIGATION EQUIPMENT WHICH INTERFERES WITH ANY CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROLLERS, SPRINKLER HEADS, PIPE, QUICK COUPLERS, BACKFLOW PREVENTERS, CONTROL WIRE AND CONDUITS. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING SYSTEM THROUGHOUT THE CONSTRUCTION PROCESS.
- 6. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. INSPECT IRRIGATION SYSTEM AND INSURE THAT ADEQUATE WATER IS AVAILABLE BEFORE BEGINNING PLANTING OPERATIONS. IRRIGATION SYSTEMS WILL NOT PROVIDE SUFFICIENT QUANTITIES OF WATER FOR NEWLY PLANTED MATERIALS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DEEP ROOT HAND WATERING.
- 7. IF PROVIDED, REFER TO IRRIGATION PLANS FOR ADDITIONAL NOTES AND DETAILS.



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2023-01-17	23-01-17		
Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
PROJECT INFORMATION BLOCK			

 JOB #
 213225

 DATE:
 5/13/22

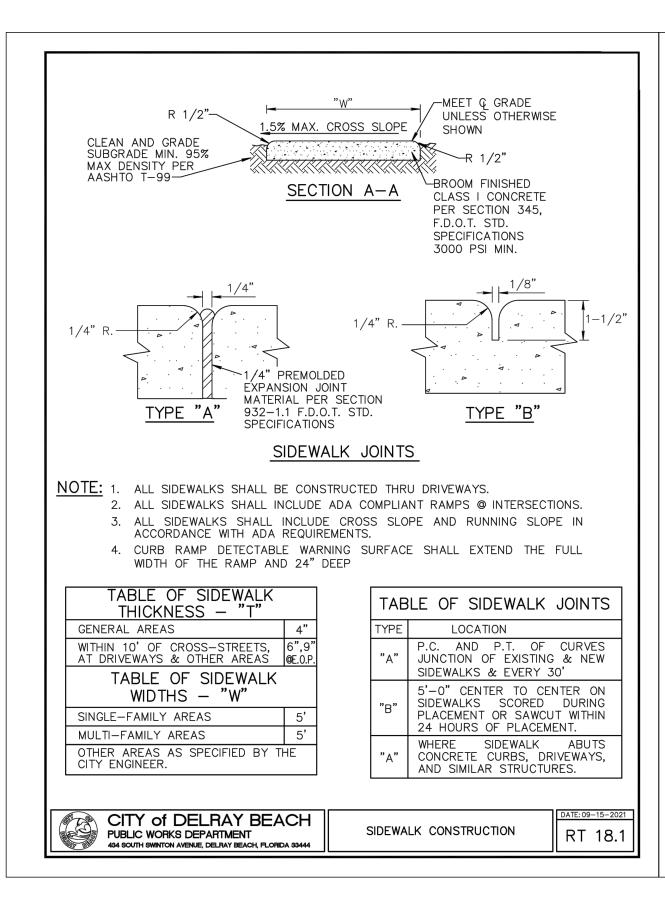
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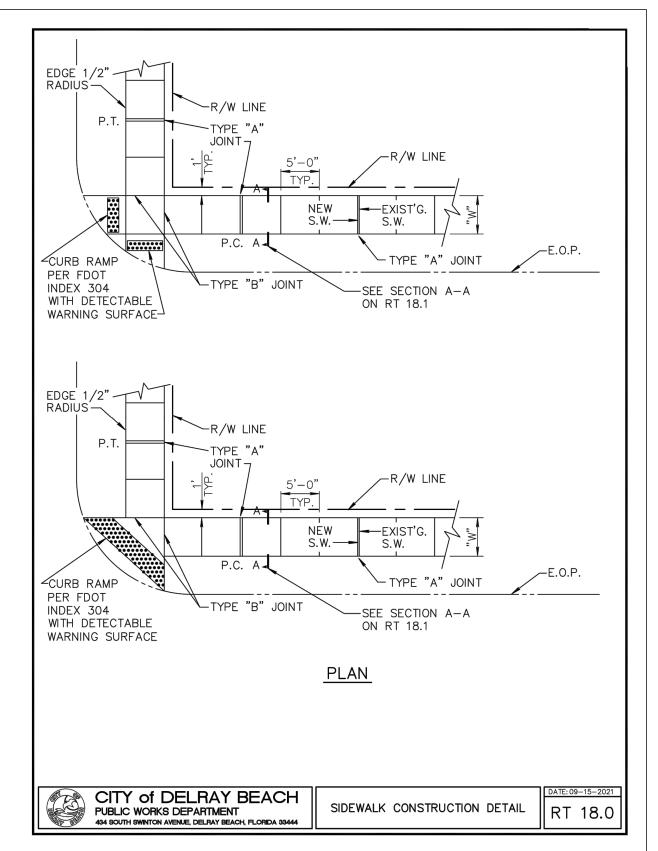
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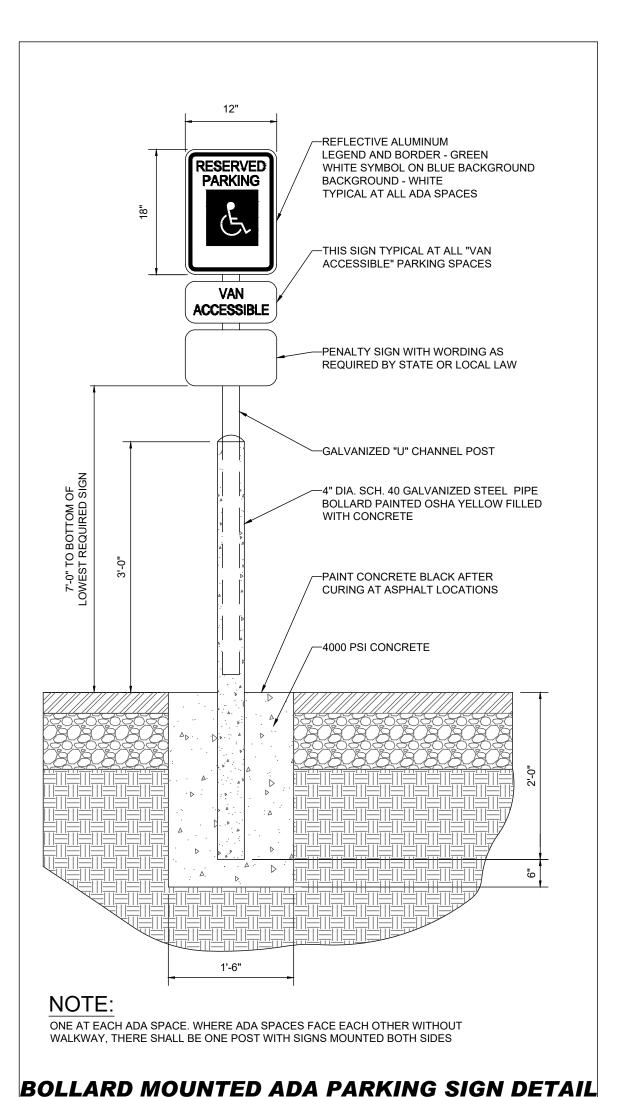
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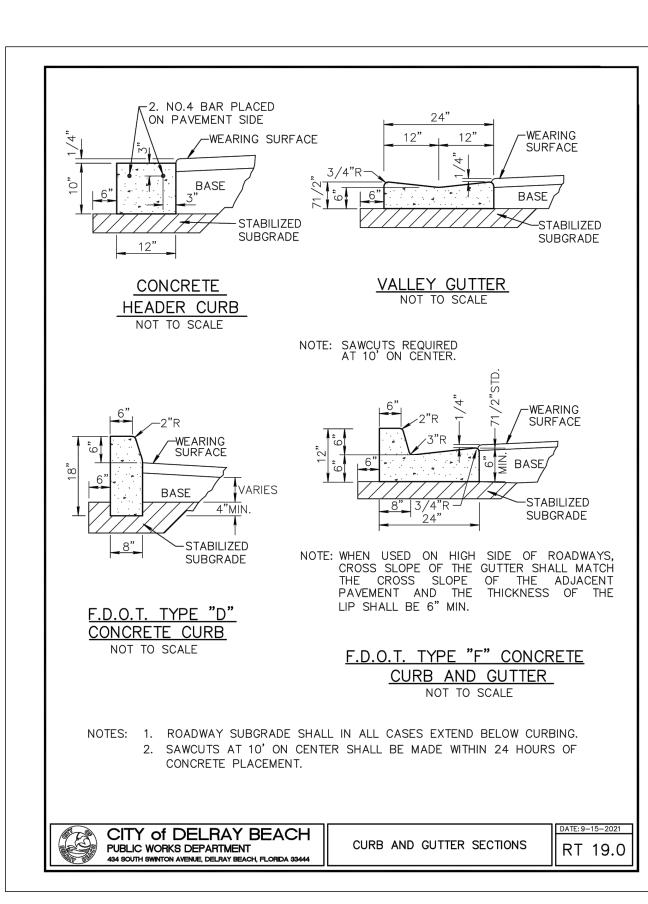
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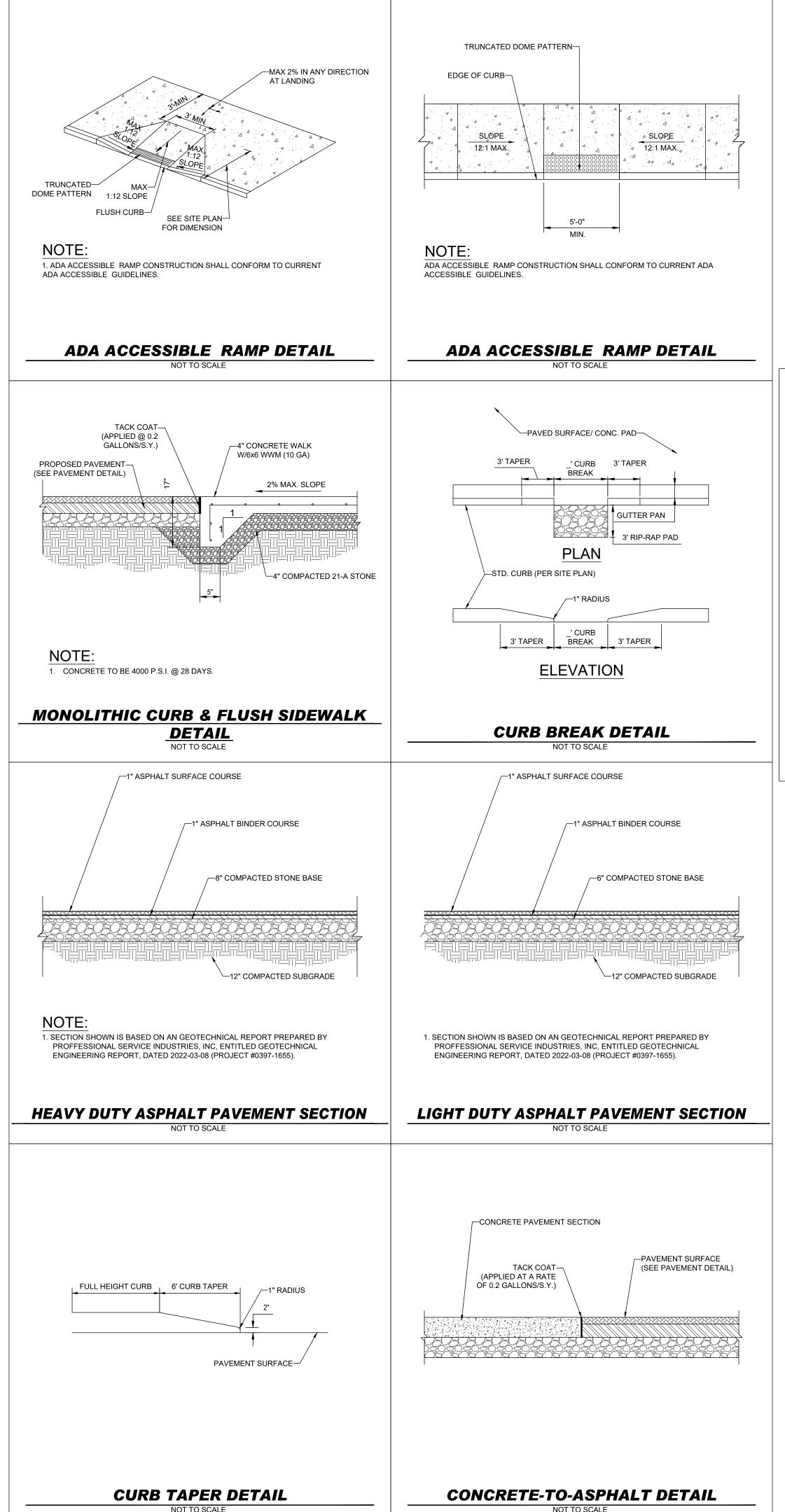
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# REGIONS

