SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Fifth Avenue Townhomes

Meeting	File No.	Application Type
October 23, 2024	2024-056-SPR-LV2	Level 2 Site Plan with

Property Owner	Authorized Agent
Fifth Avenue Delray, LLC	Thomas F. Carney, Jr. of Carney Stanton P.L.

Request

Consideration of a Level 2 Site Plan to construct a five-unit townhouse development with detached garages, Architectural Elevations, and Landscape Plan with a landscape waiver and an internal adjustment to the side interior setbacks for swimming pools.

Site Data & Information

Location: 142 and 152 SE 5th Avenue

PCN: 12-43-46-16-01-102-0150 and 12-43-46-16-01-102-0140

Property Size: 0.35 acres (15,307 square feet)

LUM: Commercial Core (CC)

Zoning: Central Business District – Central Core Sub-district (CBD)

Adjacent Zoning:
- **North, South, East, West:** Central Business District (CBD)- Central Core Sub-district

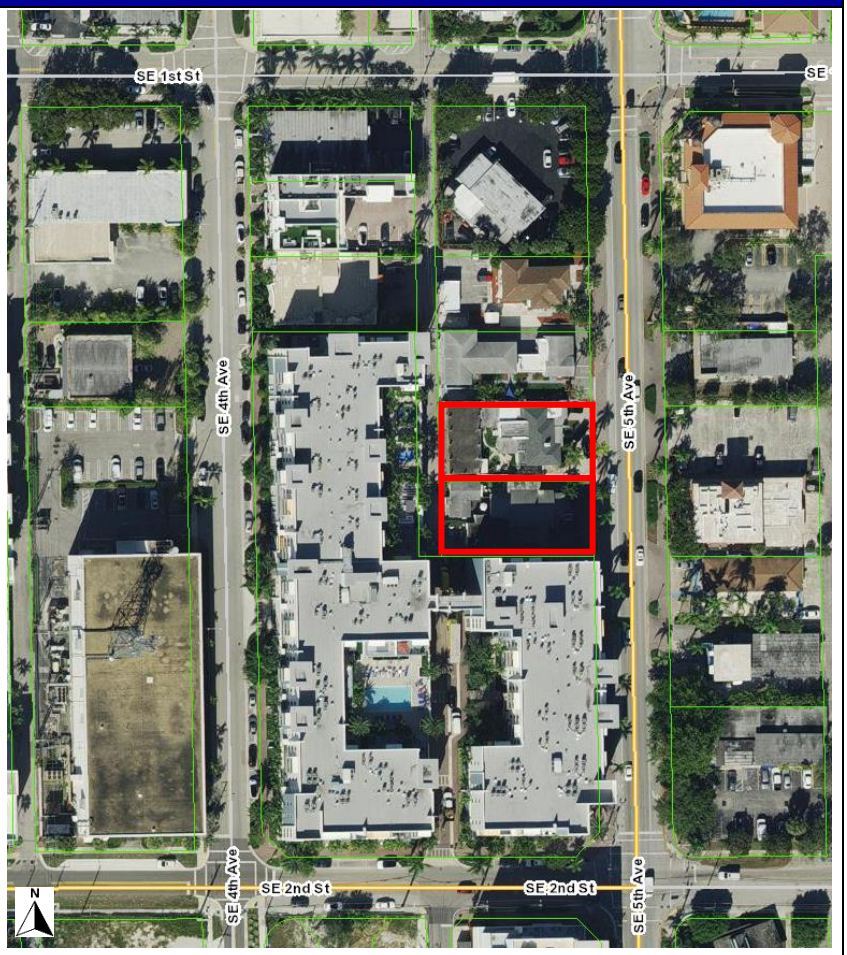
Existing Use: Commercial/Residential
Proposed Use: Residential (Townhomes)

Floor Area Ratio:
- **Existing:** 0.42
- **Proposed:** 1.37
- **Maximum Allowed:** 3.0

Density:
- **Existing:** 3 du/acre (one unit)
- **Proposed:** 15 du/acre (five units)
- **Maximum Allowed:** 30 du/ac

CBD Central Core Sub-district
- **SE 5th Avenue:** Primary Street

For Reference: LDR Section 4.4.13, CBD



Project Planner:
Alexis Rosenberg, Senior Planner; rosenberga@mydelraybeach.com
Susana Rodrigues, Senior Planner; rodriguess@mydelreaybeach.com

Background

The subject property consists of two parcels located at 142 and 152 SE 5th Avenue. The property at 142 SE 5th Avenue is currently developed with a 2,289 square-foot structure, originally built as a single-family residence in 1941 and later converted to a commercial use between 1941 and 1990. The building is divided into two units – unit A and unit B. Based on City records, the last business license associated with this location was for an electrical contractor, active from 2004 to 2015, and there is no record of a landlord permit in previous years. Currently, there are no active business licenses associated with either units.

The adjacent property at 152 SE 5th Avenue is developed with a 1,200 square foot commercial structure, 687 square-foot apartment, and 460 square-foot storage/garage space. The original single-family home was built in 1938 and was converted into commercial space with an accessory apartment in 1988. Currently, an active business license for a tarot card reading and astrology gift shop (retail) is associated with the site.

The proposal included a request to utilize the Masonry Modern architectural style in the CBD, whereas pursuant to Land Development Regulations **(LDR) Section 4.4.13(F)(3)(e), Appropriate Architectural Styles,** the Masonry Modern style requires approval by the City Commission via recommendation from SPRAB.

On July 24, 2024, the Site Plan Review and Appearance Board (SPRAB) reviewed the request to utilize the Masonry Modern architectural style within the CBD. The Board unanimously recommended approval, with a vote of 6-0.

On August 19, 2024, the City Commission considered the request and approved the use of Masonry Modern architectural style by a vote of 6 to 0 (Resolution 165-24).

On September 16, 2024, the Downtown Development Authority (DDA) recommended approval of the project.

Description of Proposal

The proposal involves demolishing the existing development and constructing a three-story, five-unit townhouse development. Each unit consists of three-bedrooms with an open terrace on the third floor.

Required parking for each unit is provided within a private detached garage accessible from the rear alley. A flex room is proposed above the detached garage.

The applicant has also submitted a request for a landscape waiver to **LDR Section 4.6.16(H)(3)(d)**, and an internal adjustment for the interior pool setback, **LDR Section 4.6.15(G)(3)**. The requested internal adjustment and waiver are reviewed concurrently with the Site Plan.

Review & Analysis: Site Plan

LDR Section 2.4.10(A)(1)(b), Level 2.
Level 2 Site Plan applications include new construction, additions to an existing building, or the conversion of an existing single-family residence or duplex, consisting of no more than a total of five dwelling units for multi-family residential development or 15,000 gross square feet of mixed-use or nonresidential development.
Based on the scope of work, the subject application is classified as a Level 2 Site Plan.

LDR Section 2.1.6(E)(1), Board Action: *The SPRAB has the authority to take action on the following items pursuant to the procedures and standards of the LDR, except where authority is granted to the Historic Preservation Board:*

(a) Level 1 or Level 2 Site Plan applications when associated with the following requests for relief:

1. Waivers that do not require City Commission action.

2. *Reduction in the number of parking spaces required for specific uses, pursuant to Section 4.6.9(F)(1).*
3. *Waivers to Section 4.6.16, Landscape Regulations.*

While Level 2 Site Plans are typically reviewed administratively, when associated with a landscape waiver or internal adjustment, the Site Plan Review and Appearance Board (SPRAB) shall take final action on the application**.**

LDR Section 2.4.10(A)(3), Findings.
All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.
(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

LDR Section 3.1.1, Required Findings.
Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

These findings relate to the following four areas:

(A) Land Use Map *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of Commercial Core (CC), and a zoning designation of Central Business District (CBD), which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is a preferred zoning district to implement the CC land use designation. Pursuant to LDR Table 4.4.13(A), multiple-family residential are permitted uses within CBD Central Core Sub-district. Therefore, the resulting use of land is compatible with the underlying land use. Further, the applicant is proposing a density of 15 dwelling units per acre (five units), where the CBD Central Core Sub-district allows a maximum density of 30 dwelling units per acre.

(B) Concurrency *as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Water and Sewer. The residential development will be serviced through connection to an existing eight-inch sewer main in the alley and a 12-inch PVC watermain along SE 5th Avenue. No utility extensions are required as a result of this project.

Drainage. Drainage will be managed on site via inlet and yard drains that will be connected to an exfiltration trench on the west side of the property.

Transportation. The submitted Traffic Statement indicates the proposed five-unit residential development is expected to generate 34 daily trips. The applicant has provided a Traffic Performance Standard (TPS) letter confirming that the project meets Palm Beach County's requirements for traffic performance standards.

Solid Waste. The proposed development is estimated to generate 2.6 tons of solid waste per year compared to the existing 7.22 tons generated with the commercial space and two dwelling units. The Solid Waste Authority has confirmed that its facilities have sufficient capacity to accommodate all development proposals until 2054. Additionally, the applicant has provided correspondence from Waste Management indicating that the use of roll-out containers picked up from the designated location north of unit 5 is a feasible method of waste disposal for this project.

Schools. The applicant has provided a SCAD letter issued by The School District of Palm Beach County stating that the proposed development will have no negative impact on the existing school system. Any applicable fees will be at the discretion of the School Board.

(C) Consistency *A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The applicable subsections of **Article 3.2, Performance Standards** is **LDR Section 3.2.1, Basis for determining consistency**, which requires a determination of consistency with the Comprehensive Plan, and **LDR Section 3.2.3, Standards for site plan and/or plat actions**. These standards strive to ensure that new development will not have a negative impact on the surrounding area, provide requisite amenities to enhance the quality of life for its residents when residential units are proposed, provide appropriate mobility connections and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards as there are no significant concerns related to the overall consistency with Article 3.2 have been identified.

The standards also require developments to provide a variety of housing types that accommodate Delray Beach's growing and socio-economically diverse population. Pursuant to LDR Section 4.4.13(D)(1)(d), "*a number of different unit types, sizes and floor plans shall be available within the development. Two and three bedroom units are encouraged, as are a combination of multi-level units and flats. In projects consisting of more than 12 dwelling units, the proportion of efficiency or studio type units may not exceed 25 percent of the total units. One bedroom units may not exceed 30 percent; however, if no efficiency or studio units are constructed, the cumulative amount of one bedroom units may not exceed 55 percent. There is no maximum percentage for unit types established for projects having 12 or fewer units, however, a mix of unit types and sizes is encouraged."* The proposal consists of five three-bedroom units. While it is not required to provide a mix of unit types and sizes for projects with 12 units or fewer, the Board should consider whether the proposed project aligns with the intent of the Housing Element of the Comprehensive Plan and whether there is opportunity to ensure a greater diversity of unit types at varying income levels, despite the current absence of revitalization incentives for this location.

Comprehensive Plan
A review of the objectives and policies of the adopted Always Delray Comprehensive Plan was conducted, and the following applicable objectives or policies were noted:

Neighborhoods, Districts, and Corridors Element
Policy NDC 1.3.5: *Use the Commercial Core land use designation to stimulate the vitality and economic growth of the city while simultaneously enhancing and preserving the cultural and historic downtown area.*

Policy NDC 1.3.6: *Allow a maximum floor area ratio of 3.0 and a maximum density of 12 dwelling units per acre east of the Intracoastal Waterway, and a standard density of 12-30 dwelling units per acre with a revitalization/incentive density of 30-100 dwelling units per acre for the Commercial Core land use designation; specific standards in the Land Development Regulations adjust density and intensity based on compatibility, scale, character, adopted Redevelopment or Neighborhood Master Plans, or workforce housing incentives.*

Policy NDC 1.3.7: *Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse, development, and redevelopment that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area continue to evolve into a traditional, self-sufficient downtown.*

Policy NDC 2.2.7: *Within the Commercial Core, locate and design off-street parking areas in a manner that does not detract from the character by providing standards in the Land Development Regulations, such as locating parking to the side or rear of buildings, limiting size of lots, and landscaping and façade requirements. Large fields of parking between building facades and streets are generally not desirable.*

Housing Element
Policy HOU 3.2.1: *Allow a variety of housing types to reflect the needs of all household types, including both rental and ownership opportunities for single people, couples, families, seniors, persons with disabilities and multi-generational families.*

Policy HOU 5.1.1: *Encourage construction of mixed-income housing developments to avoid a concentration of affordable units in one development or neighborhood and to provide a full range of residential unit types and prices.*

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element and the Housing Element. The site fronts SE 5th Avenue, designated as primary Street, and pursuant to LDR Section 4.4.13(B)(1), the Primary Streets "…are *intended to develop over time as*

superior pedestrian environments and, as such, are held to higher standards in the regulations regarding building placement, building frontage, and the location of parking and service uses." The proposal intends to enhance the pedestrian environment by meeting the requirements associated with Primary Streets. The proposal includes stoop frontages with an active streetscape that is anticipated to encourage pedestrian activity along the primary street. The residential component expands the housing supply, although not the mixed unit type and sizes as encouraged by the Comprehensive Plan. However, the project supports Delray Beach's socio-economically diverse population by contributing new residential units in a vital area of the city.

(D) Compliance with the LDR *Whenever an item is identified elsewhere in the LDR, it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

Standard/Regulation: Central Core Sub-district	**Review**	
Building Height Table 4.4.13(B)	**Maximum:** 4 stories and 54 feet **Proposed:** 3 stories and 34 feet (measured to finished roof) 38 feet, height including parapet	
Ground Story Height, Residential Buildings: 4.4.13(D)(1)(a)6.	**Required:** 10 feet min., floor to ceiling **Proposed**: 10 feet, floor to ceiling	
Stories above Ground Story: 4.4.13(D)(1)(a)7.	**Required:** 9 feet min., floor to ceiling **Proposed:** 9 feet, floor to ceiling	
Elevator Overruns and Stairways: 4.4.13(D)(1)(a)12.	**Required:** 10 feet max. above overall building height, not more than 60 feet **Proposed:** 6 feet above finished roof, 40 feet total height	
Setback Table 4.4.13(C)	**Required:** **Front:** 10 feet min/15 feet max **Side:** 0 or 5 feet **Rear:** 10 feet	**Proposed:** **Front:** 10 feet **Side:** 5 feet **Rear:** 23 feet and 1 inch
Density Table 4.4.13(C)	**Maximum:** 30 du/ac (10 units)	**Proposed:** 15 du/ac (5 units)
Streetscape Standards 4.4.13(E)(2)	The project complies with the minimum requirements of the CBD streetscape standards.	
Minimum Streetscape Width	**Required:** 15 feet **Curb Zone:** 4 feet (min.) **Ped. Clear Zone:** 6 feet (min.) **Front Setback Area:** 5 feet (min)	**Provided:** 24 feet (total) **Curb Zone:** 6 feet and 5 inches **Ped. Clear Zone:** 6 feet* **Front Setback Area:** approx. 9 -11 feet *Sidewalk Easement and Maintenance Agreement Required for Pedestrian Clear Zone within front setback.
Remaining Front Setback Area 4.4.13(E)(2)(a)3.	**Required:** Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed. **Proposed:** The remaining front setback area contains the stoop steps to the units, an allowable encroachment that does not impact the required curb and pedestrian clear zone. Planters are also proposed between the units.	
Frontage Type 4.4.13(E)(4)	**Required:** *A stoop is a small staircase leading to the entrance of a building that may be covered. The elevation of the stoop is necessary to ensure privacy for residential uses in the ground story of buildings. Stoops should provide sufficient space for a person to comfortably pause before entering or after exiting the building.*	

	Proposed: The proposed stoops meet all frontage regulations; the stoop set back approximately five feet from the property line. The stoop elevates the finish floor of the units approximately 2 feet above the sidewalk.
Architectural Elevations 4.4.13(F)	A review of the CBD architectural requirements is provided under the **Architectural Elevations** section of the report.
Civic Open Space LDR Section 4.4.13(G)	Not required, based on size of parcel.

Other Requirements

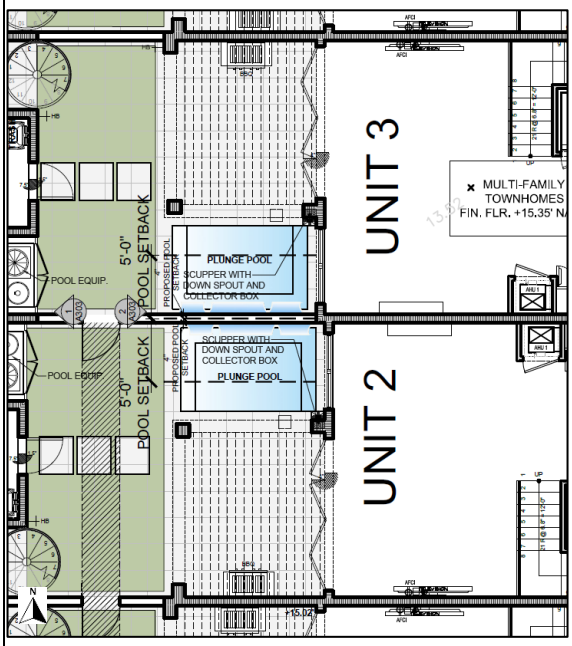
Standard/Regulation	Review
Lighting (Photometric Plan) 4.6.8(A)(3), Illumination Standards: Table 2	The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, and lighting at the property line adjacent a parcel or public right-of-way.
Off-Street Parking 4.4.13	**Required:** 3-Bed Units: 1.75 parking space/2BR or more unit = 9 parking spaces Guest: 0.50 parking space/unit = 3 parking spaces Total: 12 parking spaces **Proposed:** 20 total parking spaces; 10 garage parking with one alternative fuel parking space in each garage, 10 driveway parking
Bicycle Parking Table 4.6.9(C)-1	**Required:** Single-family attached homes = not required **Proposed:** N/A

The proposed site plan generally meets all applicable requirements of the LDR aside from the identified waiver and internal adjustment. The site is configured in a manner that orients the buildings towards SE 5th Avenue with stoop frontages, and vehicular access from the rear alley. Furthermore, parking is located to the rear of the site, which helps alleviate the negative visual impact that results from an abundance of off-street parking placed between the buildings and public realm. The site configuration proposes a well-landscaped streetscape along the Primary Street, SE 5th Avenue, that leads to the unit's stoops.

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.

Internal Adjustment Analysis

LDR Section 4.6.15(G)(3), Townhouse developments, *Swimming pools in townhouse developments may have a five-foot side interior setback.*



The Internal Adjustment request is subject to the following findings.

LDR Section 2.4.11(C)(5), Internal Adjustment: Findings
Concurrent with granting relief from a development standard or regulation, the granting body must find that such relief does not diminish the practical application of the affected regulation (requirement) and that by granting such relief a superior development product will result.

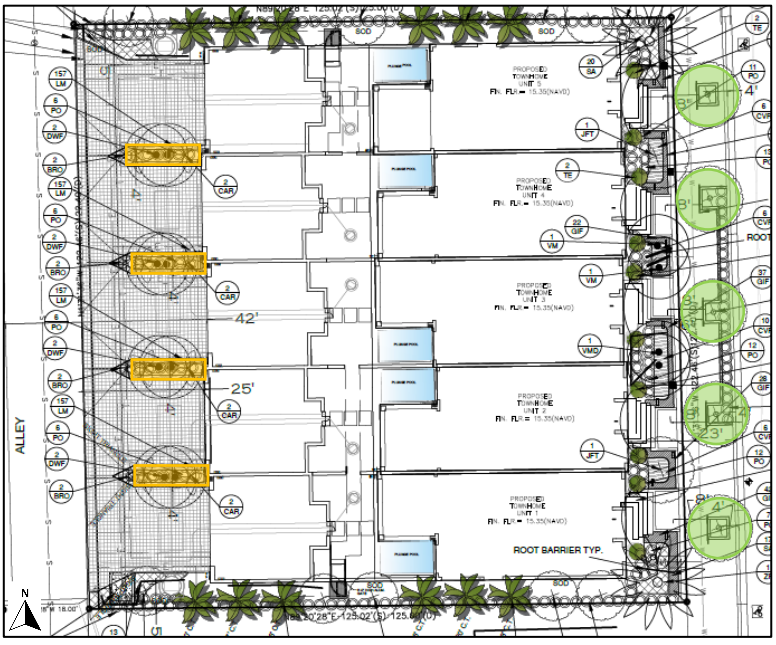
Each of the five proposed townhomes includes a swimming pool amenity between the unit and the detached garage. **LDR Section 4.6.15(G)(3)** requires a minimum five-foot side interior setback for swimming pools in townhouse developments. While the swimming pools for unit 1 and unit 5 comply with the minimum required side interior setbacks, the swimming pools for unit 2, unit 3, and unit 4 encroach into the side interior setbacks. The applicant is requesting an Internal Adjustment to allow a reduced side interior swimming pool setback of four inches in lieu of the required five feet for the swimming pools on unit 2, unit 3, and unit 4 (pictured at left).

Generally, the intent of the five-foot interior pool setback is based on safety precautions to ensure there is a clear and accessible means of ingress/egress from the pool area on all sides in the event an emergency were to occur. The swimming pools on unit 2, unit 3, and unit 4 have over five feet of clearance on two of the four sides. The applicant asserts that the narrow lot dimensions greatly constrain the feasible locations for the swimming pools. As currently configured, if the swimming pools were shifted more central to the lots to meet the minimum interior side setbacks, they would obstruct the pathway leading to the detached garages.

The Board should determine whether allowing a four-inch side interior setback for the swimming pools on unit 2, unit 3, and unit 4 would contribute to the overall quality and functionality of the proposed development.

Review and Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings
Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.



A technical review of this site plan has been performed and a determination has been made that the project substantially complies with all applicable landscape regulations. The proposal includes the removal of five palms, which meet the mitigation standards pursuant to **LDR Section 4.6.19**, either through a palm for palm replacementor based on total height.

The Cathedral Oaks (light green) will satisfy the street tree requirement along SE 5th Avenue and will be included in the required landscape maintaince agreement. The remaining landscape incorporates a mix of Orange Geiger and Sunshine Palms along the perimeter, a mix of Sunshine Palms, Japanese Fern Tree, and Zahidi Date Palms between the stoop entries facing SE 5th Avenue, and Foxtail Palms between the driveways at the rear of the property.

The project also includes a waiver request from the requirements of **LDR Section 4.6.16(H)(3)(d)**, seeking relief to reduce the landscape strips between each driveway from the required 5 feet to 4 feet and 4 inches (shown in yellow and further described below).

Waiver Analysis

LDR Section 4.6.16(H)(3)(d), *A landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet at the time of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width that is free of any vehicular encroachment, including car overhang. Duplexes may be permitted to reduce the perimeter planting strip to two and one-half feet in width in cases where lot frontage is less than 55 feet. In addition, one tree shall be provided for every 30 linear feet of such landscaped barrier or fraction thereof.*

The Waiver request is subject to the following findings.

LDR Section 2.4.11(B)(5), Waiver: Findings

Prior to granting a waiver, the granting body shall make findings that granting of a waiver:

a. *Shall not adversely affect the neighboring area;*
b. *Shall not significantly diminish the provision of public facilities;*
c. *Shall not create an unsafe situation; and*
d. *Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.*
e. *Within the CBD, the following additional findings apply:*
    1. *The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.*
    2. *The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.*
    3. *The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/ pedestrian master plan.*
    4. *The waiver shall not reduce the quality of civic open spaces provided under this code.*

The proposal includes five driveways leading to the private detached garages. Landscape strips are required between the driveways, with a minimum width of five feet, featuring barrier plantings between three to six feet in height and one tree. The proposed landscape strips are four feet and four inches wide, and include two Foxtail Palms, ranging from 12 to 16 feet in height, six Fern Podocarpus shrubs, four feet in height, and two Crinum Lilies as accent plants.

The proposed landscaping plan, while incorporating a reduced strip width of four feet and four inches, effectively aligns with the intent of the LDR by utilizing a strategic plant palette that enhances both functionality and aesthetics. The inclusion of Foxtail Palms, Fern Podocarpus shrubs, and Crinum Lilies as accent plants, provides the required barrier planting and visual screening between the driveways, maintaining the integrity of the landscape design. Despite the deviation from the prescribed five-foot width, the proposed landscape strips contribute to visual buffering, softening the transition between the private driveways and maintaining privacy without compromising safety or access.

The design adheres to the LDR's requirements for compatibility with surrounding properties and mitigates potential adverse effects through thoughtful plant selection and spatial organization, balancing the constraints of the lot with the functional needs of the site. The location of the landscape strips at the rear of the property ensures that the pedestrian realm along SE 5th Avenue remains unaffected, preserving the continuity of the streetscape and enhancing the overall pedestrian experience. As the site does not require civic open space due to its size, the proposed landscape configuration supports both the functional and aesthetic objectives of the LDR, while accommodating site-specific conditions. This approach demonstrates careful consideration of landscape standards, ensuring that the reduced width still achieves the intended visual, spatial, and functional outcomes.

Review and Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

1. *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*

2. *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

In consideration of the above, the proposed design reflects proper architectural concepts. A detailed review of the Masonry Modern style is provided within the CBD evaluation. The adjacent development to the south is constructed to four stories, while the majority of the neighboring structures range from one to two stories. The proposed three-story development offers an appropriate transition to the adjacent development to the north.

(B) Building and structure requirements.
The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. Pursuant to the Delray Beach CBD Architectural Design Guidelines, wood details are often used to soften the stark modern forms of the building mass and exterior finishes are typically stucco. Further, elements such as shading louvers, deep roof overhangs, vertically proportioned windows, and recessed exterior spaces also define the Masonry Modern architectural style.

The project effectively incorporates materials, treatment, and setbacks that distinguish the base from the middle and the top of the building. The base is emphasized with glass and slightly recessed stoop entrances, the middle is accentuated by smaller openings with an eyebrow that cantilevers over the base. The top is set back incorporating an open-air terrace with a parapet above the third floor to screen the rooftop terraces and mechanical equipment on the roof. The design features vertical articulations of each unit with the alternating use of the porcelain cladding meeting the height to width ratio standards inf **LDR Section 4.413(F)(2)(a).**

(E), Criteria for board action
The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. *The plan or the proposed structure, is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The proposed development aligns with the key principles of architectural integrity and urban design, embracing the Masonry Modern style as outlined in the Delray Beach CBD Architectural Guidelines. The design integrates strong vertical articulations and clean, geometric forms, creating a balanced composition that reflects the modernist emphasis on simplicity and functional elegance. The use of materials such as porcelain cladding and stucco, combined with deep roof overhangs and recessed terraces, creates a distinct base, middle, and top that enhance the building's visual depth and dynamic massing.

At the street level, the recessed stoop entries and glass frontage establish a strong connection with the pedestrian environment, contributing to an active streetscape. The vertical proportions and strategically placed shading louvers provide visual interest, while maintaining the building's clean, modern lines. The top floor's setback and open-air terrace introduce a rhythm that softens the mass, while the parapet screens rooftop mechanicals, preserving the aesthetic integrity of the overall structure.

In terms of urban context, the development provides a thoughtful transition between the neighboring one- and two-story structures to the north and the four-story building to the south, achieving a harmonious balance within the existing architectural fabric. The project's design enhances the sense of place within the streetscape and reinforces the high standards of design quality expected in this area, contributing positively to the value and aesthetic of the surrounding neighborhood.

LDR Section 4.4.13(F), Architectural Standards, *to ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.*

Standard/Regulation	Review
Façade Composition Tripartite Composition: Base Middle, Top 4.4.13(F)(2)	The development meets the intent of the building composition requirements. For example, there is strategic use of treatment, materials, and setbacks that differentiate the base from the middle and the top.
Appropriate Architectural Styles 4.4.13(F)(3)	**Style:** Masonry Modern with Stoop Frontage Type **Style Details Utilized:** The Masonry Modern style of architecture is defined by its rational load bearing construction technique, its system of punched openings and its limited ornament. Stucco is the prevalent building finish in the Masonry Modern style. Stone and wood details are used to soften the stark modern forms of the building mass. **Proposed:** The proposed development is considered Masonry Modern. The building design uses simple geometries and the concept of a solid mass with carved spaces. The structure finish is comprised of stucco and has wood-like accents to highlight and emphasizes the stoop entry on the ground floor and the cantilevered eyebrows.
Walls 4.4.13(F)(4)	**Required:** Maximum two primary material's appropriate to architectural style **Provided:** Smooth stucco and a light gray porcelain tile with wood-like tile as an accent element.
Openings 4.4.13(F)(5)	Transparency requirement has been met. Primary entrances are easily identified.
Roofs 4.4.13(F)(6)	Flat roof and rooftop equipment are screened by a four-foot parapet and is consistent with the overall architectural language
Parking Garages 4.4.13(F)(8)	There are no parking garages proposed with the subject development.
Reduction of Urban Heat Islands 4.4.13(F)(9)	The project's roof is to be energy star compliant, high reflectance and high emissivity
Green Building Practices 4.4.13(F)(10)	The regulations, at the time of application, required green building certification for developments containing more than 50,000 square feet. Since the application has been under review, Ordinance No. 30-22 has been adopted and requires that all new construction of 15,000 square feet or more (air-conditioned space) that submit for a building permit on or after November 1, 2023, must obtain a minimum level of certification from a green building certification entity. The subject building contains approximately 14,954 square feet under air, thereby not requiring a green building certification if the building permit is submitted on or after November 1, 2023. As the total square footage is close to the 15,000 square feet, note that any modifications made to the development that increases the total under air square footage to 15,000 square feet or greater will require the building to obtain green building certification

LDR Section 4.4.13(F)(3) Appropriate Architectural Styles, *the adopted "Delray Beach Central Business District Architectural Design Guidelines", as amended, identifies architectural styles as appropriate for downtown Delray Beach, based on historical precedent, climate, and building scale. Defining characteristics and character examples are provided for each of the styles as guidance.*

The Delray Beach Central Business District Architectural Design Guidelines provide defining characteristics for seven architectural styles deemed appropriate for downtown Delray Beach, based on historical precedent, climate, and building scale: Florida Vernacular, Anglo-Caribbean, Mediterranean Revival, Classical Tradition, Art Deco, Masonry Modern, and Main Street Vernacular. These styles are purposefully broad to allow architects a wide range of detailing and design options. The guidelines also provide general composition and storefront design direction.

LDR Section 4.4.13(F)(3)(e), Appropriate Architectural Styles
The use of Masonry Modern or Art Deco architectural styles requires City Commission approval, via recommendation by SPRAB or HBP, as applicable, City Commission approval is required prior to consideration of the site plan by SPRAB or HBP. Applicants shall provide an explanation, including graphics, demonstrating how the proposed building design implements the selected style.

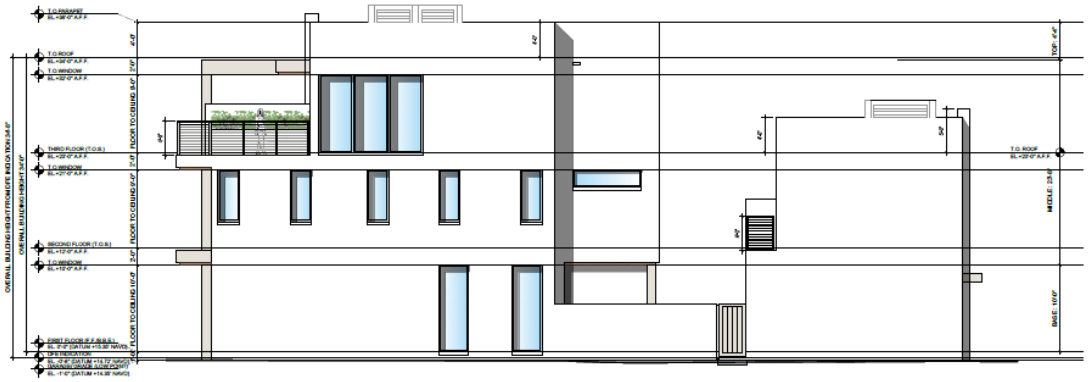
The proposed architectural style is Masonry Modern, which, although is one of the seven defined architectural styles, requires approval by the City Commission via recommendation from SPRAB. The SPRAB reviewed the proposed Masonry Modern architectural style within the CBD and recommended unanimous approval with a 6 to 0 vote. The SPRAB recommended placing more emphasis on the entrances facing SE 5th Avenue and incorporating features that enhance the Masonry Modern aesthetics on the side and rear facades. On August 19, 2024, the City Commission approved the use of Masonry Modern architectural style.

Delray Beach Central Business District Architectural Design Guidelines
Masonry Modern is defined by its rational load bearing construction technique, its system of punched openings (versus large expansive walls of windows) and its limited ornament. Stucco is the prevalent building finish in the Masonry Modern style. Stone and wood details are used to soften the stark moderns forms of the building mass. In Florida, Masonry Modern architecture refers to a global building style adapted to the environmental context of South Florida. It is an architectural language noteworthy for its rationally expressed structural system and its minimal use of building ornamentation. Pure geometric forms are emphasized in the overall volumetric layout.

The proposed project adheres to the key elements of Masonry Modern design, embracing clean surfaces, balanced vertical and horizontal forms, and functionally placed openings. The architectural palette consists primarily of Sherwin Williams Pure White stucco for the walls, accented by wood on the cantilevered overhangs and porcelain wall cladding strategically placed on Units 2 and 4. This combination of materials emphasizes the rational and minimalist qualities of the style, with the Pure White stucco providing a clean, uninterrupted canvas for the architectural forms. The porcelain cladding on the front elevations of Units 2 and 4 reinforces the geometric purity of Masonry Modern design, offering a subtle contrast to the white stucco and adding texture and depth without overwhelming the simplicity of the façade.

Wood detailing on the cantilevered overhangs softens the modernist lines, introducing a tactile warmth that complements the building's structural clarity. The reserved white accents on columns and walls emphasize the verticality of the design, enhancing the interplay between solid surfaces and strategically placed openings. These openings, consistent with Masonry Modern principles, are well-proportioned, contributing to the building's overall balance. Horizontal terraces and cantilevered eyebrows further break up the façade, adding architectural interest and shading while maintaining the design's clean, modern aesthetic. The overall result is a design that integrates the core elements of the Masonry Modern style, balancing form and function while remaining contextually appropriate for the South Florida environment.

1 FRONT ELEVATION (EAST)



2 RIGHT SIDE ELEVATION (NORTH)

3 REAR ELEVATION (WEST)

Optional Board Motions

A. Move **approval** of the Level 2 (2024-056) Site Plan, Architectural Elevations and Landscape Plan with a landscape waiver and an internal adjustment to the side interior swimming pool setback, to construct a five-unit townhouse development located at **142 and 152 SE 5th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

B. Move **approval, as amended**, of the Level 2 (2024-056) Site Plan, Architectural Elevations and Landscape Plan with a landscape waiver and an internal adjustment to the side interior swimming pool setback, to construct a five-unit townhouse development located at **142 and 152 SE 5th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

C. Move **denial** of the Level 2 (2024-056) Site Plan, Architectural Elevations and Landscape Plan with a landscape waiver and an internal adjustment to the side interior swimming pool setback, to construct a five-unit townhouse development located at **142 and 152 SE 5th Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.

D. Move to **continue with direction.**

Technical Notes
Compliance is required prior to Site Plan Certification: 1. Complete a sidewalk easement agreement, in a form acceptable to the City Attorney, for the portion of the pedestrian clear zone located within the front setback. 2. Complete a landscape maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any tree grates, irrigation, and landscaping installed by the property owner to meet the requirements of LDR Section 4.4.13. 3. Complete and record a plat to establish five fee-simple lots for the five-unit townhouse development. Note that the plat cannot be recorded until *all* existing buildings on the property have been demolished and the demolition permit is closed out. 4. Provide the specifications and square footage for the proposed artificial turf between the primary dwelling unit and the detached garage to ensure compliance with LDR Section 4.6.16(E)(12), Artificial Turf. Compliance is required prior to building permit issuance: 1. Show and label all existing underground utilities pipelines and components on the water and sewer plan sheets even if they are shown and labeled on the demo plan. Existing items such as WM, SS gravity mains, RC WM, Raw WM, service lines, laterals, MHs, meters, cleanouts. Also, make sure to label them accordingly indication size, pipe materials (PVC, DI, VCP, etc.) and type (WM, RC, etc.). Indicate what will be proposed to all existing items. 2. Show existing meters sizes, account number, and serial number on the water and sewer plan sheets. Indicate what will be proposed to all existing items. 3. Demonstrate that irrigation plans are consistent with the water and sewer plans in terms of meter and water source for irrigation sprinkler system. 4. Demo does not show existing sewer connections and if they are to remain/ be removed. Clearly label the water meter, RP and PVB at the solenoid valve, with size and type.

FIFTH AVENUE TOWNHOMES

ABBREVIATIONS

ABV.	ABOVE	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
ACOUS.	ACOUSTICAL	HDWD.	HARDWOOD	RWD.	REDWOOD
ADJ.	ADJUSTABLE	HDWE.	HARDWARE	R.W.L.	RAIN WATER LEADER
AL.	ALUMINUM	HGT.	HEIGHT	S.C.	SOLID CORE
APPROX.	APPROXIMATE	HORIZ.	HORIZONTAL	SCHED.	SCHEDULE
BD.	BOARD	I.D.	INSIDE DIAMETER	SHT.	SHEET
BLDG.	BUILDING	INCAND.	INCANDESCENT	SIM.	SIMILAR
BLK.	BLOCK	INSUL.	INSULATION	SQ.	SQUARE
BOT.	BOTTOM	INT.	INTERIOR	SST.	STAINLESS STEEL
CAB.	CABINET	JT.	JOINT	STD.	STANDARD
CER.	CERAMIC	LAM.	LAMINATE	STL.	STEEL
C.I.	CAST IRON	LAV.	LAVATORY	STOR.	STORAGE
CLR.	CLEAR	LOC.	LOCATION	STRUCT.	STRUCTURAL
COL.	COLUMN	MAX.	MAXIMUM	SUSP.	SUSPENDED
CONC.	CONCRETE	MECH.	MECHANICAL	SYM.	SYMMETRICAL
CONN.	CONNECTION	MET.	METAL	T.C.	TOP OF CURB
CONT.	CONTINUOUS	MFR.	MANUFACTURER	TEL.	TELEPHONE
CTSK.	COUNTERSUNK	MIN.	MINIMUM	T&G	TONGUE AND GROOVE
DECOR.	DECORATIVE	MISC.	MISCELLANEOUS	THK.	THICK
DET.	DETAIL	M.O.	MASONRY OPENING	T.O.C.	TOP OF CHIMNEY
D.F. DIA.	DOUGLAS FIR	MTD.	MOUNTED	T.O.FR.	TOP OF FRAMING
DIM.	DIAMETER	MUL.	MULLION	T.O.L.	TOP OF LEDGER
DN.	DIMENSION	N.I.C.	NOT IN CONTRACT	T.O.P.	TOP OF PLATE
D.S.	DOWN	NO.	NUMBER	T.O.PL.	TOP OF PLATE
DWG.	DOWN SPOUT	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
EA.	DRAWING	O.A.	OVERALL	U.O.N.	UNLESS OTHERWISE
EL.	EACH	OBS.	OBSCURE	VERT.	NOTED VERTICAL
ELEV.	ELEVATION	O.C.	ON CENTER	VEST.	VESTIBULE
ELEC.	ELEVATOR	O.D.	OUTSIDE DIAMETER	V.G.D.F.	VERTICAL GRAIN
EQ.	ELECTRICAL	OFF.	OFFICE	W/	WITH
EXH.	EQUAL	OPNG.	OPENING	W/O	WITHOUT
EXP.	EXHAUST	OPP.	OPPOSITE	W.C.	WATER CLOSET
EXT.	EXPANSION	PL.	PLATE	WD.	WOOD
EXIST.	EXTERIOR	PLAS.	PLASTER	WDW.	WINDOW
F.F.	EXISTING	PLYWD.	PLYWOOD	W.H.	WATER HEATER
FLASH.	FINISH FLOOR	PR.	PAIR	WSCT.	WAINSCOT
FLUOR.	FLASHING	PRCST.	PRECAST	WT.	WEIGHT
FT.	FLUORESCENT	P.T.D.F.	PRESSURE	SYMB.	SYMBOLS
FTG.	FOOT/FEET	PTN.	TREATED	&	AND
GA.	FOOTING	Q.T.	PARTITION	°	ANGLE
GALV.	GAUGE	RAD.	QUARRY TILE	@	AT
GL.	GALVANIZED	REINF.	RADIUS	℄	CENTER LINE
GR.	GLASS	REQ.	REINFORCE	Ø	DIAMETER OR ROUND
GYP.	GRADE	RM.	REQUIRED	#	POUND OR NUMBER
H.B.	GYPSUM		ROOM		
	HOSE BIBB				

PROJECT TEAM

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DESIGN PARAMETERS

BUILDING CLASSIFICATION:
THREE STORY MULTI-FAMILY RESIDENCE
FBC 2023 CHAPTER 3, GROUP R-3 OCCUPANCY
TABLE 504.4 CONSTRUCTION TYPE V-B

CODE EDITIONS:
Florida Building Code (FBC) 2023
National Electrical Code (NEC) 2020

WIND LOADS AS PER FBC 2020 EDITION, CODE 6th EDITION AND ANSI/ASCE 7-16

THE FOLLOWING DESIGN PARAMETERS ARE REPEATED FROM THE STRUCTURAL DRAWINGS (SEE STRUCTURAL PLANS FOR ADDITIONAL STRUCTURAL NOTES/DESIGN PARAMETERS)

CODE EDITION: FLORIDA BUILDING CODE 2023, CODE 6th EDITION

BUILDING DESIGNED AS:	ENCLOSED, RIGID
WIND EXPOSURE CLASSIFICATION:	C
WIND SPEED DESIGN:	170 mph
INTERNAL PRESSURE COEFFICIENT	+-0.18
Kd	0.85
MEAN ROOF HEIGHT	SEE ELEVATION
BUILDING CATAGORY	II
ROOF LIVE LOAD:	30 PSF
TOP CHORD DEAD LOAD:	15 PSF
BOT CHORD DEAD LOAD:	10 PSF
FLOOR LIVE LOAD:	40 PSF
FLOOR DEAD LOAD : SUPERIMPOSED	25 PSF
MIN. SOIL BEARING PRESSURE:	2,500 PSF
SHUTTERS:	NO
IMPACT RESISTANT ASSEMBLY:	YES
IS A CONT. LOAD PATH PROVIDED	YES
COMPONENT & CLADDING	YES

RESIDENTIAL CODE INFORMATION

ALL RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH SEVEN VOLUMES OF THE FLORIDA BUILDING CODE 2023 EDITION. THE CODE IS COMPILED WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY REFERENCE. THE NATIONAL ELECTRICAL CODE IS REFERENCED STANDARD NFPA-70.

RESIDENTIAL POOL SAFETY ACT - CHAPTER 45 OF THE 2023 FBC RESIDENTIAL

1. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION R4501.17.1.9.
2. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL ARE TO BE SELF CLOSING AND SELF LATCHING. LATCH MECHANISM SHALL BE MOUNTED AT 54" A.F.F. (MIN).
3. THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

DRAWING INDEX

CONSTRUCTION NOTES, SPECIFICATIONS AND GENERAL REQUIREMENTS

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19 EDITION). (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC ASD/15th EDITION. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13/TMS 402-16). BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (ANSI/AF&PA NDS-2018).

B. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS

JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS. AND HE SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. DO NOT SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C" (NOT IN CONTRACT)

CLEAN UP / REPAIR:

A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA:

A. PER 2023 FBC-RESIDENTIAL, TABLE R301.2(1), 'SUBJECT TO DAMAGE' FROM WEATHERING IS CLASSIFIED AS **'NEGLIGIBLE'.** TERMITE DAMAGE IS CLASSIFIED AS **'VERY HEAVY'**. SEE ADDITIONAL NOTES UNDER EARTHWORK.

EARTH WORK:

A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.

B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. FINAL WRITTEN VERIFICATION SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

C. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES.

D. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FEET BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQUARE FEET OF AREA. DENSITY TESTS ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.

E. FILL SHALL BE CLEAN, WELL GRADED SAND, CLASSIFICATION SW PER ASTM D2487-69 (75) WITH LESS THAN 12% PASSING 200 SIEVE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED AS ABOVE.

F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FL BUILDING CODE 2023.

CONCRETE:

A. GENERAL: ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI. 318-19.

B. PORTLAND CEMENT: ASTM C-150 TYPES I OR II. LOW ALKALI, SILL TESTED AND CERTIFIED. USE TYPE V CEMENT FOR SOIL CONTAINING SULFATE CONCENTRATIONS OF MORE THAN 0.2 PERCENT.

C. WATER: FROM DOMESTIC SOURCES, CLEAN, POTABLE, AND FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIALS.

D. AGGREGATES: ASTM C-33 FOR SLABS ON GRADE.

E. SAND: ASTM C-33 FOR SLABS ON GRADE.

F. FOUNDATIONS: INSTALL AS INCLUDED IN THESE DWG'S. OR AS AMENDED BY THE FINAL SOILS REPORT.

G. VAPOR BARRIER: BENEATH SLABS TO BE 6 MIL. POLYETHYLENE.

H. CONCRETE SHALL BE READY MIX & HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI FOR FOOTINGS & SLABS ON GRADE & 3,000 PSI FOR BEAMS, COLUMNS AT 28 DAYS. ALL CONCRETE WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-19) THE ACI DETAILING MANUAL (ACI 315/LATEST EDITION), AND THE SPECS. FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/LATEST EDITION). CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE LAP ALL WWF A MINIMUM OF 6 INCHES U.N.O. ALL REINFORCING STEEL SHALL BE MANUF. FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60. LAP ALL BARS MINIMUM 48 DIA. U.N.O. ON DRAWINGS. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS U.N.O.

REINFORCING STEEL:

A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT WHERE MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL.
* SLAB ON VAPOR BARRIER 2" (ELEVATED 1 ½")
* BEAMS AND COLUMNS 1 1/2 "
* FORMED CONCRETE BELOW GRADE 2"
* UNFORMED BELOW GRADE 3"
* FOOTING 3"CLEAR AT BOTTOM & SIDES 2"CLEAR OF TOP
* WALLS 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
* SLABS 3/4" CLEAR AT TOP (INTERIOR), 1 ½" CLEAR AT TOP (EXTERIOR)
* BEAMS 1 1/2" CLEAR TO STIRRUPS
* COLUMNS 1 1/2" CLEAR TO TIES

C. REINFORCING MESH: ON-GRADE BUILDING SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE FABRIC, SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.

D. GENERAL BEAM NOTES:
1) SCHEDULE HOOPS OR STIRRUPS SHALL BE PLACED AT EACH END OF BEAM U.N.O.
2) BUNDLE ALL STR. BEAM TOP BARS IN PAIRS OVER SUPPORT W/ TOP BARS FROM ADJ. BEAMS.
3) ALL TIE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJ. STR. BEAM PER STANDARD ASTM BENDING DIAGRAM.
4) TIE BEAM DEPTHS ARE MIN. AND MAY BE INCREASED (8" MAX.) TO FIT BLOCK WORK AND WINDOW AND DOOR HEADS.
5) DROP BOTTOM OF TIE BEAMS, AS REQUIRED, AT WINDOW & DOOR HEADS (28" MAX. BEAM DEPTH) & ADD 2 #5 BOTTOM, IF DROP EXCEEDS 8" U.N.O. ON PLANS.
6) ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MIN. INTO SUPPORT U.N.O.

TRUSSES:

A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING OF FOUNDATION.

B. WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. TRUSS FABRICATOR TO PROVIDE PRE-FABRICATED HANGERS AS REQUIRED.

C. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS.

D. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER TPI 185; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHORD TRUSSES PER PCT 80; HANDLING, INSTALLATION, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BWT 76, H/B-91

CONCRETE UNIT MASONRY:

A. THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH ACI 530-13/ASCE 5-13/TMS 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

B. REINFORCING STEEL: LAP REINFORCING NOT LESS THAN 48 BAR DIAMETERS AT SPLICE IN WALL REINFORCING. LAP HORIZONTAL REINFORCING A MINIMUM OF 18" AROUND CORNERS. HORIZONTAL BARS SHALL BE TIED TO VERTICAL BARS AS THE WORK PROGRESSES AND SHALL BE EMBEDDED IN GROUT. PLACING OF HORIZONTAL REINFORCING IN JOINTS OR MORTAR WILL NOT BE PERMITTED EXCEPT FOR WIRE JOINT REINFORCING.

C. FOUNDATION DOWELS: SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL TO 6 VERTICAL TO ALIGN WITH BLOCK CORE.

D. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.

E. MASONRY UNITS SHALL BE ASTM C-90 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND U.N.O. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60.

F. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. NO TESTING FOR MORTAR STRENGTH IS REQUIRED FOR THIS PROJECT.

G. GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM SPECIFICATION C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.

H. PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE ONLY) AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS.

I. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS MUST BE INSPECTED BY A QUALIFIED ENGINEER JUST PRIOR TO POURING OF THE FOUNDATION, 1ST & 2ND FLOOR TIE BEAMS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

STRUCTURAL STEEL:

A. WORKMANSHIP: WORK SHALL COMPLY WITH A.I.S.C. LRFD 15TH EDITION, UNLESS MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A36. ALL STEEL TUBING & PIPE SHALL CONFORM TO ASTM SPECIFICATION A-500 GRADE B (FY=46KSI). ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" (ASW D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. ALL STEEL WELDING RODS SHALL BE E70XX ELECTRODES.

ROUGH CARPENTRY:

A. ALL BEAMS INSTALLED WITH CROWN UP UNLESS OTHERWISE NOTED. CANTILEVERED BEAMS SHALL BE INSTALLED WITH CROWN DOWN.

B. 3" MINIMUM BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.

C. PROVIDE 4"X4" POSTS OR (2) 2"X4" STUDS MINIMUM UNDER ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.

D. ALL SUB-SILLS, OVER 8'-0" IN LENGTH SHALL BE DOUBLE 2"X4"s.

E. DOUBLE 2"X4"s, SPIKED TOGETHER w/ 16d'S @ 5" O/C STAGGERED MAY BE USED IN LIEU OF 4"X4" POSTS WHERE CONTAINED WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.

F. ALL LUMBER IN DIRECT CONTACT WITH STEEL OR CONCRETE SHALL BE PRESSURE TREATED, HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.

