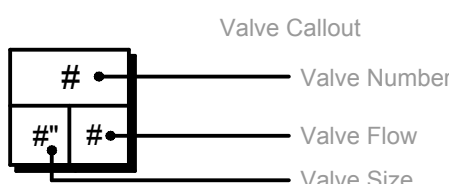


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Toro 570Z-12P-PC 5 Series Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	34	30	
	Toro 570Z-12P-PC 10 Series Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	17	30	
	Toro 570Z-12P-PC 12 Series Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	11	30	
	Toro 570Z-12P-PC 15 Series Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	7	30	
	Toro 570Z-12P-PC 8 Series VAN Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	14	30	
	Toro 570Z-12P-PC Shrub Strip Spray Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	98	30	
	Toro 570S-PC 10 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30	
	Toro 570S-PC Shrub Strip Spray Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	Toro P220-26-0 ANGLE 2" Electric, 1", 1-1/2", 2" and 3" Plastic In-Line Remote Control Valve. Equipped to withstand pressure up to 220 PSI. Filter screen on 2" and 3" models. Standard Solenoid. Angle Body Style.	3	
	Shut Off Valve	1	
	Febco 765 1-1/2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" above highest downstream outlet and the highest point in the downstream piping.	1	
	Toro TMC-424E-OD 4-Station Outdoor Controller. Base Model. Standard Surge.	1	
	Toro TRS Wired Rain Sensor. Mount as noted or approved, use controller power or optional transformer. Adjust rain shutoff index. Normally-Open or Normally-Closed. Compatible with most controllers.	1	
	Water Meter 1-1/2"	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1/2"	1,279 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 3/4"	203.8 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1"	140.7 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"	21.2 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2"	56.2 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 2"	14.7 l.f.	
	Irrigation Mainline: PVC Schedule 40 2"	214.5 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21	362.8 l.f.	



SIZE OF BACKFLOW DEVICE IS APPROXIMATE. CONTRACTOR TO VERIFY AND NOTIFY LANDSCAPE ARCHITECT FOR DESIGN ADJUSTMENTS AS NEEDED.

SIZE OF EXISTING WATER METER IS APPROXIMATE. CONTRACTOR TO VERIFY AND NOTIFY LANDSCAPE ARCHITECT FOR DESIGN ADJUSTMENTS AS NEEDED.

LENGTH OF PIPE IS APPROX AND BASED ON DIAGRAMATIC LAYOUT. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES

THE NEW IRRIGATION FOR THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F, CONSTRUCTION AND BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, OF THE FLORIDA BUILDING CODE. THE EXISTING IRRIGATION SHOWN THAT IS TO REMAIN SHALL BE MODIFIED UNDER SEPARATE CONTRACT TO COMPLY WITH THE REQUIREMENTS OF APPENDIX F.

IT IS THE CONTRACTORS RESPONSIBILITY TO MODIFY OR REPAIR THE EXISTING IRRIGATION DURING THE NEW CONSTRUCTION PERIOD TO PROVIDE FULL COVERAGE OF THE UNAFFECTED LANDSCAPE AREAS.

PREPARED BY:  
**ECOPLAN**  
ECOLOGICAL/ENVIRONMENTAL LANDSCAPE PLANNING  
LANDSCAPE ARCHITECTURE  
310 SOUTH EAST 10TH STREET  
FT. LAUDERDALE, FLORIDA 33304  
954.575.1111 WWW.ECOPLAN.COM

318 SE 5TH AVENUE  
DELRAY BEACH, FLORIDA

IRRIGATION PLAN

DATE: 10-12-22  
PROJECT #: 2102  
DRAWN BY: JHP  
CHECKED BY: JFH  
SCALE: INDICATED

REVISIONS:  
5 REV 3/2/23

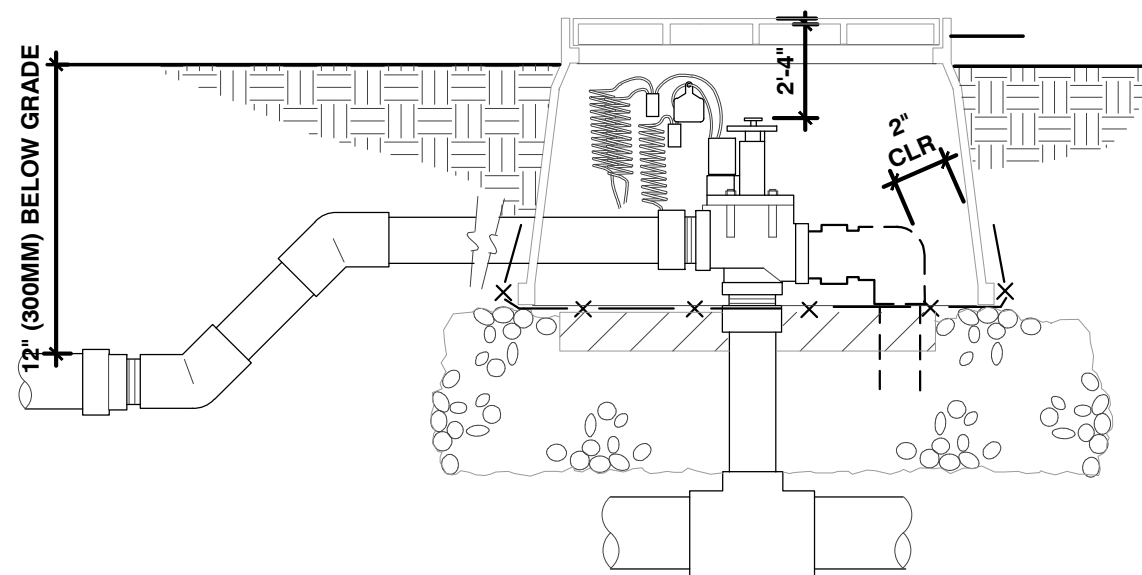
SEAL:

SHEET NUMBER:  
LAIR-1

Scale: 1" = 16'-00"







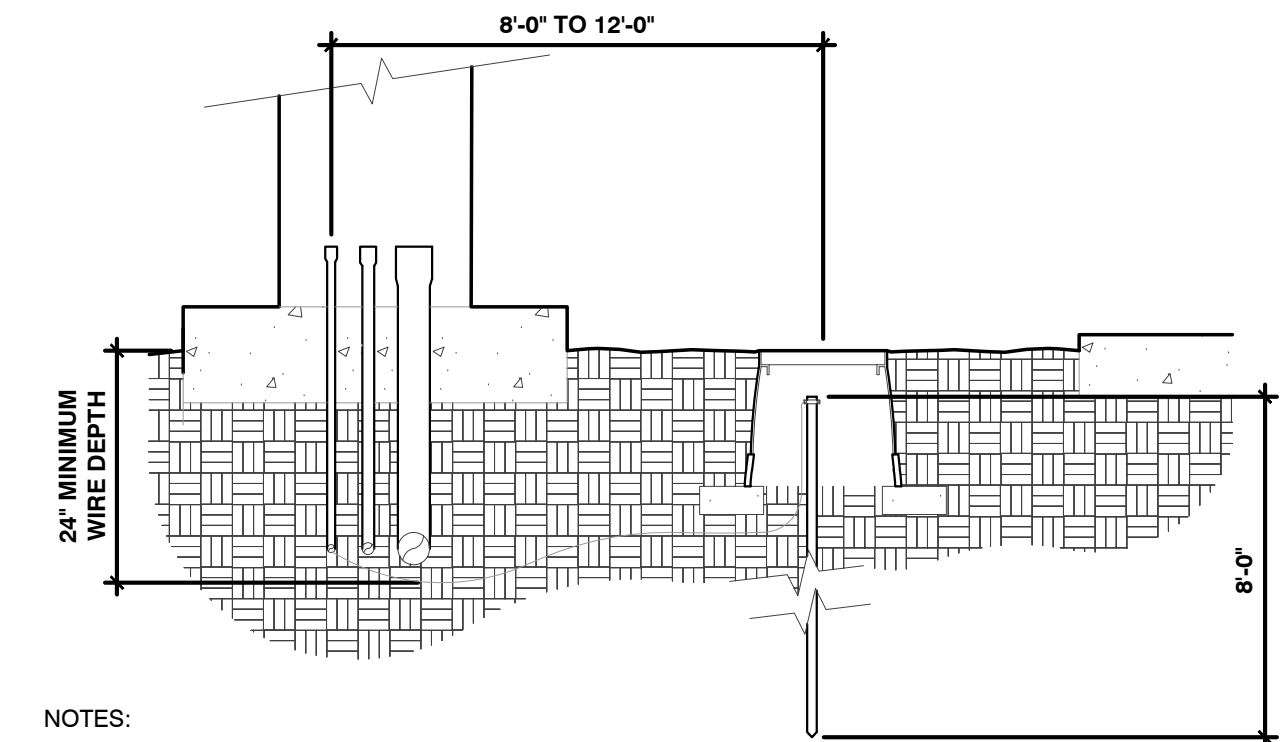
- 1 REMOTE CONTROL VALVE AS SPECIFIED, ONE PER BOX.
- 2 10X15 RECTANGULAR VALVE BOX.
- 3 PLASTIC I.D. TAG AT EACH VALVE.
- 4 WATER PROOF WIRE CONNECTORS ON 30° LOOPED WIRES.
- 5 2" (50MM) MINIMUM, 4" (100MM) MAXIMUM BELOW TOP OF BOX.
- 6 2" (100MM) ABOVE FINISH GRADE AT SHRUBS.
- 7 3/4" (19MM) ABOVE FINISH GRADE AT LAWN.
- 8 OUTLET PIPE SAME SIZE AS VALVE, 24" MINIMUM (300MM) TO FIRST FITTING.
- 9 15 DEGREE DOWN AS REQUIRED TO LATERAL PIPE DEPTH.
- 10 INCREASE LATERAL LINE SIZE AS PER IRRIGATION PLAN.
- 11 TWO 6X2X16 CONCRETE BLOCK CAPS, ONE EACH SIDE OF THE BOX.
- 12 SCHEDULE 80 RISER.
- 13 MAIN LINE AS OCCURS.

- 14 6" (150MM) THICK LAYER OF PEA GRAVEL BASE.

## 9 REMOTE CONTROL VALVE

1 1/2" = 1'-0"

FX-IR-FX-RCV-01



NOTES:

1. ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
2. GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS IRRIGATION MAINLINES OR LATERAL LINES.
3. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
4. INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

- 1 FINISH GRADE
- 2 PAVEMENT
- 3 THREE (3) 4" x 8" BRICKS
- 4 5/8" x 8'-0" COPPER GROUNDING ROD
- 5 GROUNDING ROD CLAMP
- 6 #6 AWG BARE COPPER WIRE
- 7 1/2" PVC ELECTRICAL CONDUIT AND SWEEP FOR EARTH GROUND

## 10 GROUNDING ROD

1" = 1'-0"

FX-IR-FX-AUXEQ-01

## 11 BALL VALVE 3" AND SMALLER

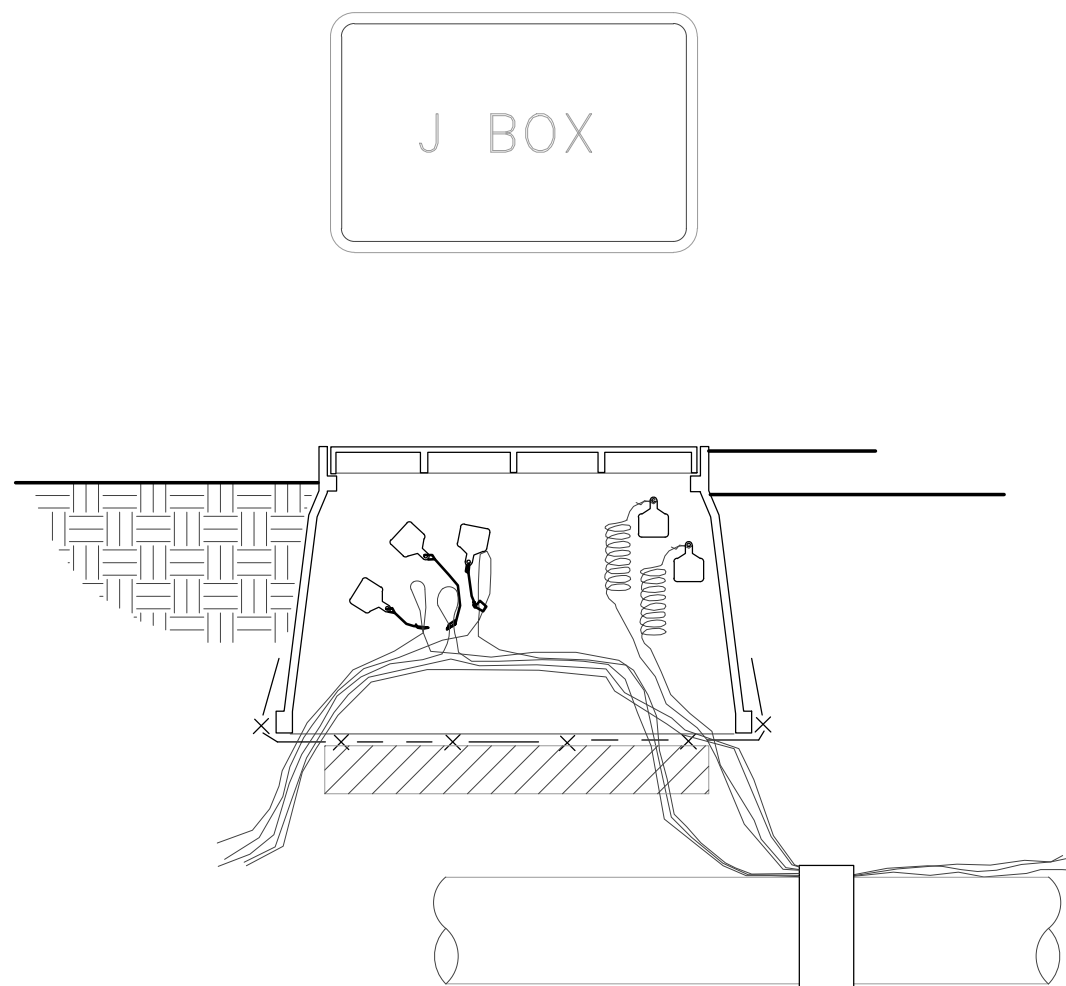
1 1/2" = 1'-0"

FX-IR-FX-SHUT-01

## 12 WIRE BUNDLE JUNCTION BOX

1 1/2" = 1'-0"

