



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

## SITE PLAN REVIEW AND APPEARANCE BOARD

### Regions West Atlantic

Meeting	File No.	Application Type
February 8, 2023	2022-201-SPF-SPR-CL5	Class V Site Plan
Applicant / Property Owner		Authorized Agent
4760 West Atlantic Avenue, LLC		Andrew Savage, Bohler Engineering FL, LLC

### Request

Consideration of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 1,904 square foot Regions Bank with a drive thru facility located at 4760 West Atlantic Avenue.

### Site Data & Information

**Location:** 4760 West Atlantic Avenue

**PCN:** 12-42-46-13-01-000-0080

**Property Size:** 0.46 Acres

**Land Use Designation:** General Commercial (GC)

**Zoning District:** General Commercial (GC)

**Overlay:** Four Corners Overlay District

#### Adjacent Zoning:

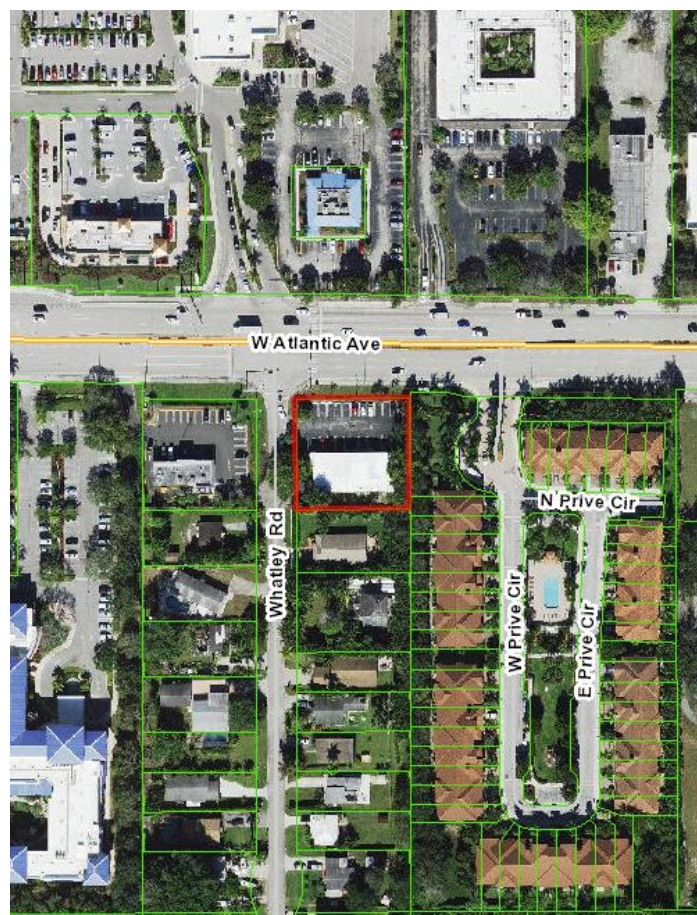
- **North & West:** GC
- **South:** Single Family Residential (R-1-A)
- **East:** Multiple Family Residential – Medium Density (RM-9)

**Current Use:** Commercial (multiple tenants)

**Proposed Use:** Financial Institution (Bank with drive-thru)

#### Floor Area Ratio:

- **Maximum:** 3.0
- **Proposed:** 0.10



#### Project Planner:

Amy Alvarez, Principal Planner

[alvarez@mydelraybeach.com](mailto:alvarez@mydelraybeach.com)

Susana Rodrigues, Planner

[rodrigues@mydelraybeach.com](mailto:rodrigues@mydelraybeach.com)

#### Attachments

1. Site Plan, Landscape Plan, Civil Plan
2. Architectural Elevations
3. Stacking Distance Reduction



## Background

The 0.46 acre site is located on the southeast corner of West Atlantic Avenue and Whatley Road. The property currently includes a 4,738 square foot commercial building, built in 1985 and consists of a mix of retail and medical uses.



Entrance from Whatley Road

## Description of Proposal

The proposal includes the demolition of the existing structure to allow for the construction of a 1,904-square foot bank with drive thru facility. Access to the site will continue to be provided from Whatley Road via two points. One driveway, to the south of the property, will provide direct one-way access to the teller and ATM drive-thru lanes; the second, to the north of the property and approximately where the current driveway is located, provides a two-way drive-aisle and the main parking area. A total of 16 off-street parking spaces are provided to the front and rear of the building.

The proposal includes a reduction to the minimum stacking distance requirement for the drive thru lanes. The ATM lane provides 80 feet and the lane for the teller window provides 55 feet, whereas a minimum of 100 feet is required for each lane. The reductions were supported by the City Engineer (see attached memo), thereby not requiring additional review by the City Commission as a waiver.

Note: Any noted signage has not been reviewed and is not included with the request. A separate request is required through the sign permit process.





**Review & Analysis: Site Plan and Zoning****LDR Section 2.4.5(F)(5), Class V Site Plan**

*A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.*

**LDR Section 3.1.1 Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

**3.1.1(A), Land Use Map**

*The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of GC, and a zoning designation of GC, which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is a preferred zoning district to implement the GC land use designation. Pursuant to LDR Section 4.4.9(B), services and facilities including banks with drive thru facilities are permitted uses within GC. Therefore, the resulting use of land is compatible with the underlying land use.

**3.1.1(B), Concurrency**

*Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Potable Water and Sewer: Water and sewer services exist and will continue to be provided on-site. The potable watermain on the northwest corner will be connected to the existing two-inch meter. Additionally, sanitary sewer will be accommodated through a six-inch PVC sewer line.

Drainage: Drainage and water run-off are addressed through on-site curb inlets and a 12-inch yard drain on the southeast corner of the property.

Transportation: The Transportation Performance Standards (TPS) letter, dated April 29, 2022, states that the proposed project is anticipated to generate less than 20 peak hour trips and meets the TPS of Palm Beach County. The Drive-Through Queueing Analysis dated April 8, 2022, and conducted by McMahon Associates, Inc., provides further details, identifying an average service rate of 2.2 minutes per customer for bank drive thru windows, resulting in an average service capacity of 27.3 vehicles per hour per lane.

Parks and Open Space: Park dedication requirements and fees do not apply to non-residential uses.

Solid Waste: Based on the Palm Beach County Waste Generation Rates, the proposed project is anticipated to generate approximately 7,045 pounds of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: Not Applicable for non-residential development.

**3.1.1(C), Consistency**

*A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The applicable subsections of Article 3.2, Performance Standards, are LDR Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and LDR Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure that new development will not have a negative impact on the sounding area, provide any requisite amenities to enhance the quality of life for its residents when residential units are provided, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards as there are no identified concerns related to the overall consistency with Article 3.2.

**Comprehensive Plan**

A review of the objectives and policies of the adopted Always Delray Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Policy NDC 1.3.10 Use the General Commercial land use designation to accommodate a wide range of non-residential and mixed-use development, and limited stand-alone residential development, along major corridors and in certain districts in the city.

Policy ECP 3.1.6 Promote both good job creation and business ownership opportunities when encouraging the development and diversification of industry clusters.

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element and the Economic Prosperity. The proposal is a financing institution that will add to the diversity of businesses surrounding residential areas and support new development opportunities along West Atlantic Avenue.

**3.1.1(D), Compliance with the LDRs:**

*Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

Standard/Regulation	Review	
<b>Height</b> 4.3.4(K)	<b>Maximum:</b> 48 feet <b>Proposed:</b> 18 feet and 8 inches	
<b>Setback</b> 4.3.4(K)	<b>Required:</b> <b>Front:</b> 10 feet <b>Side Interior:</b> 10 feet <b>Side Street:</b> 10 feet <b>Rear:</b> 10 feet	<b>Proposed:</b> <b>Front (north):</b> 61.9 feet <b>Side Interior (east):</b> 26.5 feet <b>Side Street (west):</b> 49.5 feet <b>Rear (south):</b> 28.3 feet
<b>Open Space</b> 4.3.4(K)	<b>Required:</b> 25% Minimum <b>Proposed:</b> 31.22%	
<b>Lot Coverage</b> 4.3.4(K)	<b>Required:</b> 75% Maximum <b>Proposed:</b> 68.77%	
<b>Landscape Buffer</b> 4.3.4(H)(6)3.	<b>Required:</b> smaller distance of either 30 feet or ten percent of the average depth of the property (14.3 feet); cannot be less than ten feet <b>Proposed:</b> 14.5 feet	



**Other Requirements**

Standard/Regulation	Review
<b>Lighting (Photometric Plan)</b> 4.6.8(A)(3), Illumination Standards: Table 2	The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, drive thru lighting, and lighting at the property line adjacent a parcel or public right-of-way.
<b>Off-Street Parking</b> 4.6.9(C)(3)	<b>Required:</b> 4.5 parking spaces / 1,000 gross square feet = 9 parking spaces  <b>Proposed:</b> 16 parking spaces; one handicap space, four parallel spaces
<b>Bicycle Parking</b> Table 4.6.9(C)-1	<b>Required:</b> Two Type I bicycle parking spaces.  <b>Proposed:</b> Two Type I bicycle parking spaces are provided near the main (west) building entrance.

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.

**Review & Analysis: Landscape Plan****LDR Section 2.4.5(H)(5), Findings**

*At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:*

- (a) Objectives of landscaping regulations Section 4.6.16.;*
- (b) Site and landscape design standards pursuant to Section 4.6.16.*

*An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.*

The proposal includes the removal of eight trees, relocation of six trees, and the protection of a Silver Buttonwood, two Live Oaks, five Solitaire Palms, a Sabal Palm, and one unknown tree species; 10 trees total. The existing trees count for six of the required 13 canopy trees, and the proposal includes the planting of eight new trees. In addition, pursuant to LDR Section 4.6.4(A)(2), *commercially zoned property abutting residentially zoned properties without any division or separation between them (street, alley, railroad, etc.) must provide either a solid masonry wall six feet in height or a continuous hedge at least four and a half feet in height*; the proposal includes the planting of hedges five feet in height along the property lines abutting residential property. The landscape plan has been deemed technically compliant by the Senior Landscape Planner.

**Review & Analysis: Architectural Elevations****LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings**

*At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.*

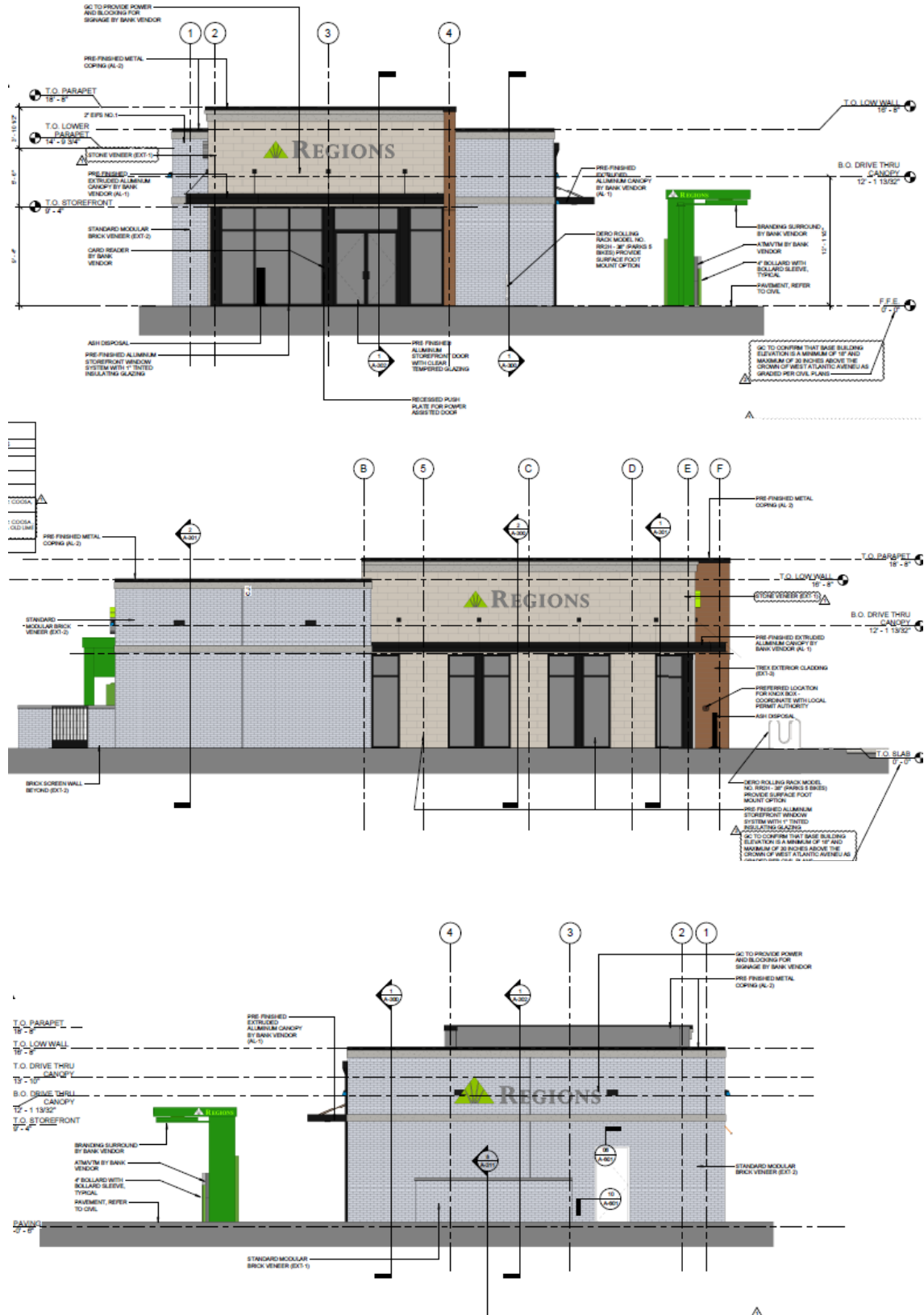
**LDR Section 4.6.18, Architectural Elevations and Aesthetics****(A) Minimum Requirements**

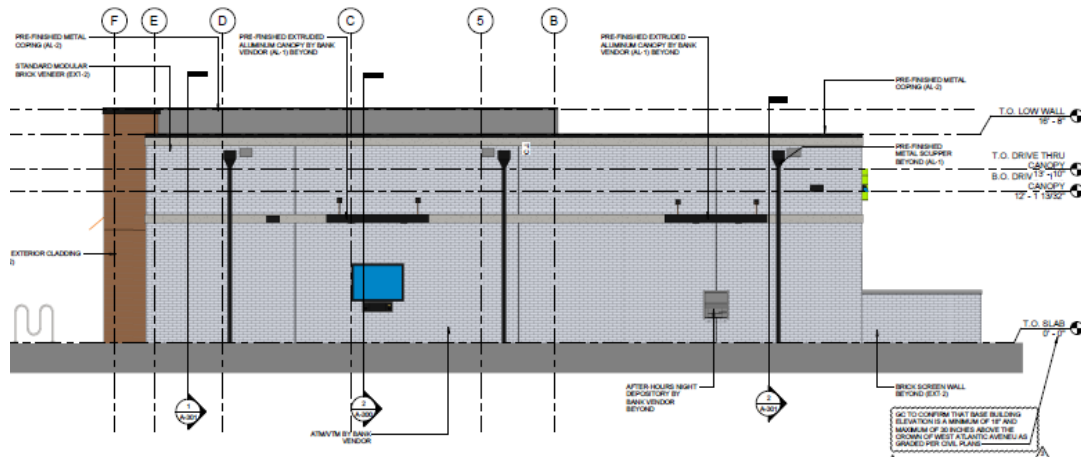
- The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
- It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

The proposed elevations have been reviewed for compliance with Section 4.6.18 and are deemed in compliance with minimum standards.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT





### (B) Building and structure requirements.

The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. The project utilizes materials, colors, and finishes compatible with its surroundings.

### (E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed development is generally in conformity with good taste and good design. The project is anticipated to enhance the appearance of the West Atlantic Avenue corridor and further encourage activity west of the central core downtown. The new building and improved site is also anticipated to be harmonious with other developments along the corridor, as it incorporates many elements such as color and material in the surrounding buildings. The elevation facing West Atlantic Avenue will be the most visible and includes a large area of wall void of any openings. While the texture of the painted brick adds interest, the applicant could consider the inclusion of a mural on the façade – through a separate application and review by the Public Arts Advisory Board – to further enhance the elevation and add interest along the busy corridor, which would be visible to the increased pedestrian and bicycle traffic, as well as the vehicular traffic.

### Optional Board Motions

- A. Move **approval** of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move **approval, as amended**, of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class V Site Plan (2022-201), Landscape Plan, and Architectural Elevations for **Regions West Atlantic**, a 1,904 square foot bank with a drive thru facility, located at **4760 West Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to continue with direction.



# PRELIMINARY LAND DEVELOPMENT PLANS

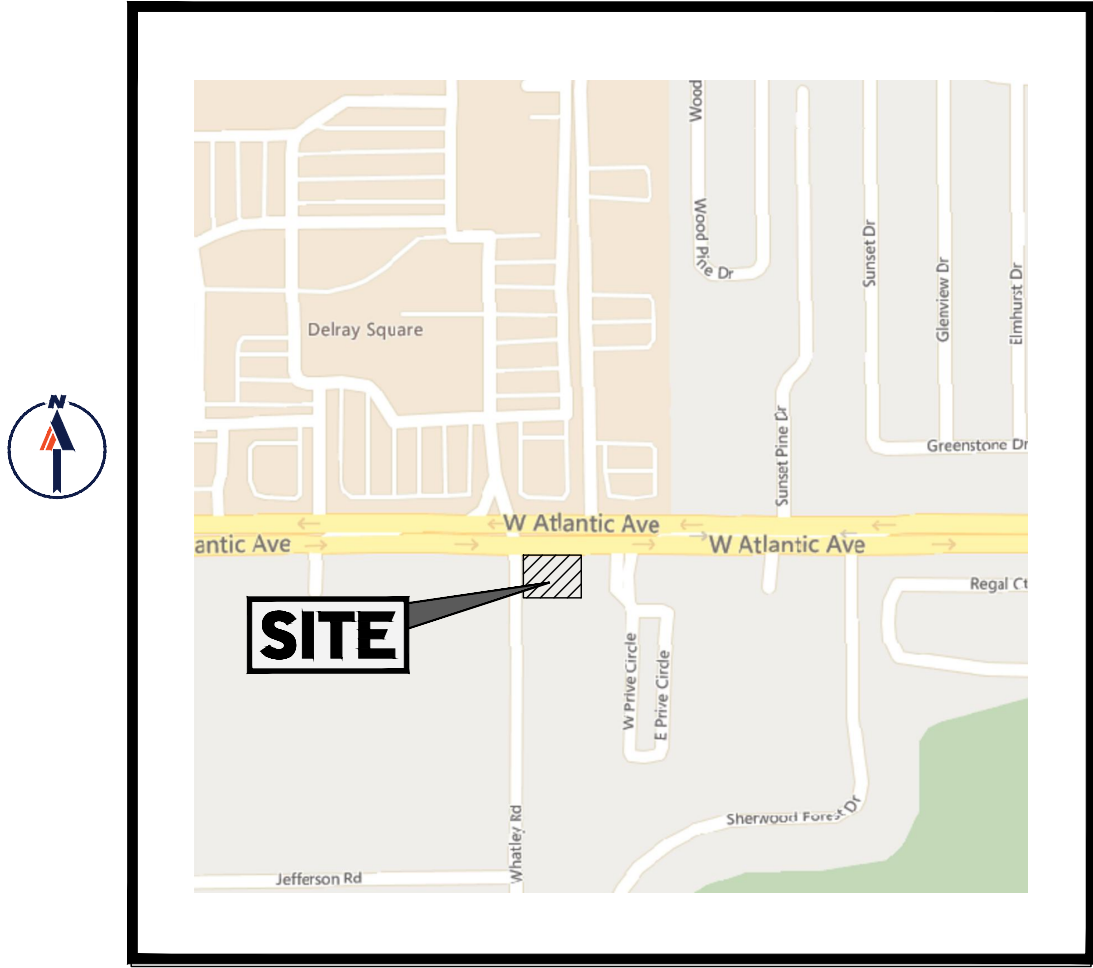
## FOR WAGNER PROPERTY GROUP PROPOSED SITE IMPROVEMENTS

LOCATION OF SITE  
4760 W ATLANTIC AVENUE, DELRAY BEACH  
PALM BEACH COUNTY, FL 33445

### REFERENCES AND CONTACTS

- REFERENCES**
- ♦ALTANSPS LAND TITLE SURVEY:  
BOHLER ENGINEERING  
1900 CORPORATE BLVD NW., SUITE 101E  
BOCA RATON, FL 33431  
DATED: 03/11/22 (REV.0)  
FLB22003  
ELEVATIONS: NAVD 1988
  - ♦GEOTECHNICAL INVESTIGATION  
REPORT:  
PROFESSIONAL SERVICES INDUSTRIES (PSI)  
7950 NW 64TH ST  
MIAMI, FL 33166  
DATED: 03/08/22
  - ♦ARCHITECTURAL PLAN:  
BDG ARCHITECTS  
2100 FIRST AVE N, SUITE 100  
BIRMINGHAM, AL 35203  
DATED: 05/12/22
  - ♦LANDSCAPING PLAN:  
BOHLER ENGINEERING  
1900 CORPORATE BLVD NW., SUITE 101E  
BOCA RATON, FL 33431  
DATED: 05/16/22 (REV.0)  
FLB22003
  - ♦LIGHTING PLAN:  
SESICO LIGHTING  
737 SHOTGUN RD  
FT. LAUDERDALE, FL 33326  
DATED: 05/16/22
- GOVERNING AGENCIES**
- ♦PLANNING, ZONING COMMITTEE  
KENT WALIA - SENIOR PLANNER  
DEVELOPMENT SERVICES DEPARTMENT  
100 NW 1ST AVE  
DELRAY BEACH, FL 33444  
PHONE: (561) 243-7365  
FAX: (561) 243-7221
  - ♦BUILDING DEPARTMENT  
CITY OF DELRAY BEACH  
100 NW 1ST AVE  
DELRAY BEACH, FL 33444  
PHONE: (561) 243-7200
  - ♦FIRE DEPARTMENT  
501 WEST ATLANTIC AVENUE  
DELRAY BEACH, FL 33444  
PHONE: (561) 243-7400
  - ♦SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
3301 GUN CLUB RD  
WEST PALM BEACH, FL 33406  
PHONE: (561) 686-8800
  - ♦PALM BEACH COUNTY TRAFFIC DIVISION  
2300 NORTH JDG RD, 3RD FLOOR  
WEST PALM BEACH, FL 33411  
PHONE: (561) 684-4030
  - ♦FDOT  
7900 FOREST HILL BOULEVARD  
WEST PALM BEACH, FL 33413  
PHONE: (561) 370-1134
- UTILITIES**
- ♦WATER AND SEWER  
VICTOR MAJTENYI - DEPUTY DIRECTOR OF UTILITIES  
CITY OF DELRAY BEACH UTILITY DEPARTMENT  
434 SOUTH SWINTON AVENUE  
DELRAY BEACH, FLORIDA 33444  
561-243-7328

\* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



LOCATION MAP  
SCALE: 1"=500'

**DEVELOPER**  
WAGNER PROPERTY GROUP  
4211 W BOY SCOUT BLVD | SUITE 620  
TAMPA, FL 33607  
SARAH LIAKOS  
C: 813-284-7978

PREPARED BY

**BOHLER**

CONTACT: ANDREW SAVAGE, PE

### LEGAL DESCRIPTION

LOTS 8 AND 9, COUNTRY CLUB ACRES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**GENERAL NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, REGULATION AND CODES.

**bdg**  
architects

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Lic. #1AA - 0003590  
W: www.bdgllp.com

**REGIONS**

REGIONS DELRAY BEACH  
RELOCATION

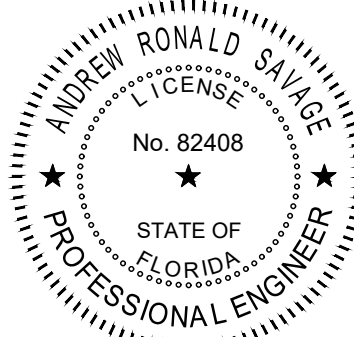
4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

### SHEET INDEX

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THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MOCHES OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUBMITTER AND CONDUCTOR OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY DESIGNABLE OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO COMMENCING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.



2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

**PROJECT INFORMATION BLOCK**  
JOB # 213225  
DATE: 5/13/22  
DRAWN BY: ML  
CHECKED BY: AS

SHEET TITLE

**COVER SHEET**

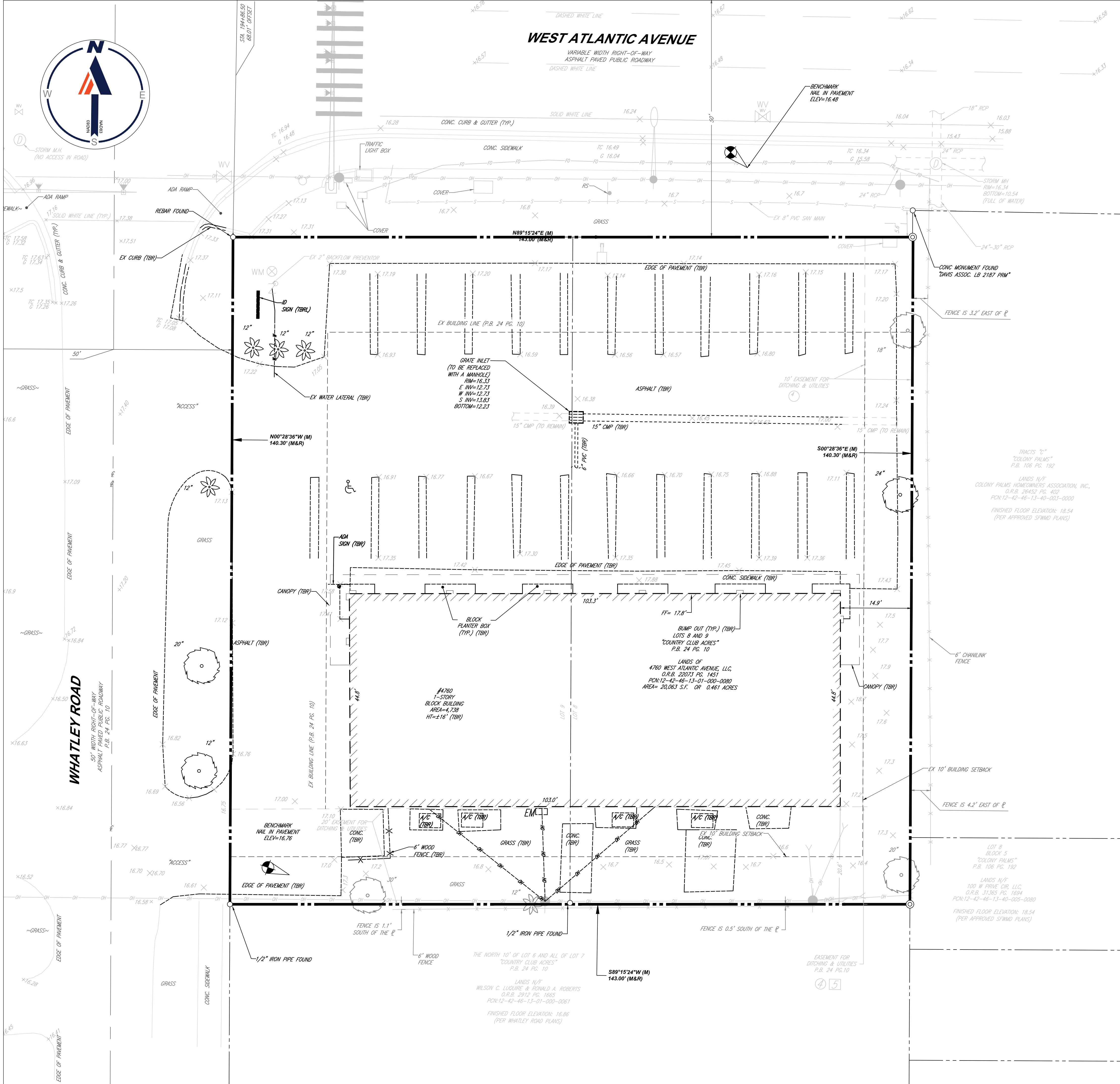
SHEET NUMBER

C-101









DEMOLITION/REMOVAL LEGEND	
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
(TBR)	TO BE REMOVED
(TBR)	TO BE RELOCATED
---	CONCRETE CURB & GUTTER
---	TYPICAL SIGN
○	BOLLARD

- DEMOLITION NOTES:**
- BOHLER FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
  - PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
    - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
    - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
    - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
    - LOCATE/CA/ ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
    - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
    - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
    - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
    - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK, INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL REGULATIONS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
  - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND APPLICABLE CODES.
  - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  - ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, XERIC UPLANDS, WETLANDS, CUTTHROAT GRASS SEEPS, HISTORICAL, AND ARCHAEOLOGICAL RESOURCES, OR CONES OF INFLUENCE FOR POTABLE WELLS, AQUIFER RECHARGE AREAS, SOIL TYPES, AND VEGETATIVE COVER LOCATED WITHIN PROJECT LIMITS.
  - CIVIL DEMOLITION PLAN IS BASED OFF OF THE SURVEY DATED 03/11/22. IF ITEMS ARE NOT SHOWN IN THE SURVEY, CONTRACTOR TO COORDINATE WITH OWNER TO CONFIRM IF ITEM(S) ARE TO REMAIN OR BE DEMOLISHED.