G. BUILDING PAPER: FEDERAL SPECIFICATIONS UU-B-790. INSTALL UNDER ROOFING AND TRIM AND CAREFULLY APPLY SO AS TO FORM A WATERTIGHT MEMBRANE. EACH COURSE OF PAPER SHALL OVERLAP THE COURSE BENEATH IT 6" MINIMUM. WHERE PAPER MEETS ANY OPENING, THE PAPER SHALL BE CAREFULLY LAPPED OVER THE FRAME TO PREVENT THE PASSAGE OF WATER BEHIND THE FRAME. INSTALL SILKA KRAFT PAPER AT EXTERIOR DOORS AND WINDOW FRAMES.

H. ALL BEARING PARTITIONS SHALL BE SECURED TO ADJACENT PARTITIONS, AND SHALL HAVE AT LEAST A DOUBLE STUD POST AT ALL ENDS, CORNERS AND EACH SIDE OF ALL WINDOW AND DOOR OPENINGS.

I. ROOF SHEATHING: 19/32" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR GLUE, C-D GRADE, 4 PLY, INDES 24/0, APA GRADE TRADEMARKED, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS

J. HANGERS, FRAMING ANCHORS AND FASTENERS: STAMPED AMD FABRICATED STEEL OF THE TYPE INDICATED, NAILS TO BE THOSE FURNISHED OR RECOMMENDED BY MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR, ALL HANGERS AND ANCHORS SHALL BE GALVANIZED.

K. DRAFT-STOPPING: IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1,000 S/F. IN ATTICS FOR AREAS OVER 3,000 S/F

L. FIRE-BLOCKING: INSTALL IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, .SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOTTOM) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.

SHOP DRAWINGS:

A. THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS, ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK.

B. CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

C. WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

SECTION AND DETAILS

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.

PLUMBING FIXTURES:

A. ALL SHOWER HEADS SHALL HAVE ANTI-SCALDING PROTECTION

TIMBER

A. STRUCTURAL TIMBER TO BE SOUTHERN PINE #2 (MIN.) STRESS GRADE LUMBER OR APPROVED EQUAL. THE MIN. ALLOWANCE PROPERTIES ARE AS FOLLOWS:
* FB = 1,150 PSI FV = 90 PSI E = 1,600,000 PSI AND PRESSURE TREATED FOR USE AGAINST CONCRETE AND MASONRY.

B. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED BELOW:
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, TIMBER CONSTRUCTION MANUAL; NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION; AMERICAN PLYWOOD ASSOCIATION, PLYWOOD DESIGN SPECIFICATION; AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS; NATIONAL LUMBER MANUFACTURERS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.

C. ALL TIMBER CONNECTIONS ARE TO BE MADE USING PREFABRICATED CONNECTORS. TOE NAILING WILL NOT BE PERMITTED. SUBMIT MANUFACTURER'S DATE FOR APPROVAL. FASTENERS TO BE AS MANUFACTURED BY USP OR SIMPSON.

D. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY US PROCEDURE PS 20-94.

E. PLYWOOD: PRODUCT STANDARD PS-1-73 AND RULES FOR DFPA GRADE TRADEMARKS OF AMERICAN PLYWOOD ASSOCIATION.

F. MARKING: WOOD AND LUMBER SHALL BE MARKED WITH IT'S GRADE AND PLYWOOD WITH IT'S GRADE TRADEMARK IN ACCORDANCE WITH THE REFERENCED STANDARDS. A PIECE WITH DEFECTS SHALL NOT BE USED REGARDLESS OF GRADING.

G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP I STANDARD (C-D) EXT-DFPA, (C-C) EXT-DFPA, STRUCTURAL I (C-D) EXT-DFPA OR STRUCTURAL I (C-C) EXT-DFPA.

DOORS AND WINDOWS:

A. DOOR OPENINGS BETWEEN THE GARAGE AND DWELLING TO BE SOLID CORE NOT LESS THAN 1⅜" THICK OR BE IN COMPLIANCE WITH FBC 716.5.3 WITH A FIRE PROTECTION RATING NOT LESS THAN 20 MINUTES. DOORS SHALL BE SELF CLOSING AND SELF LATCHING.

B. DOORS CONTAINING GLAZING MATERIAL NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I AND SHALL BE CAPABLE OF WITHSTANDING A 150 FOOT-POUND IMPACT TEST.

C. DOORS , BATH & SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II AND SHALL BE CAPABLE OF WITHSTANDING A 400 FOOT-POUND IMPACT TEST

D. THE GLAZING IN SLIDING AND SWINGING DOORS AND IN SHOWER OR TUB ENCLOSURES, INCLUDING ANY GLAZING WITHIN 60 INCHES OF THE FINISHED FLOOR IN WALLS SURROUNDING TUB & SHOWER ENCLOSURES SHALL BE SAFETY GLAZED FOR CATEGORY II GLAZING PRODUCTS.

E. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60" ABOVE THE FLOOR OF THE TUB OR SHOWER.

F. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS 20" WIDE, 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR (MAX). PER 2020 FBC-RESIDENTIAL, SECTION R310.

G. WINDOW UNITS SHALL DISP. LABELS SHOWING COMPLIANCE WITH THE FL ENERGY CODE.

H. ALL NEW SINGLE-FAMILY HOUSES, DUPLEXES, TRI-PLEXES, CONDOMINIUMS AND TOWNHOUSES SHALL PROVIDE AT LEAST ONE BATHROOM, LOCATED WITH MAX. POSSIBLE PRIVACY, WHERE BATHROOMS ARE PROVIDED ON HABITABLE GRADE LEVELS, WITH A DOOR THAT HAS A MIN. 29" CLEAR OPENING. HOWEVER, IF ONLY A TOILET ROOM IS PROVIDED AR GRADE LEVEL, SUCH TOILET ROOMS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 29 INCHES. PER 2020 FBC-RESIDENTIAL, SECTION R320.1.1.

THERMAL MOISTURE PROTECTION:

A. INSULATION: INSULATION SHALL BE PROVIDED AND INSTALLED PER FBC 2023 ENERGY CONSERVATION CODE. PRESCRIPTIVE REQUIREMENTS INCLUDE:
MINIMUM OF R-30 CLG INSUL IN CLIMATE ZONE 1, R-38 CLG INSUL IN CLIMATE ZONE 2.
MASONRY WALLS A MINIMUM OF R-4 IN CLIMATE ZONE 1, R-6 IN CLIMATE ZONE 2.
FRAME WALLS A MINIMUM OF R-13 IN BOTH CLIMATE ZONE 1 & 2.
VERIFY REQUIRED INSULATION VALUES TO BE INSTALLED AGAINST FBC ENERGY CONSERVATION ENERGY CALCULATIONS AS SUBMITTED.

B. ROOF / TILE: TILE SHALL BE AS SHOWN ON DRAWINGS AND AS SELECTED BY ARCHITECT/DESIGNER. INSTALLATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND FLORIDA BUILDING CODE 2023. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL FURNISH A ROOFERS WRITTEN GUARANTEE COVERING WORKMANSHIP. MATERIAL MANUFACTURERS GUARANTEE FOR REPLACEMENT OF THE SAME AT NO COST TO THE OWNER WITHIN WARRANTEE PERIOD.

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
△	DD FLOOR PLAN	NCZ	09.25.23
△	DD FRONT ELEVATION	NCZ	09.27.23
△	SPRAB SET	NCZ	11.28.23
△	SPRAB COMMENTS	NCZ	02.28.24
△	SPRAB COMMENTS	NCZ	05.02.24
△	SPRAB COMMENTS	GL	07.12.24
△	SPRAB COMMENTS	GL	08.15.24

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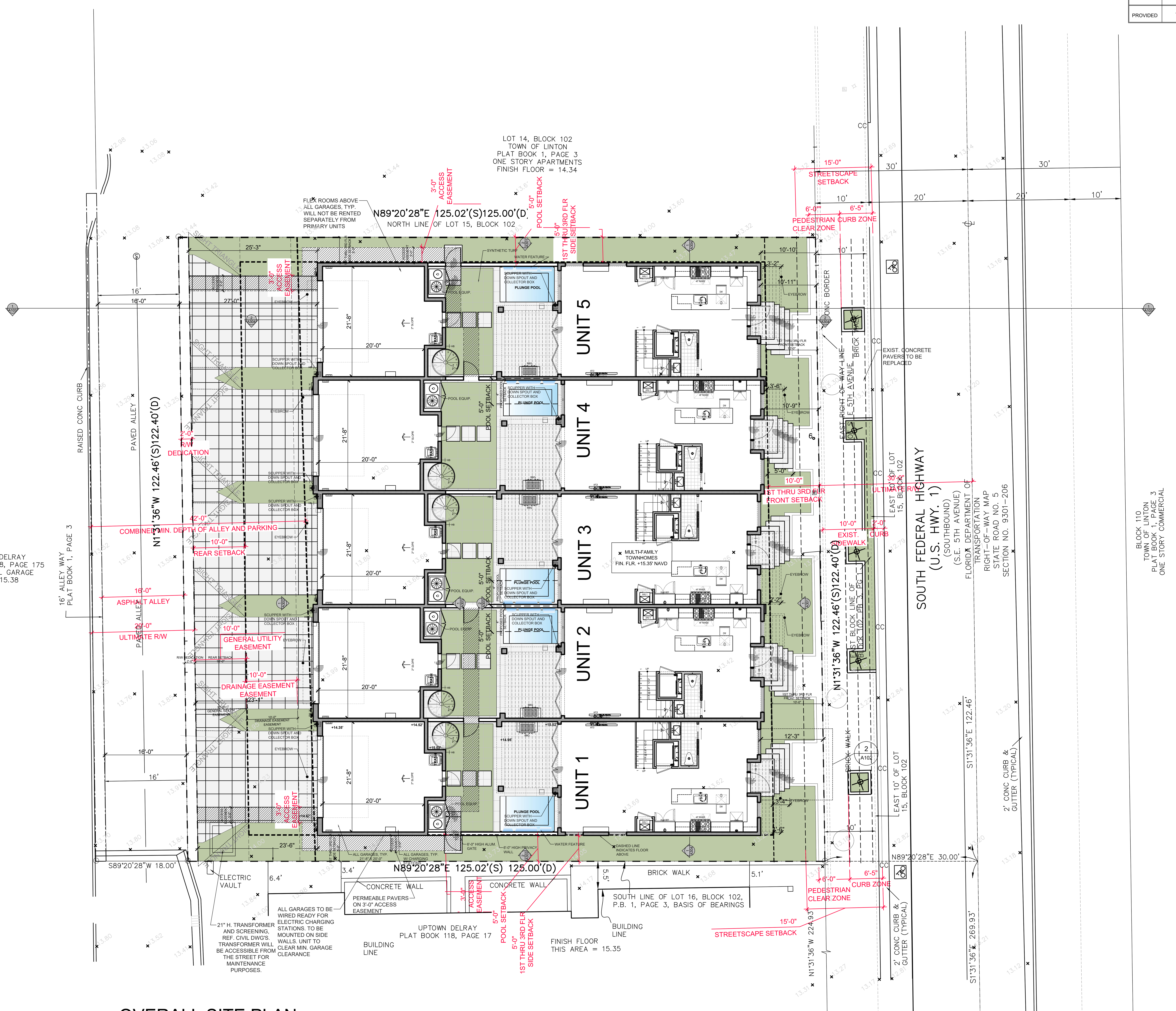


1 OVERALL SITE PLAN
1"=10'-0"

CBD CENTRAL CORE	MIN. LOT SIZE (sq. ft)	MIN. LOT WIDTH (ft)	MIN. LOT DEPTH (ft)	FAR 3.0	MIN. LOT FRONTAGE (ft)	MAX BLDG HEIGHT (ft)
REQUIRED	2,000	20	100	(45,921 SF)	75	54'-0"
PROVIDED	15,307	122.4	125	(20,884 SF)	122.4	34'-0"

TABLE 4.4.13(F) DIMENSIONAL REQUIREMENTS FOR STOOPS

REQUIRED	MINIMUM	MAXIMUM	PROVIDED
CBD CENTRAL CORE			
BUILDING SETBACK	10'-0"	15'-0"	10'-9"/12'-3"
DEPTH	5'-0"	8-0"	5'-8"
WIDTH	4'-0"	--	9'-0"
FLOOR ELEVATION	1'-0"	4'-0"	1'-9"
ENCROACHMENT	--	5'-0"	3'-4"/5'-0"

A/C BUILDING AREA TABULATION

UNIT TYPE	TOTAL SQ. FT.
UNIT 1	3,014
UNIT 2	2,972
UNIT 3	2,972
UNIT 4	2,972
UNIT 5	3,024
TOTAL	14,954

TOTAL BUILDING AREA TABULATION

UNIT TYPE	TOTAL SQ. FT.
UNIT 1	4,299
UNIT 2	4,188
UNIT 3	4,188
UNIT 4	4,188
UNIT 5	4,314
TOTAL	21,177

PROJECT DATA

ZONING: CBD (CENTRAL CORE)

- BUILDING FOOTPRINT AREA	8,047S.F.	52.57%
-USABLE OPEN SPACE AREA	3,835 S.F.	25.05%
-HARDSCAPE AREA	3,425 S.F.	22.38%
- WATER BODIES	0 S.F.	
- NO. OF DWELLING UNITS	5 UNITS	
- DWELLING UNIT PER ACRE	30 / ACRE	
TOTAL SITE AREA	15,307 SF	100%

SETBACKS	REQUIRED	PROVIDED
FRONT	10'	10'
SIDE (INTERIOR)	5'	5'
REAR	10'	23'-1"

PARKING ANALYSIS

GARAGE PARKING (UNIT PARKING)	10
DRIVEWAY PARKING (GUEST PARKING)	10
ADDITIONAL PARKING	0
TOTAL PARKING	20

	REQUIRED	PROPOSED
UNIT	1.75 SPACE REQ'D PER UNIT X 5 UNIT= 8.75 PARKING SPACES REQ'D	10 PARKING SPACES
GUEST	0.5 SPACE REQ'D PER GUEST X 5 UNIT= 2.5 PARKING SPACES REQ'D	10 PARKING SPACES

** REQUIRED: 3BR UNIT

FOOTPRINT (LOT COVERAGE)

1ST FLOOR	891 SF
1ST FLOOR	891 SF
1ST FLOOR	878 SF
1ST FLOOR	878 SF
1ST FLOOR	878 SF
2-CAR GARAGE	526 SF
2-CAR GARAGE	519 SF
2-CAR GARAGE	526 SF
2-CAR GARAGE	519 SF
2-CAR GARAGE	519 SF
ENTRY	32 SF
ENTRY	32 SF
ENTRY	32 SF
ENTRY	32 SF
ENTRY	32 SF
OUTDOOR LIVING	172 SF
OUTDOOR LIVING	172 SF
OUTDOOR LIVING	176 SF
OUTDOOR LIVING	172 SF
OUTDOOR LIVING	172 SF
	8047 SF

HARDSCAPE TABULATION

COURTYARD	159 SF
COURTYARD	143 SF
COURTYARD	134 SF
COURTYARD	135 SF
COURTYARD	135 SF
DRIVEWAY	461 SF
DRIVEWAY	447 SF
DRIVEWAY	459 SF
DRIVEWAY	468 SF
DRIVEWAY	485 SF
PAD	12 SF
PAD	12 SF
WALKWAY	76 SF
WALKWAY	68 SF
WALKWAY	71 SF
WALKWAY	74 SF
WALKWAY	82 SF
	3425 SF

TOTAL: 11,472 SF IMPERVIOUS

UNIT 1

A/C AREA CALCULATION	
1ST FLOOR	891 SF
2ND FLOOR	967 SF
3RD FLOOR	704 SF
FLEX ROOM	447 SF
	3009 SF
NON A/C AREA CALCULATION	
2-CAR GARAGE	526 SF
BALCONY	86 SF
ENTRY	32 SF
OUTDOOR LIVING	172 SF
SUN TERRACE	83 SF
TERRACE	316 SF
	1214 SF

UNIT 2

A/C AREA CALCULATION	
1ST FLOOR	878 SF
2ND FLOOR	954 SF
3RD FLOOR	694 SF
FLEX ROOM	440 SF
	2966 SF
NON A/C AREA CALCULATION	
2-CAR GARAGE	519 SF
BALCONY	86 SF
ENTRY	32 SF
OUTDOOR LIVING	172 SF
SUN TERRACE	81 SF
TERRACE	305 SF
	1194 SF

UNIT 3

A/C AREA CALCULATION	
1ST FLOOR	878 SF
2ND FLOOR	954 SF
3RD FLOOR	694 SF
FLEX ROOM	440 SF
	2966 SF
NON A/C AREA CALCULATION	
2-CAR GARAGE	519 SF
BALCONY	86 SF
ENTRY	32 SF
OUTDOOR LIVING	172 SF
SUN TERRACE	83 SF
TERRACE	309 SF
	1200 SF

UNIT 4

A/C AREA CALCULATION	
1ST FLOOR	878 SF
2ND FLOOR	954 SF
3RD FLOOR	694 SF
FLEX ROOM	440 SF
	2966 SF
NON A/C AREA CALCULATION	
2-CAR GARAGE	519 SF
BALCONY	86 SF
ENTRY	32 SF
OUTDOOR LIVING	172 SF
SUN TERRACE	81 SF
TERRACE	303 SF
	1192 SF

UNIT 5

A/C AREA CALCULATION	
1ST FLOOR	891 SF
2ND FLOOR	971 SF
3RD FLOOR	708 SF
FLEX ROOM	447 SF
	3017 SF
NON A/C AREA CALCULATION	
2-CAR GARAGE	526 SF
BALCONY	86 SF
ENTRY	32 SF
OUTDOOR LIVING	176 SF
SUN TERRACE	84 SF
TERRACE	315 SF
	1219 SF

FLOOD ELEVATION - FEMA ZONE X
DFE = 13.18 +13.30 +13.34 = 39.82
39.82 / 3 = 13.27
13.27 + 18" = 14.77
DFE = 14.77'

NOTES:

1. PER DELRAY BEACH CODE OF ORDINANCES: ALL BUILDINGS OR STRUCTURES REGARDLESS OF THE TYPE OF CONSTRUCTION WHICH ARE 3 OR MORE OCCUPIED STORIES OR HAVE THREE (3) OR MORE UNOCCUPIED STORIES AS DEEMED REQUIRED BY THE AUTHORITY HAVING JURISDICTION, MUST HAVE SPRINKLER PROTECTION.

2. FIRE CODE REFERENCE: FLORIDA FIRE PREVENTION CODE 7TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2023 EDITION & FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2023 EDITION.

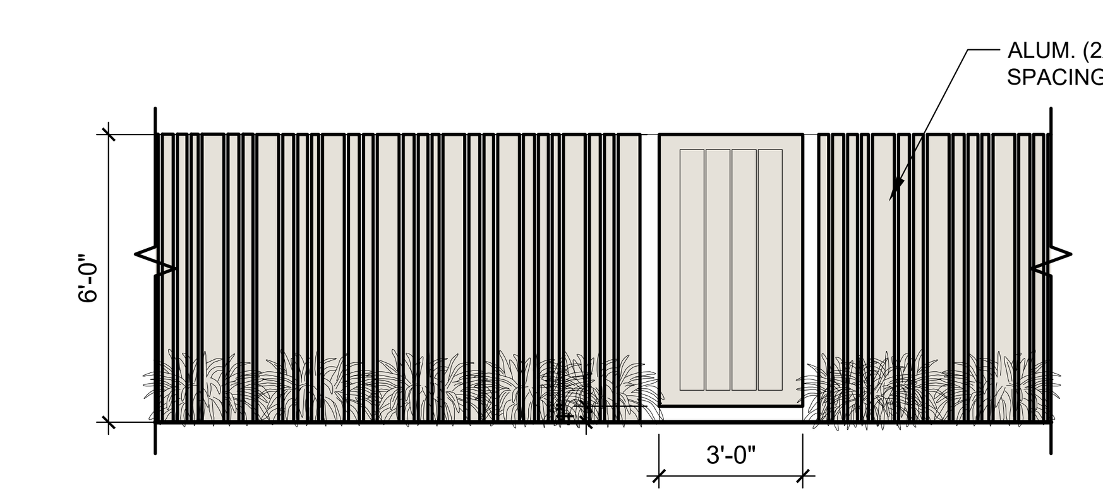
3. ALL PROPOSED UTILITY LINES WILL PLACED UNDERGROUND.

4. SEE WS-4 ON CIVIL DWG'S FOR ALL SITE UTILITIES.

NOTES:

1. NON-ROOFED AREAS TO USE LIGHT COLORED PORCELAIN WITH AN OPEN GRID PAVEMENT SYSTEM

2. ROOFED AREAS TO BE ENERGY STAR COMPLIANT WITH HIGH REFLECTANCE AND HIGH EMISSIVITY



1 TYP. GATE TYPE ELEVATION
1/4"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
△	DD FLOOR PLAN	NEZ	09.25.23
△	DD FRONT ELEVATION	NEZ	09.27.23
△	SPRAB SET	NEZ	11.28.23
△	SPRAB COMMENTS	NEZ	02.28.24
△	SPRAB COMMENTS	NEZ	05.02.24
△	SPRAB COMMENTS	GL	07.12.24
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A101

1 TYP. STOOP ENTRANCE DETAIL
1/4"=1'-0"

2 TYP. STOOP ENTRANCE SECTION DETAIL
1/4"=1'-0"

1 DETAILED SITE PLAN
1/8"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	CD FLOOR PLAN	NEZ	09.25.23
2	CD FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.28.23
4	6PRAB COMMENTS	NEZ	02.26.24
5	6PRAB COMMENTS	NEZ	05.02.24
6	6PRAB COMMENTS	GL	07.12.24
7	6PRAB COMMENTS	GL	08.15.24

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A102

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
△	DD FLOOR PLAN	NCZ	09.25.23
△	DD FRONT ELEVATION	NCZ	09.27.23
△	SPRAB SET	NCZ	11.28.23
△	SPRAB COMMENTS	NCZ	02.28.24
△	SPRAB COMMENTS	NCZ	05.02.24
△	SPRAB COMMENTS	GL	07.12.24
△	SPRAB COMMENTS	GL	08.15.24

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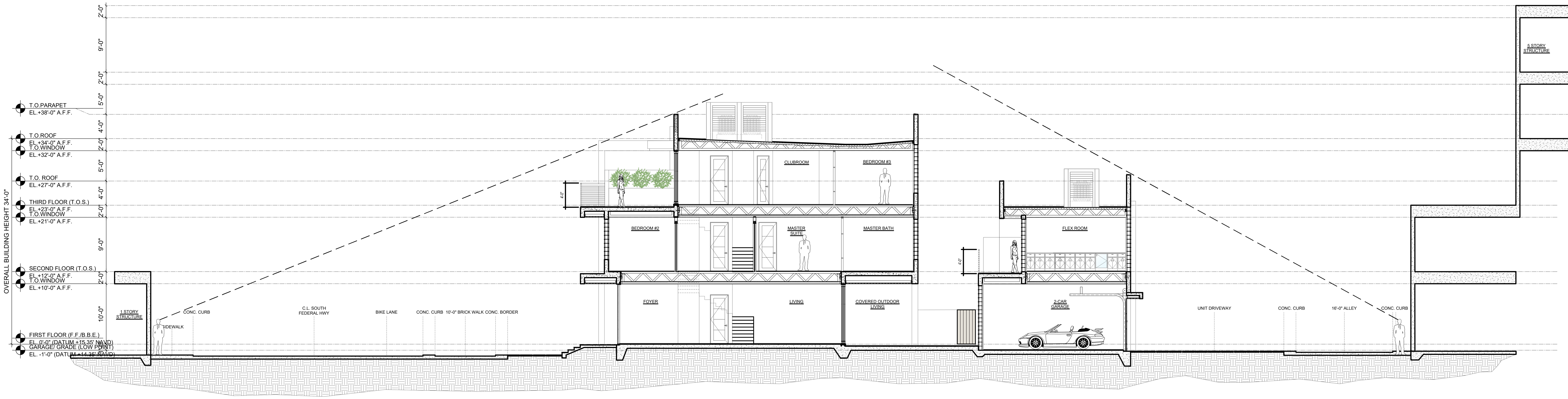

SITE SECTION STUDY

(1) SITE STUDY SECTION
1/8"=1'-0"

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A103

1 FRONT AERIAL VIEW
N.T.S.

2 REAR AERIAL VIEW
N.T.S.

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	CO FLOOR PLAN	NEZ	09.26.23
2	CO FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.28.23
4	6PRAB COMMENTS	NEZ	02.28.24
5	6PRAB COMMENTS	NEZ	05.02.24
6	6PRAB COMMENTS	GL	07.12.24
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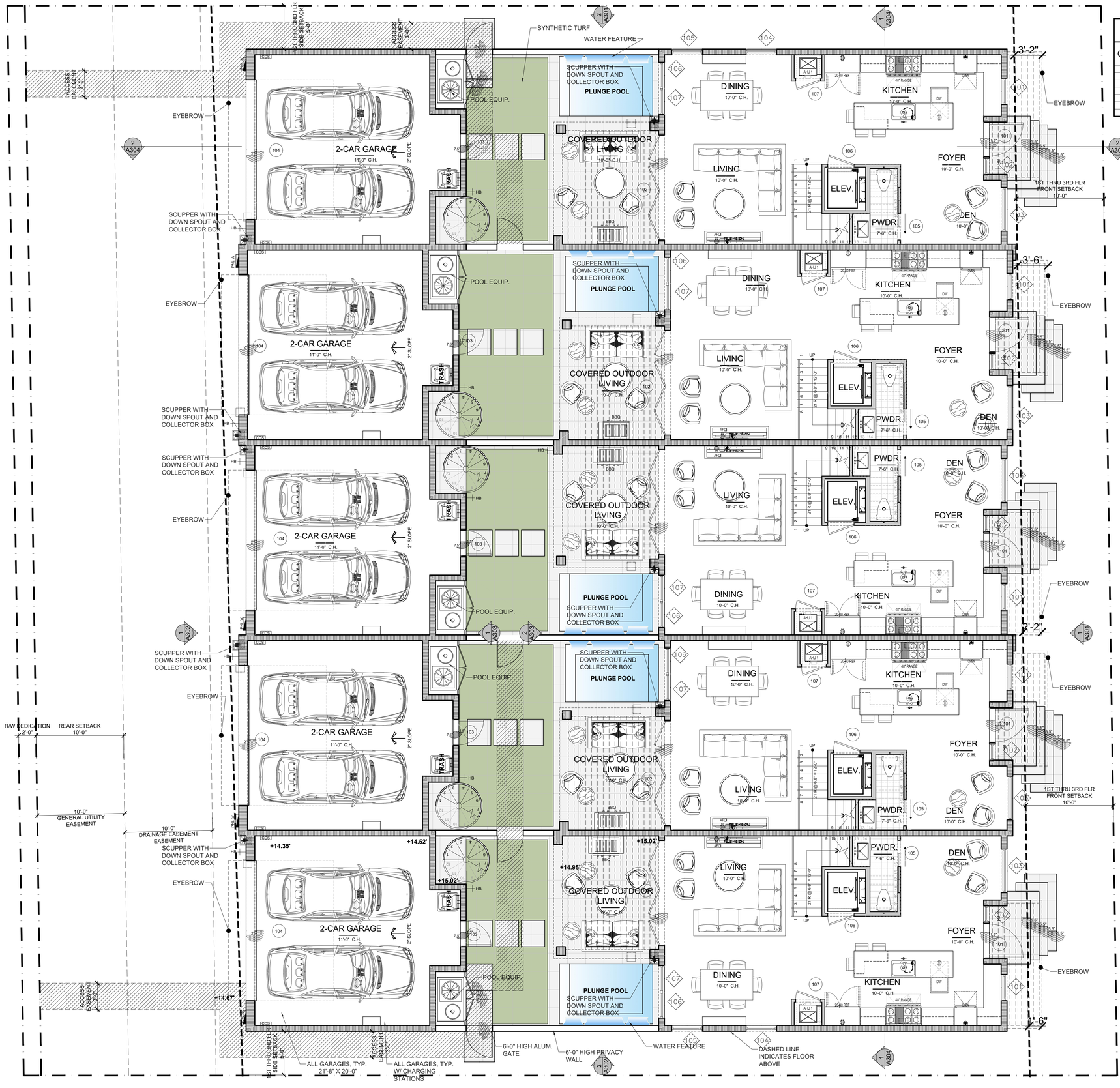
A104



1st FLR WINDOW SCHEDULE

Quantity	MARK	STYLE	SIZE WD	SIZE HGT	HEAD HT ELEV	NOTES	TRANSOM
5	101	STATIONARY	3'-0"	7'-0"	10'-0"	--	0"
5	102	STATIONARY	1'-10"	10'-0"	10'-0"	--	0"
5	103	STATIONARY	5'-0"	9'-0"	10'-0"	--	0"
2	104	STATIONARY	3'-6"	10'-0"	10'-0"	--	0"
2	105	STATIONARY	3'-6"	10'-0"	10'-0"	--	0"
5	106	STATIONARY	3'-0"	10'-0"	10'-0"	--	0"
5	107	STATIONARY	3'-0"	10'-0"	10'-0"	--	0"

1ST FLR DOOR SCHEDULE

Quantity	DOOR MARK	DOOR TYPE	DOOR SIZE WD	DOOR SIZE HGT	FIRE RATING LABEL	NOTES	Style	WIND PRESSURES ON OPENINGS
5	101	---	4'-0"	10'-0"	---	---	ENTRY	
5	102	---	12'-0"	10'-0"	---	---	BI FOLD DOOR	?
5	103	---	3'-0"	8'-0"	---	---	ENTRY	
5	104	---	16'-0"	9'-0"	---	---	OHGD	
5	105	---	3'-0"	8'-0"	---	---	INTERIOR--POCKET	?
5	106	---	3'-0"	8'-0"	---	---	INTERIOR	?
5	107	---	2'-10"	8'-0"	---	---	INTERIOR	?

1 FIRST FLOOR NOTED PLAN
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	OD FLOOR PLAN	NEZ	09.25.23
2	OD FRONT ELEVATION	NEZ	09.27.23
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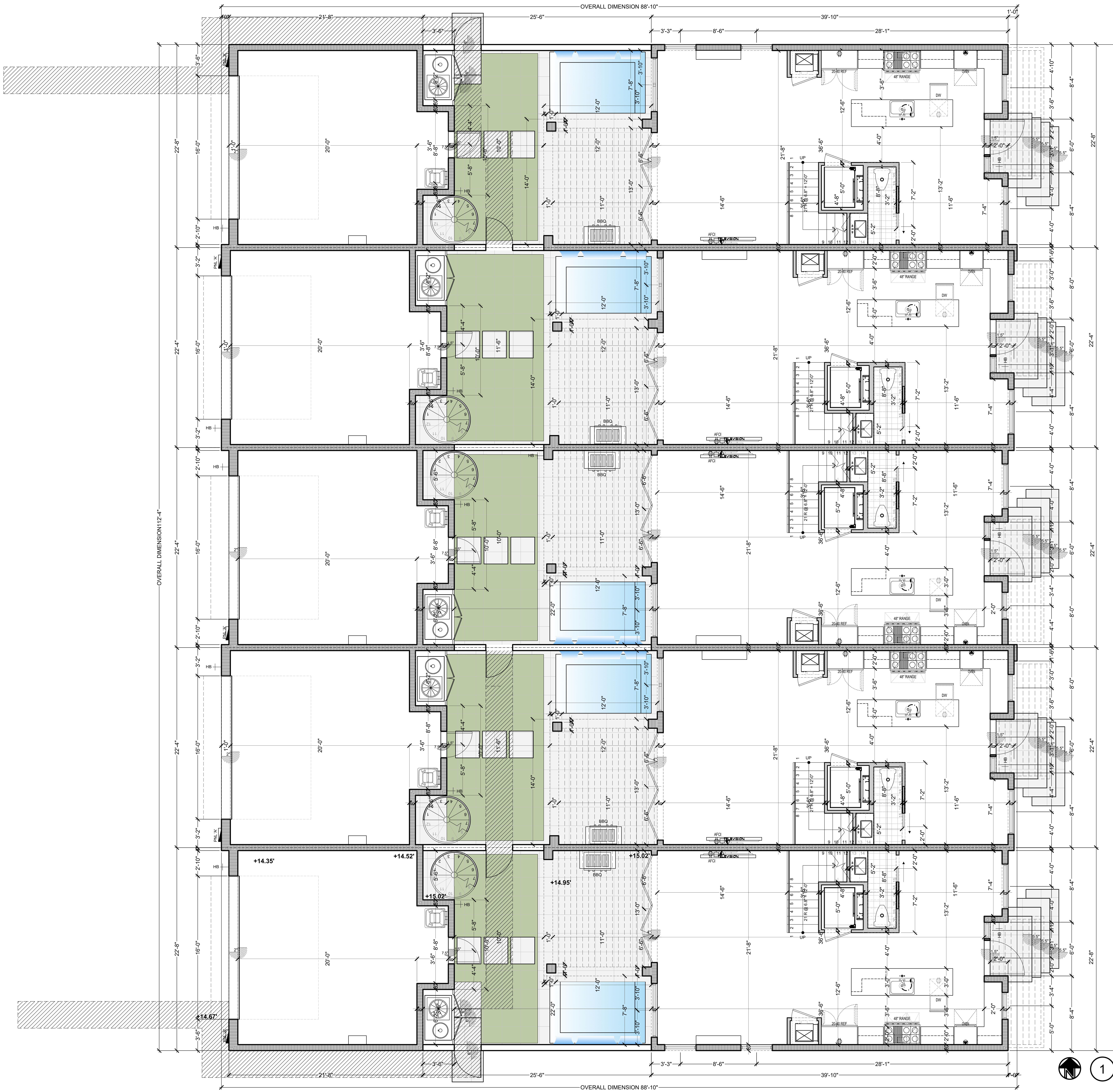
A201a



1 FIRST FLOOR DIMENSIONED PLAN
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

REVISIONS	BY	DATE
△ DD FLOOR PLAN	NEZ	09.25.23
△ DD FRONT ELEVATION	NEZ	09.27.23
△ SPRAB SET	NEZ	11.28.23
△ SPRAB COMMENTS	NEZ	02.28.24
△ SPRAB COMMENTS	NEZ	05.02.24
△ SPRAB COMMENTS	GL	07.12.24
△ SPRAB COMMENTS	GL	08.15.24

FIFTH AVENUE TOWNHOMES
142 SE 5TH AVENUE
DELRAY BEACH, FLORIDA

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A201b

2nd FLR WINDOW SCHEDULE

MARK	STYLE	QUANTITY	SIZE		HEAD HT	NOTES	TRANSOM
			WD	HGT	ELEV		
201	STATIONARY	5	2'-6"	2'-6"	9'-0"	2'-6" fixed window below. See elevations for head height	0"
202	CASEMENT	5	4'-0"	6'-0"	9'-0"	2'-0" fixed window below	0"
203	CASEMENT	5	4'-0"	6'-0"	9'-0"	2'-0" fixed window below	0"
204	STATIONARY	2	2'-6"	6'-0"	9'-0"	--	0"
205	STATIONARY	2	2'-6"	6'-0"	9'-0"	--	0"
206	STATIONARY	2	2'-6"	6'-0"	9'-0"	--	0"
207	STATIONARY	2	2'-6"	6'-0"	9'-0"	--	0"
208	STATIONARY	2	2'-6"	6'-0"	9'-0"	--	0"
209	CASEMENT	5	3'-0"	6'-0"	9'-0"	3'-0" fixed window below	0"
210	STATIONARY	5	3'-0"	6'-0"	9'-0"	3'-0" fixed window below	0"
211	STATIONARY	5	8'-0"	2'-0"	9'-0"	--	0"
212	STATIONARY	5	4'-0"	9'-0"	9'-0"	--	0"
213	STATIONARY	5	2'-6"	6'-0"	9'-0"	--	0"
214	STATIONARY	5	3'-0"	6'-0"	9'-0"	2'-0" fixed window below	0"
215	STATIONARY	5	3'-0"	6'-0"	9'-0"	2'-0" fixed window below	0"
216	STATIONARY	5	2'-6"	2'-6"	9'-0"	2'-6" fixed window below. See elevations for head height	0"
217	STATIONARY	5	3'-0"	6'-0"	9'-0"	--	0"
218	STATIONARY	5	3'-0"	6'-0"	9'-0"	--	0"
219	STATIONARY	5	3'-0"	6'-0"	9'-0"	--	0"

2nd FLR DOOR SCHEDULE

Quantity	Number	SIZE		TYPE	Fire Rating	NOTES
		WIDTH	HEIGHT			
5	201	5'-0"	8'-0"	INTERIOR-SLIDER	--	--
5	202	3'-0"	8'-0"	INTERIOR	--	--
5	203	3'-0"	8'-0"	INTERIOR	--	--
5	204	3'-0"	8'-0"	INTERIOR	--	--
5	205	3'-0"	8'-0"	INTERIOR	--	--
5	206	2'-10"	8'-0"	INTERIOR	--	--
5	207	3'-0"	8'-0"	INTERIOR	--	--
5	208	3'-0"	8'-0"	INTERIOR	--	--
5	209	3'-0"	8'-0"	INTERIOR	--	--
5	210	3'-0"	9'-0"	ENTRY	--	--
5	211	2'-8"	9'-0"	ENTRY	--	--
5	212	3'-0"	8'-0"	INTERIOR	--	--
5	213	2'-8"	8'-0"	INTERIOR	--	--

1 SECOND FLOOR NOTED PLAN
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	OD FLOOR PLAN	NEZ	09.25.23
2	OD FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.28.23
4	6PRAB COMMENTS	NEZ	02.26.24
5	6PRAB COMMENTS	NEZ	05.02.24
6	6PRAB COMMENTS	GL	07.12.24
7	6PRAB COMMENTS	GL	08.15.24

FIFTH AVENUE TOWNHOMES

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A202a

1 SECOND FLOOR DIMENSIONED PLAN
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	OD FLOOR PLAN	NEZ	09.25.23
2	OD FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.28.23
4	6PRAB COMMENTS	NEZ	02.26.24
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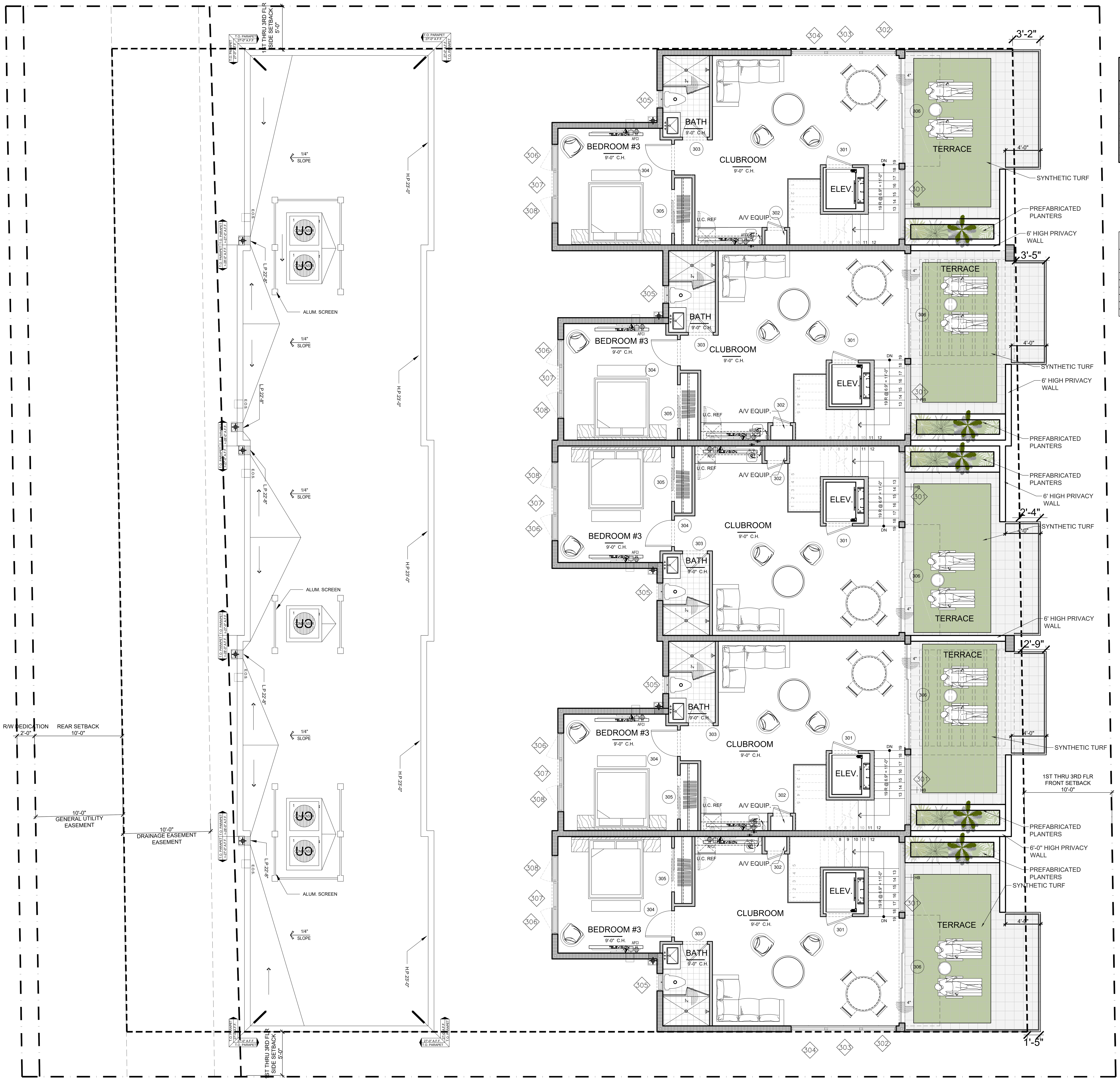
A202b



3rd FLR WINDOW SCHEDULE

MARK	STYLE	QUANTITY	SIZE WD	SIZE HGT	HEAD HT ELEV	NOTES	TRANSOM
301	STATIONARY	5	8'-0"	3'-0"	9'-0"	--	0"
302	STATIONARY	2	4'-0"	9'-0"	9'-0"	--	0"
303	STATIONARY	2	4'-0"	9'-0"	9'-0"	--	0"
304	STATIONARY	2	4'-0"	9'-0"	9'-0"	--	0"
305	STATIONARY	5	2'-0"	4'-0"	9'-0"	--	0"
306	CASEMENT	5	3'-0"	6'-0"	9'-0"	--	0"
307	STATIONARY	5	3'-0"	6'-0"	9'-0"	--	0"
308	CASEMENT	5	3'-0"	6'-0"	9'-0"	--	0"

3rd FLR DOOR SCHEDULE

Quantity	Number	SIZE WIDTH	SIZE HEIGHT	TYPE	Fire Rating	NOTES
5	301	3'–0"	8'–0"	INTERIOR	––	––
5	302	2'–0"	8'–0"	INTERIOR	––	––
5	303	2'–10"	8'–0"	INTERIOR	––	––
5	304	3'–0"	8'–0"	INTERIOR	––	––
5	305	5'–0"	8'–0"	INTERIOR–SLIDER	––	––
5	306	12'–0"	9'–0"	SLIDING GLASS–TRIPLE	––	––

1 THIRD FLOOR NOTED PLAN
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
△	DD FLOOR PLAN	NEZ	09.25.23
△	DD FRONT ELEVATION	NEZ	09.27.23
△	SPRAB SET	NEZ	11.28.23
△	SPRAB COMMENTS	NEZ	02.28.24
△	SPRAB COMMENTS	NEZ	05.02.24
△	SPRAB COMMENTS	GL	07.12.24
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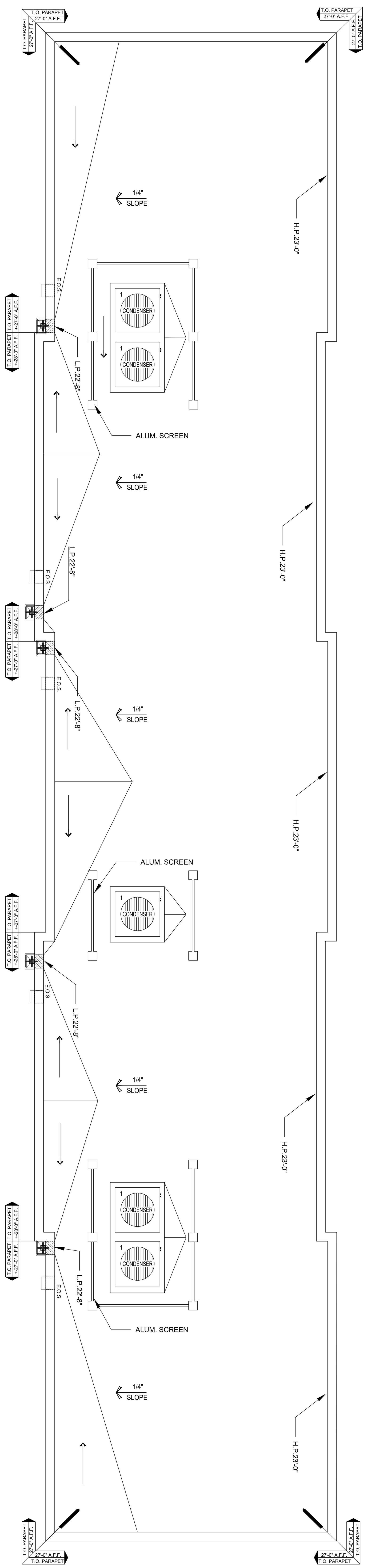

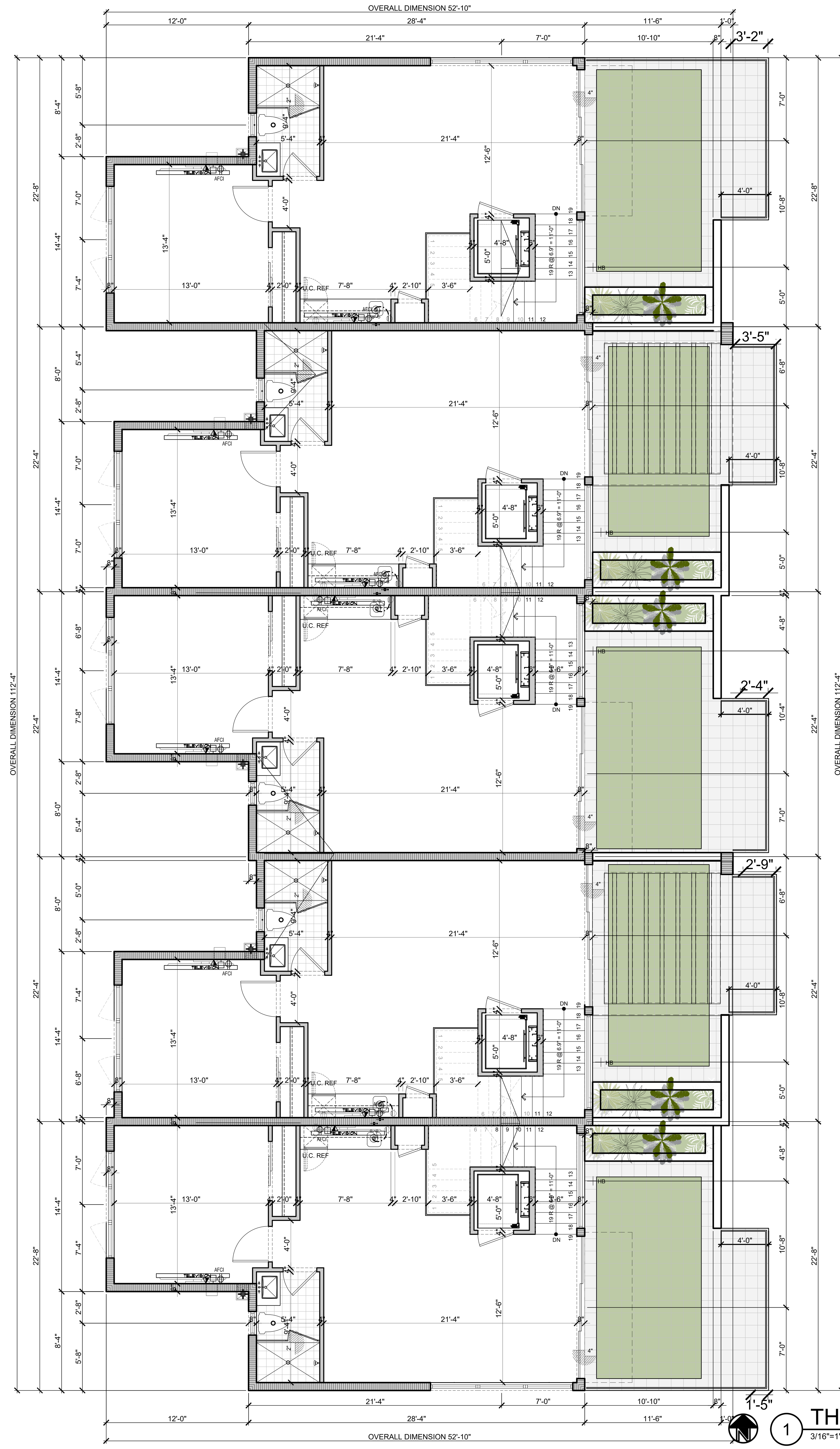

THIRD FLOOR DIMENSIONED PLAN

1

3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
△	DD FLOOR PLAN	NEZ	09.25.23
△	DD FRONT ELEVATION	NEZ	09.27.23
△	SPRAB SET	NEZ	11.28.23
△	SPRAB COMMENTS	NEZ	02.28.24
△	SPRAB COMMENTS	NEZ	05.02.24
△	SPRAB COMMENTS	GL	07.12.24
△	SPRAB COMMENTS	GL	08.15.24

FIFTH AVENUE TOWNHOMES

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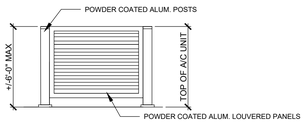
A203b



A/C UNITS (ROOF MOUNTED) FULLY SHIELDED ALUMINUM SCREEN. SCREEN HEIGHT TO BE DETERMINED BASED ON A/C UNITS MOUNTING HEIGHT (+- 72" HIGH)

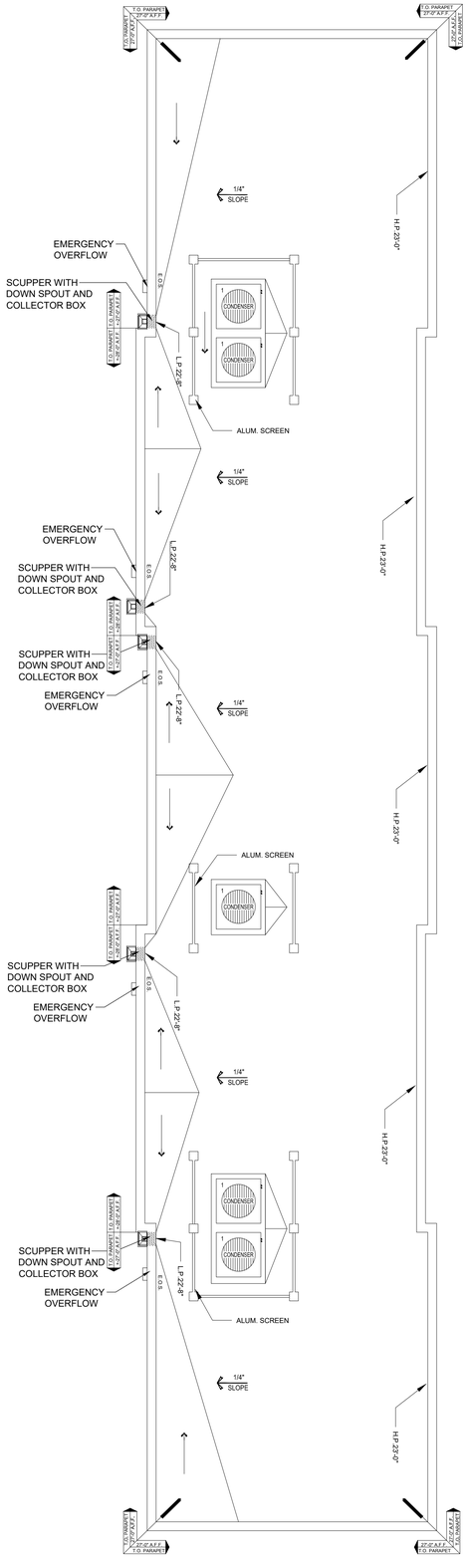
2 TYP. SCREEN DETAIL

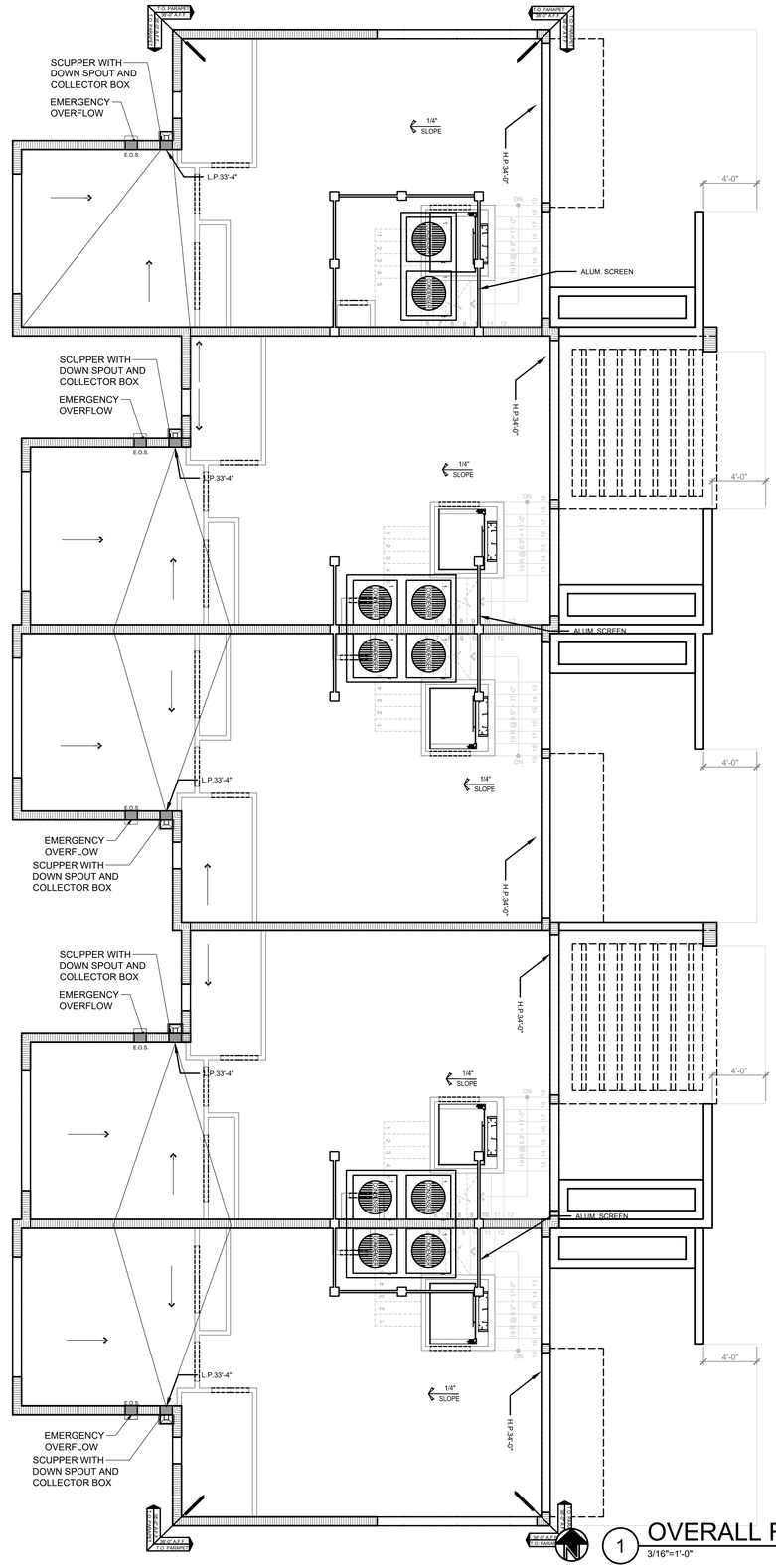
1/4"=1'-0"

3 TYP. SCREEN IMAGE

N.T.S.