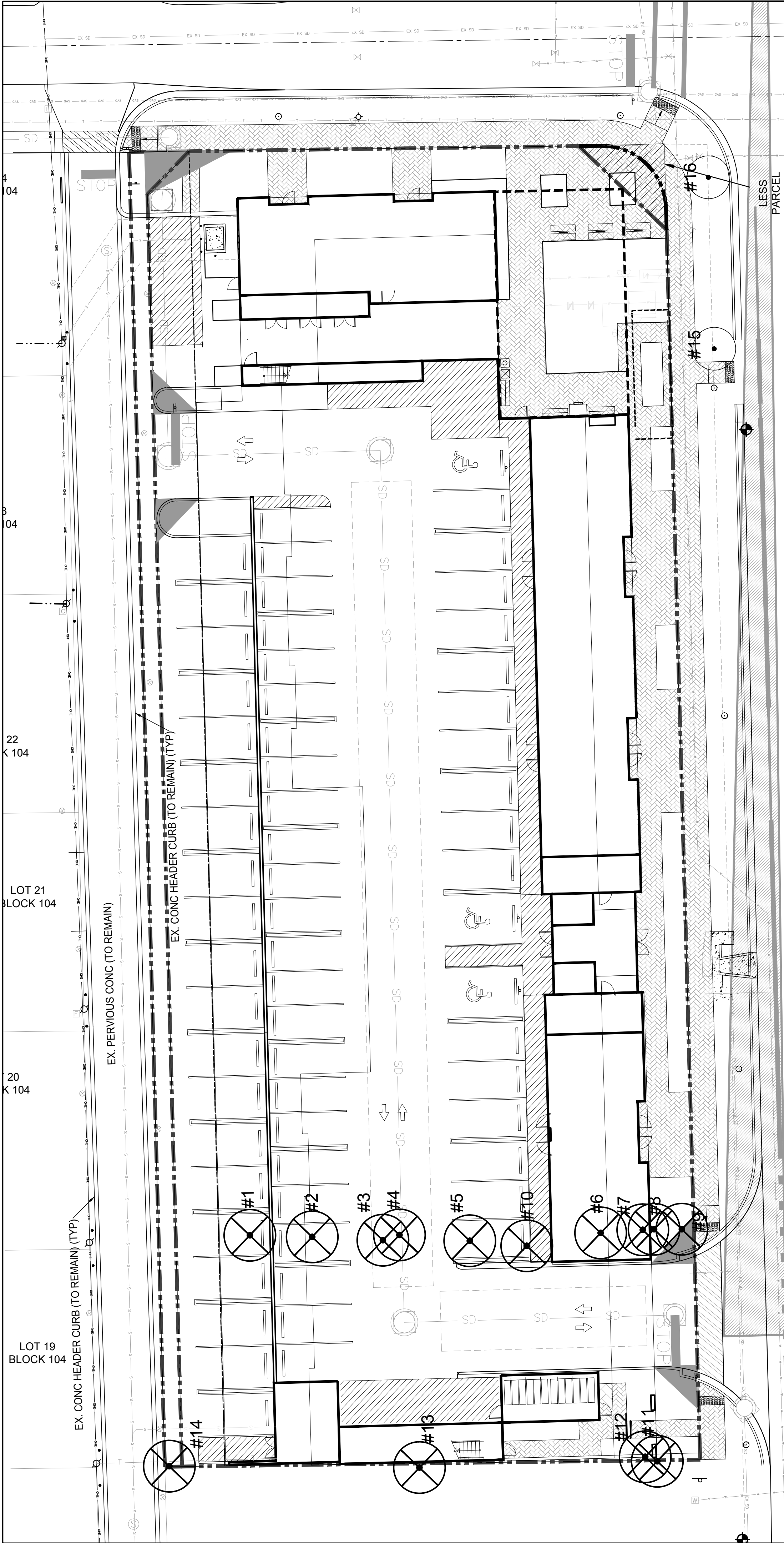
FX-IR-FX-AUXEQ-16



- 1 VALVE BOX LID, HEAD BRAND "J BOX" ON LID WITH 2" HIGH LETTERS
- 2 10" X 15" BOX
- 3 LOOP, BUNDLE, AND LABEL SPARE WIRES THAT ARE TO CONTINUE, AS OCCURS
- 4 1/2" WIRE CLOTH GOPHER PROTECTION SCREEN, WRAP 6" UP SIDES
- 5 TWO 6" X 2" X 16" CONCRETE BLOCK CPAS, ONE ON EACH SIDE OF BOX
- 6 SET BOX FLUSH TO GRADE AT LAWN
- 7 SET BOX 2" ABOVE GRADE AT SHRUBS
- 8 SPARE WIRES THAT ARE TO TERMINATE AT THIS BOX: COIL 30" LENGTH AND I.D. TAG
- 9 WIRES TO CONTROLLER
- 10 MAINLINE AS OCCURS







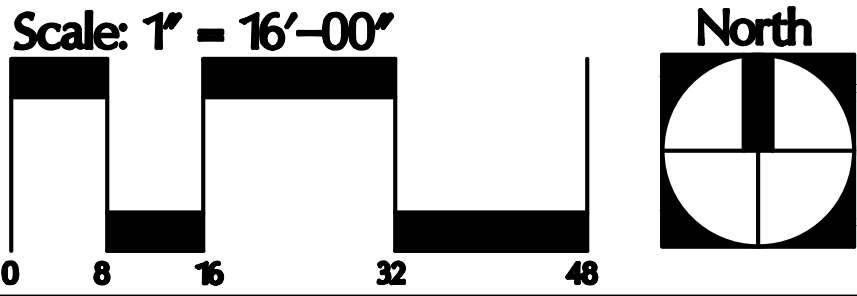
Tree Disposition and Mitigation

Project Address:			Parcel ID (for multiple IDs, use one for the common area):				
Preserve							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
15	Solitaire Palm	<i>Ptychosperma elegans</i>	16	8	10	60%	
16	Solitaire Palm	<i>Ptychosperma elegans</i>	16	8	10	60%	
Relocation							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
Removal							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating < 50%	Comments
6	Live Oak	<i>Quercus virginiana</i>	30	20	12	45%	Growing abut fence, under powerline, and near asphalt parking lot. Leaning, vine intrusion, asymmetrical canopy
8	Gumbo Limbo	<i>Bursera simaruba</i>	20	10	8	40%	Growing abut fence, under powerline, moderate trunk damage, vine intrusion
9	Black Olive	<i>Terminalia buceras</i>	30	25	16	30%	Growing through fence near parking lot, under powerline, leaning, asymmetrical canopy, vine intrusion, severe canopy reduction
12	Yellow Tabebuia	<i>Tabebuia aurea</i>	12	10	6	40%	Severe trunk and branch damage and canopy reduction, dead and dying limbs, severe insect intrusion, sparse foliage
13	Mahogany	<i>Swietenia mahogany</i>	30	70	29	45%	Growing abut fence, near parking lot and building. Severe main branch damage and decay, vine intrusion, dead / dying secondary branches
14	Weeping Fig	<i>Ficus benjamina</i>	15	15	12	30%	Growing near and on building, severe overall canopy reduction and sparse foliage, decay present
						Condition Rating ≥ 50%	
1	Mango	<i>Mangifera indica</i>	15	20	11	75%	Codominant, included bark, growing abut fence, close to building, under powerline
2	Mahogany	<i>Swietenia mahogany</i>	25	16	12	60%	Growing about fence, close to building, under powerline, sparse canopy, overall crown reduction
3	Mahogany	<i>Swietenia mahogany</i>	20	20	10	70%	Growing about fence, close to building, under powerline, sparse canopy, overall crown reduction
4	Live Oak	<i>Quercus virginiana</i>	30	50	25	75%	Minor branch damage
5	Mango	<i>Mangifera indica</i>	8	15	4	60%	Growing abut fence, under powerline, shaded and competing for space, dead and discolored foliage
10	Yellow Tabebuia	<i>Tabebuia aurea</i>	10	15	5	50%	Growing abut fence near parking lot, umbrella tree intrusion, shaded, discolored foliage, severe canopy reduction
11	Yellow Tabebuia	<i>Tabebuia aurea</i>	12	15	9	60%	Growing abut fence near parking lot, codominant, poor overall growth structure
Trees with Condition Rating < 50% to be Removed:						6 Trees	
Total DBHs of Trees with Condition Rating ≥ 50% to be Removed:						76 DBH / 7 Trees	
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating < 50%	Comments
7	Solitaire Palm	<i>Ptychosperma elegans</i>	20	10	15	45%	
Total Numbers of Palms with Condition Rating < 50% to be Removed:						1 Palm	
Total Heights of Palms with Condition Rating ≥ 50% to be Removed:						0	

Mitigation		
Tree Replacement Calculations*		
New Trees	Caliper (CAL)	Calipers Provided
16 Oak Trees	16 X 5 inch CAL	80
6 Japanese Blueberry	2 x 4 inch CAL (3 per tree)	8
Replacement for Trees (Removed, Condition Rating ≥ 50%):		
Replacement for Tree-for-Tree basis:		
60" CAL (12 QV)		
6 (2 trees= 6 ED) + 4 QV		
Palm Replacement Calculations **		
New Palms	Overall Height	Clear Trunk
1 Alexander Palm	25'	18
Replacement for Palms (Removed, Condition Rating ≥ 50%):		
Replacement for Palm-for-Palm basis:		
0 / 0 Palms		
1		

Removal						
Tree #	Common Name	Cost to Replace	Replace 1:1	Replace CAL "	Pay Fee	
6	Live Oak	450x8 + 650x4 = 6200 x 50%=3100	x			
8	Gumbo Limbo	450x8 = 3600 x 50%=1800	x			
9	Black Olive	450x8 + 650x4 + 850x4= 9600 x 50% = 4800	x			
12	Yellow Tabebuia	450x6 = 2700 x 50%=1350	x			
13	Mahogany	450x8 + 650x4 + 850x6 + 11x1000 = 22300 x 50%=11150	x			
14	Weeping Fig	450x8 + 650x4 = 6200 x 50%=3100	x			
1	Mango	450x8 + 650x3 = 5550		11"		
2	Mahogany	450x8 + 650x4 = 6200			\$6,200.00	
3	Mahogany	450x8 + 650x2 =4900		10"		
4	Live Oak	450x8 + 650x4 + 850x6 + 7x1000 = 18300		25"		
5	Mango	450x4 =1800			\$1,800.00	
10	Yellow Tabebuia	450x5 = 2250		5"		
11	Yellow Tabebuia	450x8 + 650x1 = 4250		9"		
Total Replacement Trees:			6			
Total Replacement Trees:				60"		
Total Fee to Pay:					\$8,000.00	

ANY TREES NOT MITIGATED FOR BY REPLACEMENT TREES OR CALIPER INCHES WILL BE OFFSET BY A DEPOSIT INTO THE TREE FUND.



PREPARED BY:  
**ECOPLAN**  
ECOLOGICAL / ENVIRONMENTAL LAND PLANNING  
LAND USE ANALYSIS LANDSCAPE ARCHITECTURE  
30 SOUTH EAST 18TH STREET  
SUITE 200  
MIAMI, FL 33132  
305.552.9722 www.ecoplan-fl.com

SITE PLAN

318 SE 5TH AVENUE  
DELRAY BEACH, FLORIDA

TREE DISPOSITION PLAN

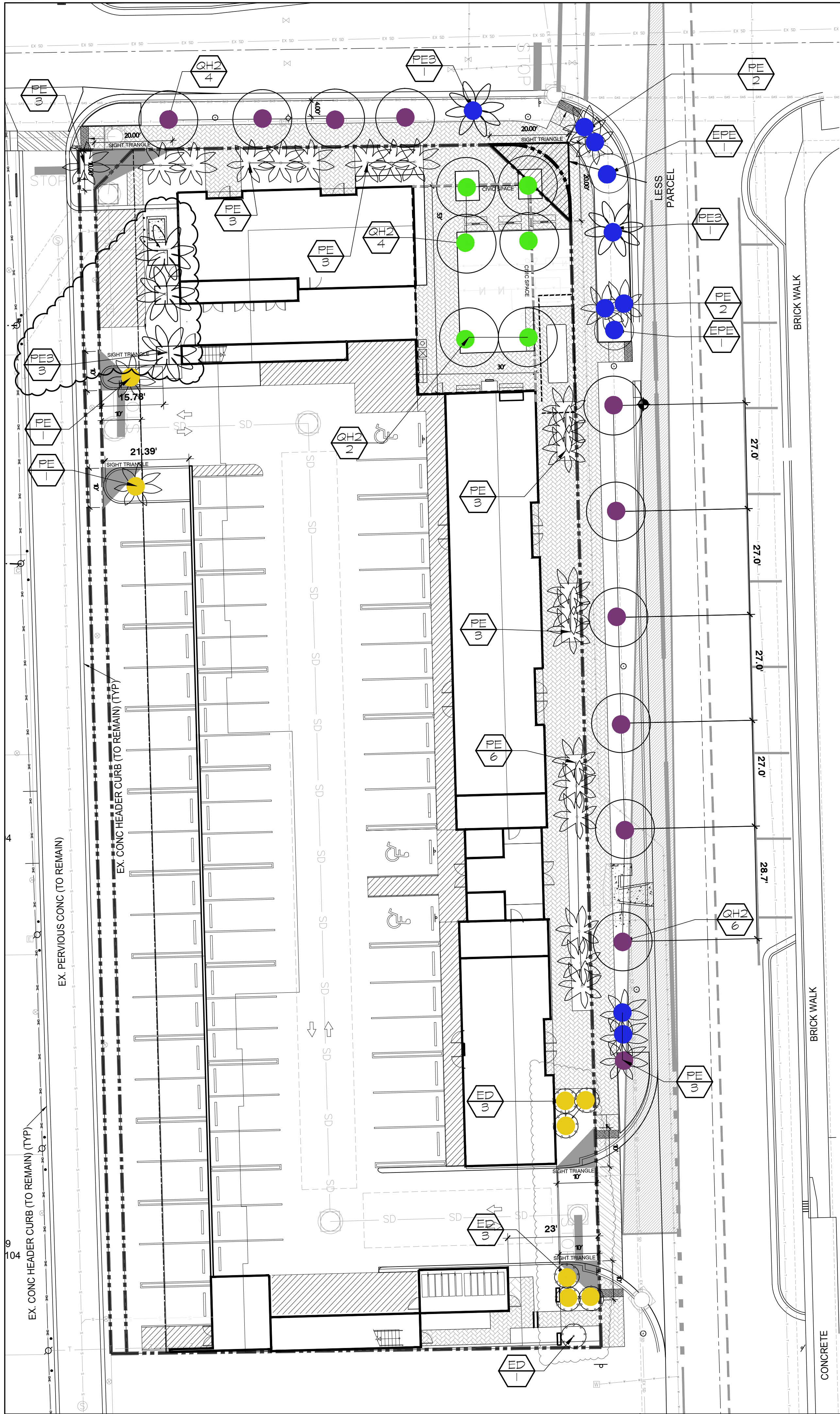
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PROJECT #: 2102  
DRAWN BY: HT  
CHECKED BY: JH  
SCALE: INDICATED

REVISIONS:  
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2 REV 7/1/22  
3 REV 8/30/22  
4 REV 10/12/22  
5 REV 3/2/23

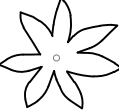
SEAL:

SHEET NUMBER:  
LAPL-0





PLANT SCHEDULE GROUND FLOOR

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	CALIPER	
	ED	7	Elaeocarpus decipiens	Japanese Blueberry Tree	FG/B&B	16' HT x 7' SPR, 8' CT	4" CAL, STANDARD	
	EPE	2	Existing Tree	Existing Tree- Alexander Palm	---			
	QH2	16	Quercus virginiana `QVTIA`	Highrise Live Oak	FG, Relocated	18' HT x 9' SPR, 8' CT	5"	
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	CALIPER	
	PE	30	Ptychosperma elegans	Alexander Palm	FG/B&B	25' -30' OA, Single Trunk		
	PE3	5	Ptychosperma elegans	Alexander Palm	FG/B&B	25' -30' OA, TRIPLE		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	SPACING
	DE	108	Duranta erecta `Gold Mound`	Gold Mound Duranta	---	24" HT x 24" SPR	24" O.C.	24" o.c.
	FM	847	Ficus microcarpa `Green Island`	Green Island Ficus	---	18" X 18"	18" O.C.	18" o.c.
	PM2	43	Podocarpus macrophyllus	Yew Pine	---	60" HT. x 24" W	24" O.C.	24" o.c.
	SL	213	Schefflera arboricola	Green Schefflera	---	24" X 24"	24" O.C.	24" o.c.
	SL2	70	Schefflera arboricola `trinette`	Variegated Schefflera	---	24" HT x 24" SPR	30" O.C.	30" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	
	DT	591	Dianella tasmanica	Blueberry Flax Lily	16" HT, 16" SPR	16"H X 16"W	16" o.c.	
	LM	434	Liriope muscari `Emerald Goddess`	`Emerald Goddess` Lily Turf	1 Gal.	12"x12"	18" o.c.	