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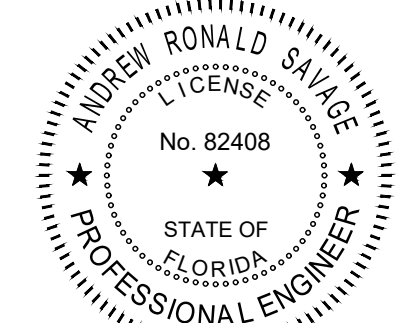


**REGIONS DELRAY BEACH  
RELOCATION**

4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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ANDREW RONALD STAVE  
LICENSE  
No. 82408  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
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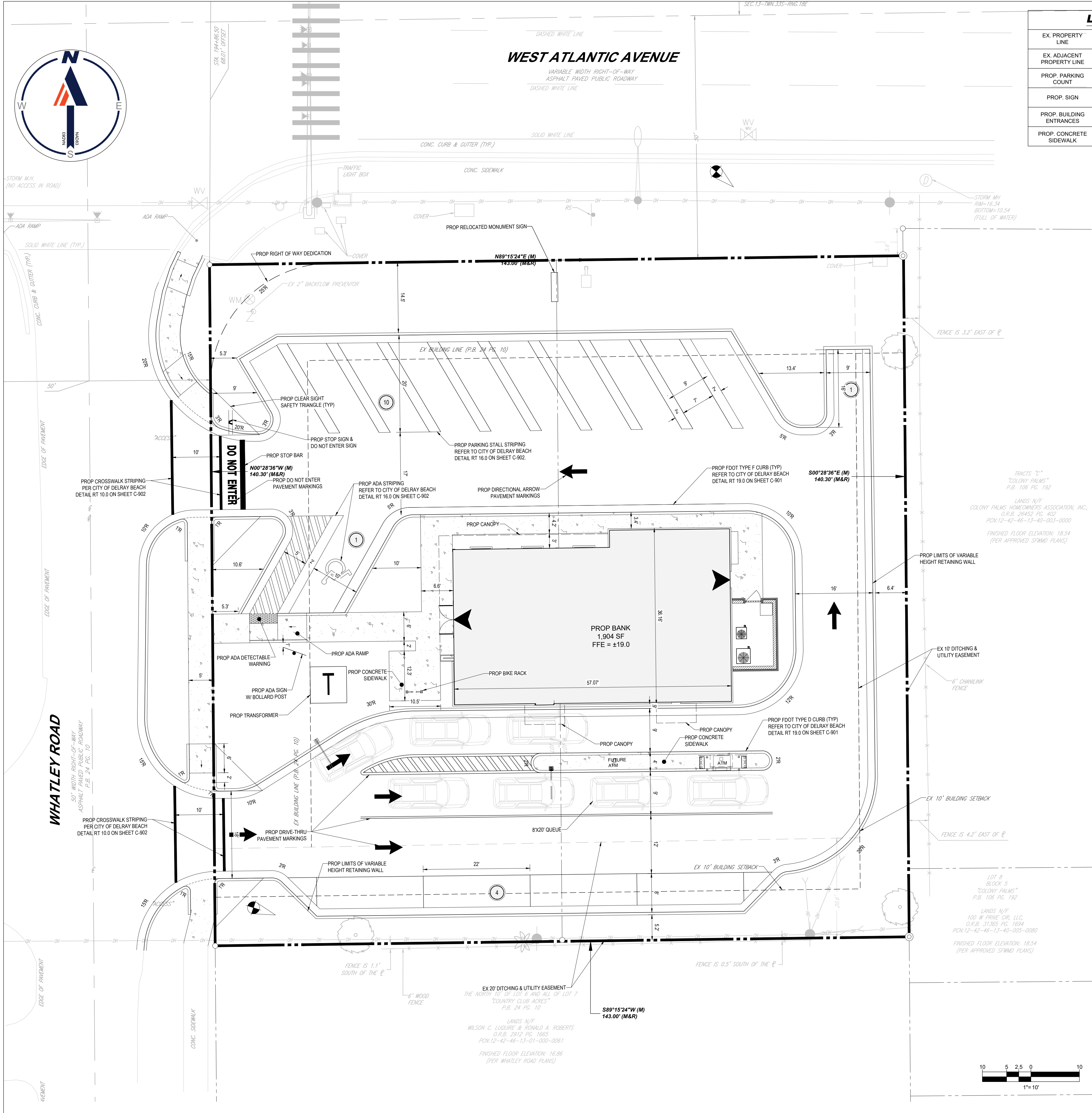
SHEET TITLE

**DEMOLITION PLAN**

SHEET NUMBER

C-201





LEGEND	
EX. PROPERTY LINE	---
EX. ADJACENT PROPERTY LINE	----
PROP. PARKING COUNT	⊕
PROP. SIGN	▲
PROP. BUILDING ENTRANCES	▲
PROP. CONCRETE SIDEWALK	▨

SITE DATA TABLE		
JURISDICTION	CITY OF DELRAY BEACH	
CURRENT ZONING	GENERAL COMMERCIAL	
PROPOSED ZONING	GENERAL COMMERCIAL	
OVERLAY DISTRICT	N/A	
FUTURE LAND USE	COMMERCIAL	
FEMA FLOOD DESIGNATION	FLOOD ZONE X	
TOTAL SITE AREA	±20,063 SF (0.46 AC)	
TOTAL EXISTING BUILDING AREA (PER 2022 SURVEY)	4,738 SF	
TOTAL PROPOSED BUILDING AREA	1,904 SF	
MAX. ALLOWED BUILDING HEIGHT	42'	
PROPOSED BUILDING HEIGHT	18' - 8"	
OPEN SPACE	MINIMUM	PROVIDED
	25.00%	31.22%
IMPERVIOUS SURFACE RATIO (ISR)	MAXIMUM	PROVIDED
	75.00%	68.77%
SITE AREA BREAKDOWN		
	EXISTING	PROPOSED
IMPERVIOUS AREA:	15,860 SF (79.05%)	13,798 SF (68.77%)
PERVIOUS AREA:	4,203 SF (20.95%)	6,265 SF (31.22%)
SETBACKS		
	REQUIRED PER CODE (REQUIRED PER PLAT BOOK 24 PG 10)	PROVIDED
BUILDING SETBACKS		
FRONT (ATLANTIC AVENUE) SETBACK	10' (20')	61.9'
SIDE 1 (WHITLEY ROAD) SETBACK	10' (20')	49.5'
SIDE 2 SETBACK	10'	26.5'
REAR SETBACK	10'	28.3'
LANDSCAPE BUFFER SETBACKS	REQUIRED PER CODE	PROVIDED
FRONT (ATLANTIC AVE) SETBACK	14.3'	14.5'
SIDE 1 (WHITLEY RD) SETBACK	5'	5.3'
SIDE 2 SETBACK	5'	6.4'
REAR SETBACK	5'	5.2'
PARKING		
	REQUIRED: 1 SPACE	PROVIDED: 1 SPACE
PARKING REQUIRED	4.5 SPACES PER 1,000 SF: 9 SPACES	
	NUMBER OF PARKING SPACES	PARKING RATIO PER 1,000 SF
EXISTING PARKING	24	5.06
PROVIDED PARKING	16	8.40
ADA SPACES	REQUIRED: 1 SPACE	PROVIDED: 1 SPACE

SITE NOTES:

- THE PROPOSED ACTIVITIES SHALL COMPLY WITH CITY OF DELRAY BEACH DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS, AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH F.D.O.T. AND CITY OF DELRAY BEACH LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADII DIMENSIONS ARE 3' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE, OR SCREENING, ETC.
- STANDARD INDICES REFER TO THE LATEST VERSION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY AND BRIDGE CONSTRUCTION".
- NO LANE CLOSURES ARE ALLOWED BETWEEN 5:00 A.M. AND 7:30 P.M. THE F.D.O.T. RESERVES THE RIGHT TO REQUIRE DIFFERENT HOURS OF LANE CLOSURE. ALL LANE CLOSURES MUST BE APPROVED BY THE DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE LANE CLOSURE IN ACCORDANCE WITH THE DISTRICT LANE CLOSURE POLICY.
- ALL POTABLE WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
- A FDP WATER AND WASTEWATER PERMITS MUST BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- PROPER DOCUMENTATION FOR ALL PUBLIC UTILITY EASEMENTS SHALL BE PROVIDED TO THE PROPERTY MANAGEMENT DEPARTMENT PRIOR TO CERTIFICATE OF COMPLETION.
- UTILITY RECORD DRAWINGS ARE REQUIRED PRIOR TO PLACING THIS WATER AND WASTEWATER FACILITIES INTO SERVICE. PLEASE SEE THE ADDITIONAL INFORMATION SECTION FOR INSTRUCTIONS.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2.

RIGHT-OF-WAY NOTES:

- A RIGHT-OF-WAY USE PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT THE TIME OF PERMIT APPLICATION.
- ALL AREAS WITHIN THE COUNTY OR F.D.O.T. RIGHT-OF-WAY DISTURBED THROUGH THE COURSE OF CONSTRUCTION WILL BE RE-GRADED AND SODDED.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO PROTECT ALL COUNTY OR F.D.O.T. OWNED AND/OR MAINTAINED INFRASTRUCTURE. ANY/ALL COSTS ASSOCIATED WITH ALTERATIONS OR REPAIRS MADE NECESSARY BY THIS DEVELOPMENT SHALL BE BORNE BY EITHER THE OWNER, DEVELOPER AND/OR CONTRACTOR. SPLICES IN THE FIBER OPTIC CABLE, SIGNALIZATION OR ROADWAY LIGHTING CONDUCTORS OR THE ADDITION OF ADDITIONAL PULL/JUNCTION BOXES WILL NOT BE PERMITTED. IN THE EVENT A CABLE IS CUT, DAMAGED OR REQUIRES RELOCATION, THE CABLE(S) SHALL BE RESTORED BACK TO THE ORIGINAL CONFIGURATION. ORIGINAL CONFIGURATION IS DEFINED AS SYSTEM STATUS, LAYOUT AND DESIGN PRIOR TO ANY WORK COMMENCING.
- FOR UTILITIES TO BE RELOCATED BY THE UTILITY PROVIDER, CONTRACTOR SHALL COORDINATE DEMOLITION SCHEDULE WITH UTILITY PROVIDERS. DEMOLITION OF SIDEWALKS AND DRIVEWAYS SHALL OCCUR PRIOR TO UTILITY RELOCATIONS.

ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



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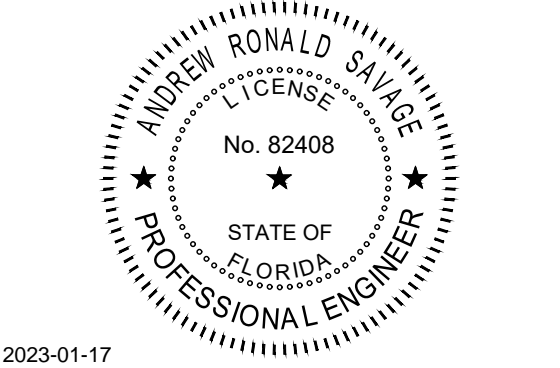


REGIONS DELRAY BEACH  
RELOCATION

4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
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PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
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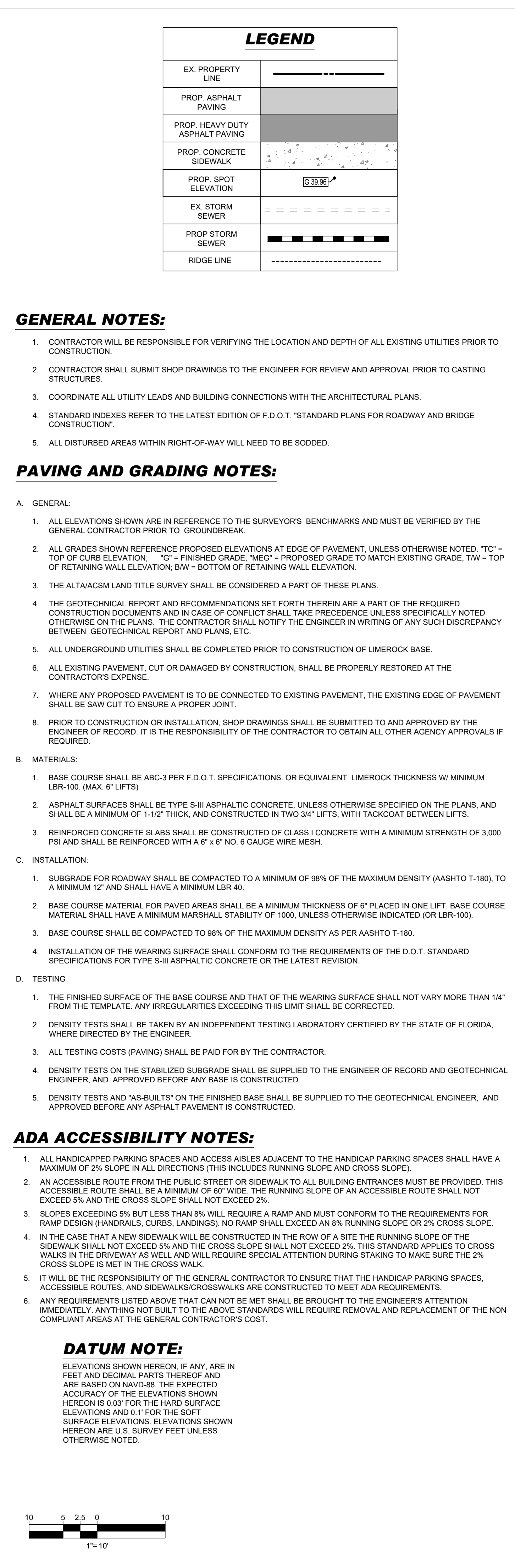
SHEET TITLE

SITE LAYOUT  
PLAN

SHEET NUMBER

C-301





**GENERAL NOTES:**

1. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CASTING STRUCTURES.
3. COORDINATE ALL UTILITY LEADS AND BUILDING CONNECTIONS WITH THE ARCHITECTURAL PLANS.
4. STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "STANDARD PLANS FOR ROADWAY AND BRIDGE CONSTRUCTION".
5. ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WILL NEED TO BE SODDIED.

4. GENERAL:

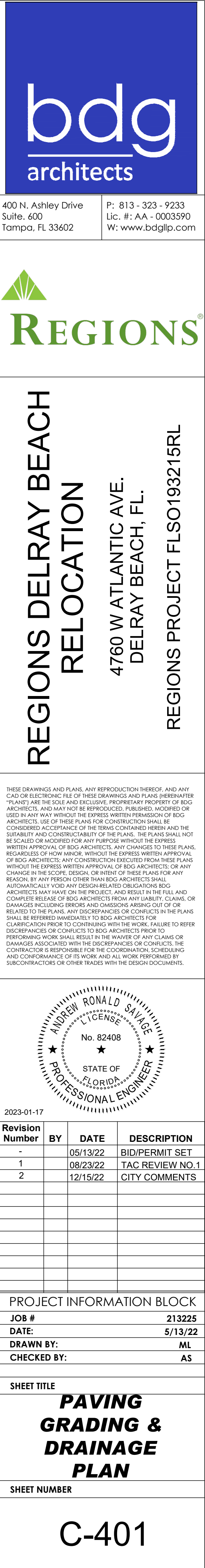
1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
2. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TC" = TOP OF CURB ELEVATION. "G" = FINISHED GRADE. "MEG" = PROPOSED GRADE TO MATCH EXISTING GRADE. "TW" = TOP OF RETAINING WALL ELEVATION. "BW" = BOTTOM OF RETAINING WALL ELEVATION.
3. THE ALTA/ACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
4. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
5. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
6. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
7. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
8. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

- MATERIALS:**
1. BASE COURSE SHALL BE ABC-3 PER F.D.O.T. SPECIFICATIONS. OR EQUIVALENT LIMEROCK THICKNESS W/ MINIMUM LBR-100. (MAX. 6" LIFTS)
  2. ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK, AND CONSTRUCTED IN TWO 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS.
  3. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.
- C. INSTALLATION:**
1. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180), TO A MINIMUM 12" AND SHALL HAVE A MINIMUM LBR 40.
  2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
  3. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM TO THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.
- D. TESTING**
1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE, ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
  2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
  3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
  4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
  5. DENSITY TESTS AND "AS-BUILT" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

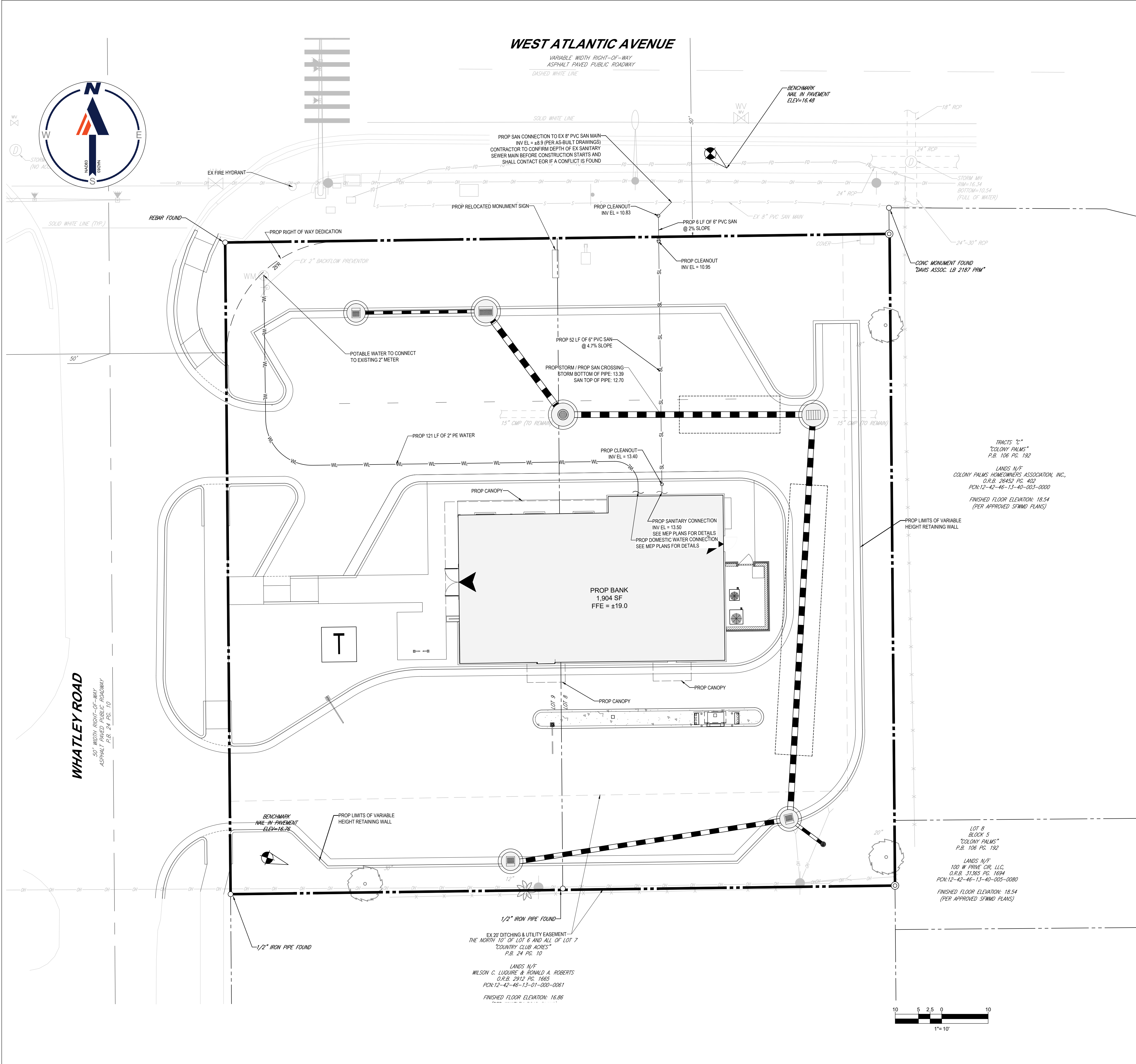
1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDICAP ACT AND ADA REGULATIONS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.

ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING LISTED ABOVE THAT THE ENGINEER BELIEVES WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

ELEVATIONS SHOWN HEREON, IF ANY, ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON NAVD-88. THE EXPECTED ACCURACY OF THE ELEVATIONS SHOWN HEREON IS 0.03' FOR THE HARD SURFACE ELEVATIONS AND 0.1' FOR THE SOFT SURFACE ELEVATIONS. ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.







UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SAN #	SANITARY LABEL	SAN #
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM STRUCTURES	

NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT.
- MAINTAIN MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION AT ALL WATER AND SEWER CROSSINGS. CONTRACTOR SHALL ADJUST ELEVATION OF WATER AS NEEDED TO MAINTAIN ADEQUATE SEPARATION AND BURIAL DEPTH.
- CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, ETC. TO MATCH FINAL GRADE.
- ALL REPLACED/AFFECTED LIGHT POLE CONCRETE BASES ARE TO BE COATED WITH A PORTLAND/SAND MIXTURE TO FILL ALL VOIDS IN THE CONCRETE AND PROVIDE BASE WITH A HAND RUBBED FINISH. BASES ARE TO THEN BE SEALED WITH A CLEAR CONCRETE SEALANT AND MARKED WITH REFLECTIVE TAPE PER THE DETAIL.
- CONTRACTOR SHALL PROVIDE A TOTAL CONTAINMENT SYSTEM FOR ABRASIVE BLASTING OF EXISTING LIGHT POLE BASES TO ENSURE THAT NO MATERIAL IS ALLOWED TO EXIT THE SITE.
- ALL REPLACED/AFFECTED LIGHT POLES TO BE REPAINTED. MATCH EXISTING COLOR.
- RELOCATE EXISTING LIGHT POLES TO LOCATIONS INDICATED.
- EXISTING UTILITY LINE LOCATION IS BASED ON ORIGINAL CONSTRUCTION PLANS. THE EXACT LOCATION WAS UNABLE TO BE VERIFIED IN THE FIELD. CONTRACTOR TO VERIFY EXACT LOCATION OF THE EXISTING UTILITY LINE PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- SEE ARCH/MEP PLANS FOR UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR TO USE CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF THE EXISTING WATER LINE. ANY DAMAGES TO UTILITIES ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SANITARY SEWER AND WATER MATERIALS AND METHODS SHALL CONFORM TO DELRAY BEACH, FL UTILITY STANDARDS.
- EXISTING IRRIGATION SYSTEM TO BE EXTENDED TO NEW ISLAND LOCATION. CONTRACTOR SHALL ENSURE FUNCTIONAL IRRIGATION SYSTEM AS PART OF PROJECT.
- WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
- CONTRACTOR TO ABANDON THE EXISTING SEWER LATERAL WHEN FOUND DURING CONSTRUCTION WHILE FOLLOWING CITY OF DELRAY BEACH UTILITY STANDARDS.



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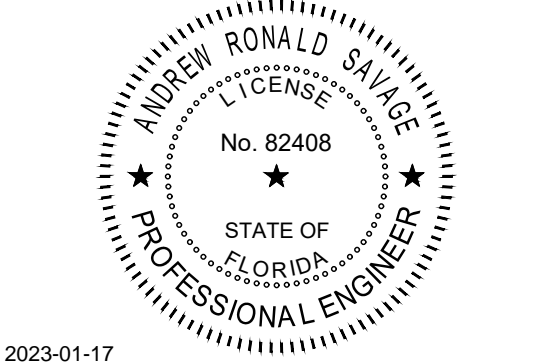


REGIONS DELRAY BEACH  
RELOCATION

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DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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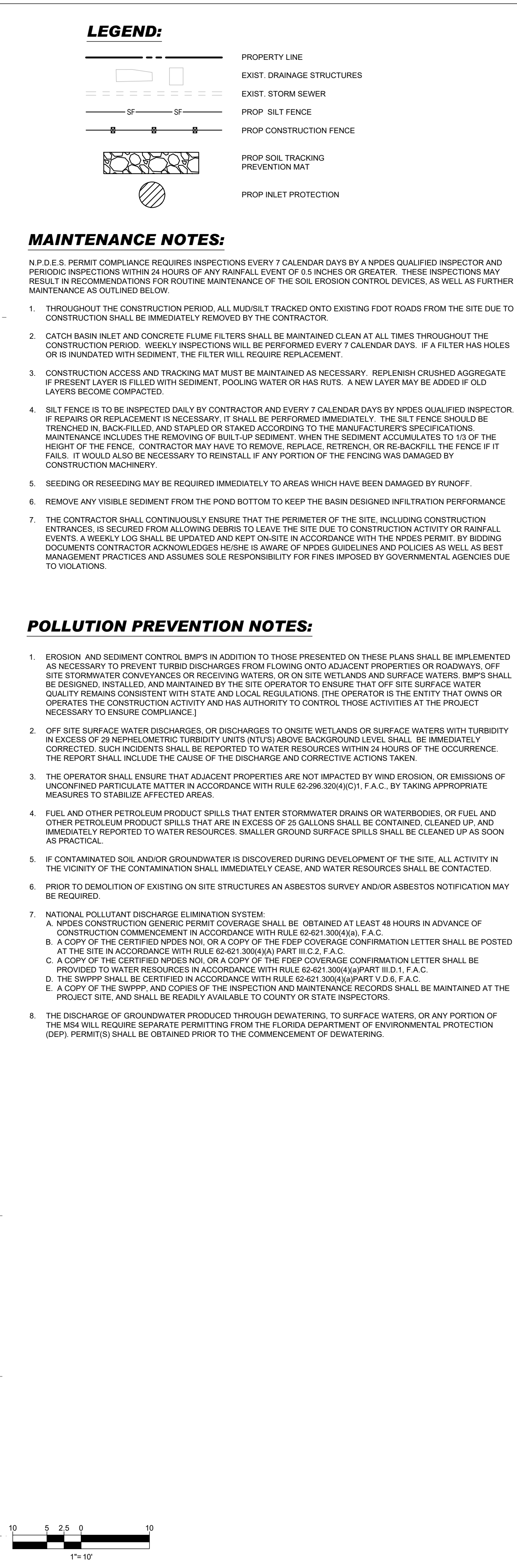
SHEET TITLE

UTILITY PLAN

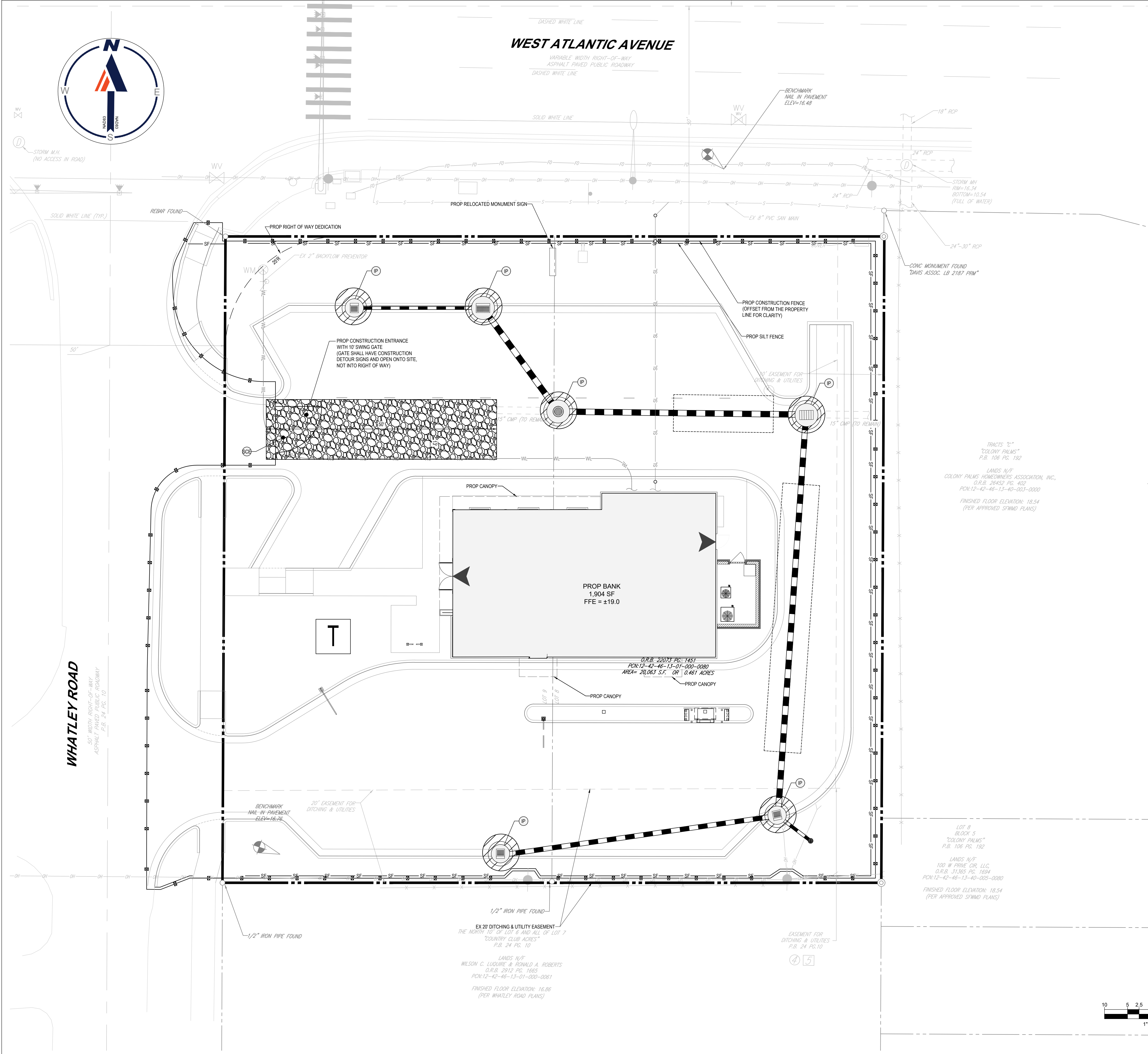
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C-501









LEGEND:

- PROPERTY LINE
- EXIST. DRAINAGE STRUCTURES
- EXIST. STORM SEWER
- PROP SILT FENCE
- PROP CONSTRUCTION FENCE
- PROP SOIL TRACKING PREVENTION MAT
- PROP INLET PROTECTION

MAINTENANCE NOTES:

N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.

- THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING FOOT ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
- CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
- CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
- SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY NPDES QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT. WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE, CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
- REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE BASIN DESIGNED INFILTRATION PERFORMANCE.
- THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE, INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

POLLUTION PREVENTION NOTES:

- EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE].
- OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 20 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
- PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
  - A. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
  - B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART III C.2, F.A.C.
  - C. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART III D.1, F.A.C.
  - D. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V D.6, F.A.C.
  - E. A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS.
- THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE MSA WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.

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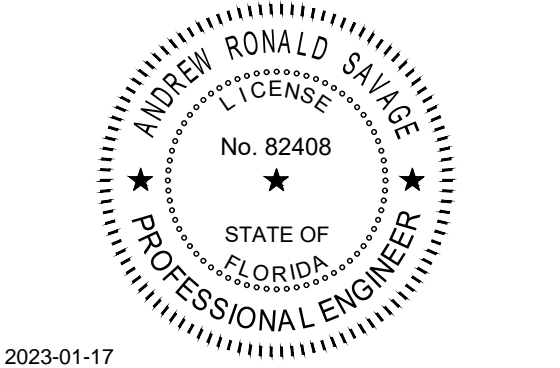
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**REGIONS**  
RELOCATION