ROOFTOP NOTES:
ROOF TO BE ENERGY STAR COMPLIANT, HIGH REFLECTANCE & HIGH EMISSITVITY





1 OVERALL ROOF PLAN

3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	CO FLOOR PLAN	NEZ	09.26.23
2	CO FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.28.23
4	6PRAB COMMENTS	NEZ	02.26.24
5	6PRAB COMMENTS	NEZ	05.02.24
6	6PRAB COMMENTS	GL	07.12.24
7	6PRAB COMMENTS	GL	08.15.24

FIFTH AVENUE TOWNHOMES

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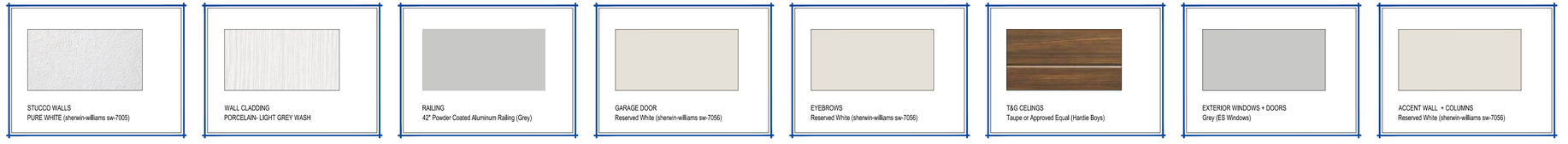
A204

1 FRONT ELEVATION (EAST)
3/16"=1'-0"



2 RIGHT SIDE ELEVATION (NORTH)
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	©D FLOOR PLAN	NEZ	09.25.23
2	©D FRONT ELEVATION	NEZ	09.29.23
3	©PRAB SET	NEZ	11.26.23
4	©PRAB COMMENTS	NEZ	02.26.24
5	©PRAB COMMENTS	NEZ	05.06.24
6	©PRAB COMMENTS	GL	07.16.24
7	©PRAB COMMENTS	GL	08.16.24

FIFTH AVENUE TOWNHOMES
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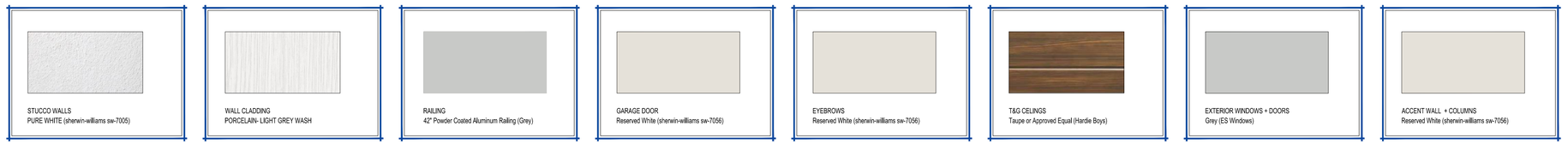
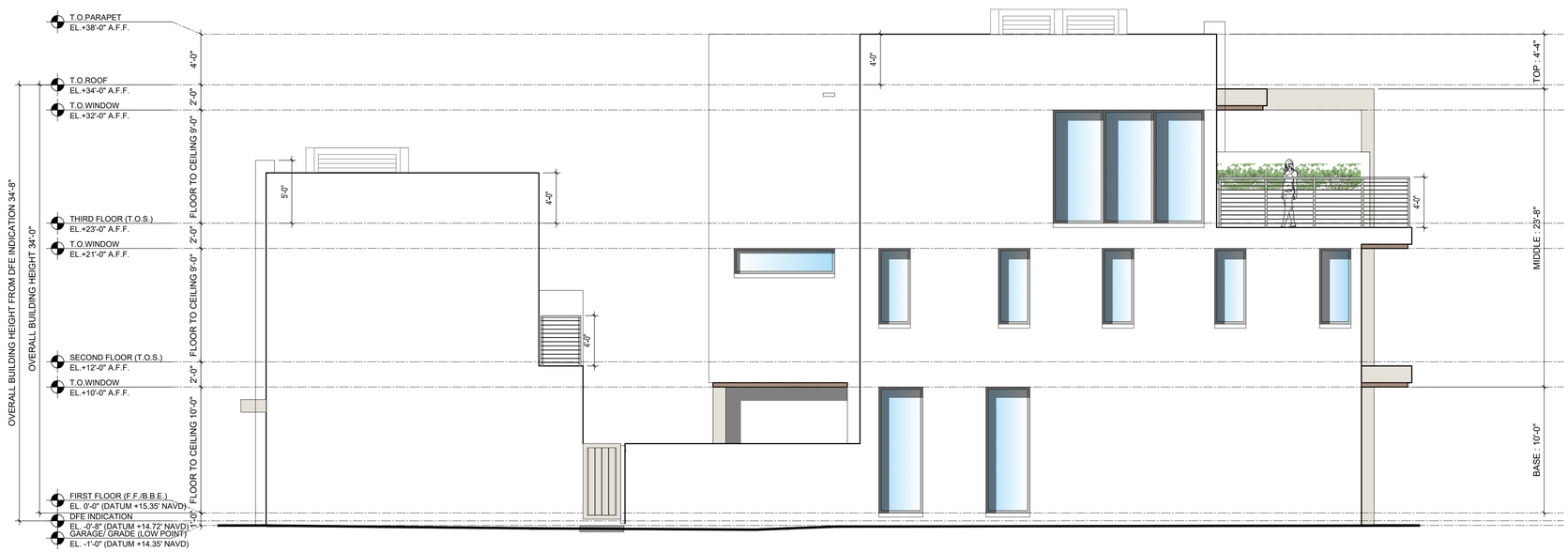
Job No. 2308053

FL-0011105 FIRM-AA003379

A301

3 REAR ELEVATION (WEST)
3/16"=1'-0"





4 LEFT SIDE ELEVATION (SOUTH)
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	⟲DD FLOOR PLAN	NEZ	09.25.23
2	⟲DD FRONT ELEVATION	NEZ	09.29.23
3	⟲PRAB SET	NEZ	11.26.23
4	⟲PRAB COMMENTS	NEZ	02.26.24
5	⟲PRAB COMMENTS	NEZ	05.06.24
6	⟲PRAB COMMENTS	GL	07.16.24
7	⟲PRAB COMMENTS	GL	08.16.24

FIFTH AVENUE TOWNHOMES
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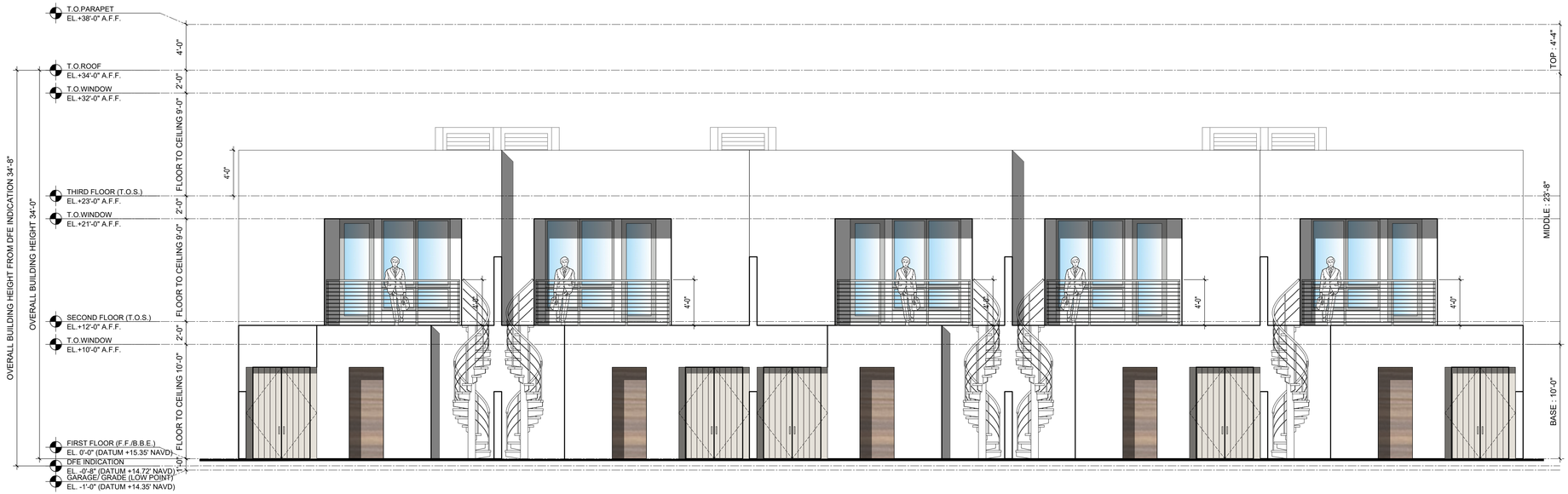
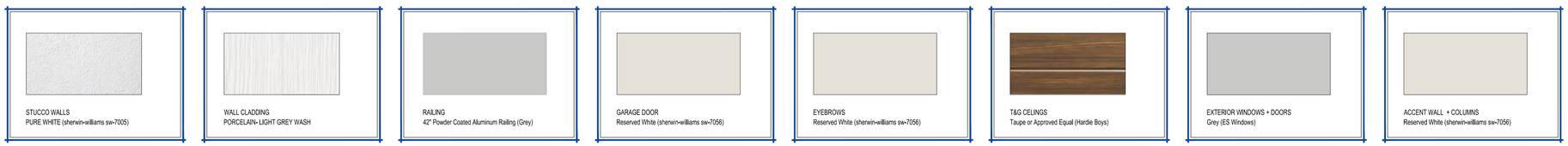
A302



5 COURTYARD ELEVATION (EAST)
3/16"=1'-0"



6 COURTYARD ELEVATION (WEST)
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	⟲D FLOOR PLAN	NEZ	09.25.23
2	⟲D FRONT ELEVATION	NEZ	09.27.23
3	⟲PRAB SET	NEZ	11.26.23
4	⟲PRAB COMMENTS	NEZ	02.26.24
5	⟲PRAB COMMENTS	NEZ	05.02.24
6	⟲PRAB COMMENTS	GL	07.16.24
7	⟲PRAB COMMENTS	GL	08.16.24

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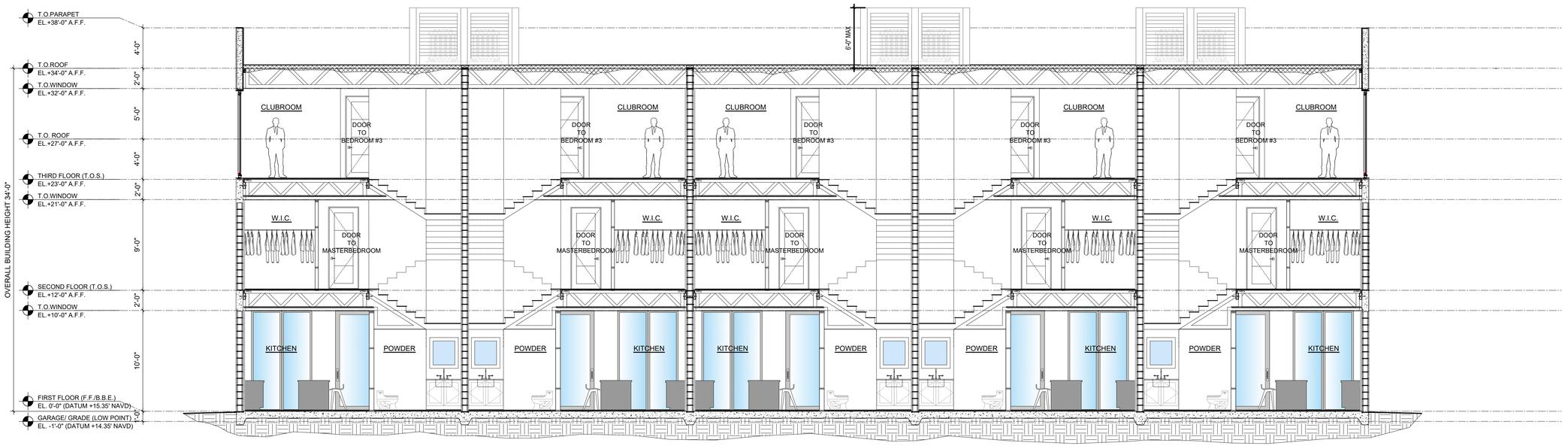
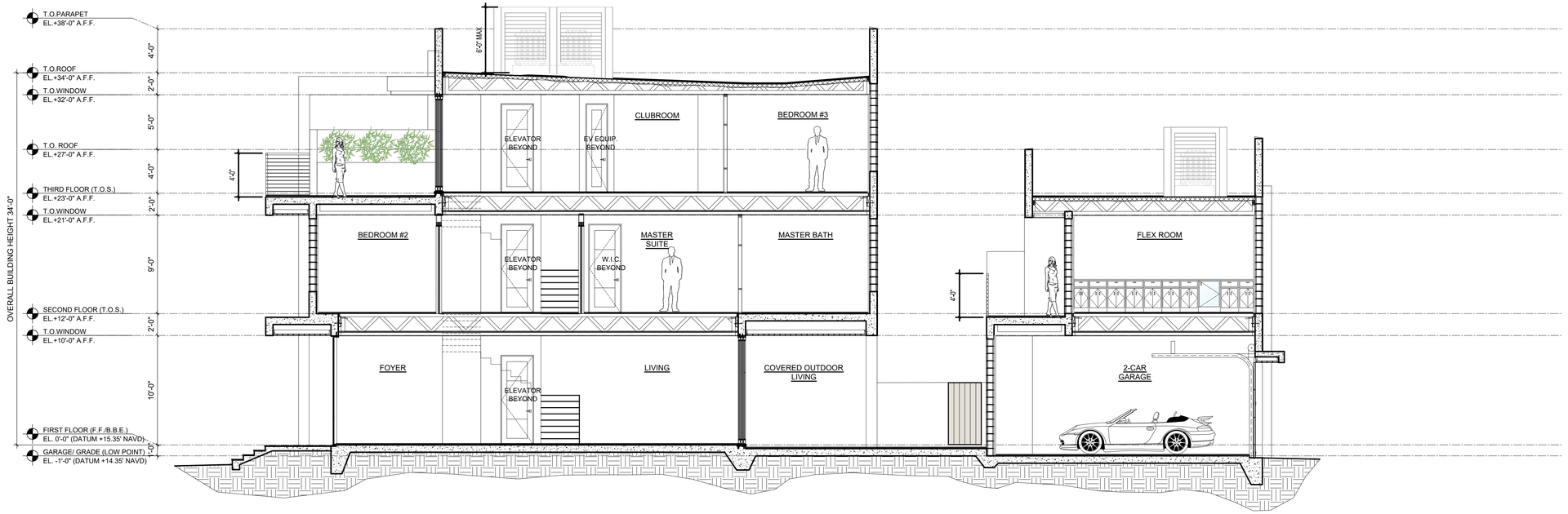
A303



1 BUILDING SECTION
3/16"=1'-0"



2 BUILDING SECTION
1/4"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	⟲D FLOOR PLAN	NEZ	09.25.23
2	⟲D FRONT ELEVATION	NEZ	09.29.23
3	⟲PRAB SET	NEZ	11.26.23
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5	⟲PRAB COMMENTS	NEZ	05.02.24
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7	⟲PRAB COMMENTS	GL	08.15.24

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A304

WALL COVERAGE	
FRONT ELEVATION	4559 SF
TOTAL	4559 SF

WINDOW / DOOR COVERAGE	
UNIT 1 SLIDING DOOR 02	108 SF
UNIT 1 WINDOW 01	21 SF
UNIT 1 WINDOW 02	18 SF
UNIT 1 WINDOW 03	45 SF
UNIT 1 WINDOW 04	32 SF
UNIT 1 WINDOW 05	32 SF
UNIT 1 WINDOW 06	6 SF
UNIT 1 WINDOW 07	6 SF
UNIT 1 WINDOW 08	24 SF
UNIT 2 SLIDING DOOR 02	102 SF
UNIT 2 WINDOW 01	21 SF
UNIT 2 WINDOW 02	18 SF
UNIT 2 WINDOW 03	45 SF
UNIT 2 WINDOW 04	32 SF
UNIT 2 WINDOW 05	32 SF
UNIT 2 WINDOW 06	6 SF
UNIT 2 WINDOW 07	6 SF
UNIT 2 WINDOW 08	24 SF
UNIT 3 SLIDING DOOR 02	108 SF
UNIT 3 WINDOW 01	21 SF
UNIT 3 WINDOW 02	18 SF
UNIT 3 WINDOW 03	45 SF
UNIT 3 WINDOW 04	32 SF
UNIT 3 WINDOW 05	32 SF
UNIT 3 WINDOW 06	6 SF
UNIT 3 WINDOW 07	6 SF
UNIT 3 WINDOW 08	24 SF
UNIT 4 SLIDING DOOR 02	102 SF
UNIT 4 WINDOW 01	21 SF
UNIT 4 WINDOW 02	18 SF
UNIT 4 WINDOW 03	44 SF
UNIT 4 WINDOW 04	32 SF
UNIT 4 WINDOW 05	32 SF
UNIT 4 WINDOW 06	6 SF
UNIT 4 WINDOW 07	6 SF
UNIT 4 WINDOW 08	24 SF
UNIT 5 SLIDING DOOR 02	108 SF
UNIT 5 WINDOW 01	21 SF
UNIT 5 WINDOW 02	18 SF
UNIT 5 WINDOW 03	45 SF
UNIT 5 WINDOW 04	32 SF
UNIT 5 WINDOW 05	32 SF
UNIT 5 WINDOW 06	6 SF
UNIT 5 WINDOW 07	6 SF
UNIT 5 WINDOW 08	24 SF
TOTAL	1452 SF

FRONT ELEVATION WALL COVERAGE = 4,559 S.F.

(20% MIN WALL COVERAGE REQUIRED 911.8 S.F.)

TOTAL WINDOW / DOOR COVERAGE PROVIDED = 1,446 S.F. OR 31.7%

BUILDING WIDTH: 23'-0" X BUILDING HEIGHT: 36'-0" = 1 : 1.6 RATIO

1 FRONT ELEVATION (EAST)
3/16"=1'-0"

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	©D FLOOR PLAN	NEZ	09.25.23
2	©D FRONT ELEVATION	NEZ	09.29.23
3	©PRAB SET	NEZ	11.26.23
4	©PRAB COMMENTS	NEZ	02.26.24
5	©PRAB COMMENTS	NEZ	05.06.24
6	©PRAB COMMENTS	GL	07.16.24
7	©PRAB COMMENTS	GL	08.16.24

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A311

1 FRONT COLORED RENDERING
N.T.S.

2 REAR COLORED RENDERING
N.T.S.

Y:\DelrayProjects\!MULTI-FAMILY\2308053-ACQUEST TOWNHOMES\SHEETFILES\ACQUEST_A3D.dwg, 9/25/2024 8:09:02 AM, DWG To PDF.pc3

SPRAB COMMENTS 08-15-24

	REVISIONS	BY	DATE
1	OD FLOOR PLAN	NEZ	09.25.23
2	OD FRONT ELEVATION	NEZ	09.27.23
3	6PRAB SET	NEZ	11.26.23
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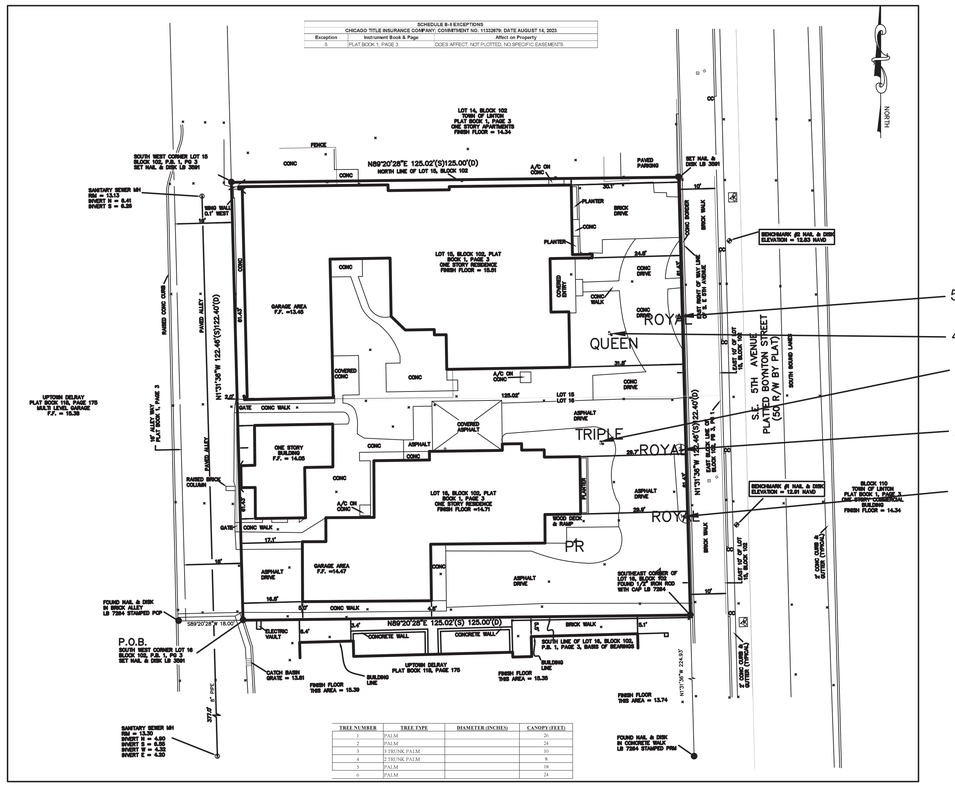
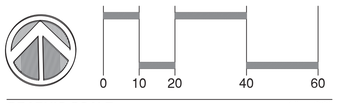
A3D





EXISTING PLANT MATERIAL

#	COMMON NAME	BOTANICAL NAME	O.A. HT.	C.T. HT.	COND. %	COMMENTS	MITT.	
1	ROYAL PALM	ROYSTONEA REGIA	26'	20'	50	NUTRITIONAL DEFECIENT	1, DATE PALM	17' O.A.
2	ROYAL PALM	ROYSTONEA REGIA	24'	17'	40	NUTRITIONAL DEFECIENT	1, DATE PALM	17' O.A.
3	CHRISTMAS PALM (Triple)	ADONIDIA MERRILLI	10'	7'	70	HEALTHY	1, SUNSHINE PALM	18' O.A.
4	QUEEN PALM	SYAGRUS ROMANANZOFFIANA	18'	14'	60	FAIR	1, SUNSHINE PALM	16' O.A.
6	ROYAL PALM	ROYSTONEA REGIA	24'	18'	60	THIN, WEAK	1, SUNSHINE PALM	18' O.A.
			52'					52'

Palms with condition rating of ≥ 50%: Replaced with one palm of equal overall heights (OH) or 16 ft OH, whichever is greater

Palms with condition rating of < 50%: Required to be mitigated on a palm-for-palm basis (16' OH X 8 CT for others & 12' OH X 6' CT for SF & Duplex)

ARBORIST REPORT SUBMITTED AS SEPARATE DOCUMENT.

DATE	BY
REVISIONS	
FILE NAME 9992LAND	

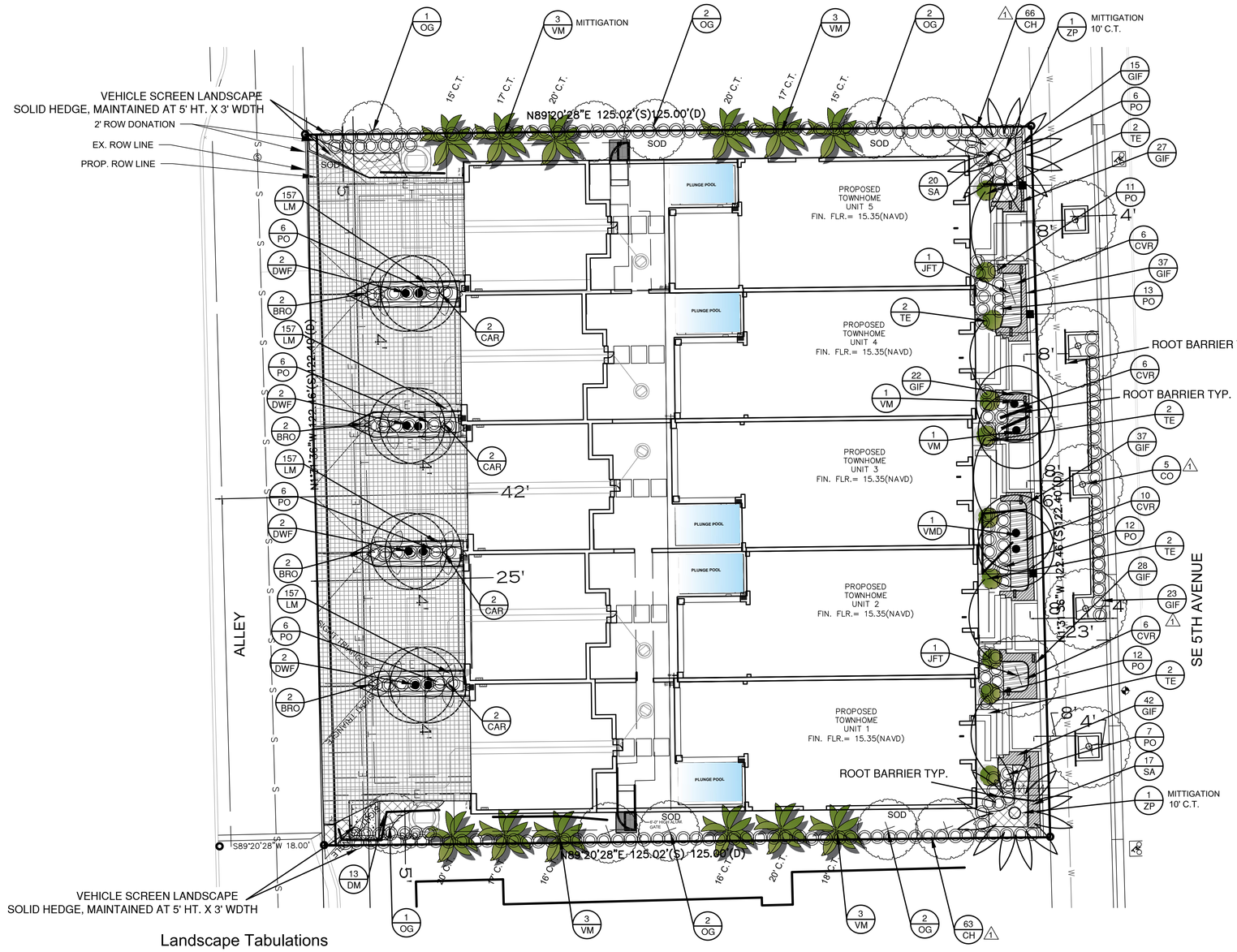
CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE • SURVEYING
7900 GLADES ROAD • SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

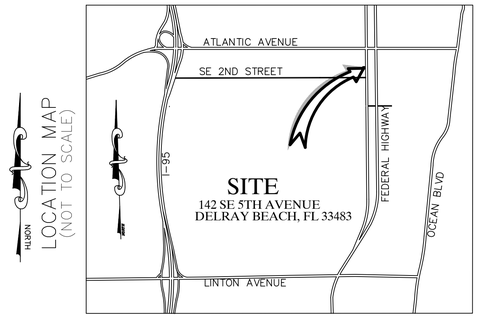
5TH AVENUE TOWNHOMES
DELRAY BEACH, FLORIDA 33483
FLORIDA
TREE PRESERVATION PLAN
DELRAY BEACH

DATE 10/22/23
DRAWN BY GAH
F.B./ PG. --
SCALE 1"=10'

SUBMITTED BY:
Digitally signed by Gaylord Allan Hendricks
Date: 2024.08.28 16:53:47 -04'00'
Adobe Acrobat version: 2024.003.20064
G. ALLAN HENDRICKS
LANDSCAPE ARCHITECT
No. LA6666974
STATE OF FLORIDA
-FOR THE FIRM-
DATE

JOB # 10577
SHT.NO.
TP-1
OF 1 SHEETS





PLANT KEY

	Quan.	Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance	
1 GROUNDCOVER	8	BRO	Alchmea Blanchetiana / Big Red Raspberry Bromeliad 20" o.a., min. FULL	VERY	
ACCENT	8	CAR	Crinum Asiaticum / Crinum Lily - RED 30" o.a., min. 2 plants per pot	VERY	
1 SHRUB	129	CH	Calusia Rosea / Calusia Hedge 36" ht. x 24" spr., 24" o.c.	VERY	
1 CANOPY	5	CO*	Quercus Virginiana / Cathedral Oaks 18' ht. x 8' spr., 8' c.t., 3" d.b.h.	VERY	STREET TREE
SHRUB	28	CVR	Codiaeum Variegatum / Croton 24" ht. x 18" spr., 24" o.c., red, SMALL leaf variety	MOD.	
SHRUB	13	DM	Duranta Repens / Goldmound 12" o.a., full, 15" o.c.	VERY	
PALM	8	DWF	Wodyetia Bifurcata / Foxtail Palm 12' -16' C.T. ht., double trunk, stagger hts. in group	VERY	
1 SHRUB	231	GIF	Ficus "Green Island" / Green Ficus 18" ht. x 12" spr., 24" o.c.	VERY	
CANOPY	2	JFT	Filicium Decipiens / Japanese Fern Tree 16' ht. x 7' spr., 8' C.T.	MOD.	
2 GROUNDCOVER	628	LM	Liriope Muscari "Evergreen Giant" / Lilyturf 12" o.a., full, 15" o.c.	VERY	
CANOPY	10	OG*	Cordia Sebestena / Orange Geiger 16' ht. x 7' spr., 8' C.T.	VERY	
1 SHRUB	85	PO	Podocarpus Gracilior / Fern Podocarpus 4' ht. 24" O.C., FULL	MOD.	
SHRUB	37	SA	Schefflera Arboricola "Trinette" / Dwarf Schefflera 18" ht. x 12" spr., 24" o.c.	-	
GROUNDCOVER	-	SOD	Stenotaphrum Secundatum / St. Augustine Grass Floratam or Palmetto solid sod	-	
SM. TREE	10	TE	Eugenia Topiary / Topiary 6' ht. 24" O.C., FULL SPIRAL SHAPE	MOD.	
PALM	14	VM	Veitchia Mcdanielsii / Sunshine Palm c.t. ht. as noted on plans, 20' O.A. MIN.	VERY	
PALM	1	VMD	Veitchia Mcdanielsii / Sunshine Palm (DOUBLE) c.t. ht. as noted on plans, 20' O.A. MIN.	VERY	
LARGE PALM	2	ZP	Phoenix Dactylifera / Zahidi Date Palm Clear trunk ht. as noted on plan, 17' O.A.	VERY	MITTIGATION

Drought tolerance is per "SFWMD Xeriscape Plant Guide"

* = Native to Florida

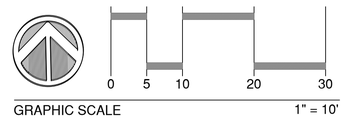
Abbreviations:
c.t. - clear trunk
d.h. - diameter at breast height
h.t. - height
o.a. - overall
o.c. - on-center spacing
spr. - spread

Landscape Tabulations

OFF STREET PARKING AREA CALCULATIONS
TOTAL 2,805 SQ.FT.
HARDSCAPE TOTAL 1,955 SQ.FT.

LANDSCAPE REQUIRED 562 SQ.FT.
LANDSCAPE PROVIDED 850 SQ.FT.

	PROVIDED
FRONT FACADE LANDSCAPE TOTAL = 960 SQ.FT.	
FRONT FOUNDATION LANDSCAPE AREA = 430 SQ.FT.	60 SHRUBS 10 ACCENT TREES
FRONT SETBACK LANDSCAPE AREA = 530 SQ.FT.	2 CANOPY TREES 4 Palms 2 LARGE Palms 65 SHRUBS 163 GROUND COVER
NORTH BUFFER LANDSCAPE BARRIER AREA = 490 SQ.FT.	Canopy Trees 5 Palms 6 (2) SOLID HEDGE
SOUTH BUFFER LANDSCAPE BARRIER AREA = 525 SQ.FT.	Canopy Trees 5 Palms 6 (2) SOLID HEDGE



EXISTING PLANT MATERIAL
SEE SURVEY AND TP-1 FOR LOCATIONS
AND MITIGATION / DISPOSITION

* Hedges must be allowed to attain height of 36 inches except where providing adequate and safe sight distance requires them to be maintained at a 30-inch height.

Call 48 hours before you dig
It's the law!
1-800-432-4770
sunshine state one call of florida, inc.

1	REVISED PER COMMENTS, ONLINE MEETING	06/30/24	GAH
	REVISED PER COMMENTS, APRIL 18, 2024	05/09/24	GAH
	REVISIONS	DATE	BY

FILE NAME 9992LAND

CAULFIELD & WHEELER, INC.
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5TH AVENUE TOWNHOMES
DELRAY BEACH, FLORIDA 33483

LANDSCAPE PLAN

DELRAY BEACH FLORIDA

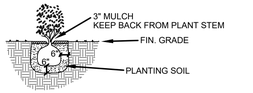
DATE 10/22/23
DRAWN BY GAH
F.B./ PG. --
SCALE 1"=10'

SUBMITTED BY-

G. ALLAN HENDRICKS
LANDSCAPE ARCHITECT
No. LA6666974
STATE OF FLORIDA
-FOR THE FIRM-
DATE

JOB # 10577
SHT.NO.
LP-1
OF 2 SHEETS

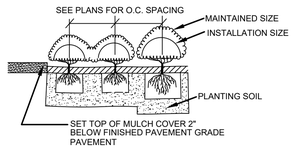
NOTE:
INSTALL PLANTS WITH ADEQUATE SETBACK TO ALLOW FOR MATURE GROWTH WITHOUT INTERFERENCE BETWEEN PLANT GROWTH TYPES, AND WITHOUT OVERLAPPING PAVEMENT, STRUCTURES, ETC.



SHRUB PLANTING DETAIL

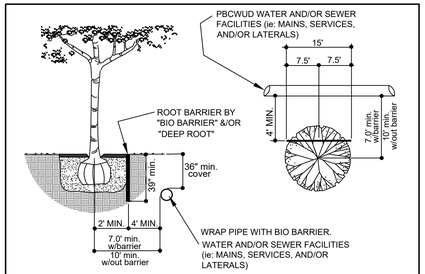
NOT TO SCALE

NOTES
1. INSTALL PLANTS WITH ADEQUATE SETBACK TO INSURE GROWTH WITHOUT INTERFERENCE BETWEEN PLANT GROWTH TYPES, AND WITHOUT OVERLAPPING PAVEMENT, STRUCTURES, ETC..
2. INSTALL PLANTS IN SHRUB MASSES USING TRIANGULAR SPACING UNLESS OTHERWISE NOTED.



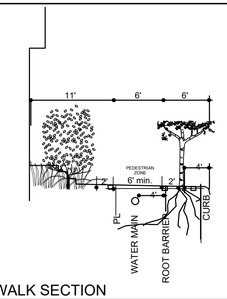
SHRUB SPACING

NOT TO SCALE



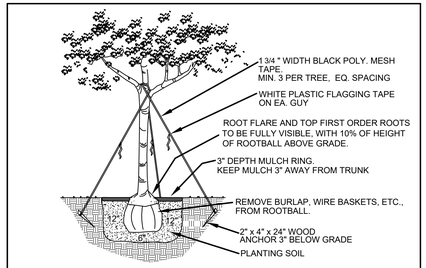
ROOT BARRIER DETAIL

NOT TO SCALE



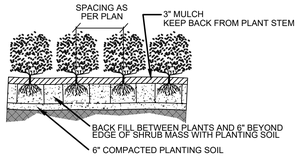
SIDEWALK SECTION

NOT TO SCALE



TREE PLANTING DETAIL

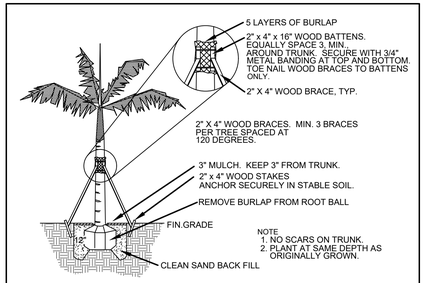
NOTE: MULTI-TRUNK TREE PLANTING SIMILAR N.T.S.



NOTE
PLANT AT SAME DEPTH AS ORIGINALLY GROWN

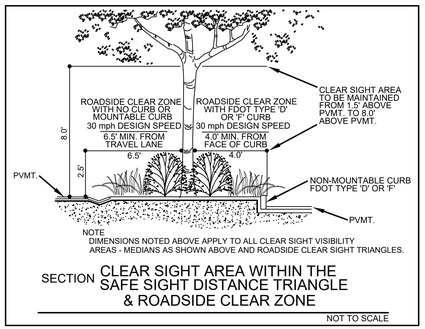
SHRUB MASS PLANTING

NOT TO SCALE



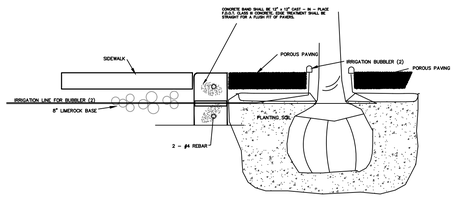
DATE PALM PLANTING DETAIL

NOT TO SCALE



SECTION CLEAR SIGHT AREA WITHIN THE SAFE SIGHT DISTANCE TRIANGLE & ROADSIDE CLEAR ZONE

NOT TO SCALE

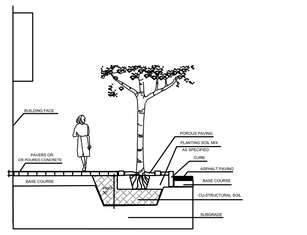


STREET TREE PLANTING DETAIL

BRACE TREES WITH WOOD, PAINTED FOREST GREEN. N.T.S.

Landscape & Root Barrier Note

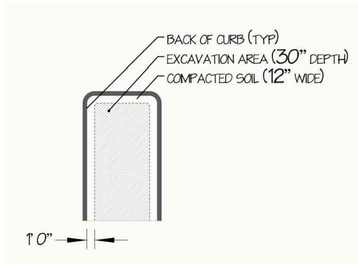
1. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
2. Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier Detail" for installation requirements.



CROSS SECTION OF TYPICAL TREE INSTALLATION INTO CU- STRUCTURAL SOIL.
NOTE: WHERE THE TREE PIT IS OPEN, TOPSOIL SHOULD BE PLACED AROUND THE TREE BALL. CU- STRUCTURAL SOIL SHOULD BE PLACED UNDER THE BALL TO PREVENT BALL SUBSIDENCE.

STRUCTURAL SOIL DETAIL

N.T.S.



EXCAVATION DETAIL

N.T.S.

Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of 30 inches below existing grade, except for a 12-inch buffer from the inside of curb or pavement (see diagram below). A suitable planting soil mixture of 50/50, 60/40 (sand/topsoil) or as otherwise indicated by the Registered Landscape Architect, shall either be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the 30-inch depth has been met. [Amd. Ord. 6-12 2/21/12]

LANDSCAPE NOTES

1. ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED BY CITY OF DELRAY BEACH LAND DEVELOPMENT REGULATIONS.
2. ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION.
3. ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR ACCEPTANCE.
4. LANDSCAPE SHALL BE PLACED TO EDGE OF ABUTTING STREETS, CANALS, LAKES OR OTHER LANDS.
5. ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION PUMP STATIONS AND EQUIPMENT, FPL TRANSFORMERS, POOL PUMPS, ETC. MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS.
   NOTE: THE QUANTITY OF SCREENING SHRUBS MAY BE IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY.
6. GUYING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC. TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANTED MATERIAL. TREES, PALMS AND PLANT MATERIAL WILL BE REJECTED DUE TO THIS PRACTICE.
7. BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC. MUST BE CUT AND REMOVED FOR THE TOP ONE-HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED ENTIRELY PRIOR TO PLANTING THE TREE OR SHRUB.
8. ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
9. ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTHS, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
10. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
11. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THIS PERMIT.
12. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST-FREE WATER, EXCEPT ANY PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 P.M. TO 8:00 A.M. ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
13. ALL PLANT MATERIAL AND WORK SHALL BE GUARANTEED FOR ONE-YEAR FROM FULLY EXECUTED SUBSTANTIAL COMPLEATION CERTIFICATE. DURING THE ONE YEAR GUARANTEE, ANY PLANT MATERIAL THAT DIES OR IS IN AN UNHEALTHY CONDITION SHALL BE REPLACED WITH THE SAME PLANT TYPE AT LEAST EQUAL TO THE SIZE AND QUALITY ORIGINALLY SPECIFIED. THE REPLACEMENT MATERIAL SHALL ALSO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ITS INSTALLATION. THE GUARANTEE WILL BE NULL AND VOID IF PLANT MATERIAL IS DAMAGED OR KILLED BY LIGHTNING, HURRICANE FORCE WINDS, HAIL OR FREEZE.
14. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THERE ARE NOT CONFLICTS WITH ABOVE OR BELOW GROUND UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY OWNER IF CONFLICTS EXIST.
15. ANY TREES TO REMAIN SHALL BE PRUNED IN SUCH A WAY TO PROMOTE PROPER HORTICULTURAL AND NATURAL TREE GROWTH.
16. ALL TREES AND PALMS SHALL BE PLACED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
17. GROUND COVERS SHALL BE SPACED AS NOTED OR TO INSURE GROUND COVER WITHIN 6 MONTHS OF PLANTING.
18. ALL EXISTING PLANTING BED SOILS SHALL BE REPLACED TO A DEPTH OF 30 INCHES.
19. MULCH SHALL BE EUCALYPTUS OR MELALEUCA MULCH. ALL TREES ARE TO HAVE A 30" RING COVERED WITH A 3" LAYER OF COMPACTED MULCH. ALL SHRUB BEDS WITH A 3" LAYER OF COMPACTED MULCH.
20. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH A TABLET FORM BALANCED FERTILIZER CONTAINING MINOR ELEMENTS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR RATES. SOD AREAS SHALL BE FERTILIZED WITH A GRANULAR FORM BALANCED FERTILIZER WITH MINOR ELEMENTS FOLLOWING MANUFACTURER'S RECOMMENDATIONS FOR RATES.
21. PLANTING SOIL SHALL BE A MIX OF 1/3 NATIVE SOIL , 1/3 CLEAN SAND & 1/3 PEAT. IF NATIVE SOIL IS UNACCEPTABLE, CONTACT LANDSCAPE ARCHITECT.
22. ALL LANDSCAPING SHALL BE INSTALLED IN A WORKMANLIKE MANNER, AND ACCORDING TO ACCEPTED GOOD PLANTING PROCEDURES WITH QUALITY PLANT MATERIALS AS HEREIN DESCRIBED.
23. ALL PROHIBITED PLANT SPECIES SHALL BE REMOVED FROM THE SITE.
24. ALL LANDSCAPE AREAS TO BE TREATED WITH PRE EMERGENT WEED CONTROL PRIOR TO MULCH INSTALLATION. ADDITIONAL WEED CONTROL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL SIGN OFF BY THE CITY OF DELRAY BEACH.

Porous Paving System
DESCRIPTION:
Cold applied, poured in place tree grate system that when hardened becomes a walkable surface that is porous up to a minimum of two gallons per second. Below are the standards required.

Cold applied, porous paving system designed to bind a selection of decorative aggregates, which provide a bonded, attractive and porous surface for tree pit. (ADDAPAVE TP or equivalent)

Resin-bound porous surfacing consists of aggregate, fully coated with two-part chemically curing, UV stable, flexible, crystal clear resin, hand finished by trowel. (ADDAPAVE TP or equivalent). No loose stones are acceptable. Resin must be crystal -clear in nature.

SURFACE PREPARATION:
Areas to be filled with the ADDAPAVE TP or equivalent system should be clean and dry with a minimum infill depth available of 6 inches. City of Fort Lauderdale designee must approve exceptions.
Excavated area to receive the system must be properly compacted.
Specially designed fabric with slow release capsules of non-penetrating weed control material shall be installed, as the first thing to go into excavated tree pit. This will prevent fine dirt particles from migrating to the surface, prevent weed growth and help deflect root growth away from the ADDAPAVE TP or equivalent.