NOTE: Pursuant to Sec. 4.6.16(E)(7) Shrubs and hedges, hedges must be allowed to attain height of 36 inches except where providing adequate and safe sight distance requires them to be maintained at a 30-inch height.

LEGEND

STREET TREE

MITIGATION TREE

STREET TREE AND MITIGATION TREE

CIVIC SPACE AND MITIGATION TREE

INTERIOR TREE

	Required	Provided
Interior Landscaping	4,308.5 sq.ft. of parking & accessways areas X 10% = 431 sq.ft.	431 sq.ft. 431/125 = 4 (3.44)  # (numbers) & List of Trees/Palms: 6 Japanese Blueberry, 2 Alexander Palms  # (numbers) & List of shrubs/ground covers: 63 Green Island Ficus, 130 Liriope, 9 Schefflera
Street Trees	432 linear feet (l.f.)	432 l.f. / 30  15 Trees/Palms Required: 10 Live Oak, 15 Alexander Palms  # (numbers) & List of shrubs/ground covers: 798 Green Island Ficus, 99 Green Schefflera, 445 Golden Dewdrop, 114 Liriope, 66 Flax Lily
Civic Open Space	1 shade tree per 20 lf perimeter 116.8 lf (852 sf, 30'x28.4')	117 lf / 20 = 6 trees required 6 Live Oak trees provided
Landscape Barrier	All Parking Under Building	
Foundation Landscaping	CBD - 4.4.13E	55 Green Schefflera
Landscape Buffer	N/A	

Scale: 1" = 16'-00"

PREPARED BY:

SITE PLAN

318 SE 5TH AVENUE  
DELRAY BEACH, FLORIDA

CODE COMPLIANCE TREE PLAN

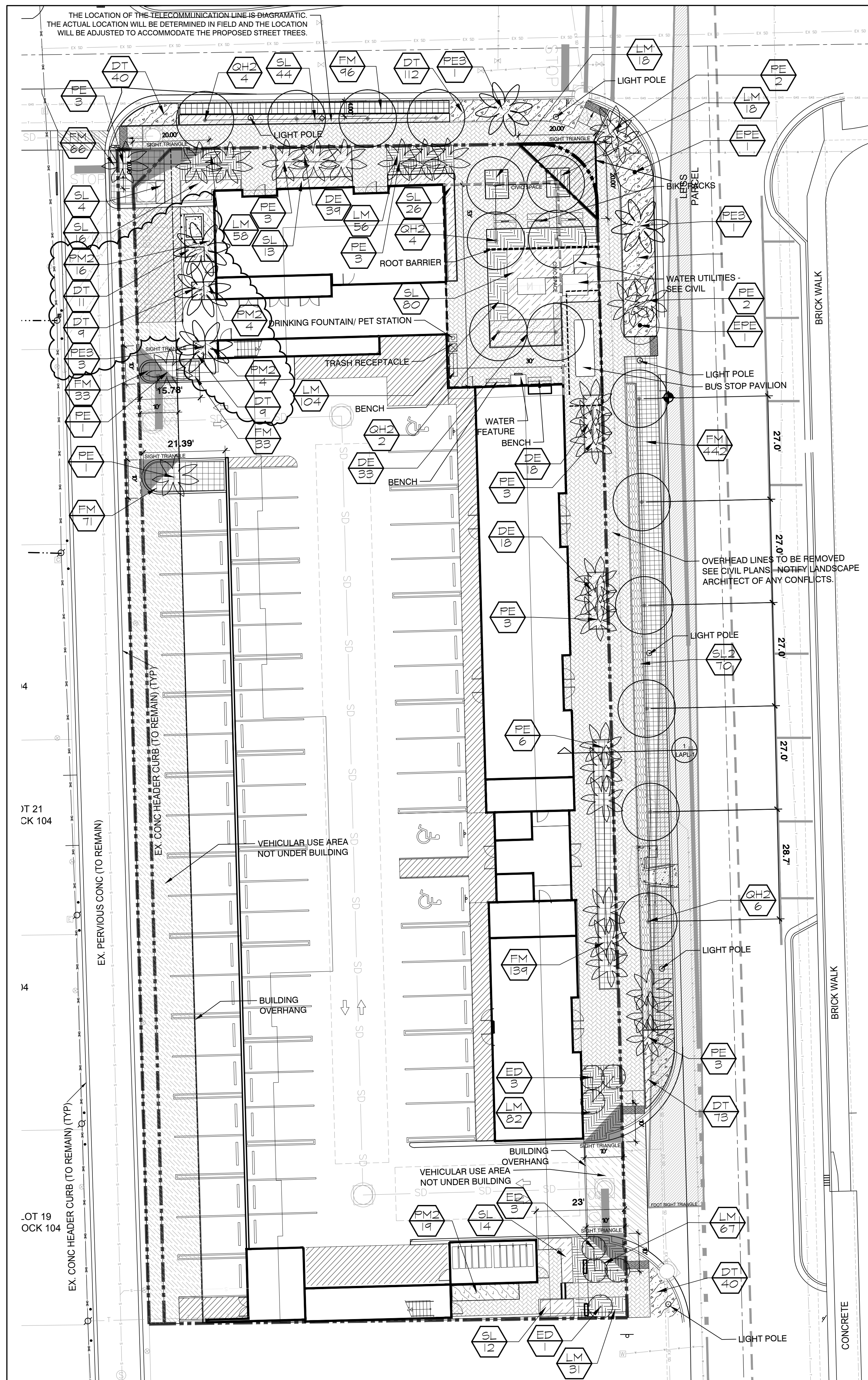
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PROJECT #: 2102  
DRAWN BY: HT  
CHECKED BY: JH  
SCALE: INDICATED

REVISIONS:  
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4 REV 10/12/22  
5 REV 3/2/23


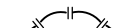

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SHEET NUMBER:  
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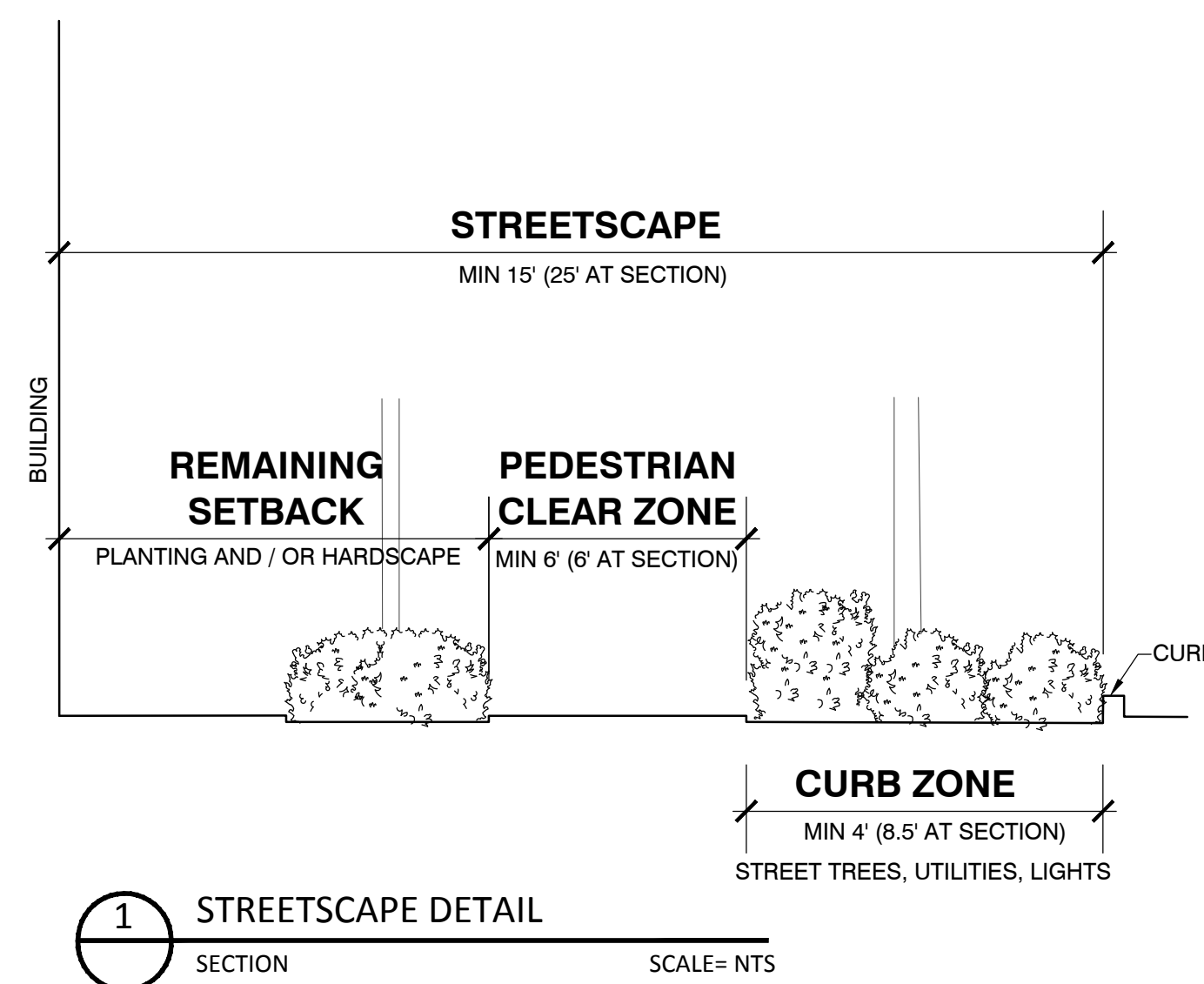
PLANT SCHEDULE GROUND FLOOR

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	CALIPER
	ED	7	Elaeocarpus decipiens	Japanese Blueberry Tree	FG/B&B	16' HT x 7' SPR, 8' CT	4" CAL, STANDARD
	EPE	2	Existing Tree	Existing Tree- Alexander Palm	---		
	QH2	16	Quercus virginiana "QVTIA"	Highrise Live Oak	FG, Relocated	18' HT x 9' SPR, 8' CT	5"

<u>PALM TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>SIZE</u>	<u>CALIPER</u>	
	PE	30	Ptychosperma elegans	Alexander Palm	FG/B&B	25'-30' OA, Single Trunk		
	PE3	5	Ptychosperma elegans	Alexander Palm	FG/B&B	25'-30' OA, TRIPLE		
<u>SHRUB AREAS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>SIZE</u>	<u>SPACING</u>	<u>SPACING</u>

	DE	108	Duranta erecta 'Gold Mound'	Gold Mound Duranta	---	24" HT x 24" SPR	24" O.C.	24" o.c.
	FM	847	Ficus microcarpa 'Green Island'	Green Island Ficus	---	18" X 18"	18" O.C.	18" o.c.
	PM2	43	Podocarpus macrophyllus	Yew Pine	---	60" HT. x 24" W	24" O.C.	24" o.c.

NOTE: Pursuant to Sec. 4.6.16(E)(7) Shrubs and hedges, hedges must be allowed to attain height of 36 inches except where providing adequate and safe sight distance requires them to be maintained at a 30-inch height.



	Required	Provided
Interior Landscaping	<p>4,308.5 sq.ft. of parking &amp; accessways areas</p> <p>X 10% = ____ 431 ____ sq.ft.</p>	<p>____ 431 ____ sq.ft.</p> <p>431/125 = 4 (3.44)</p> <p><u># (numbers)</u> &amp; List of Trees/Palms:</p> <p>6 Japanese Blueberry, 2 Alexander Palms</p> <p><u># (numbers)</u> &amp; List of shrubs/ground covers:</p> <p>63 Green Island Ficus, 130 Liriope, 9 Schefflera</p>
Street Trees	<p>____ 432 ____ linear feet (l.f.)</p>	<p>____ 432 ____ l.f. / 30</p> <p>15 Trees/Palms Required:</p> <p>10 Live Oak, 15 Alexander Palms</p> <p><u># (numbers)</u> &amp; List of shrubs/ground covers:</p> <p>798 Green Island Ficus, 99 Green Schefflera, 445 Golden Dewdrop, 114 Liriope, 66 Flax Lily</p>
Civic Open Space	<p>1 shade tree per 20 lf perimeter</p> <p>116.8 lf (852 sf, 30'x28.4')</p>	<p>117 lf / 20 = 6 trees required</p> <p>6 Live Oak trees provided</p>
Landscape Barrier	All Parking Under Building	
Foundation Landscaping	CBD - 4.4.13E	55 Green Schefflera
Landscape Buffer	N/A	

Green Space - 870 sf landscape area

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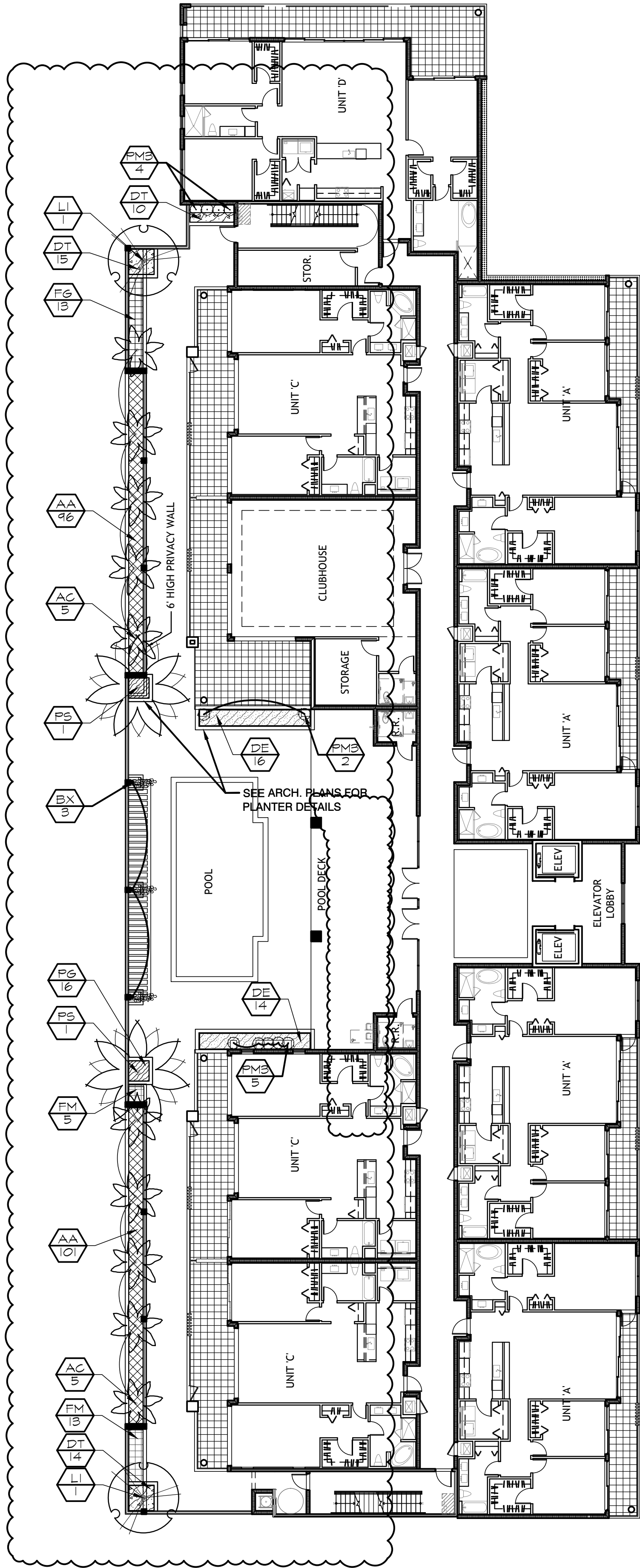
[www.call811.com](http://www.call811.com)