5RL FLSO19321 PROJECT

PLAN VIEW

CS-1 CONTROL STRUCTURE DETAIL

NOT TO SCALE

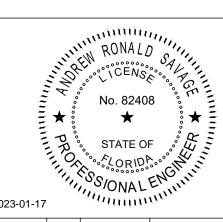
GRATE EL.=18.00' (NAVD)----

EL =15.50' (NAVD) 500

760 ' DEL

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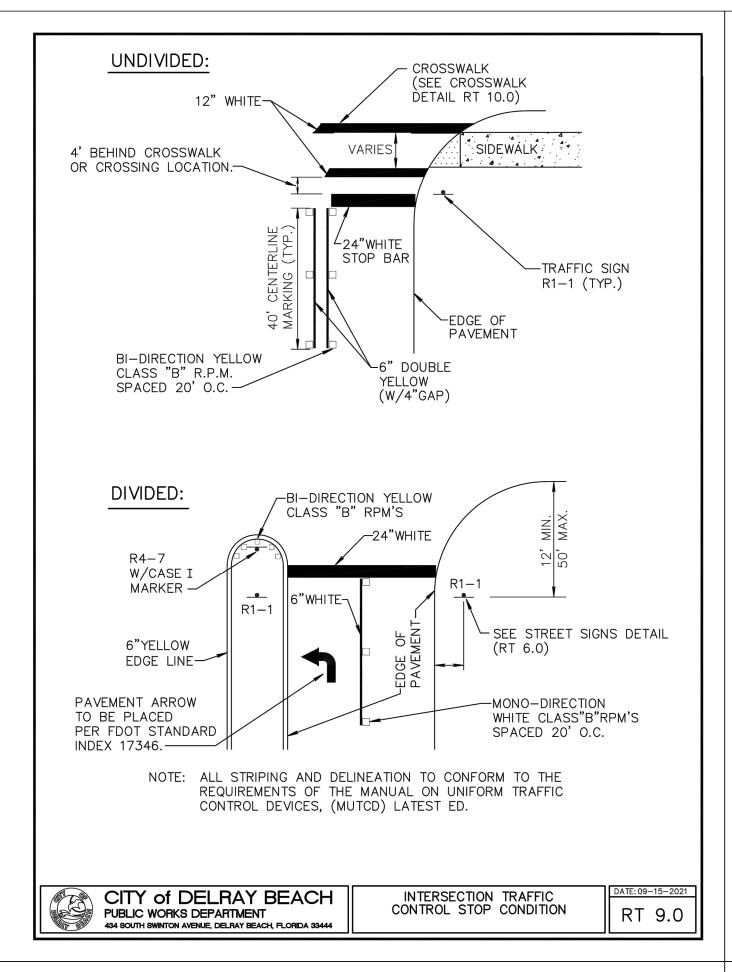