Next a minimum of 4 inches of compactable sub-base material shall be placed and compacted followed by 3 inches of washed #57 or #67 aggregate should be applied to the base of the treated area to a depth of 3 inches (75mm) below the finished grade. Aggregates must be compacted to achieve a level/even finish.

Finally, ADDAPAVE TP or equivalent mixtures are added which consist of two aggregate size choices 6-10mm or 8-15mm. Each aggregate size and type must meet a specific mix design, which is dependant on the application. Mix designs take into account the final color desired and anticipated traffic / pedestrian usage.

Aggregates are double washed, dried, and bagged by weight to the specific weight required to meet the

The contents of container labeled Part B (Hardener) should be added to container labeled Part A (Resin) and thoroughly mixed together using a forced action mixer or similar for a minimum of 2 minutes. Refer to the Catalyst Guidance Table to determine the proper amount of catalyst which must be added to the combined mixture of Part A and B. Mix for an additional 1 minute after the addition of the catalyst.
The pre weighed bags of aggregate should be placed in the suitable mechanical mixer just prior to the addition of the ADDAPAVE TP or equivalent resin. The mixed ADDAPAVE TP or equivalent resin should be immediately added to the pre-mixed aggregate in a suitable mechanical mixer. Mix for 1 minute then discharge into a suitable wheelbarrow and move immediately to the point of application.
Mixing equipment shall be a pan style mortar mixer of ample size to place pre-measured aggregates and resin. Mixer shall have ample power to thoroughly blend aggregates and resin into homogonous mixture within 1 minute.
The mixture should be spread evenly across the prepared surface at the required depth. The surface should then be hand toweled using sufficient downward pressure to compact and provide for a smooth finish.
Lightly broadcast clear crushed glass grit grade 300 onto the finished surface to provide increased skid resistance.

APPLICATION TEMPERATURE:
Recommended temperature of application should be between 40°F and 85°F

Maintenance Note

Any portion of a tree or palm that overhangs a travel lane shall be maintained with a min. 13'6" vertical clearance.

CU-Structural Soil
DESCRIPTION:
The structural soil material is designed as follows. The three components of the structural soil are mixed in the following proportions by weight, crushed stone: 100; clay loam: 20; hydrogel: 0.03. Total moisture at mixing should be 10% (AASHTO T-99 optimum moisture).

Crushed stone (granite or limestone) should be narrowly graded from 3/4 -1 1/2 inch, highly angular with no fines. The clay loam should conform to the USDA soil classification system (gravel <5%, sand 25-30%, silt 20-40%, clay 25-40%). Organic matter should range between 2% and 5%. The hydrogel, a potassium propenoate-propenamide copolymer is added in a small amount to act as a tackifier, preventing separation of the stone and soil during mixing and installation. Mixing can be done on a paved surface using front end loaders. Typically the stone is spread in a layer, the dry hydrogel is spread evenly on top and the screened moist loam is the top layer. The entire pile is turned and mixed until a uniform blend is produced. The structural soil is then installed and compacted in 6 inch lifts.

In a street tree installation of such a structural soil, the potential rooting zone could extend from building face to curb, running the entire length of the street. This would ensure an adequate volume of soil to meet the long term needs of the tree. Where this entire excavation is not feasible, a trench, running continuous and parallel to the curb, eight feet wide and three feet deep would be minimally adequate for continuous street tree planting.

There will be a need to ensure moisture recharge and free gas exchange throughout the root zone. The challenge may be met by the installation of a three dimensional geo-composite (a geo-grid wrapped in textile one inch thick by eight inches wide) which could be laid above the structural soil as spokes radiating from the trunk flair opening. This is currently in the testing stage. Other pervious surface treatments could also provide additional moisture recharge, as could traditional irrigation.

		DATE	BY
		REVISIONS	
		FILE NAME 9992LAND	

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5TH AVENUE TOWNHOMES
DELRAY BEACH, FLORIDA 33483
FLORIDA
LANDSCAPE DETAILS
DELRAY BEACH

DATE	10/23/23
DRAWN BY	GAH
F.B./ PG.	--
SCALE	NA

SUBMITTED BY-

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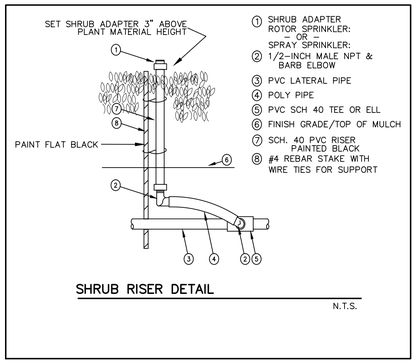
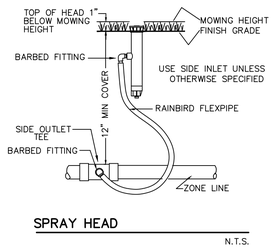
LP-2
OF 2 SHEETS



SHRUB RISER DETAIL

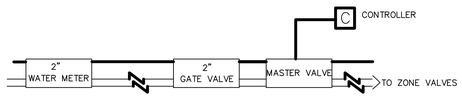
N.T.S.



SPRAY HEAD

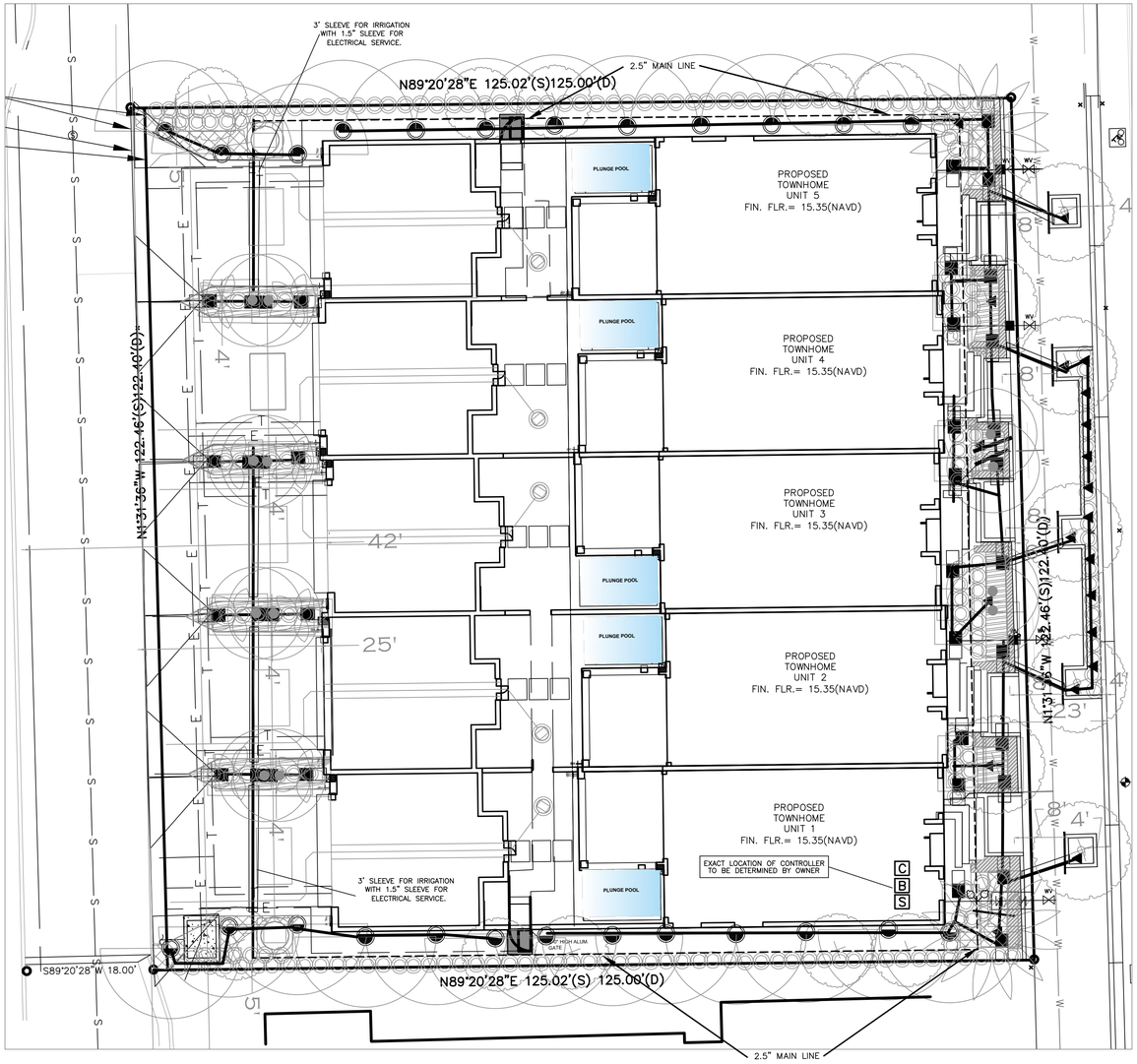
N.T.S.

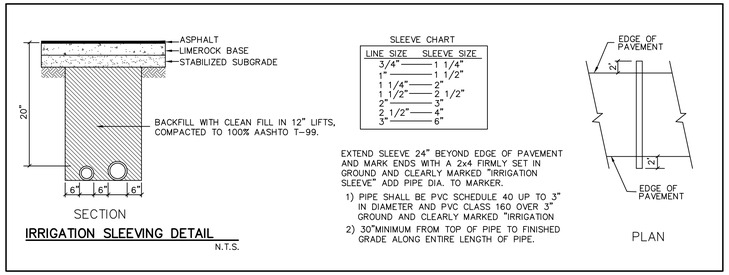
NOTE
ANY ABOVE GROUND PIPES SHALL BE GALVANIZED



SCHEMATIC SOURCE DETAIL.

N.T.S.





SECTION

IRRIGATION SLEEVING DETAIL

N.T.S.

SLEEVE CHART

LINE SIZE	SLEEVE SIZE
3/4"	1 1/4"
1"	1 1/2"
1 1/4"	2"
1 1/2"	2 1/2"
2"	3"
2 1/2"	4"
3"	6"

EXTEND SLEEVE 24" BEYOND EDGE OF PAVEMENT AND MARK ENDS WITH A 2x4 FIRMLY SET IN GROUND AND CLEARLY MARKED "IRRIGATION SLEEVE" ADD PIPE DIA. TO MARKER.

1) PIPE SHALL BE PVC SCHEDULE 40 UP TO 3" IN DIAMETER AND PVC CLASS 160 OVER 3" GROUND AND CLEARLY MARKED "IRRIGATION
2) 30"MINIMUM FROM TOP OF PIPE TO FINISHED GRADE ALONG ENTIRE LENGTH OF PIPE.

PLAN

ZONE LINE / SLEEVE SIZING CHART

GALLONS/MINUTE	PIPE SIZE	SLEEVE SIZE
TO 10	3/4"	1 1/4"
11-16	1"	1 1/2"
17-26	1 1/4"	2"
27-35	1 1/2"	2 1/2"
36-55	2"	3"

*NOTE: ALL FIGURES ABOVE ARE RELATED TO SCHEDULE 40 IPS PURPLE PLASTIC PIPE, AND A MAXIMUM VELOCITY OF 5 FEET PER SECOND.

VALVE / ZONE SCHEDULE

VALVE	ZONE TYPE	APPROX. GPM
1	SPRAY	35
2	SPRAY	32
3	SPRAY	37
4	SPRAY	32
5	SPRAY	39

IRRIGATION KEY

MARK	ARC*	SPRAY HEAD / STANDARD TRAJECTORY*	PSI	GPM
▲	F	RAINBIRD 5F-B BUBBLER	25	1.5
◔	Q	RAINBIRD 15 SERIES MPR	25	0.82
◑	H	RAINBIRD 15 SERIES MPR	25	1.65
◕	TQ	RAINBIRD 15 SERIES MPR	25	2.48
●	F	RAINBIRD 15 SERIES MPR	25	3.30
▭	F	RAINBIRD 15 SERIES END STRIP	25	0.56
▭	F	RAINBIRD 15 SERIES SIDE STRIP	25	1.11

C	RAINBIRD RC-C 6 STATION ELECTRO MECHANICAL CONTROLLER COORDINATE LOCATION WITH CONTRACTOR

◔ SHOWN FOR CLARITY, ALL ZONE VALVES LOCATED AT CONTROLLER

S ADD RAINBIRD MODEL RSD-BEx RAIN SHUT-OFF DEVICE

B ADD Febco 765 PVB Backflow Preventer FPT | FE765-200 OR LIKE KIND.

*NOTES

1. THE IRRIGATION PLAN IS SCHEMETIC. IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE WITH A MIN. 75% OVERLAP. HEADS SHALL BE PLACED TO MINIMIZE OVERSPRAY ON BUILDINGS AND PAVEMENT.
2. SOME ADJUSTMENT TO THE SPRAY HEADS NOTED ABOVE MAY BE REQUIRED.
3. SPRAY HEADS IN SHRUB AREAS THAT ARE ADJACENT TO WALKS SHALL BE RAINBIRD 15 SERIES 12" POP-UPS
4. SPRAY HEADS IN OTHER SHRUB AREAS SHALL BE ON A RISER WITH SHRUB ADAPTER AS NOTED IN THE DETAIL BELOW.
5. SPRAY HEADS IN GRASS AREAS SHALL BE RAINBIRD 15 SERIES 6" POP-UPS.

BY	DATE	REVISIONS
GAH	08/26/24	⚠1 REVISED PER SITE PLAN ADJUSTMENTS

FILE NAME 9992LAND

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE SURVEYING
7900 GLADES ROAD, SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

5TH AVENUE TOWNHOMES

DELRAY BEACH, FLORIDA 33483

IRRIGATION PLAN

DELRAY BEACH FLORIDA

DATE 10/22/23
DRAWN BY GAH
F.B./ PG. --
SCALE 1"=10'

SUBMITTED BY-

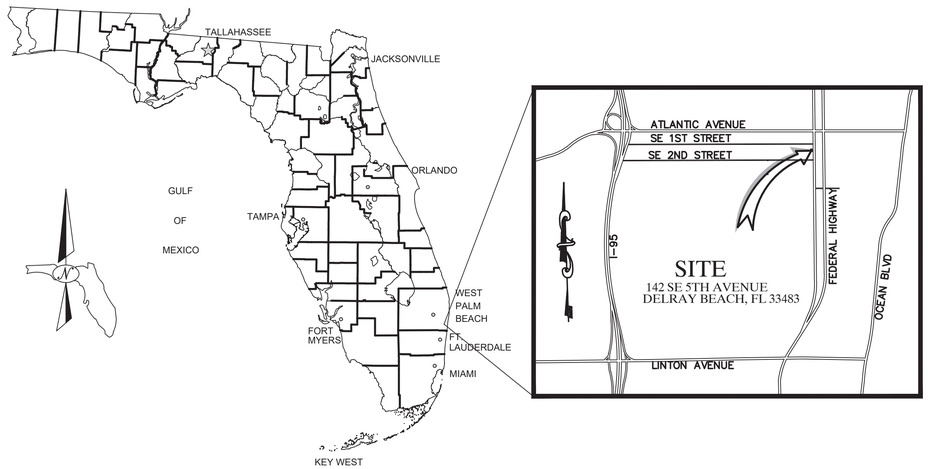
G. ALLAN HENDRICKS
LANDSCAPE ARCHITECT
No. LA6666974
STATE OF FLORIDA
-FOR THE FIRM-

DATE

JOB # 10577
SHT.NO.
IR-1
OF 1 SHEETS

FIFTH AVENUE TOWNHOMES

142 SE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483
PROPOSED TOWNHOMES
CIVIL SITE PLAN PACKAGE



SHEET	DESCRIPTION
CS	Cover Sheet
PP-1	Pollution Prevention Plan
PD-1	General Notes Plan
PD-1A	Demolition Plan
PD-2	Paving & Grading Plan
PD-2A	Drainage Plan
PD-3	Pavement, Marking & Signage Plan
PD-4 to PD-6	Paving & Grading & Drainage Details
WS-1	Water Distribution, Sanitary Sewer and Utility Plan
WS-2,WS-3	Water Distribution, & Sanitary Sewer Details
WS-4	Composite Utility Plan

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH

FILE NAME: 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING - SURVEYING
LANDSCAPE ARCHITECTURE
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

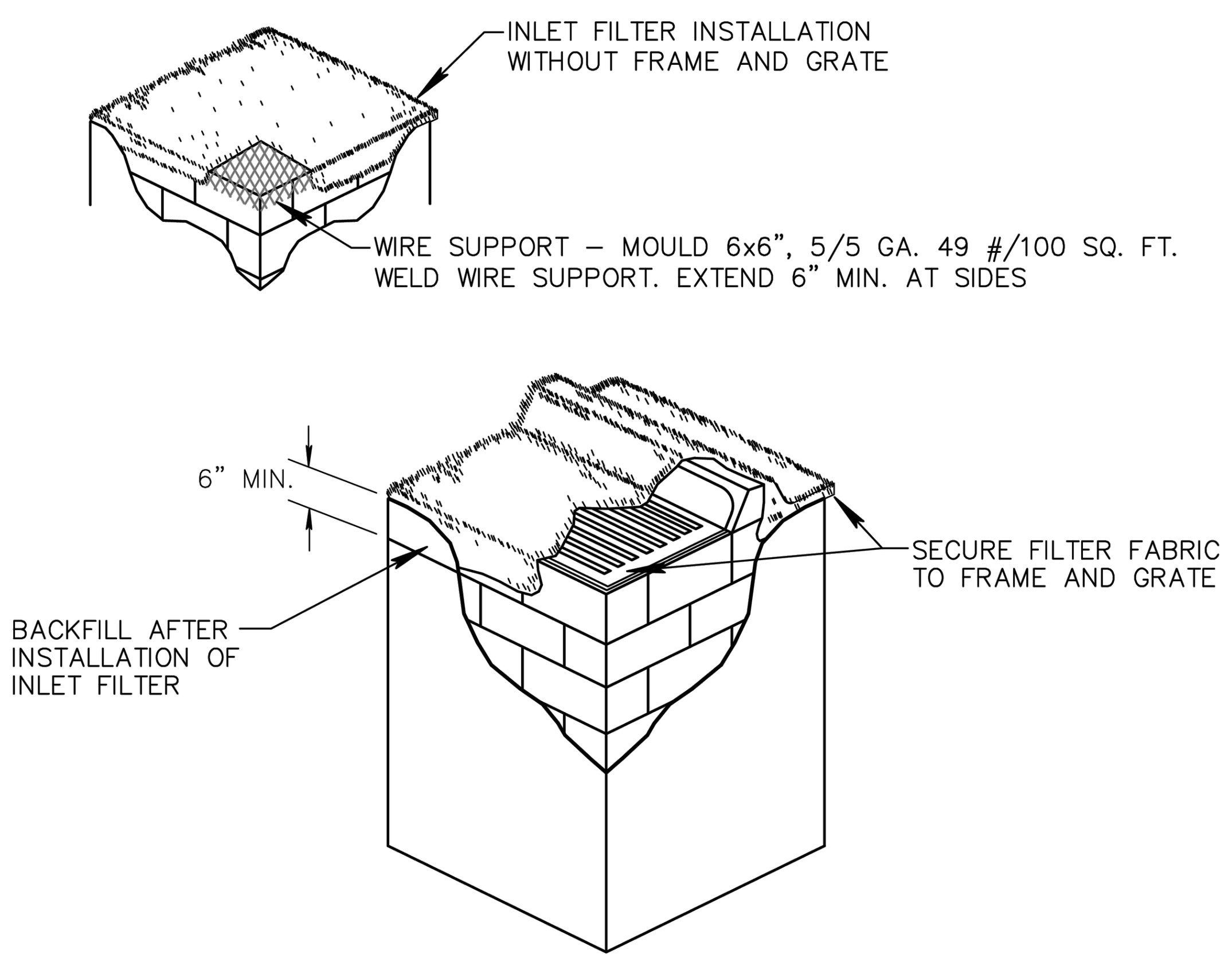
FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
COVER SHEET
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE NTS

Originally signed by Matthew V. Kahn
Date: 2024.09.05 14:53:14 -04'00'
Adobe Acrobat version: 2024.002.20687

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
CS
OF 14 SHEETS



NOT TO SCALE

NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

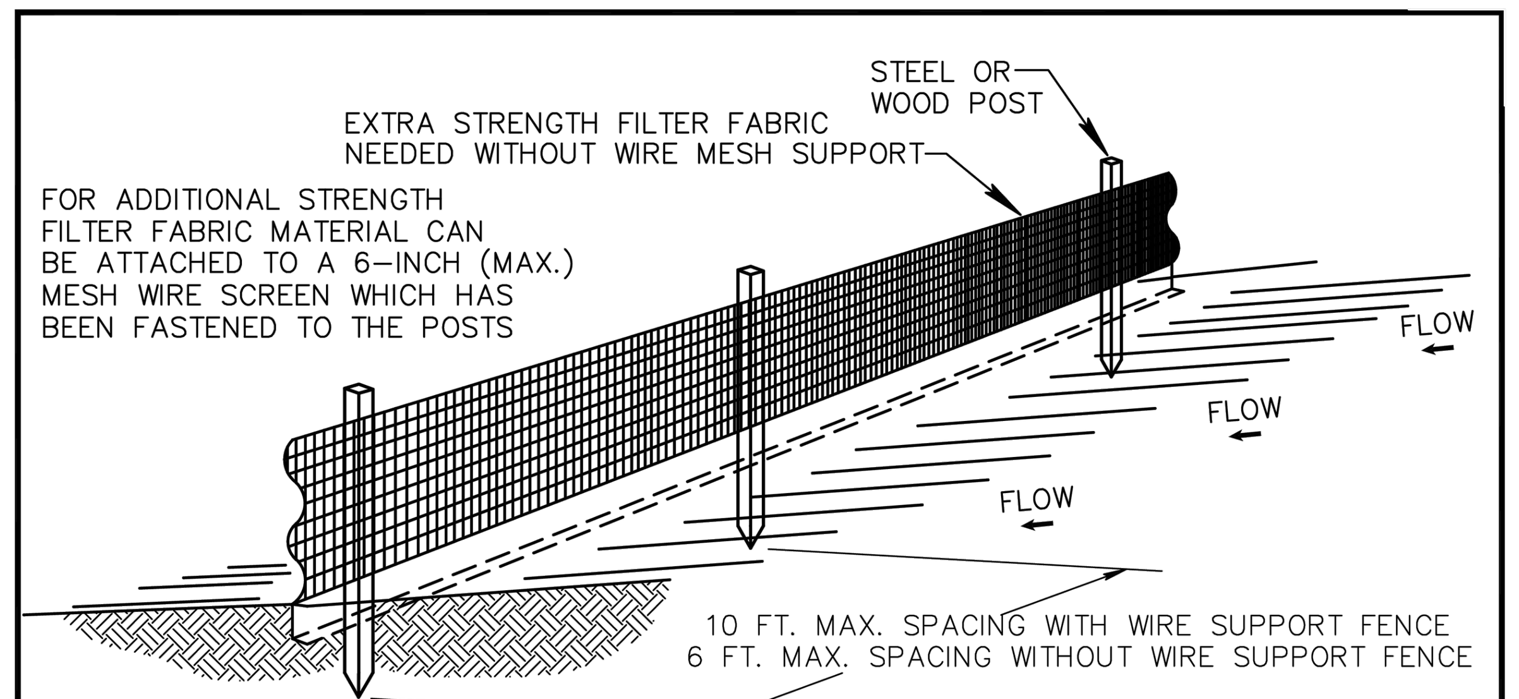
A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	INLET FILTER DETAIL	DATE: 09–15–2021 D10.0

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

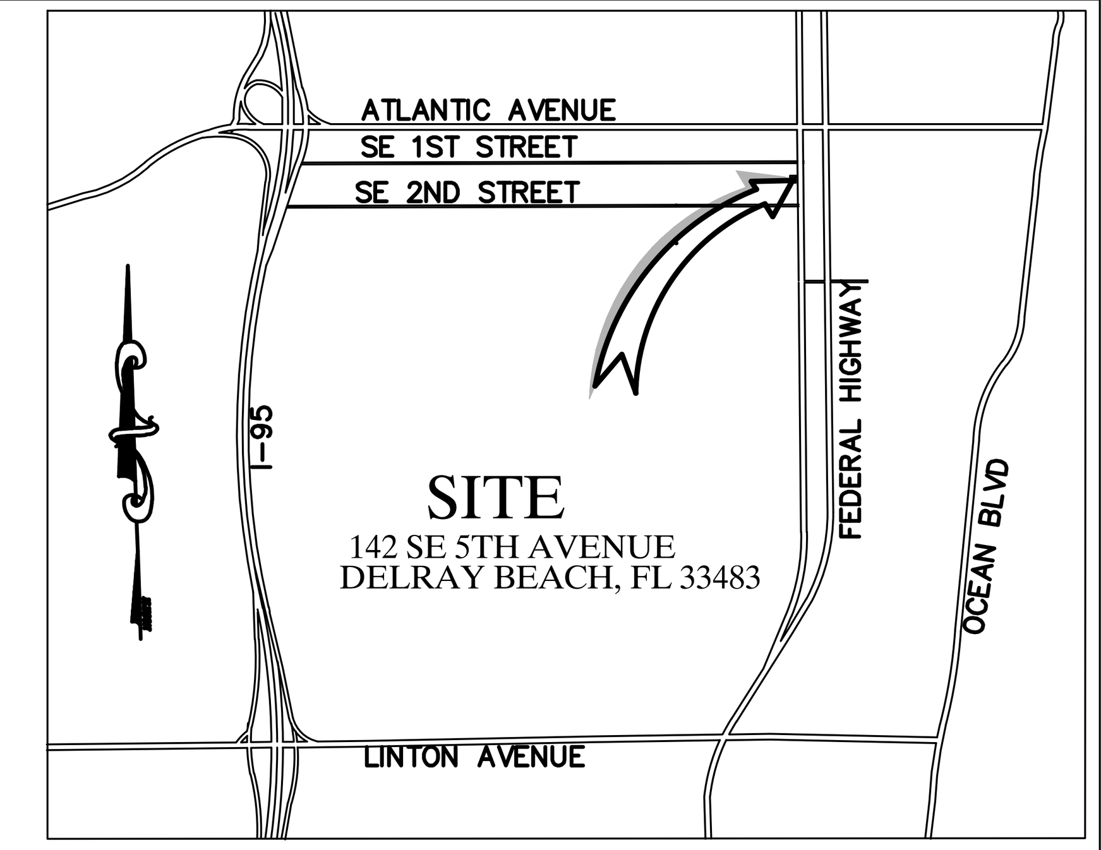
CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	EROSION CONTROL NOTES DETAIL	DATE: 09–15–2021 D 11.0



NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

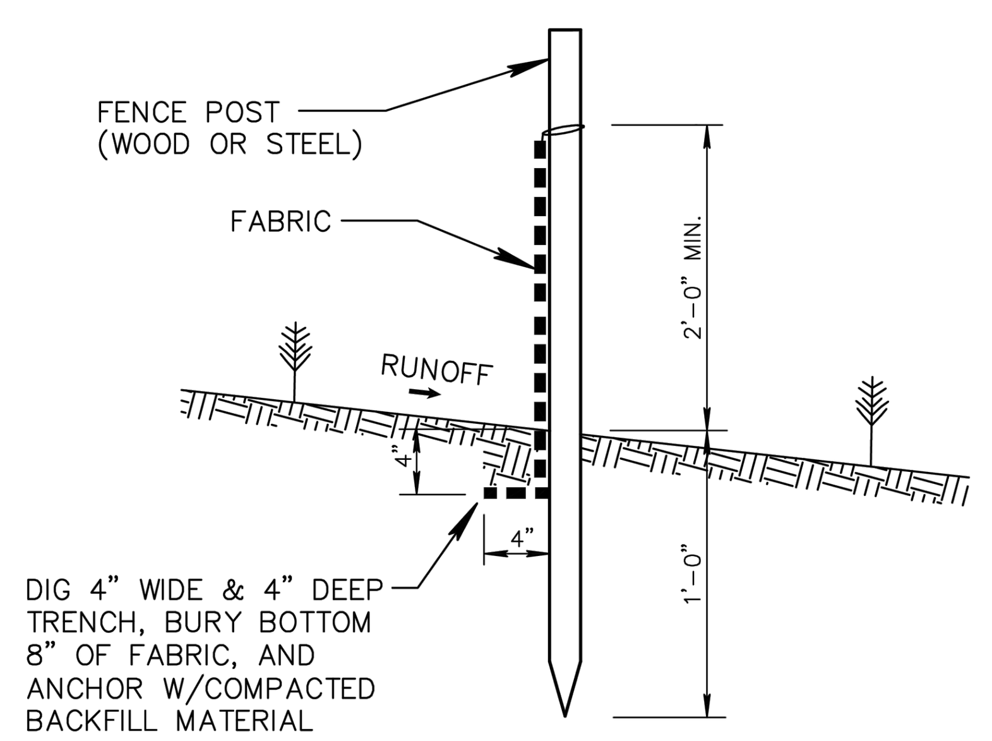
CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	SILT FENCE INSTALLATION DETAIL (SHEET 1 of 2)	DATE: 09–15–2021 D12.0



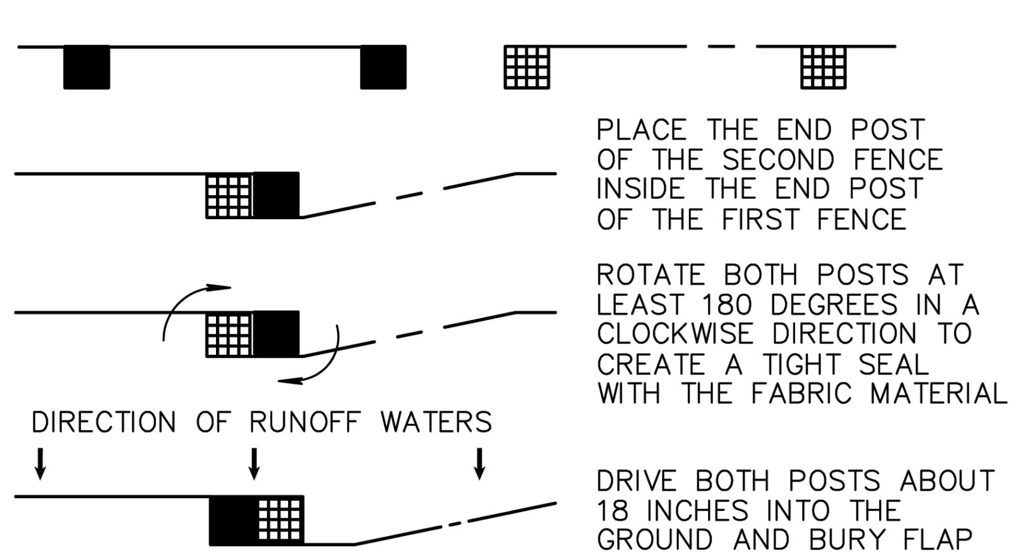
LEGEND

▬	BOUNDARY OF POLLUTION PREVENTION (SLIT FENCE OR HAY BALES PER F..D.O.T. INDEX 103)
●	INLET FILTER (REQUIRED FOR ALL INLETS DOWNSTREAM OF DISTURBED AREAS)

Call 48 hours before you dig
It's the Law! 1-800-432-4770
Sunshine State One Call of Florida, Inc.

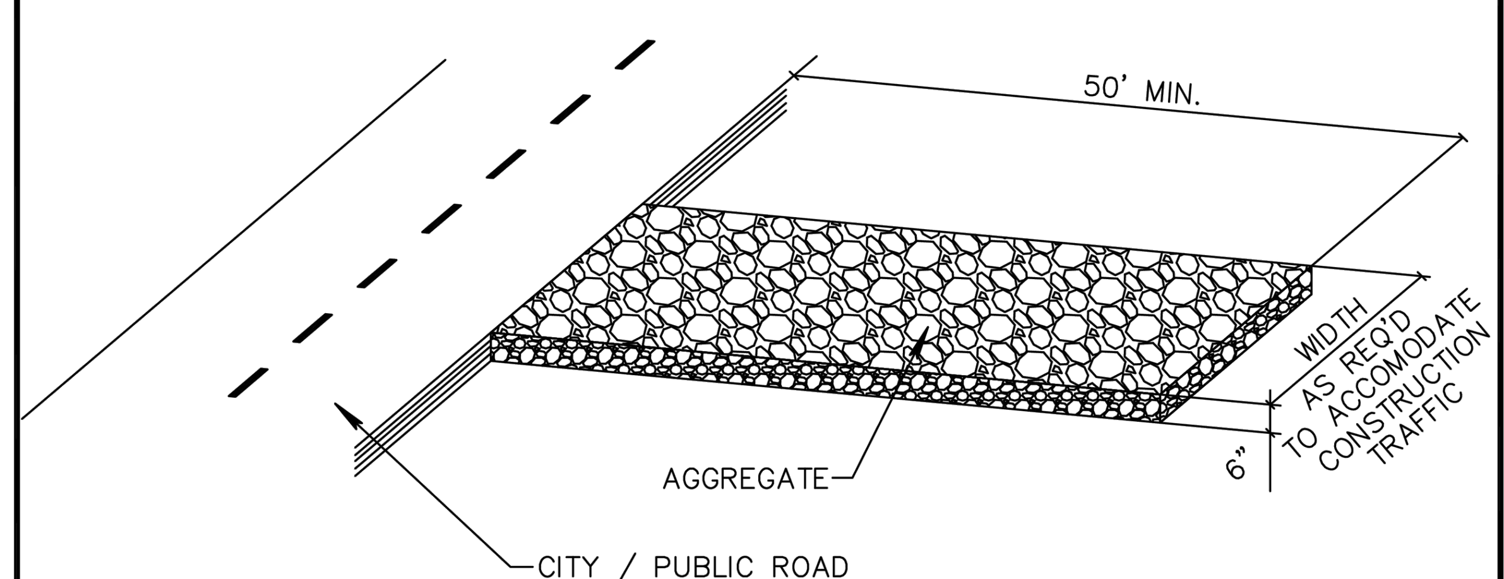


SILT FENCE SECTION
NOT TO SCALE



ATTACHING TWO SILT FENCES
NOT TO SCALE

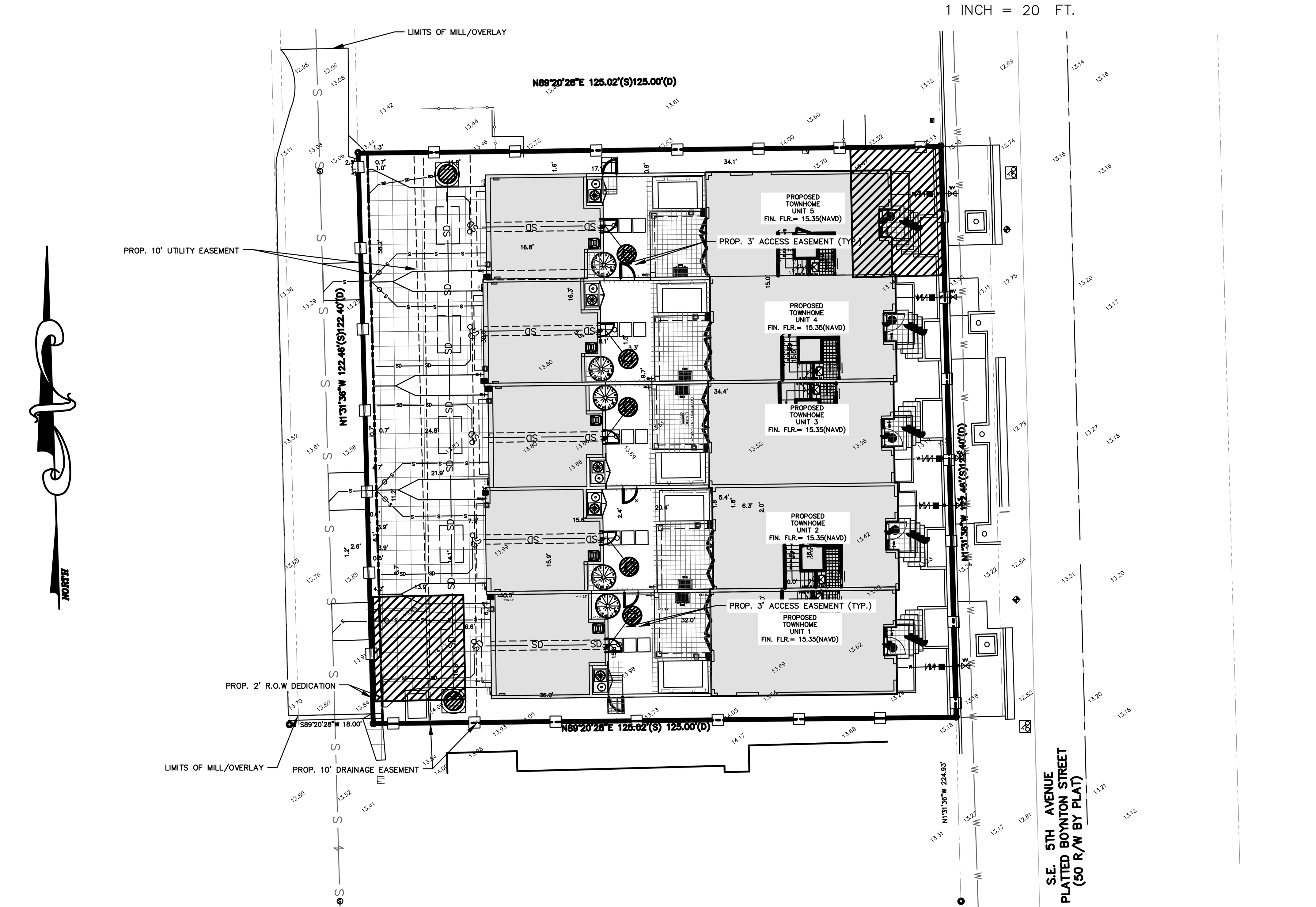
CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	SILT FENCE INSTALLATION DETAIL (SHEET 2 OF 2)	DATE: 09–15–2021 D 12.1



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6–INCHES THINK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	STABILIZED CONSTRUCTION ENTRANCE DETAIL	DATE: 09–15–2021 D 13.0

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 20 FT.



POLLUTION PREVENTION DETAIL

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH

FILE NAME 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE – SURVEYING
7900 GLADES ROAD – SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)–392–1991 / FAX (561)–750–1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED
POLLUTION PREVENTION PLAN AND DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	1"= 20'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT.NO.
PP–1
OF 14 SHEETS

Drawing: P:\10577–00–00–00\drawings\eng\plans\10577ENG.dwg\SHT_PP–01

GENERAL NOTES
PAVING, GRADING & DRAINAGE

1. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE SCALED DISTANCES. THE CONTRACTOR SHALL CONFIRM ALL MEASUREMENTS IN THE FIELD AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY PRIOR TO PERFORMING THE WORK. ALL QUANTITIES SHALL BE PAID ON THE BASIS OF FIELD MEASUREMENTS OF COMPLETED WORK.
2. REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS SPECIFICATIONS SEC. 941. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS SPECIFICATIONS SEC. 945.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SUCH EXAMINATION OF THE SITE OF THE WORK, AND OF ANY MATERIAL SOURCES INDICATED IN THE PLANS, AS MAY BE NECESSARY TO INFORM HIMSELF OF THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED.
4. PROPOSED GRADES SHOWN IN PAVED AREAS REFER TO FINISH PAVEMENT GRADES.
5. PAVEMENT MARKING AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND PALM BEACH COUNTY TYPICAL NO. T-P-17.
6. ALL LOTS, ROADWAYS AND BORROW AREAS SHALL BE STRIPPED OF ALL DELETERIOUS (UNSUITABLE) MATERIALS AND MATERIALS SHALL BE DISPOSED WITHIN THE SITE.
7. ALL GRADING OF STREETS, INCLUDING THE REMOVAL OF ALL MATERIALS AND THE FINISHING OF ALL SHOULDERS, SUBGRADE PREPARATION, SWALES AND BACKSLOPES, IN ACCORDANCE WITH THE TYPICAL SECTIONS SHOWN HEREON SHALL BE INCLUDED IN THE BID PRICE FOR PAVING.
8. ANY EXISTING ROADWAY AND/OR UTILITY THAT IS DAMAGED BY THE CONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER, AND UTILITY.
9. THE FULL DEPTH OF ALL EXISTING ORGANIC AND DELETERIOUS MATERIALS WITHIN THE RIGHT -OF- WAY AND UTILITIES AND DRAINAGE EASEMENT SHALL BE COMPLETE REMOVED. NO MATERIALS OF F.D.O.T. CLASS A-5, A-7, OR A-8 SHALL BE ALLOWED.
10. ANY MUCK POCKETS OR GUMBO ENCOUNTERED SHALL BE REMOVED WITHIN THE ROADWAY TO 1.0' BELOW SUBGRADE AND TO OUTSIDE EDGE OF BOTH SHOULDERS.
11. ALL PAVING AND DRAINAGE WORK TO BE CONSTRUCTED IN FULL ACCORDANCE WITH PALM BEACH COUNTY STANDARDS AND SPECIFICATIONS.
12. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT WILL BE BENEATH THE PAVEMENT CURRENTLY TO BE CONSTRUCTED SHALL BE INSTALLED PRIOR TO THE COMPACTION OF SUBGRADE.
13. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND COUNTY ON ALL PIPE, PIPE BANDS, DRAINAGE STRUCTURES, GRATES, FRAMES AND COVERS.
14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UTILITIES WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS AND SHALL VERIFY ALL ELEVATIONS BEFORE STARTING CONSTRUCTION. ALL EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO EXISTING OR BETTER CONDITIONS BY CONTRACTOR AT NO EXPENSE TO OWNER.
15. WHERE CONNECTIONS TO AN EXISTING DRAINAGE SYSTEM ARE PROPOSED, SAID EXISTING DRAINAGE STRUCTURES AND LINES SHALL BE PURGED OF ALL SILT AND DEBRIS PRIOR TO SAID CONNECTION, AND WHERE EXISTING DRAINAGE SYSTEM INCLUDES DITCHES, SAID DITCHES SHALL BE CLEARED AND REWORKED, AS NECESSARY, TO RESTORE THEM TO THEIR APPROVED DESIGN SECTION.
16. ALL PIPE JOINTS ARE TO BE INSPECTED BY A REPRESENTATIVE OF THE ENGINEER PRIOR TO BACKFILLING. ALL INSPECTIONS SHOULD BE ARRANGED NO LESS THAN 48 HOURS IN ADVANCE.
17. ALL CATCH BASIN GRATES MUST HAVE LOCKING CHAINS IN ACCORDANCE WITH FDOT INDEX 201.

CLEARING AND GRUBBING:

18. WORK SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL BUILDINGS, TIMBER, BRUSH, STUMPS, ROOTS, RUBBISH, AND DEBRIS AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND AND THE SURFACE OF EXCAVATED AREAS, AND OF ALL OTHER STRUCTURES AND OBSTRUCTIONS NECESSARY TO BE REMOVED, INCLUDING SEPTIC TANKS, BUILDING FOUNDATIONS, AND PIPES.
19. ROOTS AND OTHER DEBRIS SHALL BE REMOVED TO A DEPTH OF AT LEAST ONE FOOT BELOW THE GROUND SURFACE. ALL STUMPS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY REMOVED AND DISPOSED OF BY THE CONTRACTOR.
20. EXISTING TREES TO REMAIN WHERE SO DIRECTED BY THE ENGINEER, SHALL BE TRIMMED, PROTECTED AND LEFT STANDING.
21. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, POSTS, BRIDGES, ETC. ARE TO BE CAREFULLY PROTECTED FROM INJURY AND ARE NOT TO BE DISPLACED.
22. CLEARING AND GRUBBING MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR IN LOCATIONS AND BY METHODS APPROVED BY THE ENGINEER.

SUBGRADE:

23. UTILIZATION OF MATERIAL IN SUBGRADE CONSTRUCTION SHALL BE IN ACCORDANCE WITH PLAN DETAILS OR AS DIRECTED BY THE ENGINEER.
24. A PROCTOR TEST SHALL BE PERFORMED ON THE PROPOSED SUBGRADE MATERIAL TO DETERMINE THE OPTIMUM MOISTURE CONTENT AND MAXIMUM DENSITY OF THE MATERIAL. IN-PLACE DENSITY TESTS OF THE FINISH SUBGRADE SHALL BE PERFORMED AT A FREQUENCY OF AT LEAST ONE TEST FOR EVERY 7,000 SQ.FT. OF PORPOSED PAVEMENT AREA TO DETERMINE COMPLIANCE WITH THE DESIGN SPECIFICATIONS OF 100% OF MAX. DENSITY PER AASHTO T-99 TESTING METHODS.
25. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40. THE COMPACTED SUBGRADE SHALL CONFORM TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN ON THE PLANS. ALL ROOTS, STUMPS, OR OBJECTIONABLE MATERIAL PRESENT ON, UNDER, OR PROTRUDING THROUGH THE SURFACE SHALL BE COMPLETELY REMOVED FROM THE SUBGRADE. THE FINISHED SURFACE OF THE SUBGRADE SHALL BE STRING-LINED PRIOR TO PLACEMENT OF ROCK BASE TO VERIFY THAT THE SUBGRADE HAS BEEN CONSTRUCTED TO THE PROPER LINES, CROSS-SECTIONS, AND ELEVATIONS WITHIN AN ALLOWABLE TOLERANCE OF 1/2" OF THE PROPOSED FINISH SUBGRADE ELEVATIONS.

PBC ROAD AND BRIDGE STANDARD NOTES:

1. IF DURING THE PROPOSED CONSTRUCTION/CROSSING ANY EXISTING PB COUNTY STORM DRAIN PIPE/STRUCTURES ARE AFFECTED IN ANY WAY PB COUNTY R&B REQUIRES FULL RESTORATION OF THE AFFECTED SYSTEM TO LIKE OR BETTER THEN LIKE CONDITION AND TO PB COUNTY/FDOT STANDARDS.
2. ALL AFFECTED ROADWAYS ARE TO BE RESTORED FROM EOP TO EOP, LANE WIDTH MIN, AND 50' IN EITHER DIRECTION.(THOROUGHFARE) AND 25' MIN. RESTORATION (NON-THOROUGHFARE).
3. IF ANY ADDITIONAL LANES ARE AFFECTED FOR ANY REASON DURING CONSTRUCTION, PB COUNTY R&B WILL REQUIRE THE ADDITIONAL LANES BE RESTORED TO LIKE OR BETTER THEN LIKE CONDITION AND TO EQUAL DIMENSIONS AS THE ADJACENT LANES.
4. IF PB COUNTY SIDEWALK / PATHWAY / C&G / AND OR ADA FACILITIES ARE AFFECTED PB COUNTY R&B WILL REQUIRE RESTORATION OF A MINIMUM OF 10' AND TO BE LIKE OR BETTER THEN LIKE CONDITION PER / FDOT / PB COUNTY STANDARDS.
5. SIDEWALKS WILL BE RESTORED BY REPLACING: TWO FLAGS IF THE POINT OF CONSTRUCTION IS LOCATED AT A CONTROL JOINT AND THREE FLAGS IF THE POINT OF CONSTRUCTION IS LOCATED BETWEEN CONTROL JOINTS. NO PARTIAL JOINTS ACCEPTED. (PER SITUATION)

PBC TRAFFIC STANDARD NOTES:

1. CONTACT HAROLD REED AT 561 681-4326 BEFORE STARTING CONSTRUCTION PBC-TRAFFIC ITS WILL REMOVE FIBER OPTIC CABLES FROM UNDERGROUND AND OVERHEAD FACILITIES PRIOR CONSTRUCTION. PLEASE PROVIDE 2 WEEKS ADVANCE NOTICE TO REMOVE FIBER OPTIC CABLE.
2. CONTRACTOR SHALL CONTACT PALM BEACH COUNTY TRAFFIC OPERATIONS AT 561-233-3900 FORTY-EIGHT(48) HOURS PRIOR TO CONSTRUCTION IF WORK IS BEING DONE WITHIN 10 FEET OF ANY SIGNAL EQUIPMENT.
3. DAMAGES TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION AT NO COST TO PALM BEACH COUNTY.
4. NO EXCAVATION AROUND PBC SIGNAL POLES WITHIN 6 FT. RADIUS FROM CENTER OF POLE. PLEASE SEE PBC SIGNAL TYPICAL PAGE T-5.3 (SHEET 8 OF 23).

BASE:

26. LIMEROCK COMPOSITION - THE FOLLOWING TESTS ARE REQUIRED ON THE LIMEROCK MATERIAL:
    A. CHEMICAL COMPOSITION TEST TO DETERMINE THAT MATERIAL HAS A MINIMUM PERCENT CARBONATES OF 60%.
    B. LIMEROCK BEARING RATIO TEST TO DETERMINE THAT MATERIAL CAN ACHIEVE AN LBR OF 100.
    C. SIEVE ANALYSIS TO INSURE THAT AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 3-1/2" SIEVE AND MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST. THE FINE MATERIAL SHALL CONSIST ENTIRELY OF DUST OF FRACTURE. ALL CRUSHING OR BREAK-UP WHICH MIGHT BE NECESSARY IN ORDER TO MEET SUCH SIZE REQUIREMENTS SHALL BE DONE BEFORE THE MATERIAL IS PLACED ON THE ROAD.
26. A PROCTOR TEST SHALL BE PERFORMED ON THE PROPOSED LIMEROCK MATERIAL TO DETERMINE THE MAXIMUM DENSITY OF THE MATERIAL. IN-PLACE DENSITY TESTS SHALL BE TAKEN AT A FREQUENCY OF AT LEAST ONE TEST FOR EVERY 7,000 SQ.FT. OF PROPOSED PAVEMENT TO DETERMINE COMPLIANCE WITH THE DESIGN SPECIFICATIONS OF 98% OF MAX. DENSITY PER AASHTO T-180 TESTING METHODS.
27. THE COMPACTED BASE SHALL CONFORM TO THE LINES, GRADES, AND CROSS-SECTION SHOWN ON THE PLANS. THE FINISH BASE SURFACE SHALL BE STRINGLINED OR CHECKED WITH A TEMPLATE TO VERIFY CONFORMANCE WITH THE PLAN GRADES WITHIN AN ALLOWABLE TOLERANCE OF 1/4" OF THE PROPOSED BASE ELEVATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.