Scale: 1" = 16'-00"

0 8 16 32 48

North

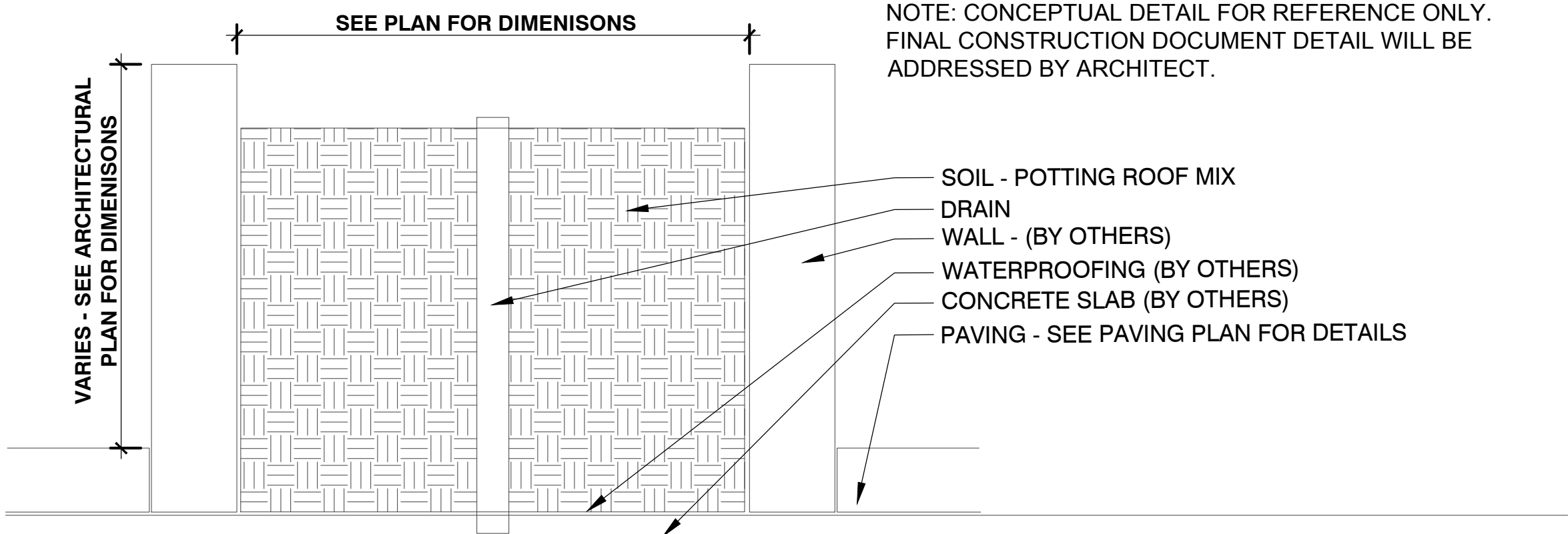




PLANT SCHEDULE SECOND FLOOR

<div><div></div><div></div></div> <div>PALMS</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>	<div>CALIPER</div>	<div>DETAIL</div>	<div>REMARKS</div>	
	AC	10	Adonidia merrillii	Christmas Palm	FG/BB	10'-14' CT, STAGGER HEIGHTS				
	PS	2	Phoenix sylvestris	Wild Date Palm	FG/BB	10' CT	SPECIMEN			
<div>FLOWERING TREES</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>	<div>CALIPER</div>	<div>DETAIL</div>	<div>REMARKS</div>	
	LI	2	Lagerstroemia indica `Muskogee`	Muskogee Crape Myrtle `Standard`	FG/B&B	2.5"Cal	12` HT. x 7` SPR, Standard			
<div>SHRUBS</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>		<div>DETAIL</div>		
	PM3	11	Podocarpus macrophyllus	Yew Pine	4` HT, TREE TOPIARY	48" HT				
<div>VINES</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>		<div>DETAIL</div>		
	BX	3	Bougainvillea spectabilis `Rpboug 327`	Vera Deep Purple Bougainvillea	15 gal.	48" HT X 36" SPR				
<div>SHRUB AREAS</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>	<div>SPACING</div>	<div>SPACING</div>	<div>DETAIL</div>	<div>REMARKS</div>
	DE	30	Duranta erecta `Gold Mound`	Gold Mound Duranta	---	24" HT x 24" SPR	24" O.C.	24" o.c.		
	FM	18	Ficus microcarpa `Green Island`	Green Island Ficus	---	18" X 18"	18" O.C.	18" o.c.		
<div>GROUND COVERS</div>	<div>CODE</div>	<div>QTY</div>	<div>BOTANICAL NAME</div>	<div>COMMON NAME</div>	<div>CONTAINER</div>	<div>SIZE</div>		<div>SPACING</div>	<div>DETAIL</div>	
	AA	197	Asparagus densiflorus `Sprenger`	Sprenger Asparagus Fern	---	12"x15"		16" o.c.		
	DT	39	Dianella tasmanica	Blueberry Flax Lily	16" HT, 16" SPR	16"H X 16"W		16" o.c.		
	FG	13	Ficus microcarpa `Green Island`	Green Island Ficus	12"x12" FULL			24" o.c.		
	PG	32	Portulaca grandiflora	Mexican Sunrose	---	12"x12"		12" o.c.		

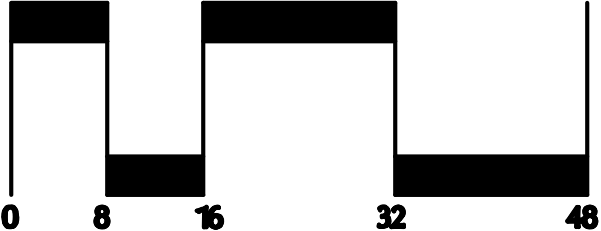
DECK AREA - 5,007 SF  
LANDSCAPE REQUIRED - 10% OF 5,007 SF = 501 SF  
LANDSCAPE AREA PROVIDED - 567 SF



1 PLANTER DETAIL  
SECTION  
SCALE=1"=1'-00"



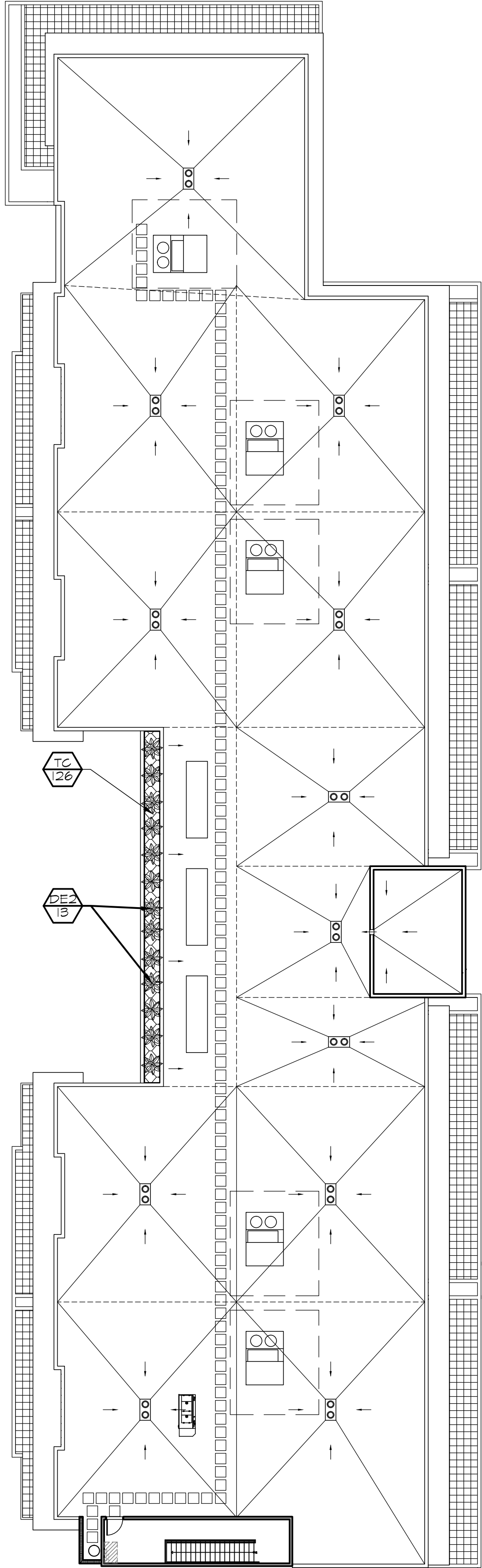
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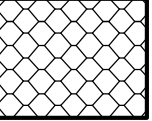






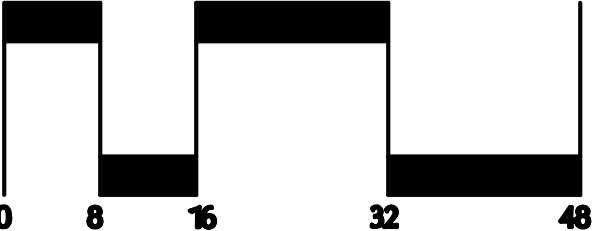


PLANT SCHEDULE ROOF

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	
	DE2	13	Dioon edule	Mexican Cycad	---	36" HT x 30" SPR	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING
	TC	126	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	---	12"X15"	15" o.c.



Scale: 1" = 16'-00"



318 SE 5TH AVENUE  
DELRAY BEACH, FLORIDA

PLANTING  
PLAN  
ROOF LEVEL

DATE: 07/21/2022  
PROJECT #: 2102  
DRAWN BY: HT  
CHECKED BY: JH  
SCALE: INDICATED

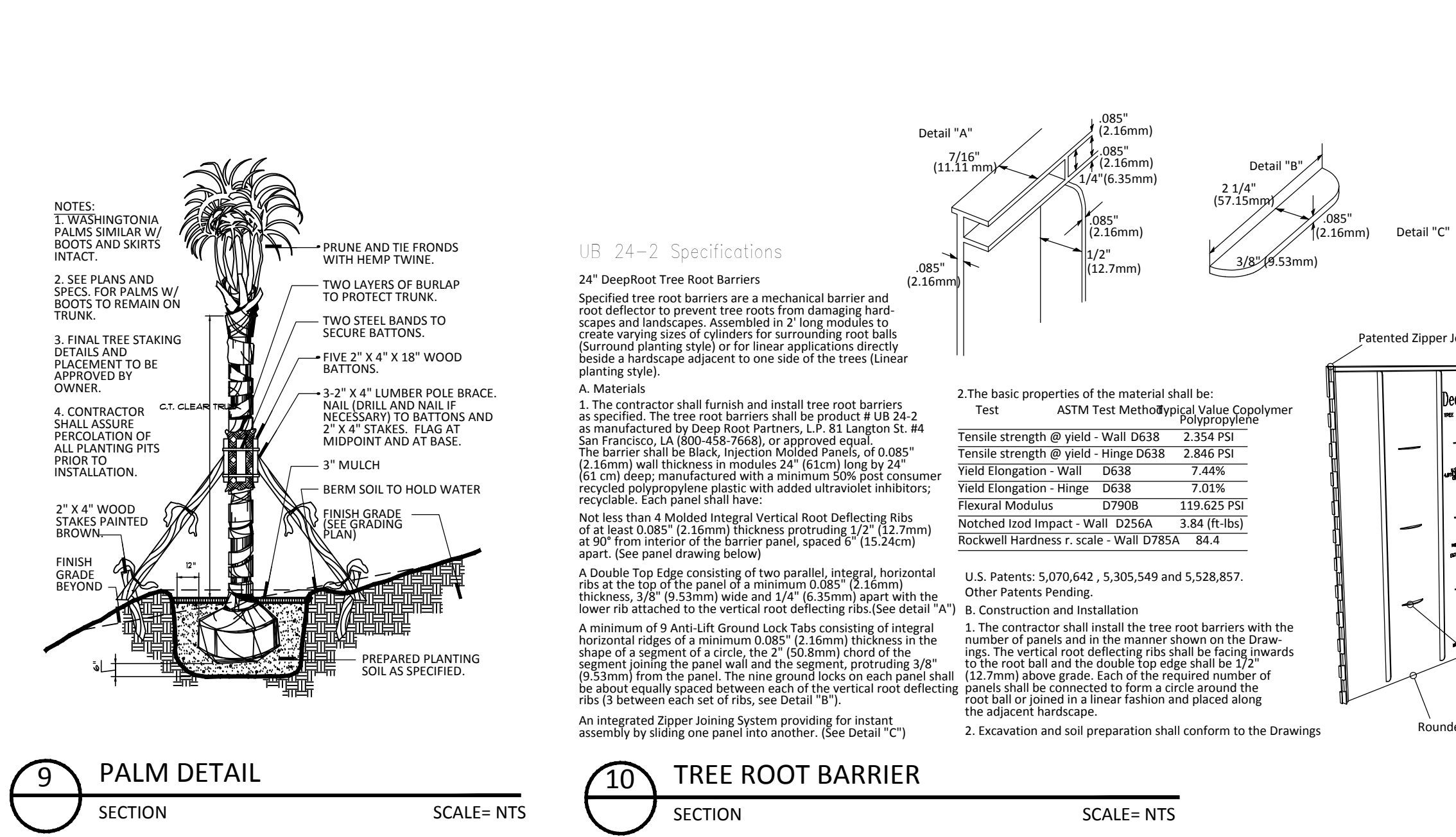
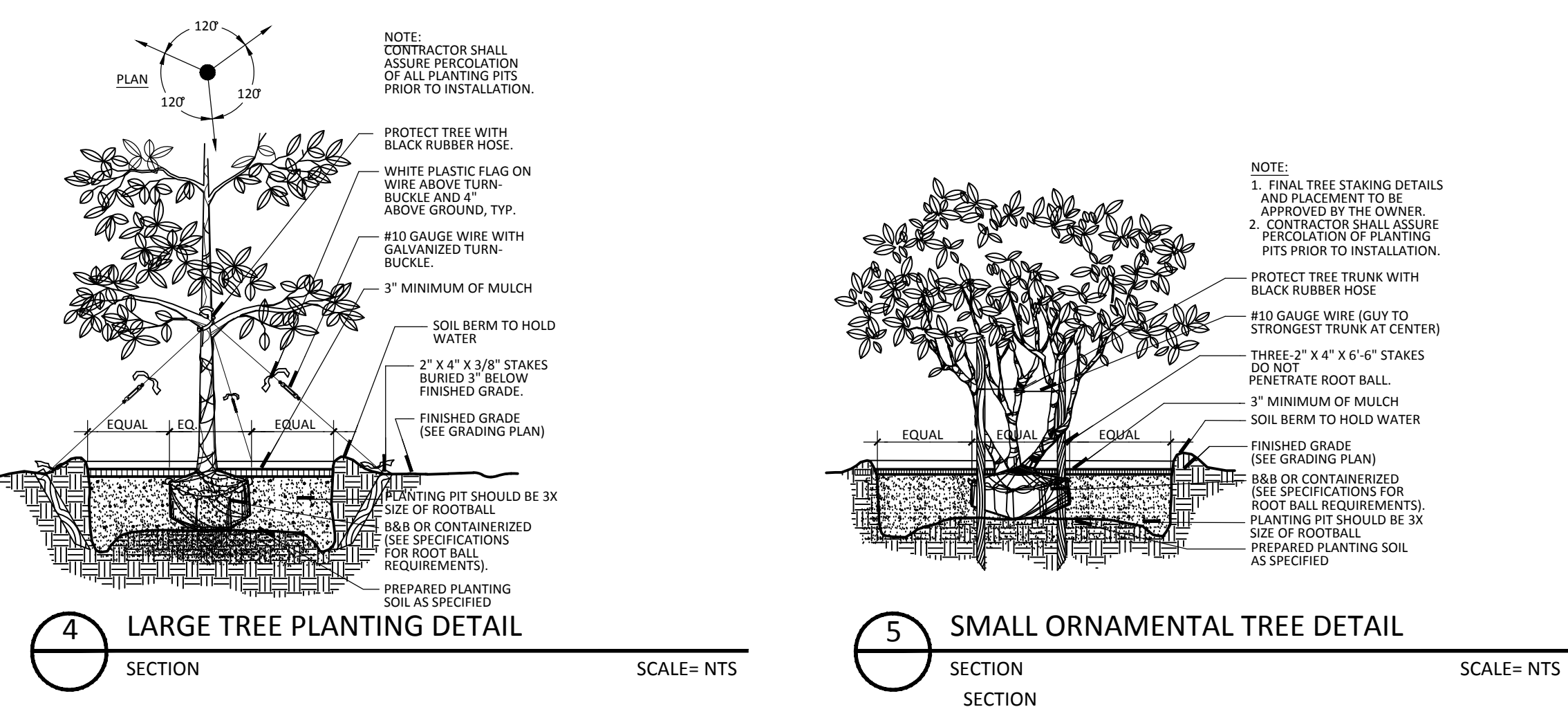
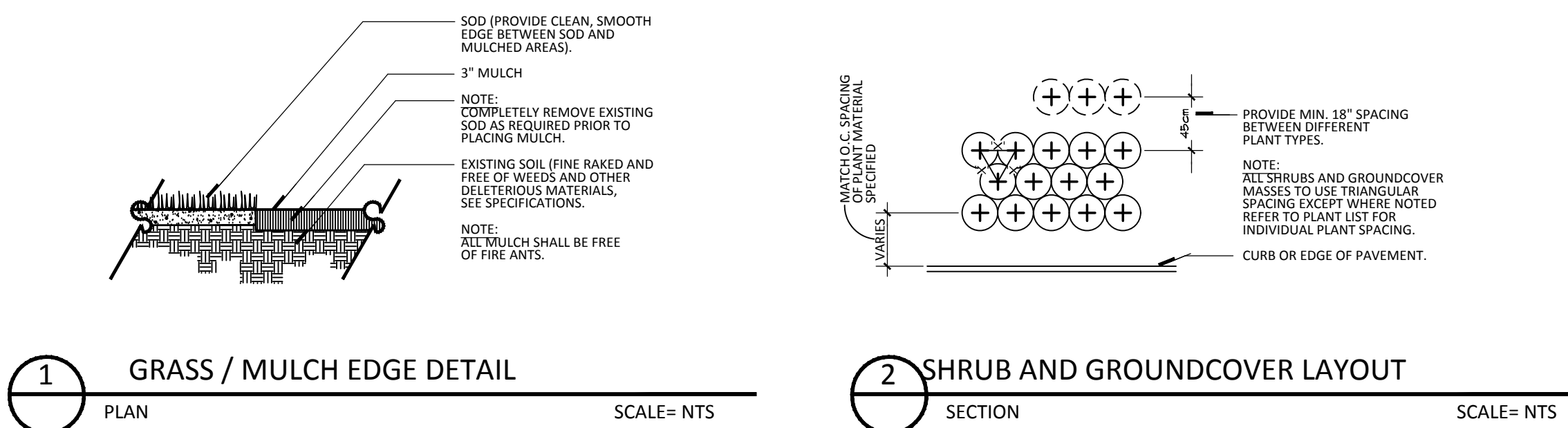
REVISIONS:  
3 REV 8/30/22  
4 REV 10/12/22  
5 REV 3/2/23