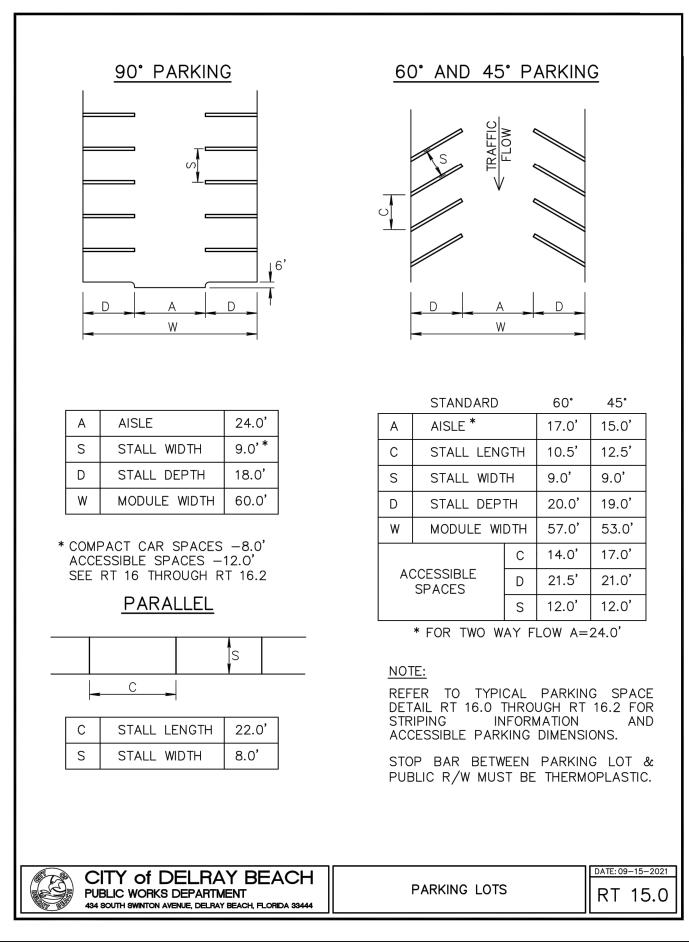
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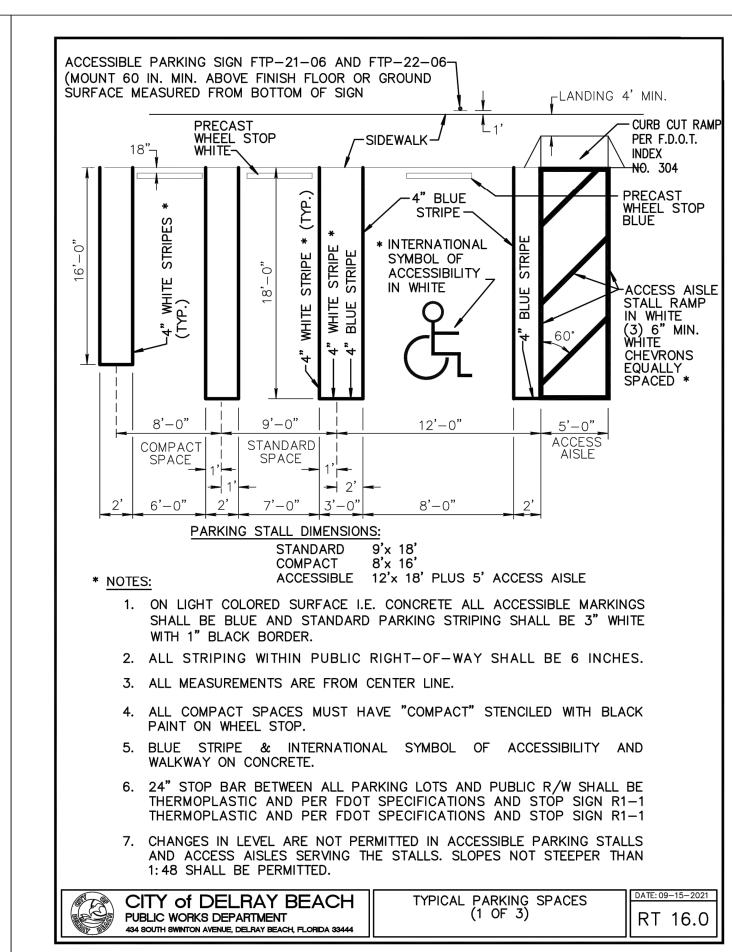
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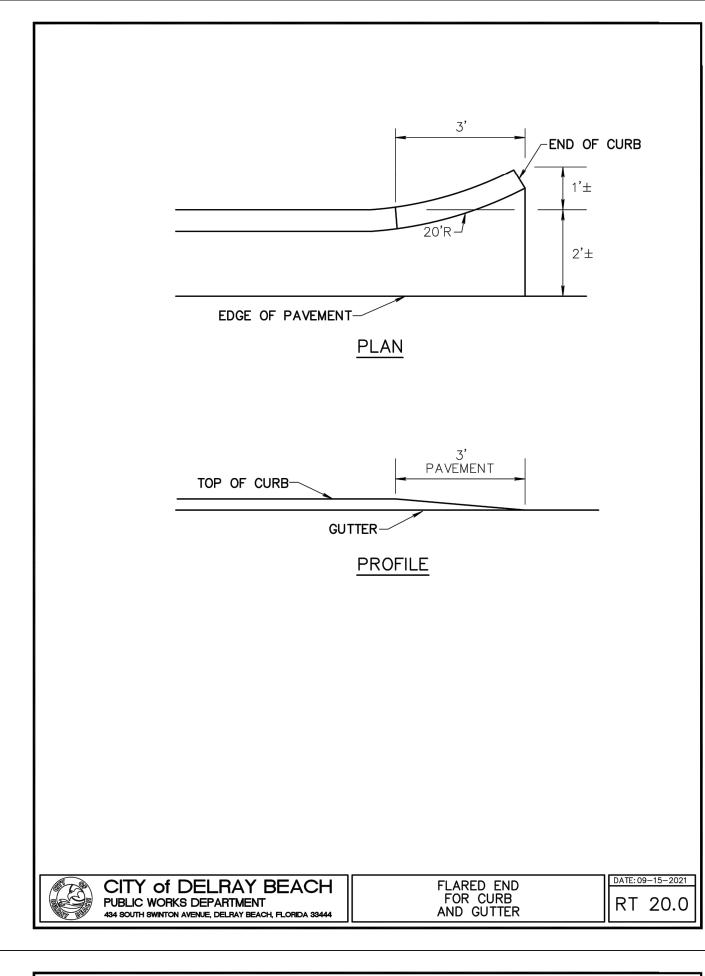
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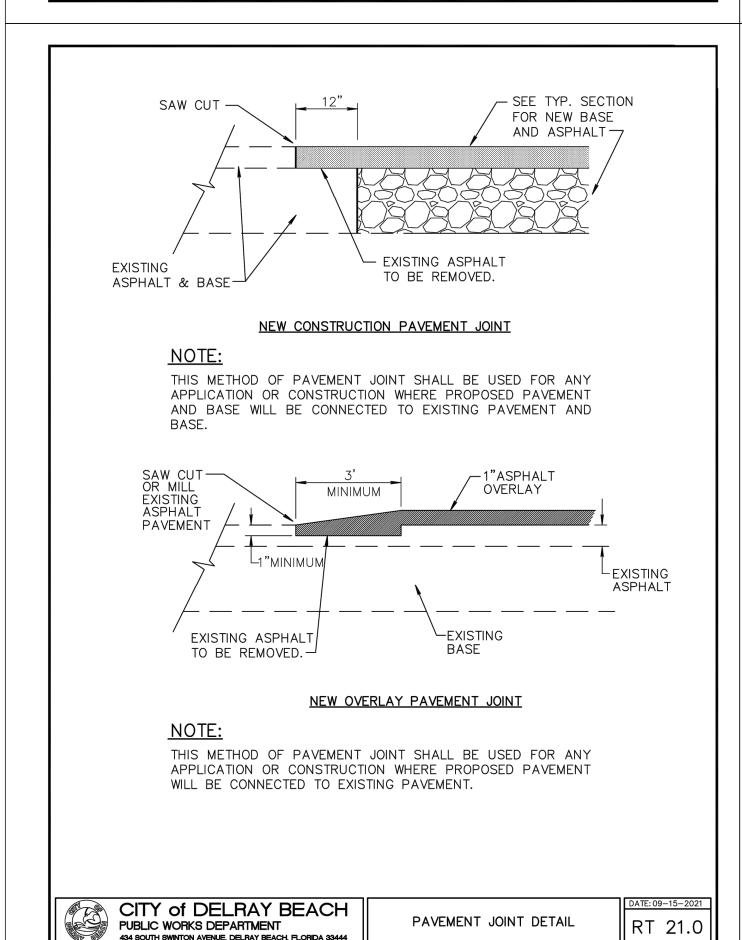
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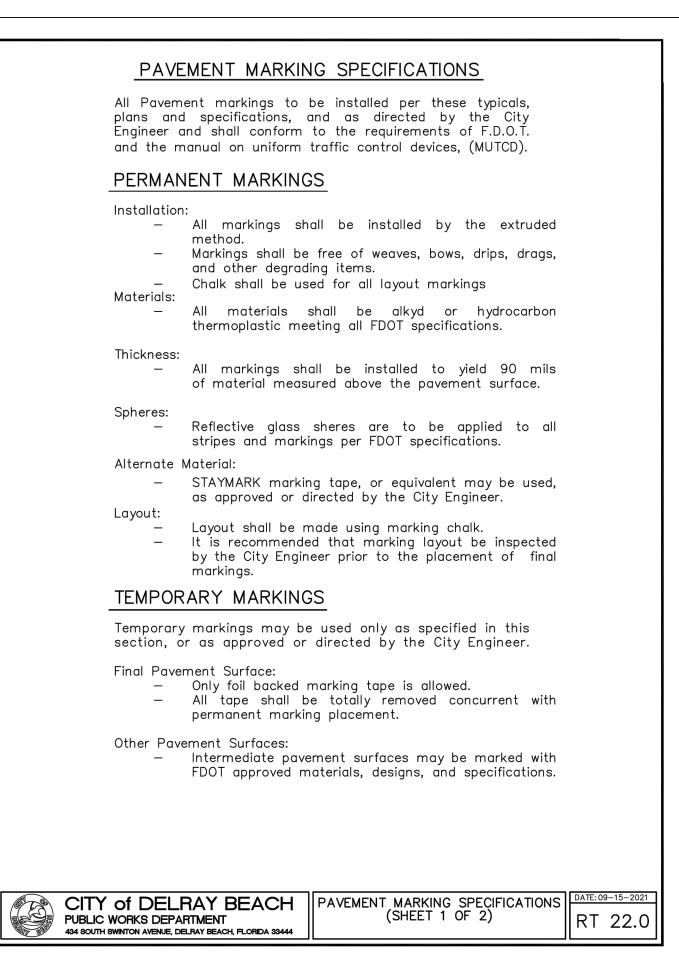


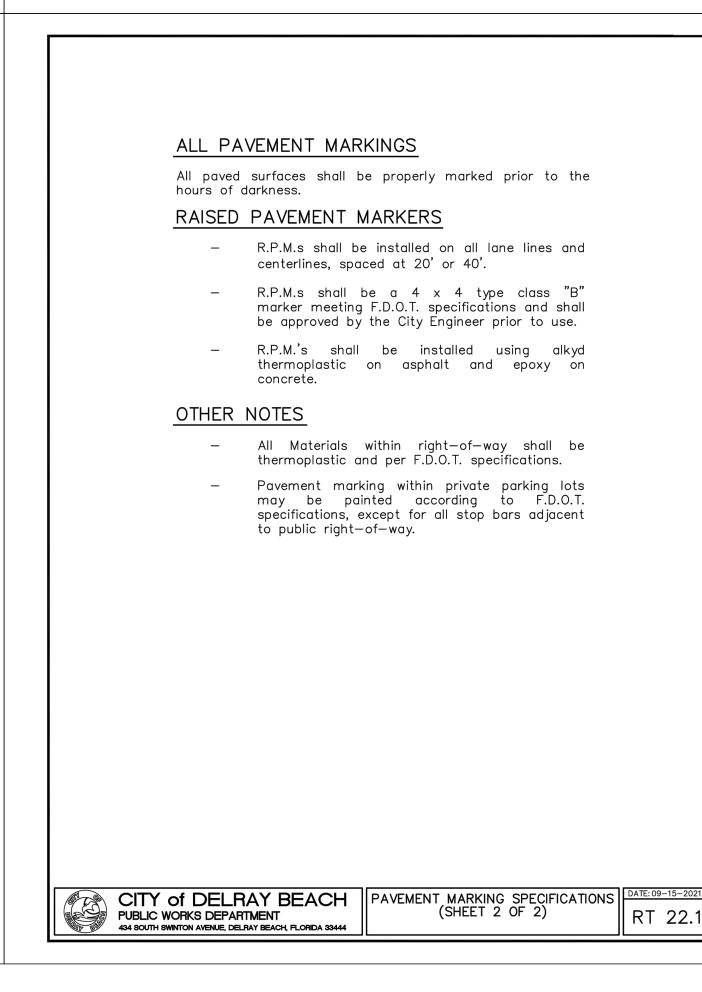


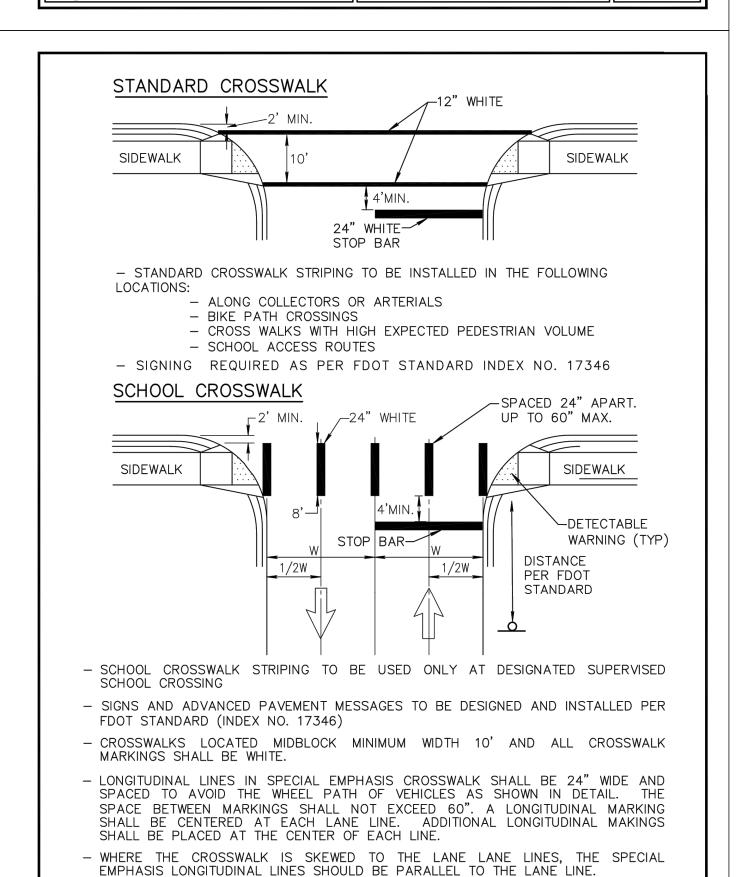












CROSSWALK DETAILS

CITY of DELRAY BEACH

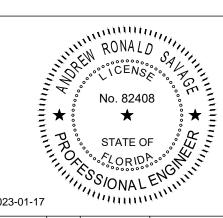
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE OF SAVENIES