ASPHALTIC CONCRETE SURFACE COURSE:

28. TACK COAT
    A. PRIOR TO INSTALLATION OF THE OVERLAY, THE SURFACE OF THE EXISTING ASPHALT SHALL BE BROOMED TO REMOVE ALL LOOSE MATERIAL WHICH MIGHT INTERFERE WITH THE ADHESION OF THE EXISTING ASPHALT AND OVERLAY.
    B. A TACK COAT SHALL BE APPLIED TO THE TOP OF THE CLEAN ASPHALT SURFACE AT A RATE OF 0.10 GALLONS/SQ.FT. IN THE PRESENCE OF THE ENGINEER'S REPRESENTATIVE.
29. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTION 300-1 THROUGH 300-7 OF F.D.O.T. STANDARDS SPECIFICATIONS.
30. ASPHALTIC CONCRETE SHALL CONFORM TO FLORIDA D.O.T. REQUIREMENTS OF TYPE S-1 AND S-3. CERTIFICATIONS OF THE ASPHALT MIX SHALL BE SUBMITTED BY THE ASPHALT PLANT TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
31. THE TEMPERATURE OF THE ASPHALT SHALL BE AT LEAST 230 DEGREES F. DURING THE LAYING OPERATION.
32. THE THICKNESS OF THE FINISHED SURFACE COURSE SHALL BE CHECKED AT VARIOUS INTERVALS TO INSURE THE CONSTRUCTED SURFACE COURSE IS WITHIN 1/8" OF THE DESIGN THICKNESS (NO NEGATIVE TOLERANCE WILL BE ACCEPTABLE).
33. THE FINISHED SURFACE OF THE ASPHALT SHALL BE CHECKED WITH A STRAIGHT EDGE TO INSURE THAT THE LINE, GRADE, AND CROSS-SECTION OF THE FINISHED PAVEMENT SECTION IS IN CONFORMANCE WITH THE DESIGN PLANS. THE FINISHED SURFACE SHALL BE OF UNIFORM TEXTURE AND COMPACTION. THE SURFACE SHALL HAVE NO PULLED, TORN, OR LOOSENED AREAS AND SHALL BE FREE OF SEGREGATION, SAND, STREAKS, SAND SPOTS, OR RIPPLES. ALL AREAS OF THE SURFACE WHICH DOES NOT MEET THE FOREGOING REQUIREMENTS SHALL BE CORRECTED TO THE ENGINEER'S SATISFACTION.
34. ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAWCUT EDGE PRIOR TO RELAYING ASPHALT. UNDER PAVEMENT UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS.
35. ALL PERMANENT CONTROL POINTS AND/OR REFERENCE MARKERS SHOWN ON PLAT SHALL BE RAISED TO FINAL GRADE IF LOCATED IN PAVEMENT OR CONCRETE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAT.

NOTIFICATION, TESTING

36. NOTIFICATION - THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE COUNTY AND UTILITIES 48 HOURS PRIOR TO SCHEDULING FIELD OBSERVATIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO TEST THE COMPLETED WORK. CALL U.N.C.L.E. PRIOR TO ANY EXCAVATION.
37. ALL DRAINAGE SYSTEMS SHALL BE PUMPED DOWN TO BELOW 1/3 OF THE DIAMETER OF THE PIPE (FROM THE INVERT) AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
38. GRATE AND RIM ELEVATION ARE BASED ON PROPOSED FINISHED GRADE. ADJUSTMENTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. ADJUSTMENTS ARE TO BE MADE BY THE CONTRACTOR WHEN THE BASE COURSE IS IN PLACE OR SITE GRADING IS COMPLETE. COST OF ADJUSTING RIMS AND GRATES IS TO BE INCLUDED IN BASE BID.

SODDING:

39. WORK CONSISTS OF THE ESTABLISHING OF A STAND OF GRASS WITHIN THE AREAS CALLED FOR BY THE FURNISHING AND PLACING OF GRASS SOD AND FERTILIZING, WATERING, AND MAINTAINING SODDED AREAS SUCH AS TO ASSURE A HEALTHY STAND OF GRASS.
40. THE AREA OVER WHICH THE SOD IS TO BE PLACED SHALL BE SCARIFIED OR LOOSENED TO SUITABLE DEPTH. THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH EDGES IN CLOSE CONTACT AND SHALL BE FIRMLY AND SMOOTHLY EMBEDDED BY LIGHT TAMPING WITH APPROPRIATE TOOLS. ON AREAS WHERE THE SOD MAY SLIDE DUE TO HEIGHT AND SLOPE, THE ENGINEER MAY DIRECT THAT THE SOD BE PEGGED WITH PEGS DRIVEN THROUGH THE SOD BLOCKS INTO FIRM EARTH AT SUITABLE INTERVALS.

NOTES:

1) MAINTENANCE OF TRAFFIC M.O.T. FOR THIS PROJECT WILL COMPLY WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION F.D.O.T. DESIGN STANDARD INDEX 611, 612, 613, AND 660.
2) ALL SALVAGEABLE MATERIAL (FILL DIRT, PIPE, SIGNS, ETC.) BELONGS TO THE F.D.O.T. AND SHALL BE TRANSPORTED TO THE LOCAL OPERATIONS CENTER, AT THE PERMITTEE'S EXPENSE.
3.) ALL UTILITY RELOCATIONS WITHIN THE DEPARTMENT'S RIGHT OF WAY NEED TO OBTAIN THE PROPER PERMITS.

NOTES:

LOCAL MEDIA SHALL BE CONTACTED A WEEK PRIOR TO ANY LANE CLOSURES ON THE STATE ROAD SYSTEM AS IT WILL OCCUR DURING PEAK HOURS OR OVER THE SPAN OF MORE THAN ONE DAY. CONTACT BARBARA KELLEHER, FDOT PUBLIC INFORMATION OFFICE AT 954-777-4090 FOR GUIDANCE ON WHO TO CONTACT. PROVIDE A COPY OF THE PRESS RELEASE TO:

FLORIDA DEPARTMENT OF TRANSPORTATION
PUBLIC INFORMATION OFFICE
3400 WEST COMMERCIAL BLVD.
FORT LAUDERDALE, FLORIDA 33309

SOLID CONCRETE INTERLOCKING PAVING STONE SPECIFICATIONS

1. DESCRIPTION:
1.1 GENERAL:
   A. Scope of Work:
      1. Furnish and place sand bedding course.
      2. Furnish and install concrete interlocking paving stones in the quality, shape, thickness and a color as specified.
      3. Furnish and install all accessory items as required by the contract.
   B. Related Work:
      1. Furnish and install subgrade per Table 100.6 of the Palm Beach County Land Development Design Standards Manual.
      2. Furnish and install base per Table 100.6 of the Palm Beach County Land Development Design Standards Manual.
   C. Product Handling:
      1. Paving stones shall be delivered and unloaded at jobsite in such a manner that no damage occurs during shipping, handling and storage.
   D. References:
      1. Solid concrete interlocking paving stones shall meet or exceed the requirements in ASTM C-936 Standard Specifications for Solid Concrete Interlocking Paving Units.

II. MATERIALS:
2.1 SOLID CONCRETE INTERLOCKING PAVING STONES
   A. Thickness, Color and Pattern:
      1. Paving stone thickness shall be between 3-1/8" min - 4" max..
      2. All paving stones shall be colored through the full depth of paver and not just the surface.
      3. A multi-colored paving stone pattern shall be used.
   B. Cementitious Materials:
      1. Portland cements shall conform to ASTM C-150.
   C. Aggregates:
      1. Aggregates shall conform to ASTM C-33 for normal weight concrete except that grading requirements shall not necessarily apply.
   D. Other Materials:
      1. Coloring pigments, air entraining agents, integral water repellents, finely ground silica, etc., shall conform to ASTM standard where applicable or shall be previously established as suitable for use in concrete.
   E. Compressive Strength:
      1. At the time of delivery to the work site, the average compressive strength shall not be less than 8,000 psi with no individual unit strength less than 7,200 psi, with testing procedures in accordance with ASTM C-140.
   F. Absorption:
      1. The average absorption shall not be greater than 5% with no individual unit absorption greater than 7%.
   G. Proven Field Performance:
      1. Satisfying field performance is indicated when paving stones similar in composition, and made with the same manufacturing equipment as those supplied to the purchaser, do not exhibit deterioration after one year.
   H. Visual Inspection:
      1. All paving stones shall be sound and free of defects that would interfere with the proper placement of the paving stone or impair the strength or permanence of the construction.
      2. Minor cracks incidental to the usual methods of manufacture, or chipping resulting from customary methods of handling in shipment and delivery, shall not be deemed grounds for rejection.
   I. Sampling and Testing:
      1. The purchaser shall be accorded proper facilities to inspect and sample the paving stones at the place of manufacture from lots ready for delivery.
      2. Paving stones will be sampled and tested in accordance with ASTM C-140.
   J. Rejection:
      1. If the shipment fails to conform to the specified requirements, the manufacturer may sort it, and new test paving stones shall be selected at random by the purchaser from the retained lot and tested at the expense of the manufacturer. If the second set of test paving stones fail to conform to the specified requirements, the entire lot shall be rejected.

2.2 BEDDING COURSE:
   A. The bedding course shall be a well graded, clean, washed sand with 100% passing a 3/8" sieve size and a maximum of 3% passing a No. 200 sieve size. The use of mason sand shall not be approved.
   B. The bedding course shall be the responsibility of the paving stone installer.
2.3 EDGE RESTRAINT:
   A. All edges of the installed paving stones shall be restrained. The type of edge restraint, shall be approved at locations and to details noted on plans.

III. CONSTRUCTION METHODS:
3.1 PREPARATION OF THE BASE COURSE:
   A. A suitable base shall be prepared as specified in Section B.2. of this specification.
   B. The base course shall be shaped to grade and cross section with allowable tolerance of ¼".
3.2 CONSTRUCTION OF THE BEDDING COURSE:
   A. The finished base course shall be approved before the placement of the bedding course.
   B. The sand bedding course shall be spread evenly over the area to receive the paving stones and the screeded level to produce a 1" thickness when the paving stones have been placed and vibrated.
   C. The final elevation of paving stones should be nominally ¼" to 3/8" higher than the adjacent curb, gutter, etc., to allow for free drainage from chamfers on paving stone edges.
   D. The bedding course shall not be disturbed, once screeded and leveled to the desired elevation.
3.3 INSTALLATION OF PAVING STONES:
   A. The paving stones shall be placed as shown on the drawings.
   B. The paving stones shall be placed in such a manner that the desired pattern is maintained and that no intentional space is left between the stones for maximum interlock.
   C. String lines should be used to hold all patterns true.
   D. The gaps at the edge of the paving stone surface shall be filled with standard edge stone or with stones cut to fit. Cutting of concrete paving stone shall be accomplished to leave a clean edge to the traffic surface using a double-headed breaker or a masonry saw. Whenever possible, no cut should result with a paving stone less than 1/3 of original dimension.
   E. Paving stones shall be vibrated into the bedding course using a plat vibrator capable of 3000 to 5000 pounds compaction force with the surface clean and the joints open.
   F. After vibration, clean, sharp sand containing at least 30% of 1/8" particles shall be spread over the paving stone surface, allowed to dry and vibrated into the joints with additional plate vibrator passes and brushing so as to completely fill the joints.
   G. Surplus material shall then be swept from the surface or left on the surface during construction to insure complete filling of joints during initial use.
   H. Upon completion of work covered in this section, the Contractor shall clean up all work areas by removing all debris, surplus material and equipment from the site.

1. Paver brick shall conform with Palm Beach County Land Development Design Standards Manual with the following exceptions:
   A) Under II Material 2.1 # A.1, Paving stone thickness shall be 3 1/8" (min.) to 4" (max.)
   b) Under II Material 2.1 # A.3, The coloring shall be throughout the entire brick with the white and yellow conforming with FDOT. Standard Specifications for Road and Bridge Construction (latest edition) section 710-4.7
2. Glass spheres to meet the requirements of sections 971-1 and 971-14 with retroflectivity to be not less than 300 mincandles.
3. When header curb is used to outline a crosswalk the curb shall be white concrete with glass beads in the white concrete.
4. The brick shall be pre-approved per project before installation by the Palm Beach County Traffic Engineering Division.

FDOT STANDARD NOTES

All materials and construction within the FDOT right-of-way shall conform to the FDOT Roadway and Traffic Design Standards (Latest Edition). Standard Specifications (Latest Edition) and the supplements thereto

Pavement Markings must be thermoplastic and be installed per FDOT Design Standard Index 17346 and Raised Pavement Markings (RPM's) per FDOT Design Standard Index 17352.

The applicant's engineer responsible for construction inspection shall insure that the Maintenance Of Traffic M.O.T. for this project will comply with the Florida Department of Transportation F.D.O.T. Design Standard Index 611, 612, 613, and 660. and these documents: The latest Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD) and revisions will be in accordance with (U. S. Department of Transportation, FHWA regulations). All MOT lane closure signs shall be covered when lanes are not closed. No lanes are to be closed except at times prescribed by the Department.

Restricted hours of operation will be from 9:00am to 3:30 pm, (Monday-Friday), unless otherwise approved by the Operations Engineer, or designee.

It is the Permittee's responsibility to obtain final acceptance of permitted work (completed) and the restoration of the Right-of-Way from the Department prior to usage.

Permittee will provide the necessary densities in accordance with the Department's latest edition of the Standard Specifications for Road & Bridge Construction prior to final acceptance by the Department.

Permittee will restore the Right of Way as a minimum, to its original condition or better in accordance w/ Florida Department of Transportation's latest Standard Specifications for Road & Bridge Construction or as directed by the Resident Operations Engineer.

During the removal/installation of any curb and gutter section, the permittee will be responsible for any damage done to the abutting asphalt. The damaged asphalt repair will be in accordance with the current specifications and/or as directed by the Resident Operations Engineer.

Permittee will provide the Producers Certification for the CLASS 1 CONCRETE prior to final acceptance by the DEPARTMENT. The certification must bear the original signature of a legally responsible person from the producer and is provided on the producer's letterhead.

At the end of each work period, any drop-off in the area adjacent to the travel way of the State Road shall be backfilled in accordance with Standard Index 600 or shall be otherwise protected with temporary barrier wall at the contractor's expense.

If the permitted work is on a roadway that has been selected as a hurricane or disaster evacuation route, the applicant, at the pre-construction conference is required to present, as part of the work plan, an emergency functional restoration plan to address eventualities such as hurricanes.

The contractor must call the appropriate county traffic engineering division, having jurisdiction over the project at least 48 hours, before any excavation within the FDOT right-of-way to determine the location of the existing traffic signal interconnect cable.

The location of existing utilities shown is approximate only. The contractor shall determine the exact location during construction. Relocation of utilities shall be coordinated with utility companies after identification of conflict by contractor. Contractor will notify engineer in advance before any relocation.

Permittee will coordinate all work with the Palm Beach Operations Permits Department using fax # 561-370-1236. Coordination will include a Pre-Construction meeting.

The applicant at the earliest convenient time shall notify in writing all right-of-way users affected by the construction of this project.

The pavement specification should read: Match existing type and depth of asphalt to 4 3/4" maximum including friction course.

Limerock base shall be a minimum of 10" of Optional Base Group 9 and compacted to 98% maximum density according to AASHTO-T180. Construction to conform to section 200 and standard index 514. Base to be primed after compaction.

Stabilized Subgrade - minimum 12" thick and compacted to 98% maximum density according to AASHTO-180. Material to have minimum L.B.R. of 40 and conform to section 160.

Ownership of all suitable excavated materials, as determined by the Department, shall remain in the Department until a final acceptance of the permitted project is fulfilled. Excavated materials shall be hauled by the Permittee, at their cost & expense from the site to the Palm Beach Operations Center or stockpiled in those areas as directed by the Department, including asphalt millings.

Remove all muck, overburden, and root material to the right-of-way line, and backfill to the required subgrade with clean, granular material in maximum 6" lifts compacted to 100% of maximum density in accordance with AASHTO T99-C specifications, and each lift tested before placing next lift.

Sodded areas will be in accordance with Standard Index 105 and sections 162, 575, 981, 982, 983, 987 of the Department's Standard Specifications for Road and Bridge Construction, latest edition. All disturbed areas will be sodded within one (1) week of installation of said permitted work.

All curb cut ramps must face in the direction of pedestrian travel.

Specify the alphanumeric identification for the curb cut ramps per Standard Index 304. A copy of the appropriate detail(s) must be shown on the plans.

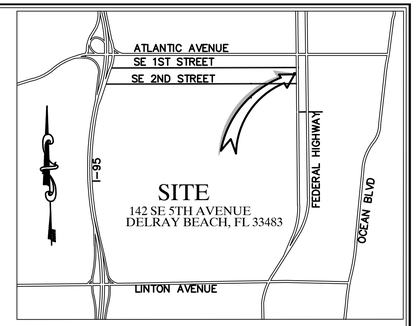
FLAGGERS MUST BE PRESENT DURING THE INGRESS AND EGRESS OF CONSTRUCTION VEHICLES TO AND FROM THE PROJECT SITE. WARNING SIGNS MUST BE ERECTED ADVISING MOTORIST OF TRUCKS ENTERING THE HIGHWAY.

PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE.

Permittee will provide the Department with certified "As-Built" plans prior to final acceptance of the permitted work.

Permittee's contractors that are performing permitted work activities shall provide the Department (Permits Office) proof of a proper state contractor's license and certificate of liability insurance prior to any commencement of permitted work.

Removal/installation of sidewalk will be in accordance with FDOT Standard Index 310.



REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MJK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/19/24	JRH

FILE NAME 10577ENG.dwg

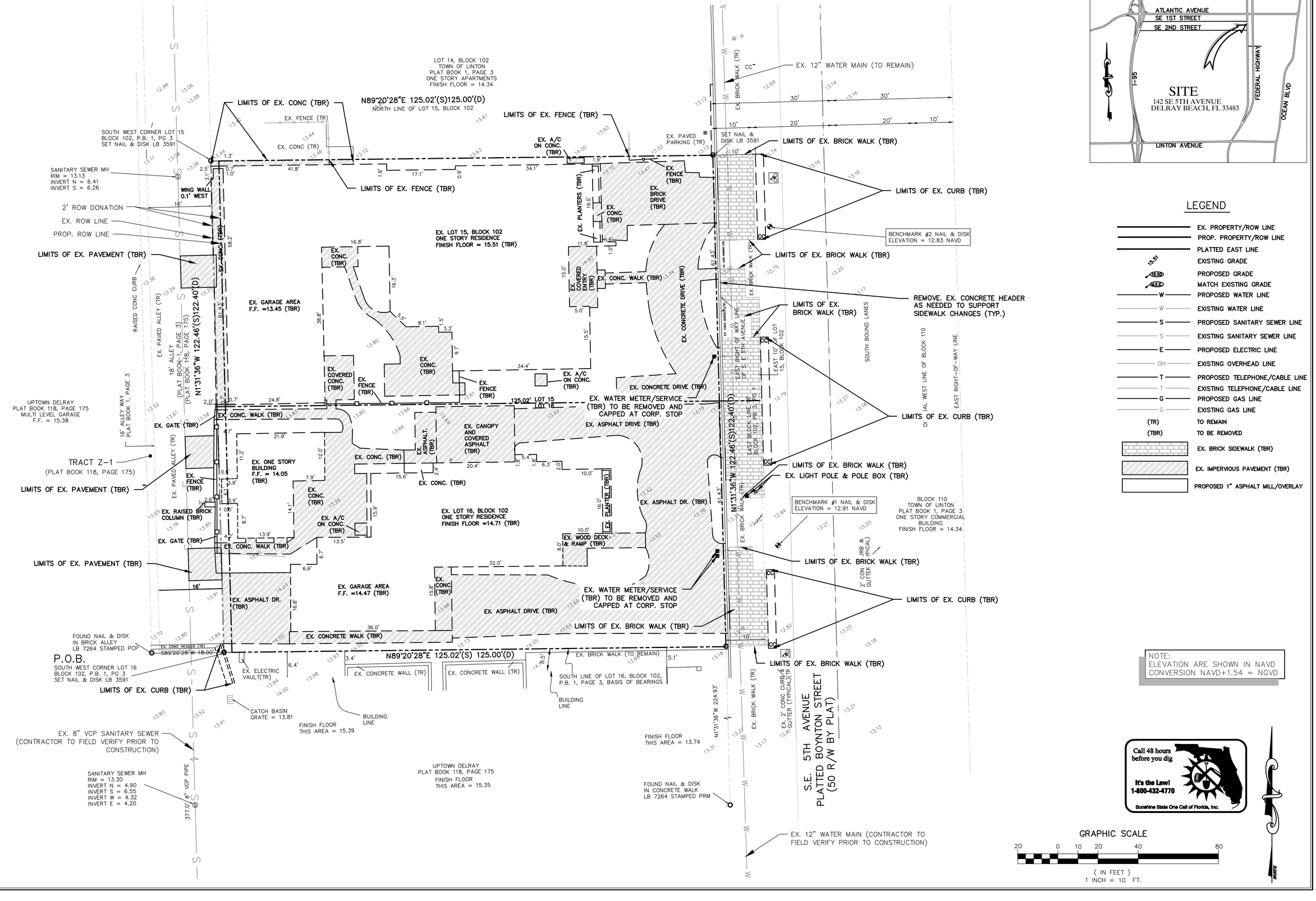
CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE SUITE 100
7900 GLADES ROAD
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED
GENERAL NOTES PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE NTS

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
PD-1
OF 14 SHEETS



LEGEND

- EX. PROPERTY/ROW LINE
- PROP. PROPERTY/ROW LINE
- PLATTED EAST LINE
- 15.51 EXISTING GRADE
- 16.50 PROPOSED GRADE
- M.F.F. MATCH EXISTING GRADE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- S PROPOSED SANITARY SEWER LINE
- S EXISTING SANITARY SEWER LINE
- E PROPOSED ELECTRIC LINE
- OH EXISTING OVERHEAD LINE
- T PROPOSED TELEPHONE/CABLE LINE
- T EXISTING TELEPHONE/CABLE LINE
- G PROPOSED GAS LINE
- G EXISTING GAS LINE
- (TR) TO REMAIN
- (TBR) TO BE REMOVED
- EX. BRICK SIDEWALK (TBR)
- EX. IMPERVIOUS PAVEMENT (TBR)
- PROPOSED 1" ASPHALT MILL/OVERLAY

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1-800-432-4770
Sunshine State One Call of Florida, Inc.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/15/24	JRH

FILE NAME: 10577ENG.dwg

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CIVIL ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE
7900 GLADES ROAD SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED DEMOLITION PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	1"= 10'

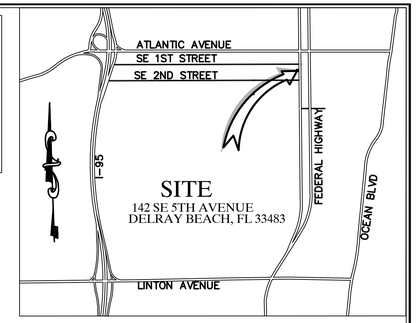
MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
PD-1A
OF 14 SHEETS

NOTE: CONTRACTOR IS REQUIRED TO ASBUILT WATER, SEWER, DRAINAGE AND FINAL GRADING ELEVATIONS PER THE REQUIREMENTS OF FDOT/CITY OF DELRAY BEACH

DRAINAGE CRITERIA

CONTROL WATER ELEV. = 2.50' NAVD
MIN. ROAD ELEV. = 13.15' NAVD
100-YR-3DAY FLOOD (0 DISCHARGE) ELEV. = 14.39' NAVD
MIN. FINISH FLOOR ELEV. = 15.35' NAVD
MIN. PERIMETER BERM ELEV. EQUAL TO OR GREATER THAN 25 YR.-3 DAY STAGE ELEVATION= 11.38' NAVD



LEGEND

- EX. PROPERTY/ROW LINE
- PROP. PROPERTY/ROW LINE
- PLATTED EAST LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED YARD DRAIN
- EXISTING GRADE
- PROPOSED GRADE
- MATCH EXISTING GRADE
- W — PROPOSED WATER LINE
- W — EXISTING WATER LINE
- S — PROPOSED SANITARY SEWER LINE
- S — EXISTING SANITARY SEWER LINE
- E — PROPOSED ELECTRIC LINE
- OH — EXISTING OVERHEAD LINE
- T — PROPOSED TELEPHONE/CABLE LINE
- T — EXISTING TELEPHONE/CABLE LINE
- G — PROPOSED GAS LINE
- G — EXISTING GAS LINE
- PROPOSED BUILDING
- PROPOSED ASPHALT REPLACEMENT (SEE DETAIL RT 1.0)
- PROPOSED ROW BRICK WALK (SEE DETAIL RT 26.0)
- PROPOSED ONSITE PEDESTRIAN PAVERS (SEE ARCH PLANS FOR DETAILS)
- PROPOSED PAVER DRIVEWAY (SEE DETAIL RT 28.0)
- PROPOSED TURF (SEE ARCH PLANS FOR DETAILS)
- PROPOSED 1" ASPHALT MILL/OVERLAY
- PROPOSED LIGHT POLE (SEE LANDSCAPE PLANS FOR DETAILS)
- PROPOSED BOLLARD LIGHT (SEE LANDSCAPE PLANS FOR DETAILS)

Call 48 hours before you dig
It's the Law!
1-800-432-4770
Sunshine State One Call of Florida, Inc.

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & 2.0

NOTE:
ELEVATION ARE SHOWN IN NAVD CONVERSION NAVD+1.54 = NGVD

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

REVISIONS	DATE	BY
REV. PER CITY COMMENTS	09/05/24	MVK
REV. PER CITY COMMENTS	08/29/24	JRH
REV. PER CITY COMMENTS	07/15/24	JRH

FILE NAME: 10577ENG.dwg

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CIVIL ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE SUITE 100
7900 GLADES ROAD BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED PAVING
& GRADING PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	1"= 10'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT.NO.
PD-2
OF 14 SHEETS

NOTE: CONTRACTOR IS REQUIRED TO ASBUILT WATER, SEWER, DRAINAGE AND FINAL GRADING ELEVATIONS PER THE REQUIREMENTS OF FDOT/CITY OF DELRAY BEACH

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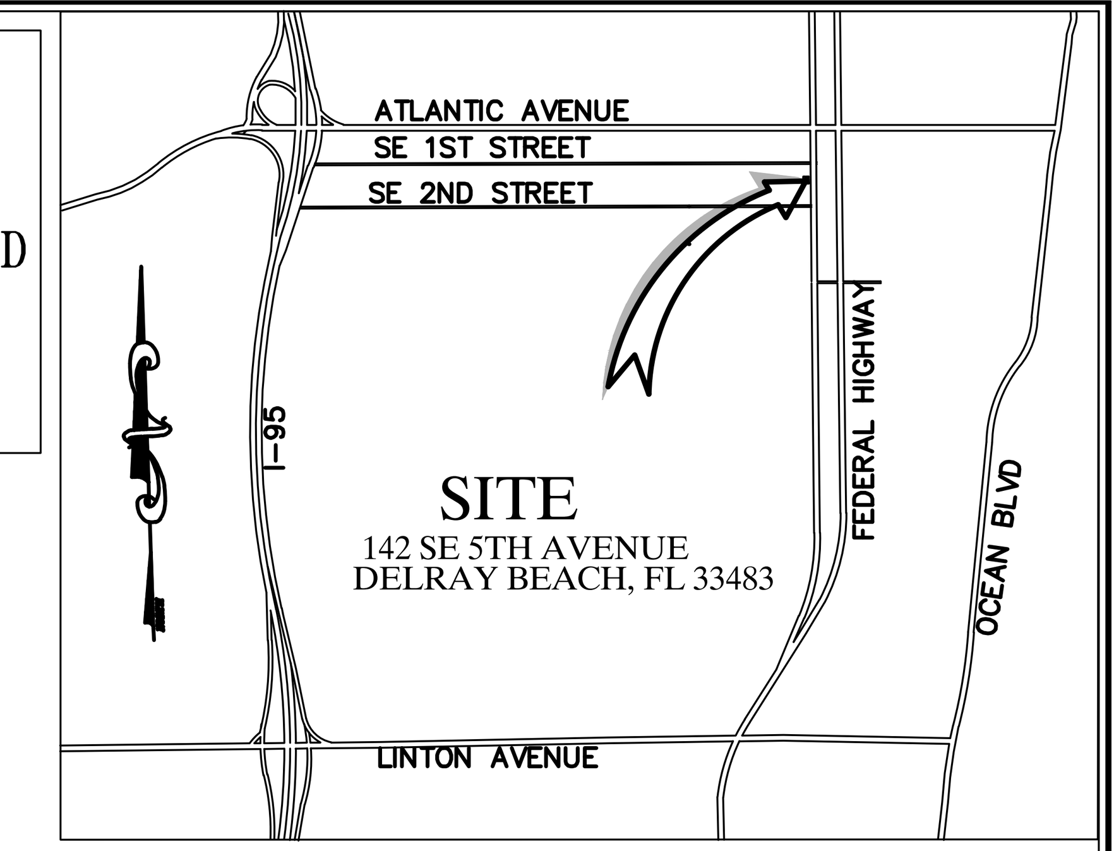
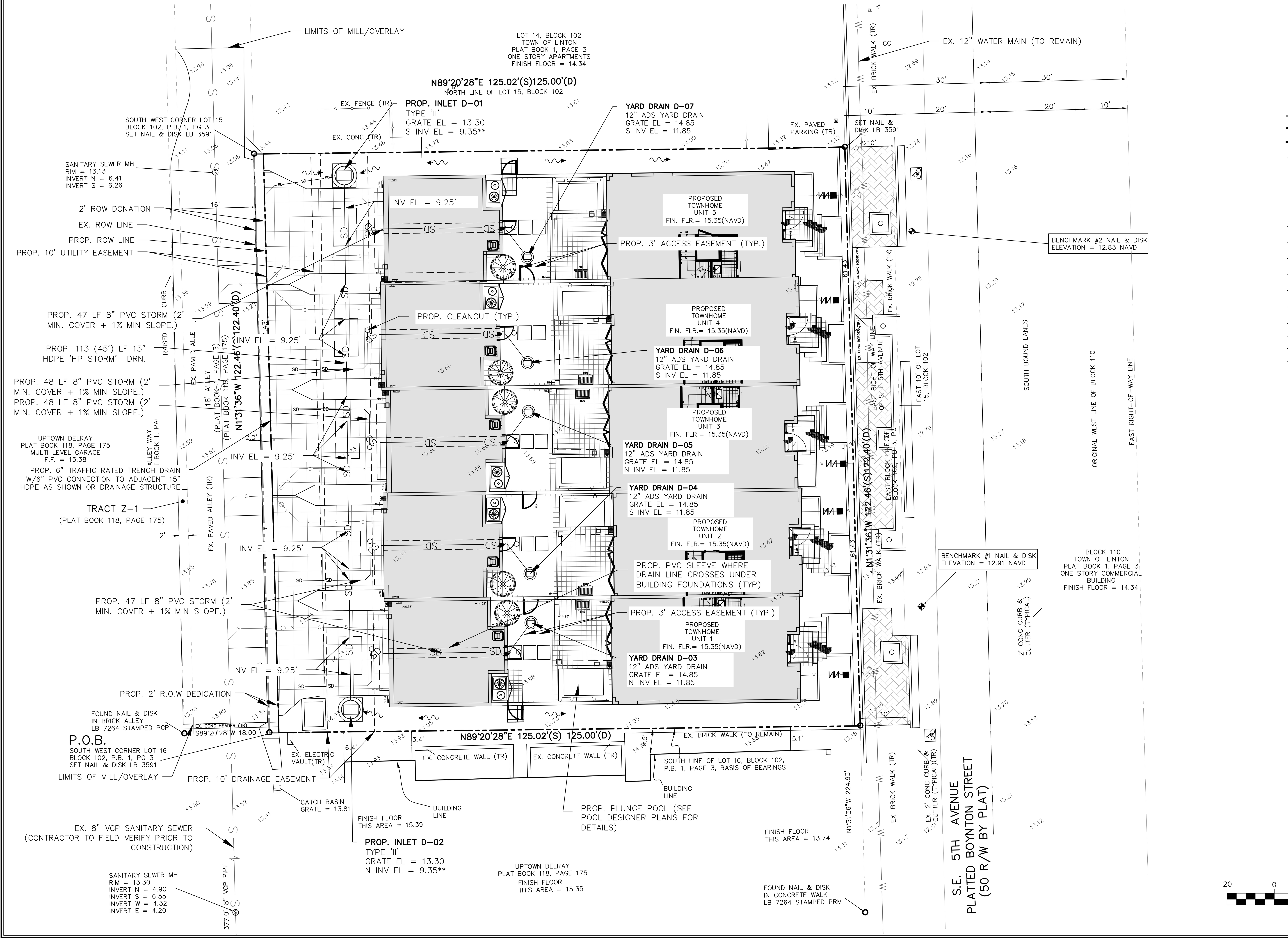




LEGEND

— — —	EX. PROPERTY/ROW LINE
— — —	PROP. PROPERTY/ROW LINE
——	PLATTED EAST LINE
——	PROPOSED DRAINAGE PIPE
◎	PROPOSED YARD DRAIN
15.51	EXISTING GRADE
16.50	PROPOSED GRADE
M.E.E.	MATCH EXISTING GRADE
— W —	PROPOSED WATER LINE
— W —	EXISTING WATER LINE
— S —	PROPOSED SANITARY SEWER LINE
— S —	EXISTING SANITARY SEWER LINE
— E —	PROPOSED ELECTRIC LINE
— OH —	EXISTING OVERHEAD LINE
— T —	PROPOSED TELEPHONE/CABLE LINE
— T —	EXISTING TELEPHONE/CABLE LINE
— G —	PROPOSED GAS LINE
— G —	EXISTING GAS LINE
▨	PROPOSED BUILDING
▨	PROPOSED ASPHALT REPLACEMENT (SEE DETAIL RT 1.0)
▨	PROPOSED ROW BRICK WALK (SEE DETAIL RT 26.0)
▦	PROPOSED ONSITE PEDESTRIAN PAVERS (SEE ARCH PLANS FOR DETAILS)
▦	PROPOSED PAVER DRIVEWAY (SEE DETAIL RT 28.0)
▨	PROPOSED TURF (SEE ARCH PLANS FOR DETAILS)
☐	PROPOSED 1" ASPHALT MILL/OVERLAY
	PROPOSED LIGHT POLE (SEE LANDSCAPE PLANS FOR DETAILS)
	PROPOSED BOLLARD LIGHT (SEE LANDSCAPE PLANS FOR DETAILS)

NOTE:
ELEVATION ARE SHOWN IN NAVD
CONVERSION NAVD+1.54 = NGVD

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & 2.0

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

NORTH

REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH
REVISIONS	DATE	BY

FILE NAME 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

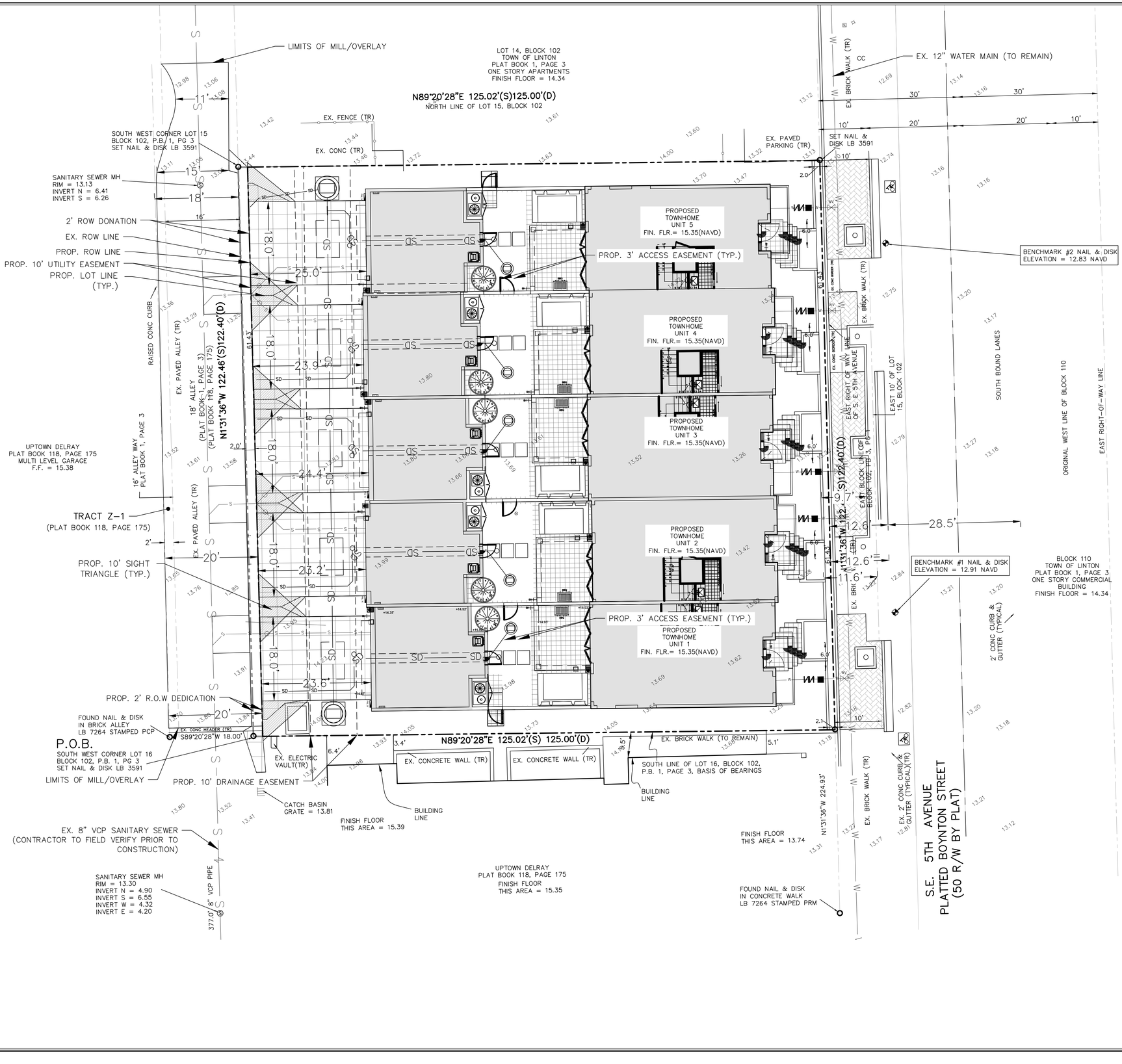
FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED
DRAINAGE PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

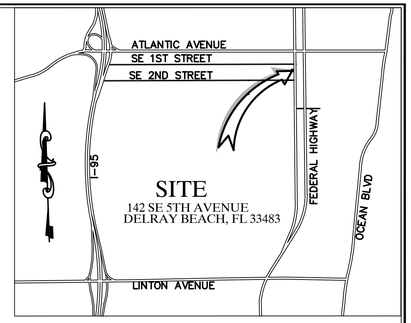
DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE 1"= 10'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -

DATE

JOB # 10577
SHT.NO.
PD-2A
OF 14 SHEETS





LEGEND

- EX. PROPERTY/ROW LINE
- PROP. PROPERTY/ROW LINE
- PLATTED EAST LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED YARD DRAIN
- 15.51 EXISTING GRADE
- 16.50 PROPOSED GRADE
- MATCH EXISTING GRADE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- S PROPOSED SANITARY SEWER LINE
- S EXISTING SANITARY SEWER LINE
- E PROPOSED ELECTRIC LINE
- OH EXISTING OVERHEAD LINE
- T PROPOSED TELEPHONE/CABLE LINE
- T EXISTING TELEPHONE/CABLE LINE
- G PROPOSED GAS LINE
- G EXISTING GAS LINE
- PROPOSED BUILDING
- PROPOSED ASPHALT REPLACEMENT (SEE DETAIL RT 1.0)
- PROPOSED ROW BRICK WALK (SEE DETAIL RT 26.0)
- PROPOSED ONSITE PEDESTRIAN PAVERS (SEE ARCH PLANS FOR DETAILS)
- PROPOSED PAVER DRIVEWAY (SEE DETAIL RT 28.0)
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- PROPOSED LIGHT POLE (SEE LANDSCAPE PLANS FOR DETAILS)
- PROPOSED BOLLARD LIGHT (SEE LANDSCAPE PLANS FOR DETAILS)

NOTE:
ELEVATION ARE SHOWN IN NAVD CONVERSION NAVD+1.54 = NGVD

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & 2.0

NOTE:
ALL SIGNAGE TO MATCH LATEST FDOT/MUTCD STANDARDS.

Call 48 hours before you dig
It's the Law!
1-800-432-4770
Sunshine State One Call of Florida, Inc.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

NORTH

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/15/24	JRH

FILE NAME: 10577ENG.dwg

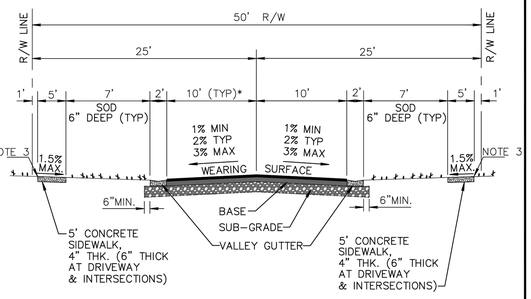
CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE SURVEYING
7900 GLADES ROAD SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED
PAVEMENT, MARKING & SIGNAGE PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE 1"= 10'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT.NO.
PD–3
OF 14 SHEETS



PAVEMENT SPECIFICATIONS	
WEARING SURFACE	3" TYPE S-III (2 LIFTS) AFTER COMPACTION SEE NOTE 2
BASE	8" LIMEROCK OR 10" CRUSHED CONCRETE COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180. PRIME & TACK COAT PER FDOT SECTION 300.
SUBGRADE	12" STABILIZED (75 P.S.I. FBV) AND COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.

NOTE:

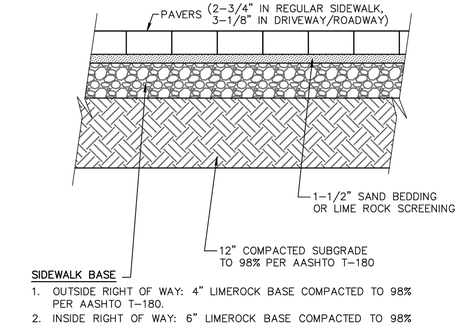
1. VARIATION FROM MATERIAL SPECIFICATIONS WILL BE CONSIDERED ON A CASE BY CASE BASIS BY THE CITY ENGINEER.
2. 2ND LIFT SHALL NOT BE PAVED UNTIL CONSTRUCTION VEHICLES AND EQUIPMENT HAVE COMPLETED WORK.
3. IN UNDEVELOPED LOCATION, ELEVATION TO BE SET EQUAL TO ROADWAY CROWN. IN PREVIOUSLY DEVELOPED AREAS, MATCH EXISTING GRADES.

* LANE WIDTHS MUST BE APPROVED BY CITY ENGINEERING PRIOR TO DESIGN.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL 50' R/W SECTION WITH VALLEY GUTTER

DATE: 09-15-2021
RT 1.0

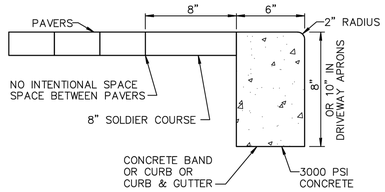


SIDEWALK BASE

1. OUTSIDE RIGHT OF WAY: 4" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180.
2. INSIDE RIGHT OF WAY: 6" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180 OR 4" FLOW-ABLE FILL (100 P.S.I. MIN.)

ROADWAY BASE

LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180 OR 6" FLOW-ABLE FILL (100 P.S.I. MIN.)



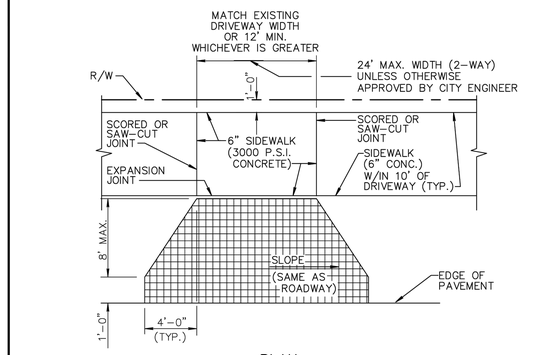
NOTE:

IF CITY APPROVES PAVERS TO BE USED IN LIEU OF CONCRETE SIDEWALK, PAVER SHALL BE HOLLAND-STONE, 45° HERRING BONE, RED/CHARCOAL, COLOR MIX #2.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

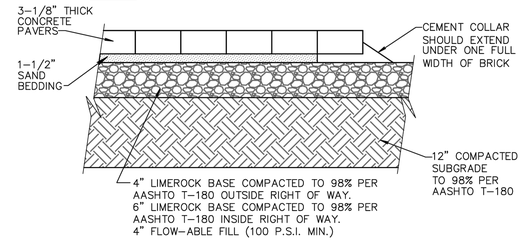
PAVER BRICK SECTION

DATE: 09-15-2021
RT 26.0



PLAN

NOTE: SIDEWALK SHALL BE CONSTRUCTED THROUGH DRIVEWAY.

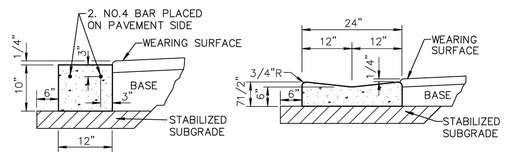


SECTION

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PAVER BRICK DRIVEWAY APRON

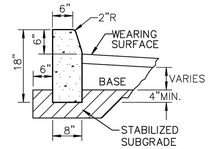
DATE: 09-15-2021
RT 28.0



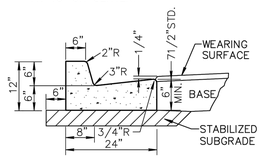
CONCRETE HEADER CURB
NOT TO SCALE

VALLEY GUTTER
NOT TO SCALE

NOTE: SAWCUTS REQUIRED AT 10' ON CENTER.



F.D.O.T. TYPE "D" CONCRETE CURB
NOT TO SCALE



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" MIN.

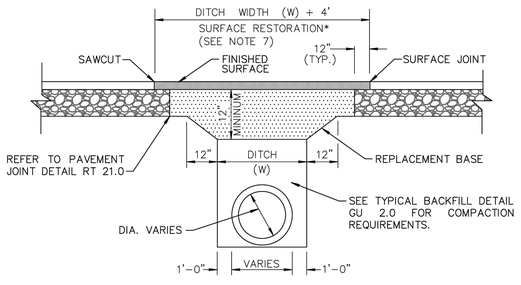
F.D.O.T. TYPE "F" CONCRETE CURB AND GUTTER
NOT TO SCALE

NOTES:
1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.
2. SAWCUTS AT 10' ON CENTER SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CURB AND GUTTER SECTIONS

DATE: 9-15-2021
RT 19.0



1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.

2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").

2b. 24" EXCAVATABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.

3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.

4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.

5. SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).

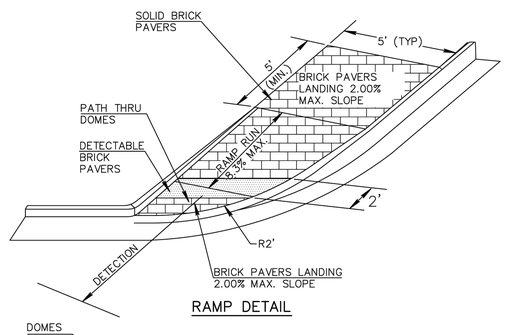
6. ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

7. ROADWAYS SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION AT TIME OF PAVEMENT REPAIR THE SURFACE RESTORATION SHALL EXTEND 50' IN EACH DIRECTION.

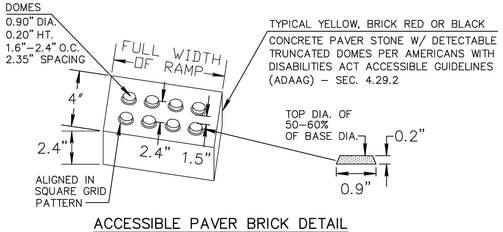
CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PAVEMENT REPAIR DETAIL

DATE: 09-15-2021
GU 1.0



RAMP DETAIL



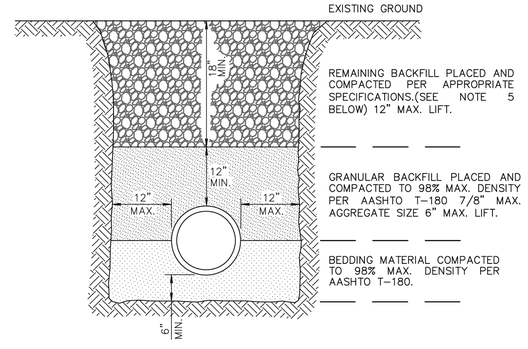
ACCESSIBLE PAVER BRICK DETAIL

1. IN ADDITION TO CURB RAMPS TRUNCATED DOMES ARE REQUIRED AT ALL AREAS OF PERIL. NOT REQUIRED AT RESIDENTIAL DRIVEWAYS CROSSINGS OR CUT-THROUGH REFUGE ISLANDS LESS THAN 6' IN LENGTH.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

DETECTABLE WARNING RAMP IN PAVER SIDEWALK TYPICAL DETAIL

DATE: 09-15-2021
RT 29.0



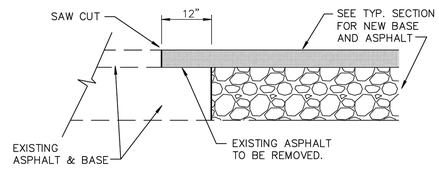
NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" -7/8" SIZING.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE.(AASHTO T-180)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL BACKFILL DETAIL

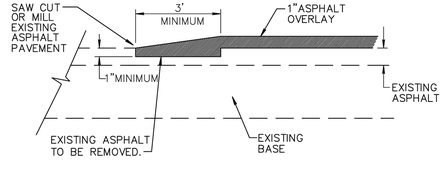
DATE: 09-15-2021
GU 2.0



NEW CONSTRUCTION PAVEMENT JOINT

NOTE:

THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.