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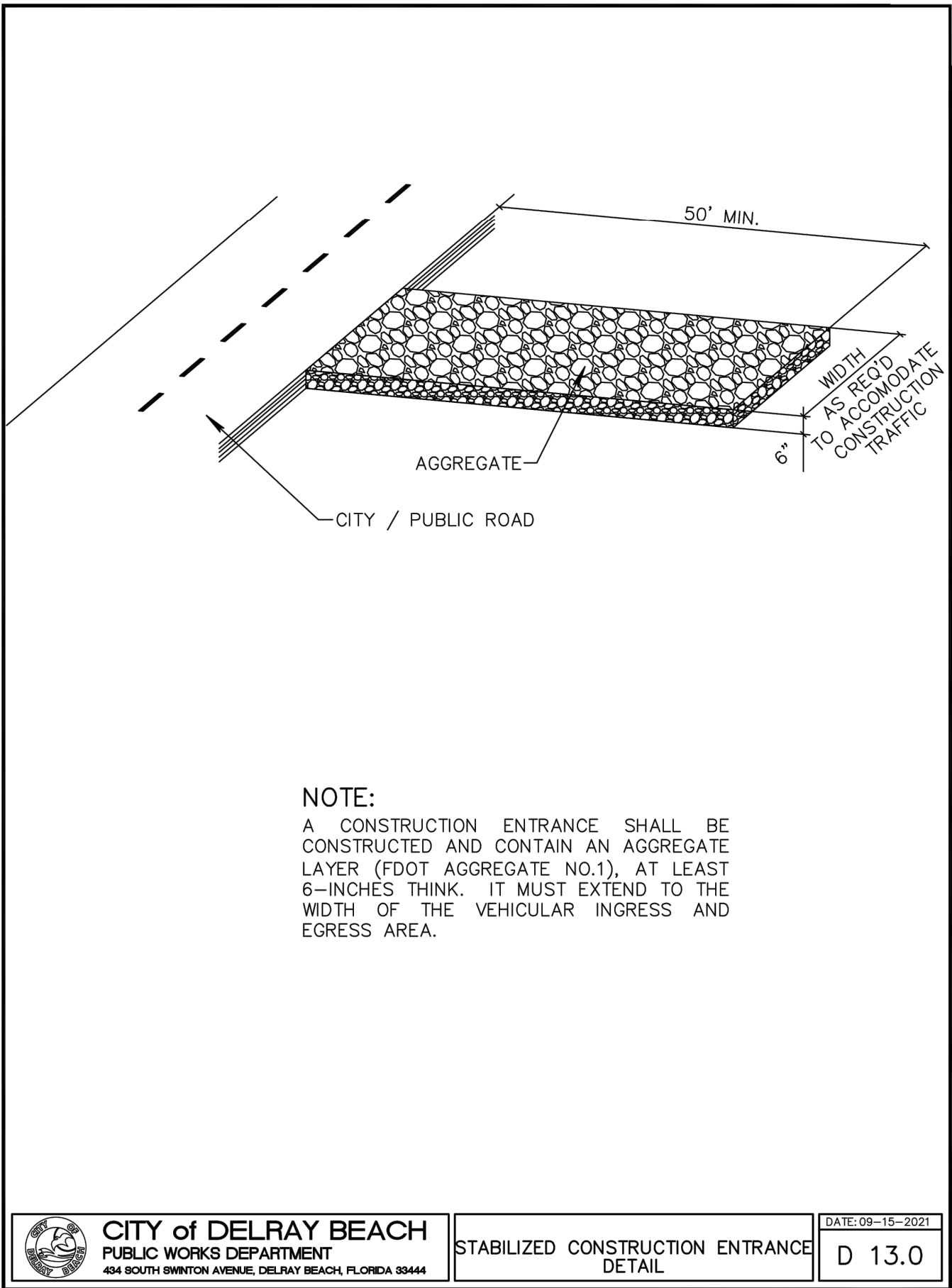
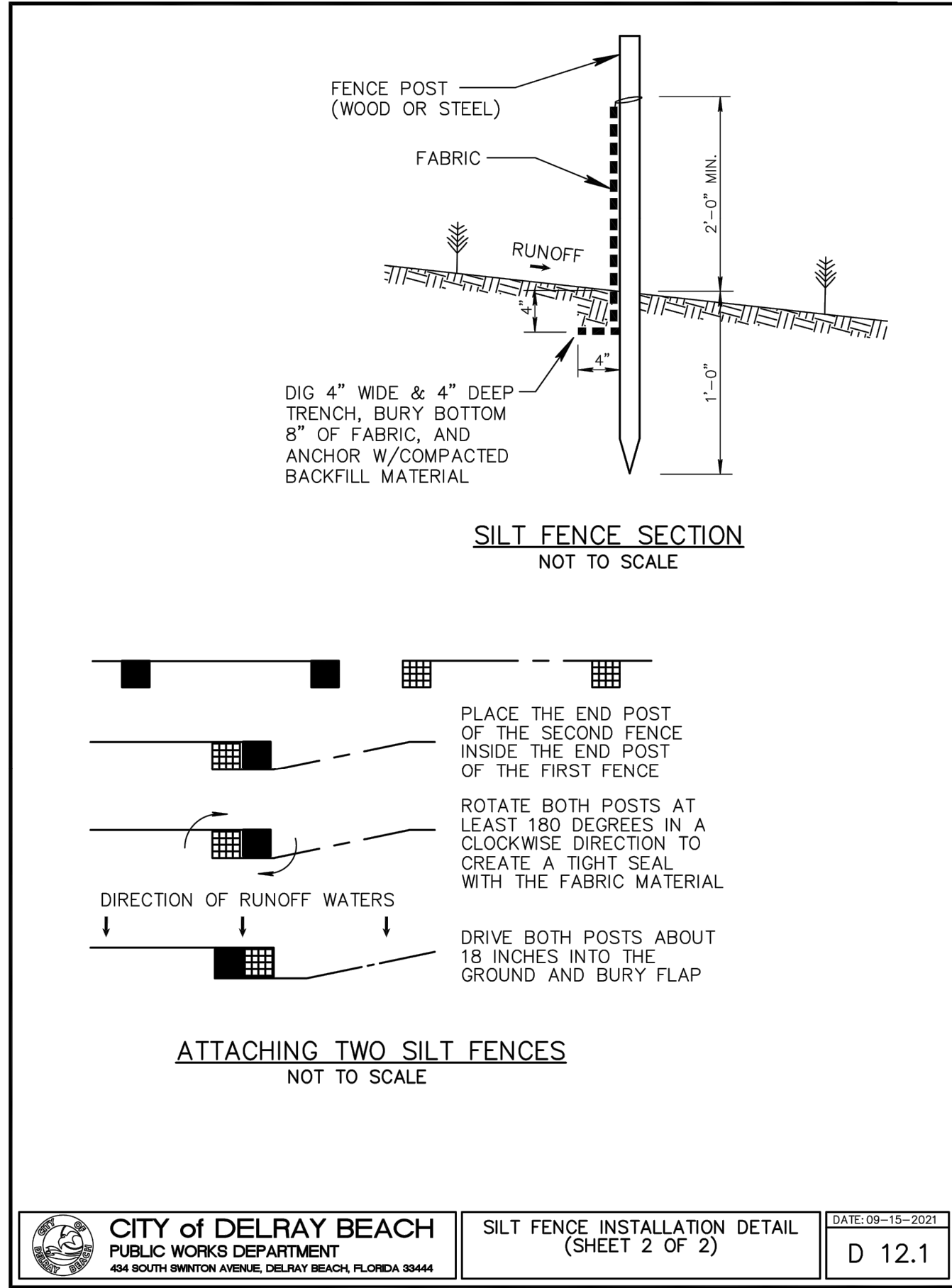
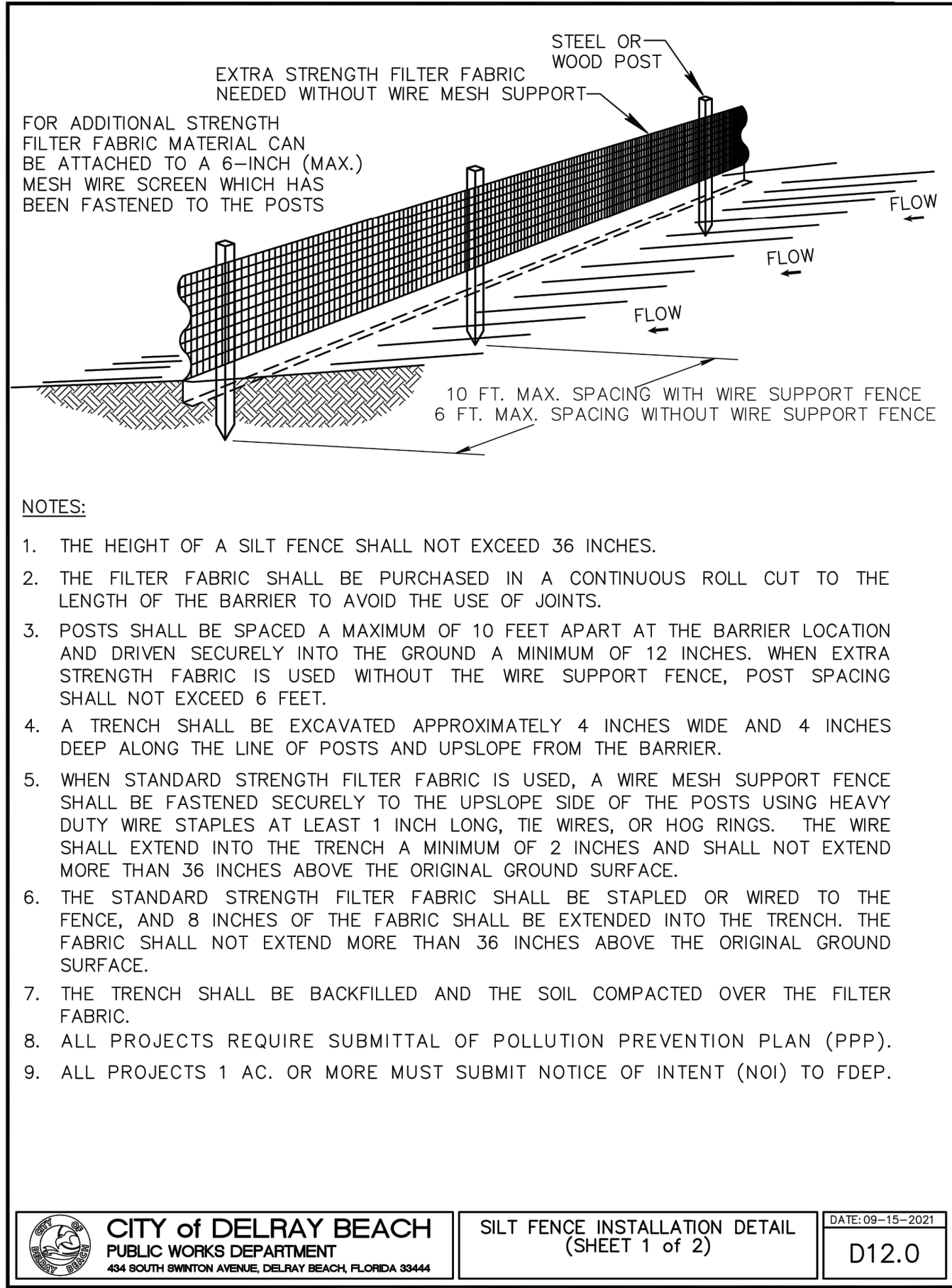
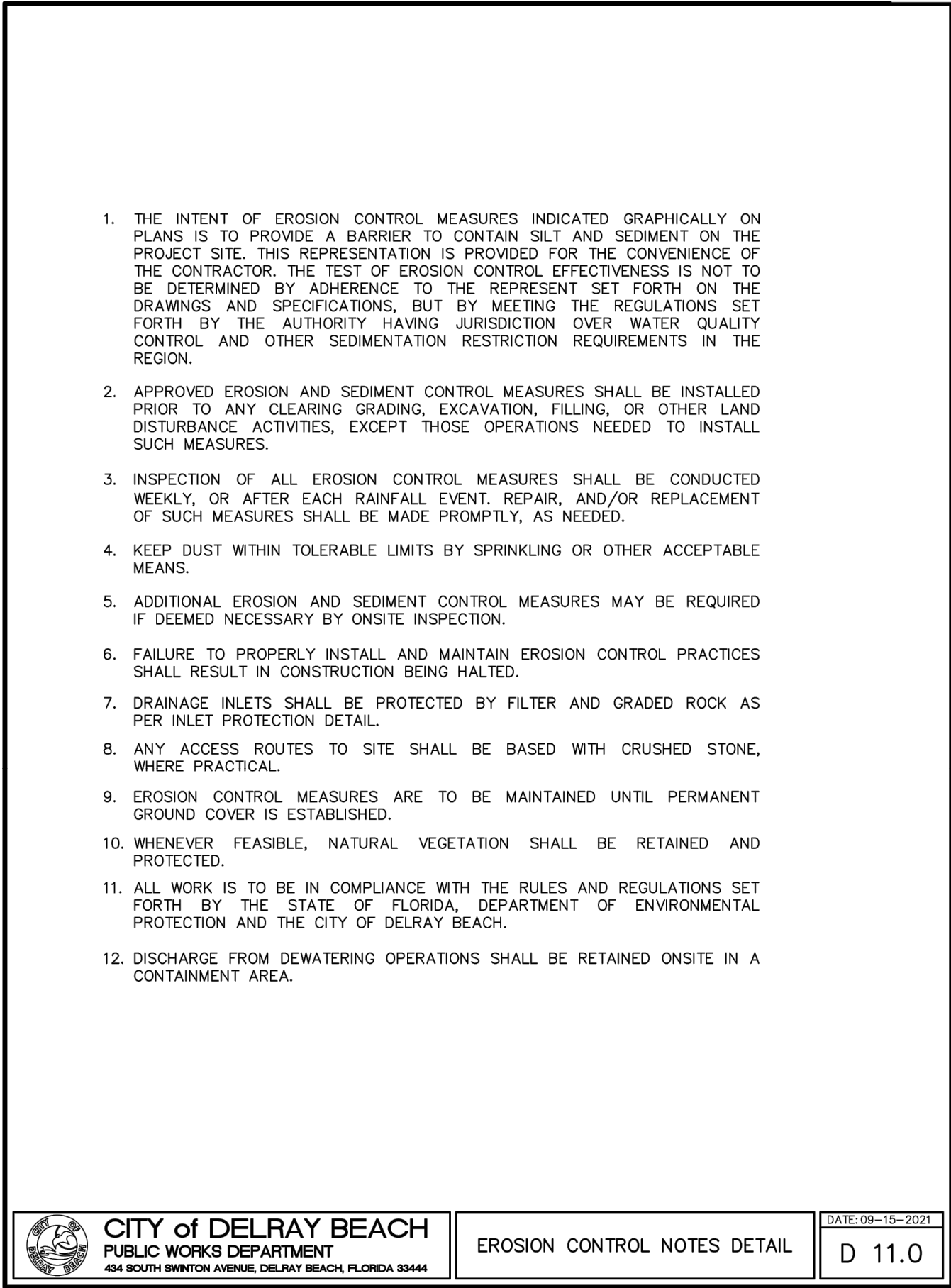
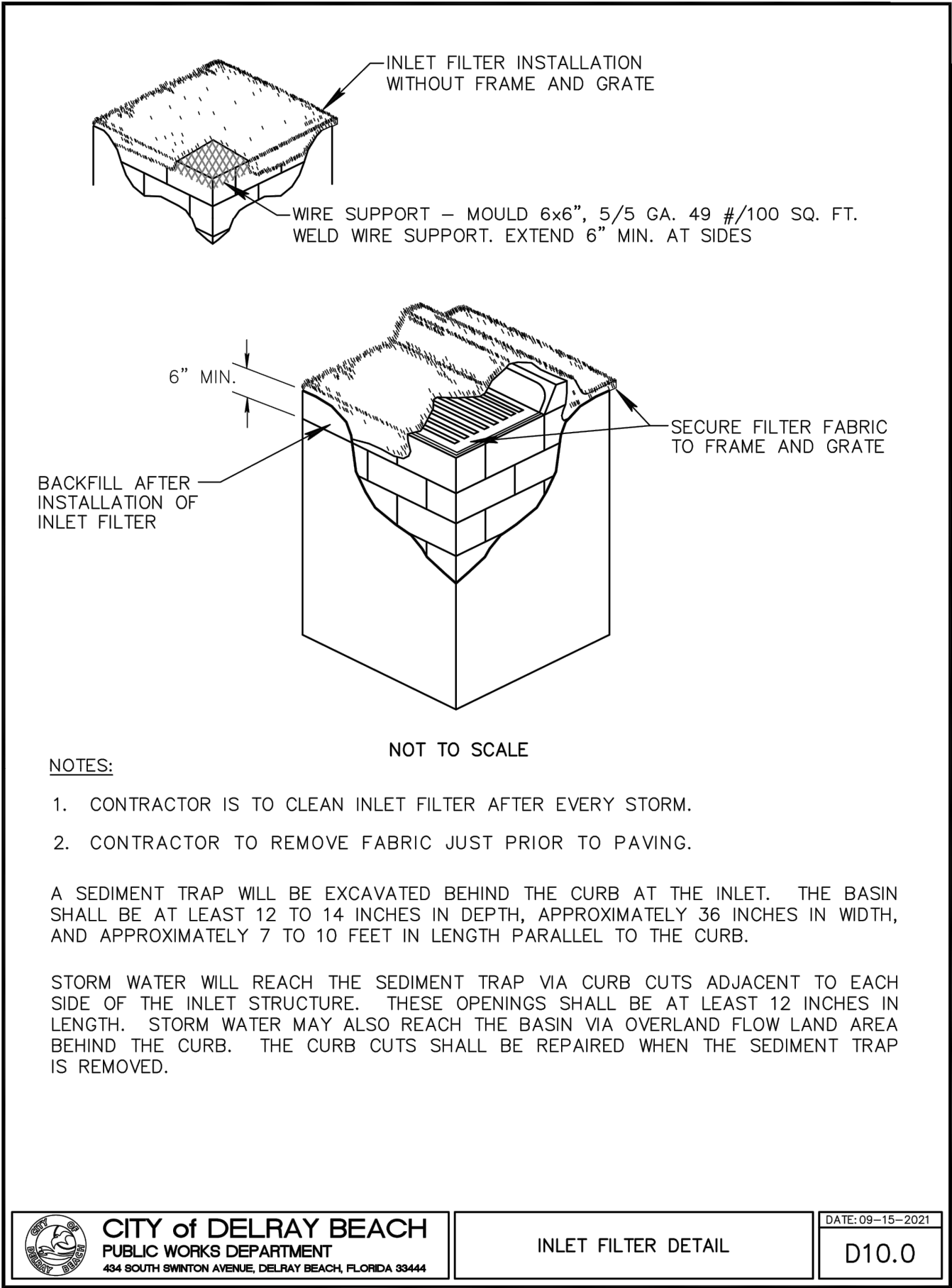
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PROJECT INFORMATION BLOCK			
JOB #	213225		
DATE:	5/13/22		
DRAWN BY:	ML		
CHECKED BY:	AS		

SHEET TITLE	
<b>STORMWATER POLLUTION PREVENTION PLAN PHASE 2</b>	
SHEET NUMBER	

C-602





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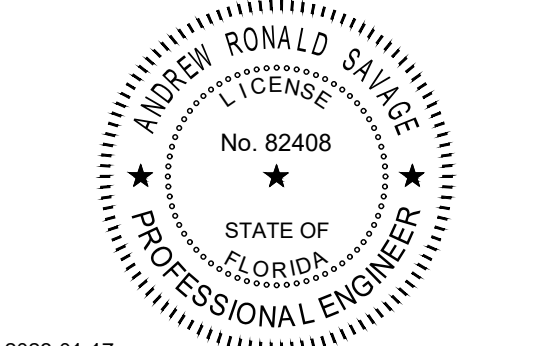


REGIONS DELRAY BEACH  
RELOCATION

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SHEET TITLE

**STORMWATER  
POLLUTION  
PREVENTION  
DETAILS**

SHEET NUMBER

C-603







## GENERAL

## REFERENCES

- A. Where referenced standards conflict with other specified requirements, the more restrictive or stringent requirements shall govern. Comply with applicable requirements of the following standards:
1. American National Standards Institute (ANSI): Z60.1 American National Standards for Nursery Stock (Sponsor: American Association of Nurserymen, Inc.)
  2. National Arborist Association, ~537 Stratford Rd., Wantagh, NY 11793 (NAA): Ref. 1 Transplanting of Trees and Shrubs in the Southeastern United States.
  3. Florida Department of Agriculture and Consumer Services: Grades and Standards for Nursery Plants.

### DESCRIPTION

- A. Plant materials to be relocated on site are indicated on the Drawings. Those not shown will be relocated as directed by the City.
- B. The person (foreman or superintendent) in charge of and responsible for the CONTRACTOR's tree relocation crews shall have a minimum 10 years experience in transplanting of plant materials, shall be recognized by the American Association of Nurserymen, be a resident of California and have a valid driver's license.
- C. Existing trees to remain shall be protected during all construction phases. Protective barriers shall be provided and built to FDOT #5444 specifications for those existing trees adjacent to construction operations. Replacement of any trees that are damaged or destroyed due to the CONTRACTOR's operations shall be the CONTRACTOR's responsibility and shall be replaced at the CONTRACTOR'S expense. Any existing trees that are within one year after final acceptance shall be replaced with a number of trees of the same species and size to equal the caliber DBH of the existing tree lost. Replacement trees shall be Florida No. 1 and have a caliber DBH of no smaller than 3".
- D. Remove other vegetation as necessary and as directed by the LANDSCAPE ARCHITECT to accommodate new plantings.
- E. Tree pits or holes remaining after relocation of plant material shall be backfilled with clean fill and brought back flush with surrounding grade, unless the pits are to be immediately replanted. Pits that are to be quickly replanted shall be surrounded by safety barricades to prevent City vehicles from falling into pits. In areas where new plant material will be replaced, appropriate soil mix shall be used to backfill as directed.

## QUALITY ASSURANCE

- A. Unless otherwise specified herein, tree transplanting shall conform to National Arborist Association, Ref. 1.
- B. **CONTRACTOR** shall comply with National Arborist Association standards for pruning and shall remove branches from trees that are to remain as necessary to clear new construction.
- C. **CONTRACTOR** shall recommend procedures to compensate for loss of roots (if any) and shall perform initial pruning of branches and stimulation of root growth where removed to accommodate new construction.
- D. Tree repair work shall be performed for damage incurred by construction by an ISA Certified Arborist.
- E. Routine pruning evaluation reports shall be provided on relocated trees until the end of the maintenance period.
- F. Evaluate existing trees prior to transplanting and verify that trees are free from disease and sufficiently strong to survive relocation from the site to their new location. Notify the LANDSCAPE ARCHITECT in writing of any trees that the **CONTRACTOR** considers insufficiently strong to survive relocation.

## SUBMITTAL

- A. **CONTRACTOR** shall submit for approval by **OWNER** a list of equipment, procedures, and labor force anticipated for use in tree relocation. **CONTRACTOR** shall include start date, completion date, and schedule of relocation as part of the approved proposal. **CONTRACTOR** shall also submit an additional detailed daily schedule for the transplanting period, showing the schedule for root pruning and the number of units to be dug and relocated to specified areas.
- For those materials that require root pruning, the relocation schedule will begin at the end of the specified root pruning period.
- C. **CONTRACTOR** shall apply for and pay all costs associated with tree removal/relocation permits. The permit shall be obtained from the City. In addition to City permits, a "Tree Removal License" shall be required by BC EPGAMD for all trees to be removed or relocated within the County R/W.
- D. Prior to start of relocation work, the **CONTRACTOR** shall submit for approval details of the tree protection system to be utilized. All trees indicated to remain during construction shall be protected in accordance with recognized standards of the industry and protection shall be removed once construction is complete. **CONTRACTOR** shall also certify that where damage occurred, trees were promptly and properly treated, and shall indicate which damaged trees (if any) are incapable of retaining full growth potential and are recommended to be replaced.
- E. The **CONTRACTOR**, in order to guarantee his work, may use methods, sequence and schedule for effecting tree relocations and plantings that differ from that which is described in these specifications. However, if different, the **CONTRACTOR** must submit for approval a full description of all proposed methods, sequence of events and schedule for effecting tree relocations and plant protection.
- F. **CONTRACTOR** shall coordinate tree relocation with road construction and other related operations and such coordination shall be clearly evidenced in the schedule submitted.
- G. **CONTRACTOR** must submit procedures to be utilized for maintenance of all relocated trees.

## GUARANTEE

- A. Relocated plant material shall fall under the standard 12 month guarantee.
- B. Damage to other plants, lawn or construction work occurring within the work area during tree relocation shall be repaired at no cost to the City. This also includes, but is not limited to, damage of curbs, walks, roads, fences, site furnishings, etc. Replacing and replanting of damaged trees, shrubs or turf shall be performed in accordance with this specification.
- C. Existing tree canopy shall not have more than 25% loss after relocation procedures are completed. CONTRACTOR shall be responsible for replacing any canopy loss due to lack of care and/or inadequate methods of transplanting the trees and palms that are damaged or lost. If said plant material, any transplanted tree that dies within one year after final acceptance shall be replaced with a number of trees of the same or similar size to be transplanted free loss. Replacement trees shall be Florida native. No 1 having a caliper DBH not smaller than 3". Replacement shall be the CONTRACTOR'S responsibility.

## TRANSPLANTING GENERAL

- A. Transplanting shall consist of site transplanting of existing trees. Trees shall be transplanted only once from existing location to permanent positions as shown on Drawings.
- B. Digging, Wrapping and Handling: Plants shall be dug and prepared for moving in a manner that will not cause damage to branches, shape, root system, and development.
- C. Balled and Burcked Plants: Balls shall be firmly wrapped with burlap or approved cloth substitute. No balled plant will be acceptable if the ball is cracked and broken, or if the stem or trunk is loose in the ball, either before or during transplanting. Balled plants shall be lifted and handled from the bottom of the ball, properly protected and delivered to the replanting site, to be planted immediately and watered thoroughly. Ball sizes shall be as recommended in ANSI Z60.1

## TAGGING

- A. Trees within the designated areas for relocation shall be clearly marked by means of yellow plastic surveyors' ribbons and coordinated with the LANDSCAPE ARCHITECT and City prior to root pruning and/or digging.

### ROOT PREPARATION

- A. Trees to be relocated shall be root pruned at least 60 days prior to digging with clean, sharp equipment. The specific requirements for root ball size shall be in accordance with the table below. CONTRACTOR shall maintain root pruning materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth, mulch to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature fluctuation.
- B. Root Ball Size Chart: Root ball sizes shall be in accordance with minimum standards set forth in Grades and Standards for Nursery Plants Part 11, Palms and Trees, Florida Department of Agriculture, as follows:

1. Caliper	Minimum Ball Diameter
3 1/2 - 4:	28"
4 - 4 1/2":	30"
4 1/2 - 5"	32"
5 - 5 1/2"	34"
Larger Sizes	Increase proportionally
2. Ball Diameter	Medium Ball Diameter
Less than 20"	Not less than 75% of diameter
20" to 30"	Not less than 65% of diameter
30" to 48"	Not less than 60% of diameter

### CROWN PREPARATION

- A. Shade Trees:
1. Shade Trees: Selectively prune and thin crown to remove approximately one third of the branches. In so doing, preserve the basic shape and form of the tree, eliminate cross branching and dead or diseased branches.
  2. Hand strip selected species of all leaves following pruning and prior to moving.

## HAND DIGGING

- A. Burlapping will be required. Trees that are burlapped for relocation shall comply with and be handled in same manner as new plant material specified in Section 02900- Landscape Work.

## HANDLING AND TRANSPORTATION

- A. Trees shall be properly handled during moving so trunks will not be scarred or damaged and to avoid broken limbs. Broken limbs which do not cause the tree to be rejected shall be repaired under the following guidelines:
  1. Properly prune dead, dying, or damaged branches with clean, sharp equipment.
  2. Remove injured bark and wood of a tree with a clean, sharp knife to a point where healthy bark and wood make contact at their margins.
  3. Inspect and treat wound for insect and disease.
  4. Seal wounds with bituminous base wound paint for all limbs greater than 3" diameter.
- B. Transport trees on vehicles of adequate size to prevent overloading, broken limbs, foliage damage or root ball damage.
- C. Root ball should be kept moist during all phases of relocation.
- D. Tree crowns shall be protected with shade cloth to prevent desiccation and wind burn. Crowns shall be periodically sprayed with water to help ensure against desiccation.
- E. Plant material shall be handled only in ways and means accepted by the industry and acceptable to the LANDSCAPE ARCHITECT.
- F. Plant material shall be planted the same day it is dug. Preparation of planting pits or beds shall be coordinated to ensure this schedule.

## PLANTING

## RELOCATED MATERIAL

1. Relocated trees shall be planted according to procedures described for new material, section ANS A300 (PART 6). Verify that final grades have been established prior to planting operations. Ensure that proposed planting pits drain by test filling with water prior to installation.
2. CONTRACTOR shall continue watering and caring for relocated material for 90 days, refer to watering and maintenance sections below.
3. Mulch tree pit areas to reduce weeds, discourage foot traffic and its compacting effect. conserve moisture and minimize temperature fluctuations.
4. Brace trunk and leave in place until trees' palms are wind firm. (12 year)
5. Wrap trunks and structural branches of thin barked trees to protect against sun scald and dehydration. Retain through at least one growing season, and through cold season.
6. Feed with a diluted solution of  $N-P-K$  in solution form with a soil needed, providing water, air, and nutrients.
7. When foliage is retained, spray with one of the soluble types of foliage feeders.
8. At time of planting, use soil needed for watering new transplant to fill air pockets and to keep roots (especially feeder roots) moist, live, and healthy. Direct fire soil away from foliage to help harden, off new leaves.

## STAKING AND GUYING

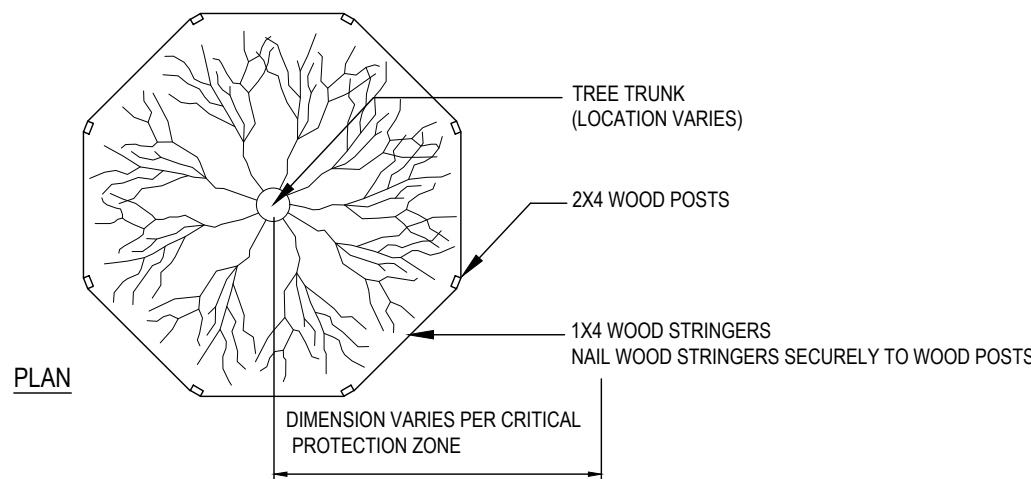
Designated material shall be staked and guyed according to planting details

## WATERING

- A. CONTRACTOR shall be responsible for the manual watering of relocated plant materials for 90 days. If utilized, all temporary watering equipment shall be removed by the CONTRACTOR after the watering period.
- B. Filled containers shall be watered every other day for the next two weeks. Soaking them in water for 15 minutes every other day for the next two weeks. Soaking them in water shall continue on a twice weekly basis for another period of eight (8) weeks. Such watering shall thoroughly saturate the root ball to its full depth and is in addition to the underground irrigation system.
- MAINTENANCE.**
- A. Relocated plant materials shall be maintained immediately after each item is planted and continued until 90 day watering period is completed or until final acceptance whichever is latest, at which time the Property Owner, will assume responsibility for maintenance of the plant materials, following the procedures and recommendations of the CONTRACTOR.
- B. During this maintenance period, all relocated plant materials shall be maintained in accordance with the standards established under ANSI A300 (PART B).

### CLEAN UP

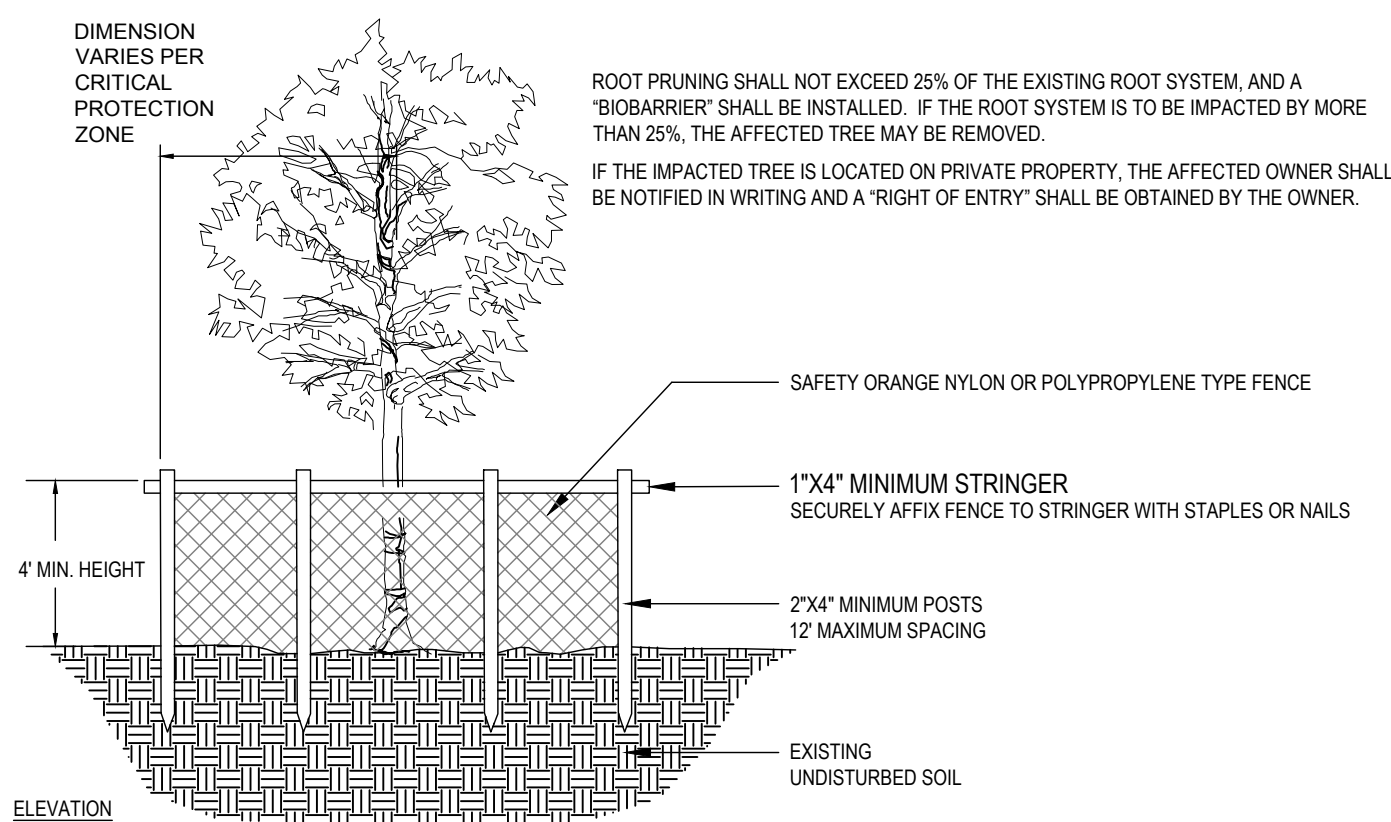
- A. Upon completion of the work, the CONTRACTOR shall thoroughly clean the landscaped area, removing all equipment, unused materials, rubbish and surplus excavated material, and shall fine grade all disturbed areas, including areas adjacent to the transplanted materials, to provide a neat and uniform site. All damaged or altered existing structures, as a result of the landscape work, shall be corrected.



NOTES: CRITICAL PROTECTION ZONE: THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE TRUNK DIAMETER AT 54" ABOVE FINISHED GRADE. FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY. ANY CONSTRUCTION ACTIVITY WITHIN THE "CRITICAL PROTECTION ZONE" SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY!

DO NOT PLACE ANY TREE BARRICADE ON PRIVATE PROPERTY BEGIN ALL TREE BARRICADES AT THE ROW LINE.

\*TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.



## TREE BARRICADE DETAIL

[illegible]

<b>PROJECT INFORMATION BLOCK</b>	
<b>JOB #</b>	<b>213225</b>
<b>DATE:</b>	<b>5/13/22</b>
<b>DRAWN BY:</b>	<b>ML</b>
<b>CHECKED BY:</b>	<b>AS</b>

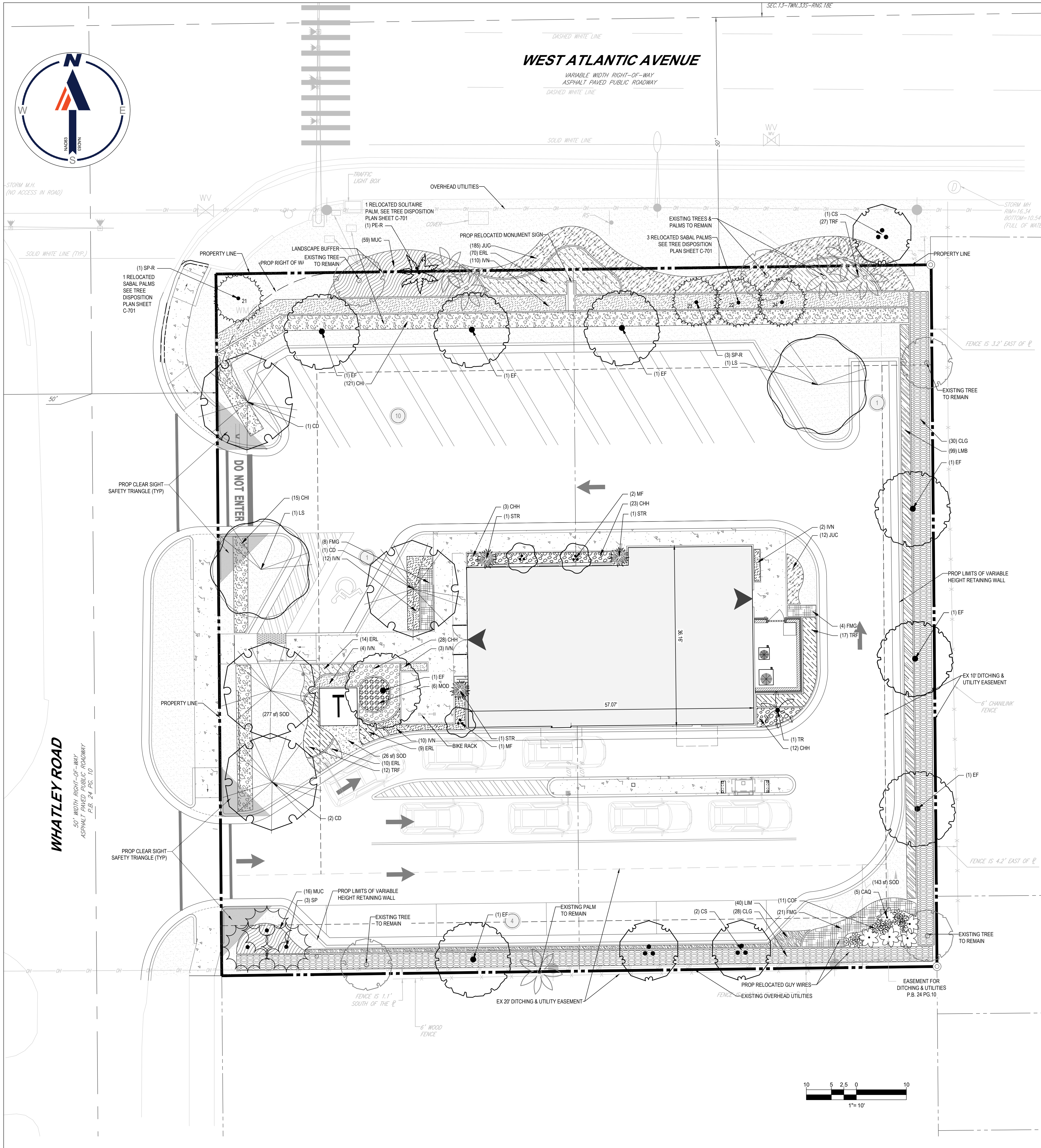
**SHEET TITLE**

**TREE  
DISPOSITION  
NOTES**

**SHEET NUMBER**

C-702





GENERAL LANDSCAPE NOTES:

- ALL PLANTING BEDS TO BE MULCHED WITH 3" FLORIMULCH MELALEUCA (COCOA BROWN) MULCH. INSTALL A DOUBLE LAYER OF WEED FABRIC UNDER ALL MULCH INSTALLATIONS
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- DIGGING IN UTILITY EASEMENTS SHALL BE BY HAND ONLY
- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
- ANY TREE INSTALLED WITHIN 10 FT. OF NEW CONCRETE SIDEWALKS AND/OR NEARBY UNDERGROUND UTILITY OR PIPE SHOULD BE INSTALLED WITH BIOBARRIER ROOT BARRIER FABRIC AS SHOWN. SEE DETAIL 8, C-704.
- THERE IS TO BE NO PLANTING OF TREES OR SHRUBS EITHER DIRECTLY OVER OR WITHIN 10 HORIZONTAL FEET OF THE SANITARY SEWER GRAVITY SEWERS AND FORCE MAIN.