SEAL:

SHEET NUMBER  
LAPL-4

PREPARED BY:  
**ECOPLAN**  
ECOLOGICAL / ENVIRONMENTAL LAND PLANNING  
LAND USE ANALYSIS LANDSCAPE ARCHITECTURE  
300 SOUTH EAST 18TH STREET  
SUITE 200  
DELRAY BEACH, FLORIDA 33422  
954.524.9722 www.ecoplan-fl.com





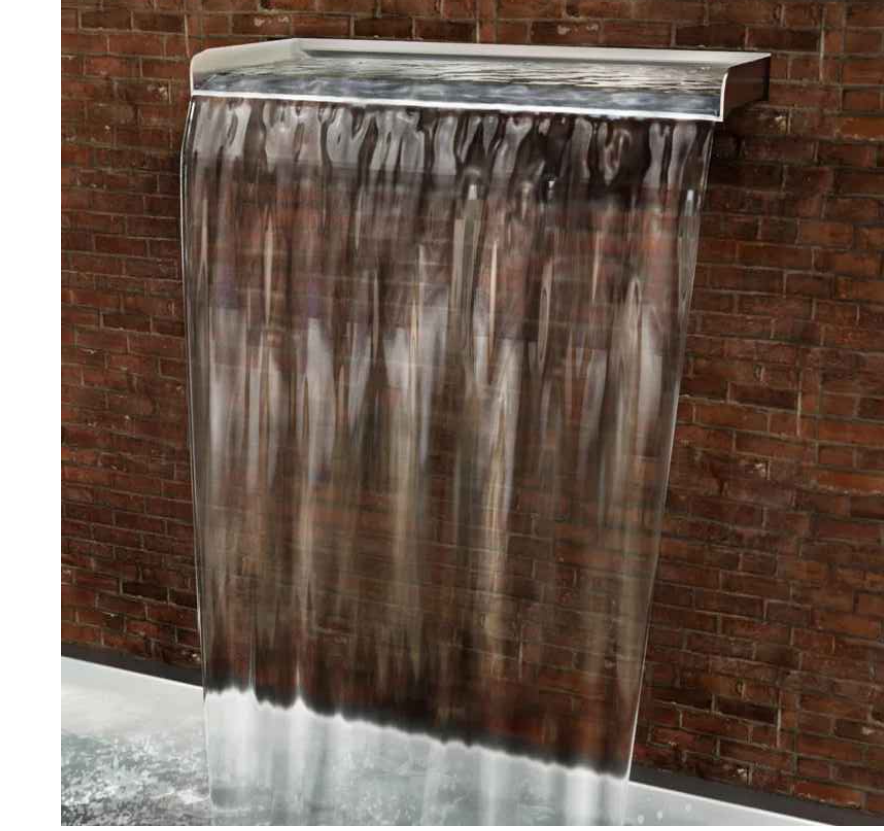
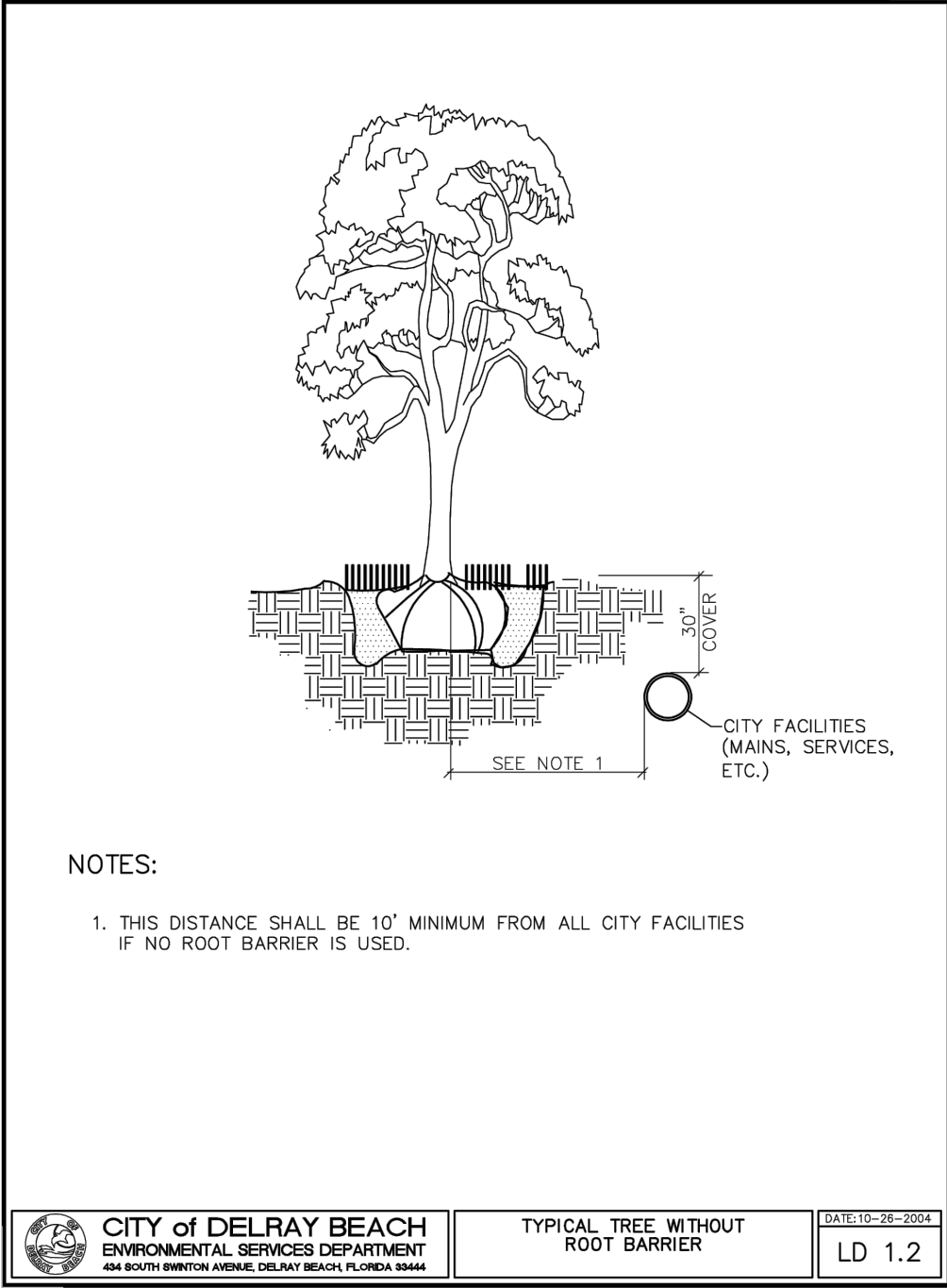
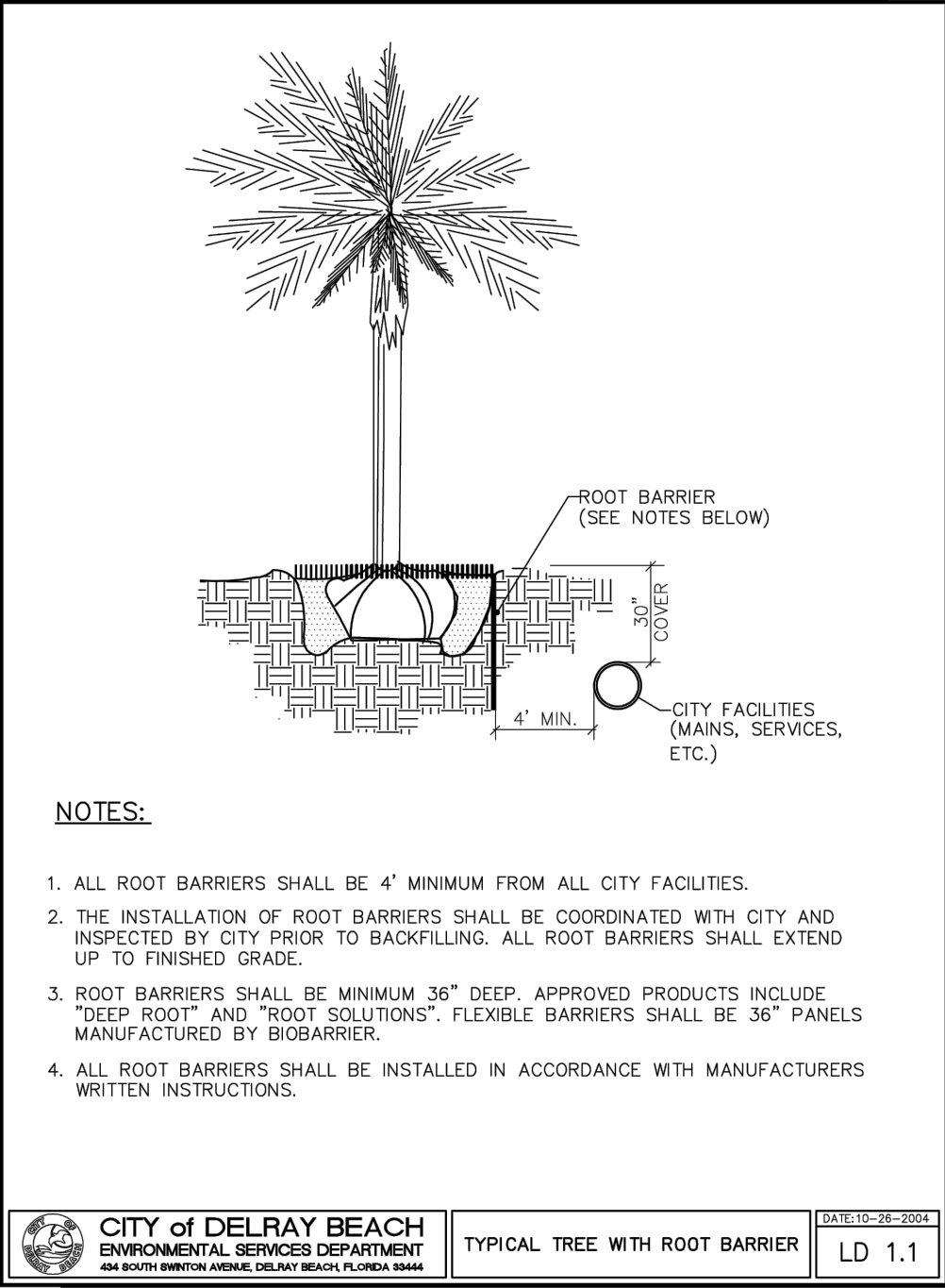
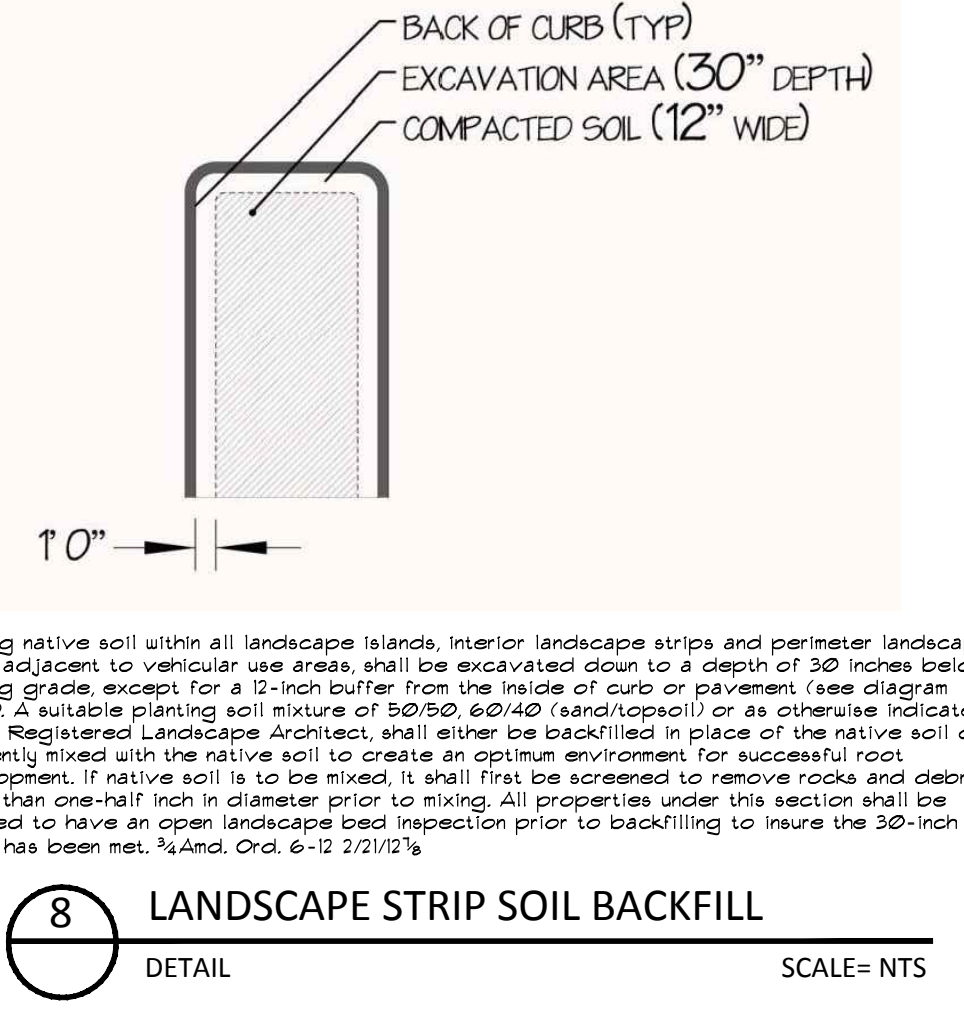
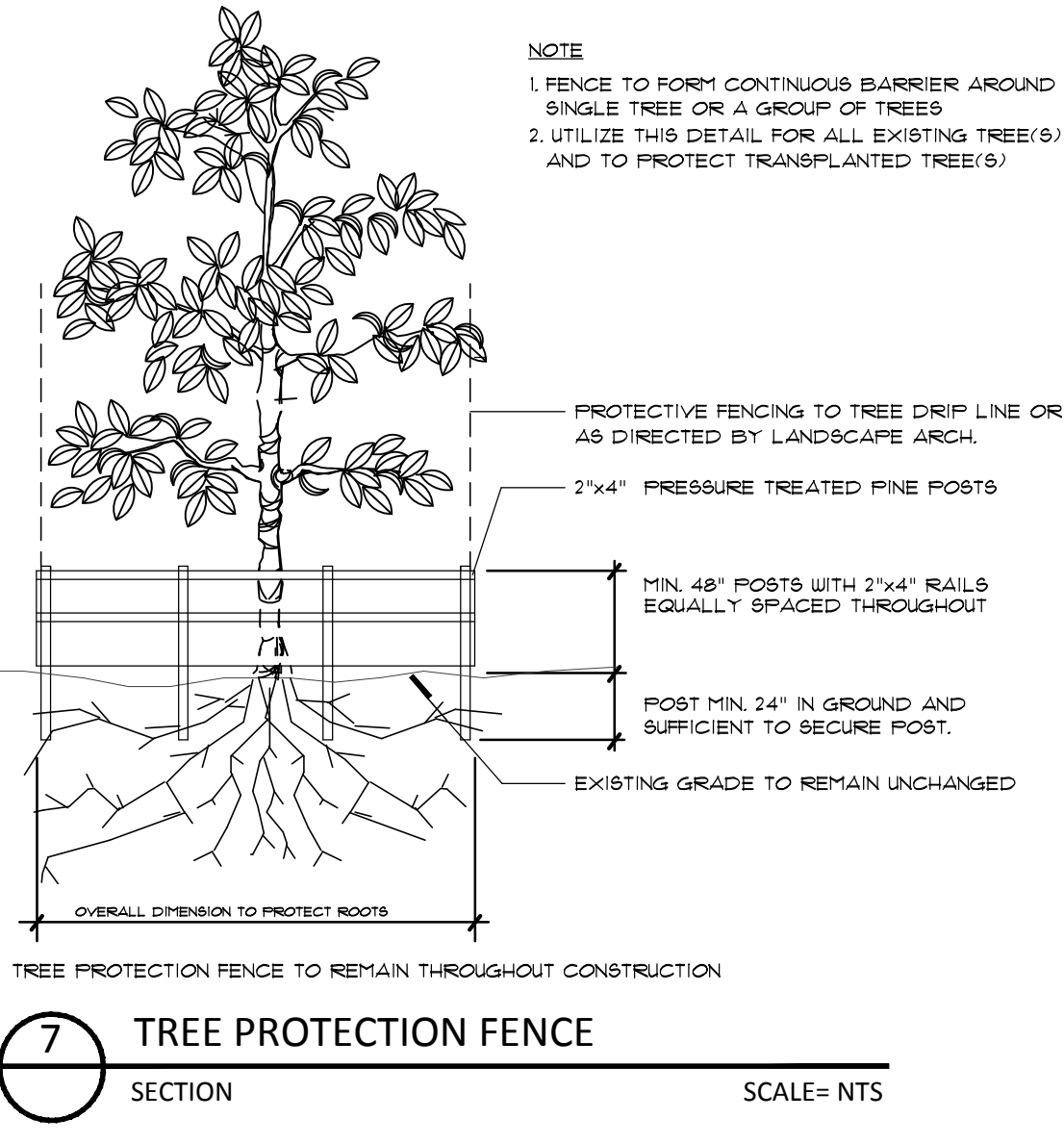
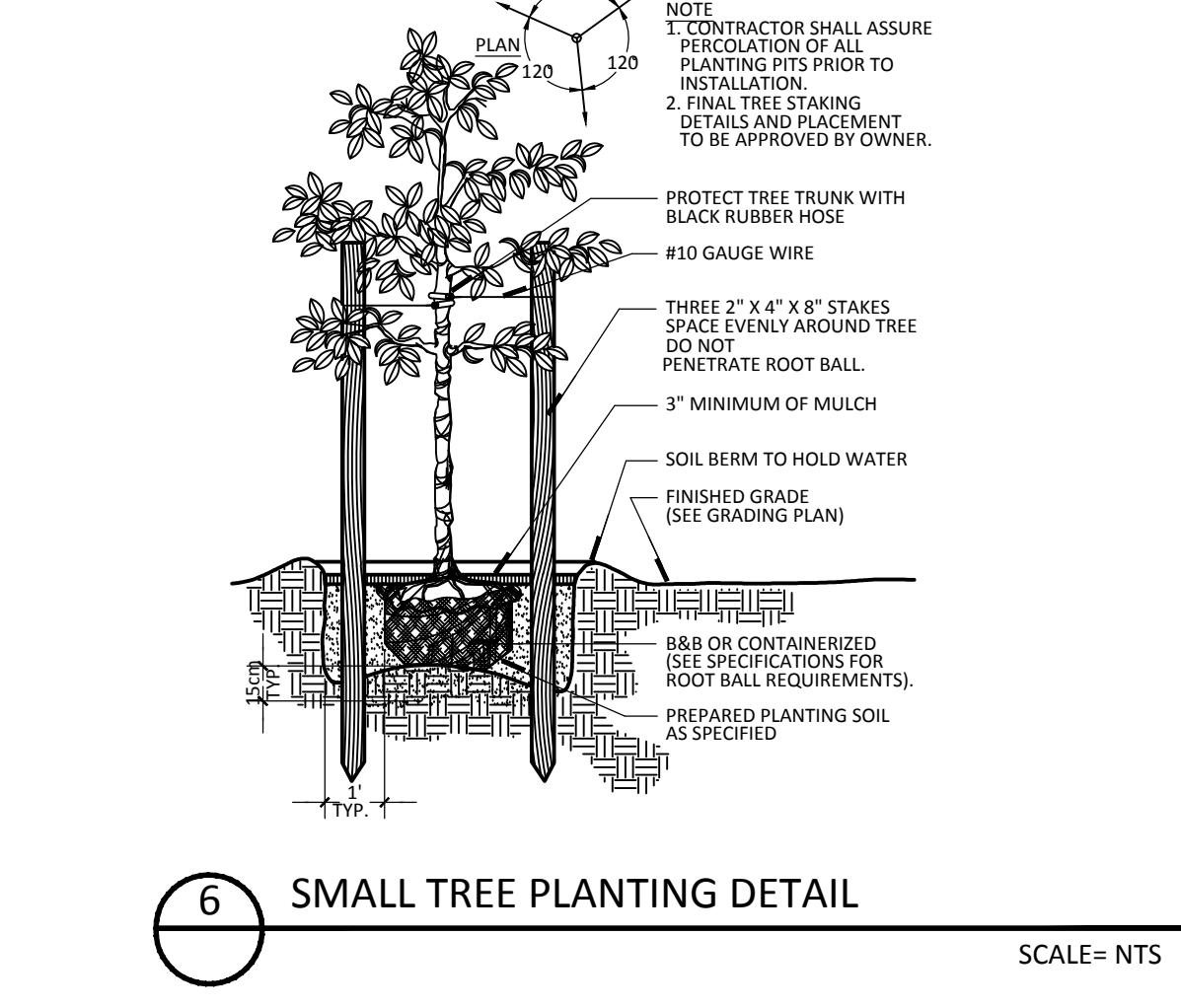
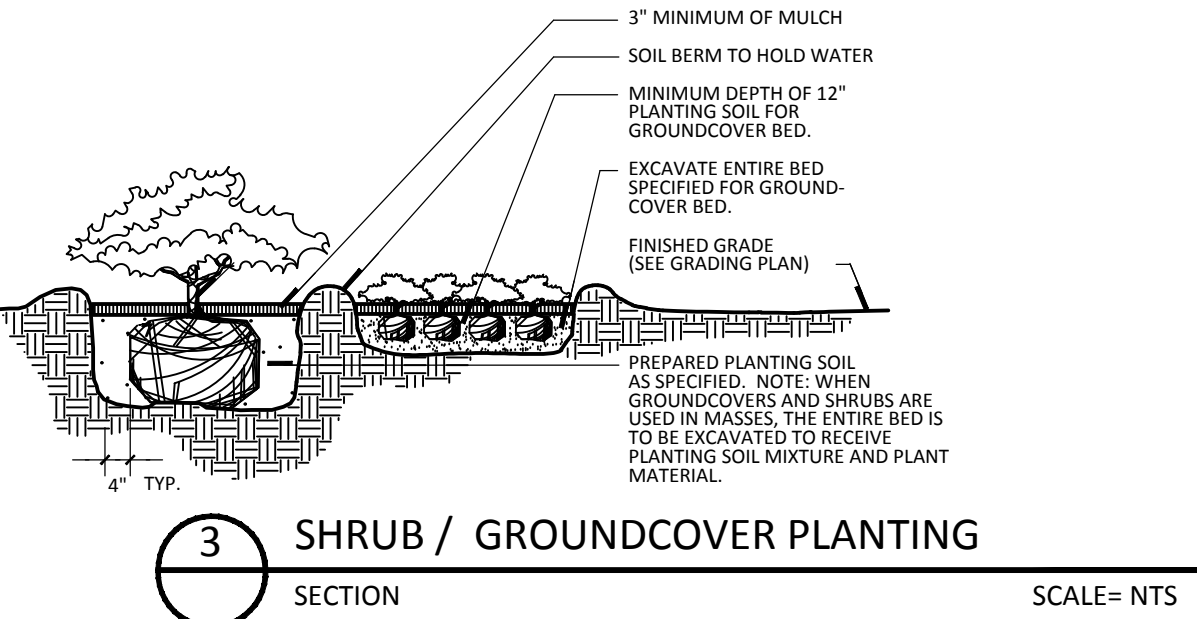
## LANDSCAPE NOTES

- THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIAL SPECIFIED, THE FURNISHING OF LABOR, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR, AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION ON THESE PLANS. FURTHER, THE WORK SHALL INCLUDE THE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL ACCEPTANCE BY THE OWNER, AND THE FULFILLING OF ALL GUARANTEE PROVISIONS AS HEREIN SPECIFIED.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- IN THE EVENT OF VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANS, THE PLANS SHALL CONTROL.
- PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO INSTALLATION. WHEN INSPECTION WORK DOES NOT COMPLY WITH THE REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE, PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