NEW OVERLAY PAVEMENT JOINT

NOTE:

THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT WILL BE CONNECTED TO EXISTING PAVEMENT.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PAVEMENT JOINT DETAIL

DATE: 09-15-2021
RT 21.0

	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH
REVISIONS	DATE	BY

FILE NAME: 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED PAVING, GRADING & DRAINAGE DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	N/A

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
PD-4
OF 14 SHEETS

Drawing: P:\10577-00-00-00\drawings\dwg\details\10577DETAILS-PSD_DELRAY.dwg VPS5-DETAILS_SHT-PD-4

PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

PERMANENT MARKINGS

Installation:
- All markings shall be installed by the extruded method.
- Markings shall be free of weaves, bows, drips, drags, and other degrading items.
- Chalk shall be used for all layout markings

Materials:
- All materials shall be alkyd or hydrocarbon thermoplastic meeting all FDOT specifications.

Thickness:
- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:
- Reflective glass sheres are to be applied to all stripes and markings per FDOT specifications.

Alternate Material:
- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

Layout:
- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Surface:
- Only foil backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

Other Pavement Surfaces:
- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PAVEMENT MARKING SPECIFICATIONS (SHEET 1 OF 2)

DATE: 09–15–2021

RT 22.0

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyd thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

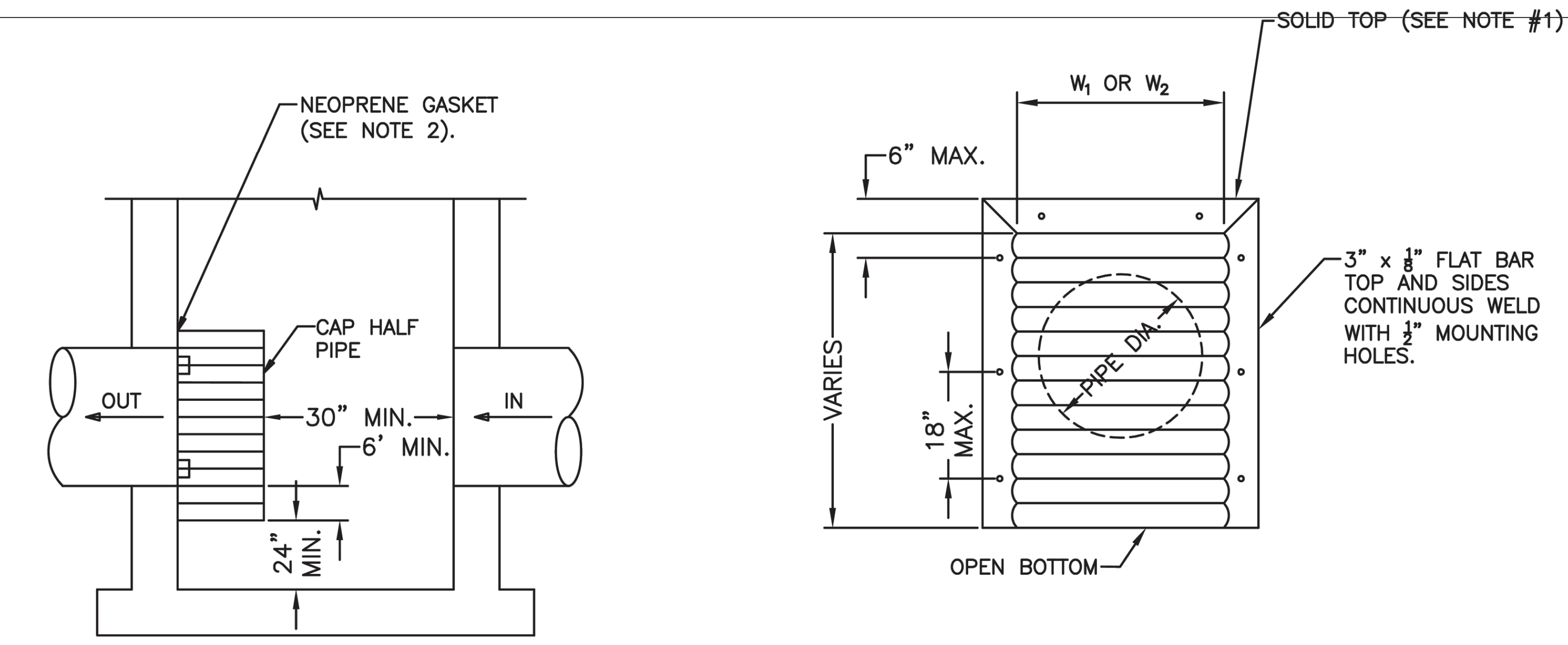
- All Materials within right–of–way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right–of–way.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PAVEMENT MARKING SPECIFICATIONS (SHEET 2 OF 2)

DATE: 09–15–2021

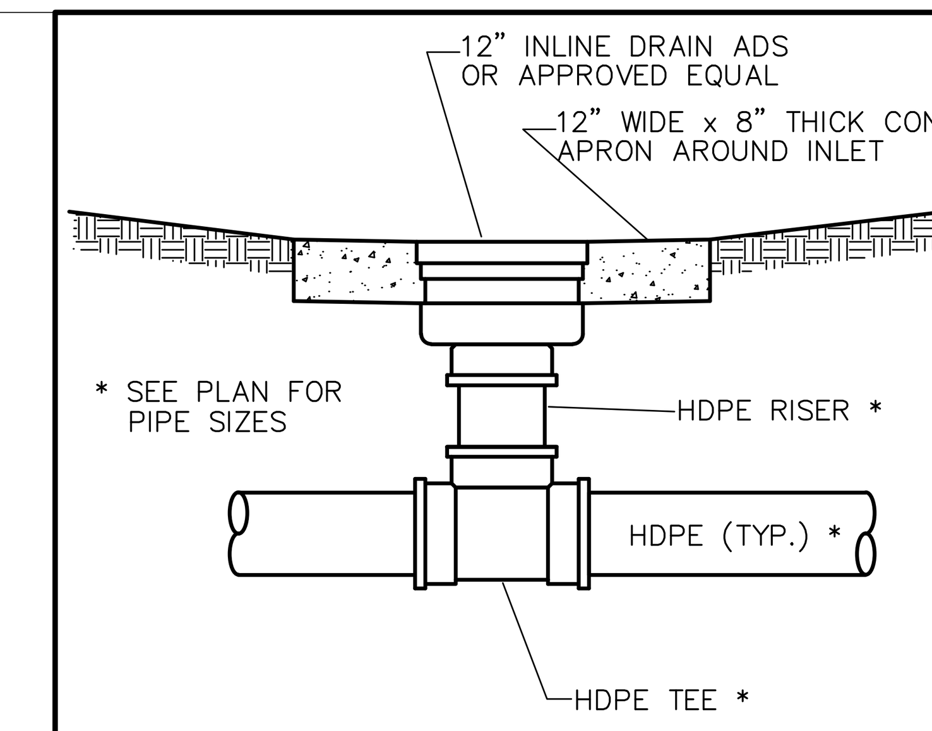
RT 22.1



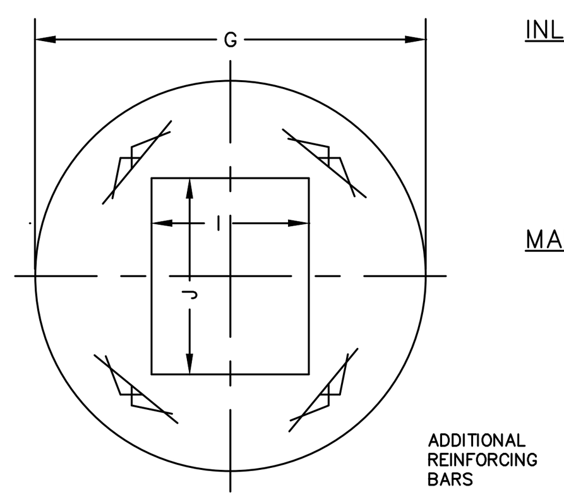
DISCHARGE PIPE DIAMETER	WEIR DIAMETER (W_1)	WEIR DIAMETER (W_2)	GAUGE (T)
15"	21"	21"	16
18"	24"	24"	16
24"	30"	36"	16
30"	36"	42"	14
36"	42"	48"	14
42"	48"	54"	14
48"	54"	60"	14
54"	60"	66"	14

NOTES:
1. ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE THE OPENING AT THE TOP.
2. NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1"x3") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
3. POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8"x4" STAINLESS STEEL "RED HEADS," OR APPROVED EQUAL.
4. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.

POLLUTANT RETARDANT BAFFLE DETAIL N.T.S.



YARD INLET DETAIL

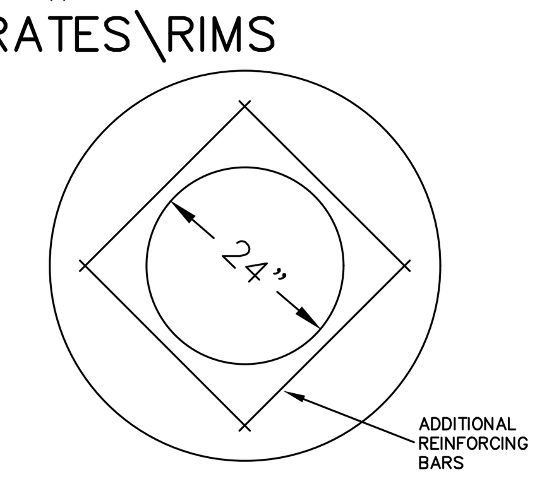


INLET/C.B.–TOP SLAB

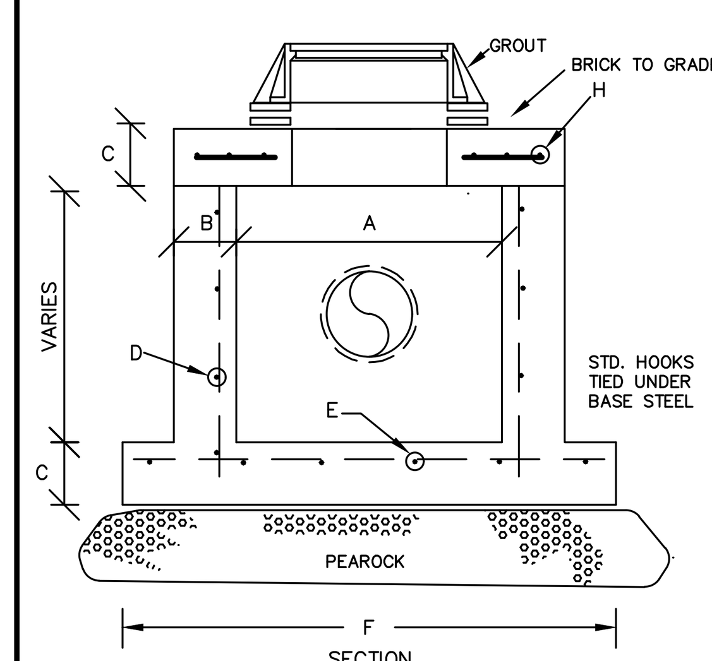
INLET OR CATCH BASIN (C.B.)
1. USF 4155–6210 (SOD/PAVEMENT)
2. USF 5113–6194 TYPE "II" (VALLEY GUTTER) ("V–G")
3. USF 5113–6194 TYPE "III" AND LARGER (VALLEY GUTTER) ("V–G")
4. USF 5130–6168 (CURB INLET) ("C–G")

MAHHOLE
1. USF 420 – A

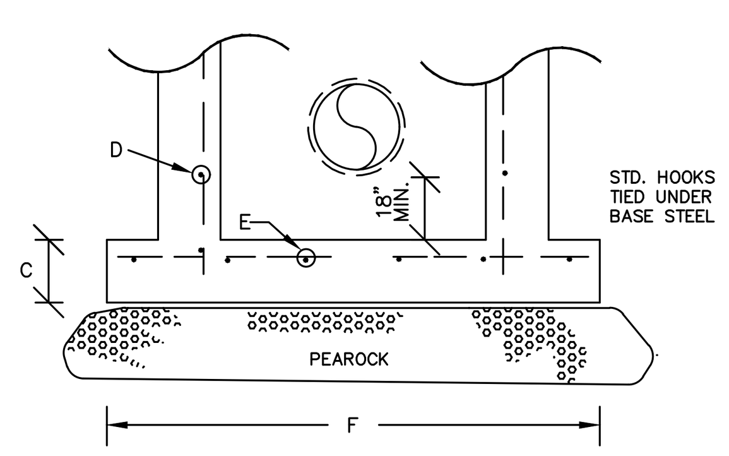
GRATES\RIMS



MANHOLE–TOP SLAB



PRECAST INLET TYPE II–IV



PRECAST CATCH BASIN TYPE II–IV

PIPE DIA.	TYPE	"A"	"B"	"C"	"D"	"E"	"F"	"G"	"H"	"I"	"J"
15"–24"	II	4'–0" Φ	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 12" C.C.E.W.	6'–4"Φ	5'–4"Φ	#4 @ 6" C.C.E.W.	22"	22"
30"–36"	III	5'–0" Φ	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 12" C.C.E.W.	7'–4"Φ	6'–4"Φ	#5 @ 8" C.C.E.W.	22"	46"
42"–48"	IV	6'–0" Φ	8"	10"	#5 @ 12" C.C.E.W.	#5 @ 6" C.C.E.W.	8'–4"Φ	7'–4"Φ	#5 @ 6" C.C.E.W.	22"	46"
54"	V	8'–0" Φ	10"	10"	2–W.W.M. W/4 12" C.C. VERT.	#5 @ 6" C.C.E.W.	10'–8"Φ	9'–8"Φ	#5 @ 6" C.C.E.W.	22"	46"

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH

FILE NAME 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

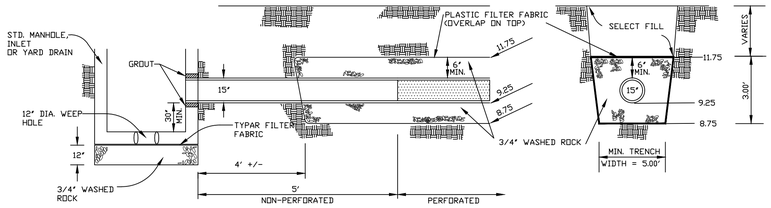
FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED PAVING,
GRADING & DRAINAGE DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE N/A

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT.NO.
PD–5
OF 14 SHEETS

Drawing: P:\10577-00-00\drawings\eng\details\10577DETAILS-PGD_DELRAY.dwg\PGD-DETAILS_SHT-PD-5



LONGITUDINAL VIEW CROSS - SECTION

NOTES:

1. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH BY SAND, SILT, OR OTHER MATERIAL.
2. THE CONTRACTOR SHALL INSTALL
   A. PERFORATED RCP IN ACCORDANCE WITH F.DO.T. REQUIREMENTS.
   B. 'HP STORM' IN ACCORDANCE WITH F.DO.T. REQUIREMENTS.
3. NO PIPE PERFORATIONS FOR THE FIRST 5 FEET FROM THE INLET OR MANHOLE.
4. PIPE PERFORATIONS SHALL BE PER FDOT REQUIREMENTS
5. SEE DETAILS OF MANHOLE AND/OR INLET FOR CONSTRUCTION DETAILS OF SAME.
6. PLASTIC FILTER FABRIC SHALL CONFORM TO D.O.T. SECTION 985 OR APPROVED EQUAL.
7. PRIOR TO BACKFILLING ANY DRAINAGE STRUCTURES, THE CITY ENGINEERING DEPARTMENT SHALL BE GIVEN 24 HOURS NOTICE IN ORDER TO SCHEDULE AN INSPECTION OF THE FACILITY.

FRENCH DRAIN DETAIL

N.T.S.

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH

FILE NAME: 10577-ENG.dwg

CAULFIELD & WHEELER, INC.
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7900 GLADES ROAD - SUITE 100
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PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED PAVING,
GRADING & DRAINAGE DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	N/A

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
PD-6
OF 14 SHEETS

NOTE: CONTRACTOR IS REQUIRED TO ASBUILT WATER, SEWER, DRAINAGE AND FINAL GRADING ELEVATIONS PER THE REQUIREMENTS OF FDOT/CITY OF DELRAY BEACH

LIMITS OF MILL/OVERLAY

LOT 14, BLOCK 102
TOWN OF LINTON
PLAT BOOK 1, PAGE 3
ONE STORY APARTMENTS
FINISH FLOOR = 14.34

N89°20'28"E 125.02'(S)125.00'(D)
NORTH LINE OF LOT 15, BLOCK 102

SOUTH WEST CORNER LOT 15
BLOCK 102, P.B.1, PG 3
SET NAIL & DISK LB 3591

EX. FENCE (TR)

EX. CONC (TR)

EX. PAVED PARKING (TR)

SET NAIL & DISK LB 3591

EX. 12" WATER MAIN (TO REMAIN)

EX. BRICK WALK (TR)

SANITARY SEWER MH
RIM = 13.13
INVERT N = 6.41
INVERT S = 6.26

2' ROW DONATION

EX. ROW LINE

PROP. ROW LINE

PROP. 10' UTILITY EASEMENT

PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)

TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

RAISED CONC CURB

EX. PAVED ALLEY (TR)

18' ALLEY
(PLAT BOOK-1, PAGE 3)
(PLAT BOOK 118, PAGE 175)

N1°31'36"W 122.46'(S)122.40'(D)

61.43'

CONTRACTOR TO MAINTAIN 18"
MIN VERTICAL SEPARATION
BETWEEN UTILITIES (TYP.)

PROP. 3' ACCESS EASEMENT (TYP.)

PROPOSED
TOWNHOME
UNIT 5
FIN. FLR.= 15.35(NAVD)

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.20'
INV.= 10.70'

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.35'
INV.= 10.85'

PROPOSED
TOWNHOME
UNIT 4
FIN. FLR.= 15.35(NAVD)

EX. WATER METER/SERVICE
(TBR) TO BE REMOVED AND
CAPPED AT CORP. STOP

PROPOSED
TOWNHOME
UNIT 3
FIN. FLR.= 15.35(NAVD)

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.=13.55'
INV.= 11.05'

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.75'
INV.= 11.25'

PROPOSED
TOWNHOME
UNIT 2
FIN. FLR.= 15.35(NAVD)

EX. WATER METER/SERVICE
(TBR) TO BE REMOVED AND
CAPPED AT CORP. STOP

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.=13.97'
INV.= 11.47'

PROP. 3' ACCESS EASEMENT (TYP.)

PROPOSED
TOWNHOME
UNIT 1
FIN. FLR.= 15.35(NAVD)

TIE PROPOSED ELECTRIC
LINES TO EXISTING
SERVICES (COORDINATE
WITH FPL)

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

TIE PROPOSED WATER LINES TO
EXISTING WATER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

BENCHMARK #2 NAIL & DISK
ELEVATION = 12.83 NAVD

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

TIE PROPOSED WATER LINES TO
EXISTING WATER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

EAST 10' OF LOT
15, BLOCK 102

SOUTH BOUND LA

EAST RIGHT-OF-WAY LINE
OF S. E 5TH AVENUE

EAST BLOCK LINE OF
BLOCK 102, P.B. 3, PG

ORIGINAL WEST LINE OF BLOCK 110

EAST RIGHT-OF-WAY LINE

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

BENCHMARK #1 NAIL & DISK
ELEVATION = 12.91 NAVD

BLOCK 110
TOWN OF LINTON
PLAT BOOK 1, PAGE 3
ONE STORY COMMERCIAL
BUILDING
FINISH FLOOR = 14.34

2' CONC CURB &
GUTTER (TYPICAL)

CONTRACTOR TO REPLACE IN
KIND EX. SIDEWALK &
PAVEMENT DAMAGED BY
UNDERGROUND WATER SERVICE
INSTALLATION (TYP.)

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

EX. 2' CONC CURB &
GUTTER (TYPICAL)(TR)

S.E. 5TH AVENUE
PLATTED BOYNTON STREET
(50 R/W BY PLAT)

UPTOWN DELRAY
PLAT BOOK 118, PAGE 175
MULTI LEVEL GARAGE
F.F. = 15.38

16' ALLEY WAY
PLAT BOOK 1, PAGE 3

PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)

TRACT Z-1
(PLAT BOOK 118, PAGE 175)

TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

EX. PAVED ALLEY (TR)

2'

PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)

TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

TIE PROPOSED TELECOM LINES TO
EXISTING SERVICES (COORDINATE
WITH TELECOM PROVIDER)

PROP. 2' R.O.W DEDICATION

FOUND NAIL & DISK
IN BRICK ALLEY
LB 7264 STAMPED PCP

EX. CONC HEADER (TR)

S89°20'28"W 18.00'

P.O.B.
SOUTH WEST CORNER LOT 16
BLOCK 102, P.B. 1, PG 3
SET NAIL & DISK LB 3591

LIMITS OF MILL/OVERLAY

PROP. TRANSFORMER
(PER FPL STANDARDS)

EX. ELECTRIC
VAULT(TR)

PROP. 10' DRAINAGE EASEMENT

N89°20'28"E 125.02'(S) 125.00'(D)

EX. CONCRETE WALL (TR)

EX. CONCRETE WALL (TR)

EX. BRICK WALK (TO REMAIN)

SOUTH LINE OF LOT 16, BLOCK 102,
P.B. 1, PAGE 3, BASIS OF BEARINGS

BUILDING
LINE

CATCH BASIN
GRATE = 13.81

FINISH FLOOR
THIS AREA = 15.39

BUILDING
LINE

EX. 8" VCP SANITARY SEWER
(CONTRACTOR TO FIELD VERIFY PRIOR TO
CONSTRUCTION)

SANITARY SEWER MH
RIM = 13.30
INVERT N = 4.90
INVERT S = 6.55
INVERT W = 4.32
INVERT E = 4.20

377'-0" 8" VCP PIPE

UPTOWN DELRAY
PLAT BOOK 118, PAGE 175
FINISH FLOOR
THIS AREA = 15.35

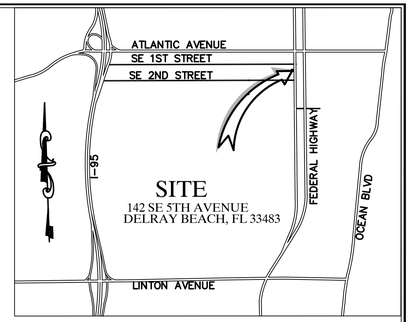
FINISH FLOOR
THIS AREA = 13.74

N1°31'36"W 224.93'

FOUND NAIL & DISK
IN CONCRETE WALK
LB 7264 STAMPED PRM

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & 2.0

NOTE:
ELEVATION ARE SHOWN IN NAVD
CONVERSION NAVD+1.54 = NGVD



NOTE: WM SIZES SHALL BE DESIGNED BY E.O.R. AND SHALL BE CHECKED AND AUTHORIZED BY THE CITY OF DELRAY BEACH UTILITIES DIVISION

LEGEND

- EX. PROPERTY/ROW LINE
- PROP. PROPERTY/ROW LINE
- PLATTED EAST LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED YARD DRAIN
- 15.55 EXISTING GRADE
- 16.50 PROPOSED GRADE
- 17.25 MATCH EXISTING GRADE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- S PROPOSED SANITARY SEWER LINE
- S EXISTING SANITARY SEWER LINE
- E PROPOSED ELECTRIC LINE
- OH EXISTING OVERHEAD LINE
- T PROPOSED TELEPHONE/CABLE LINE
- T EXISTING TELEPHONE/CABLE LINE
- G PROPOSED GAS LINE
- G EXISTING GAS LINE
- PROPOSED BUILDING
- PROPOSED ASPHALT REPLACEMENT (SEE DETAIL RT 1.0)
- PROPOSED ROW BRICK WALK (SEE DETAIL RT 26.0)
- PROPOSED ONSITE PEDESTRIAN PAVERS (SEE ARCH PLANS FOR DETAILS)
- PROPOSED PAVER DRIVEWAY (SEE DETAIL RT 28.0)
- PROPOSED TURF (SEE ARCH PLANS FOR DETAILS)
- PROPOSED 1" ASPHALT MILL/OVERLAY
- PROPOSED LIGHT POLE (SEE LANDSCAPE PLANS FOR DETAILS)
- PROPOSED BOLLARD LIGHT (SEE LANDSCAPE PLANS FOR DETAILS)

Call 48 hours before you dig
It's the Law!
1-800-432-4770
Sunshine State One Call of Florida, Inc.

FDOT OPEN CUT RESTORATION REQUIREMENTS:

1. BASE MATERIAL (LIME ROCK ONLY) IS 15-1/2" IN DEPTH AND SHALL BE STEP-CUT AT 8" V : 12" H, AFTER FIRST LIFT.
2. ENSURE BASE ROCK TOP LIFT IS BLENDED WITH EXISTING BASE MATERIAL; AND ASPHALT IS STRAIGHT CUT A MINIMUM OF 18" FROM BLENDED BASE ROCK (ALONG PERIMETER).
3. REPLACE STRUCTURAL ASPHALT (MATCH EXISTING THICKNESS BUT NO LESS THAN 3") WITH SP 12.5 TLC (WITH RUBBER).
4. RUN TRAFFIC ON PERMANENT PATCH FOR 30 DAYS PRIOR TO MILLING AFFECTED LANES AND INSTALL TEMPORARY PAINT STRIPES, MARKINGS AND RPM'S, IF APPLICABLE.
5. MILL (1-5/8") 50' EITHER SIDE OF THE PERMANENT ASPHALT PATCH AND REPLACE WITH FC-12.5 TLC (WITH RUBBER) OF THE AFFECTED LANE(S).
6. RETURN MILLINGS TO PB OPERATION YARD, AT PERMITTEE'S EXPENSE OR AS DIRECTED BY THE LOCAL RESIDENT OPERATIONS ENGINEER OR DESIGNEE.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

REVISIONS	DATE	BY
REV. PER CITY COMMENTS	09/05/24	MVK
REV. PER CITY COMMENTS	08/29/24	JRH
REV. PER CITY COMMENTS	07/15/24	JRH

FILE NAME: 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE SUITE 100
7900 GLADES ROAD BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED WATER DISTRUBUTION, PROPOSED TOWNHOMES
SANITARY SEWER & UTILITY PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE 10/18/23
DRAWN BY JJB
F.B./ PG. ----
SCALE 1"= 10'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
WS-1
OF 14 SHEETS

PRESSURE PIPE NOTES:

1. FOR PIPE SIZES 4"–8" THERE SHALL BE 30" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE. FOR PIPE SIZE 10" AND LARGER THERE SHALL BE 36" MINIMUM COVER.

2.a. DUCTILE IRON PIPE (DIP) FOR FORCE MAINS SHALL BE CLASS 350 WITH 401 EPOXY LINED IN ACCORDANCE WITH AWWA C550.

2.b. DUCTILE IRON PIPE (DIP) FOR WATER MAINS SHALL BE CLASS 350 IN ACCORDANCE WITH AWWA C151 (ANSI A21.51), AND SHALL HAVE AN INTERNAL LINING OF CEMENT MORTAR IN ACCORDANCE WITH AWWA C104/ A21.4.

3. C-900 PVC PRESSURE PIPE MAY BE USED IN LIEU OF DIP WATER MAIN WITH METAL TAPE AND WIRE ABOVE THE PIPE.

4. ALL FITTINGS FOR FORCE MAIN SHALL BE CLASS 350 DUCTILE IRON WITH MECHANICAL JOINTS AND 401 EPOXY LINING.

5. WATER MAIN VALVES 12 INCHES AND SMALLER SHALL BE RESILIENT–SEAL WEDGE GATE VALVES IN ACCORDANCE WITH AWWA C509. WATER MAIN VALVES LARGER THAN 12 INCHES SHALL BE BUTTERFLY VALVES IN ACCORDANCE WITH AWWA C504. SEWAGE FORCE MAIN VALVES SHALL BE RESILIENT–SEAL PLUG VALVES IN ACCORDANCE WITH AWWA C517.

6. ALL TRENCHING, PIPE–LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTION MUST COMPLY WITH CITY AND LOCAL GOVERNMENTAL REGULATIONS AND STANDARDS.

7. WATER AND FORCE MAINS SHALL BE PIGGED A MINIMUM OF TWO TIMES, AND ADDITIONALLY, IF REQUIRED BY ENGINEER OF RECORD, AS WELL AS, PRESSURE TESTED FOR A PERIOD OF NOT LESS THAN TWO HOURS AT 150 PSI IN ACCORDANCE WITH ANSI/AWWA C600 LATEST STANDARDS. ALLOWABLE LEAKAGE SHALL BE DETERMINED AS FOLLOWS:

$$L = \frac{SD\sqrt{P}}{148{,}000}$$

WHERE:

L = ALLOWABLE LEAKAGE (GALLONS PER HOUR)
S = PIPE LENGTH (FEET)
D = NOMINAL DIAMETER OF PIPE (INCHES)
P = AVERAGE TEST PRESSURE (PSI)

8. RESTRAINTS SHALL BE PROVIDED AT ALL FITTINGS AS SHOWN ON PP 2.0 AND 2.1

9. PRIOR TO ANY TESTING UNDER FUTURE PAVEMENT, ROCK SHALL BE FINISHED & PRIMED OR 1ST LIFT OF ASPHALT PLACED.

10. PIG SIZE SHALL BE PIPE DIAMETER PLUS 2" OR NEXT LARGER DIAMETER.

11. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10–FEET FROM ANY EXISTING OR PROPOSED WATER OR FORCE MAINS.

12. LINE STOPS SHALL BE INSTALLED A MINIMUM OF 3 PIPE LENGTHS FROM LOCATION OF PIPE REMOVED AND PROVIDE NECESSARY JOINT RESTRAINTS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PRESSURE PIPE NOTES

DATE: 09–15–2021
PP 1.0

MINIMUM LENGTHS OF PIPE (FT) TO BE RESTRAINED

FITTING TYPE		PIPE SIZE 4"	6"	8"	10"	12"	16"	20"	24"
90° HORIZ. BEND		14	20	25	30	35	45	54	62
45° HORIZ. BEND		6	8	11	13	15	19	22	26
22.5° HORIZ. BEND		3	4	5	6	7	9	11	12
11.25° HORIZ. BEND		1	2	3	3	4	4	5	6
90° VERT. OFFSET	UPPER BEND	55	79	103	125	147	189	228	266
	LOWER BEND	22	38	49	59	69	88	106	123
45° VERT. OFFSET	UPPER BEND	22	32	42	51	60	77	93	109
	LOWER BEND	10	14	19	23	28	35	43	50
22.5° VERT. OFFSET	UPPER BEND	7	12	17	21	26	34	42	49
	LOWER BEND	2	4	6	8	10	14	17	21
11.25° VERT. OFFSET	UPPER BEND	3	4	6	9	11	15	19	22
	LOWER BEND	1	1	1	2	3	5	7	8
PLUG (DEAD END)		32	45	59	70	83	107	129	151
INLINE VALVE		32	45	59	70	83	107	129	151
TEE (BRANCH RESTRAINT)	4" X ø"	23							
	6" X ø"	21	35						
	8" X ø"	18	34	47					
	10" X ø"	16	32	46	58				
	12" X ø"	13	30	44	57	69			
	16" X ø"	7	26	41	55	67	90		
	20" X ø"	1	21	38	52	65	88	109	
	24" X ø"	1	16	34	49	62	86	108	129
REDUCER (LARGER PIPE RESTRAINT)	6" X ø"	23							
	8" X ø"	38	25						
	10" X ø"	57	43	24					
	12" X ø"	72	60	44	41				
	16" X ø"	99	90	78	75	45			
	20" X ø"	123	116	107	105	81	45		
	24" X ø"	146	140	132	131	111	82	45	

RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PIPE RESTRAINT TABLE
PRESSURE PIPE
(SHEET 1 OF 2)

DATE: 09–15–2021
PP 2.0

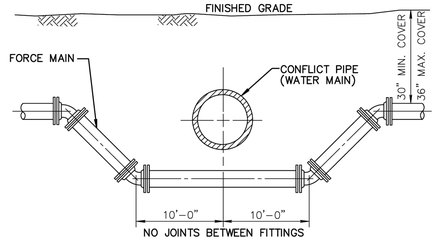
NOTES:

1. THE DATA IN THE PREVIOUS TABLE IS BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:
   SOIL TYPE .....SAND
   TEST PRESSURE .....150 PSI, 200 PSI FOR PIPES LARGER THAN 24"
   DEPTH OF BURY .....3'
   TRENCH TYPE 3
   SAFETY FACTOR 1.5
   VERTICAL OFF–SET .....3'
   MINIMUM PIPE LENGTHS
   ALONG TEE RUN .....5'
2. THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON PIPE AND PVC PIPE.
3. ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.
4. RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES
5. THE PREVIOUS TABLE SHALL SERVE AS A GENERAL DESIGN GUIDE ONLY. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO JUSTIFY AND DOCUMENT ANY DEVIATIONS FROM THE PIPE LENGTHS SPECIFIED IN THE PREVIOUS TABLE.
6. SOURCES: EBAA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, RELEASE 3.1 (LATEST EDITION) AND DIPRA RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2 (LATEST EDITION).
7. RESTRAINED JOINTS SHALL EXTEND ONE JOINT BEYOND MINIMUM LENGTH REQUIRED.

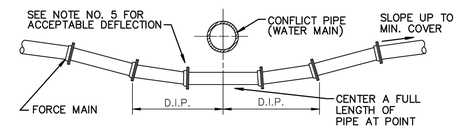
CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PIPE RESTRAINT TABLE
PRESSURE PIPE
(SHEET 2 OF 2)

DATE: 09–15–2021
PP 2.1



FITTING TYPE



DEFLECTION TYPE

NOTES:

1. THERE SHALL BE IN ALL CASES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER MAINS AND FORCE MAINS.
2. WHEREVER POSSIBLE WATER MAINS SHALL PASS OVER FORCE MAINS OR STORM SEWERS.
3. FITTINGS SHALL BE RESTRAINED WITH MECHANICAL JOINT RESTRAINTS.
4. THE DEFLECTION TYPE CROSSING IS PREFERRED.
5. DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
6. REFER TO TYPICAL RESTRAINING DETAIL PP 2.0 AND 2.1

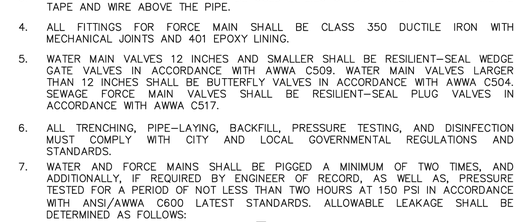
CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

PRESSURE PIPE CONFLICT TABLE

DATE: 09–15–2021
PP 3.0

REV PER CITY COMMENTS	09/05/24 MVK
REV PER CITY COMMENTS	08/29/24 JRH
REV PER CITY COMMENTS	07/18/24 JRH
REVISIONS	DATE BY
FILE NAME: 10577ENG.dwg	

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE – SURVEYING
7900 GLADES ROAD – SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452



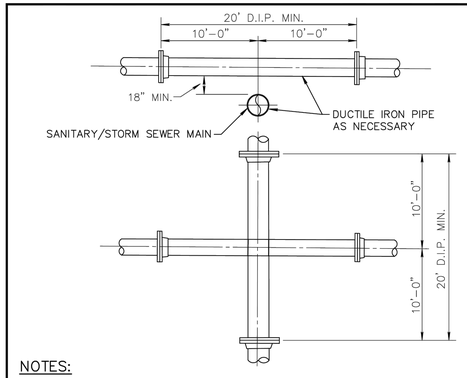
NOTES:

1. BOTH VALVES SHALL BE KEPT CLOSED UNTIL FILLING, FLUSHING, AND BACTERIOLOGICAL TESTING IS COMPLETED AND APPROVED.
2. GAUGE AND RISER TO BE REMOVED AFTER PRESSURE TEST.
3. CITY SHALL BE NOTIFIED BEFORE FILLING AND FLUSHING.
4. AFTER RELEASE FROM THE HEALTH DEPARTMENT, BOTH VALVES TO BE LEFT OPEN WITH VALVE BOX INSTALLED ON BOTH VALVES.
5. PRESSURE TEST PUMP MAY CONNECT TO SERVICE LINE, FIRE HYDRANTS OR BLOWOFF. NO EXTRA TAPS ARE PERMITTED SOLELY FOR TESTING PURPOSES UNLESS PRECEEDING ARE NOT PRESENT IN TEST SECTION.
6. TAPPING SADDLE OR SLEEVE (PER CURRENT CITY PRODUCT LIST) IS REQUIRED ON EXISTING MAIN.
7. SETUP FOR ALL DOUBLE VALVE CONNECTIONS TO INCLUDE ATMOSPHERE VENTS AS SHOWN ABOVE.
8. OUTLET ON VENT TO ATMOSPHERE A MINIMUM 24" ABOVE EXISTING GRADE.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

FILL & FLUSH DETAIL

DATE: 09–15–2021
PW 1.0



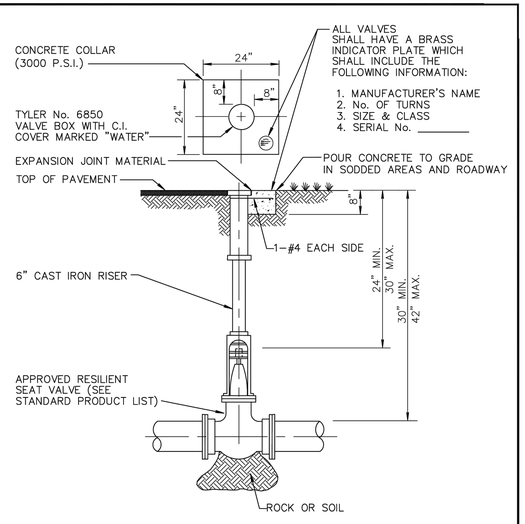
NOTES:

1. STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN JOINTS ARE EQUIDISTANT FROM POINT OF CROSSING WITH NO LESS THAN (10) FEET BETWEEN ANY TWO JOINTS AND BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STARTED ABOVE, SHALL BE REQUIRED AND BOTH PIPES SHALL BE CLASS 350 D.I.P. IRRESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
2. MAINTAIN (10) FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN, AS A MINIMUM.
3. FORCE MAIN CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE WATER MAIN WITH WATER MAIN CROSSING OVER FORCE MAIN.
4. SEWER SERVICE LATERALS SHALL CROSS UNDER WATERMAINS WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE D.I.P. AND THE SANITARY LATERAL C–900 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES.
5. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATERMAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C–900 SDR–18 OR BETTER.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

WATER MAIN & SEWER CONFLICTS

DATE: 09–15–2021
PW 2.0



NOTES:

1. WHEN VALVE IS DEEPER THAN 30" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"–30" BELOW FINISHED GRADE EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED.
2. AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS, TIE RODS, OR OTHER RESTRAINT APPROVED BY UTILITIES DEPARTMENT (NO THRUST BLOCKS ALLOWED).

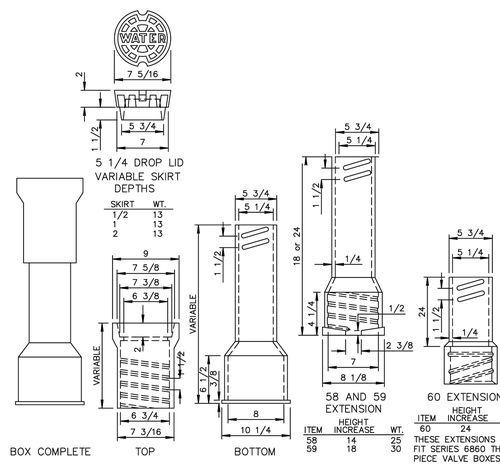
CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL GATE VALVE DETAIL
4" THRU 12"

DATE: 09–15–2021
PW 3.0

ITEM	BOX COMPLETE EXTENSION IN INCHES	WT.	TOP SECTION W/LID LENGTH	WT.	BOTTOM LENGTH	WT.	PIECES PER PKG.
461–S	19–22	60	10	35	15	25	..
462–S	27–32	70	10	35	24	35	..
562–S	27–37	80	16	45	24	35	20
563–S	33–43	85	16	45	30	40	20
564–S	39–50	90	16	45	36	45	20
662–S	36–52	105	26	65	30	40	20
664–S	39–60	110	26	65	36	45	20
666–S	51–71	135	26	65	**48	70	20
668–S	62–82	145	26	65	**60	80	20

**MAY BE FURNISHED IN TWO PIECES SCREWED TOGETHER TO MAKE THE LENGTH REQUIRED.



NOTE: LOCKING LIDS WILL NOT BE ACCEPTED.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CAST IRON VALVE BOXES FOR TEMPORARY DEADENDS TWO PIECE

DATE: 09–15–2021
PW 4.0

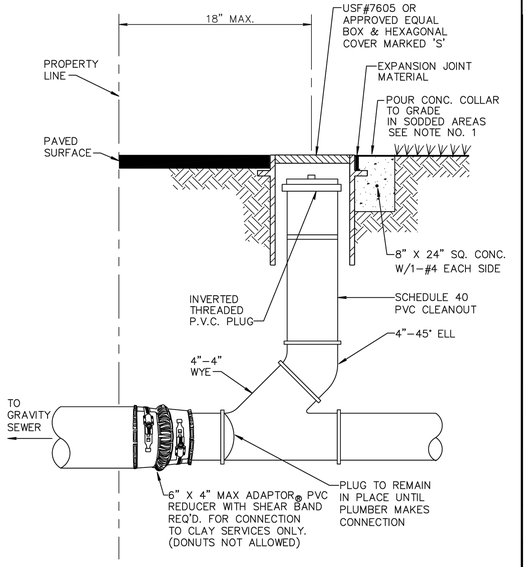
FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED WATER DISTRIBUTION & SANITARY SEWER DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	N/A

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT.NO.
WS–2
OF 14 SHEETS

Drawing: P:\10577–00–00\Drawings\dwg\details\10577DETAILS–WS_DELRAY.dwg\WS–DETAILS_SHT–WS–2



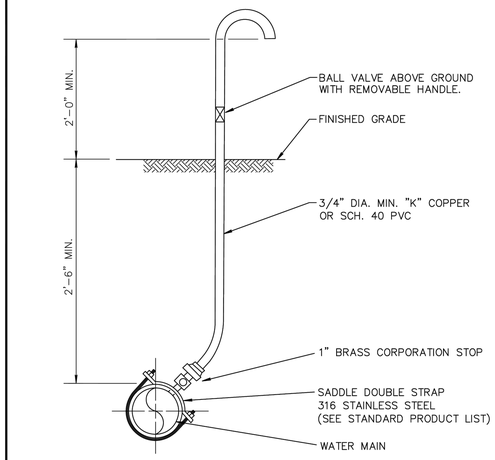
NOTE:

1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL RESIDENTIAL CLEANOUT

DATE: 09-15-2021
WW 9.0



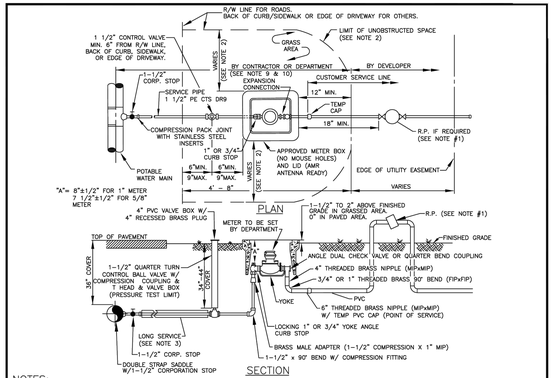
NOTES:

1. SAMPLE POINT SHOULD BE AT SERVICE LINE OR FIRE HYDRANT IF POSSIBLE.
2. IF SAMPLE POINT IS NOT AT SERVICE LINE OR FIRE HYDRANT, CORP. STOP SHALL BE SHUT OFF AT MAIN AND ALL TUBING SHALL BE REMOVED, AND CORP. STOP SHALL HAVE A BRASS PLUG OR CAP INSTALLED AFTER RELEASE OF WATER MAIN BY PALM BEACH COUNTY HEALTH DEPARTMENT.
3. IF AT ALL POSSIBLE SAMPLE POINT SHALL NOT BE LOCATED IN A TRAFFIC AREA.
4. SAMPLE POINTS SHALL KEEP RUNNING UNTIL PALM BEACH COUNTY HEALTH DEPARTMENT RELEASE AND ALL MAIN LINE VALVES ARE OPENED.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL SAMPLE POINT

DATE: 09-15-2021
PW 10.0



NOTES:

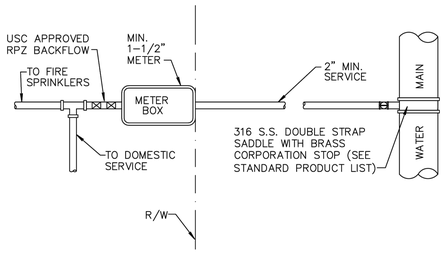
1. ALL NON-RESIDENTIAL SERVICES SHALL HAVE AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (R.P.). THE R.P. SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF SERVICE NOT TO EXCEED 48" WITHOUT PRIOR DEPARTMENT APPROVAL.
2. LIMIT OF UNOBSTRUCTED SPACE FROM SIDE OF WATER METER BOX SHALL BE 36" MINIMUM FOR SHRUBS AND SIMILAR OBSTRUCTIONS WITH 60" MINIMUM FOR TREES, WALLS, AND OTHER SIMILAR OBSTRUCTIONS.
3. FOR INSTALLATION OF SERVICES UNDER DRIVEWAYS AND ROADWAYS USE MIN. 3" DIAMETER BLACK IRON, PVC SCH 40 OR HDPE SDR 9 CASING. CASING SHALL EXTEND MIN. 24" BEYOND EDGE OF PAVEMENT. END OF CASING TO BE SEALED WITH FOAM SEALANT. CASING SHALL BE COLOR-CODED BLACK, WHITE, BLUE, OR BLUE STRIPED.
4. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" APART. TAPS ON SAME SIDE OF A PVC PIPE SECTION SHALL BE MIN. 10' APART
5. METER SHALL NOT BE PLACED IN SIDEWALK OR DRIVEWAY AREAS. WATER SERVICE LINES AND TAPS SHALL NOT BE PLACED UNDER DRIVEWAYS WHENEVER POSSIBLE AND IF REQUIRED, ONLY WITH PRIOR DEPARTMENT APPROVAL.
6. MAXIMUM SERVICE LENGTH IS 100' TO METER.
7. BEDDING (MIN. 4") AND COVER (MIN. 4") OVER SERVICE LINE OR CASING SHALL CONSIST OF FINE GRANULAR MATERIAL UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED WITH 2" MAXIMUM SIZE.
8. METER/SERVICE WILL NOT BE INSTALLED/ACTIVATED UNTIL:
   A. ALL FORM BOARDS FOR DRIVEWAY AND/OR SIDEWALK MUST BE COMPLETELY INSTALLED OR THE DRIVEWAY AND/OR SIDEWALK MUST HAVE BEEN INSTALLED.
   B. "MINIMUM UNOBSTRUCTED SPACE" AS SHOWN IN NOTE 2 AND ON THE PLAN VIEW IS PROVIDED WITH 12" MINIMUM VERTICAL SEPARATION REQUIRED TO ALL OTHER UTILITIES.
   C. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY/DEVICE IS INSTALLED AND HAS PASSED INITIAL TEST.
9. METER TO BE INSTALLED BY DEPARTMENT. THE PIPING BEYOND THE CONTROL VALVE TO BE INSTALLED BY THE DEVELOPER OR THE DEPARTMENT DEPENDING ON THE TYPE OF SERVICE INSTALLATION REQUIRED.
10. THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR INSTALLATION OF SERVICES BEYOND PRESSURE TEST LIMITS AS SPECIFIED BY THE DEPARTMENT.
11. THREADED AREAS OF CORPORATION STOP AND OTHER FITTINGS SHALL BE SPIRAL WRAPPED WITH TWO (2) WRAPS OF TEFLON TAPE.
12. METER BOXES IN NON-GRASS AREAS SHALL HAVE TRAFFIC RATED LIDS.
13. A 12" THICK COMPACTED 3/4" ROCK BASE IS REQUIRED FOR METER BOXES OUTSIDE OF GRASS AREA. THE BASE SHALL EXTEND MIN. 12" BEYOND THE METER BOX PERIMETER.
14. STAINLESS STEEL INSERTS ARE REQUIRED FOR ALL COMPRESSION FITTINGS.
15. PVC SHALL BE SCHEDULE 40 PIPE WITH SCHEDULE 80 FITTINGS. ALL BRASS FITTINGS SHALL BE "LEAD FREE".