ROOT BARRIER NOTES:

TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE. HYDRANTS AND LIFT STATIONS, IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENDOURCH INTO A PEGGLE WITHOUT PRIOR BOWILD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL AND PCBWUD

SEE DETAIL 8, SHEET C-704 FOR ROOT BARRIER DETAILS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	CS	3	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	16' OA HT., 7' SPRD., MULTI-TRUNK	B&B	
	EF	9	EUGENIA FOETIDA	SPANISH STOPPER	16' OA HT., 7' SPRD., 3" CAL.	B&B	
	LS	2	LYSIOMA SABICU	HORSEFLESH MAHOGANY	16' OA HT., 7' SPRD., 4" CAL. MIN.	B&B	
	MF	3	MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	2.5' CAL.	POT	
	TR	1	THYRNAX RADIATA	FLORIDA THATCH PALM	10'-12' CT.	B&B	
CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	CD	4	COCOLABA DIVERSIFOLIA	PIGEON PLUM	2.5' CAL.	B&B	
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	PER	1	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	RELOCATED	RELOCATED	
	SP	3	SABAL PALMETTO	CABBAGE PALMETTO	10'-14' C.T., NO BOOTS	B&B	
	SPR	4	SABAL PALMETTO	CABBAGE PALMETTO	RELOCATED	RELOCATED	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CAQ	5	CRINUM AUGUSTUM 'QUEEN EMMA'	QUEEN EMMA CRINUM LILY	30" HT. X 36" SPRD.	CONTAINER	48" o.c.
	COF	11	CORDYLINE FRUTICOSA 'AUNTIE LOU'	AUNTIE LOU TI PLANT	30" HT. X 24" SPRD.	CONTAINER	24" o.c.
	STR	3	STRELTIZIA REGINAE	BIRD OF PARADISE	24" HT X 24" SPRD	CONTAINER	48" o.c.
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CHI	159	CHRYSOBALANUS ICACO	COCO PLUM	24" HT X 24" SPRD	CONTAINER	24" o.c.
	CLG	58	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	60" HT. X 48" SPRD.	CONTAINER	48" o.c.
	FMG	33	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIG	24-30"	CONTAINER	24" o.c.
	IWN	141	ILEX VOMITORIA 'NANA'	DWARF YALPUN HOLLY	24" HT X 24" SPRD	CONTAINER	24" o.c.
	JUC	197	JUNIPERUS CHINENSIS	JUNIPER	18" HT. X 18" SPRD.	CONTAINER	18" o.c.
	LIM	40	LIRIOPE MUSCARI	GIANT LILYTURF	18" HT. X 18" SPRD.	CONTAINER	18" o.c.
	MOD	6	MONSTERA DELICIOSA	SPLIT-LEAF PHILODENDRON	30" HT. X 30" SPRD.	CONTAINER	30" o.c.
	MUC	75	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	24" HT X 24" SPRD	CONTAINER	24" o.c.
	TRF	56	TRIPSACUM FLORIDANUM	DWARF FAKAHATCHEE GRASS	24" HT. X 24" SPRD.	3 GAL. POT	24" o.c.
GROUND COVER	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CHI	66	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	18" HT. X 18" SPRD.	CONTAINER	18" o.c.
	ERL	103	ERINDEA LITTORALIS	GOLDEN CREEPER	12" HT. X 12" SPRD.	CONTAINER	18" o.c.
	LMB	96	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	18" HT. X 18" SPRD.	CONTAINER	18" o.c.
	SOD	3,872 SF	STENOTAPHRUM SECUNDATUM 'PALMETTO'	PALMETTO ST. AUGUSTINE GRASS	SOD	FULL TIGHT COVERAGE	

NOTE: CONTRACTOR SHALL VERIFY PLANT QUANTITIES IN THE TABLE WITH THE PLAN. WHERE THERE IS A DISCREPANCY IN PLANT QUANTITIES, THE PLAN OVER RIDES THE PLANT LIST

SITE DATA TABLE

JURISDICTION	CITY OF DELRAY BEACH	
CURRENT ZONING	GENERAL COMMERCIAL	
PROPOSED ZONING	GENERAL COMMERCIAL	
FUTURE LAND USE	COMMERCIAL	
TOTAL SITE AREA	±20,063 SF (0.46 AC)	
TOTAL EXISTING BUILDING AREA (PER 2022 SURVEY)	4,738 SF	
TOTAL PROPOSED BUILDING AREA	1,904 SF	
VEHICULAR USE AREA	10,660 SF	
OPEN SPACE	MINIMUM	PROVIDED
	25.00%	31.87%
	EXISTING	PROPOSED
IMPERVIOUS AREA:	15,860 SF (79.05%)	13,798 SF (68.77%)
PERVIOUS AREA:	4,203 SF (20.95%)	6,265 SF (31.22%)

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFER SETBACKS	REQUIRED	PROVIDED
FRONT (ATLANTIC AVE) SETBACK	5'	61.9'
SIDE 1 (WHATLEY RD) SETBACK	5'	49.5'
SIDE 2 SETBACK	5'	26.5'
REAR SETBACK	5'	28.3'
PARKING	REQUIRED	PROVIDED
TREE SPECIES (4.6.16 (E)(5))	13 TREES	8 PROPOSED, 6 EXISTING
INTERIOR LANDSCAPE (4.4.16 (H)(3)g&h)	303 SQ.FT. 24 TREES	567 SQ.FT. 24 TREES
LANDSCAPE STRIP LDR SEC. 4.6.16(H)(3)(A)	8 TREES & 115 SHRUBS	230 L.F. W/ 8 TREES & 156 SHRUBS
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	143 L.F. SOUTH, 140 L.F. EAST 6 TREES & 72 SHRUBS, 5 TREES & 70 SHRUBS,	S - 143 L.F., EAST- 140 L.F. 6 TREES & 110 SHRUBS, 5 TREES & 202 SHRUBS
FOUNDATION LANDSCAPING LDR SEC. 4.6.16 (H)(4)	90 L.F.	90 L.F. 3 TREES & 64 SHRUBS
STREET TREES LDR SEC. 4.6.16 (H)(6)	175 L.F. - 5 TREES	5 TREES
MIN. 1 TREE PER ISLAND (5) WITH 75% OF LANDSCAPE AREA AS SHRUBS	5 TREES	5 TREES
NATIVE SPECIES: TREE / SHRUBS	50% TREES (13 TREES X .5) = 7 TREES 25% SHRUBS (710 X .25) =176	NATIVE TREES = 7 TREES NATIVE SHRUBS = 594



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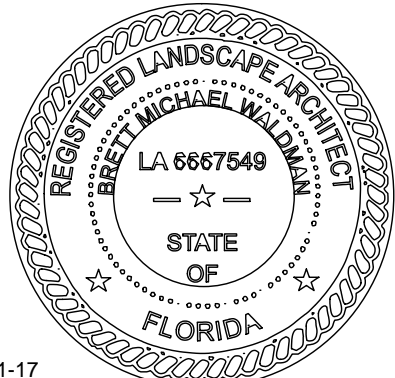


REGIONS DELRAY BEACH  
RELOCATION

4760 W ATLANTIC AVE.  
DELAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/14/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

SHEET TITLE

LANDSCAPE  
PLAN

SHEET NUMBER

C-703







LANDSCAPE NOTES:

1. A PRE-INSTALLATION MEETING WITH THE CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL.
2. ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCING AND SIGNAGE. THE TREE PROTECTION FENCING SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS DEPICTED ON THE PLAN OR AT THE EDGE OF THE DRILLPIKE(S) IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL, STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
3. ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-300 STANDARDS TO CORRECT POTENTIAL HAZARDS.
4. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR PALM. CONTACT THE COUNTY TO OBTAIN PERMIT INFORMATION.
5. CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
6. TREE RELOCATIONS
- A. EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION
- B. MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:
- | CALIPER | MINIMUM ROOT BALL DIAMETER           |
|---------|--------------------------------------|
| 1       | 16                                   |
| 2       | 24                                   |
| 3       | 32                                   |
| 4       | 42                                   |
| 5       | 54                                   |
| 6       | 60                                   |
| 7       | 70                                   |
| 8       | 80                                   |
| >8      | 12 INCHES PER INCH OF TRUNK DIAMETER |
- TRANSPANTED TREES WITH UNDERSEED ROOT BALLS MAY BE REJECTED BY THE CITY ARBORIST AND REPLACEMENT TREES MAY BE REQUIRED.
- C. A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT PRUNING.
7. ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
8. SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE CITY AND COUNTY PRIOR TO USE.
9. ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES AND STANDARDS FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
10. ALL SIZES SHOWN FOR PLANT MATERIAL ARE TO BE CONSIDERED MINIMUMS.
11. WHERE QUANTITIES AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT LISTS, THE PLANS SHALL TAKE PRECEDENCE.
12. ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AFTER ACCEPTANCE OF THE PLANTS BY THE CITY AND COUNTY.
13. PLANT BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING.
14. ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
15. ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING, NO DRY PLANTING PERMITTED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS OPERATIONAL.
17. ALL WIRE GUYS AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLORESCENT COLORED TAPE.
18. MULCHING:
- A. ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 3-INCH LAYER OF MULCH.
- D. A MULCH RING WITH A MINIMUM RADIUS OF 24 INCHES (48 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
- E. CYPRESS OR COLORED MULCH SHALL NOT BE USED.
- F. NO MULCH SHALL BE PLACED TOUCHING OR WITHIN SIX INCHES OF THE TRUNK OF A TREE OR PALM.
19. ALL NEWLY LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 24 INCHES BELOW FINAL GRADE AND BACK FILLED WITH CLEAN DEBRIS-FREE SOIL. EXISTING SOIL MAY BE RE-USED FOR BACKFILLING IF DEBRIS IS REMOVED AND ORGANIC CONTENT IS SUFFICIENT OR SOIL IS AUGMENTED WITH TOPSOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPE AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
20. ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE A MINIMUM OF 3.5 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 3-INCH MULCH LAYER.
21. THE LOCATION OF PLANT MATERIAL, AS SHOWN ON THESE PLANS IS FINAL. THE FINAL LOCATIONS CAN BE ADJUSTED ON SITE TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. THESE CHANGES MUST COMPLY WITH ALL SAFETY SETBACK CRITERIA AND BE DIRECTED OR APPROVED BY THE CONSULTANT AND THE COUNTY CODES.
22. REPORT ANY AND ALL DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE CONSULTANT AND COUNTY IMMEDIATELY.
23. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND COUNTY PRIOR TO CONSTRUCTION.
24. BEFORE CONSTRUCTION BEGINS THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. IF SUCH DAMAGE OCCURS THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY REPAIRS AND THEY SHOULD BE MADE IMMEDIATELY AT THE CONTRACTORS EXPENSE.
25. ALL WORK MUST COMPLY WITH THE FLORIDA STATE STATUTE 553.81- "PROTECTION OF UNDERGROUND PIPELINES"
26. THE CONTRACTOR MUST COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.

27. THE LOCATION OF ALL THE UTILITIES SHOWN ON THE PLAN IS APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR ON SITE. ALL PLANTING MAY BE ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ANY ADJUSTMENTS GREATER THAN 10 FEET SHALL BE DONE ONLY WITH THE APPROVAL OF THE CONSULTANT AND THE COUNTY.
28. CAUTION SHOULD BE EXERCISED WHEN WORKING NEAR EXISTING PLANTING AND ANY FURNISHING THAT IS TO REMAIN ON SITE TO PREVENT ANY DAMAGE. ANY SIGNS, STRUCTURES, OR PLANTING SHALL BE REPLACED AT THE CONTRACTORS EXPENSE IF DAMAGED BEYOND USE. DAMAGED BEYOND USE WILL BE DETERMINED BY THE CONSULTANT AND THE COUNTY.
29. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE DISTRICT LOCATION SURVEYOR IMMEDIATELY.
30. MAINTENANCE OF TRAFFIC FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.S. DEPARTMENT OF TRANSPORTATION, F.H.W.A.). ATTENTION IS DIRECTED TO STANDARD INDEX NUMBER 623 OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS.
31. THE CONTRACTOR SHALL INSURE THAT INSTALLATION OF ALL PLANTING IN MEDIANS AND RIGHT OF WAYS CONFORMS TO CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND IN F.D.O.T. MAINTENANCE RATING PROGRAM.
32. ANY MAINTENANCE THAT INVOLVES TRAFFIC ACTIVITY SHALL BE COORDINATED WITH THE COUNTY BEFORE AND DURING CONSTRUCTION ACTIVITIES.
33. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL WORK AREAS AT THE END OF EACH WORKING DAY. ANY DEBRIS SHALL BE COLLECTED AND DEPOSITED APPROPRIATELY OFF SITE DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION.
34. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS THAT ARE REQUIRED BY THE CITY FOR TREE REMOVAL, RELOCATION, TREE PROTECTION OR INSTALLATION BEFORE BEGINNING WORK.
35. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING PROTECTIVE BARRIERS AROUND THE DRIP LINE OF TREES. THESE PROTECTIVE BARRIERS SHALL BE BUILT EASILY BY OPERATORS OF TRUCKS AND OTHER EQUIPMENT. THEY SHALL BE CONSTRUCTED OF STURDY MATERIALS (NOT FLAGGING OR RIBBON) AND SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION.
36. DO NOT STORE OR USE ANY MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE THAT IS TO BE RELOCATED OR PROTECTED IN PLACE UNLESS THE ACTIVITY IS BEING DONE TO PROTECT THE TREES.
37. DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY OF THE TREES TO BE RELOCATED OR PROTECTED IN PLACE. THIS INCLUDES SUBSTANCES SUCH AS PAINT, OIL, SOLVENTS, PETROLEUM PRODUCTS, ASPHALT, CONCRETE, MORTAR, OR ANY OTHER MATERIAL THAT MAY CAUSE DAMAGE TO THE TREE'S ROOT SYSTEM.
38. CLEARING OF VEGETATION WITHIN THE DRIP LINE OF THE TREES DESIGNATED TO BE PROTECTED IN PLACE OR RELOCATED SHALL BE PERFORMED CAUTIOUSLY WITH HAND TOOLS TO MINIMIZE ANY DAMAGE TO THE TREE'S ROOT SYSTEM.
39. DO NOT ATTACH ANYTHING TO TREES THAT ARE TO REMAIN ON THE SITE UNLESS IT IS SOMETHING THAT WILL PROTECT AND NOT DAMAGE THE TREE.
40. KEEP A NATURAL GRADE ABOVE THE DRIP LINE ON ANY TREE THAT IS TO BE PROTECTED IN PLACE. ANY PRESERVED TREES DISTURBED DURING CONSTRUCTION MUST BE RETURNED TO ITS ORIGINAL GRADE AFTER CONSTRUCTION.
41. ALL LANDSCAPE AND PLANTING SHALL COMPLY WITH COUNTY LAND USE POLICY AND WITH CHAPTER 62B-55 OF THE FLORIDA ADMINISTRATIVE CODE.
42. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 GRADE OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS," PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANT MATERIAL MUST BE HEALTHY, VIGOROUS MATERIALS, FREE OF PESTS AND DISEASES.
43. ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN OR SPECIFICATIONS WILL ALSO BE REQUIRED FOR ACCEPTANCE. ANY SUBSTITUTIONS MUST BE APPROVED BY THE CONSULTANT AND THE COUNTY.
44. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTING MEETING SPECIFICATIONS AS NOTED BEFORE INSTALLATION. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL PLANTING THAT DOES NOT MEET SPECIFICATIONS AND BE HELD RESPONSIBLE TO REPLACE IT WITH APPROPRIATE PLANTING.
45. IN THE EVENT OF A VARIATION BETWEEN THE PLANT LISTS AND THE ACTUAL QUANTITY OF PLANTS SHOWN, THE PLANTS HOLD TRUE.
46. ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH
47. ALL PLANT MATERIALS MUST BE PROTECTED DURING TRANSPORT AND DELIVERY TO THE JOB SITE WITH SHADE CLOTH OR OTHER ACCEPTABLE MEANS OF WINDBURN PREVENTION.
48. CONTRACTORS SHALL FIELD VERIFY ALL INFORMATION PRIOR TO INITIATING PLANTING INSTALLATION. ALL EXISTING PLANTING SHALL REMAIN INTACT AND UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.
49. CONTRACTOR SHALL FIELD STATE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR THE REVIEW AND APPROVAL OF THE CONSULTANT.
50. ALL TREES MUST BE FLORIDA #1, STRAIGHT TRUNKED, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED.
51. CONTRACTOR TO REPLACE REJECTED PLANT MATERIAL WITHIN ONE WEEK OF NOTICE.

52. INSTALLATION- ALL PLANT MATERIAL SHALL BE INSTALLED IN A SOUND HIGH QUALITY MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES WITH THE QUALITY OF PLANT MATERIALS AS HEREINAFTER DESCRIBED. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES AND CODE REQUIREMENTS.
53. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING ALL TREES AND LANDSCAPE PER DIVISION 32. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE AND PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PLANTS IF DEAD OR DYING PRIOR TO FINAL ACCEPTANCE.
54. TYPICALLY, SHRUB AND GROUND COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHOULD BE PLACED ON A TRIANGULAR SPACING SHOWN IN THE PLANTING DETAILS. PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
55. TREES GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE THE GROW BAG REMOVED ENTIRELY BEFORE PLANTING.
56. BALLED AND BURLAPPED MATERIAL SHALL HAVE THE TOP ONE HALF (1/2) OF THE BURLAP AROUND THE BASE OF THE TRUNK CUT AND PULLED BACK. DO NOT REMOVE THE BURLAP BUT WIRE CAGES, STRAPS, ETC. MUST BE CUT AND R REMOVED COMPLETELY BEFORE INSTALLATION.
57. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES, AND ANY OTHER MATERIALS FROM THE LANDSCAPE ARCHITECT FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
58. THE FOLLOWING GUIDELINES SHALL BE FOLLOWED TO ENSURE SUCCESSFUL TRANSPLANTING OF TREES:
- a. ANY TREE BEING RELOCATED SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT, OR REPLANTING OF THAT TREE.
- b. TREES MUST BE ROOT PRUNED APPROPRIATELY PRIOR TO REMOVAL.
- c. DURING AND FOLLOWING TRANSPLANTING THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
- d. TRANSPLANTED TREES SHALL BE BRACED AT LEAST ONE FULL YEAR.
- e. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
- f. RELOCATED TREES/PALMS WILL BE MOVED IN ACCORDANCE WITH MINIMUM STANDARDS SET FORTH IN ANSI A-300
- g. ALL GROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS OR PALM PRUNING IN ACCORDANCE WITH CITY STANDARDS.
59. CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK. CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION OR INSTALLATION.
60. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED WHILE COMPLETING PLANTING INSTALLATION WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE CONSULTANT AND THE COUNTY.
61. GENERAL GRADING TO APPROXIMATELY 1 INCH SHALL BE PROVIDED BY THE CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE CONTRACTOR.
62. ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED TO PROVIDE CONTINUOUS CLEAR ZONES FOR SIGHT VISIBILITY FOR PEDESTRIANS AND VEHICULAR TRAFFIC AND LANDSCAPE MAINTENANCE SHALL CONFORM TO STANDARD INDEX 545 CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
63. APPLICATION SCHEDULE: WATER NEW TREES, PALMS, AND SHRUBS EVERY DAY FOR THE FIRST TWO WEEKS, THREE TIMES A WEEK FOR THE SECOND TWO WEEKS, AND THEN TWICE A WEEK FOR THE NEXT EIGHT WEEKS FOR A TOTAL OF A 90 DAY WATERING PERIOD. NO FURTHER WATERING WILL BE REQUIRED. HAND WATERING SCHEDULE TO START AT FINAL ACCEPTANCE OF PROJECT.
64. EARTH BERM 4" HIGH OUTSIDE THE PROPOSED ROOT BALL PRIOR TO WATERING. APPLY A MINIMUM OF 4" OF WATER WITHIN THE SAUCER, OR 1-3 GALLONS PER INCH OF TRUNK DIAMETER, WHICH EVER IS MORE AT EACH WATERING. WATER APPLICATION SHOULD SATURATE THE ROOT BALL TO ITS ENTIRE DEPTH, DO NOT WATER IF ROOT BALL IS ALREADY SATURATED.
65. HANDWATERING IS IN ADDITION TO THE UNDERGROUND IRRIGATION SYSTEM.

SOIL PREPARATION, SOIL MIX, FERTILIZER, & MULCH NOTES:

1. ENSURE THAT ALL PLANTING SOIL IS FERTILE, FRIABLE, NATURAL, LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS AND STONES LARGER THAN ONE INCH IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. SHOULD ANY SOIL AMENDMENT BE NECESSARY, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE CONSULTANT AND THE COUNTY.
2. APPLY APPROVED HERBICIDE- ACCORDING TO MANUFACTURERS RATE AND SPECS WITHIN LIMITS OF ALL AREAS TO BE PLANTED. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY OR SPRAY WITHIN ROOT ZONE. CONTRACTOR AND COUNTY TO ENSURE TOTAL WEED ERADICATION.
3. SCARIFY SUBSOIL TO A DEPTH OF 3 INCHES.
4. PLANTING MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL CONSIST OF A THOROUGHLY BLENDED MIXTURE OF:
- A. 20% TOPSOIL
- B. 10% PEAT OR COMPOST
- C. 70% SAND
5. PLANTING MIX FOR BACKFILL AROUND ROOT BALLS OF PALMS:
- A. 90% NATIVE SAND FROM ON SITE OR APPROVED SUBSTITUTE
- B. 10% TOPSOIL
6. FERTILIZE ALL TREES, SHRUBS AND GROUND COVER WITH PLANTING TABLETS 20-20-5 FORMULA, 21 GRAM.
7. ALL SHRUB BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 24" AND BACK FILLED WITH THE SPECIFIED MIXTURE.
8. SMOOTH ALL PREPARED TOPSOIL TO 3" EXCEPT WITHIN DRIP LINES OF EXISTING TREES AND 4" BELOW TOP OF SURROUNDING PAVING EDGES. REMOVE ALL ROCKS AND OTHER OBJECTS OVER 1" IN DIAMETER.
9. FINISH GRADE ALL PREPARED TOPSOIL AREAS TO A SMOOTH, EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AND ELIMINATE ANY LOW AREAS WHICH MAY COLLECT WATER.
10. TOPSOIL SHALL NOT BE EXTREMELY ACIDIC OR ALKALINE, NOR CONTAIN ANY TOXIC SUBSTANCE WHICH MAY BE HARMFUL TO PLANT GROWTH. THE PH SHALL BE IN THE RANGE OF 5.5-6.5.
11. CONTRACTOR SHALL MULCH ALL PLANTING MATERIAL THROUGHOUT AND COMPLETELY TO A 3 INCH DEPTH WITH CLEAN, WEED FREE FLORAMULCH
12. MINIMUM OF 2" TOPSOIL MUST BE ADDED UNDER ALL SODDED AREAS.
- IRRIGATION NOTES:
1. XERISCAPE PRINCIPLES HAVE BEEN APPLIED TO THIS LANDSCAPE PLAN AS SPECIFIED IN SFWMD's XERISCAPE PLANT GUIDE II AND SHALL BE APPLIED ALL THROUGHOUT LANDSCAPE INSTALLATION AND MAINTENANCE.
2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY IRRIGATION OR PROVIDE HAND WATERING FOR ALL RELOCATED TREES AND PALMS FROM NOTICE TO PROCEED UNTIL PERMANENT IRRIGATION SYSTEM IS OPERABLE.
3. THE IRRIGATION SYSTEM SHALL BE CONFIGURED TO ACCOMMODATE EXISTING TREES AND PALMS PER PLANS.
4. ALL LANDSCAPED AREAS MUST BE IRRIGATED IN ACCORDANCE WITH ALL LOCAL/ COUNTY REQUIREMENTS.
5. REMOVE EXISTING IRRIGATION EQUIPMENT WHICH INTERFERES WITH ANY CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROLLERS, SPRINKLER HEADS, PIPE, QUICK COUPLERS, BACKFLOW PREVENTERS, CONTROL WIRE AND CONDUITS. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING SYSTEM THROUGHOUT THE CONSTRUCTION PROCESS.
6. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. INSPECT IRRIGATION SYSTEM AND INSURE THAT ADEQUATE WATER IS AVAILABLE BEFORE BEGINNING PLANTING OPERATIONS. IRRIGATION SYSTEMS WILL NOT PROVIDE SUFFICIENT QUANTITIES OF WATER FOR NEWLY PLANTED MATERIALS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DEEP ROOT HAND WATERING.
7. IF PROVIDED, REFER TO IRRIGATION PLANS FOR ADDITIONAL NOTES AND DETAILS.



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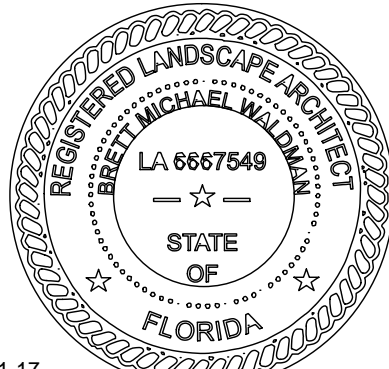


REGIONS DELRAY BEACH  
RELOCATION

4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

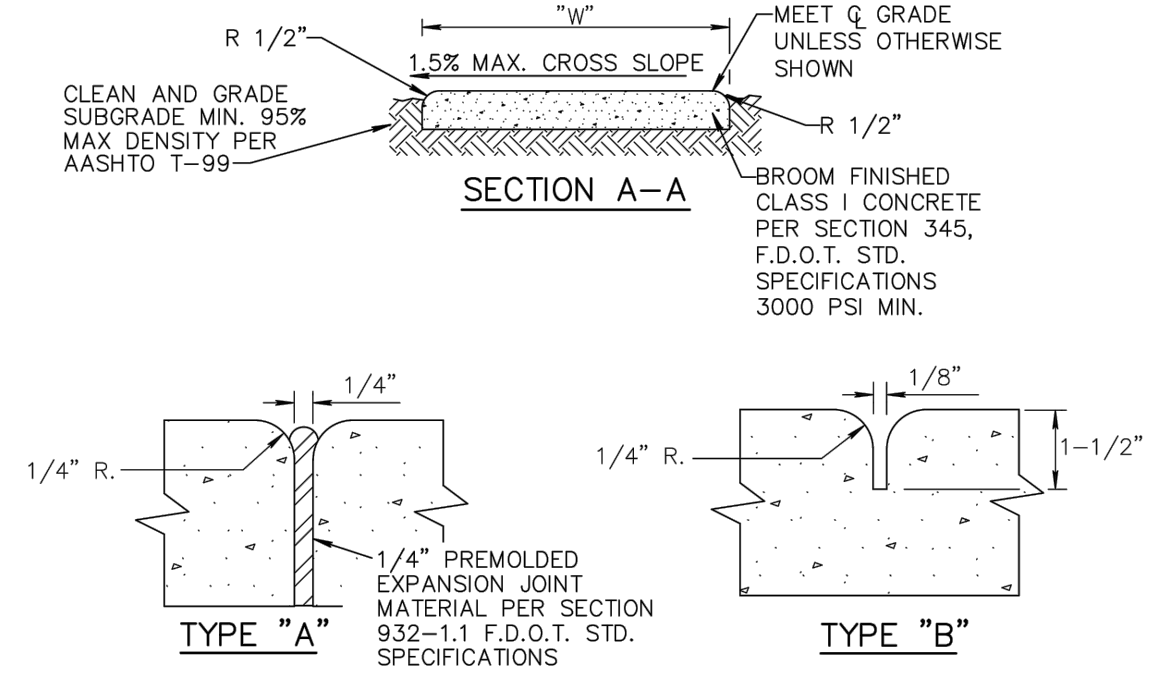
SHEET TITLE

LANDSCAPE  
NOTES

SHEET NUMBER

C-705



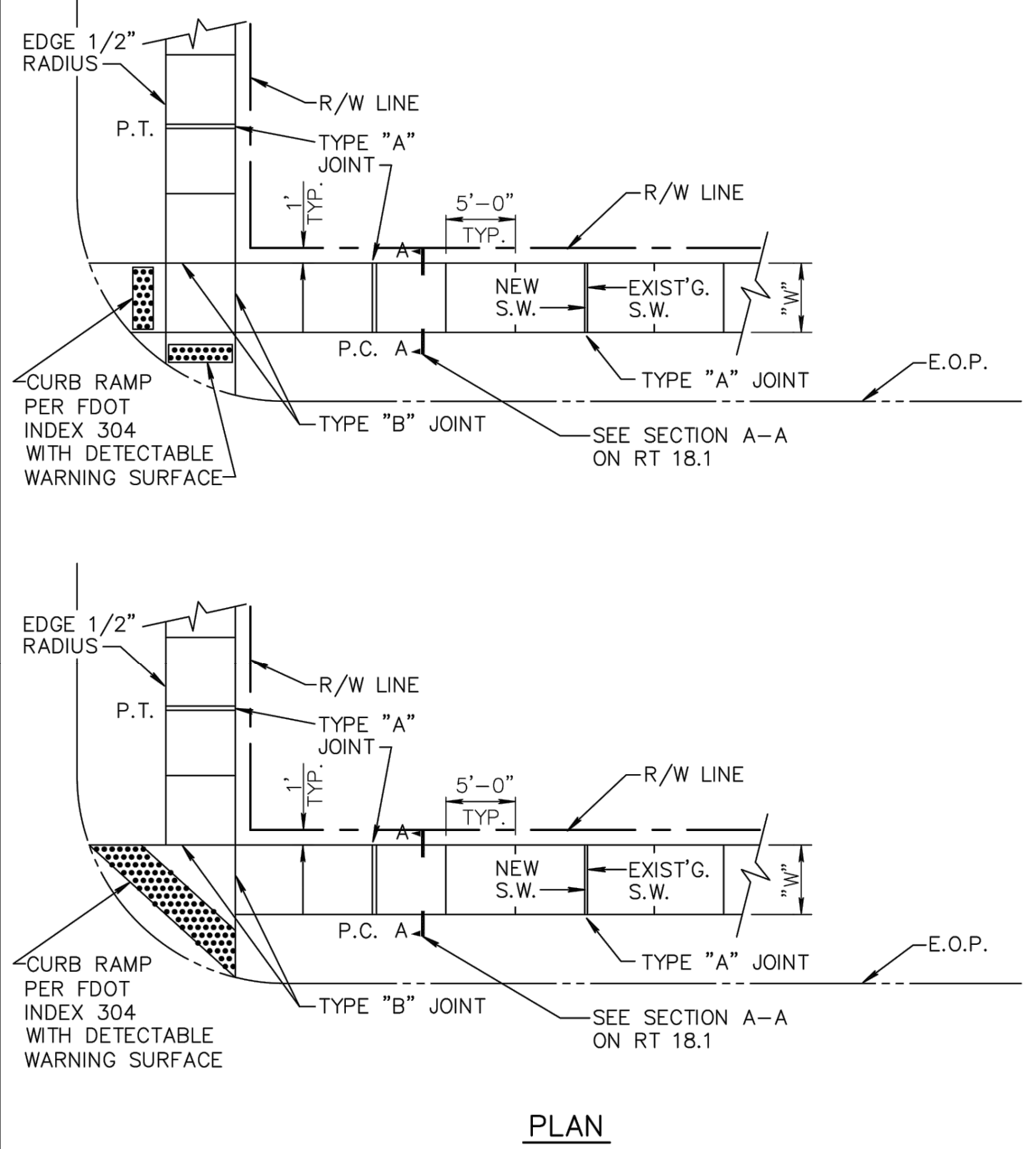


- NOTE:**
1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
  2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
  3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
  4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24\"

TABLE OF SIDEWALK THICKNESS - "T"	
GENERAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, AT DRIVEWAYS & OTHER AREAS	6", 9" @ E.O.P.
TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY ENGINEER.	