- ALL PLANTING BEDS WITHIN FDOT RIGHT OF WAYS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION. ALL ON SITE PLANTING BEDS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH. NO RED COLORED MULCH WILL BE ACCEPTED.

- ALL TREES 6' TALL OR LARGER SHALL BE STAKED AND GUYED WITH VERTICAL 2" X 2" PINE STAKES OR 4" DIAMETER POST IN DETAILS. NO DEVIATIONS UNLESS APPROVED IN WRITING.
- PLANTING SOIL FOR ALL PLANT MATERIALS SHALL CONSIST OF TWO (2) PARTS OF TOPSOIL WITH ONE (1) PART PEAT MOSS AND .9 kg FERTILIZER PER CUBIC METER, WELL MIXED.
- ALL PLANT MATERIALS SHALL BE WATERED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND DURING THE PLANTING TIME PERIOD UP TO FINAL ACCEPTANCE BY OWNER.
- PROVIDE NEW TOPSOIL FOR TURF IN ALL SODDED AND SEEDED AREAS. TOPSOIL SHALL BE FERTILE, BLACK IN COLOR, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3 cm IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO SOD GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 10 cm. DO NOT OBTAIN FROM BOGS OR MARSHES. THE CONTRACTOR SHALL PROVIDE A SOILS TEST REPORT SHOWING pH AND NUTRIENTS; - pH SHALL BE 5.5 TO 6.0. IF NOT THEN USE THE APPROPRIATE SOIL AMENDMENTS TO REACH 5.5 TO 6.0.
- CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT OR DISCREPANCY IN PLANS PRIOR TO PERFORMING ANY WORK IN THE AFFECTED AREA.
- CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND DISCARDED MATERIALS AND RUBBISH FROM HIS CONSTRUCTION.
- ALL SHRUBS, GROUNDCOVERS, AND SOD SHALL BE GUARANTEED FROM NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.