REVISED

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

POTABLE WATER SERVICE SINGLE 1" METER INSTALLATION DETAIL

DATE: 01-25-2021
PW 12.0



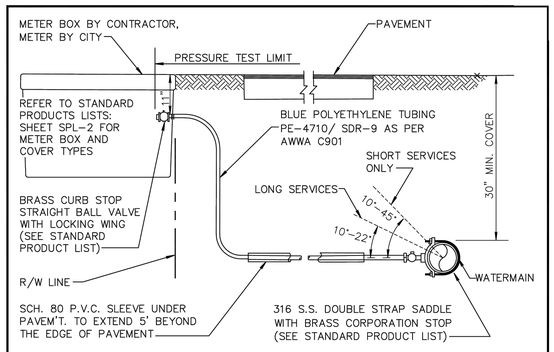
NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL SERVICE LINES REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. ALL VALVES TO BE BALL VALVES.
9. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
10. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO METER.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL FIRE SERVICE CONNECTION

DATE: 09-15-2021
PW 14.0



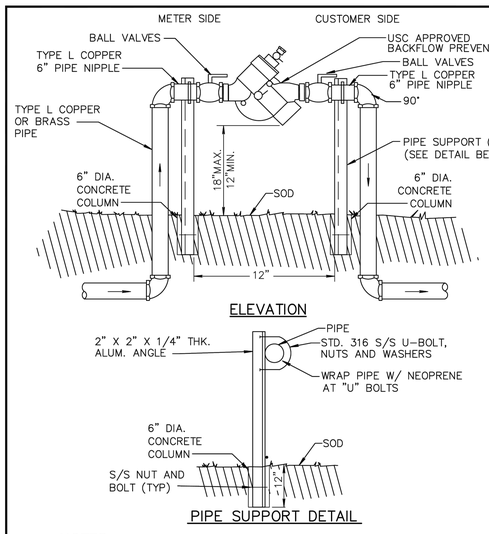
NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
9. ALL VALVES TO BE BALL VALVES.
10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
12. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
13. ALL COMMERCIAL WATER SERVICE SHALL BE A MINIMUM OF 2".
14. WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION IN DRIVEWAYS

DATE: 09-15-2021
PW 13.0



NOTES:

1. FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.
3. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
4. USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.
5. USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

REDUCED PRESSURE ZONE BACKFLOW PREVENTER

DATE: 09-15-2021
PW 17.0

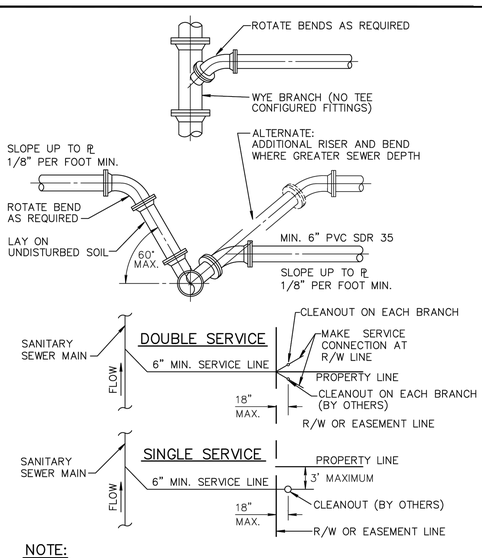
GRAVITY SEWER NOTES

1. MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
2. ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
4. (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
5. (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWISE APPROVED BY UTILITIES DEPARTMENT.
6. NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
7. MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
8. TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
9. PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
10. BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS , LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
11. ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
12. WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
13. UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
14. EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
15. COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
16. AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
17. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
18. ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
19. ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

GRAVITY SEWER NOTES

DATE: 09-15-2021
WW 1.0



NOTE:

1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
3. SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SEWER SERVICE CONNECTION

DATE: 09-15-2021
WW 8.0

REVISIONS	DATE	BY
REV PER CITY COMMENTS	09/05/24	MVK
REV PER CITY COMMENTS	08/29/24	JRH
REV PER CITY COMMENTS	07/18/24	JRH

FILE NAME: 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED WATER DISTRIBUTION & SANITARY SEWER DETAILS
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	N/A

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
– FOR THE FIRM –
DATE

JOB # 10577
SHT NO. WS-3
OF 14 SHEETS

NOTE: CONTRACTOR IS REQUIRED TO ASBUILT WATER, SEWER, DRAINAGE AND FINAL GRADING ELEVATIONS PER THE REQUIREMENTS OF FDOT/CITY OF DELRAY BEACH

LOT 14, BLOCK 102
TOWN OF LINTON
PLAT BOOK 1, PAGE 3
ONE STORY APARTMENTS
FINISH FLOOR = 14.34

N89°20'28"E 125.02'(S)125.00'(D)
NORTH LINE OF LOT 15, BLOCK 102

LIMITS OF MILL/OVERLAY

SOUTH WEST CORNER LOT 15
BLOCK 102, P.B.1, PG 3
SET NAIL & DISK LB 3591

SANITARY SEWER MH
RIM = 13.13
INVERT N = 6.41
INVERT S = 6.26

2' ROW DONATION
EX. ROW LINE
PROP. ROW LINE
PROP. 10' UTILITY EASEMENT
PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)
TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

EX. FENCE (TR)
EX. CONC (TR)
RAISED CONC CURB
EX. PAVED ALLEY (TR)
18' ALLEY
(PLAT BOOK 1, PAGE 3)
(PLAT BOOK 118, PAGE 175)
N1°31'36"W 122.46'(S)122.40'(D)
61.43'

UPTOWN DELRAY
PLAT BOOK 118, PAGE 175
MULTI LEVEL GARAGE
F.F. = 15.38

16' ALLEY WAY
PLAT BOOK 1, PAGE 3

PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)
TRACT Z-1
(PLAT BOOK 118, PAGE 175)
TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

PROP. 6" PVC SEWER LATERAL (TYP)
(1% MIN. SLOPE + 2' MIN. COVER)
TIE PROPOSED SEWER LINES TO
EXISTING SEWER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)
TIE PROPOSED TELECOM LINES TO
EXISTING SERVICES (COORDINATE
WITH TELECOM PROVIDER)
PROP. 2' R.O.W DEDICATION

FOUND NAIL & DISK
IN BRICK ALLEY
LB 7264 STAMPED PCP
EX. CONC HEADER (TR)
S89°20'28"W 18.00'
P.O.B.
SOUTH WEST CORNER LOT 16
BLOCK 102, P.B. 1, PG 3
SET NAIL & DISK LB 3591
LIMITS OF MILL/OVERLAY

PROP. TRANSFORMER
(PER FPL STANDARDS)
EX. ELECTRIC
VAULT(TR)
PROP. 10' DRAINAGE EASEMENT

EX. 8" VCP SANITARY SEWER
(CONTRACTOR TO FIELD VERIFY PRIOR TO
CONSTRUCTION)

SANITARY SEWER MH
RIM = 13.30
INVERT N = 4.90
INVERT S = 6.55
INVERT W = 4.32
INVERT E = 4.20
377.0' 8" VCP PIPE

CONTRACTOR TO MAINTAIN 18"
MIN VERTICAL SEPARATION
BETWEEN UTILITIES (TYP.)
PROP. 3' ACCESS EASEMENT (TYP.)

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.20'
INV.= 10.70'
PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.35'
INV.= 10.85'

PROPOSED
TOWNHOME
UNIT 5
FIN. FLR.= 15.35(NAVD)
PROPOSED
TOWNHOME
UNIT 4
FIN. FLR.= 15.35(NAVD)
EX. WATER METER/SERVICE
(TBR) TO BE REMOVED AND
CAPPED AT CORP. STOP
PROPOSED
TOWNHOME
UNIT 3
FIN. FLR.= 15.35(NAVD)

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.=13.55'
INV.= 11.05'
PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.= 13.75'
INV.= 11.25'

PROPOSED
TOWNHOME
UNIT 2
FIN. FLR.= 15.35(NAVD)
EX. WATER METER/SERVICE
(TBR) TO BE REMOVED AND
CAPPED AT CORP. STOP
PROP. 3' ACCESS EASEMENT (TYP.)

PROP. CLEANOUT (END OF
CITY RESPONSIBILITY) (TYP.)
RIM ELEV.=13.97'
INV.= 11.47'

PROPOSED
TOWNHOME
UNIT 1
FIN. FLR.= 15.35(NAVD)

TIE PROPOSED ELECTRIC
LINES TO EXISTING
SERVICES (COORDINATE
WITH FPL)

N89°20'28"E 125.02'(S) 125.00'(D)
EX. CONCRETE WALL (TR)
EX. CONCRETE WALL (TR)
EX. BRICK WALK (TO REMAIN)
SOUTH LINE OF LOT 16, BLOCK 102,
P.B. 1, PAGE 3, BASIS OF BEARINGS
BUILDING
LINE
CATCH BASIN
GRATE = 13.81
FINISH FLOOR
THIS AREA = 15.39

FINISH FLOOR
THIS AREA = 13.74
FOUND NAIL & DISK
IN CONCRETE WALK
LB 7264 STAMPED PRM

UPTOWN DELRAY
PLAT BOOK 118, PAGE 175
FINISH FLOOR
THIS AREA = 15.35

EX. 12" WATER MAIN (TO REMAIN)
EX. BRICK WALK (TR)
EX. PAVED PARKING (TR)
SET NAIL &
DISK LB 3591

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ
TIE PROPOSED WATER LINES TO
EXISTING WATER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

BENCHMARK #2 NAI
ELEVATION = 12.83

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ
TIE PROPOSED WATER LINES TO
EXISTING WATER MAIN (TYP.)
(COORDINATE WITH DELRAY UTILITIES)

EAST RIGHT OF WAY LINE
OF S. E. 5TH AVENUE
EAST BLOCK LINE OF
BLOCK 102, P.B. 1, PG 3
EAST 10' OF LOT
15, BLOCK 102
SOUTH BOUND LA
ORIGINAL WEST LINE OF BLOCK 110

PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ
N1°31'36"W 122.46'(S)122.40'(D)
PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

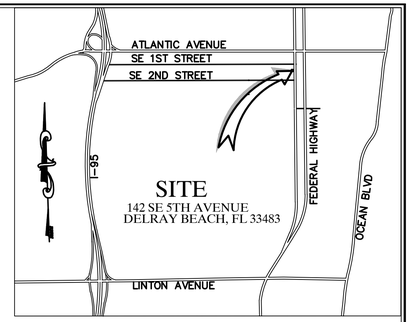
BENCHMARK #1 NAIL & DISK
ELEVATION = 12.91 NAVD
BLOCK 11
TOWN OF LIN
PLAT BOOK 1, P
ONE STORY COMM
BUILDING
FINISH FLOOR =
2' CONC CURB &
GUTTER (TYPICAL)

CONTRACTOR TO REPLACE IN
KIND EX. SIDEWALK &
PAVEMENT DAMAGED BY
UNDERGROUND WATER SERVICE
INSTALLATION (TYP.)
PROP. 2" PE DOMESTIC WATER
SERVICE, 1.5" DOMESTIC W.M.
(END OF CITY RESPONSIBILITY)
W/ 2" CORP STOP & 2" RPZ

N1°31'36"W 224.93'
EX. BRICK WALK (TR)
EX. 2' CONC CURB &
GUTTER (TYPICAL)(TR)
S.E. 5TH AVENUE
PLATTED BOYNTON STREET
(50 R/W BY PLAT)

FDOT OPEN CUT RESTORATION REQUIREMENTS:

1. BASE MATERIAL (LIME ROCK ONLY) IS 15-1/2" IN DEPTH AND SHALL BE STEP-CUT AT 8" V : 12" H, AFTER FIRST LIFT.
2. ENSURE BASE ROCK TOP LIFT IS BLENDED WITH EXISTING BASE MATERIAL; AND ASPHALT IS STRAIGHT CUT A MINIMUM OF 18" FROM BLENDED BASE ROCK (ALONG PERIMETER).
3. REPLACE STRUCTURAL ASPHALT (MATCH EXISTING THICKNESS BUT NO LESS THAN 3") WITH SP 12.5 TLC (WITH RUBBER).
4. RUN TRAFFIC ON PERMANENT PATCH FOR 30 DAYS PRIOR TO MILLING AFFECTED LANES AND INSTALL TEMPORARY PAINT STRIPES, MARKINGS AND RPM'S, IF APPLICABLE.
5. MILL (1-5/8") 50' EITHER SIDE OF THE PERMANENT ASPHALT PATCH AND REPLACE WITH FC-12.5 TLC (WITH RUBBER) OF THE AFFECTED LANE(S).
6. RETURN MILLINGS TO PB OPERATION YARD, AT PERMITTEE'S EXPENSE OR AS DIRECTED BY THE LOCAL RESIDENT OPERATIONS ENGINEER OR DESIGNEE.



LEGEND

- EX. PROPERTY/ROW LINE
- PROP. PROPERTY/ROW LINE
- PLATTED EAST LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED YARD DRAIN
- 15.51 EXISTING GRADE
- 15.50 PROPOSED GRADE
- M.E.P. MATCH EXISTING GRADE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- S PROPOSED SANITARY SEWER LINE
- S EXISTING SANITARY SEWER LINE
- E PROPOSED ELECTRIC LINE
- OH EXISTING OVERHEAD LINE
- T PROPOSED TELEPHONE/CABLE LINE
- T EXISTING TELEPHONE/CABLE LINE
- G PROPOSED GAS LINE
- G EXISTING GAS LINE
- PROPOSED BUILDING
- PROPOSED ASPHALT REPLACEMENT (SEE DETAIL RT 1.0)
- PROPOSED ROW BRICK WALK (SEE DETAIL RT 26.0)
- PROPOSED ONSITE PEDESTRIAN PAVERS (SEE ARCH PLANS FOR DETAILS)
- PROPOSED PAVER DRIVEWAY (SEE DETAIL RT 28.0)
- PROPOSED TURF (SEE ARCH PLANS FOR DETAILS)
- PROPOSED 1" ASPHALT MILL/OVERLAY
- PROPOSED LIGHT POLE (SEE LANDSCAPE PLANS FOR DETAILS)
- PROPOSED BOLLARD LIGHT (SEE LANDSCAPE PLANS FOR DETAILS)

NOTE:
ELEVATION ARE SHOWN IN NAVD
CONVERSION NAVD+1.54 = NGVD

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & 2.0

NOTE: WM SIZES SHALL BE DESIGNED BY E.O.R. AND SHALL BE CHECKED AND AUTHORIZED BY THE CITY OF DELRAY BEACH UTILITIES DIVISION

Call 48 hours before you dig
It's the Law!
1-800-432-4770
Sunshine State One Call of Florida, Inc.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 10 FT.

REVISIONS	DATE	BY
REV. PER CITY COMMENTS	09/05/24	MVK
REV. PER CITY COMMENTS	08/29/24	JRH
REV. PER CITY COMMENTS	07/15/24	JRH

FILE NAME 10577ENG.dwg

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE SUITE 100
7900 GLADES ROAD BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

FIFTH AVENUE TOWNHOMES
PROPOSED TOWNHOMES
PROPOSED COMPOSITE
UTILITY PLAN
142 SE 5TH AVE, DELRAY BEACH, FL 33483

DATE	10/18/23
DRAWN BY	JJB
F.B./ PG.	----
SCALE	1"= 10'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 10577
SHT.NO.
WS-4
OF 14 SHEETS

Radean Arm Mount
LED Area Luminaire

BAA BABA

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications
EPA: 0.75 ft² (0.05 m²)
Length:
L1 24" (61cm)
L2 30" (60.96 cm)
Width: 24" (61cm)
Height: 4" (10.2cm)
Weight (max): 29lbs (13.15Kg)

Introduction
The RADEAN arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flair to any space, the RADEAN's low-profile shape and smooth curves blend in while adding a touch of elegance.

Perfect for campuses, parks, pedestrian malls, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Ordering Information
EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD

RAD1 LED

Series	Performance package	Color temperature	Distribution	Voltage		Mounting
RAD1 LED	P1 3,000 Lumens	27K 2700K	SYM Symmetric type V	MVOLT [2]	277 [2]	SPA Square pole mounting (includes adapter)
	P2 5,000 Lumens	30K 3000K	ASY Asymmetric type IV	120 [2]	347	RPA Round pole mounting
	P3 7,000 Lumens	35K 3500K	PATH Pathway type III	208 [2]	480	WBA Wall bracket
	P4 11,000 Lumens	40K 4000K		240 [2]		
	P5 16,000 Lumens	50K 5000K				

Control options	Other options		Finish (required)	
Shipped installed	SF Single Fuse [2]	Shipped separately	DDBXD Dark bronze	DDBTXD Textured dark bronze
NLTAIR2 nLight AIR 2.0 enabled [3]	DF Double Fuse [2]	HS Houseside shield [5]	DBLXD Black	DBLBXD Textured black
PE Button photocell [3]	L90 Left rotated optics		DNAXD Natural aluminum	DNATXD Textured natural aluminum
FAO Field adjustable output [3]	R90 Right rotated optics		DWHXD White	DWHGXD Textured white
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)				

Accessories
Ordered and shipped separately

RADHS Houseside shield (shield is white)
RADCS Decorative clamshell base for 4" RSS pole (specify finish)
RADFBC Full base cover for 4" RSS pole (specify finish)

For more control options, visit DTL and ROAM online.

NOTES
1. 2700K and 3500K may require extended lead-times.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
3. NLTAIR2 not available with PE or FAO. Must link to external nLight Air network. Does not include occupancy sensor. For more information refer to nSBOR pole mount sensor.
4. DMG not available with NLTAIR2 or FAO.
5. Also available as a separate accessory; see Accessories information. Shield is field rotatable in 45° increments.

STREET LIGHT

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Contemporary Bollard
SPJ126-1B

MODEL: SPJ126-1B
MATERIAL: Solid Brass
FINISH: Matte Bronze
ELECTRICAL: 12V, 120V
WATTAGE: 2W
ENGINE: FB-2WREC-TA125-2700K
LUMENS: 125
MOUNTING: 1/2" NPT. Dual Fin Spike Included

FINISHES
☐ Matte Bronze (MBR)
☐ Verde (V)
☐ Moss (M)
☐ Black (B)
☐ Rusty (R)
☐ Satin Brass (SB)
☐ Aged Brass (AG)
☐ Raw Copper (RC)
☐ Natural Copper (NC)

WATTAGE ☐ 2W
LUMENS 125

Custom lumen packages are available upon request

COLOR TEMPERATURE
☐ 2200K ☐ 5000K
☐ 2700K ☐ 6500K
☐ 3000K ☐ RGBW
☐ 4000K

Custom options are available

ELECTRICAL
☐ 12V ☐ 120V

6"

22 3/8"

1/2" NPT.

Wet Listed

Ordering Example	Customer Approval	Date
SPJ126-1B-MBR-2W-27K-12V		

PAGODA

LED garden and pathway bollard

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

Post construction: Made from two aluminum extrusions mechanically fastened to a one piece die-cast base (bottom) and one piece die-cast lamp housing (top). All aluminum in the construction is marine grade and copper free.

Lamp Enclosure: One piece die-cast aluminum lamp housing. Matte tempered safety glass. Fully gasketed using one piece molded silicone gasket for weather tight operation.

Electrical: 4.2W LED luminaire, 5.8 total system watts, -30°C start temperature. Integral 12V AC driver provided must be operated using remote magnetic transformer. Standard LED color temperature is 3000K with a >90 CRI.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Anchor base: Anchor post provided made of galvanized steel. Bollards are secured to post using two (2) stainless steel set screws.

Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

Please note: BEGA's approach to product design is to innovate, not follow. With a steadfast commitment to quality, each product is conceived to satisfy a general or specific lighting task as defined by its architectural or exterior surroundings. The Home and Garden Collection is designed specifically for use in Residential and Light Commercial applications. Please reference our standard BEGA portfolio when mounting provisions for the rigorous demands of high-use commercial and/or vandal prone settings are required.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 6.2 lbs.

	Lamp	A	B	C	D
77 266	4.2W LED	3 1/2	27 1/2	2	3 1/8

PATH

HK LIGHTING

Project Name
Fixture Type

ZXL16-I
(includes former ZXL16i model)

ACCENT & LANDSCAPE | ZX16 Series | 2.25"
5 - 14W (400 - 1400LM) | 120 - 227V | HK LED, RBGW, Amber

IP67

Standard Line Voltage Accent: ZXL16I-IR1SA-ABL

FEATURES
- Versatile round, directional 120-277V LED modern accent light for commercial and large residential environments.
- 5W, 7W, 10W, 14W integrated HK LED delivering 400-1400 lumens 2200-4000K CCT, including specialty Amber and RGBW options.
- Wet Location Listed, IP67 Standard.
- Machined from solid aircraft grade (6061-T6), corrosion-resistant aluminum, then anodized and powder coated to create a highly durable, marine grade finish. Also available in solid brass or stainless steel.
- 180° vertical and 360° horizontal adjustment via locking swivel stem design.
- Modular components, field changeable LED optical beams, and lenses.
- Available with adjustable Angled, Long, and Short Glare Shields and ground, surface, and canopy mounting options.
- Every fixture tested end of line for water tightness and light quality.
- Ships complete with selected accessories installed.

SPECIFICATIONS
Materials
Machined from billet 6061-T6 corrosion resistant aluminum with 304 stainless steel hardware. Available in 304/316 stainless steel or 360 brass upon request.

Finish
Aluminum materials are first anodized and then powder coated for a robust, marine grade finish. Stainless steel and brass models are provided with brushed surface.

Hood and Glare Shield
Weeping and Non-weeping Hood Styles. Set screw or threaded Angled, Short, or Long Glare Shields. *(See page 4 for details).*

Voltage
120-277V AC

Wattage
5, 7, 10 or 14W HK LED delivering 400-1400 lumens.

Light Engine
Innovative HK LED Light module operates like a lamp and can be easily changed in the field. CRI 90 Standard. Available in CRI 80 or CRI 95 upon request. Standard CCT options are 2700K, 3000K, 3500K, 4000K. Specialty 2200K, 2400K, 2500K, Amber, and RGBW options available. Consult factory for specialty LED specification details.

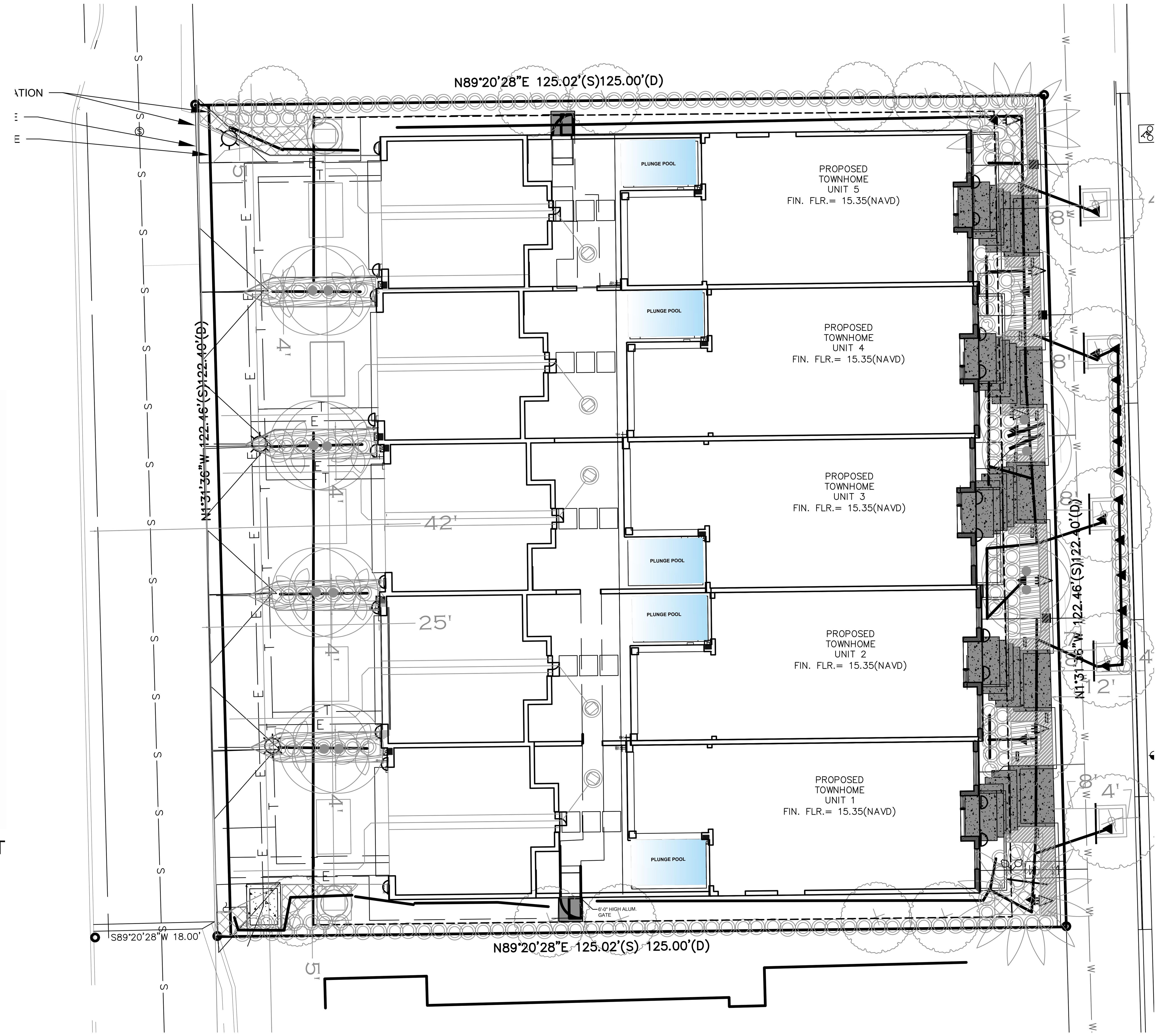
Listngs
ETL Listed for Wet Location, IP67 Standard. RoHS Compliant.

Driver/ Dimming
Onboard, Integrated LED Driver Phase Control @ 120V, 0-10V @ 120-277V, DALI or DMX control available, consult factory for details.

Optics
Narrow (20°), Medium (33°), Wide (44°), and Extra Wide (57°) beam spread options available. Accepts up to 3 optical accessories (hexcel louver, optical lenses, dichroic color filters, etc.) Secured place with metal snap ring.

Mounting
Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting mounting accessories. *(See page 4 for details).*

SPOT



POLE
PAGODA
SPOT
PATH
WALL SCONCE

POLE LIGHTS IN ALLEYWAY SHALL BE DARK SKY COMPLIANT.

0 5 10 20 30
GRAPHIC SCALE 1" = 10'

REVISIONS | DATE | BY
FILE NAME 9992LAND

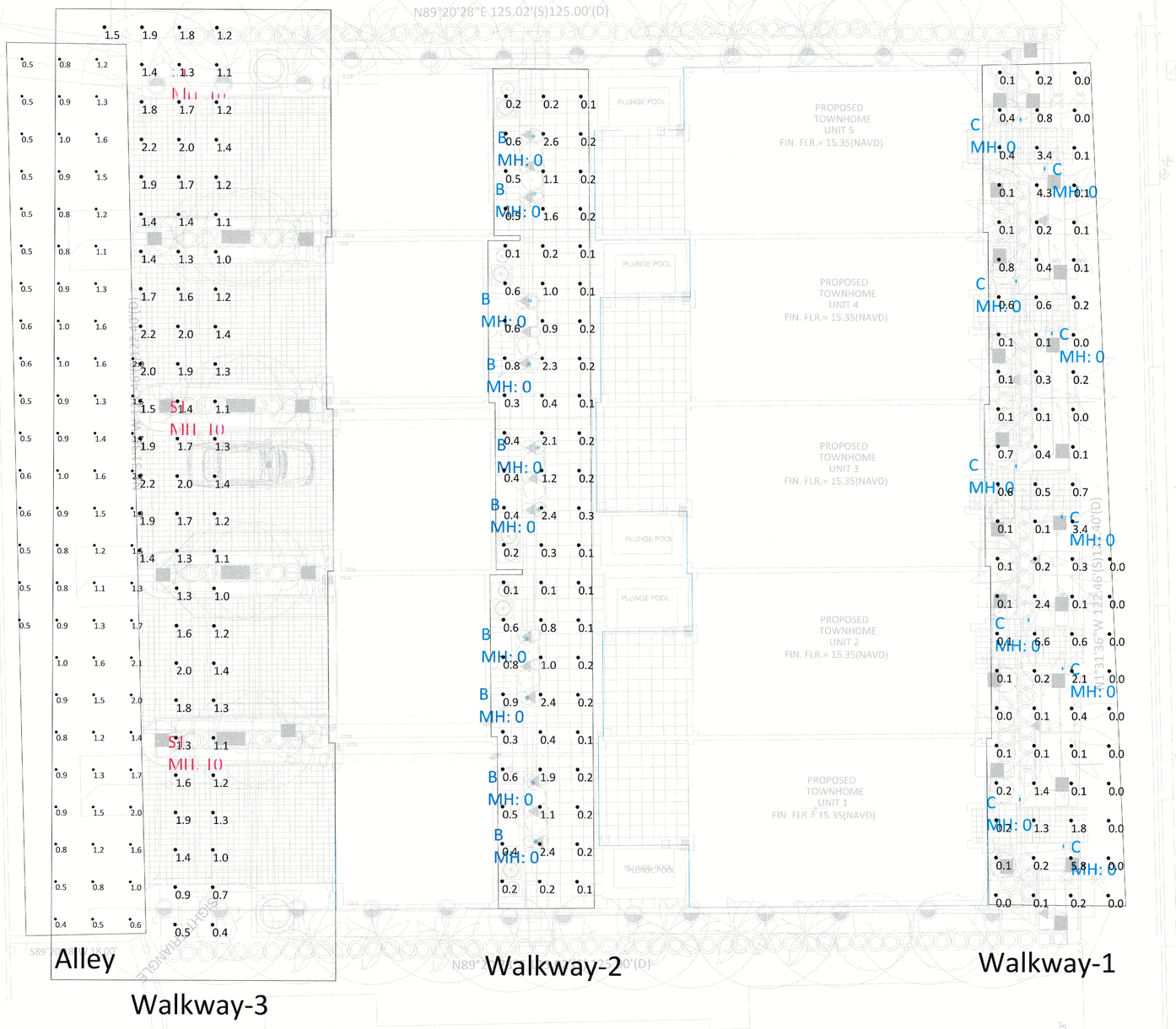
CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

5TH AVENUE TOWNHOMES
DELRAY BEACH, FLORIDA 33483
LIGHTING PLAN
DELRAY BEACH FLORIDA

DATE 10/22/23
DRAWN BY GAH
F.B./ PG. --
SCALE 1"=10'

SUBMITTED BY-
G. ALLAN HENDRICKS
LANDSCAPE ARCHITECT
No. LA6666974
STATE OF FLORIDA
-FOR THE FIRM-
DATE

JOB # 10577
SHT.NO. LI-1
OF 1 SHEETS



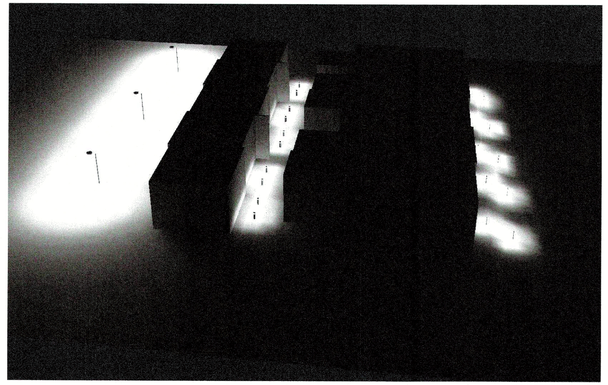
Scale: 1 inch= 8 Ft.

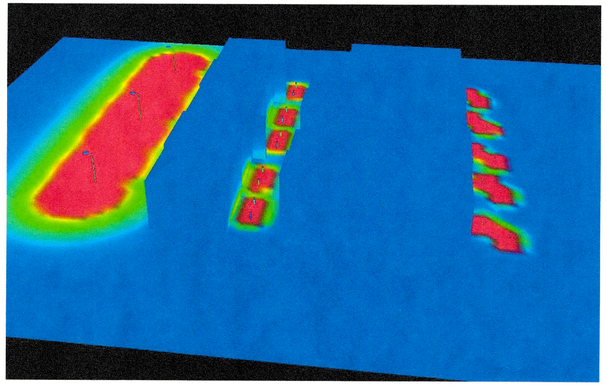
LIGHTING PARAMETERS:

Luminaire Schedule								
Symbol	Label	Qty	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens	Mounting Height
	B	10	Single	0.900	SPJ-126-1B-MBR-2W-27K-12V	2	125	0
	C	10	Single	0.900	BEGA - 77266	5	217	0
	S1	3	Single	0.900	RAD1 LED P1 27K PATH	25.413	2695	10

Calculation Summary									
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z	PtSpcLr	PtSpcTb
Alley	Fc	1.08	2.2	0.4	2.70	5.50	0	5	5
Walkway-1	Fc	0.58	6.6	0.0	N.A.	N.A.	0	5	5
Walkway-2	Fc	0.61	2.6	0.1	6.10	26.00	0	5	5
Walkway-3	Fc	1.46	2.2	0.4	3.65	5.50	0	5	5

RENDER VIEWS:





Target Requirements:

NA

General Notes:
The preparer of this study does not assume responsibility for the suitability of this design in accordance with IESNA recommendations.
Prior to placing an order, it is the customer's responsibility to carefully review and approve this study.
Please note that this analysis is based on a mathematical model and its accuracy is constrained by the limitations of the third-party software and the IES standards employed.

While the digital CAD data may appear to be precise, it is important to recognize that this apparent accuracy is a result of the techniques used to generate it and should not be interpreted as real-world accuracy.
Numerous factors will affect the actual performance of lighting in the constructed space. These factors include the accuracy of the original source files provided by the manufacturer (.ies files), variations in input voltage and ballast performance, the actual finishing values within the constructed environment, manufacturing discrepancies in both the light source (lamp) and the luminaire, the final placement of the luminaires, the presence of obstructions, and the quality of installation.

Furthermore, it is essential to acknowledge that field measurements themselves are susceptible to errors stemming from selected measurement methods or technology, as well as the expertise and capabilities of the measuring party. While the creator of this lighting study strives for accuracy, they cannot be held accountable for any errors that may occur.
The recipient of this lighting study acknowledges and accepts that the likelihood of scaling errors increases in the absence of a .DWG file or other properly dimensioned drawing provided to the designer.

Given that reflective values have a significant impact on light levels, it is imperative for the end-user of this document to verify and confirm these values before accepting the results of any photometric report.

The aiming diagram in this study is designed to assist the installer with setting the proper tilt and orientation of each head. The customer is responsible for ensuring the correct spacing of the heads on each mounting arm to avoid conflict with adjacent heads and with the pole.

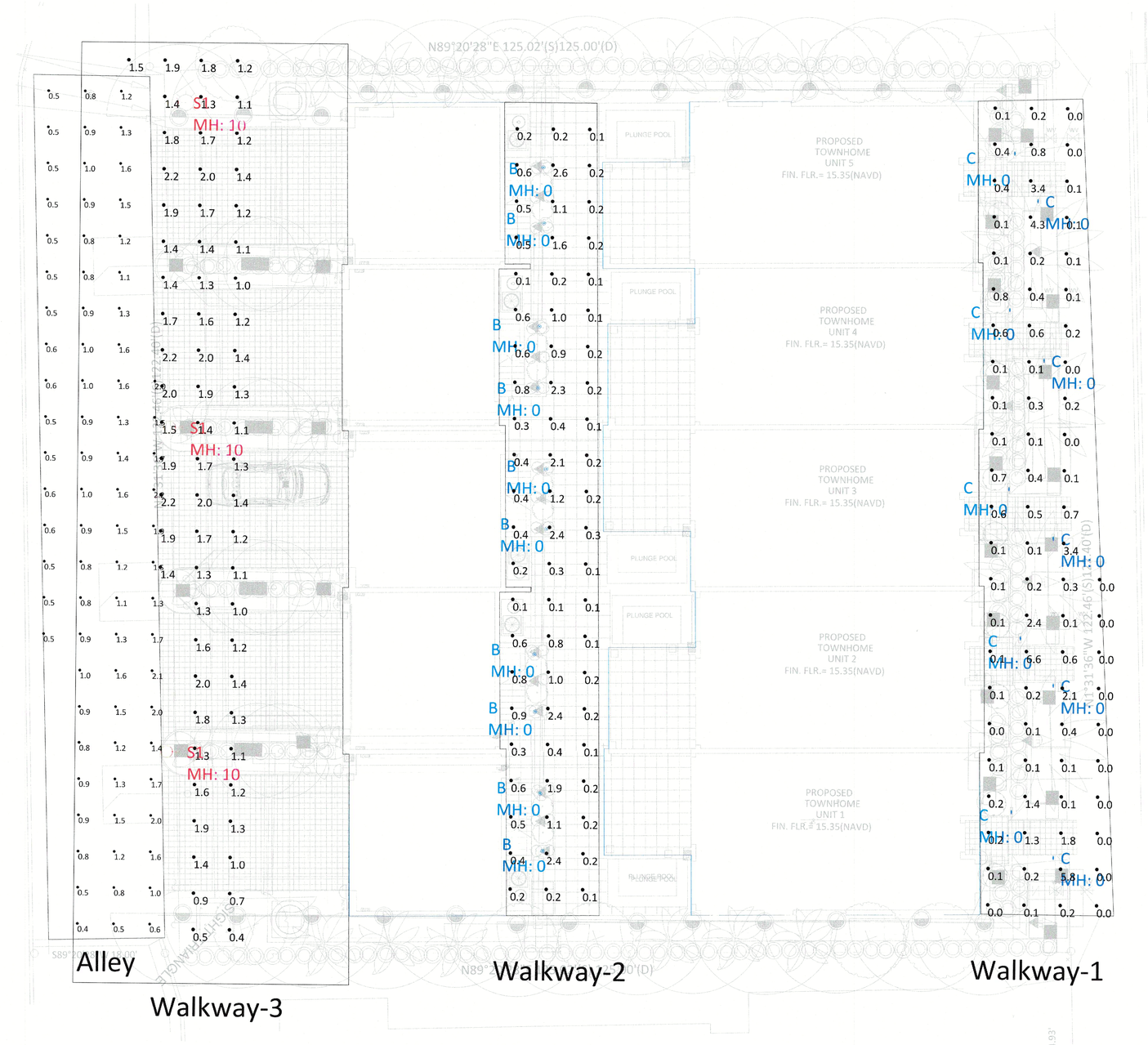
CAULFIELD & WHEELER INC.

10577 - 5th Avenue Townhomes

Drawn By: JS

Date:6/26/2024

Rev: 3



Scale: 1 inch= 8 Ft.

CAULFIELD & WHEELER INC.

10577 - 5th Avenue Townhomes

Drawn By: JS

Date:6/26/2024

Rev: 3

LIGHT LABORATORY INC.

IES SUSTAINING MEMBER

www.lightlaboratory.com

Pagoda Light

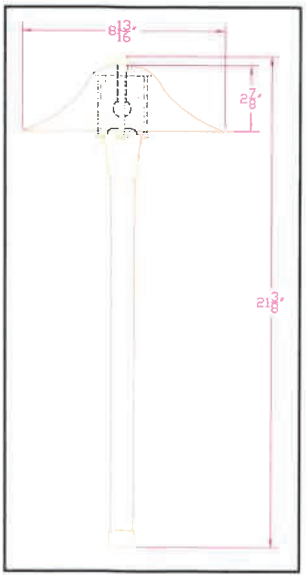
IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

DESCRIPTIVE INFORMATION (From Photometric File)

IESNA:LM-63-2002
[TEST] L0210-1801
[TESTLAB] LIGHT LABORATORY INC
[ISSUEDATE] 2/11/2010
[MANUFAC] SPJ LIGHITNG, INC.
[LUMCAT] SPJ-JS100
[MORE] SPJ-HPL-5,SPJ-HPL-9,SPJ07-11,SPJ-HPL-7,SPJ-TK001,SPJ07-14,SPJ09-05,
[MORE] SPJ10-03/SPJ20-01,SPJ10-05,SPJ09-06,SPJ10-04,SPJ10-06,SPJ-SK18,
[MORE] SPJ-MA-20,SPJ10-05-PETITE,SPJ-SK18-PETITE,SPJ-MA-20-PETITE,SPJ-HPL-5-PETITE,
[MORE] SPJ-CC-100,SPJ-CC-101,SPJ20-02,SPJ401,SPJ402,SPJ-CC-102,SPJ400,SPJ403
[LUMINAIRE] 8-13/16"DIA. X 21-3/8"H. PATHLIGHT
[MORE] 1 WARN WHITE LED, WHITE REFLECTOR
[LAMPPOSITION] 0,0
[LAMPCAT] WARM WHITE LED
[OTHER] INDICATING THE CANDELA VALUES ARE ABSOLUTE AND
[MORE] SHOULD NOT BE FACTORED FOR DIFFERENT LAMP RATINGS.
[_INPUT] 12VAC, 2.95W
[_TEST PROCEDURE] IESNA:LM-79-08

CHARACTERISTICS

IES Classification	Type V
Longitudinal Classification	Short
Cutoff Classification (deprecated)	Full Cutoff
Lumens Per Lamp	N.A. (absolute)
Total Lumens	N.A. (absolute)
Luminaire Lumens	54
Total Luminaire Efficiency	N.A.
Downward Total Efficiency	N.A.
Upward Waste Light Ratio	0.00
Maximum Candela	15.14
Maximum Candela Angle	0H 45V
Maximum Candela At 90 Degrees Vertical	0 (0.0% Luminaire Lumens)
Maximum Candela from 80 to <90 Degrees Vertical	3.255 (6.0% Luminaire Lumens)
Total Luminaire Watts	2.95
Ballast Factor	1.00



IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

LUMINAIRE CLASSIFICATION SYSTEM (LCS)

	Lumens	% Lamp	% Luminaire
FL - Front-Low (0-30)	2.9	0.0	5.3
FM - Front-Medium (30-60)	12.9	0.0	23.6
FH - Front-High (60-80)	9.6	0.0	17.5
FVH - Front-Very High (80-90)	1.9	0.0	3.4
BL - Back-Low (0-30)	2.9	0.0	5.3
BM - Back-Medium (30-60)	12.9	0.0	23.6
BH - Back-High (60-80)	9.6	0.0	17.5
BVH - Back-Very High (80-90)	1.9	0.0	3.4
UL - Uplight-Low (90-100)	0.0	0.0	0.0
UH - Uplight-High (100-180)	0.0	0.0	0.0
Total	54.6	0.0	100.0
BUG Rating	B0-U0-G0		

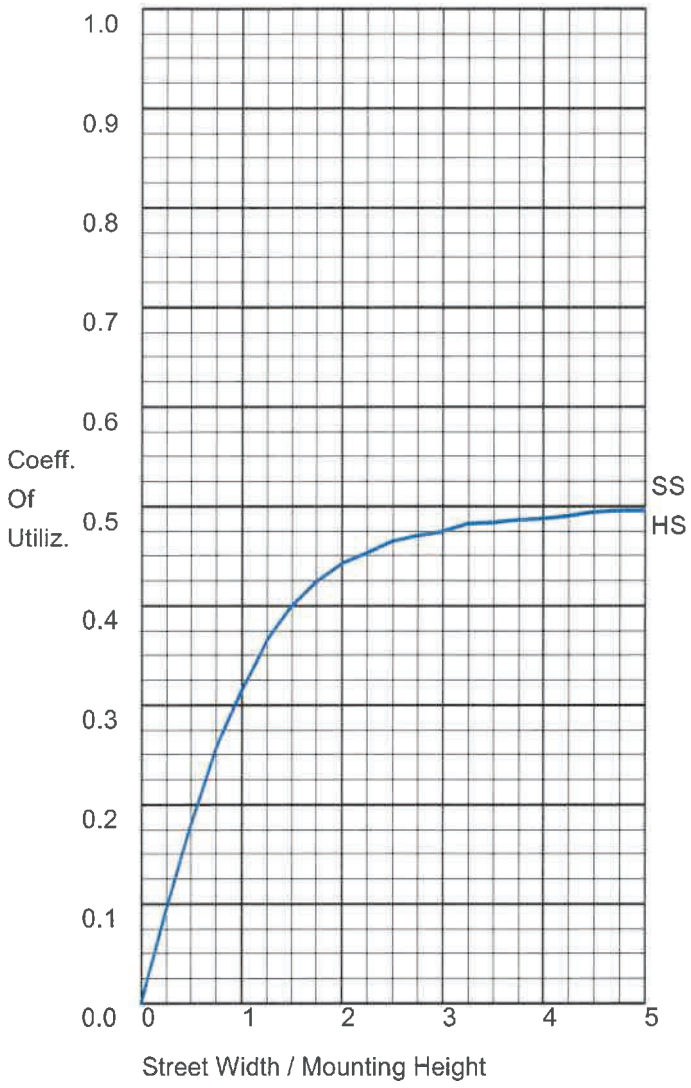
IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

CANDELA TABULATION

Vert. Angles	Horizontal Angles
	0
0	12.84
5	10.89
15	9.76
25	8.91
35	9.16
45	15.14
55	14.14
65	9.53
75	5.78
85	0.73
90	0.00
95	0.00
105	0.00
115	0.00
125	0.00
135	0.00
145	0.00
155	0.00
165	0.00
175	0.00
180	0.00

IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

COEFFICIENTS OF UTILIZATION

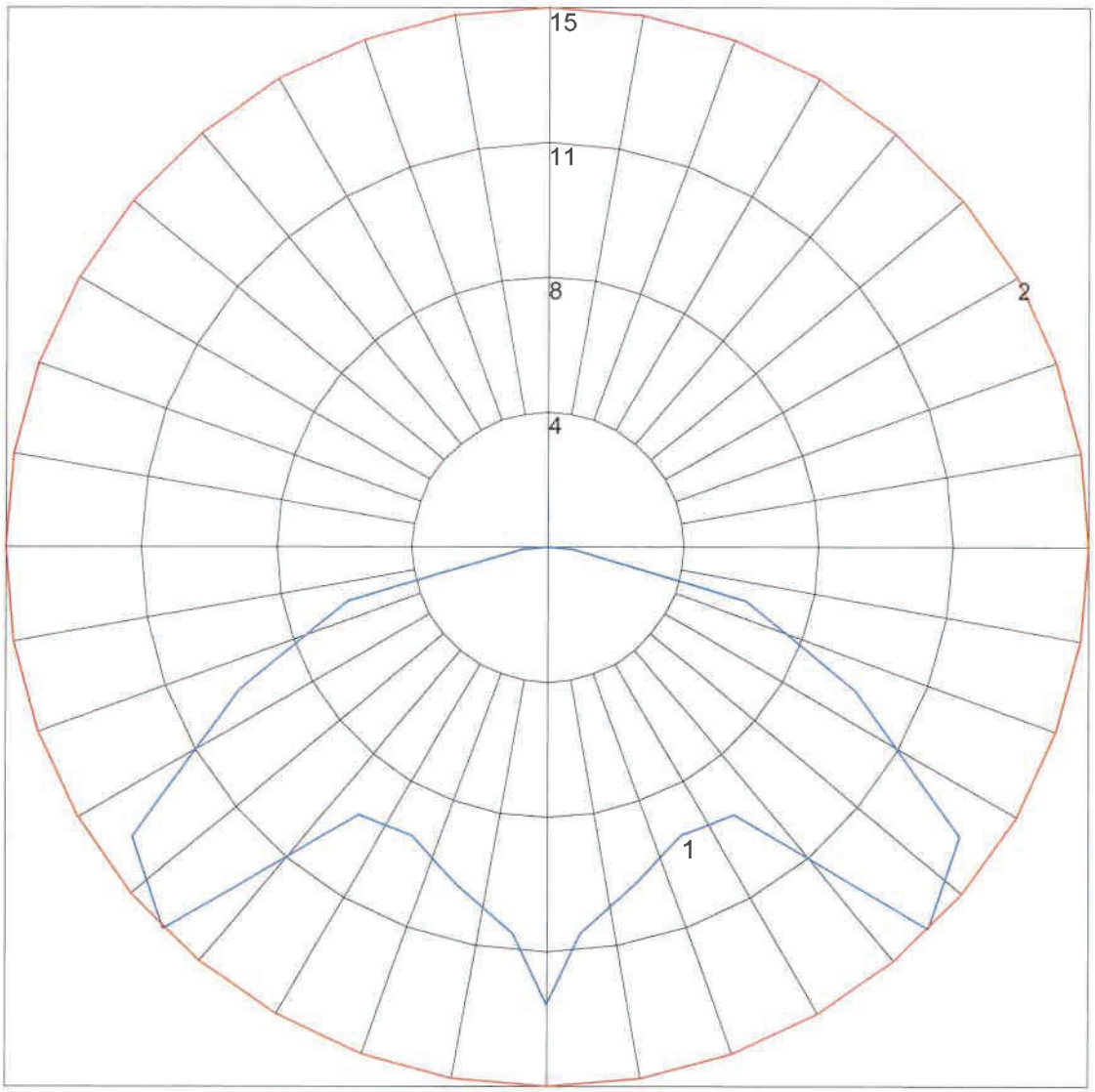


FLUX DISTRIBUTION

	Lumens	Percent Of Lamp
Downward Street Side	27.2	N.A.
Downward House Side	27.2	N.A.
Downward Total	54.4	N.A.
Upward Street Side	0.0	N.A.
Upward House Side	0.0	N.A.
Upward Total	0.0	N.A.
Total Flux	54.4	N.A.

IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

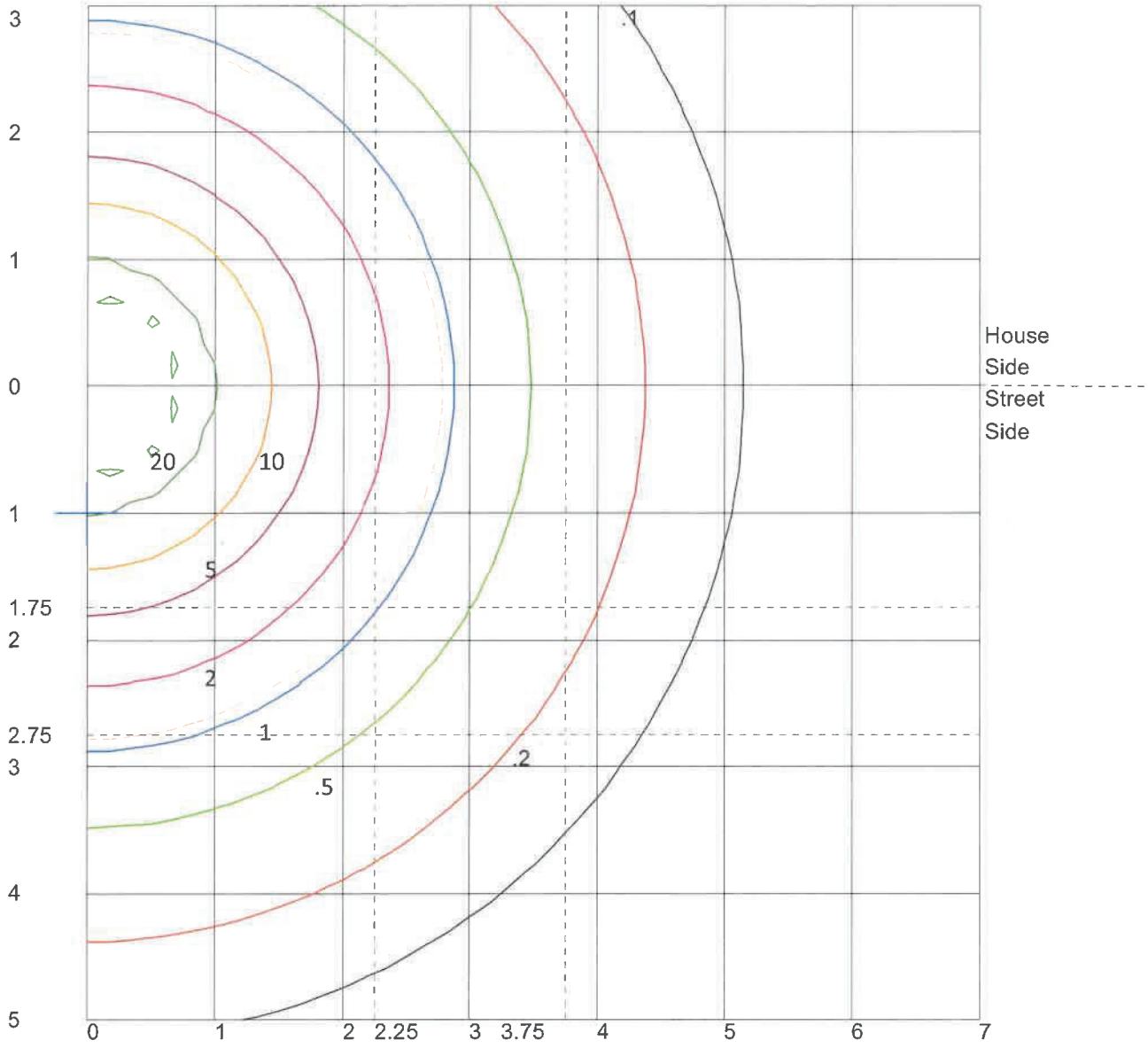
POLAR GRAPH



Maximum Candela = 15.14 Located At Horizontal Angle = 0, Vertical Angle = 45
1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
2 - Horizontal Cone Through Vertical Angle (45) (Through Max. Cd.)