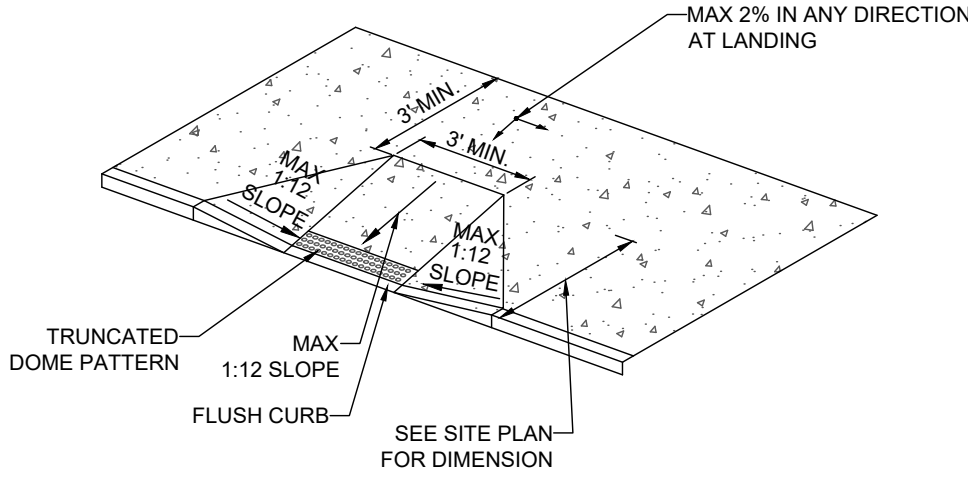
**CITY of DELRAY BEACH**  
 PUBLIC WORKS DEPARTMENT  
 404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SIDEWALK CONSTRUCTION  
 DATE: 09-15-2021  
 RT 18.1



**CITY of DELRAY BEACH**  
 PUBLIC WORKS DEPARTMENT  
 404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SIDEWALK CONSTRUCTION DETAIL  
 DATE: 09-15-2021  
 RT 18.0

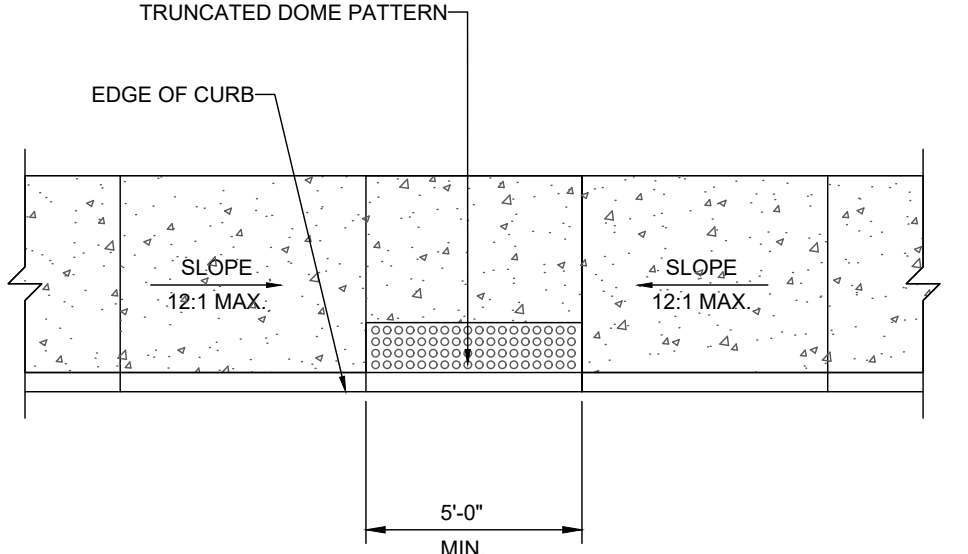


**NOTE:**

1. ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

### ADA ACCESSIBLE RAMP DETAIL

NOT TO SCALE

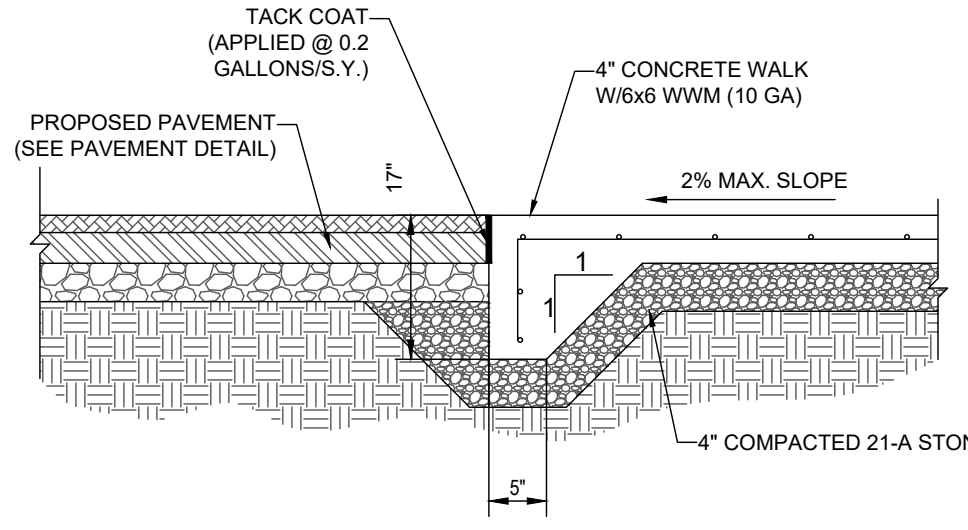


**NOTE:**

ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

### ADA ACCESSIBLE RAMP DETAIL

NOT TO SCALE

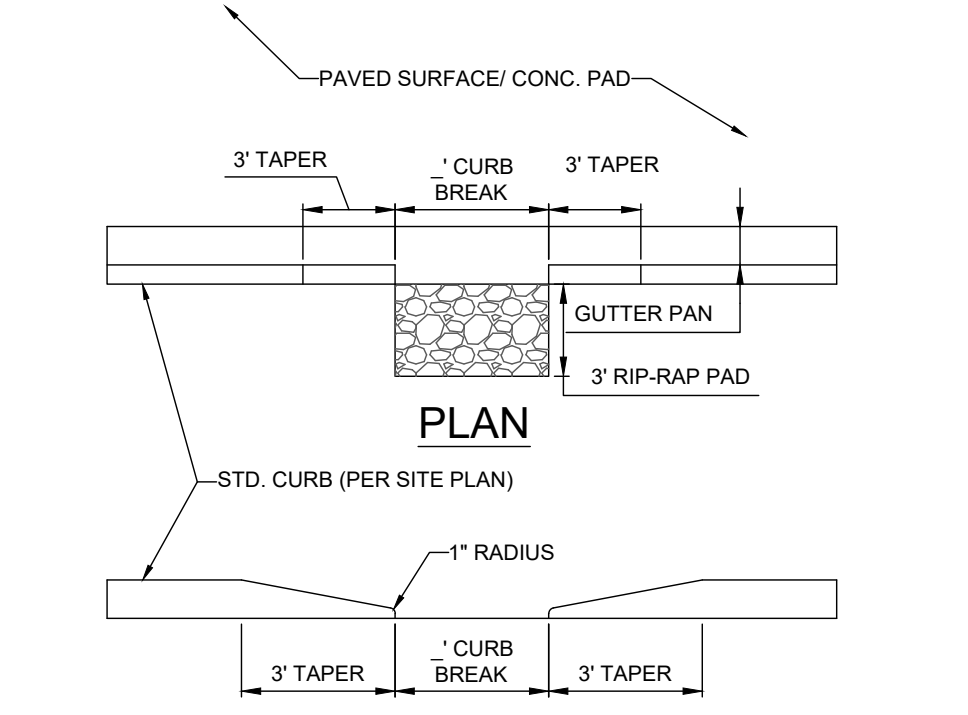


**NOTE:**

1. CONCRETE TO BE 4000 P.S.I. @ 28 DAYS.

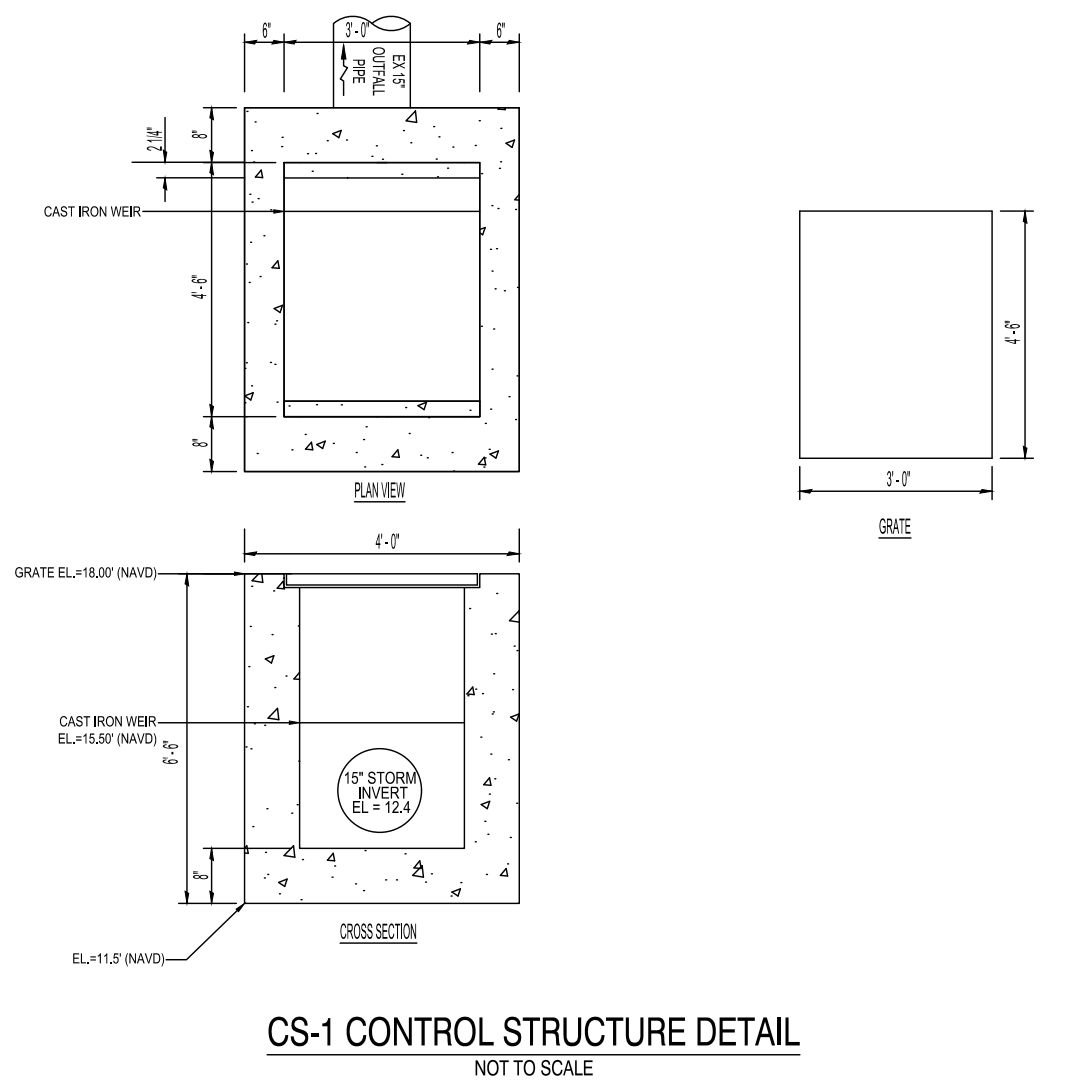
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NOT TO SCALE



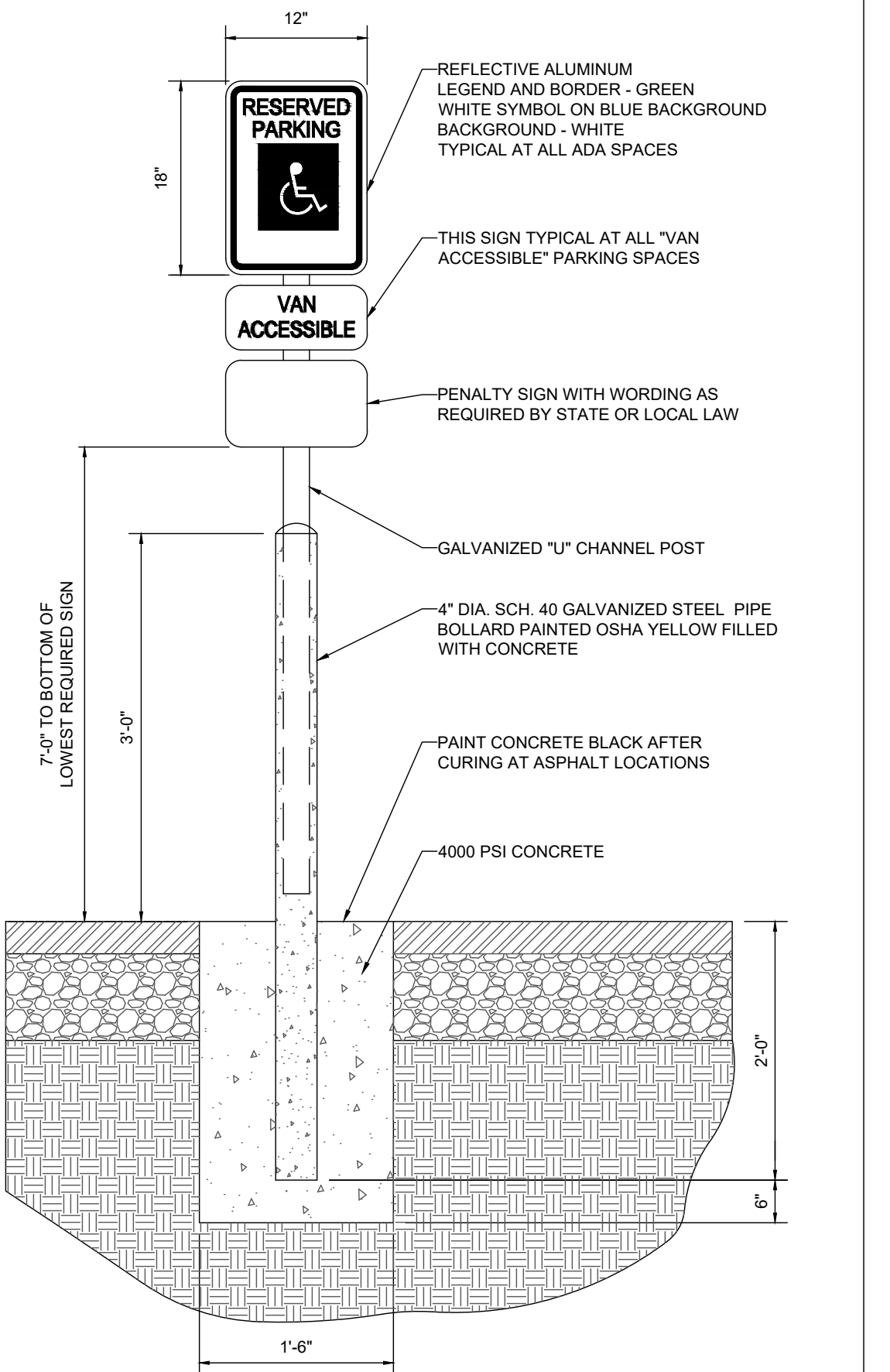
### CURB BREAK DETAIL

NOT TO SCALE



### CS-1 CONTROL STRUCTURE DETAIL

NOT TO SCALE

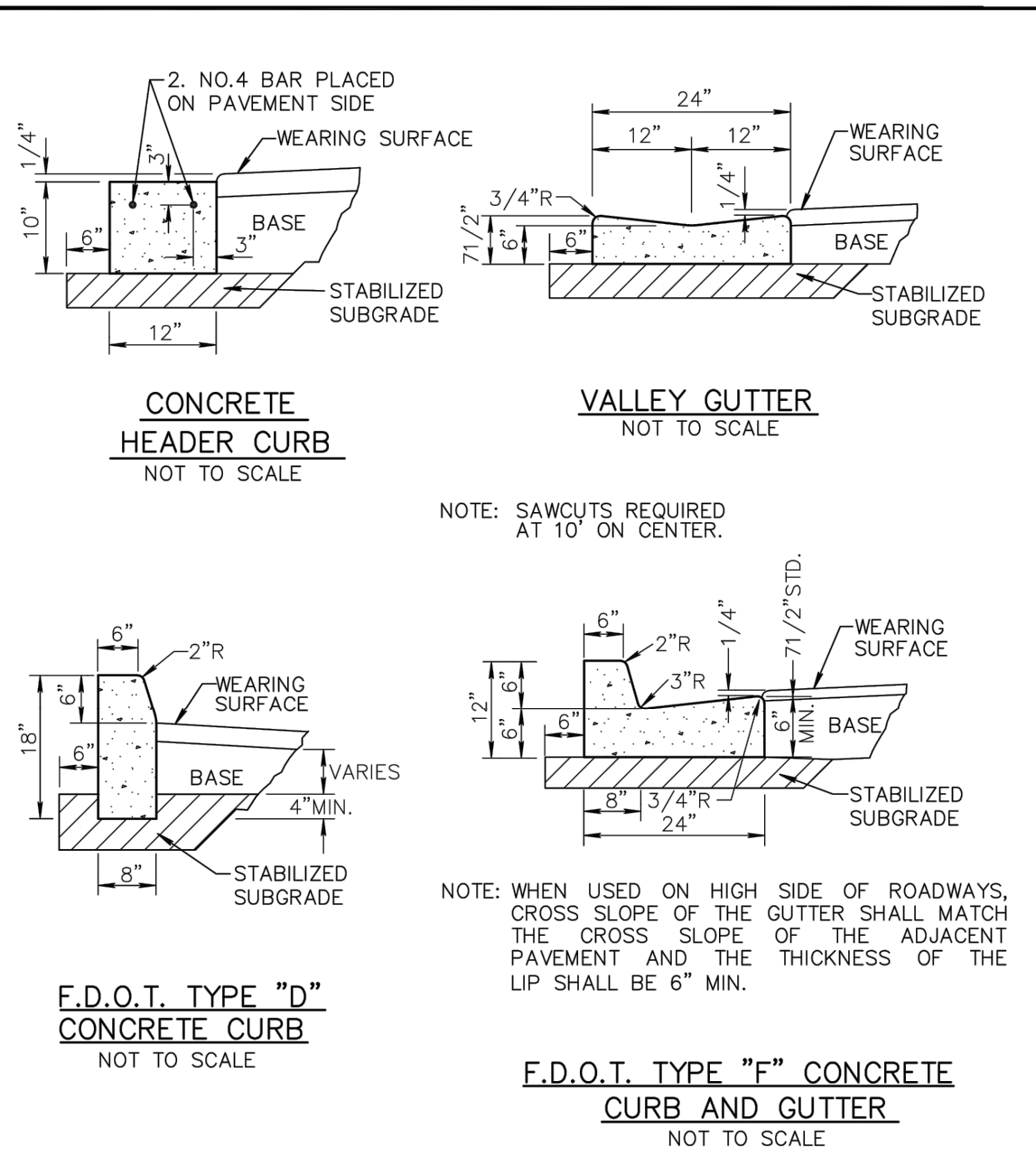


**NOTE:**

ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

### BOLLARD MOUNTED ADA PARKING SIGN DETAIL

NOT TO SCALE

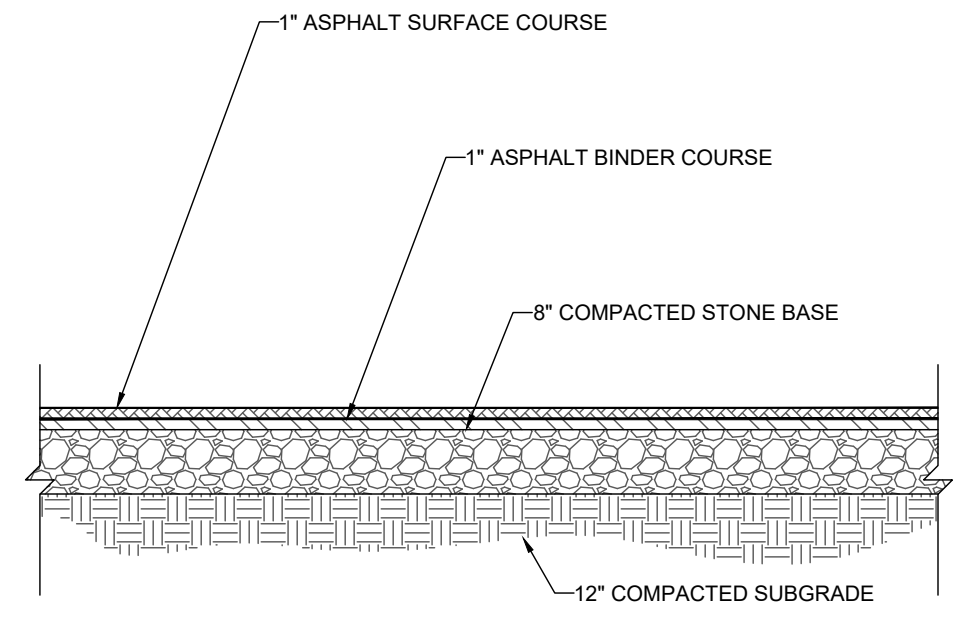


**NOTE:**

1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.  
2. SAWCUTS AT 10' ON CENTER SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.

**CITY of DELRAY BEACH**  
 PUBLIC WORKS DEPARTMENT  
 404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CURB AND GUTTER SECTIONS  
 DATE: 9-15-2021  
 RT 19.0

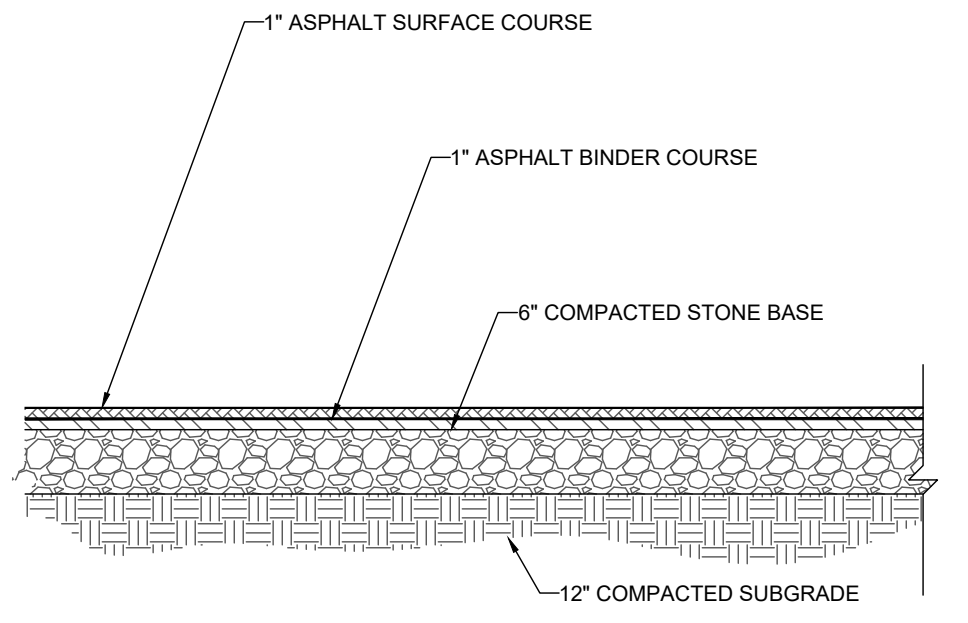


**NOTE:**

1. SECTION SHOWN IS BASED ON AN GEOTECHNICAL REPORT PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. ENTITLED GEOTECHNICAL ENGINEERING REPORT, DATED 2022-03-08 (PROJECT #0397-1655).

### HEAVY DUTY ASPHALT PAVEMENT SECTION

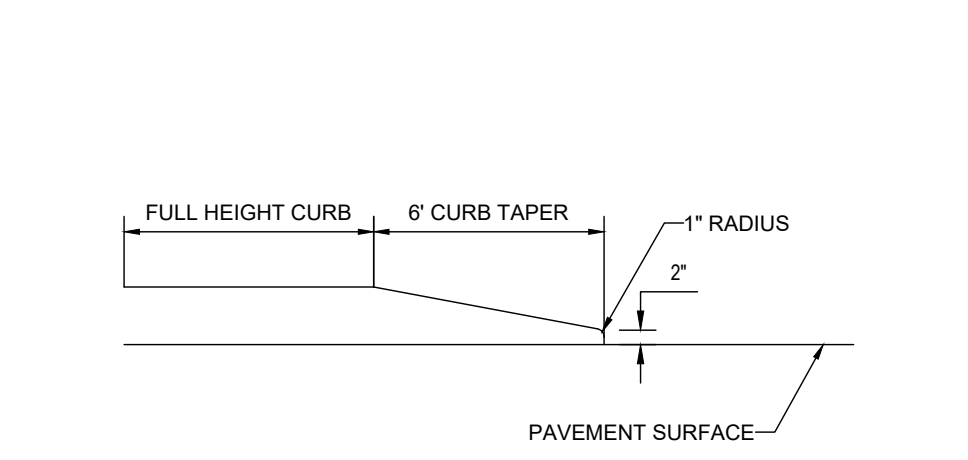
NOT TO SCALE



1. SECTION SHOWN IS BASED ON AN GEOTECHNICAL REPORT PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. ENTITLED GEOTECHNICAL ENGINEERING REPORT, DATED 2022-03-08 (PROJECT #0397-1655).

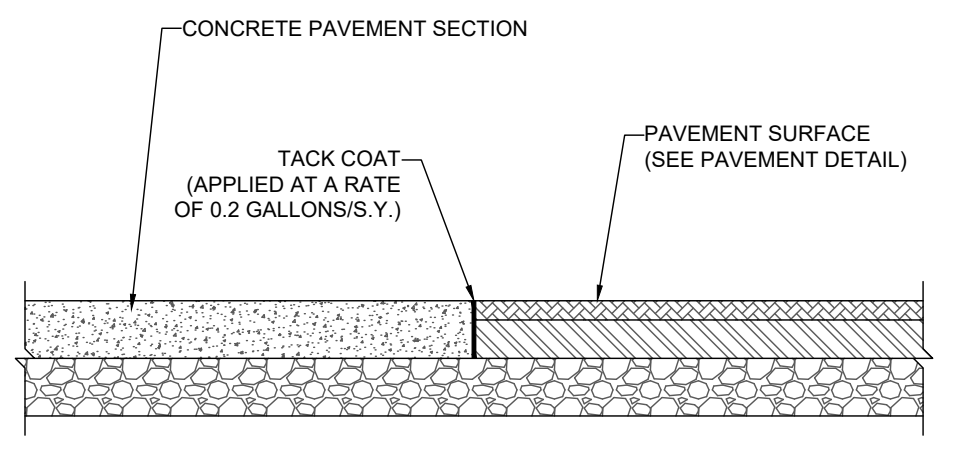
### LIGHT DUTY ASPHALT PAVEMENT SECTION

NOT TO SCALE



### CURB TAPER DETAIL

NOT TO SCALE



### CONCRETE-TO-ASPHALT DETAIL

NOT TO SCALE

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REGIONS DELRAY BEACH  
 RELOCATION  
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 DELRAY BEACH, FL.  
 REGIONS PROJECT FLS0193215RL

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Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