## CITY OF DELRAY BEACH REQUIRED NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE
- REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE

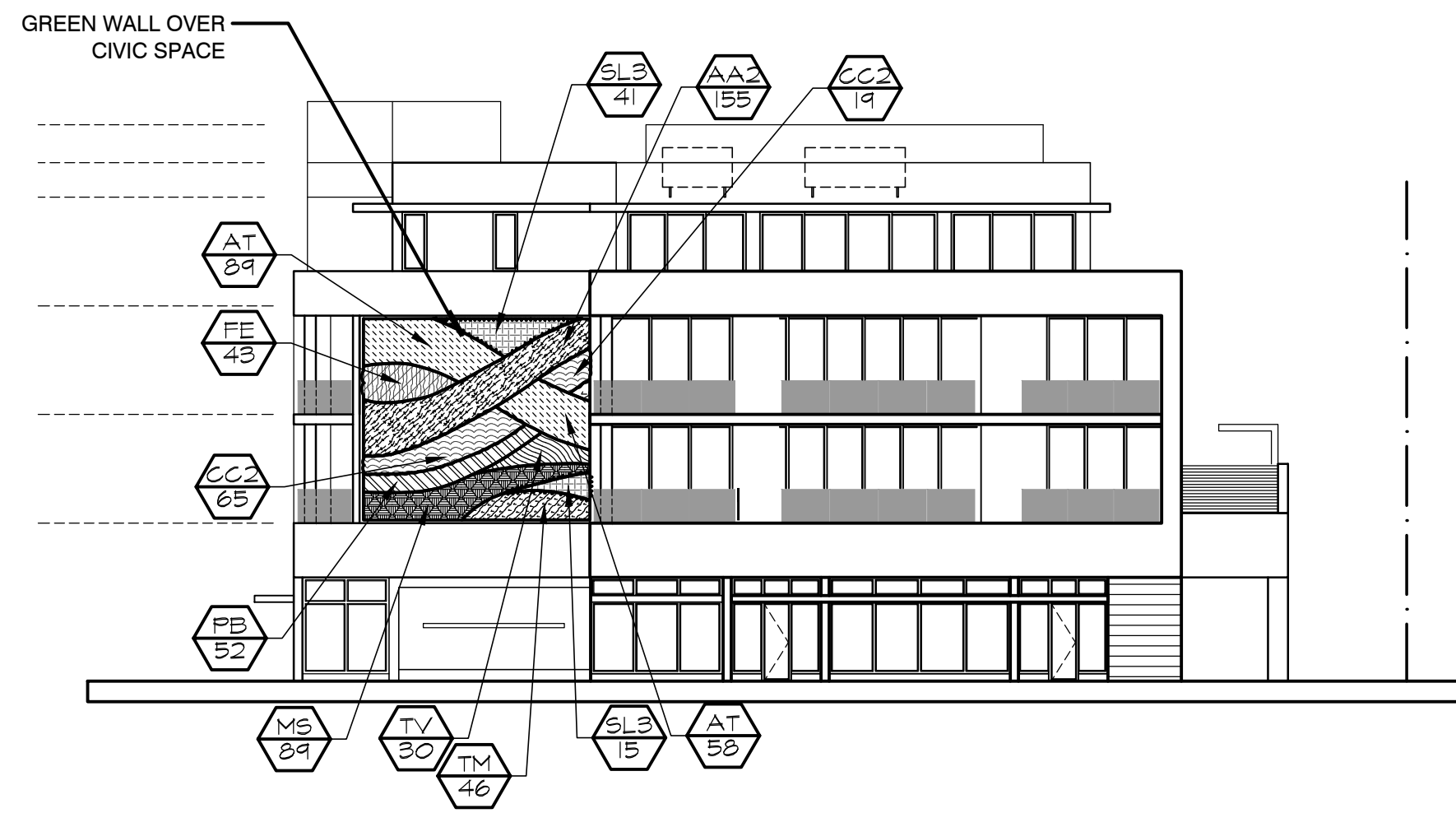


**11 CIVIC FOUNTAIN INSPIRATION**  
IMAGE SCALE= NTS

- FINAL INSPECTION WILL NOT TAKE PLACE UNTIL ALL MATERIALS ARE PLANTED/INSTALLED CORRECTLY. CONTRACTOR WILL REQUEST A FINAL INSPECTION BY WRITTEN LETTER TO OWNER.
- UPON NOTICE OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE AND THE GUARANTEE/ WARRANTY PERIOD BEGINS.
- ALL SODDED AREAS SHALL BE HAND WATERED UNTIL TURF IS ESTABLISHED.
- CONTRACTOR TO NOTIFY/VERIFY WITH LANDSCAPE ARCHITECT, THE AVAILABILITY (QUANTITY & QUALITY PRESCRIBED IN THE DRAWINGS) OF ALL PLANT MATERIAL SPECIFIED AT THE TIME OF THE BID.
- CONTRACTOR INSTALLING THE PLANT MATERIAL AT THE SITE WILL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND HEALTH OF THE MATERIAL (AS DOCUMENTED IN THE PHOTOGRAPHS AT THE TIME OF INSPECTION) FROM THE TIME OF INSTALLATION TO THE TIME OF TURNING OVER THE PROJECT TO THE OWNER OR OPERATOR. IF THE CONTRACTOR FAILS TO MAINTAIN THE MATERIAL AS SPECIFIED, THAT PLANT MATERIAL WILL BE REJECTED.
- REPLACE EXISTING SOD WHERE DAMAGED BY CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.







GREEN WALL  
NORTH ELEVATIONS



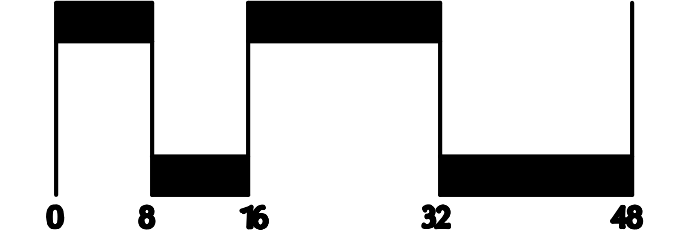
GREEN WALL  
WEST ELEVATIONS

#### PLANT SCHEDULE ELEVATIONS

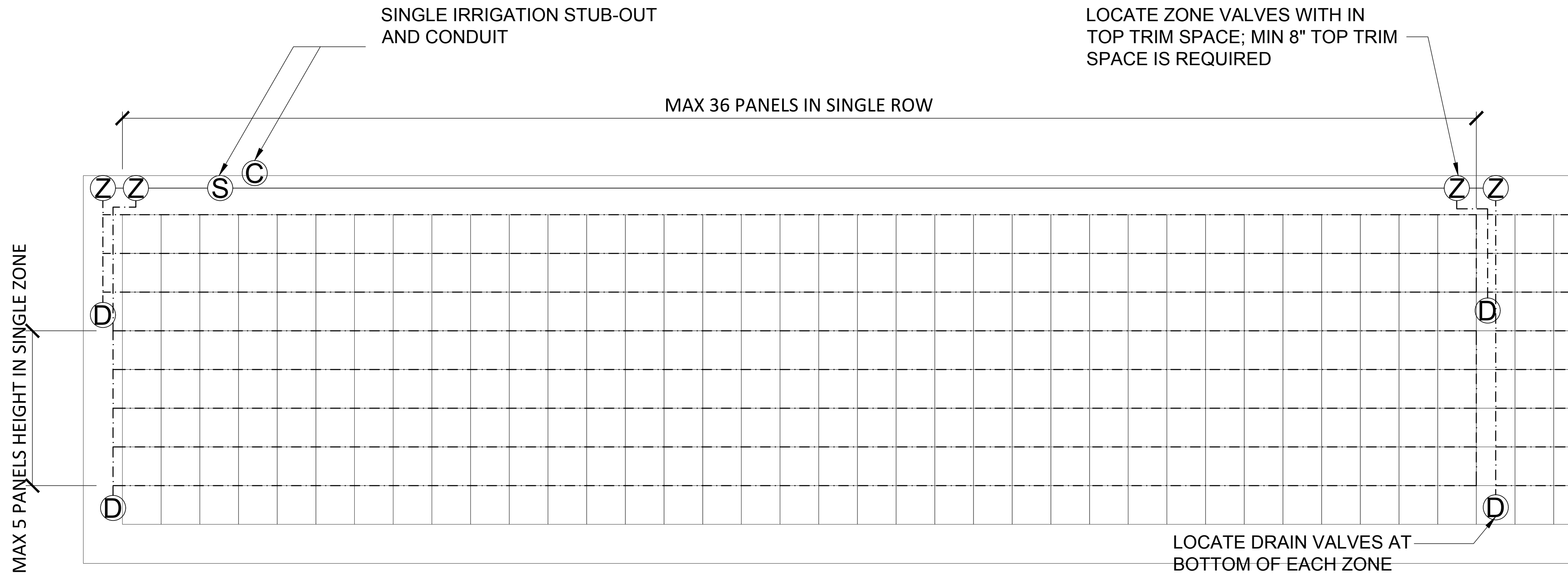
GREEN WALL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	SPACING
	CC2	187	Codiaeum variegatum 'Red Corkscrew'	Corkscrew Croton	1 gal.	10"x10"	10" O.C.	10" o.c.
	FE	189	Ficus elastica	Rubber Tree	1 gal.	10"x10"	10" O.C.	10" o.c.
	SL3	173	Schefflera arboricola 'Emerald Green'	Emerald Green Schefflera	1 gal.	10"x10"	10" O.C.	10" o.c.
GREEN WALL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	SPACING
	AT	401	Alternanthera bettzickiana 'True Yellow'	True Yellow Calico Plant	1 gal.	10"x10"		10" o.c.
	AA2	334	Asparagus densiflorus 'Sprenger'	Sprenger Asparagus Fern	1 gal.	10"x10"		10" o.c.
	MS	180	Microsorium scolopendria	Wart Fern	1 Gal.	10"x10"		10" o.c.
	PB	133	Philodendron x 'Burle Marx'	Burle Marx Philodendron	1 gal.	10"x10"		10" o.c.
	TM	178	Trachelospermum asiaticum 'Minima - Black'	Minima Asiatic Jasmine	1 gal.	10"x10"		10" o.c.
	TV	99	Trachelospermum asiaticum 'Variegata'	Variegated Asiatic Jasmine	1 gal.	10"x10"		10" o.c.



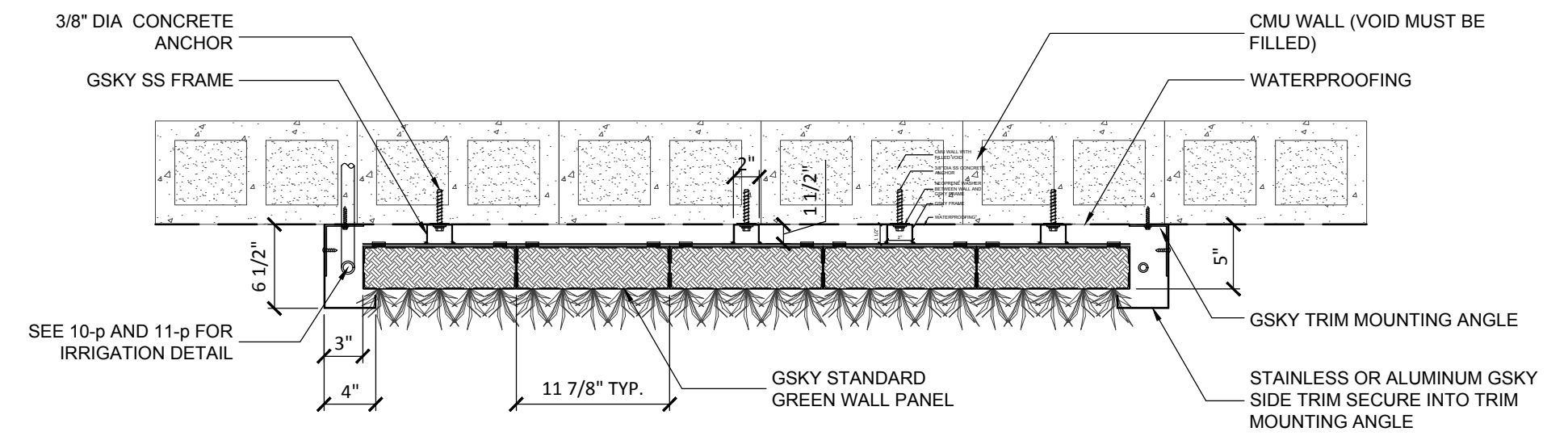
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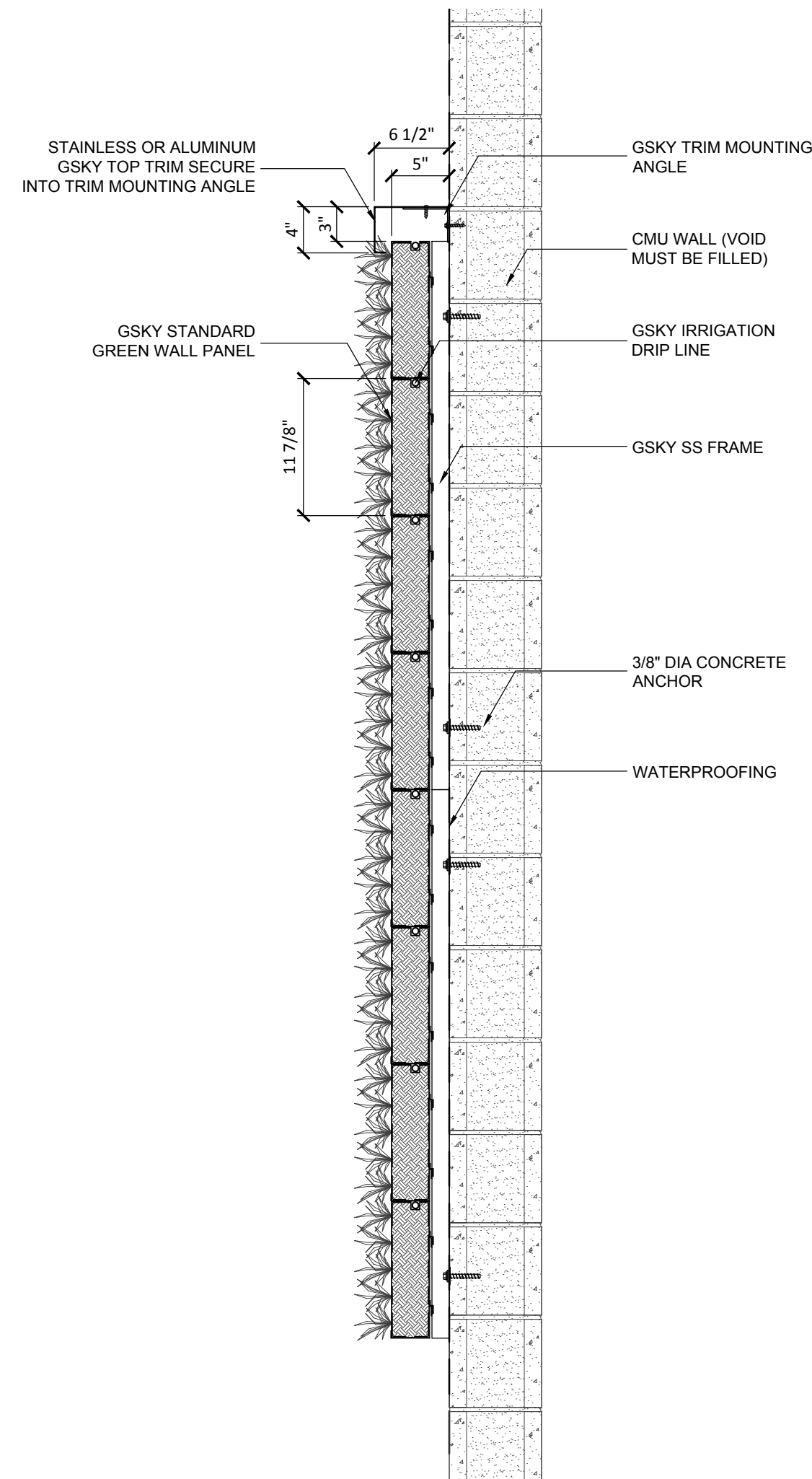