IES ROAD REPORT
PHOTOMETRIC FILENAME : L02101801.IES

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance In Units Of Mounting Height
Values Based On .51 Foot Mounting Height
1/2 Maximum Candela Trace Shown As Dashed Curve
(+) = Maximum Candela Point

Type:
BEGA Product:
Project:
Modified:

Path Light

Application
Pathway luminaire with shielded light for use in the private sector. These luminaires are ideally suited for gardens, entryways, and for many applications on paths and terraces. Hardscape base is intended for installation on foundations or paved surfaces. Low voltage magnetic transformer required for operation.

Materials
Clear safety glass with matte finish
Aluminum housing
High temperature silicone gasket
Galvanized steel anchorage

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65

Weight: 6.2 lbs.

Electrical

Operating voltage	12VAC
Minimum start temperature	-40° C
LED module wattage	4.2 W
System wattage	5.8 W
Controllability	Non-Dimming
Color rendering index	Ra > 90
Luminaire lumens	156 lm
LED service life (L70)	60000 hrs

LED color temperature
☐ 4000K (K4)
☐ 3500K (K35)
☐ 3000K (K3)
☐ 2700K (K27)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

Available colors
☐ Black (BLK)
☐ Silver (SLV)
☐ RAL:
☐ Bronze (BRZ)
☐ White (WHT)
☐ CUS:

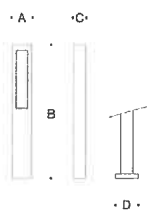
Available options

☐ CUS	Custom finish
☐ MGU	Marine grade undercoat
☐ RAL	RAL finish

Available accessories

☐ B536	Low voltage magnetic transformer - 300W

See individual accessory spec sheet for details.



Garden bollard · Hardscape base • 12V AC

	LED	A	B	C	D
B77266	4.2 W	3 1/2	27 1/2	2	3 1/8

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Updated 07/10/24

Radean Arm Mount
LED Area Luminaire

Catalog Number: Pole

Notes:

Type:

Specifications

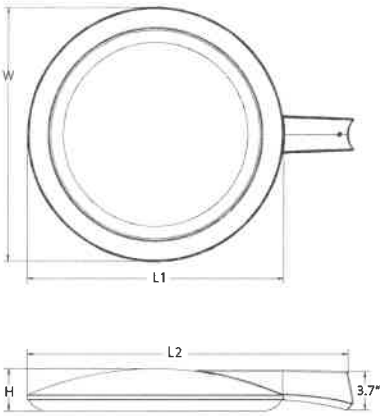
EPA: 0.75 ft² (0.05 m²)

Length:
L1 24" (61cm)
L2 30" (60.96 cm)

Width: 24" (61cm)

Height: 4" (10.2cm)

Weight (max): 29lbs (13.15Kg)



Introduction

The RADEAN arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flair to any space, the RADEAN's low-profile shape and smooth curves blend in while adding a touch of elegance.

Perfect for campuses, parks, pedestrian malls, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Ordering Information

EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD

RAD1 LED

Series	Performance package	Color temperature	Distribution	Voltage	Mounting
RAD1 LED	P1 3,000 Lumens P2 5,000 Lumens P3 7,000 Lumens P4 11,000 Lumens P5 16,000 Lumens	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	SYM Symmetric type V ASY Asymmetric type IV PATH Pathway type III	MVOLT[2] 277[2] 120[2] 347 208[2] 480 240[2]	SPA Square pole mounting (includes adapter) RPA Round pole mounting WBA Wall bracket

Control options	Other options	Finish *(required)*
Shipped installed NLTAIR2 nLight AIR 2.0 enabled[3] PE Button photocell[3] FAO Field adjustable output[3] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	SF Single Fuse[2] DF Double Fuse[2] L90 Left rotated optics R90 Right rotated optics **Shipped separately** HS Houseside shield[5]	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories

Ordered and shipped separately.

RADHS Houseside shield (shield is white)
RADCS Decorative clamshell base for 4" RSS pole (specify finish)
RADFBC Full base cover for 4" RSS pole (specify finish)

For more control options, visit DTL and ROAM online

NOTES

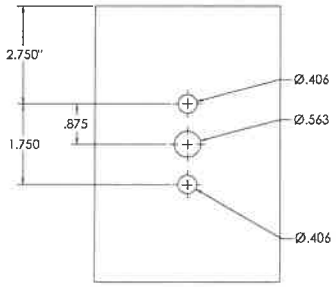
1. 2700K and 3500K may require extended lead-times.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
3. NLTAIR2 not available with PE or FAO. Must link to external nLight Air network. Does not include occupancy sensor. For more information refer to rSBOR pole mount sensor.
4. DMG not available with NLTAIR2 or FAO.
5. Also available as a separate accessory; see Accessories information. Shield is field rotatable in 45° increments.

Mounting

Recommended Poles for use with RADEAN RAD1 LED Luminaires.			
Acuity Part Number	**Description**	**For luminaires:**	**Used with Mounting**
RSS 10 4B DM19RAD DDBXD	10' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 12 4B DM19RAD DDBXD	12' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 14 4B DM19RAD DDBXD	14' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 16 4B DM19RAD DDBXD	16' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 18 4B DM19RAD DDBXD	18' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 20 4B DM19RAD DDBXD	20' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 25 4B DM19RAD DDBXD	25' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
SSS 10 4C DM19RAD DDBXD	10' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 12 4C DM19RAD DDBXD	12' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 14 4C DM19RAD DDBXD	14' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 16 4C DM19RAD DDBXD	16' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 18 4C DM19RAD DDBXD	18' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 20 4C DM19RAD DDBXD	20' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA
SSS 25 4C DM19RAD DDBXD	25' Square Straight Steel -Template #20 Drilling	RAD1 LED	SPA

* Customer must verify pole loading per required design criteria and specified wind speed. Consult pole specification sheet for additional details.

Drilling Template #20



RAD1 has a unique drilling pattern. Specify this drilling pattern when specifying poles, per the table below.

DM19RAD	Single unit	**DM29RAD**	2 at 90° [1,2]
DM28RAD	2 at 180°	**DM39RAD**	3 at 90° *
DM49RAD	4 at 90° [1]	**DM32RAD**	3 at 120°

Example: SSA 20 4C **DM19RAD** DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

1. *Round pole top must be 4.25" O.D. minimum.*
2. *Square pole top must be 3.125" O.D. minimum.*

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Contact factory for performance data on any configurations not shown here.

Performance Package	Input Wattage	Distribution	2700K					3000K					3500K					4000K					5000K				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	25	ASY	3,103	1	0	1	122	3,207	1	0	1	126	3,285	1	0	1	129	3,362	1	0	1	132	3,362	1	0	1	132
		PATH	2,695	2	0	2	106	2,785	2	0	2	110	2,853	2	0	2	112	2,920	2	0	2	115	2,920	2	0	2	115
		SYM	3,271	2	0	1	129	3,380	2	0	1	133	3,461	2	0	1	136	3,543	2	0	1	139	3,543	2	0	1	139
P2	38	ASY	4,798	1	0	2	126	4,958	1	0	2	130	5,078	2	0	2	134	5,198	2	0	2	137	5,198	2	0	2	137
		PATH	4,167	2	0	2	110	4,306	3	0	3	113	4,410	3	0	3	116	4,514	3	0	3	119	4,514	3	0	3	119
		SYM	5,056	2	0	1	133	5,225	3	0	1	137	5,351	3	0	1	141	5,478	3	0	1	144	5,478	3	0	1	144
P3	54	ASY	6,779	2	0	2	126	7,005	2	0	2	131	7,174	2	0	2	134	7,344	2	0	2	137	7,344	2	0	2	137
		PATH	5,887	3	0	3	110	6,084	3	0	3	113	6,231	3	0	3	116	6,378	3	0	3	119	6,378	3	0	3	119
		SYM	7,144	3	0	2	133	7,382	3	0	2	138	7,561	3	0	2	141	7,739	3	0	2	144	7,739	3	0	2	144
P4	86	ASY	10,773	3	0	3	126	11,132	3	0	3	130	11,401	3	0	3	133	11,671	3	0	3	136	11,671	3	0	3	136
		PATH	9,356	3	0	3	109	9,668	3	0	3	113	9,902	3	0	3	116	10,136	3	0	3	118	10,136	3	0	3	118
		SYM	11,353	3	0	2	133	11,731	3	0	2	137	12,015	3	0	2	140	12,299	3	0	2	144	12,299	3	0	2	144
P5	122	ASY	15,001	3	0	3	123	15,501	3	0	3	127	15,876	3	0	3	130	16,251	3	0	3	133	16,251	3	0	3	133
		PATH	13,028	4	0	4	107	13,462	4	0	4	110	13,788	4	0	4	113	14,114	4	0	4	116	14,114	4	0	4	116
		SYM	15,808	4	0	3	130	16,335	4	0	3	134	16,731	4	0	3	137	17,126	4	0	3	140	17,126	4	0	3	140

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		LAT Factor
0°C	32°F	1.06
5°C	41°F	1.05
10°C	50°F	1.04
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.96

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **RAD1 LED P5** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

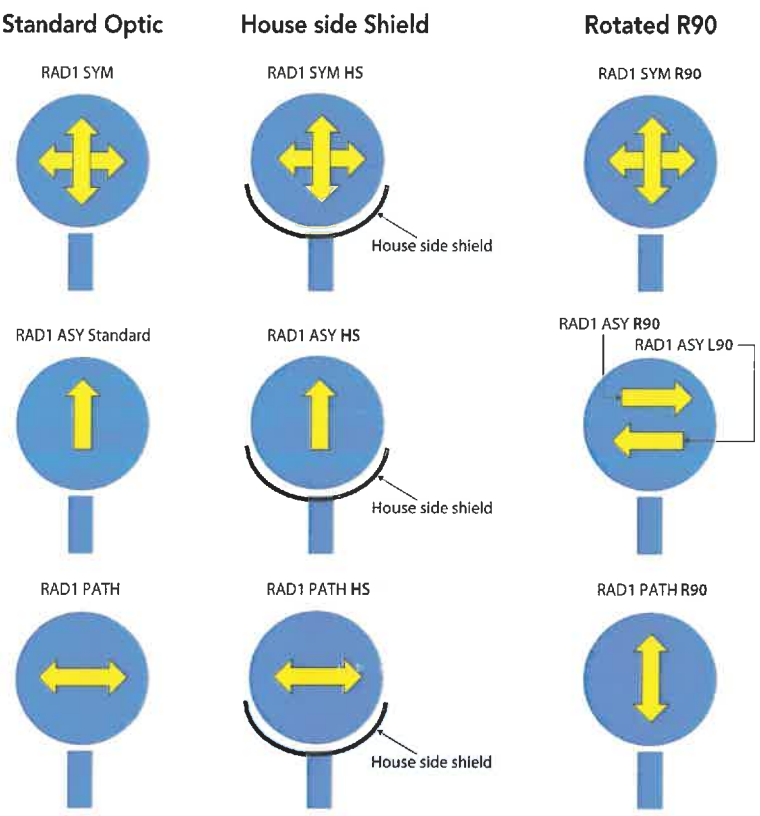
Projected LED Lumen Maintenance				
	0	25,000	50,000	100,000
P1	1.00	0.96	0.91	0.82
P2	1.00	0.96	0.91	0.82
P3	1.00	0.96	0.91	0.82
P4	1.00	0.96	0.91	0.82
P5	1.00	0.95	0.89	0.78

Electrical Load

Lumen Package	LED Drive Current	Voltage	Wattage		Current (A)					
					120	208	240	277	347	480
P1	500	42.8	21.4	Input Current	0.22	0.13	0.11	0.1	0.08	0.06
				System Watts	26	26	26	27	25	26
P2	770	43	33.1	Input Current	0.33	0.19	0.16	0.14	0.11	0.08
				System Watts	39	39	39	39	38	38
P3	1100	43.2	47.5	Input Current	0.46	0.26	0.23	0.2	0.16	0.12
				System Watts	55	54	54	54	54	54
P4	900	87.3	78.6	Input Current	0.73	0.42	0.36	0.32	0.25	0.18
				System Watts	87	86	86	86	86	86
P5	1250	88.2	110.2	Input Current	1	0.58	0.5	0.44	0.35	0.25
				System Watts	120	119	119	119	120	120

Orientation Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RAD1 LED homepage.



FEATURES & SPECIFICATIONS

INTENDED USE
Pedestrian areas such as parks, campuses, pathways, courtyards and pedestrians malls.

CONSTRUCTION
Single-piece die-cast aluminum housing with nominal wall thickness of 0.125" on a 6mm thick acrylic waveguide is fully gasketd with a single piece tubular silicone gasket.

FINISH
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS
6MM thick acrylic waveguide with 360° flexible LED board. Available in 2700K, 3000K, 3500K, 4000K and 5000K (80CRI) CCT configurations.

ELECTRICAL
Light engine consists of 96 high-efficacy LEDs mounted to a flexible circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Fixtures ship standard with 0-10v dimming driver (order option DMG for connection to exterior controls). Class 1 electronic driver has a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Serviceable 10kV surge protection device meets a minimum Category C Low for operation (per ANSI/IEEE C62.41.2).

INSTALLATION
Included luminaire and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls.

LISTINGS
CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color or less.

GOVERNMENT PROCUREMENT
BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

HK LIGHTING

Project Name SPOT

Fixture Type

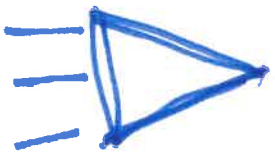
ZXL16-I

(includes former ZXL16i model)

ACCENT & LANDSCAPE | ZX16 Series | 2.25"

5 - 14W (400 - 1400LM) | 120 - 227V | HK LED, RBGW, Amber

Standard Line Voltage Accent: ZXL16I-IR1SA-ABL



FEATURES

- Versatile round, directional 120-277V LED modern accent light for commercial and large residential environments.
- 5W, 7W, 10W, 14W integrated HK LED delivering 400-1400 lumens 2200-4000K CCT, including specialty Amber and RGBW options.
- Wet Location Listed, IP67 Standard.
- Machined from solid aircraft grade (6061-T6), corrosion-resistant aluminum, then anodized and powder coated to create a highly durable, marine grade finish. Also available in solid brass or stainless steel.
- 180° vertical and 360° horizontal adjustment via locking swivel stem design.
- Modular components, field changeable LED optical beams, and lenses.
- Available with adjustable Angled, Long, and Short Glare Shields and ground, surface, and canopy mounting options.
- Every fixture tested end of line for water tightness and light quality.
- Ships complete with selected accessories installed.

SPECIFICATIONS

Materials

Machined from billet 6061-T6 corrosion resistant aluminum with 304 stainless steel hardware. Available in 304/316 stainless steel or 360 brass upon request.

Finish

Aluminum materials are first anodized and then powder coated for a robust, marine grade finish. Stainless steel and brass models are provided with brushed surface.

Hood and Glare Shield

Weeping and Non-weeping Hood Styles. Set screw or threaded Angled, Short, or Long Glare Shields. *(See page 4 for details).*

Voltage

120-277V AC

Wattage

5, 7, 10 or 14W HK LED delivering 400-1400 lumens.

Light Engine

Innovative HK LED Light module operates like a lamp and can be easily changed in the field. CRI 90 Standard. Available in CRI 80 or CRI 95 upon request. Standard CCT options are 2700K, 3000K, 3500K, 4000K. Specialty 2200K, 2400K, 2500K, Amber, and RGBW options available. Consult factory for specialty LED specification details.

Listngs

ETL Listed for Wet Location, IP67 Standard. RoHS Compliant.

Driver/ Dimming

Onboard, Integrated LED Driver Phase Control @ 120V, 0-10V @ 120-277V, DALI or DMX control available, consult factory for details.

Optics

Narrow (20°), Medium (33°), Wide (44°), and Extra Wide (57°) beam spread options available. Accepts up to 3 optical accessories (hexcel louver, optical lenses, dichroic color filters, etc.) Secured place with metal snap ring.

Mounting

Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting mounting accessories. *(See page 4 for details).*

ORDERING GUIDE

EXAMPLE: **ZXL16I-IR1SA-ABL-120V05W-27N-GSA-LVR-MHJB-06-BRZ**

MODEL	PHYSICAL OPTIONS			MATERIAL / FINISH	POWER		LIGHT	
ZXL16 ZX16 Series 2.25" Accent Light Integrated HK LED	**IR1** Line Voltage, Round Accent Integrated Driver	**STYLE** **S** Standard **F** Finned	**HOOD** **A** A Style: Weeping **B** B Style: No Weep Holes **C** C Style: Threaded, Weeping	**ABL** Aluminum Black **ABR** Aluminum Bronze **AWH** Aluminum White **AAC** Aluminum Anodized Clear[1] **NBR** Natural Brass[1] **NCU** Natural Copper[1] **NSS** Natural Stainless Steel[1] **CCC** Custom Finish[1]	**VOLTAGE** **120V** 120V (Phase Control) **UNIV** 120V-277V (0-10V)	**WATTAGE** **05W** 5 Watt (400lm) **07W** 7 Watt (700lm) **10W** 10 Watt (1000m) **14W** 14 Watt (1400lm) **SPW** Speciality[2]	**CCT** **22** 2200K **24** 2400K **25** 2500K **27** 2700K **30** 3000K **35** 3500K **40** 4000K **AM** AMBER[2] **RG** RGBW[2]	**OPTICS** **N** Narrow (20°) **M** Medium (33°) **W** Wide (44°) **E** Extra Wide (57°) **CC** Custom Optic

Readymade available product options

[1] Consult factory for specialty finish quoting and lead times

[2] For Specialty AM (Amber LED) and RG (RGBW LED), select SPW (Specialty) for Wattage. Consult factory for LED technical details before Specification or Order.

OPTIONAL INSTALLED ACCESSORIES

GLARE SHIELD

GSA	A/B Glare Shield Angled
GSL	A/B Glare Shield Long
GSS	A/B Glare Shield Short
CGSA	C Glare Shield Angled
CGSL	C Glare Shield Long
CGSS	C Glare Shield Short

OPTIC

LVR	Hexcel Louver
OSL	Overall Spread Lens
LSL	Linear Spread Lens
SOL	Solite Soft Focus
DCF	Dichoic Filter

MOUNTING (Most common listed, see Page 4 for additional options)

GROUND MOUNT	
MHJB-06-BRZ	6" Stainless Steel 3-Prong Spike (120-277V) Bronze
MHJB-12-BRZ	12" Stainless Steel 3-Prong Spike (120-277V) Bronze
JB-1	Brass In-ground Junction Box
CANOPY MOUNT	
CM1-XXX	3.75" Square Canopy Plate
CM3-XXX	4.75" Square Canopy Plate
CM5-XXX	5" Round Canopy Plate
CM5-2-XXX	5" Round Canopy Plate - Double
SURFACE MOUNT	
CB4.0-XXX	4" Round Surface Box
CB5.5-XXX	5.5" Round Surface Box
TREE MOUNT	
TM120-ABR	Aluminum Tree Mount Box (120V)
TM120-TS-ABR	Stainless Steel Strap for TM125
EXTENSIONS	
EX-12-XXX	12" Extension
EX-24-XXX	24" Extension
EL-XXX	Elbow Extension

- Consult Accessory Spec Sheet for desired option code.
- XXX represents color option.
- Readymade options available in ABL and ABR only unless noted by the part coode above.

ADDITIONAL ACCESSORIES (Not installed at time of order)

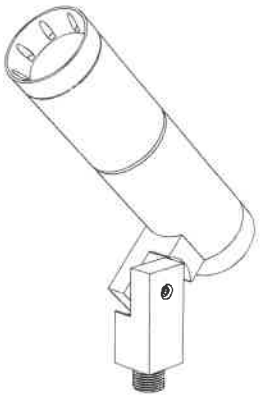
GLARE SHIELD ACCESSORIES

GSL-16-XXX	A/B Glare Shield Long
GSA-16-XXX	A/B Glare Shield Angled
GSS-16-XXX	A/B Glare Shield Short
CGSL-16-XXX	C Glare Shield Long
CGSA-16-XXX	C Glare Shield Angled
CGSS-16-XXX	C Glare Shield Short

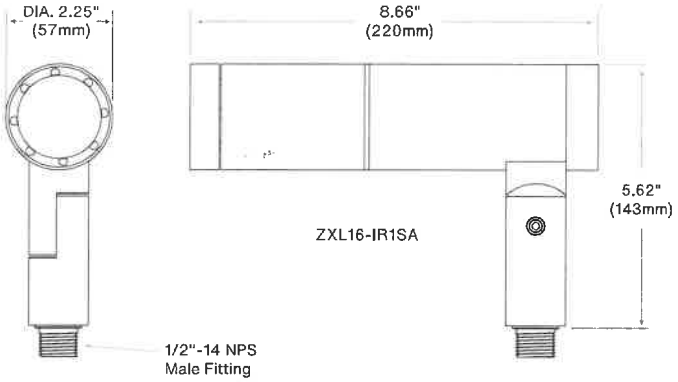
OPTIC ACCESSORIES

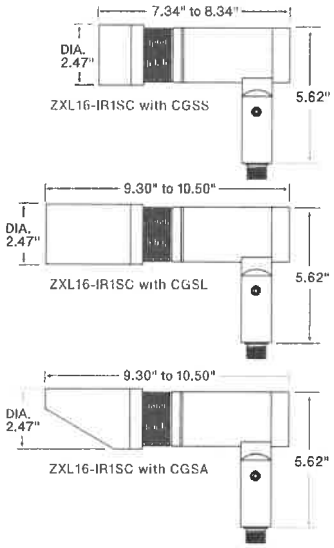
LVR-16	Hexcel Louver
OSL-16	Overall Spread Lens
LSL-16	Linear Spread Lens
SOL-16	Solite Soft Focus
DCF-16	Dichoic Filter
OPK-16	Optic Kit - Narrow, Medium, Wide, Extra Wide

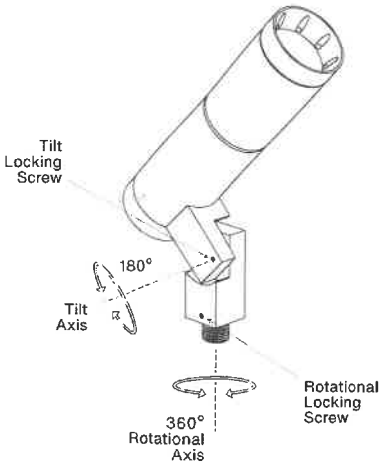
PRODUCT DRAWINGS



ZXL16-IR1S







OPTIONS & ACCESSORIES

HOOD OPTIONS

A-HOOD
Versatile hood with 8 weep holes for water drainage. Regressed lens for glare control. Suggested for general use or when fixture is aimed in an up position.

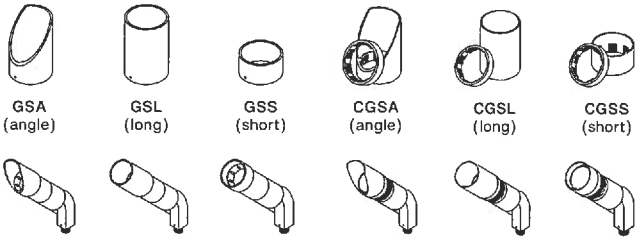
B-HOOD
Similar to A hood but without weep holes. Regressed lens for glare control. Used in an interior or down light application.

C-HOOD
Flush hood with machined threading on the outside for attachment of C-style glare shield, cleverly designed with hidden drainage channels.

OPTIONAL GLARE SHIELD

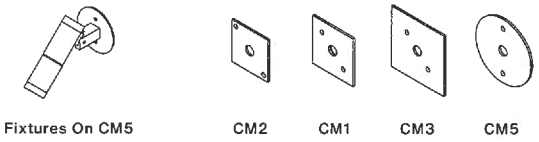
For use with A & B Hood, fastened with Set Screw

For use with C Hood fastened with Locking Ring

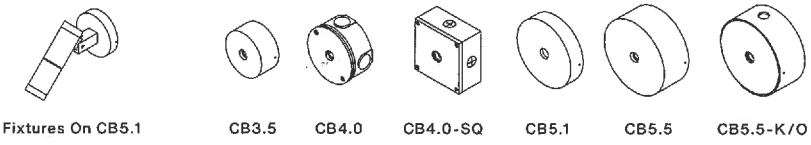


MOUNTING ACCESSORIES

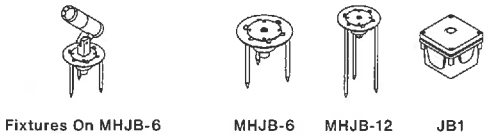
Canopy Plate:



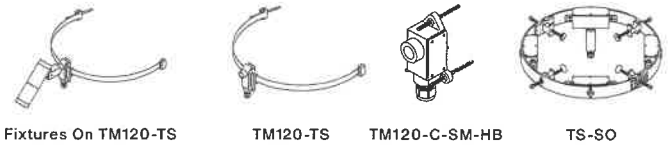
Surface Mount Box:



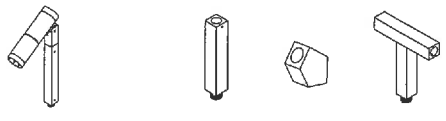
Ground Mount:



Tree Mount:



Extension:



Sign Light Arm: Please reference the Sign & Pole Mounting section in Accessories on our website.

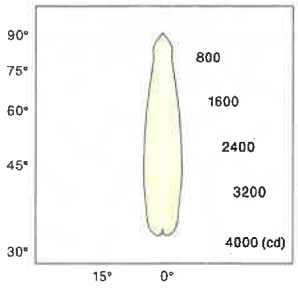
Notes:

PHOTOMETRY & ENERGY DATA

ZXL16I-10W-N (Narrow)

Input Power	9.5W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	83
Beam Angle	20.5°
Max. Candlepower	3507cd
Delivered Lumens	864lm
Efficacy	91lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

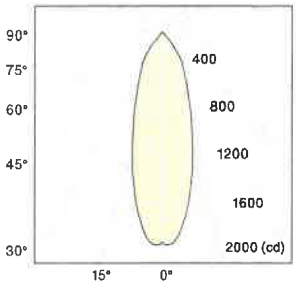
Center Beam (fc)	Beam Diameter	Distance
877	0.7'	2.0'
219	1.4'	4.0'
97	2.2'	6.0'
55	2.9'	8.0'
35	3.6'	10.0'

1/2 Beam Angle: 20.5°

ZXL16I-10W-M (Medium)

Input Power	9.5W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	83
Beam Angle	32.5°
Max. Candlepower	1842cd
Delivered Lumens	863lm
Efficacy	91lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

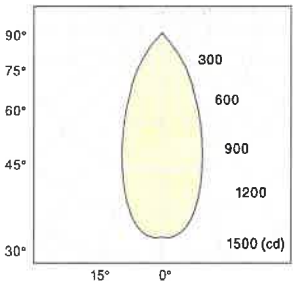
Center Beam (fc)	Beam Diameter	Distance
460	1.2'	2.0'
115	2.3'	4.0'
51	3.5'	6.0'
29	4.6'	8.0'
18	5.8'	10.0'

1/2 Beam Angle: 32.5°

ZXL16I-10W-W (Wide)

Input Power	9.5W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	83
Beam Angle	44.1°
Max. Candlepower	1332cd
Delivered Lumens	850lm
Efficacy	89lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

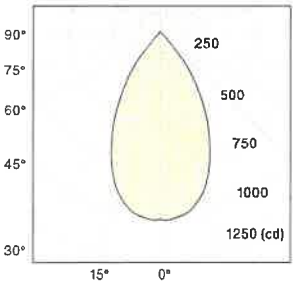
Center Beam (fc)	Beam Diameter	Distance
333	1.6'	2.0'
83	3.2'	4.0'
37	4.9'	6.0'
21	6.5'	8.0'
13	8.1'	10.0'

1/2 Beam Angle: 44.1°

ZXL16I-10W-E (Extra Wide)

Input Power	9.5W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	83
Beam Angle	56.9°
Max. Candlepower	1019cd
Delivered Lumens	876lm
Efficacy	92lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

Center Beam (fc)	Beam Diameter	Distance
255	2.3'	2.0'
64	4.6'	4.0'
28	6.9'	6.0'
16	9.2'	8.0'
10	11.5'	10.0'

1/2 Beam Angle: 56.9°

WATTAGE MUTIPLIER

Wattage	Multiplier
5 Watt	0.45
8 Watt	0.80
10 Watt	1.14
14 Watt	1.56

CCT MULTIPLIER

Color Temp.	Multiplier
2700k	0.97
3000k	1.00
4000k	1.05

Downtown Development Authority
Recommendation

Rev. July 2023

File No.:

Applicant/Agent: Thomas F Carney

Applicant/Agent Contact:

Address: 142 and 152 SE 5th Avenue

Request: Fifth Avenue Townhomes, 142 and 152 SE 5th Avenue, Level 2 Site Plan Application with associated internal adjustment for pool setback, landscape waiver, and request to utilize Masonry Modern Architectural Style

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Pursuant to Land Development Regulations Article 8.2, the Downtown Development Authority (DDA) for the City of Delray Beach recommends as follows:

1. That the proposed request implements the Downtown development plans (Downtown Master Plan, Pineapple Grove Master Plan, West Atlantic Master Plan, and the Shopability Analysis).

Yes X 7 No Ø

2. That the proposed request encourages economic development and promotes the Downtown as a prosperous Downtown Area.

Yes X 7 No Ø

The DDA adopts this Recommendation this 16 day of September, 2024.

Chairperson Downtown Development Authority

PROJECT RELIEF REQUEST

Identify if the proposal requires relief from any of the applicable requirements noted in the Land Development Regulations. If no relief is being requested, check the first box under each section below.

WHAT TYPE OF RELIEF IS BEING SOUGHT:

☐ VARIANCE ☑ WAIVER ☐ INTERNAL ADJUSTMENT ☐ IN-LIEU OF PARKING

☐REQUIRED FEE(S) ATTACHED IN THE AMOUNTOF: _____

Has a request for relief been previously filed with the City of Delray Beach regarding the subject property? If so, please state the nature of the relief request, the project file number, and whether the relief was granted or denied. Attach separate sheet if necessary.

VARIANCE

☐ NO VARIANCES REQUESTED OR APPLICABLE
☐ HISTORIC: ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE CRITERIA IN LDR SECTION 2.4.11(A)(6)
☐ NON-HISTORIC: ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE CRITERIA IN LDR SECTION 2.4.11(A)(5)

WAIVER

☐ NO WAIVERS REQUESTED
☑ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE WAIVER FINDINGS IN LDR SECTION 2.4.11(B)
☐ ATTACH PLANS AND OTHER DOCUMENTS NEEDED (I.E. SURVEY, SITE PLAN, ETC.) FOR REVIEW OF REQUEST.

REQUEST

LDR SECTION	REQUIREMENT	EXISTING	PROPOSED REQUEST
Section 4.6.16 (H) (3) (d)	5' wide lansdscape islands	N/A	4'4" wide landscape islands

INTERNAL ADJUSTMENT

☐ NO INTERNAL ADJUSTMENTS REQUESTED
☐ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE FINDINGS IN LDR SECTION 2.4.11(C)

REQUEST

LDR SECTION	REQUIREMENT	EXISTING	PROPOSED REQUEST

IN-LIEU OF PARKING

☐ NO IN-LIEU OF PARKING REQUESTED OR APPLICABLE. IF GRANTED IN THE PAST, ATTACH APPROVAL LETTER(S).

FOR SUBMITTAL OF AN IN-LIEU REQUEST, THE FOLLOWING MUST BE INCLUDED:
☐ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE FINDINGS LISTED IN LDR SECTION 2.4.11(F) AND DESCRIBE IN DETAIL THE SCOPE OF WORK (I.E. EXPANSION OF USE, CHANGE OF USE, NEW CONSTRUCTION, ETC.).
☐ ATTACH SKETCH PLAN INCLUDING CURRENT AND PROPOSED SQUARE FOOTAGE.
☐ ATTACH ADJACENT RIGHTS-OF-WAY AND PROPOSED PARKING TO BE CONSTRUCTED.

REQUEST

REQUIREMENT	EXISTING	PROPOSED REQUEST

PROJECT RELIEF REQUEST

STATEMENT OF PUBLIC NOTICE COMPLETENESS AND ACCURACY

The following statement is required for all variance requests and other requests that require a public notice.

Before me, the undersigned authority, personally appeared Thomas F. Carney Jr, who being by me first duly sworn, acknowledges and confirms: (Applicant or Agent's Name)

- That the accompanying property owners list is, to the best of my knowledge, a complete and accurate list of all property owners' names, mailing addresses, and legal descriptions of all property lying within five hundred feet (500') of the subject property as recorded on the latest official County tax rolls.
- That certain documents such as mailing lists, labels, certificate of attorney or consent forms, might be required to be revised or updated if older than 6 months from the application submittal date.
- That the subject property is legally described as follows (give legal description):

(Applicant or Agent's Name)

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 28 day of August, 2024, by Thomas F Carney Jr (Applicant or Agent's name), who has produced _____ as identification and/or is personally known to me.

(Print Name of Notary Public)

NOTARY PUBLIC STATE OF FLORIDA
PETER H. CARNEY
MY COMMISSION # HH254080
EXPIRES: May 14, 2026

NOTARY SEAL OR STAMP

(Signature of Notary Public)

Notice Information:

The required notice information and documents must be obtained from the Palm Beach County Public Records Dept. Phone: 561-355-2881 Email: pa-pubsvc@pbcgov.org. South County Service Center Phone: 561-276-1250

The required mailing labels must be typed and state the property owner's name, mailing address and property control number (PCN#). (When Condominiums are included, the names and addresses of all owners must be submitted. The returned address label must be attached to each envelope and state the following information: City of Delray Beach, Development Services Department, 100 NW 1st Ave, Delray Beach, FL 33444. Postage may be in the form of stamps or metered postage; for metered postage, applicants are responsible for any additional cost and to ensure that the mailing date is turned off.

August 28, 2024

To: City of Delray Beach
Waiver to the Landscape Island provisions regarding width
LDR Section 4.6.16(H)(3)(d)

RE: Fifth Avenue Townhomes
142 SE 5th Avenue
Delray Beach, Florida

Fifth Avenue Delray, LLC ("Applicant") is the owner and developer of two existing parcels totaling +/- 0.35 acres located at 142-152 SE 5th Avenue in the City of Delray Beach. The property has a zoning designation of Central Business District (CBD). The Property is located within the Central Core Subdistrict of the CBD. The Property is currently developed with commercial and residential uses which were constructed between 1938-1941. Applicant is proposing to redevelop the Property with a five (5) unit townhouse development ("Project"). The Project seeks to redevelop this underutilized lot with a vibrant and architecturally modern townhome row that will further enhance the appearance of the City's downtown area. The proposed infill Project is compatible with the surrounding area, with similar masonry modern communities located to the south and west of the Property. It is highly likely that the adjacent properties to the north will also be developed in the coming years to complete the full redevelopment of the block. The additional housing units will provide an exciting new residential option within the City's CBD, located just 1.5 blocks south of Atlantic Avenue.

In order to develop the Project, Applicant is seeking a waiver from Section 4.6.16 (H) (3) (d) of the City's Land Development Regulations ("LDRs"). That Section provides that driveway islands are to be five (5) feet wide. Due to the lot sizes, in order to comply with the most important requirement (e.g., width of the actual driveway), the Project proposes a reduced width of the driveway islands to be not less than 4 feet 4 inches, a reduction of 8 inches. The Project provides for parking areas outside of each private two-car garage as accessible by the alley, and the driveway parking spaces are at the minimum allowable per code to provide for two full vehicle parking space with a minimum width of 18 feet as required by the City of Delray Beach. As stated below, due to the combination of the properties, in order to meet the parking requirements, we are requesting a slight reduction (8 inches) to the four driveway isles at the west side of the Property bordering the rear alley. Considering the foregoing, Applicant is seeking the following waiver:

> **Waiver from Section 4.6.16 (H) (3) to limit the dimensional width of landscape islands between the 5 driveways on the west side of the property, facing the alley and the Caspien Apartment building's parking structure. A 5 foot width is required, and the project is requesting 4'-4" (8 inches reduction) in width in order to accommodate two cars in each driveway.**

Note; These landscape islands are located off on an alley which separates on the south and west side of the property by the Caspian Apartments.

In accordance with the above outlined request, Applicant will demonstrate that the waiver meets the following criteria for the granting of a waiver as set forth in Section **2.4.11(B)(5)**: That the granting of the waiver (a) Shall not adversely affect the neighboring area; (b) Shall not significantly diminish the provision of public facilities; (c) Shall not create an unsafe situation; and, (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

(5) ***Findings.*** Prior to granting a waiver, the granting body shall make findings that the granting of the waiver:

(a) Shall not adversely affect the neighboring area;

The waiver will not adversely affect the neighboring area. The construction of these five upscale townhomes will significantly improve the neighborhood. This request stems from the need for an additional space in each driveway and to meet the minimum driveway width for a two-vehicle driveway. This will allow for the additional off-street parking at each townhome, thereby requiring the landscape islands to be slightly reduced to accommodate. The landscape islands themselves will be planted with green island focus to provide some enhancements through landscaping, where the landscape is otherwise slightly reduced. This waiver will not adversely affect the neighboring area as the driveways where the islands are located are accessible and visible from the alleyway only (not a primary street), which is adjacent to and surrounded by the Caspien Apartments building and its parking structure.

(b) Shall not significantly diminish the provision of public facilities;

The waiver will not significantly diminish the provision of public facilities. Through a reduction of the driveway islands by 8 inches, the waiver will allow for each driveway to accommodate one additional off-street parking space, increasing from three spaces (two garage spaces, one driveway space) to four spaces (two garage spaces, two driveway spaces). As a result, the waiver request will not have any impact on water, sewer, drainage, or other public facilities that serve the community. As such, the waiver shall not significantly diminish the provision of public facilities.

(c) Shall not create an unsafe situation;

The waiver shall not create an unsafe situation. Conversely, Applicant is seeking to avoid an unsafe situation by ensuring there is the minimum width required to accommodate two vehicles in each driveway ensuring there are no conflicts with landscape islands or the public right-of-way. As such, the waiver will not create an unsafe situation.

(d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

The waiver is a result of two factors. In order to meet the required parking for each townhome, the islands needed to be slightly reduced. This design keeps the width of the driveways (which is the most important), and will allow for the full use of the driveways. The proposed landscape islands also allow for the separation between the properties. The reduction sought being only 8 inches. It is important to note that the size of the new, fee simple lots created by joining two lots necessitated this design. These driveways face an alley and their use by the property owners will not be negatively impacted nor with any of the neighbors be negatively impacted.

The waiver does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. The waiver request stems from the minimum driveway width required and the overall width of this specific Property. Considering the foregoing, the waiver does not result in the grant of a special privilege in that the same condition has been approved by the City under similar circumstances on other property for another applicant or owner within the CBD.

(e) Within the CBD, the following additional findings apply:

1. The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.

The waiver will not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls. The waiver request involves landscape islands that are located between driveways in the rear of the property along an alleyway, which is not a Primary Street in the CBD.

2. The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.

The waiver will not allow the creation of significant incompatibilities with nearby buildings or uses of land. The waiver request will minimally change the appearance of the landscape islands by reducing them by 4" on either side in order to allow each driveway an additional 8" of driveway width. The Project is an infill project located adjacent to a significantly larger building, the Caspian Apartments, and is a significant improvement over the current condition of the existing building on the Property as constructed between 1938-1941 which have exceeded their useful life.

3. The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/ pedestrian master plan.

The waiver will not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/ pedestrian master plan. There are no sidewalk connections along the rear alley in proximity to the landscape islands.

4. The waiver shall not reduce the quality of civic open spaces provided under this code.

The waiver will not reduce the quality of civic open spaces provided under this code.

Sincerely,

Tim Weber

Tim Weber

Fifth Avenue Delray, LLC
Director of Development

PROJECT RELIEF REQUEST

Identify if the proposal requires relief from any of the applicable requirements noted in the Land Development Regulations. If no relief is being requested, check the first box under each section below.

WHAT TYPE OF RELIEF IS BEING SOUGHT:

☐ VARIANCE ☐ WAIVER ☑ INTERNAL ADJUSTMENT ☐ IN-LIEU OF PARKING

☐ REQUIRED FEE(S) ATTACHED IN THE AMOUNT OF: _____

Has a request for relief been previously filed with the City of Delray Beach regarding the subject property? If so, please state the nature of the relief request, the project file number, and whether the relief was granted or denied. Attach separate sheet if necessary.

VARIANCE

☐ NO VARIANCES REQUESTED OR APPLICABLE
☐ HISTORIC: ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE CRITERIA IN LDR SECTION 2.4.11(A)(6)
☐ NON-HISTORIC: ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE CRITERIA IN LDR SECTION 2.4.11(A)(5)

WAIVER

☐ NO WAIVERS REQUESTED
☐ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE WAIVER FINDINGS IN LDR SECTION 2.4.11(B)
☐ ATTACH PLANS AND OTHER DOCUMENTS NEEDED (I.E. SURVEY, SITE PLAN, ETC.) FOR REVIEW OF REQUEST.

REQUEST

LDR SECTION	REQUIREMENT	EXISTING	PROPOSED REQUEST

INTERNAL ADJUSTMENT

☐ NO INTERNAL ADJUSTMENTS REQUESTED
☐ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE FINDINGS IN LDR SECTION 2.4.11(C)

REQUEST

LDR SECTION	REQUIREMENT	EXISTING	PROPOSED REQUEST
4.6.15 (G) (3)	5'	N/A	4"

IN-LIEU OF PARKING

☐ NO IN-LIEU OF PARKING REQUESTED OR APPLICABLE. IF GRANTED IN THE PAST, ATTACH APPROVAL LETTER(S).

FOR SUBMITTAL OF AN IN-LIEU REQUEST, THE FOLLOWING MUST BE INCLUDED:

☑ ATTACH JUSTIFICATION STATEMENT THAT ADDRESSES THE FINDINGS LISTED IN LDR SECTION 2.4.11(F) AND DESCRIBE IN DETAIL THE SCOPE OF WORK (I.E. EXPANSION OF USE, CHANGE OF USE, NEW CONSTRUCTION, ETC.).
☐ ATTACH SKETCH PLAN INCLUDING CURRENT AND PROPOSED SQUARE FOOTAGE.
☐ ATTACH ADJACENT RIGHTS-OF-WAY AND PROPOSED PARKING TO BE CONSTRUCTED.

REQUEST

REQUIREMENT	EXISTING	PROPOSED REQUEST

September 10, 2024

To: City of Delray Beach
Internal Adjustments – Interior side pool setback
LDR Section 4.6.15 (G) (3)

RE: Fifth Avenue Townhomes
142 SE 5th Avenue
Delray Beach, Florida

LDR Section 4.6.15 (G) (3) - Internal Adjustments

Fifth Avenue Delray, LLC ("Applicant") is the owner and developer of two existing parcels totaling +/-0.35 acres located at 142-152 SE 5th Avenue in the City of Delray Beach. The property has a zoning designation of Central Business District (CBD). The Property is located within the Central Core Subdistrict of the CBD. The Property is currently developed with commercial and residential uses which were constructed between 1938-1941. Applicant is proposing to redevelop the Property with a five (5) townhouse unit project ("Project"). The Project seeks to redevelop this underutilized lot with a vibrant and architecturally modern townhome row that will further enhance the appearance of the City's downtown area. The proposed infill Project is compatible with the surrounding area, with similar masonry modern communities located to the south and west of the Property. It is highly likely that the adjacent properties to the north will also be developed in the coming years to complete the full redevelopment of the block. The additional housing units will provide an exciting new residential option within the City's CBD, located just 1.5 blocks south of Atlantic Avenue.

In order to develop the Project, which required the joining of two lots to create the five (5) fee simple townhome lots. As such, the resulting individual lot sizes are significantly smaller than the typical lot to which the pool setback standards set forth in LDR Section 4.6.15 (G) (3). Accordingly, Applicant is seeking internal adjustment from Section 4.6.15 (G) (3) which broadly provides that interior side pool setbacks should be 5' feet, to 4".

In making this request, it is important to understand the following conditions which have generated this request. Firstly, as stated, the Applicant is already dealing with a lot width (as per the Plat) of approximately 23.5 feet. Obviously, imposing a 10' side setback on the three interiors lots is essentially denying the applicant the ability to build what most other new properties in the city can build, i.e., a swimming pool. Swimming pools have generally become a required amenity, especially in the higher-end projects. It is important to note that the only ones affected by this proposed internal adjustment are the properties actually benefitting by the adjustment and no other properties will be impacted.

Second, each lot is separated by a six (6') foot barrier wall to ensure privacy between the lots. Setback requirements include the creation of some concept of privacy between lots. With such narrow lots, this is accomplished with the construction of the 6' wall.

Thirdly, allowing the placement of the swimming pools as per the submission will allow the greatest use of the backyards as yards. These yards will be real lawns which helps drainage as well as enhancing the overall appearance.

As per LDR Section 2.4.11 (C) (5), an internal adjustment may be approved if the granting body finds that such relief does not diminish the practical application of the affected regulation (requirement) and that by granting such relief a superior development product will result.

As set forth above, the Applicant believes that the granting of such relief will not diminish the project and that the granting of such relief will create a superior development product. The pools will be appropriately located within each courtyard so as to not conflict with architectural elements of the masonry modern design while appropriately locating the pools in order to maximizing the contiguous area of the greenspace in each courtyard for each townhome.

Sincerely,

Tim Weber

Fifth Avenue Delray, LLC
Director of Development

CFN 20240298676
OR BK 35235 PG 1100
RECORDED 8/28/2024 9:15 AM
Palm Beach County, Florida
Joseph Abruzzo, Clerk
Pgs: 1100 - 1102; (3pgs)

RESOLUTION NO. 165-24

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA, APPROVING A REQUEST TO UTILIZE THE MASONRY MODERN ARCHITECTURAL STYLE FOR THE PROPERTIES LOCATED AT 142 AND 152 SE 5TH AVENUE, AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, Fifth Avenue Delray, LLC ("Owner"), is the owner of two abutting parcels of land measuring approximately 0.3502 acres located at 142 and 152 SE 5th Avenue, as more particularly described Exhibit "A" (the "Property"); and

WHEREAS, the Property is zoned Central Business District ("CBD"); and

WHEREAS, the adopted "Delray Beach Central Business District Architectural Design Guidelines," as amended, identifies architectural styles as appropriate for downtown Delray Beach, based on historical precedent, climate, and building scale; and

WHEREAS, the City of Delray Beach, Florida ("City") received a Level 2 Site Plan Modification application from the Owner seeking to utilize the Masonry Modern architectural style (the "Project"); and

WHEREAS, Section 4.4.13(F)(3)(e) of the Land Development Regulations of the City of Delray Beach ("LDR") states, for properties zoned CBD, the use of Masonry Modern or Art Deco architectural styles requires City Commission approval finding the proposed building design implements the selected style; and

WHEREAS, on July 24, 2024, the Site Plan Review and Appearance Board voted 6 to 0 to recommend approval of the request to the City Commission; and

WHEREAS, on August 19, 2024, the City Commission considered the request to use Masonry Modern architectural style as well as the respective findings as set forth in the Land Development Regulations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA, AS FOLLOWS:

Section 1. The foregoing recitals are hereby affirmed and ratified.

Section 2. The City Commission makes positive findings that the request implements the Masonry Modern style as defined by the Delray Beach Central Business District Architectural Design Guidelines.

Section 3. The City Commission approves the use of the Masonry Modern architectural style for the building design of the Project.

Section 4. All resolutions or parts of resolutions in conflict herewith shall be and hereby are repealed.

Section 5. This Resolution shall be effective immediately upon adoption.

PASSED AND ADOPTED in regular session on the 19th day of August, 2024.

ATTEST:

Katerri Johnson, City Clerk

Thomas F. Carney, Jr., Mayor

Approved as to form and legal sufficiency:

Lynn Gelin, City Attorney

CITY OF DELRAY BEACH SEAL FLORIDA

EXHIBIT "A"
LEGAL DESCRIPTION

LOT 15, LESS THE EAST 10 FEET THEREOF, BLOCK 102, OF TOWN OF DELRAY (FORMERLY KNOWN AS MAP OF THE TOWN OF LINTON, FLORIDA), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 1, PAGE 3,

AND

LOT 16, LESS THE EAST 10 FEET THEREOF, BLOCK 102, OF TOWN OF DELRAY (FORMERLY KNOWN AS MAP OF THE TOWN OF LINTON, FLORIDA), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 1, PAGE 3