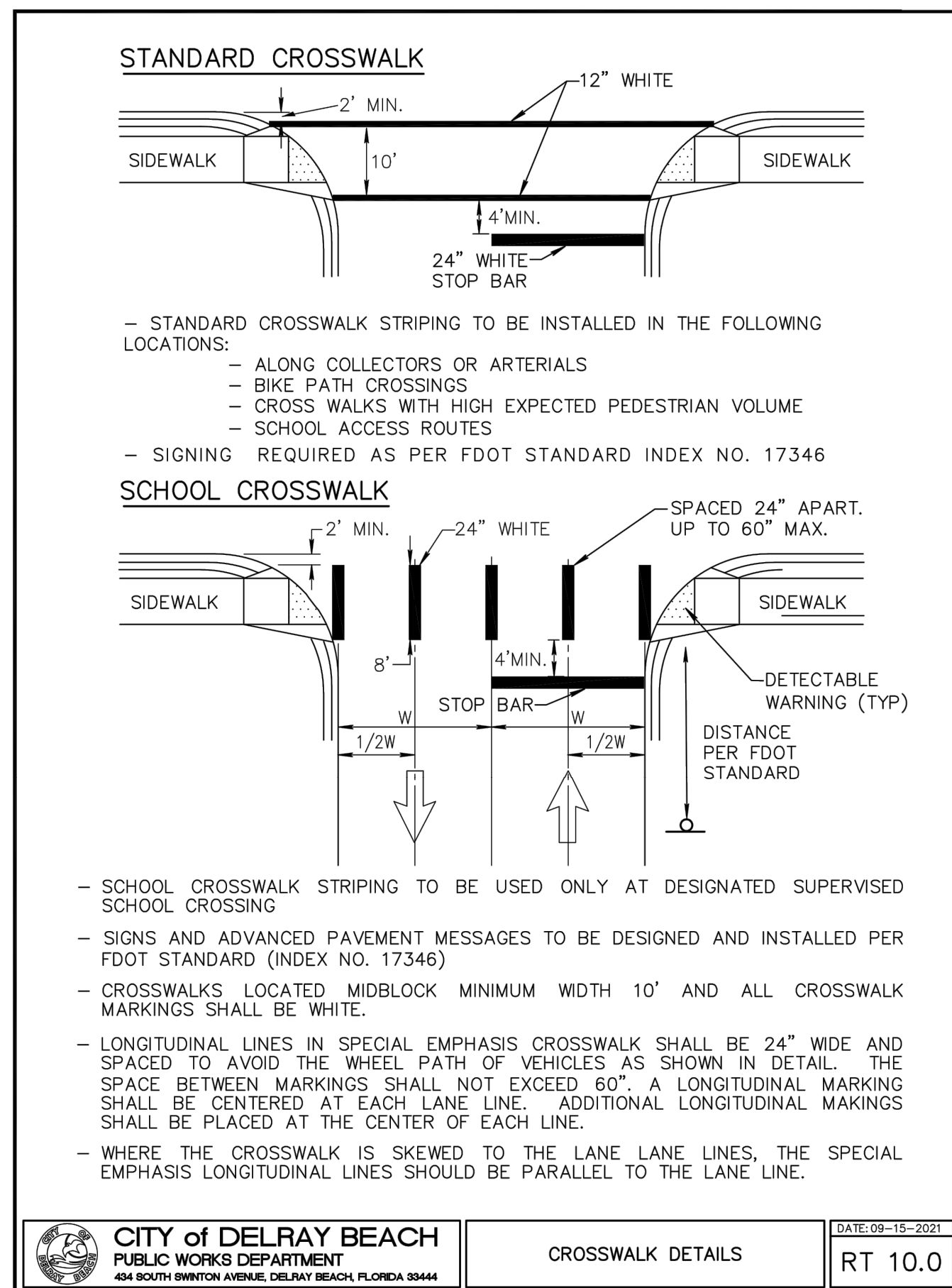
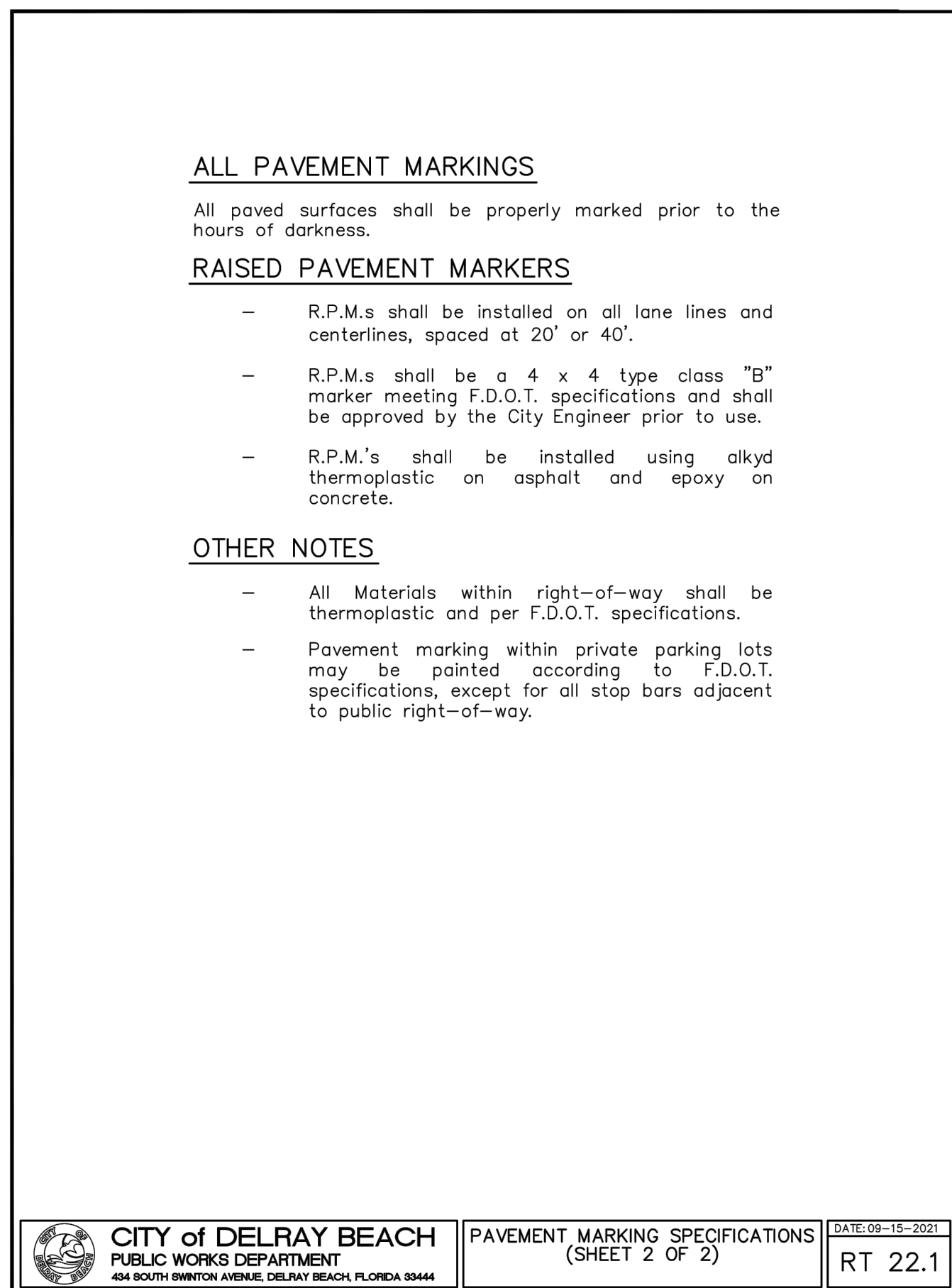
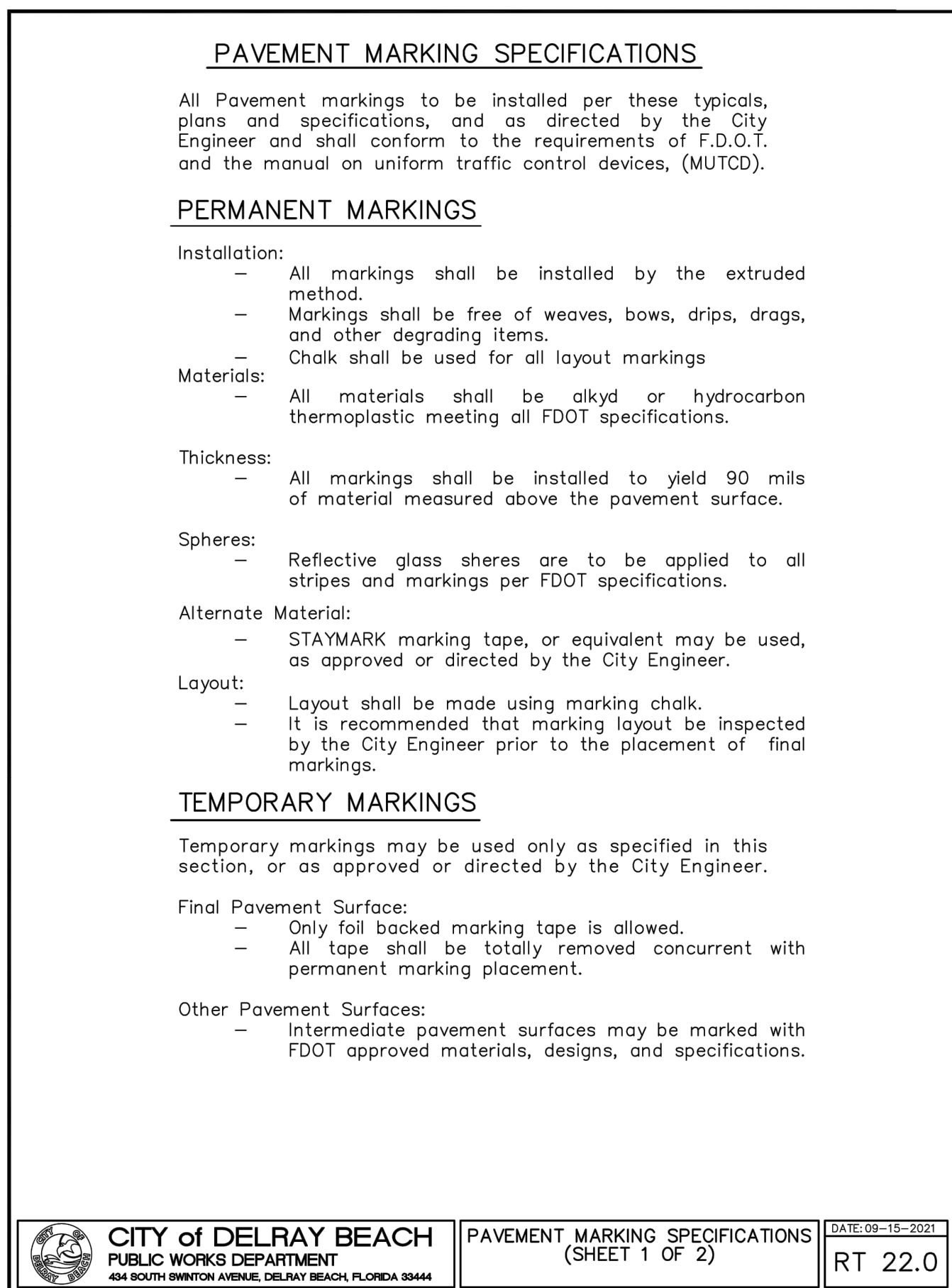
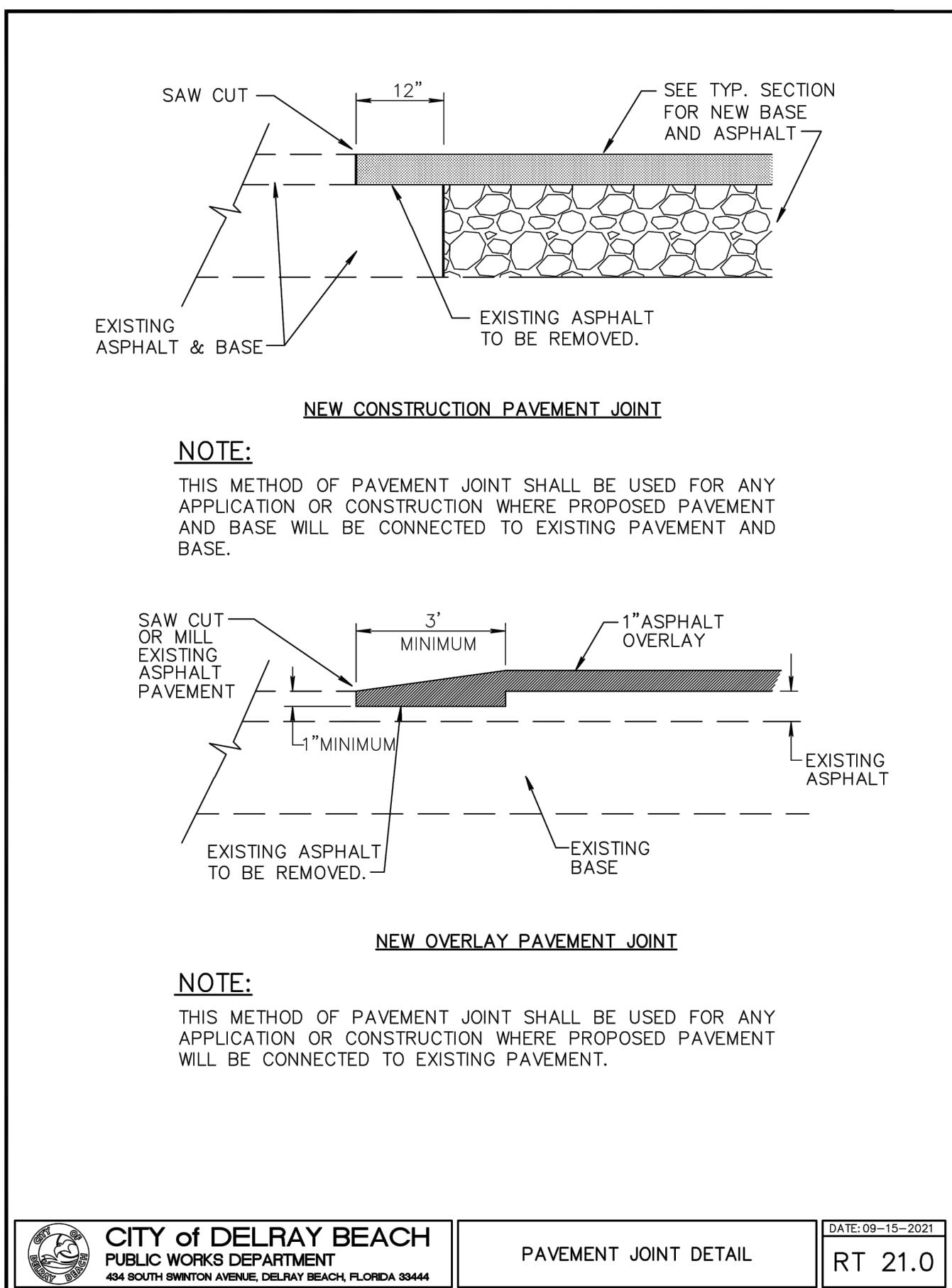
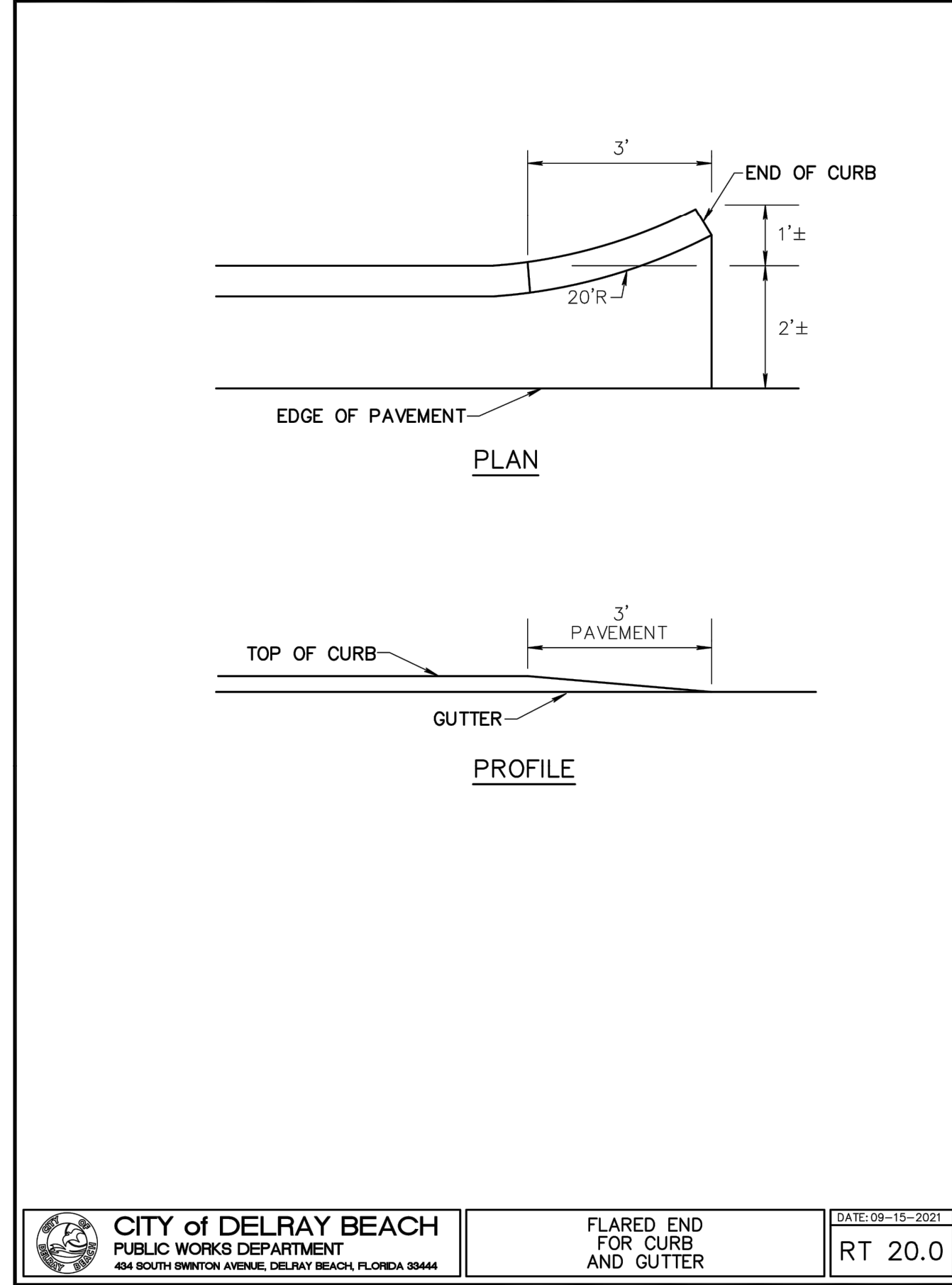
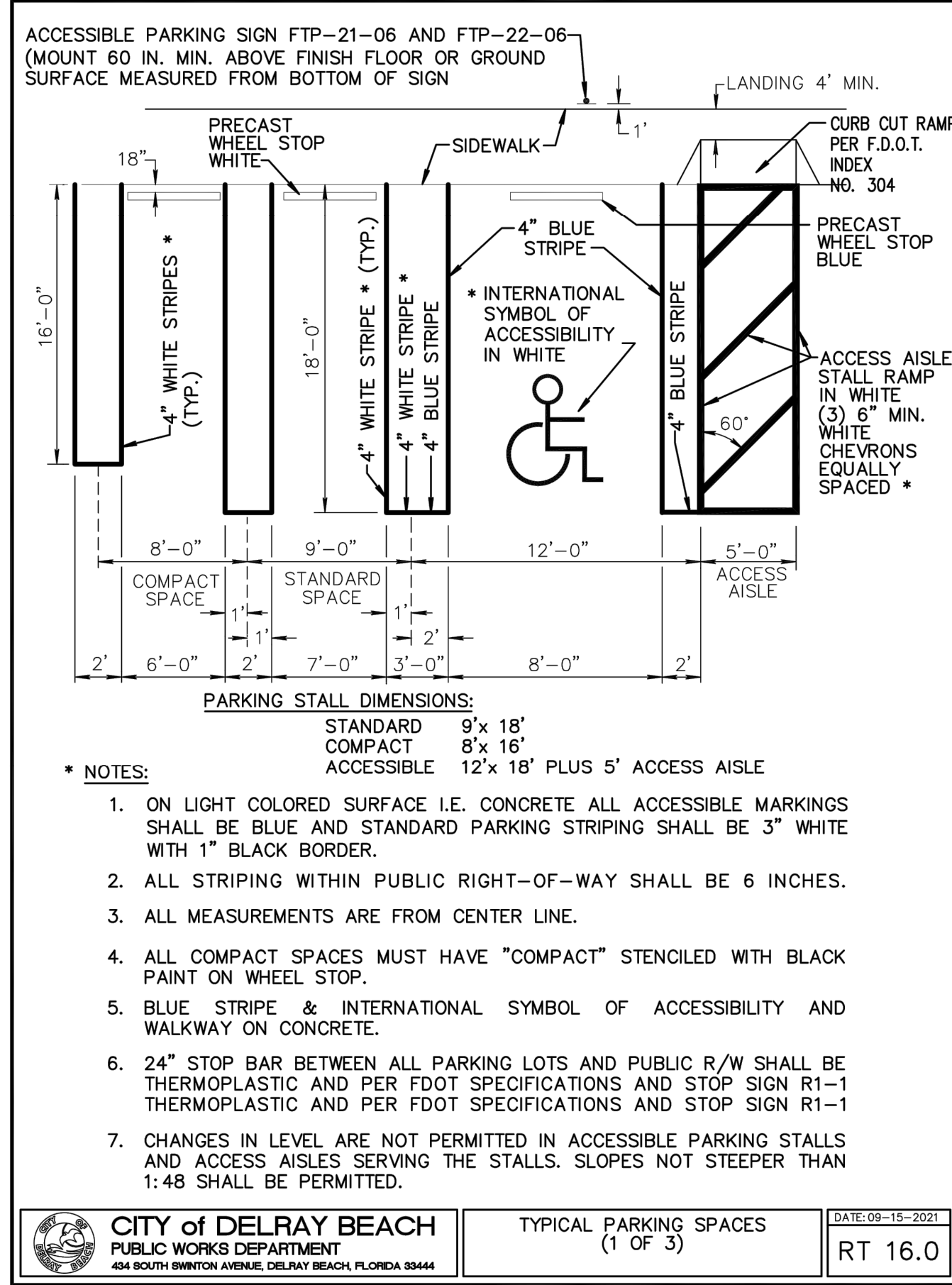
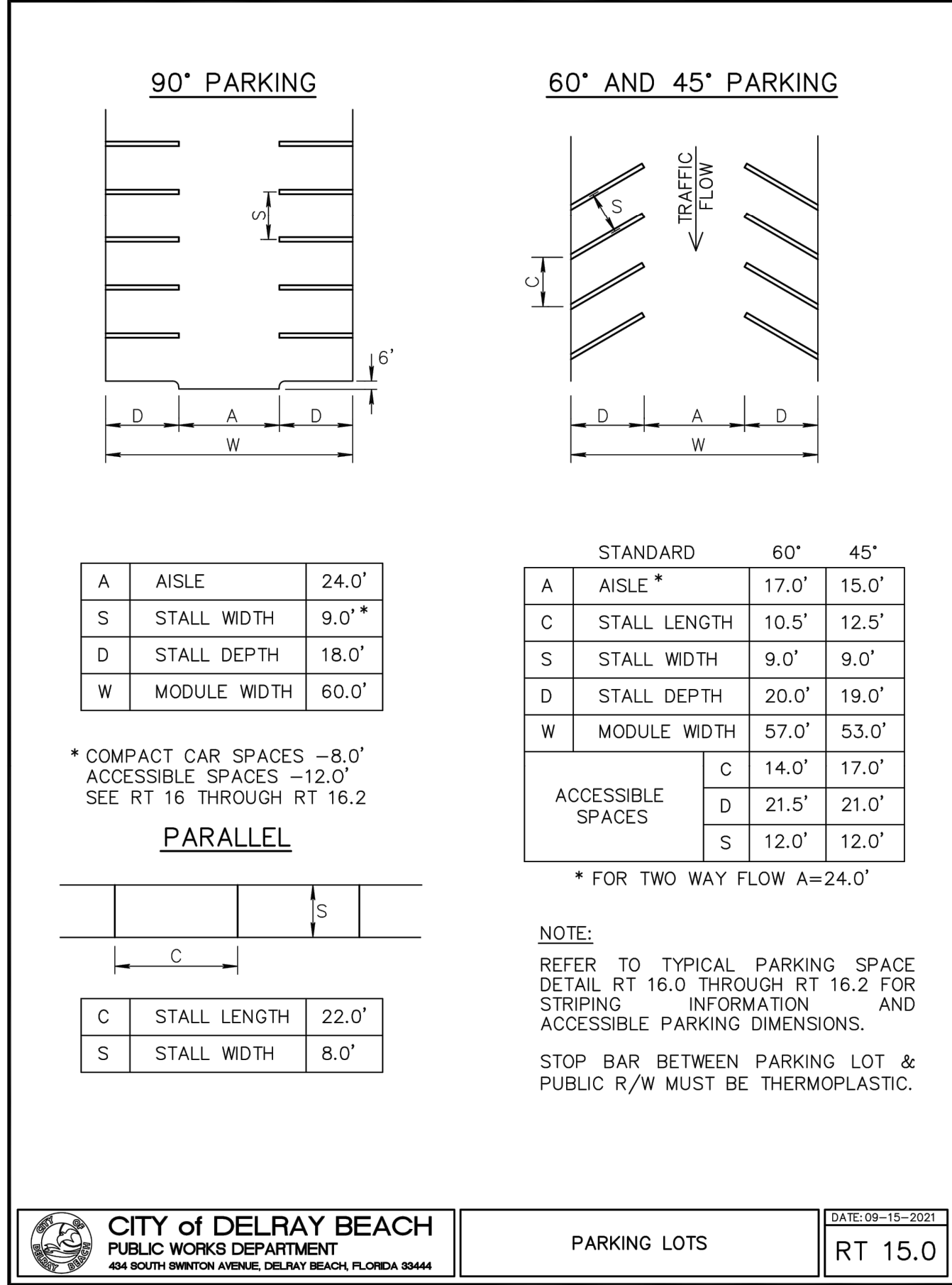
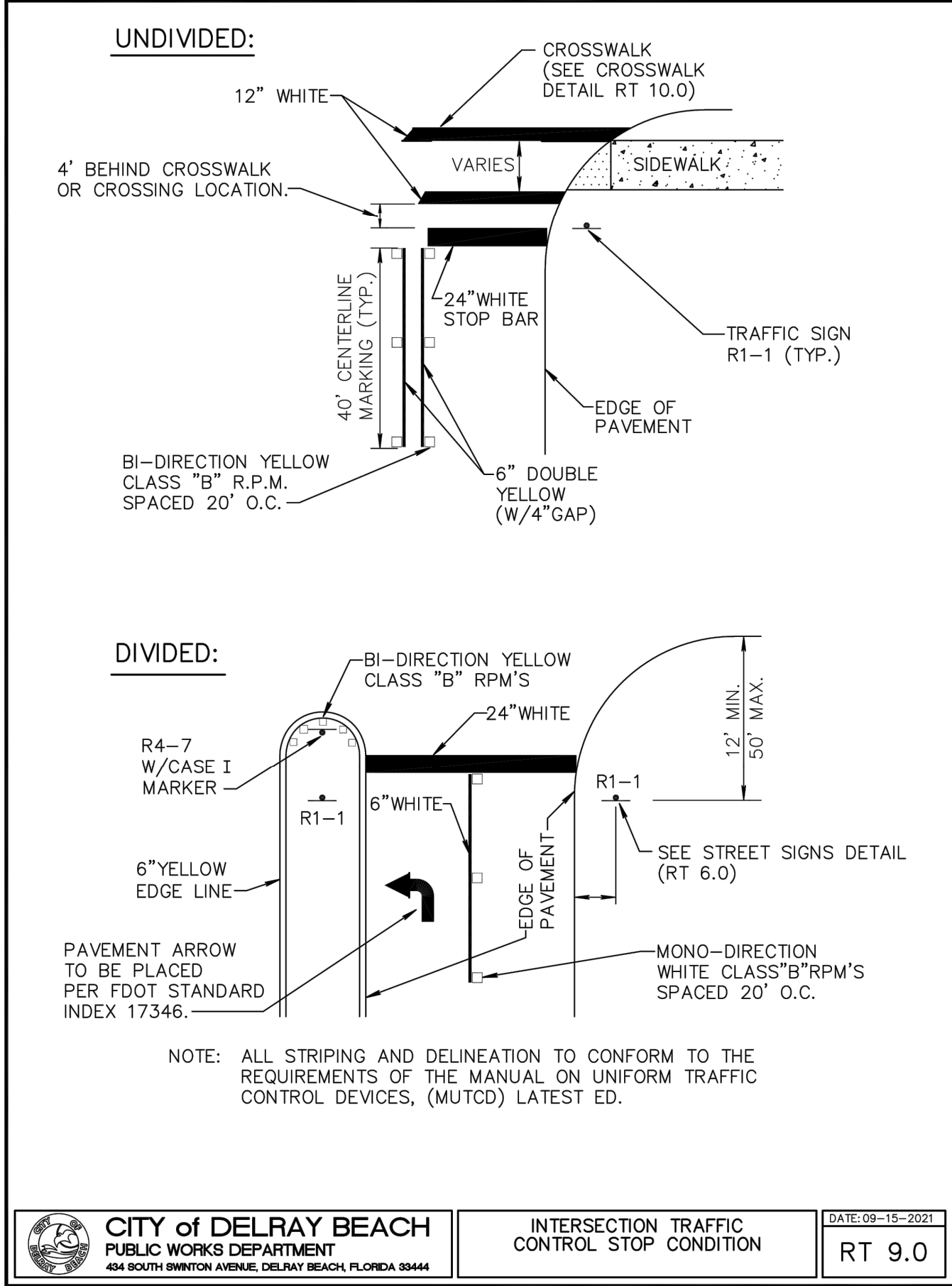
SHEET TITLE

### CONSTRUCTION DETAILS

SHEET NUMBER

C-901





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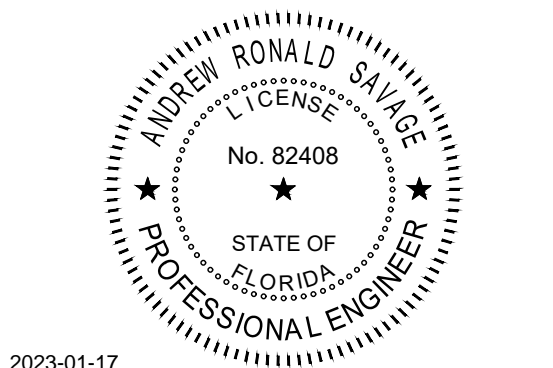


**REGIONS DELRAY BEACH RELOCATION**

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REGIONS PROJECT FLS0193215RL

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2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK

JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

SHEET TITLE

**CONSTRUCTION DETAILS**

SHEET NUMBER

C-902



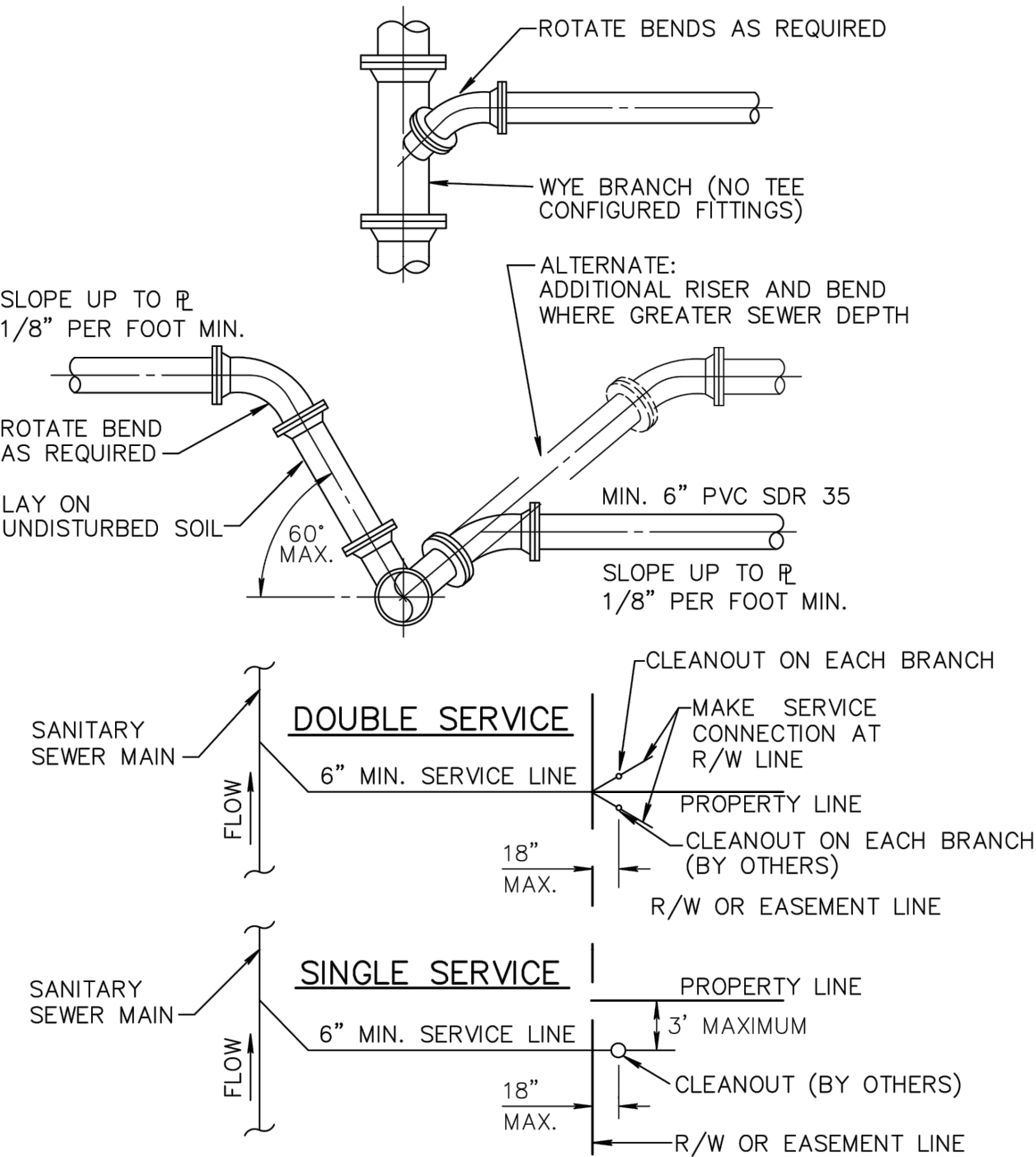
GRAVITY SEWER NOTES

- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
- ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
- ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
- (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
- (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWISE APPROVED BY UTILITIES DEPARTMENT.
- NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
- MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
- TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
- PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC. (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
- BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
- ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
- WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
- UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST. AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
- EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
- COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
- AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
- ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
- ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.



GRAVITY SEWER NOTES

DATE: 09-15-2021  
WW 1.0



NOTE:

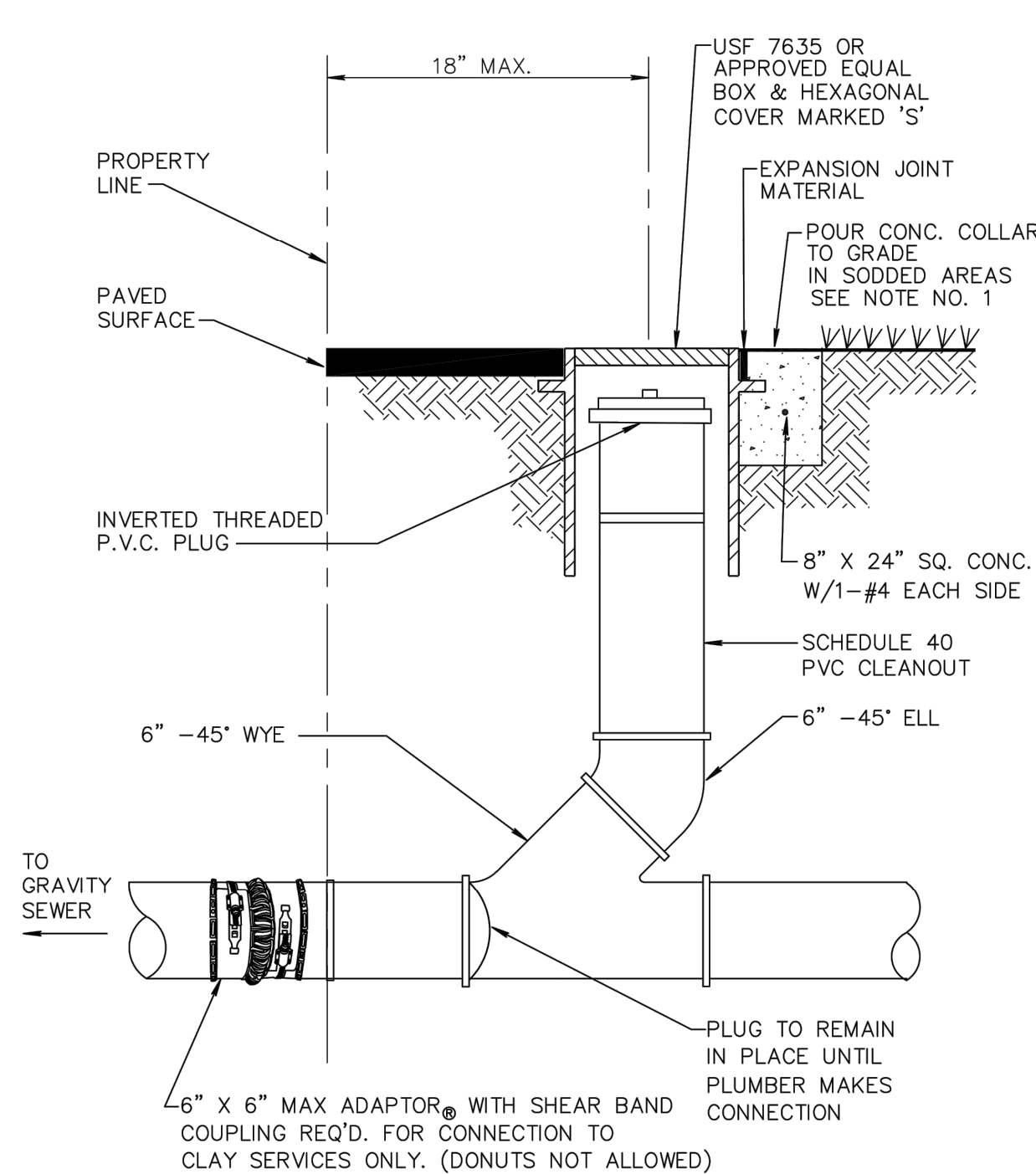
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.



CITY of DELRAY BEACH  
PUBLIC WORKS DEPARTMENT  
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SEWER SERVICE CONNECTION

DATE: 09-15-2021  
WW 8.0



NOTE:

- INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.