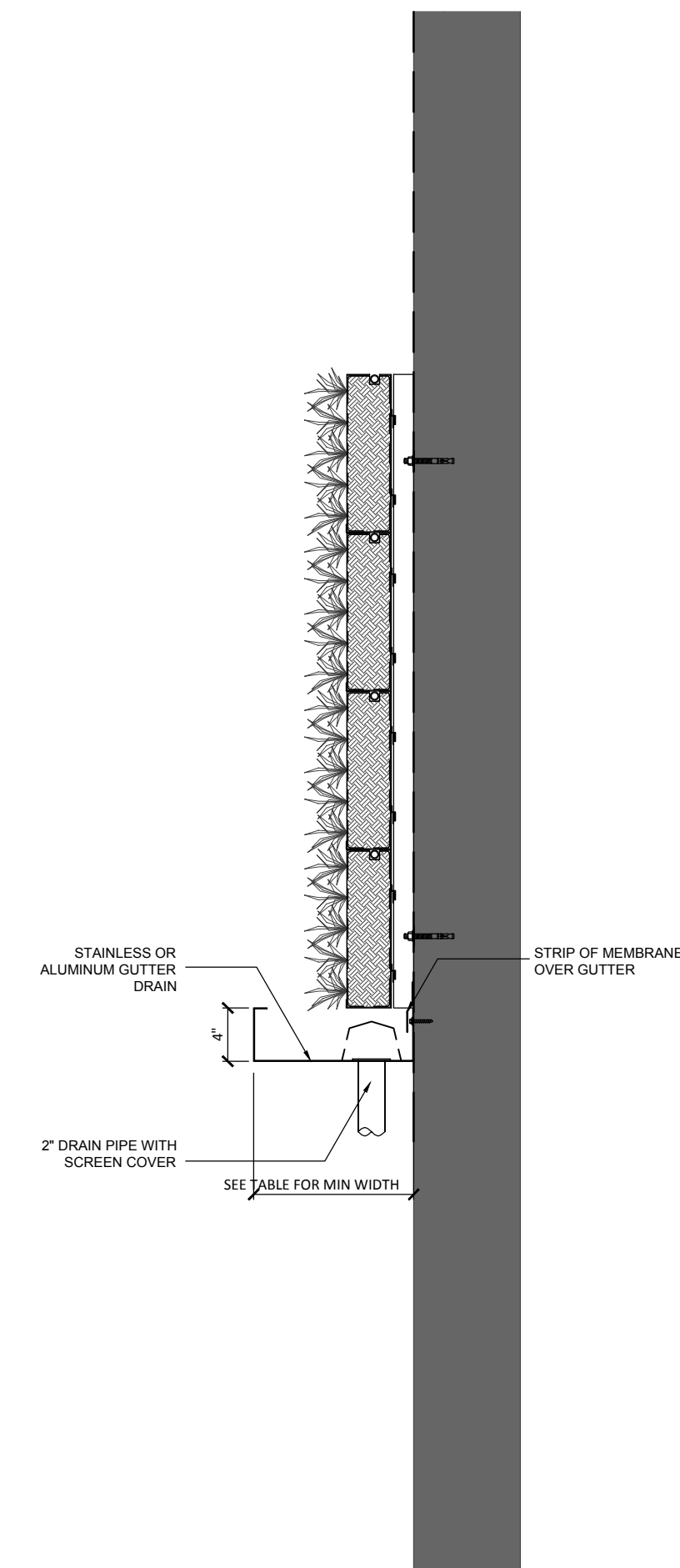
1 GREEN WALL GRID WITH IRRIGATION  
SCALE= NTS



2 GREEN WALL - HORIZONTAL SECTION  
SCALE= NTS

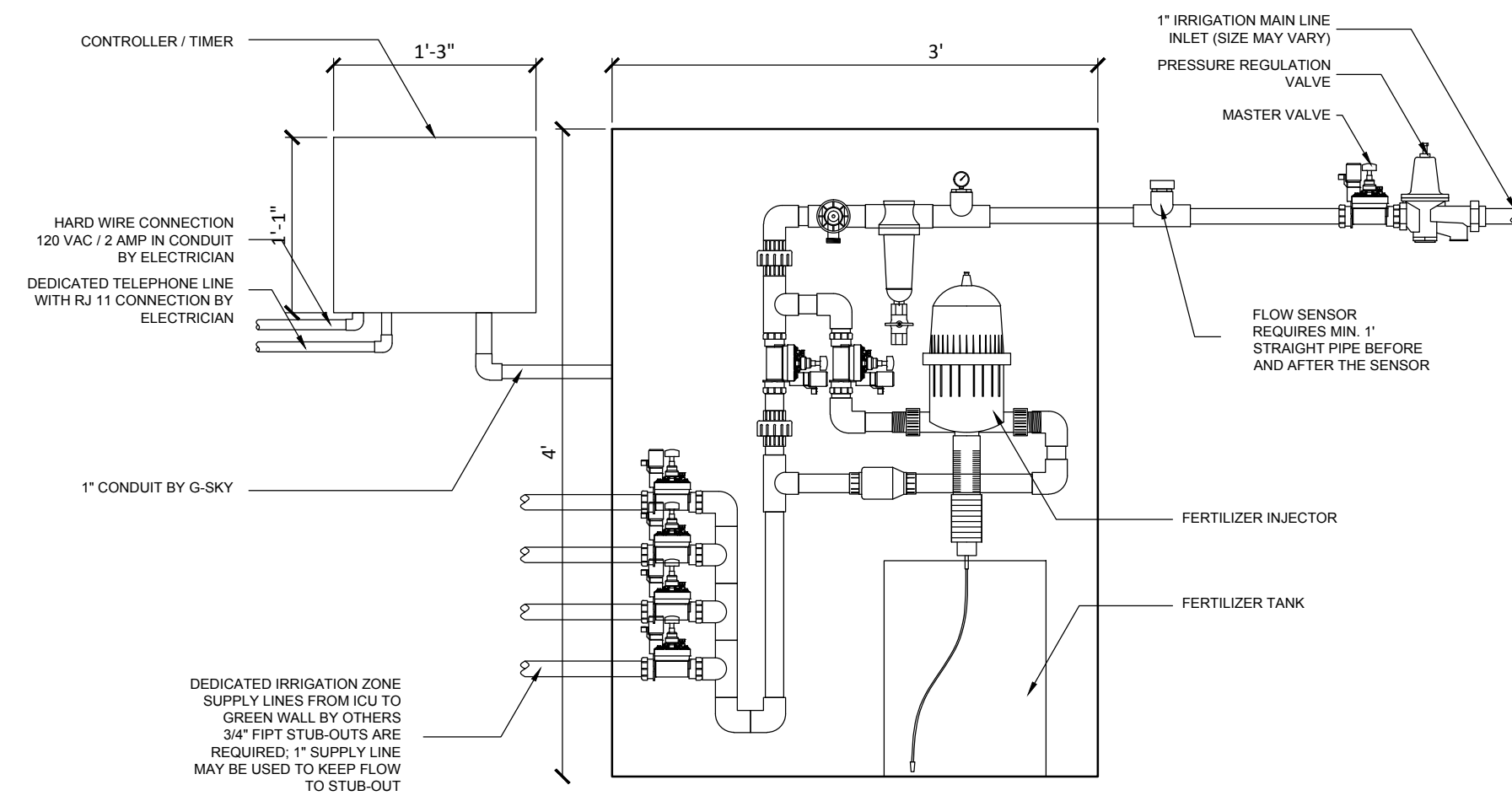


4 GREEN WALL VERTICAL SECTION  
SCALE= NTS



5 GREEN WALL SECTION WITH DRAINAGE  
SCALE= NTS

ICU-600  
IRRIGATION CONTROL UNIT FOR:  
\*GREEN WALLS SMALLER THAN 1080 SQFT (INTERIOR OR EXTERIOR)  
\*EXTERIOR WALLS IN USDA PLANT ZONE 9 OR HIGHER (NON-FREEZING CLIMATES)



\*REQUIREMENTS:  
\*ICU - 48\"/>

3 GREEN WALL IRRIGATION CONTROL UNIT  
SCALE= NTS





April 4, 2022

Rebekah Dasari  
Senior Planner  
City of Delray Beach  
100 NW First Avenue  
Delray Beach, FL 33444

Re: 318 SE 5<sup>th</sup> Avenue Arborist Report

Dear Ms. Dasari,

Please accept the following as an arborist review of the trees located on the above referenced project. WGI has completed a tree inventory of all the protected trees within the proposed project area at 318 SE 5<sup>th</sup> Avenue.

There are 7 trees with a condition rating greater than 50% proposed for removal. These trees include two *Tabebuia aurea*, two *Swietenia mahogani*, two *Mangifera indica*, and one *Quercus virginiana*. These trees exhibited signs of stress and/or damage such as limb damage, discolored foliage, and sparse canopy. Notes and details for each of these trees is provided in the Tree Inventory Plan and included photo documentation.

There are 6 trees with a condition rating less than 50% proposed for removal. These trees include one *Terminalia buceras*, one *Ficus benjamina*, one *Bursera simaruba*, one *Tabebuia aurea*, one *Quercus virginiana*, and one *Swietenia mahogani*. As indicated by the condition ratings, these trees were of poor condition and exhibited extensive damage and/or signs of severe stress. Notes and details for each of these trees is provided in the Tree Inventory Plan and included photo documentation.

In total, 159 DBH inches are proposed to be removed and a total of 50 replacement DBH inches are proposed. The total proposed in-lieu fee is \$26,300.00 to provide mitigation for removed trees that are in excess of the proposed 50 replacement trees.

There is one palm, a *Pythosperma elegans*, proposed for removal. This palm exhibited damage and signs of stress.

In total, one palm is proposed for removal and two 15-foot clear trunk replacement palms are proposed to be provided to fully offset this loss. Additionally, this plan proposes 22 replacement palms of varying heights (10 to 15-foot clear trunk) to provide surplus replacement material.

Please let me know if you have any questions or require additional information and I will be happy to provide it to you.

Thank you,

A handwritten signature in black ink, appearing to read 'Rick Harman', with a stylized flourish at the end.

Rick Harman, CEP, PWS  
ISA Certified Arborist FL-5646A



Tag #	Common Name	Scientific Name	Size (DBH inches for Trees or Feet to Clear Trunk for Palms)	Spread (sq-ft)	Condition Rating	Disposition	Notes
1	Mango	<i>Mangifera indica</i>	11	400	75	Remove	Codominant, included bark, growing about fence, close to building, under powerline
2	Mahogany	<i>Swietenia mahogani</i>	12	225	60	Remove	Growing about fence, close to building, under powerline, sparse canopy, overall crown reduction
3	Mahogany	<i>Swietenia mahogani</i>	10	300	70	Remove	Growing split around fence, under powerline, codominant, minor branch damage
4	Live Oak	<i>Quercus virginiana</i>	25	2000	75	Remove	Minor branch damage
5	Mango	<i>Mangifera indica</i>	4	150	60	Remove	Growing about fence, under powerline, shaded and competing for space, dead and discolored foliage
6	Live Oak	<i>Quercus virginiana</i>	12	300	45	Remove	Growing about fence, under powerline, and near asphalt parking lot. Leaning, vine intrusion, asymmetrical canopy
7	Solitaire Palm	<i>Ptychosperma elegans</i>	14'	64	45	Remove	Growing about fence, under powerline, moderate trunk damage, vine intrusion
8	Gumbo Limbo	<i>Bursera simaruba</i>	8	64	40	Remove	Growing through fence near parking lot, under powerline, leaning, asymmetrical canopy, vine intrusion, severe canopy reduction
9	Black Olive	<i>Terminalia buceras</i>	16	400	30	Remove	Severe trunk and branch damage and canopy reduction, dead and dying limbs, severe insect intrusion, sparse foliage
10	Yellow Tabebuia	<i>Tabebuia aurea</i>	5	150	50	Remove	Growing about fence near parking lot, umbrella tree intrusion, shaded, discolored foliage, severe canopy reduction
11	Yellow Tabebuia	<i>Tabebuia aurea</i>	9	150	60	Remove	Growing about fence near parking lot, codominant, poor overall growth structure
12	Yellow Tabebuia	<i>Tabebuia aurea</i>	6	64	40	Remove	Growing about fence near parking lot, competing for space, discolored foliage, severe canopy reduction
13	Mahogany	<i>Swietenia mahogani</i>	29	3600	45	Remove	Growing about fence, near parking lot and building. Severe main branch damage and decay, vine intrusion, dead / dying secondary branches
14	Weeping Fig	<i>Ficus benjamina</i>	12	100	30	Remove	Growing near and on building, severe overall canopy reduction and sparse foliage, decay present





# Arborist Report — Tree # 1, Mango



Note: Codominant, included bark, confined root space





# Arborist Report — Tree # 2, Mahogany



Note: Sparse canopy, overall crown reduction, confined root space





# Arborist Report — Tree # 3, Mahogany



Note: Codominant, branch damage, growing split around fence





# Arborist Report — Tree # 4, Live Oak



Note: Minor branch damage





# Arborist Report — Tree # 5, Mango



Note: Dead and discolored foliage, shaded and competing for space, confined root space





# Arborist Report — Tree # 6, Live Oak



Note: Leaning, confined root space, asymmetrical canopy





# Arborist Report — Palm # 7, Solitaire Palm



Note: Growing abut fence, trunk damage, vine intrusion





# Arborist Report — Tree # 8, Gumbo Limbo

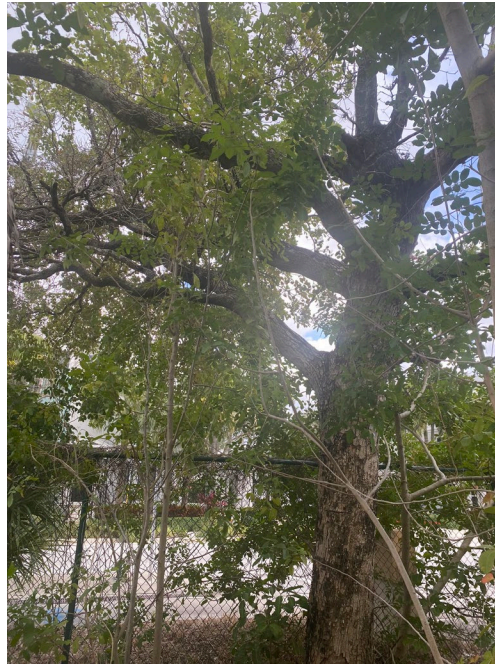


Note: Confined root space, severe canopy reduction, asymmetrical canopy, leaning





# Arborist Report — Tree # 9, Black Olive



Note: Severe trunk & branch damage, severe canopy reduction, dead and dying limbs, severe insect intrusion, sparse foliage





# Arborist Report — Tree # 10, Yellow Tabebuia



Note: Confined root space, discolored and sparse foliage





# Arborist Report — Tree # 11, Yellow Tabebuia



Note: Codominant, confined root space, poor overall growth structure





# Arborist Report — Tree # 12, Yellow Tabebuia

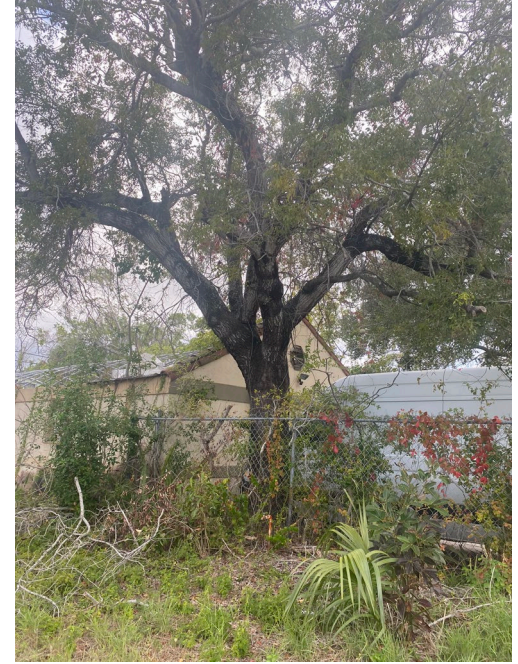


Note: Confined root space, discolored and sparse foliage





# Arborist Report — Tree # 13, Mahogany



Note: Confined root space, severe branch damage and decay, dead and dying limbs





# Arborist Report — Tree # 14, Weeping Fig



Note: Confined root space, decay present, very sparse canopy