



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

CITY ADVISORY BOARD MEMO

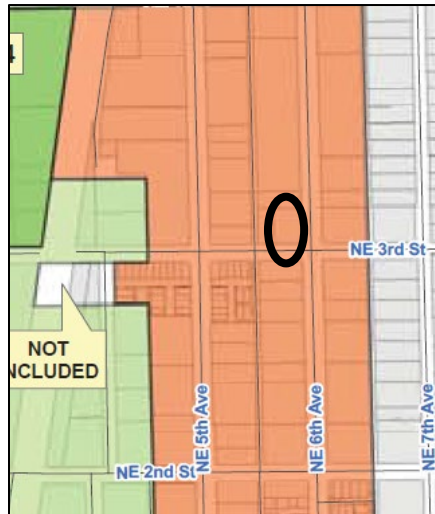
302 NE 6th Avenue

An In-lieu application has been submitted for Subculture Coffee located at 302 NE 6th Avenue.

The request is for five in lieu spaces. The square footage of the coffee shop is 2,205 square feet. Currently, the approved use on site is office. The applicant is proposing a change of use to restaurant. The change of use requires thirteen parking spaces. The parking requirement is 6/1,000 for restaurant at this location. There are currently eight spaces on site (survey provided).

The in-lieu request is in Area 1. The cost of each space is \$23,660. (5 spaces x \$23,660 = \$118,300).

The applicant is not proposing any exterior changes at this time; therefore, a site plan is not included.

**Application Type:**

In lieu Parking request

Address/Location:

302 NE 6th Avenue

Zoning District/ Overlay:

CBD – Central Business District (Central Core)

FLUM:

CC – Commercial Core

Applicant: Rodney Mayo

r@subculturegroup.com

Project Planner:

Jennifer Buce, Planner

buce@mydelraybeach.com

Advisory Board Review Date(s):

CRA Board: Yes

DDA Board: March 13, 2023

PMAB: March 28, 2023

Final Action Review Date:

City Commission TBA

Attachments: Survey

NOTE: This item is under review and is subject to changes upon further analysis based on comments made by Staff according to the City's Land Development Regulations (LDR) and other department technical reviews. Any comments or objections shall be presented to the approving body during the scheduled meeting or discussed with the project planner in advance