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RT 10.0

## GRAVITY SEWER NOTES

- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE
- ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
- 3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
- 4. (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
- . (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWISE ÀPPROVED BY UTILITIES DEPARTMENT.
- 3. NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
- MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
- TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
- 9. PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
- BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON—COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS , LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
- ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
- 12. WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
- 3. UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
- 4. EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
- 5. COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
- 6. AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINÉ IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
- 7. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
- 18. ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2—FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
- 9. ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.



GRAVITY SEWER NOTES

WW 1.0

2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER. 3. SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS. CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT

SLOPE UP TO P

ROTATE BEND

AS REQUIRED -

SANITARY

SANITARY

SEWER MAIN-

434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SEWER MAIN -

UNDISTURBED SOIL-

1/8" PER FOOT MIN.

SEWER SERVICE CONNECTION

-ROTATE BENDS AS REQUIRED

ADDITIONAL RISER AND BEND

WHERE GREATER SEWER DEPTH

MIN. 6" PVC SDR 35

1/8" PER FOOT MIN.

CLEANOUT ON EACH BRANCH

CLEANOUT ON EACH BRANCH

-MAKE SERVICE

R/W LINE

(BY OTHERS)

3' MAXIMUM

CONNECTION AT

R/W OR EASEMENT LINE

CLEANOUT (BY OTHERS)

PROPERTY LINE

R/W OR EASEMENT LINE

SLOPE UP TO PL

WYE BRANCH (NO TEE CONFIGURED FITTINGS)

— ALTERNATE:

DOUBLE SERVICE

6" MIN. SERVICE LINE

SINGLE SERVICE

OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.

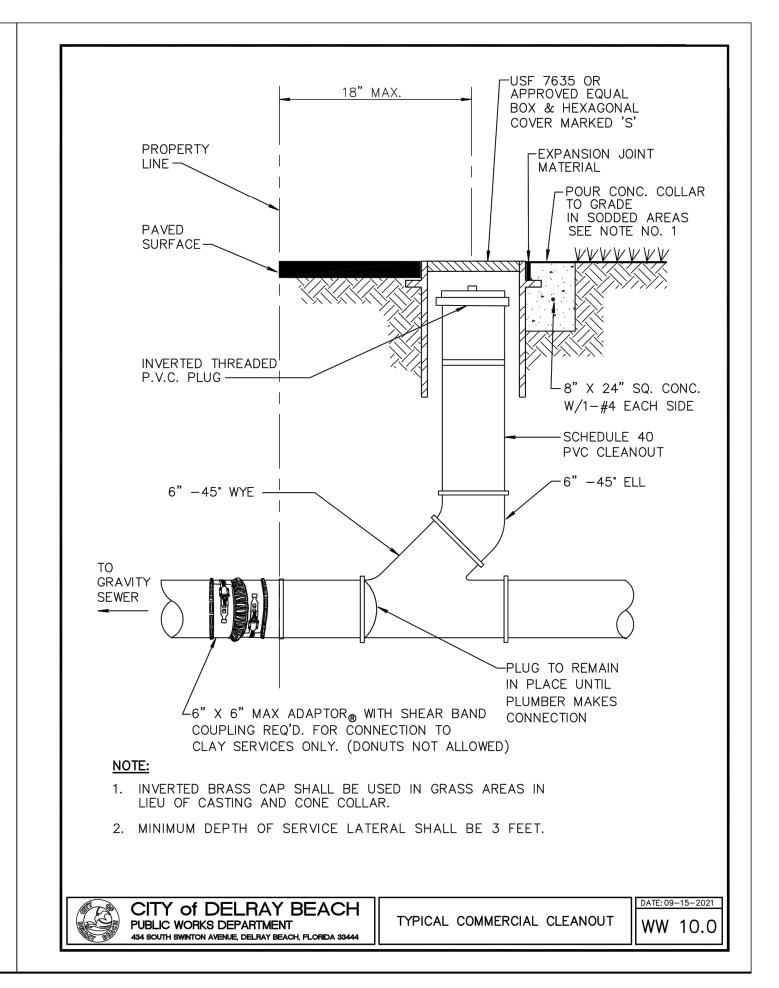
6" MIN. SERVICE LINE |

MAX.

MAX.

1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH

WW 8.0





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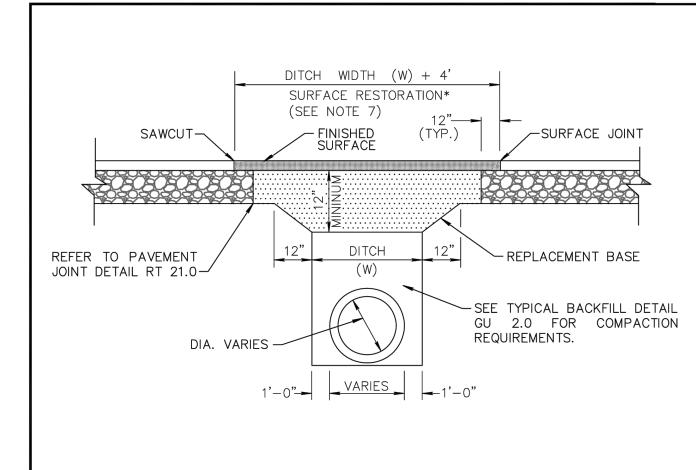


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- 12" THICK.
- 2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
- 2b. 24" EXCAVATABLE FLOWABLE FILL
- LIEU OF 12" BASE. 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY

SAWED.

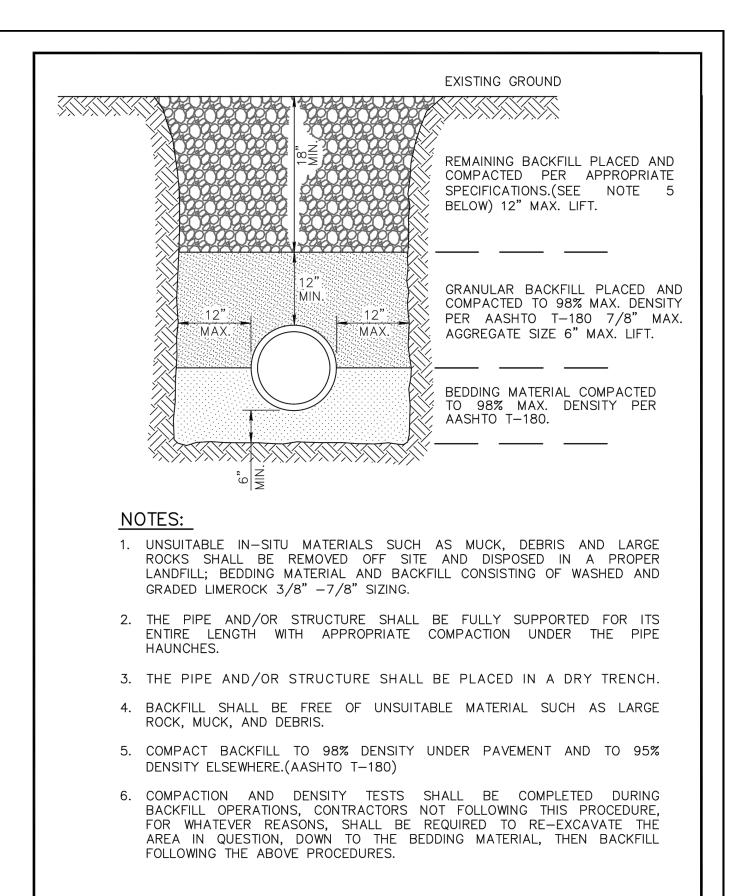
MIN. 100 P.S.I. MAY BE USED IN

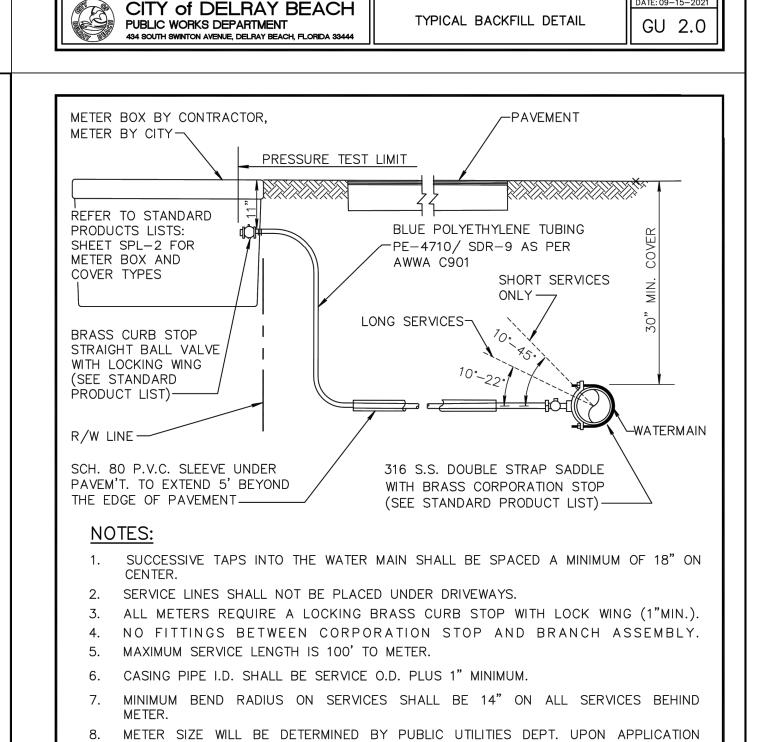
- 1. REPLACEMENT BASE TO BE AT MIN. 4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
  - 5. SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
  - 6. ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.
  - 7. ROADWAYS SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION AT TIME OF PAVEMENT REPAIR THE SURFACE RESTORATION SHALL EXTEND 50' IN EACH DIRECTION.