CITY of DELRAY BEACH  
PUBLIC WORKS DEPARTMENT  
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL COMMERCIAL CLEANOUT

DATE: 09-15-2021  
WW 10.0



400 N. Ashley Drive  
Suite, 600  
Tampa, FL 33602

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W: www.bdgip.com



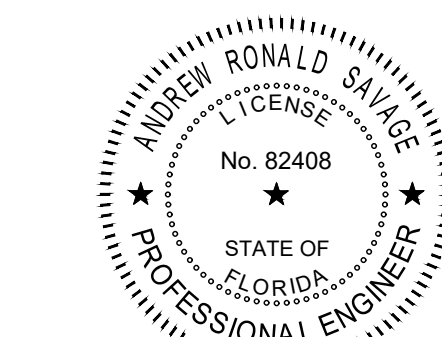
REGIONS

REGIONS DELRAY BEACH  
RELOCATION

4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

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2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

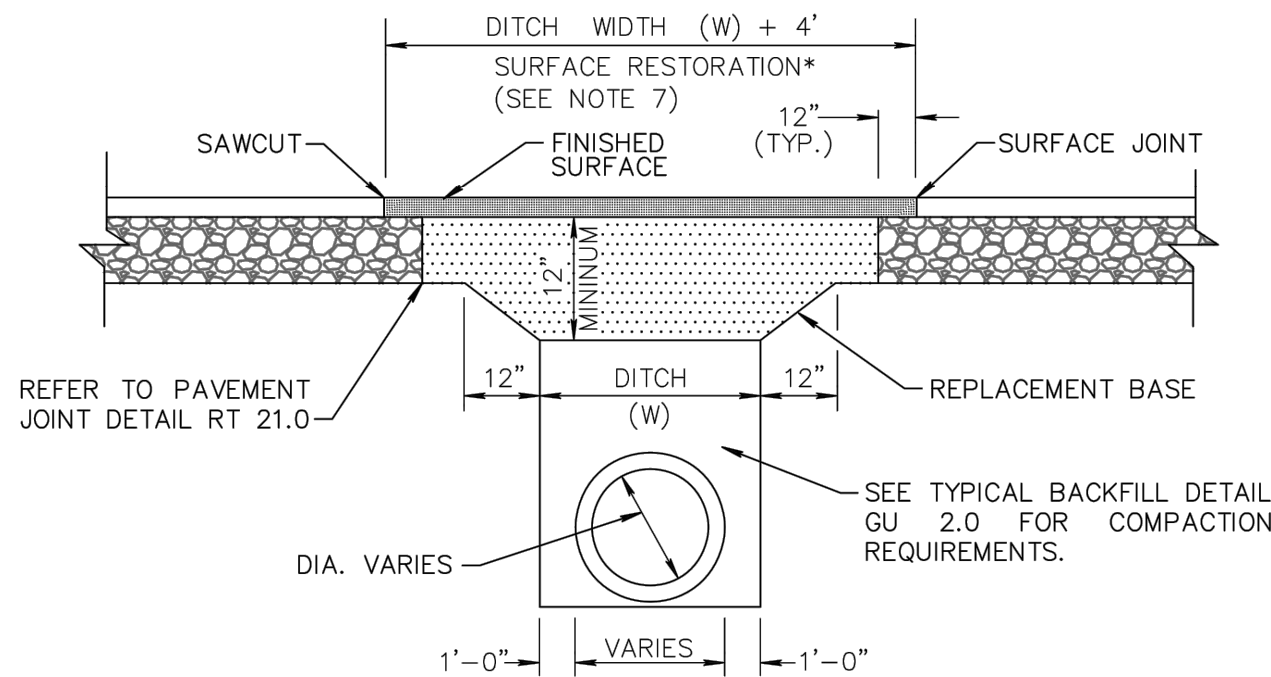
SHEET TITLE

CONSTRUCTION  
DETAILS

SHEET NUMBER

C-903



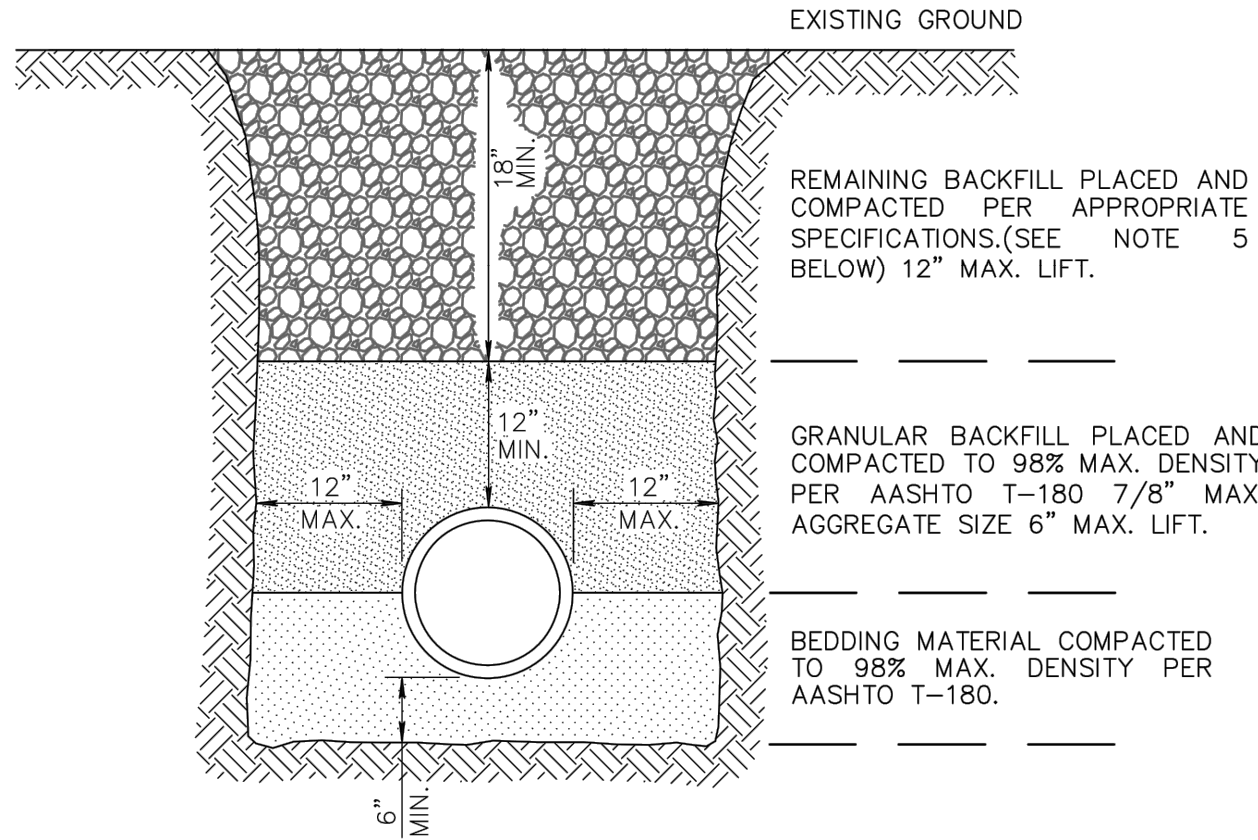


1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
- 2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
- 2b. 24" EXCAVATABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
5. SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
6. ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.
7. ROADWAYS SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION AT TIME OF PAVEMENT REPAIR THE SURFACE RESTORATION SHALL EXTEND 50' IN EACH DIRECTION.

**CITY of DELRAY BEACH**  
PUBLIC WORKS DEPARTMENT  
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CARRIER PIPE SUPPORTS

DATE: 09-15-2021  
GU 1.0



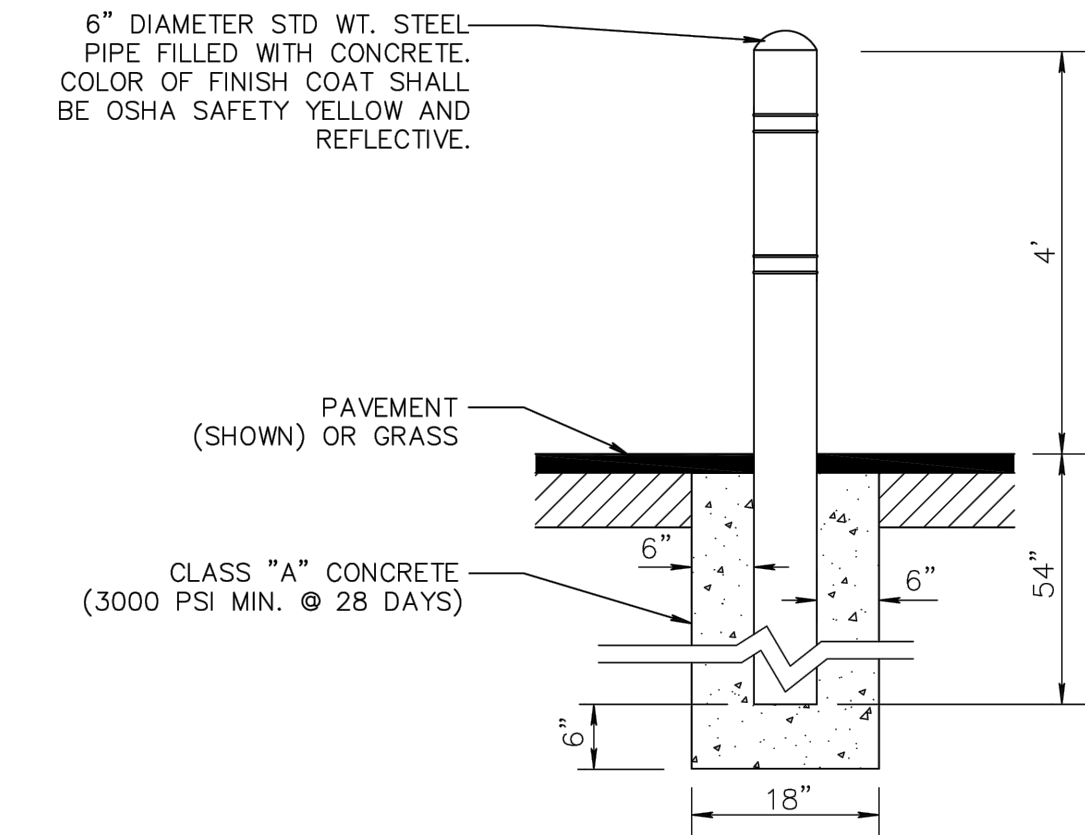
#### NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

**CITY of DELRAY BEACH**  
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TYPICAL BACKFILL DETAIL

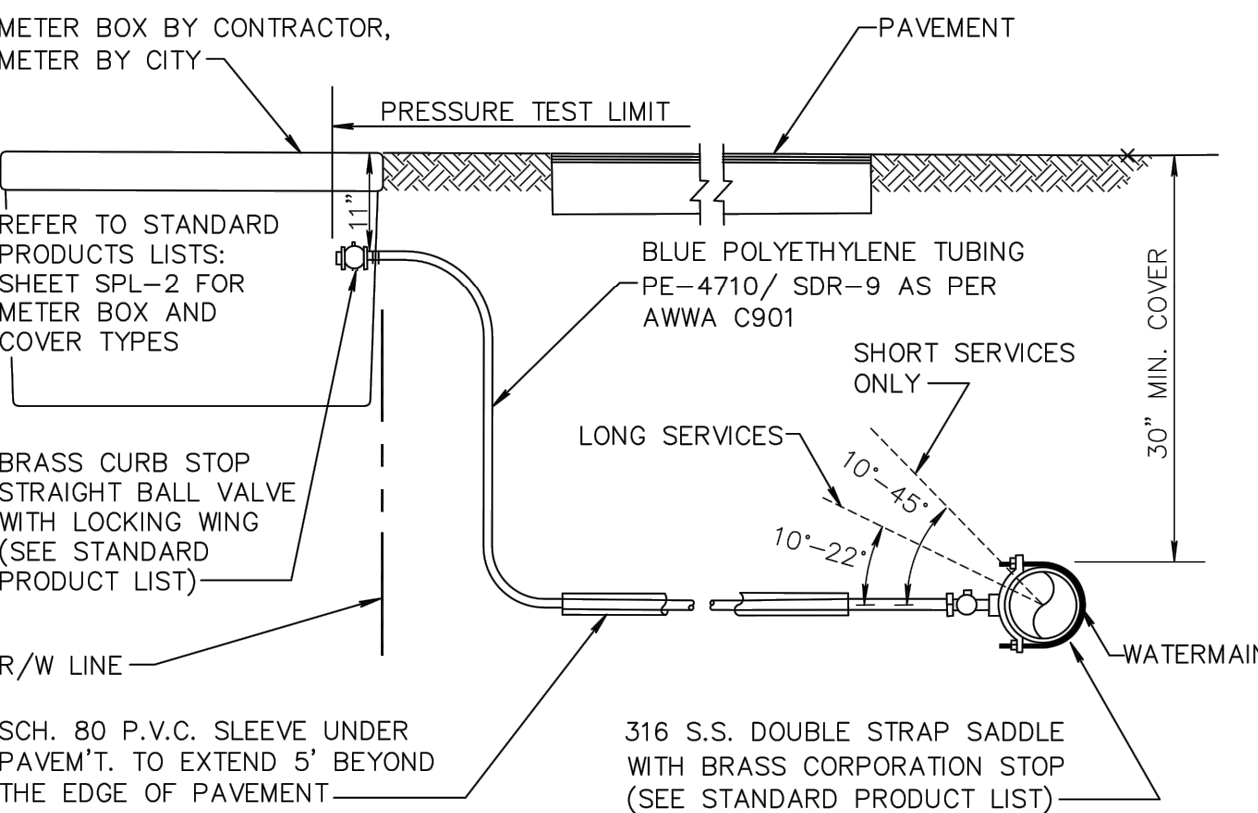
DATE: 09-15-2021  
GU 2.0



**CITY of DELRAY BEACH**  
PUBLIC WORKS DEPARTMENT  
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

BOLLARD DETAIL

DATE: 09-15-2021  
PW 7.1



#### NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
9. ALL VALVES TO BE BALL VALVES.
10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
12. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
13. ALL COMMERCIAL WATER SERVICE SHALL BE A MINIMUM OF 2".
14. WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

**CITY of DELRAY BEACH**  
PUBLIC WORKS DEPARTMENT  
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION IN DRIVEWAYS

DATE: 09-15-2021  
PW 13.0

**bdg**  
architects

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P: 813 - 323 - 9233 Lic. #1AA - 0003590 W: www.bdgip.com

**REGIONS**

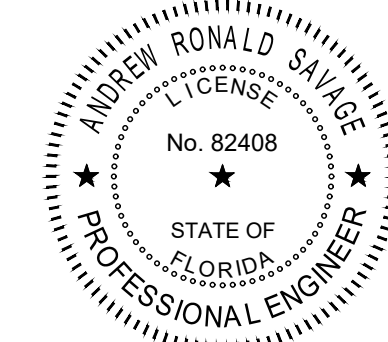
REGIONS DELRAY BEACH

RELOCATION

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REGIONS PROJECT FLS0193215RL

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2023-01-17

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-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

SHEET TITLE

**CONSTRUCTION DETAILS**

SHEET NUMBER

C-904



PRESSURE PIPE NOTES:

- FOR PIPE SIZES 4"-8" THERE SHALL BE 30" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE. FOR PIPE SIZE 10" AND LARGER THERE SHALL BE 36" MINIMUM COVER.
- a. DUCTILE IRON PIPE (DIP) FOR FORCE MAINS SHALL BE CLASS 350 WITH 401 EPOXY LINED IN ACCORDANCE WITH AWWA C550.
- b. DUCTILE IRON PIPE (DIP) FOR WATER MAINS SHALL BE CLASS 350 IN ACCORDANCE WITH AWWA C151 (ANSI A21.51), AND SHALL HAVE AN INTERNAL LINING OF CEMENT MORTAR IN ACCORDANCE WITH AWWA C104/ A21.4.
- C-900 PVC PRESSURE PIPE MAY BE USED IN LIEU OF DIP WATER MAIN WITH METAL TAPE AND WIRE ABOVE THE PIPE.
- ALL FITTINGS FOR FORCE MAIN SHALL BE CLASS 350 DUCTILE IRON WITH MECHANICAL JOINTS AND 401 EPOXY LINING.
- WATER MAIN VALVES 12 INCHES AND SMALLER SHALL BE RESILIENT-SEAL WEDGE GATE VALVES IN ACCORDANCE WITH AWWA C509. WATER MAIN VALVES LARGER THAN 12 INCHES SHALL BE BUTTERFLY VALVES IN ACCORDANCE WITH AWWA C504. SEWAGE FORCE MAIN VALVES SHALL BE RESILIENT-SEAL PLUG VALVES IN ACCORDANCE WITH AWWA C517.
- ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTION MUST COMPLY WITH CITY AND LOCAL GOVERNMENTAL REGULATIONS AND STANDARDS.
- WATER AND FORCE MAINS SHALL BE PIGGED A MINIMUM OF TWO TIMES, AND ADDITIONALLY, IF REQUIRED BY ENGINEER OF RECORD, AS WELL AS, PRESSURE TESTED FOR A PERIOD OF NOT LESS THAN TWO HOURS AT 150 PSI IN ACCORDANCE WITH ANSI/AWWA C600 LATEST STANDARDS. ALLOWABLE LEAKAGE SHALL BE DETERMINED AS FOLLOWS:  
$$L = \frac{SD\sqrt{P}}{148,000}$$

WHERE:  
L = ALLOWABLE LEAKAGE (GALLONS PER HOUR)  
S = PIPE LENGTH (FEET)  
D = NOMINAL DIAMETER OF PIPE (INCHES)  
P = AVERAGE TEST PRESSURE (PSI)
- RESTRAINTS SHALL BE PROVIDED AT ALL FITTINGS AS SHOWN ON PP 2.0 AND 2.1
- PRIOR TO ANY TESTING UNDER FUTURE PAVEMENT, ROCK SHALL BE FINISHED & PRIMED OR 1ST LIFT OF ASPHALT PLACED.
- PIG SIZE SHALL BE PIPE DIAMETER PLUS 2" OR NEXT LARGER DIAMETER.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER OR FORCE MAINS.
- LINE STOPS SHALL BE INSTALLED A MINIMUM OF 3 PIPE LENGTHS FROM LOCATION OF PIPE REMOVED AND PROVIDE NECESSARY JOINT RESTRAINTS.



CITY of DELRAY BEACH  
PUBLIC WORKS DEPARTMENT  
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PRESSURE PIPE NOTES

DATE: 09-15-2021  
PP 1.0

MINIMUM LENGTHS OF PIPE (FT) TO BE RESTRAINED

FITTING TYPE	PIPE SIZE							
	4"	6"	8"	10"	12"	16"	20"	24"
90° HORIZ. BEND	14	20	25	30	35	45	54	62
45° HORIZ. BEND	6	8	11	13	15	19	22	26
22.5° HORIZ. BEND	3	4	5	6	7	9	11	12
11.25° HORIZ. BEND	1	2	3	3	4	4	5	6
90° VERT. OFFSET	UPPER BEND	55	79	103	125	147	189	228
	LOWER BEND	22	38	49	59	69	88	106
45° VERT. OFFSET	UPPER BEND	22	32	42	51	60	77	93
	LOWER BEND	10	14	19	23	28	35	43
22.5° VERT. OFFSET	UPPER BEND	7	12	17	21	26	34	42
	LOWER BEND	2	4	6	8	10	14	17
11.25° VERT. OFFSET	UPPER BEND	3	4	6	9	11	15	19
	LOWER BEND	1	1	1	2	3	5	7
PLUG (DEAD END)		32	45	59	70	83	107	129
INLINE VALVE		32	45	59	70	83	107	129
TEE (BRANCH RESTRAINT)	4" X Ø"	23						
	6" X Ø"	21	35					
	8" X Ø"	18	34	47				
	10" X Ø"	16	32	46	58			
	12" X Ø"	13	30	44	57	69		
	16" X Ø"	7	26	41	55	67	90	
REDUCER (LARGER PIPE RESTRAINT)	20" X Ø"	1	21	38	52	65	88	109
	24" X Ø"	1	16	34	49	62	86	108
	6" X Ø"	23						
	8" X Ø"	38	25					
	10" X Ø"	57	43	24				
	12" X Ø"	72	60	44	41			
	16" X Ø"	99	90	78	75	45		
	20" X Ø"	123	116	107	105	81	45	
	24" X Ø"	146	140	132	131	111	82	45

RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE



CITY of DELRAY BEACH  
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PIPE RESTRAINT TABLE  
PRESSURE PIPE  
(SHEET 1 OF 2)

DATE: 09-15-2021  
PP 2.0

NOTES:

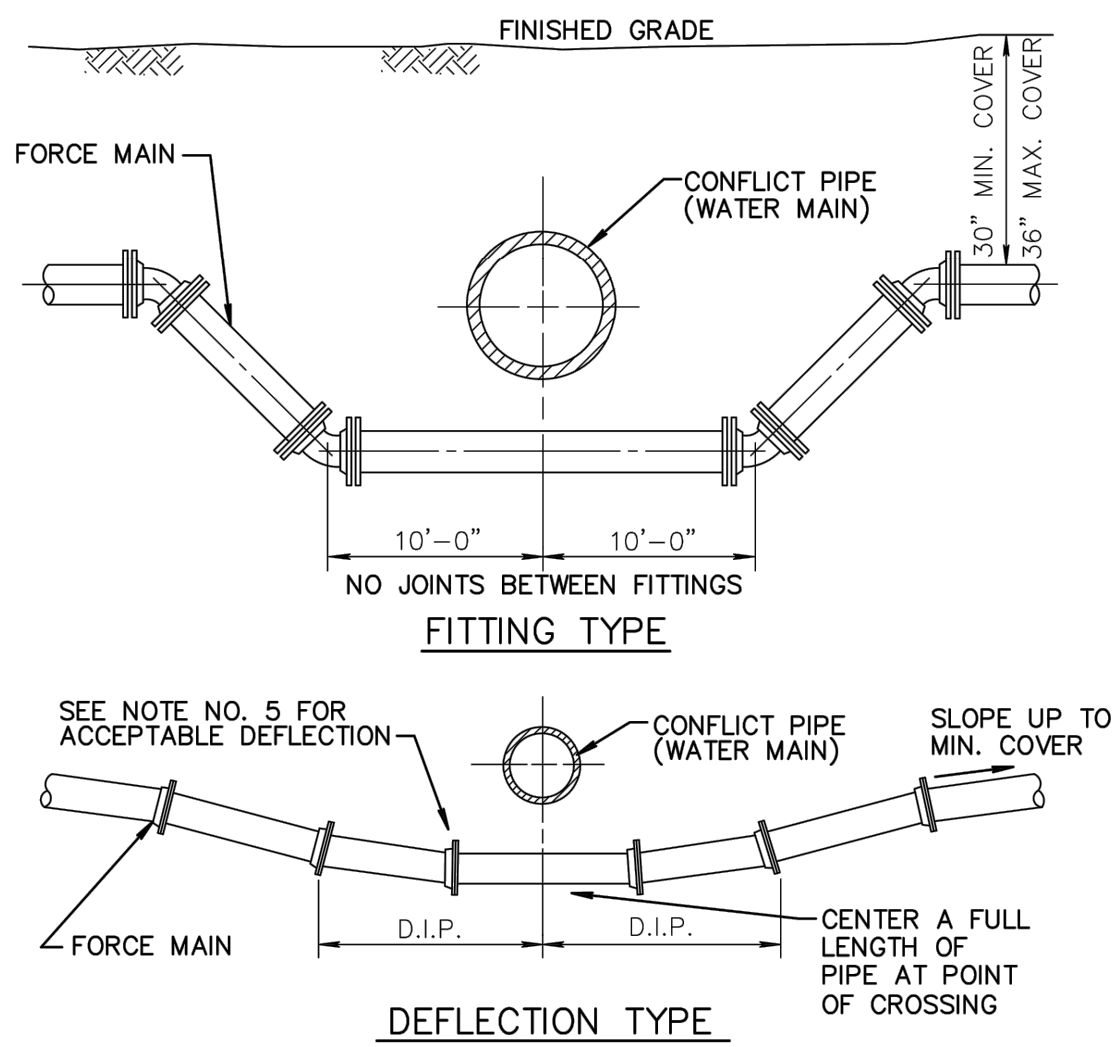
- THE DATA IN THE PREVIOUS TABLE IS BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:  
SOIL TYPE ..... SAND  
TEST PRESSURE .....150 PSI, 200 PSI FOR PIPES LARGER THAN 24"  
DEPTH OF BURY .....3'  
TRENCH TYPE .....3  
SAFETY FACTOR .....1.5  
VERTICAL OFF-SET .....3'  
MINIMUM PIPE LENGTHS  
ALONG TEE RUN .....5'
- THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON PIPE AND PVC PIPE.
- ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.
- RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES
- THE PREVIOUS TABLE SHALL SERVE AS A GENERAL DESIGN GUIDE ONLY. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO JUSTIFY AND DOCUMENT ANY DEVIATIONS FROM THE PIPE LENGTHS SPECIFIED IN THE PREVIOUS TABLE.
- SOURCES: EBAA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, RELEASE 3.1 (LATEST EDITION) AND DIPRA RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2 (LATEST EDITION).
- RESTRAINED JOINTS SHALL EXTEND ONE JOINT BEYOND MINIMUM LENGTH REQUIRED.



CITY of DELRAY BEACH  
PUBLIC WORKS DEPARTMENT  
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PIPE RESTRAINT TABLE  
PRESSURE PIPE  
(SHEET 2 OF 2)

DATE: 09-15-2021  
PP 2.1



NOTES:

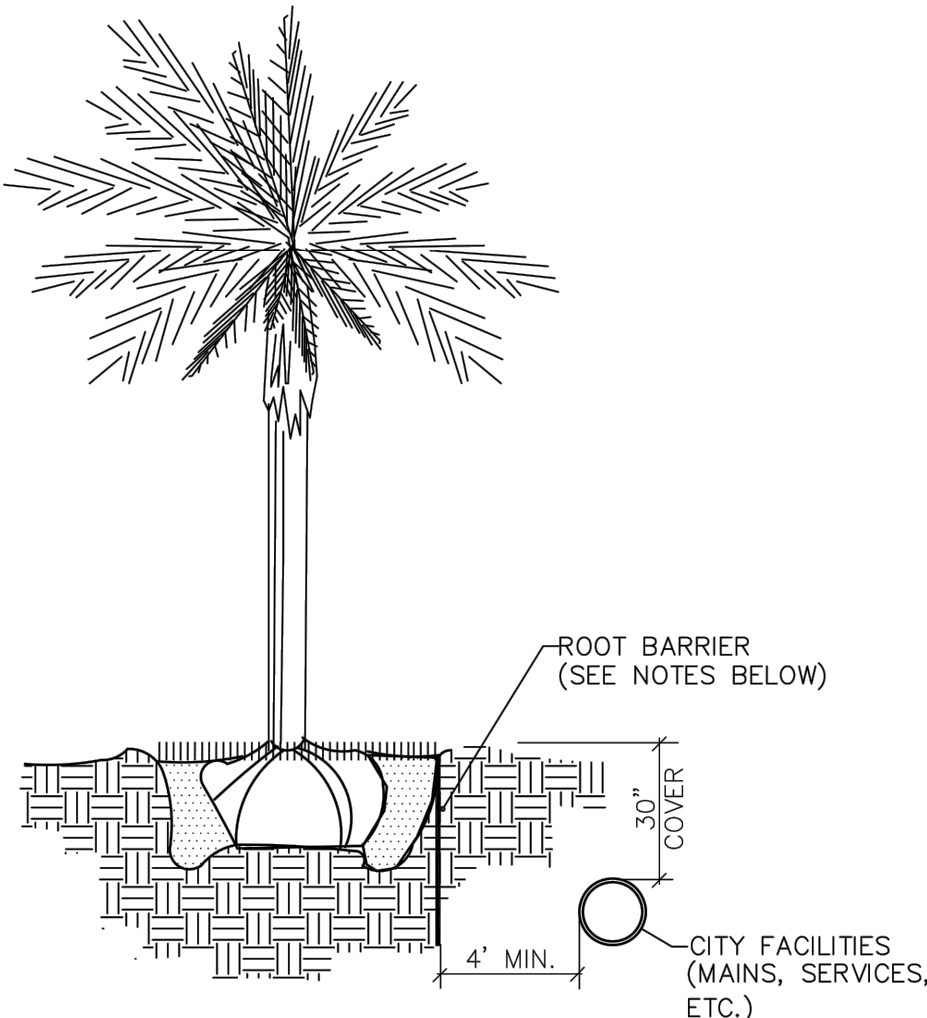
- THERE SHALL BE IN ALL CASES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER MAINS AND FORCE MAINS.
- WHEREVER POSSIBLE WATER MAINS SHALL PASS OVER FORCE MAINS OR STORM SEWERS.
- FITTINGS SHALL BE RESTRAINED WITH MECHANICAL JOINT RESTRAINTS.
- THE DEFLECTION TYPE CROSSING IS PREFERRED.
- DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
- REFER TO TYPICAL RESTRAINING DETAIL PP 2.0 AND 2.1



CITY of DELRAY BEACH  
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434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PRESSURE PIPE CONFLICT TABLE

DATE: 09-15-2021  
PP 3.0



NOTES:

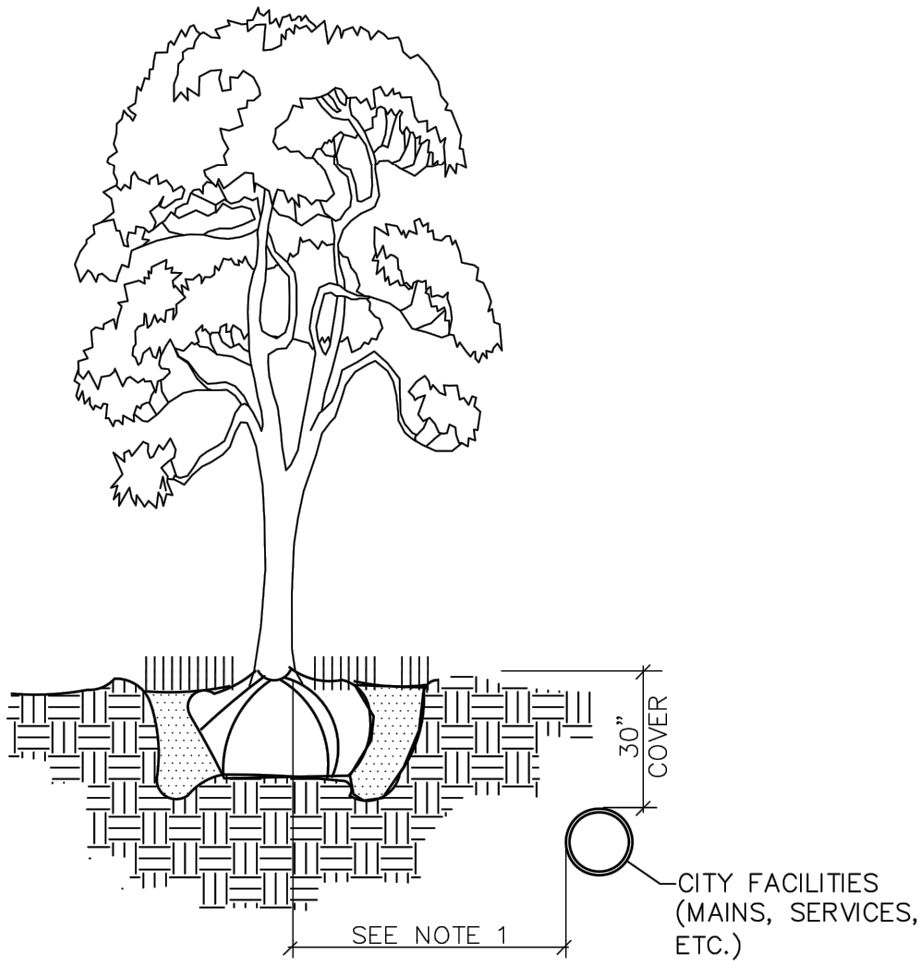
- ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL CITY FACILITIES.
- THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



CITY of DELRAY BEACH  
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TYPICAL TREE WITH  
ROOT BARRIER

DATE: 09-15-2021  
LD 1.0



NOTES:

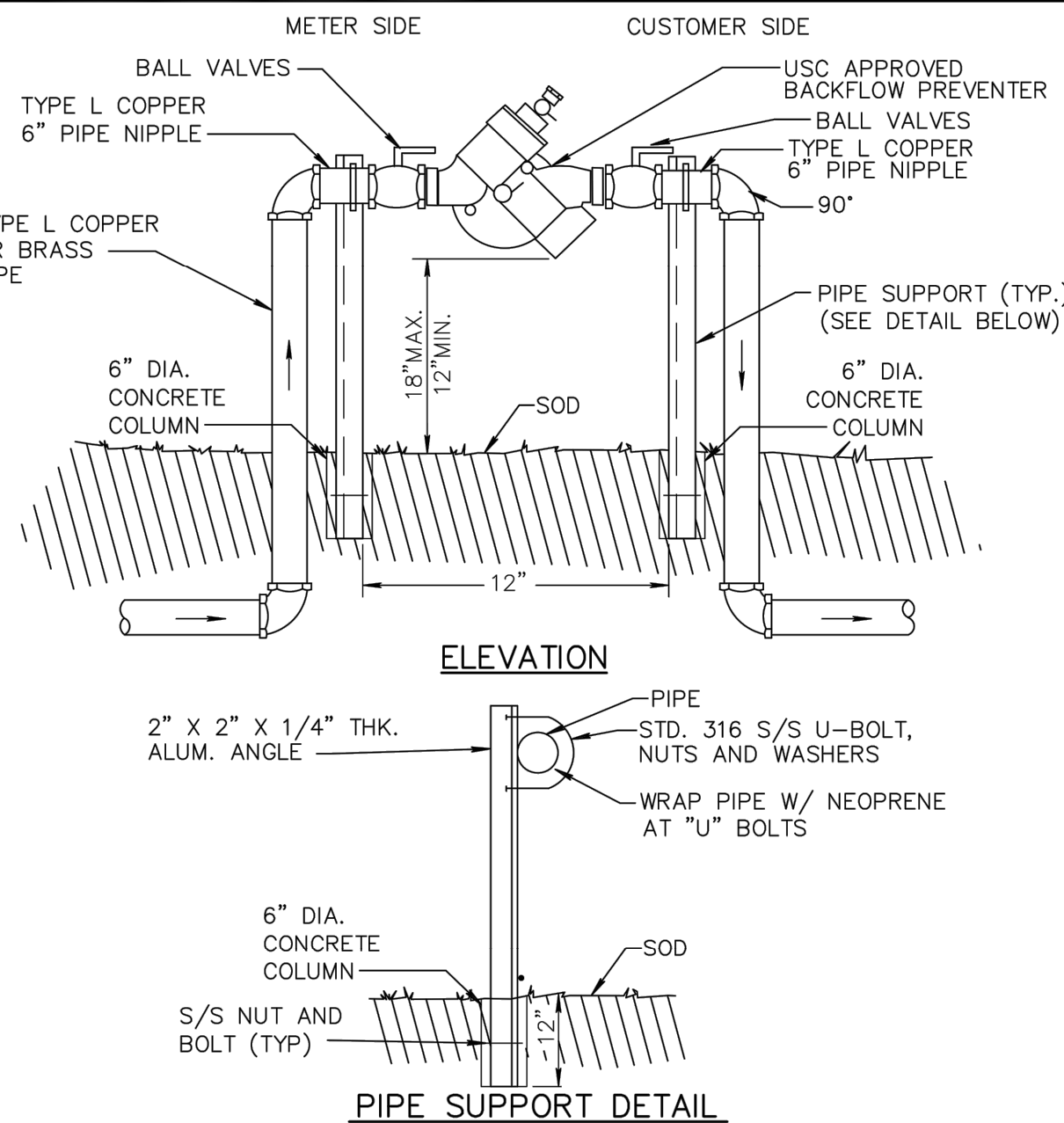
- THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.