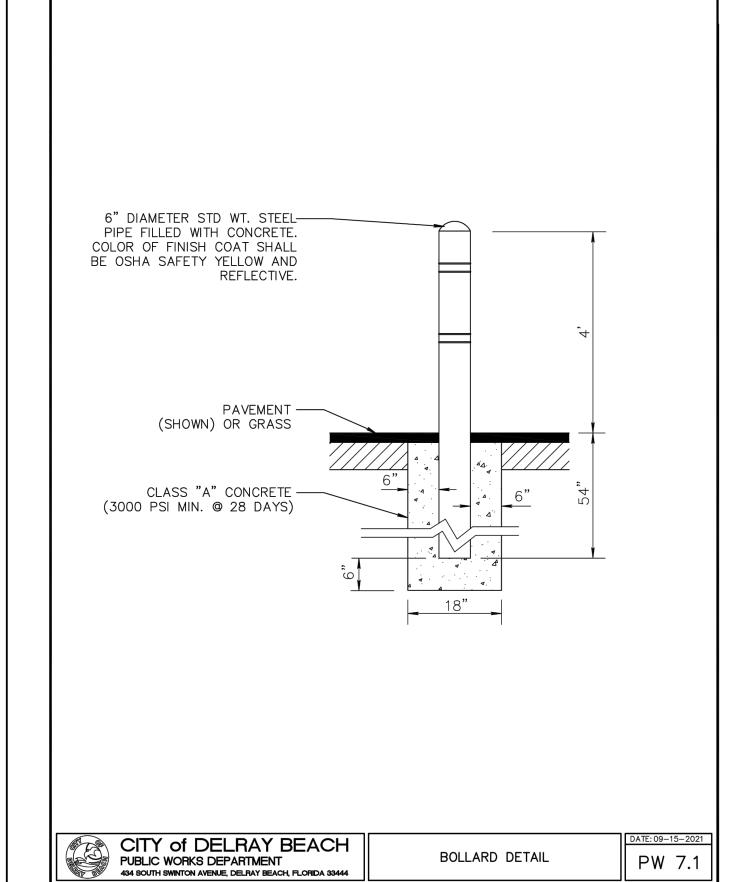
	CITY of DELRAY BEACH
	PUBLIC WORKS DEPARTMENT
10 B	434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CARRIER PIPE SUPPORTS

GU 1.0







13. ALL COMMERCIAL WATER SERVICE SHALL BE A MINIMUM OF 2". 14. WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR. 11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD,

12. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/

DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/

DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE OF THE COLUMN 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

FOR SERVICE.

9. ALL VALVES TO BE BALL VALVES.

UNLESS OTHERWISE APPROVED.

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION PW 13.0 IN DRIVEWAYS

architects

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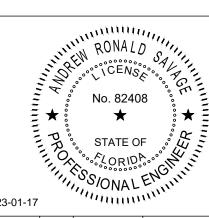
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PROJECT

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THESE DRAWINGS AND PLANS ANY REPRODUCTION THEREOF AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE, PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR ARCHITECTS, USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTABILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS DE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS; ANY CONSTRUCTION EXECUTED FROM THESE PLAN WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS; OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, OF DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.



- 05/13/22 BID/PERMIT S 1 08/23/22 TAC REVIEW I	2023-01-17		""Hillin	(11,
1 08/23/22 TAC REVIEW I		BY	DATE	DESCRIPTION
- UOIZSIZZ TACTILIVI	-		05/13/22	BID/PERMIT SET
2 12/15/22 CITY COMMEN	1		08/23/22	TAC REVIEW NO
	2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK DATE: 5/13/22 DRAWN BY: CHECKED BY:

SHEET TITLE

SHEET NUMBER

## PRESSURE PIPE NOTES:

- 1. FOR PIPE SIZES 4"-8" THERE SHALL BE 30" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE. FOR PIPE SIZE 10" AND LARGER THERE SHALL BE 36" MINIMUM
- 2.a. DUCTILE IRON PIPE (DIP) FOR FORCE MAINS SHALL BE CLASS 350 WITH 401 EPOXY LINED IN ACCORDANCE WITH AWWA C550.
- 2.b. DUCTILE IRON PIPE (DIP) FOR WATER MAINS SHALL BE CLASS 350 IN ACCORDANCE WITH AWWA C151 (ANSI A21.51), AND SHALL HAVE AN INTERNAL LINING OF CEMENT
- MORTAR IN ACCORDANCE WITH AWWA C104/ A21.4. 3. C-900 PVC PRESSURE PIPE MAY BE USED IN LIEU OF DIP WATER MAIN WITH METAL TAPE AND WIRE ABOVE THE PIPE.
- 4. ALL FITTINGS FOR FORCE MAIN SHALL BE CLASS 350 DUCTILE IRON WITH MECHANICAL JOINTS AND 401 EPOXY LINING.
- 5. WATER MAIN VALVES 12 INCHES AND SMALLER SHALL BE RESILIENT-SEAL WEDGE GATE VALVES IN ACCORDANCE WITH AWWA C509. WATER MAIN VALVES LARGER THAN 12 INCHES SHALL BE BUTTERFLY VALVES IN ACCORDANCE WITH AWWA C504.
- 6. ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTION MUST COMPLY WITH CITY AND LOCAL GOVERNMENTAL REGULATIONS AND STANDARDS.

SEWAGE FORCE MAIN VALVES SHALL BE RESILIENT-SEAL PLUG VALVES IN

WATER AND FORCE MAINS SHALL BE PIGGED A MINIMUM OF TWO TIMES, AND ADDITIONALLY, IF REQUIRED BY ENGINEER OF RECORD, AS WELL AS, PRESSURE TESTED FOR A PERIOD OF NOT LESS THAN TWO HOURS AT 150 PSI IN ACCORDANCE WITH ANSI/AWWA C600 LATEST STANDARDS. ALLOWABLE LEAKAGE SHALL BE DETERMINED AS FOLLOWS:

 $L = \frac{SD\sqrt{P}}{}$ 148,000

ACCORDANCE WITH AWWA C517.

- L = ALLOWABLE LEAKAGE (GALLONS PER HOUR) S = PIPE LENGTH (FEET)
- D = NOMINAL DIAMÈTER OF PIPE (INCHES) P = AVERAGE TEST PRESSURE (PSI)
- 8. RESTRAINTS SHALL BE PROVIDED AT ALL FITTINGS AS SHOWN ON PP 2.0 AND 2.1 9. PRIOR TO ANY TESTING UNDER FUTURE PAVEMENT, ROCK SHALL BE FINISHED &
- PRIMED OR 1ST LIFT OF ASPHALT PLACED. 10. PIG SIZE SHALL BE PIPE DIAMETER PLUS 2" OR NEXT LARGER DIAMETER.
- 11. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED WATER OR FORCE MAINS.
- 12. LINE STOPS SHALL BE INSTALLED A MINIMUM OF 3 PIPE LENGTHS FROM LOCATION OF PIPE REMOVED AND PROVIDE NECESSARY JOINT RESTRAINTS.

	CITY of DELRAY BEACH	1
	PUBLIC WORKS DEPARTMENT	ı
10 BH	434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	

CITY of DELRAY BEACH

PUBLIC WORKS DEPARTMENT

PRESSURE PIPE NOTES

TYPICAL TREE WITH ROOT BARRIER

LD 1.0

PP 1.0

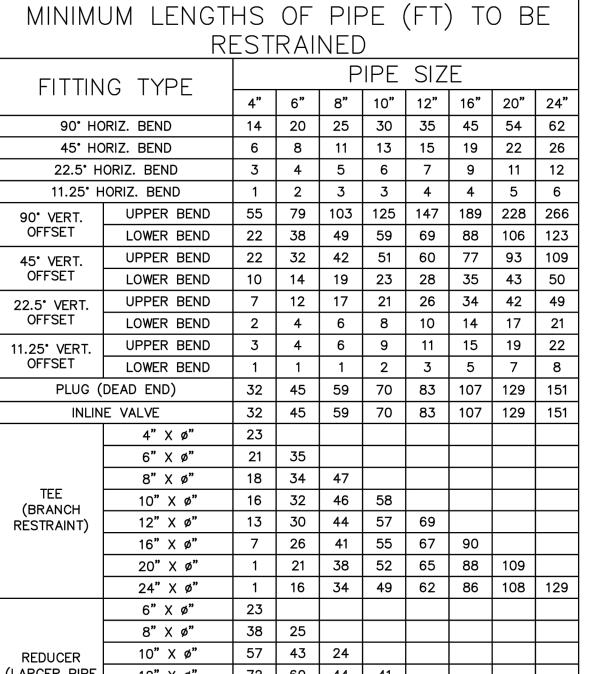
NOTES:

1. THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL

CITY of DELRAY BEACH

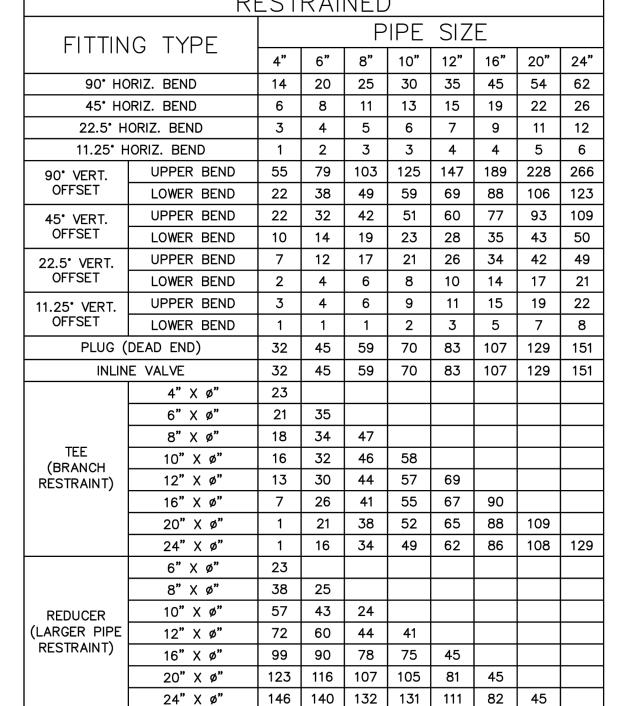
PUBLIC WORKS DEPARTMENT

CITY FACILITIES IF NO ROOT BARRIER IS USED.



CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	PIPE RESTRAINT TABLE PRESSURE PIPE (SHEET 1 OF 2)	PP 2.

RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE





1. THE DATA IN THE PREVIOUS TABLE IS BASED UPON THE FOLLOWING

2. THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON PIPE AND PVC PIPE.

3. ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.

4. RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF

5. THE PREVIOUS TABLE SHALL SERVE AS A GENERAL DESIGN GUIDE ONLY. IT IS

6. SOURCES: EBAA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC

7. RESTRAINED JOINTS SHALL EXTEND ONE JOINT BEYOND MINIMUM LENGTH

PIPE, RELEASE 3.1 (LATEST EDITION) AND DIPRA RESTRAINT FOR DUCTILE IRON

DEVIATIONS FROM THE PIPE LENGTHS SPECIFIED IN THE PREVIOUS TABLE.

THE ENGINEER OF RECORD'S RESPONSIBILITY TO JUSTIFY AND DOCUMENT ANY

..150 PSI, 200 PSI FOR PIPES LARGER THAN 24"

INSTALLATION CONDITIONS:

SOIL TYPE ..

REQUIRED.

TEST PRESSURE

DEPTH OF BURY

SAFETY FACTOR

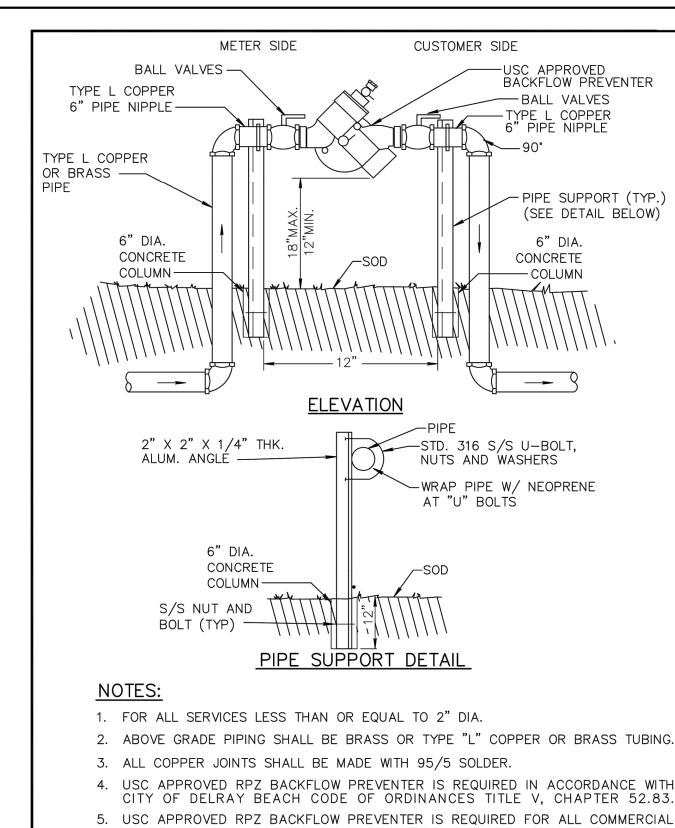
VERTICAL OFF-SET .

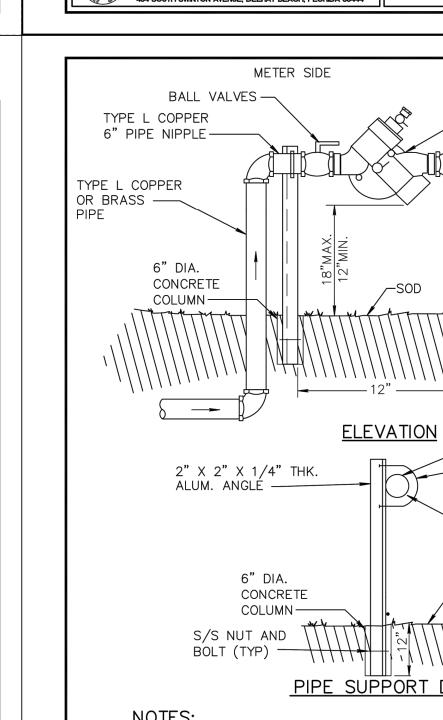
ALONG TEE RUN ......

MINIMUM PIPE LENGTHS

PIPE, RELEASE 3.2 (LATEST EDITION).

TRENCH TYPE .





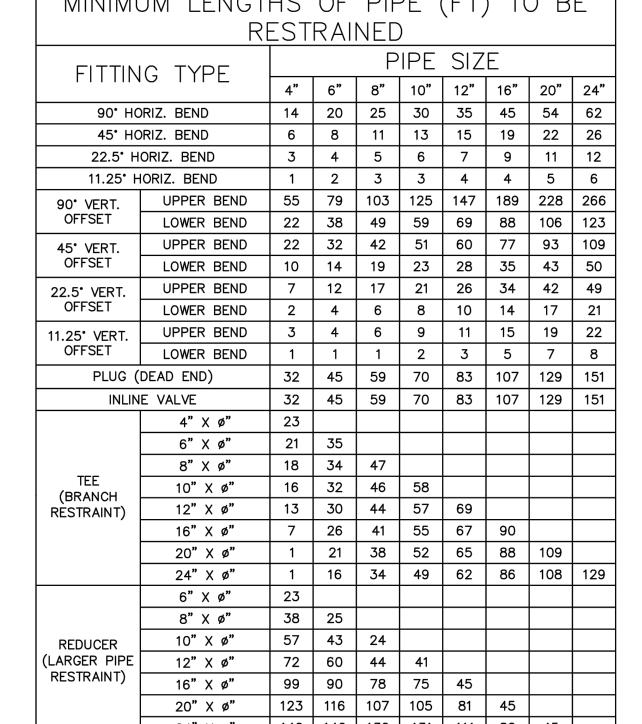
- 2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.
- CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.
- 5. USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL

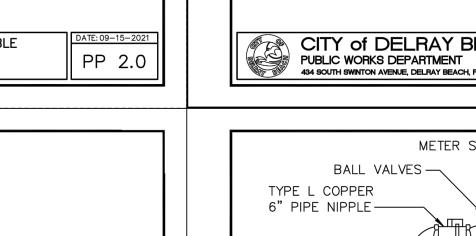
PROPERIIES	AND	ALL	RESIDENTIAL	PROPERILES	WITH	FIRE	SPRINKLER	SYSTEMS.



REDUCED PRESSURE ZONE BACKFLOW PREVENTER

PW 17.0



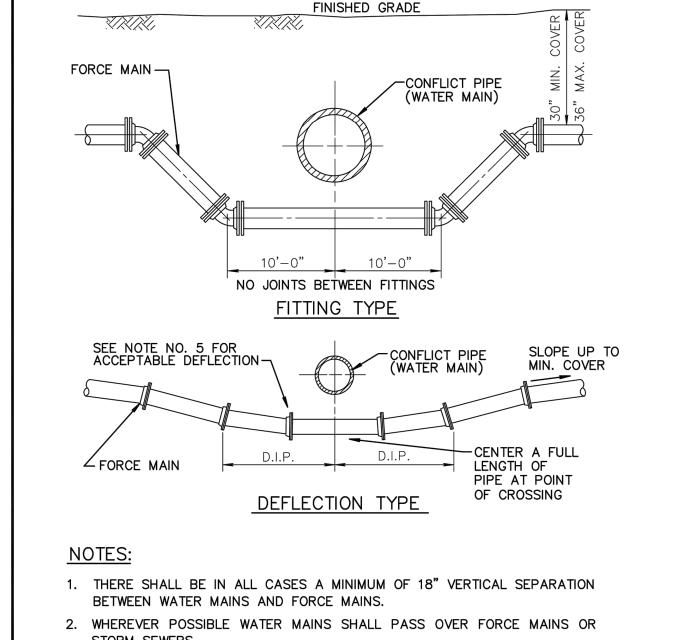


-CITY FACILITIES

TYPICAL TREE WITHOUT ROOT BARRIER

(MAINS, SERVICES,

LD 2.0



- STORM SEWERS.
- 3. FITTINGS SHALL BE RESTRAINED WITH MECHANICAL JOINT RESTRAINTS.
- 4. THE DEFLECTION TYPE CROSSING IS PREFERRED.
- 5. DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
- 6. REFER TO TYPICAL RESTRAINING DETAIL PP 2.0 AND 2.1

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

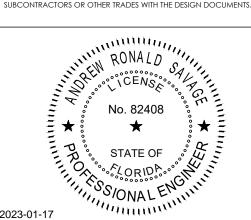
PRESSURE PIPE CONFLICT TABLE

400 N. Ashley Drive | P: 813 - 323 - 9233 Suite. 600 Lic. #: AA - 0003590 Tampa, FL 33602 W: www.bdgllp.com

5RL

01932

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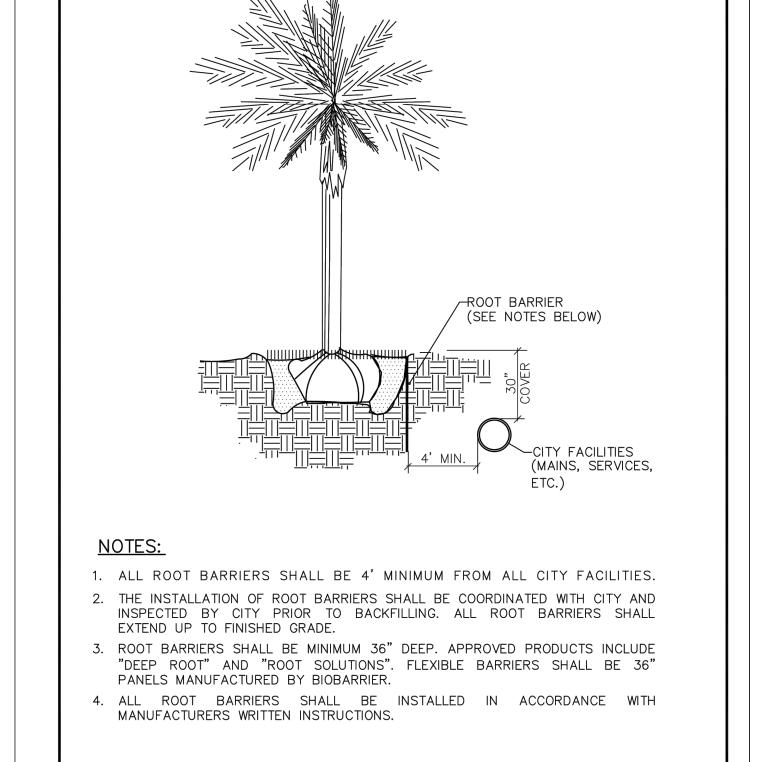
vision umber	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK 5/13/22 CHECKED BY:

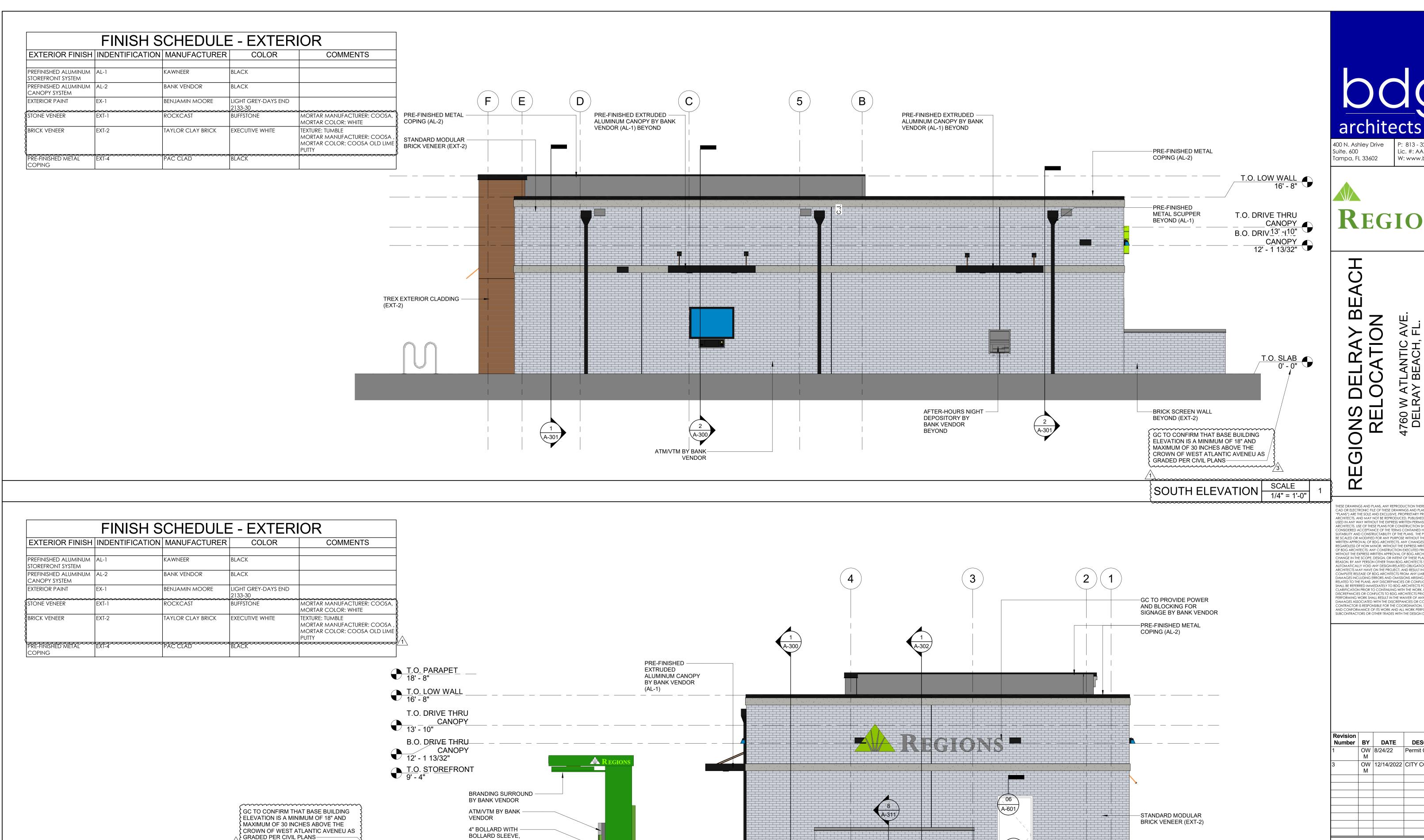
SHEET TITLE

SHEET NUMBER

CONSTRUCTION **DETAILS** 







STANDARD MODULAR

BRICK VENEER (EXT-1)

TYPICAL

TO CIVIL

PAVEMENT, REFER -



P: 813 - 323 - 9233 Lic. #: AA - 0003590 W: www.bdgllp.com



FLSO193215RL

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Revision Number	BY	DATE	DESCRIPTION
	OW M	8/24/22	Permit Comments
	OW M	12/14/2022	CITY COMMENTS
PROJ	ECT	INFORM	ATION BLOCK
JOB#			213225
DATE:			8/24/22

SHEET TITLE

**EXTERIOR ELEVATIONS** 

SHEET NUMBER

SCALE 1/4" = 1'-0"

{EAST ELEVATION ⊢

DRAWN BY: CHECKED BY:

10 A-601

A-201

- 1. THE SUBJECT PROPERTY IS LOTS 8 AND 9 AS SHOWN ON A PLAT ENTITLED "COUNTRY CLUB ACRES" AS RECORD IN PLAT BOOK 24, PAGE 10, BEING THE LANDS OF 4760 WEST ATLANTIC AVENUE, LLC, AS RECORD IN OFFICIAL RECORDS BOOK 22073, PAGE 1451, AMONG THE LANDS RECORDS OF PALM BEACH COUNTY, FLORIDA AND HAVING A PCN OF 12-42-46-13-01-000-0080 PER THE PALM BEACH COUNTY PROPERTY APPRAISER.
- 2. AREA= 20,063 S.F. OR 0.461 ACRES
- 3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE, SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- 4. THIS SURVEY WAS PERFORMED IN THE FIELD ON FEBRUARY 15, 2022 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- 5. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS COUNTY BENCHMARK NO. AD2692 WITH A PUBLISHED ELEVATION OF 12.78 FEET.
- 6. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 978 OF 1200", COMMUNITY-PANEL NUMBER 12099C0978F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5,2017.
- 7. NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF
- 8. THERE IS NO RECENT EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 9. THERE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING
- 10. TREES 4" INCHES DBH AND LARGER HAVE BEEN LOCATED WITHIN THE PROJECT BOUNDARY.
- 11. PARKING: 23 STANDARD
  - 24 TOTAL SPACES
- 12. PROPERTY HAS ACCESS ALONG WEST ATLANTIC AVENUE AND WHATLEY ROAD.
- 13. BOHLER WAS NOT MADE AWARE OF ANY WETLAND DELINEATION PERFORMED ON THE SUBJECT PROPERTIES AND THERE WERE NO WETLAND FLAGS OBSERVED AT THE TIME OF THE FIELD SURVEY. A PHASE 1 REPORT WAS NOT PROVIDED.
- 14. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULES 5J-17.050 THROUGH 5J-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.

## TITLE NOTES:

- THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY AMERICAN LAND TITLE ASSOCIATION COMMITMENT ORDER NO.: 10083713, WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2022 OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B SECTION II, EXCEPTIONS:
- (4) RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE TPLAT OF COUNTRY CLUB ACRES, RECORDED IN PLAT BOOK 24, AT PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; AFFECT THE SUBJECT PROPERTY, PLOTTABLE ITEM SHOWN.
- (5) DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4075, AT PAGE 1760; AMENDED DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4325, AT PAGE 1040; AMENDED DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4786, AT PAGE 1605; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, DOCUMENTS CONTAIN USE
- (6.) AGREEMENT FOR WATER SERVICE WITH THE CITY OF DELRAY BEACH RECORDED IN OFFICIAL RECORDS BOOK 4680, AT PAGE 1083; ADDENDUM TO WATER SERVICE AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4769, AT PAGE 783; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, GENERAL IN NATURE. ADDENDUM RECORDED IN OFFICIAL RECORDS BOOK 4769, AT PAGE 783 CONTAINS LANDSCAPING REQUIREMENTS ALONG THE EAST AND SOUTH PROPERTY LINES OF THE PROPERTY.
- (7) AGREEMENT WITH TH PALM BEACH HEALTH DEPARTMENT RECORDED IN OFFICIAL RECORDS BOOK 4786, AT PAGE 1582; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, BLANKET IN NATURE.
- (8) ANY AND ALL RIGHT, TITLE OR INTEREST OF THE LAKE WORTH DRAINAGE DISTRICT, CLAIMED, RESERVED, OR NOW IN USE, BY VIRTUE OF RESERVATIONS CONTAINED IN VARIOUS DEEDS, THE PLATS ATTACHED TO THE AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1732, AT PAGE 612, OR PURSUANT TO CHANCERY CASE NO. 407, AND AS CONTAINED IN THE INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 6495, AT PAGE 761, AND DESCRIBED IN AFFIDAVITS IN OFFICIAL RECORDS BOOK 6495, AT PAGE 1165; OFFICIAL RECORDS BOOK 6495, AT PAGE 1545 AND OFFICIAL RECORDS BOOK 6495, AT PAGE 1554, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, BLANKET IN NATURE.
- (9) RIGHTS OF TENANTS OCCUPYING ALL OR PART OF THE INSURED LAND UNDER UNRECORDED LEASES OR RENTAL AGREEMENTS; **MAY AFFECT THE SUBJECT PROPERTY**.