CITY of DELRAY BEACH  
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TYPICAL TREE WITHOUT  
ROOT BARRIER

DATE: 9-15-2021  
LD 2.0



NOTES:

- FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
- ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.
- ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
- USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.
- USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.



CITY of DELRAY BEACH  
PUBLIC WORKS DEPARTMENT  
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REDUCED PRESSURE ZONE  
BACKFLOW PREVENTER

DATE: 09-15-2021  
PW 17.0

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Lic. #1AA - 0003590  
W: www.bdgllp.com



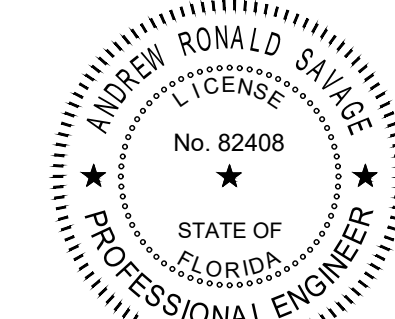
REGIONS®

REGIONS DELRAY BEACH  
RELOCATION

4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.

REGIONS PROJECT FLS0193215RL

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE, PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUBMITTER AND CONSTRUCTION SHALL BE RESPONSIBLE FOR ANY CHANGES TO THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, OR ANY CHANGES TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THESE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO COMMENCING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.



2023-01-17

Revision Number	BY	DATE	DESCRIPTION
-		05/13/22	BID/PERMIT SET
1		08/23/22	TAC REVIEW NO.1
2		12/15/22	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE:	5/13/22
DRAWN BY:	ML
CHECKED BY:	AS

SHEET TITLE

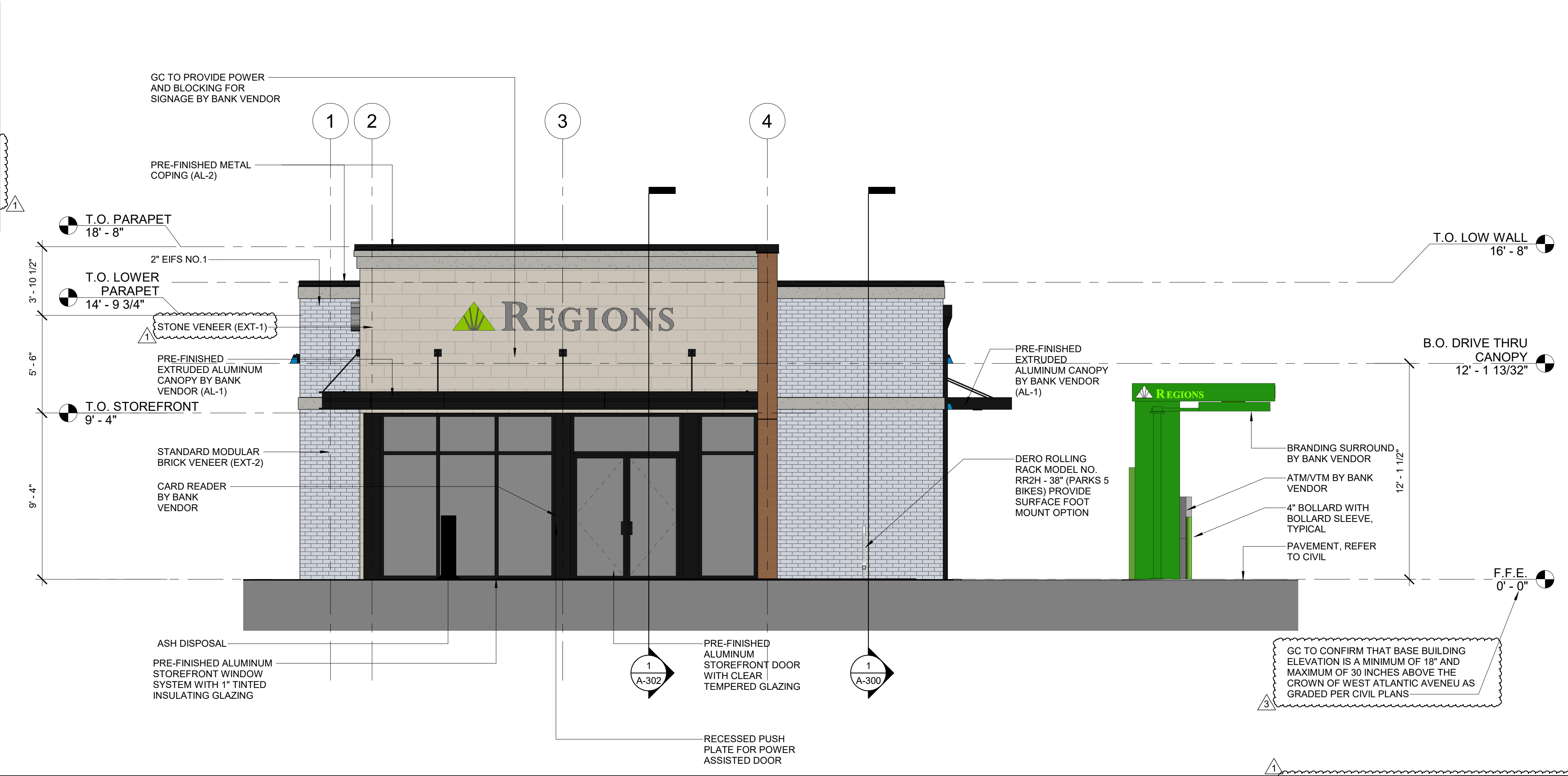
CONSTRUCTION  
DETAILS

SHEET NUMBER

C-905



FINISH SCHEDULE - EXTERIOR				
EXTERIOR FINISH	IDENTIFICATION	MANUFACTURER	COLOR	COMMENTS
PREFINISHED ALUMINUM STOREFRONT SYSTEM	AL-1	KAWNEER	BLACK	
PREFINISHED ALUMINUM CANOPY SYSTEM	AL-2	BANK VENDOR	BLACK	
EXTERIOR PAINT	EX-1	BENJAMIN MOORE	LIGHT GREY-DAYS END 2133-30	
STONE VENEER	EXT-1	ROCKCAST	BUFFSTONE	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: WHITE
BRICK VENEER	EXT-2	TAYLOR CLAY BRICK	EXECUTIVE WHITE	TEXTURE: TUMBLE MORTAR MANUFACTURER: COOSA, MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-4	PAC CLAD	BLACK	



WEST ELEVATION  
SCALE  
1/4" = 1'-0"  
1

FINISH SCHEDULE - EXTERIOR				
EXTERIOR FINISH	IDENTIFICATION	MANUFACTURER	COLOR	COMMENTS
PREFINISHED ALUMINUM STOREFRONT SYSTEM	AL-1	KAWNEER	BLACK	
PREFINISHED ALUMINUM CANOPY SYSTEM	AL-2	BANK VENDOR	BLACK	
EXTERIOR PAINT	EX-1	BENJAMIN MOORE	LIGHT GREY-DAYS END 2133-30	
STONE VENEER	EXT-1	ROCKCAST	BUFFSTONE	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: WHITE
BRICK VENEER	EXT-2	TAYLOR CLAY BRICK	EXECUTIVE WHITE	TEXTURE: TUMBLE MORTAR MANUFACTURER: COOSA, MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-4	PAC CLAD	BLACK	



NORTH ELEVATION  
SCALE  
1/4" = 1'-0"  
2

bdgarchitects

400 N. Ashley Drive Suite 400 Tampa, FL 33602

P: 813 - 323 - 9233 Lic. #: AA - 0003590 W: www.bdgllp.com



REGIONS DELRAY BEACH  
RELOCATION  
4760 W ATLANTIC AVE.  
DELRAY BEACH, FL.  
REGIONS PROJECT FLS0193215RRL

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Revision Number	BY	DATE	DESCRIPTION
1	OW	8/24/22	Permit Comments
3	OW	12/14/2022	CITY COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	213225
DATE	8/24/22
DRAWN BY:	JC
CHECKED BY:	JM

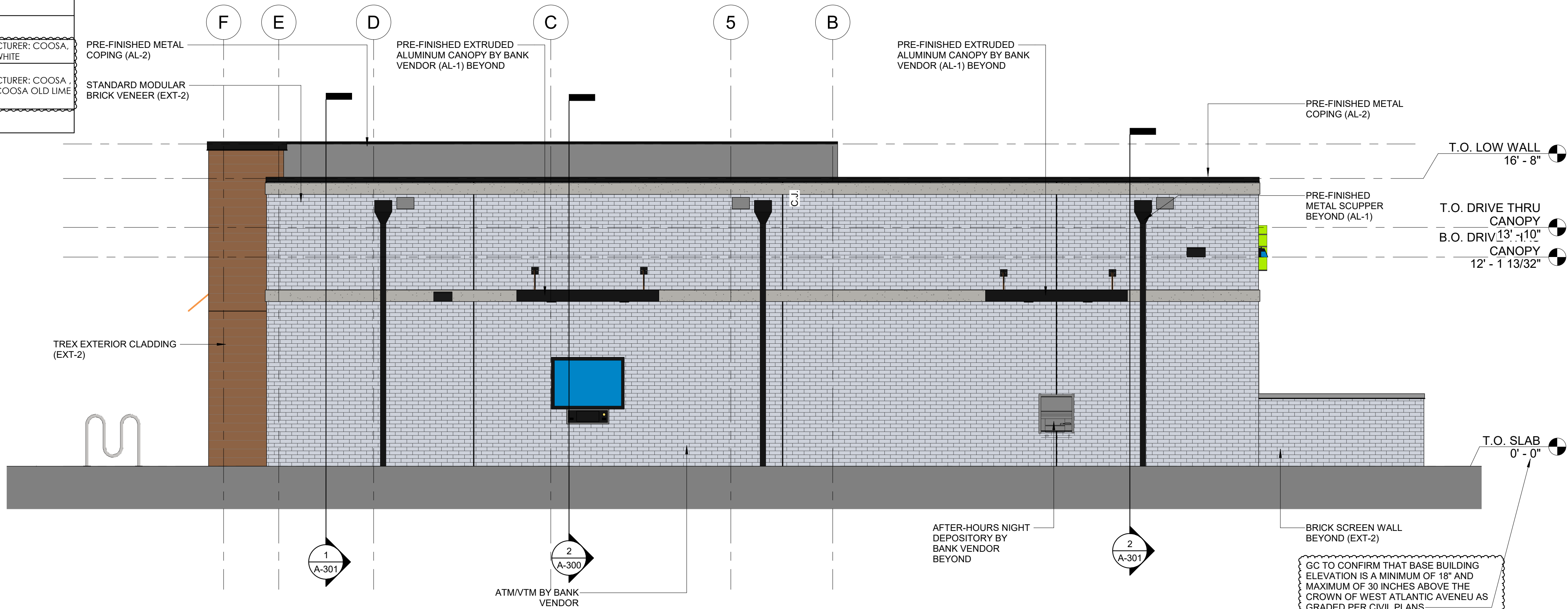
SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER

A-200



FINISH SCHEDULE - EXTERIOR				
EXTERIOR FINISH	INDENTIFICATION	MANUFACTURER	COLOR	COMMENTS
PREFINISHED ALUMINUM STOREFRONT SYSTEM	AL-1	KAWNEER	BLACK	
PREFINISHED ALUMINUM CANOPY SYSTEM	AL-2	BANK VENDOR	BLACK	
EXTERIOR PAINT	EX-1	BENJAMIN MOORE	LIGHT GREY-DAYS END 2133-30	
STONE VENEER	EXT-1	ROCKCAST	BUFFSTONE	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: WHITE
BRICK VENEER	EXT-2	TAYLOR CLAY BRICK	EXECUTIVE WHITE	TEXTURE: TUMBLE MORTAR MANUFACTURER: COOSA, MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-4	PAC CLAD	BLACK	

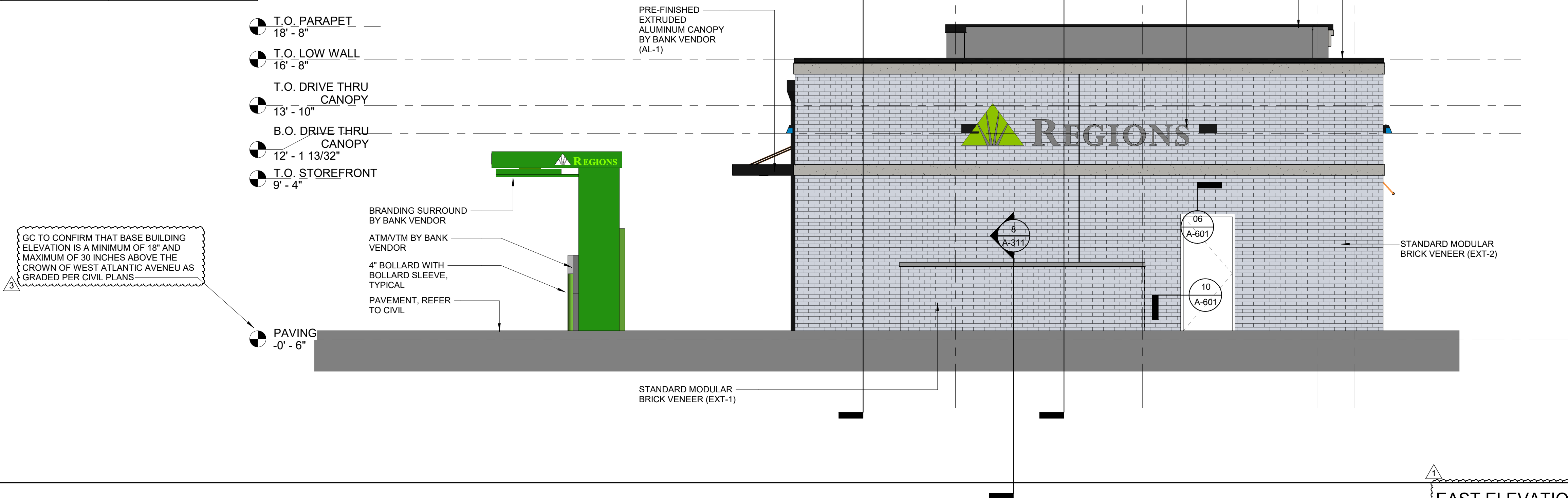


SOUTH ELEVATION

SCALE  
1/4" = 1'-0"

1

FINISH SCHEDULE - EXTERIOR				
EXTERIOR FINISH	INDENTIFICATION	MANUFACTURER	COLOR	COMMENTS
PREFINISHED ALUMINUM STOREFRONT SYSTEM	AL-1	KAWNEER	BLACK	
PREFINISHED ALUMINUM CANOPY SYSTEM	AL-2	BANK VENDOR	BLACK	
EXTERIOR PAINT	EX-1	BENJAMIN MOORE	LIGHT GREY-DAYS END 2133-30	
STONE VENEER	EXT-1	ROCKCAST	BUFFSTONE	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: WHITE
BRICK VENEER	EXT-2	TAYLOR CLAY BRICK	EXECUTIVE WHITE	TEXTURE: TUMBLE MORTAR MANUFACTURER: COOSA, MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-4	PAC CLAD	BLACK	



EAST ELEVATION

SCALE  
1/4" = 1'-0"

2

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Revision Number	BY	DATE	DESCRIPTION
1	OW	8/24/22	Permit Comments
3	OW	12/14/2022	CITY COMMENTS

PROJECT INFORMATION BLOCK  
JOB # 213225  
DATE: 8/24/22  
DRAWN BY: JC  
CHECKED BY: JM

SHEET TITLE  
EXTERIOR ELEVATIONS  
SHEET NUMBER

A-201



NOTES:

- THE SUBJECT PROPERTY IS LOTS 8 AND 9 AS SHOWN ON A PLAT ENTITLED "COUNTRY CLUB ACRES" AS RECORDED IN PLAT BOOK 24, PAGE 10, BEING THE LANDS OF 4760 WEST ATLANTIC AVENUE, LLC, AS RECORDED IN OFFICIAL RECORDS BOOK 22073, PAGE 1451, AMONG THE LANDS RECORDS OF PALM BEACH COUNTY, FLORIDA AND HAVING A PCN OF 12-42-46-13-01-000-0080 PER THE PALM BEACH COUNTY PROPERTY APPRAISER.
- AREA= 20,063 S.F. OR 0.461 ACRES
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS SURVEY WAS PERFORMED IN THE FIELD ON FEBRUARY 15, 2022 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS COUNTY BENCHMARK NO. AD2892 WITH A PUBLISHED ELEVATION OF 12.78 FEET.
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 978 OF 1200", COMMUNITY-PANEL NUMBER 12099C0978F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017.
- NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
- THERE IS NO RECENT EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- TREES 4" INCHES DBH AND LARGER HAVE BEEN LOCATED WITHIN THE PROJECT BOUNDARY.
- PARKING: 23 STANDARD  
1 ADA  
24 TOTAL SPACES
- PROPERTY HAS ACCESS ALONG WEST ATLANTIC AVENUE AND WHATLEY ROAD.
- BOHLER WAS NOT MADE AWARE OF ANY WETLAND DELINEATION PERFORMED ON THE SUBJECT PROPERTIES AND THERE WERE NO WETLAND FLAGS OBSERVED AT THE TIME OF THE FIELD SURVEY. A PHASE 1 REPORT WAS NOT PROVIDED.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULES SJ-17.050 THROUGH SJ-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.

TITLE NOTES:

THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY AMERICAN LAND TITLE ASSOCIATION COMMITMENT ORDER NO.: 10083713, WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2022 OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B SECTION II, EXCEPTIONS:

- RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF COUNTRY CLUB ACRES, RECORDED IN PLAT BOOK 24, AT PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; AFFECT THE SUBJECT PROPERTY, PLOTTABLE ITEM SHOWN.
- DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4075, AT PAGE 1760; AMENDED DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4325, AT PAGE 1040; AMENDED DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4786, AT PAGE 1805; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, DOCUMENTS CONTAIN USE RESTRICTIONS.
- AGREEMENT FOR WATER SERVICE WITH THE CITY OF DELRAY BEACH RECORDED IN OFFICIAL RECORDS BOOK 4880, AT PAGE 1085; ADDENDUM TO WATER SERVICE AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4769, AT PAGE 783; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, GENERAL IN NATURE. ADDENDUM RECORDED IN OFFICIAL RECORDS BOOK 4769, AT PAGE 783 CONTAINS LANDSCAPING REQUIREMENTS ALONG THE EAST AND SOUTH PROPERTY LINES OF THE PROPERTY.
- AGREEMENT WITH TH PALM BEACH HEALTH DEPARTMENT RECORDED IN OFFICIAL RECORDS BOOK 4786, AT PAGE 1582; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, BLANKET IN NATURE.
- ANY AND ALL RIGHT, TITLE OR INTEREST OF THE LAKE WORTH DRAINAGE DISTRICT, CLAIMED, RESERVED, OR NOW IN USE, BY VIRTUE OF RESERVATIONS CONTAINED IN VARIOUS DEEDS, THE PLATS ATTACHED TO THE AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1732, AT PAGE 612, OR PURSUANT TO CHANCERY CASE NO. 407, AND AS CONTAINED IN THE INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 6495, AT PAGE 761, AND DESCRIBED IN AFFIDAVITS IN OFFICIAL RECORDS BOOK 6495, AT PAGE 1165; OFFICIAL RECORDS BOOK 6495, AT PAGE 1545 AND OFFICIAL RECORDS BOOK 6495, AT PAGE 1554; ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; AFFECTS THE SUBJECT PROPERTY, NOT PLOTTABLE, BLANKET IN NATURE.
- RIGHTS OF TENANTS OCCUPYING ALL OR PART OF THE INSURED LAND UNDER UNRECORDED LEASES OR RENTAL AGREEMENTS; MAY AFFECT THE SUBJECT PROPERTY.

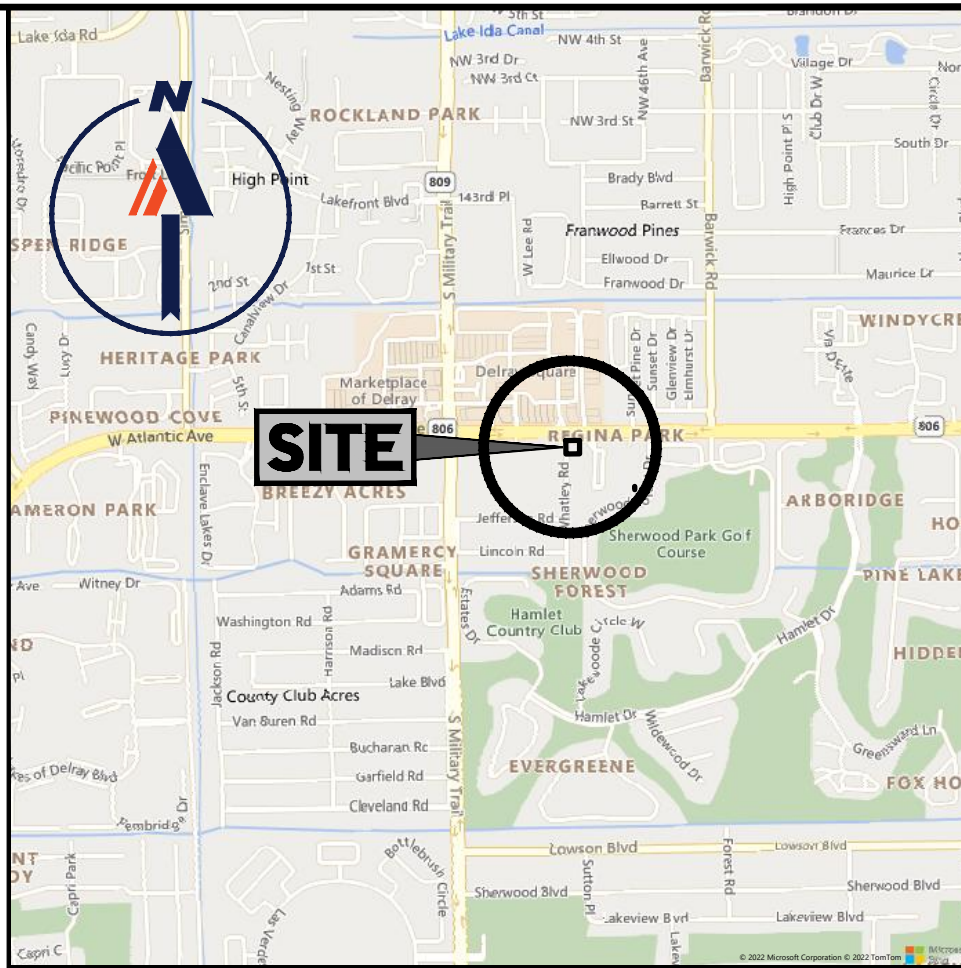
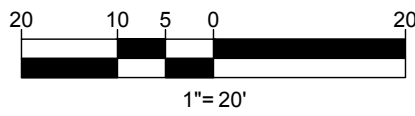
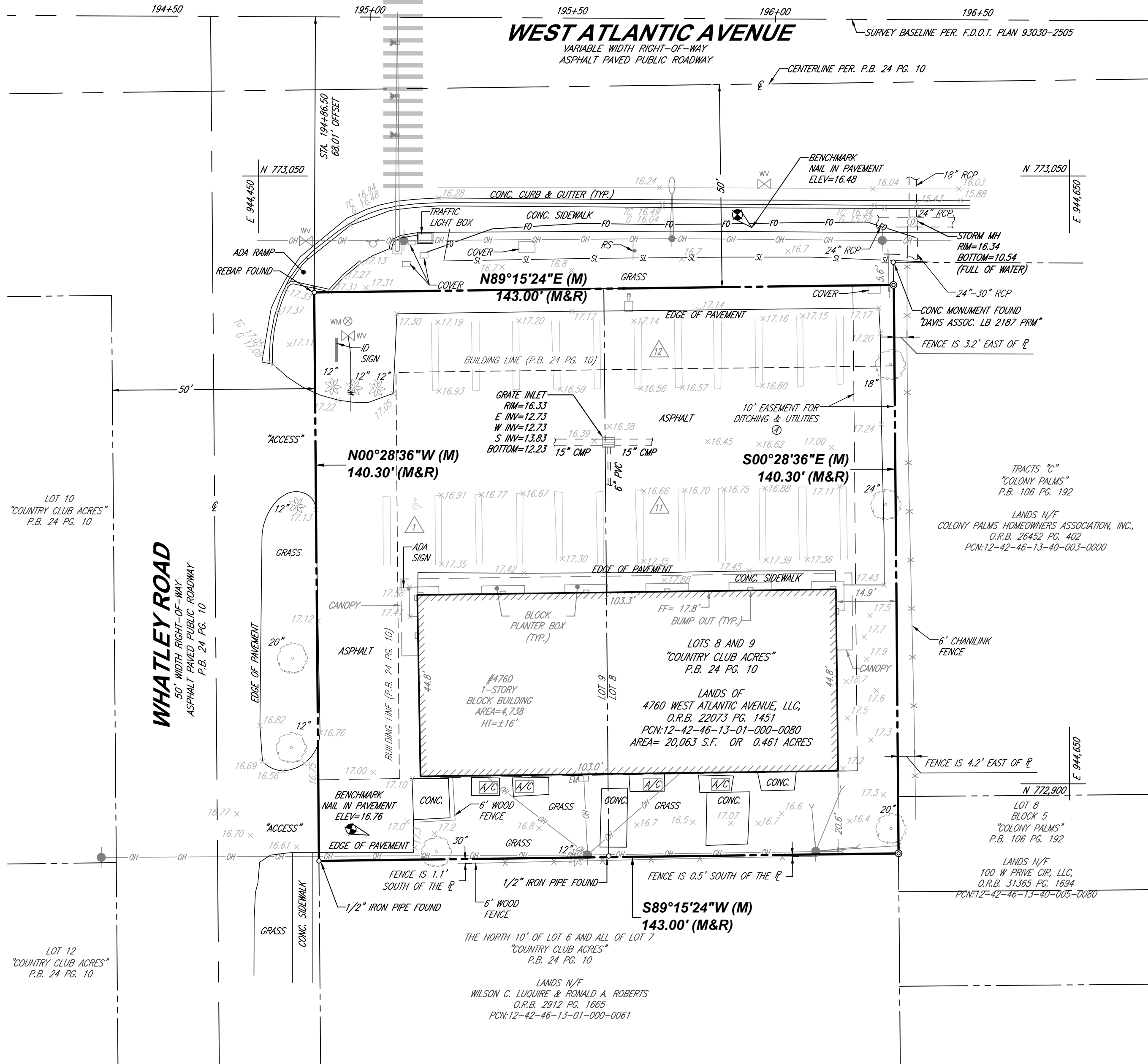
TITLE DESCRIPTION

LOTS 8 AND 9, COUNTRY CLUB ACRES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 10, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY SUNSHINE 811 UTILITY SYSTEM (1-800-852-8057) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 042201991

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
A T & T DISTRIBUTION	MARKED	800-788-9140
CENTURYLINK	NO CONFLICT	877-366-8144
CITY OF DELRAY BEACH WASTEWATER NETWORK	MARKED	561-573-0339
COMCAST-PBS	MARKED	800-778-9140
FLA PUBLIC UTILITIES CO	CLEAR NO FACILITIES	561-419-1356
FLORIDA POWER & LIGHT - PALM BEACH	MARKED	800-778-9140
MASTEC INC	MARKED	954-651-3161
NCI	CLEAR NO FACILITIES	800-624-9675
PALM BEACH COUNTY TRAFFIC OPERATIONS	MARKED	561-233-3923



LOCATION MAP

SCALE: 1"=2000'

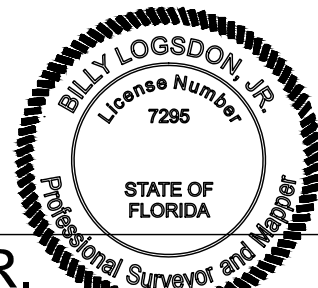


LEGEND

X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXIST. TOP OF CURB ELEVATION
X G 122.95	EXIST. GUTTER ELEVATION
	HYDRANT
	WATER VALVE
	OVERHEAD WIRES
	APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT
	APPROX. LOC. UNDERGROUND SANITARY LINE PER UTILITY MARKOUT
	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
	UTILITY POLE
	ELECTRIC METER
	AIR CONDITIONER
	STORM DRAIN MANHOLE
	WATER METER
	SIGN
	FENCE
	ROAD SIGN
	AREA LIGHT
	TITLE REPORT EXCEPTION
	DENOTES PARKING SPACE COUNT
	BENCHMARK
	UTILITY POLE/LIGHT POLE
	GUY WIRE
	TRAFFIC SIGNAL POLE
	TREE (SIZE AS NOTED)
	PALM TREE (SIZE AS NOTED)
	PROP. CORNER TO BE SET
	MEASURED
	RECORD

TO: WAGNER PROPERTY GROUP, LLC, A FLORIDA LIMITED LIABILITY COMPANY; VALLEY NATIONAL BANK, A NATIONAL BANKING ASSOCIATION; & 4760 WEST ATLANTIC AVENUE, LLC, A FLORIDA LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16, 17, 18 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2022.



BILLY LOGSDON, JR.

PROFESSIONAL SURVEYOR AND MAPPER NO. 157285

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

DATE

ALTA/NSPS LAND TITLE SURVEY

WAGNER PROPERTY GROUP, LLC

4760 WEST ATLANTIC AVENUE  
DELRAY BEACH  
PALM BEACH COUNTY, FLORIDA

FILE NO.

FLB220003

DATE

03/11/2022

FIELD DATE

02/15/2022

CREW CHIEF

E.S.

DRAWN

A.S.

REVIEWED

C.W.

APPROVED

B.L.

SCALE

1=20'

DWG. NO.

1 OF 1

1900 CORPORATE BLVD., NW  
SUITE 1010  
BOCA RATON, FLORIDA 33431  
561.571.0280  
www.bohlerengineering.com  
CERT. OF AUTHORIZATION: LB88958

BOHLER

BOCA RATON, FL ■ MIAMI, FL ■ TAMPA, FL ■ ATLANTA, GA ■ RALEIGH, NC ■ CHARLOTTE, NC ■ DALLAS, TX  
■ CIVIL ENGINEERING ■ LAND SURVEYING ■ PROGRAM MANAGEMENT ■ PLANNING & LANDSCAPE ARCHITECTURE ■ SUSTAINABLE DESIGN





# CITY OF DELRAY BEACH

## DEPARTMENT OF PUBLIC WORKS

434 S Swinton AVENUE • DELRAY BEACH • FLORIDA 33444 • (561) 243-7295



Via email: [alvarez@mydelraybeach.com](mailto:alvarez@mydelraybeach.com)  
[rodriquess@mydelraybeach.com](mailto:rodriquess@mydelraybeach.com)

Amy Alvarez  
Susana Rodriques  
City of Delray Beach Development Services  
100 NW 1<sup>st</sup> Avenue  
Delray Beach, FL 33444

RE: 4760 West Atlantic Avenue  
Stacking Distance Reduction

Dear Ms. Alvarez and Ms. Rodriques:

I received the request for relief to the minimum required stacking distance of 100 feet for the drive-thru as required by LDR Section 4.6.9(D)(3)(c)3. Per LDR Section 4.6.9(D)(3)(c)5 an applicant may request a reduction in the minimum stacking distance when supported by a traffic study and justification statement. The request for the reduction in stacking distance was accompanied by the required traffic study which demonstrated that during even the peak hour of use the two drive thru lanes would have a queue depth that would not exceed the provided stacking distance for each lane. The reduction is therefore supported.

If you have any questions, you may contact me at 561-243-7000 ext. 6220 or via email at [figurellap@mydelraybeach.com](mailto:figurellap@mydelraybeach.com).

Sincerely,

*Patrick A Figurella*

Patrick A. Figurella, P.E.  
City Engineer

CC: File

SERVICE • PERFORMANCE • INTEGRITY • RESPONSIBLE • INNOVATIVE • TEAMWORK