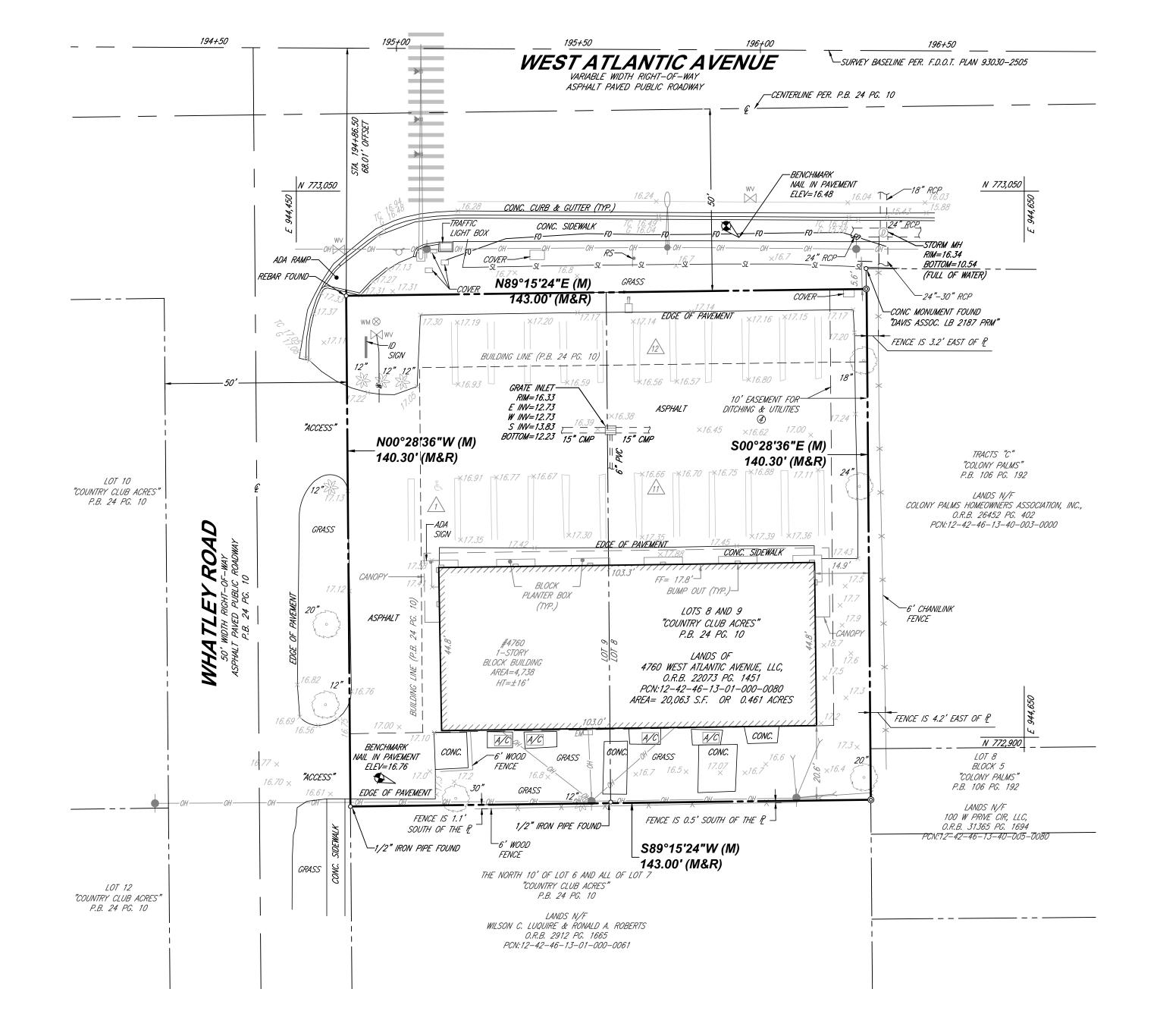
# TITLE DESCRIPTION

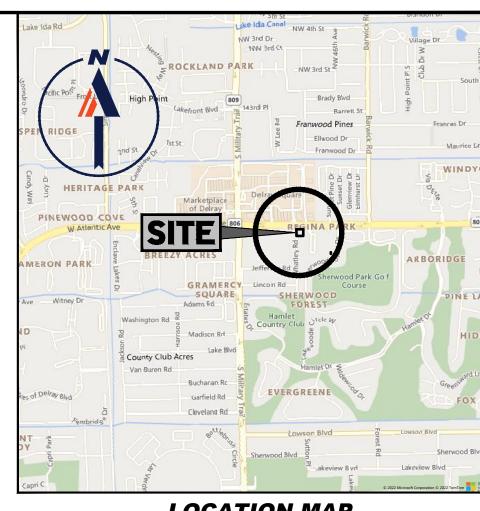
LOTS 8 AND 9. COUNTRY CLUB ACRES. ACCORDING TO THE MAP OR PLAT THEREOF. AS RECORDED IN

PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

THE FOLLOWING COMPANIES WERE NOTIFIED BY SUNSHINE 811 UTILITY SYSTEM (1-800-852-8057) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 042201991

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
A T & T/ DISTRIBUTION	MARKED	800-788-9140
CENTURYLINK	NO CONFLICT	877-366-8144
CITY OF DELRAY BEACH WATER/SEWER NETWORK	MARKED	561-573-0339
COMCAST-PBG	MARKED	800-778-9140
FLA PUBLIC UTILITIES CO	CLEAR NO FACILITIES	561-419-1356
FLORIDA POWER & LIGHT - PALM BEACH	MARKED	800-778-9140
MASTEC INC	MARKED	954-651-3161
MCI	CLEAR NO FACILITIES	800-624-9675
PALM BEACH COUNTY TRAFFIC OPERATIONS	MARKED	561-233-3923





## **LOCATION MAP** SCALE: 1"=2000'

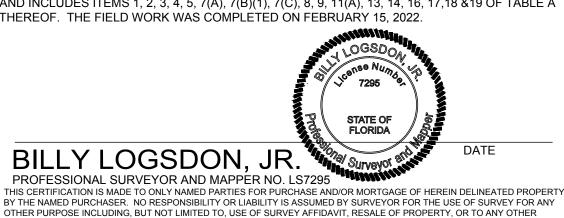


# **LEGEND**

	LLGLIND
X <i>123.45</i>	EXISTING SPOT ELEVATION
X TC 123.45	EXIST. TOP OF CURB ELEVATION
X G 122.95	EXIST. GUTTER ELEVATION
Q	HYDRANT
w∨ ⊠	WATER VALVE
—— ОН ———	OVERHEAD WIRES
F0	APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MAI
SI	APPROX. LOC. UNDERGROUND SANITARY LINE PER UTILITY MARK
w_	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOU
	UTILITY POLE
EM.	ELECTRIC METER
A/C	*AIR CONDITIONER
<b>Ø</b>	STORM DRAIN MANHOLE
⊗ <sup>wm</sup>	WATER METER
	SIGN
X	FENCE
RS	ROAD SIGN
	AREA LIGHT
(5)	TITLE REPORT EXCEPTION
10	DENOTES PARKING SPACE COUNT
	BENCHMARK
-	UTILITY POLE/LIGHT POLE
	GUY WIRE
C Y	TRAFFIC SIGNAL POLE
	TREE (SIZE AS NOTED)
	PALM TREE (SIZE AS NOTED)
©	PROP. CORNER TO BE SET
(M)	MEACURED

WAGNER PROPERTY GROUP, LLC, A FLORIDA LIMITED LIABILITY COMPANY; VALLEY NATIONAL BANK, A NATIONAL BANKING ASSOCIATION; & 4760 WEST ATLANTIC AVENUE, LLC, A FLORIDA LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16, 17,18 &19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2022.



PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

**ALTA/NSPS LAND TITLE SURVEY** 

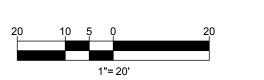
WAGNER PROPERTY GROUP, LLC

MEASURED

RECORD

4760 WEST ATLANTIC AVENUE DELRAY BEACH PALM BEACH COUNTY, FLORIDA

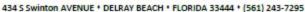






# CITY OF DELRAY BEACH

#### DEPARTMENT OF PUBLC WORKS





Via email:

alvarez@mydelraybeach.com rodriguess@mydelraybeach.com

Amy Alvarez Susana Rodriques City of Delray Beach Development Services 100 NW 1st Avenue Delray Beach, FL 33444

RE:

4760 West Atlantic Avenue

Stacking Distance Reduction

Dear Ms. Alvarez and Ms. Rodrigues:

I received the request for relief to the minimum required stacking distance of 100 feet for the drive-thru as required by LDR Section 4.6.9(D)(3)(c)3. Per LDR Section 4.6.9(D)(3)(c)5 an applicant may request a reduction in the minimum stacking distance when supported by a traffic study and justification statement. The request for the reduction in stacking distance was accompanied by the required traffic study which demonstrated that during even the peak hour of use the two drive thru lanes would have a queue depth that would not exceed the provided stacking distance for each lane. The reduction is therefore supported.

If you have any questions, you may contact me at 561-243-7000 ext. 6220 or via email at figurellap@mydelraybeach.com.

Sincerely,

Patrick AFigurella

Patrick A. Figurella, P.E. City Engineer

CC: File