

THE STANLEY BUILDING

Stanley Building Sign Program



Prepared by:
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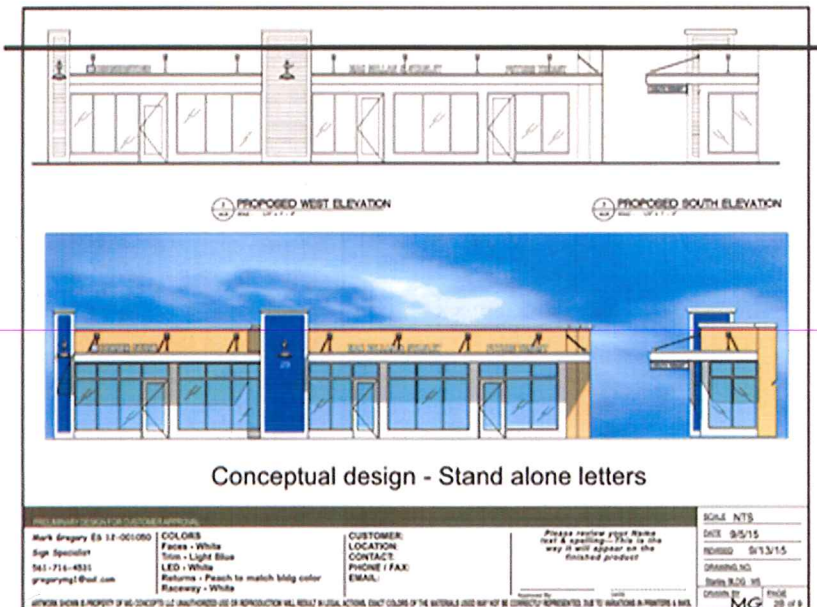
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OCT 23 2015

City of Delray Beach
Planning & Zoning

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THE 300 BUILDING

THE 300 BUILDING

SIGN PROGRAM

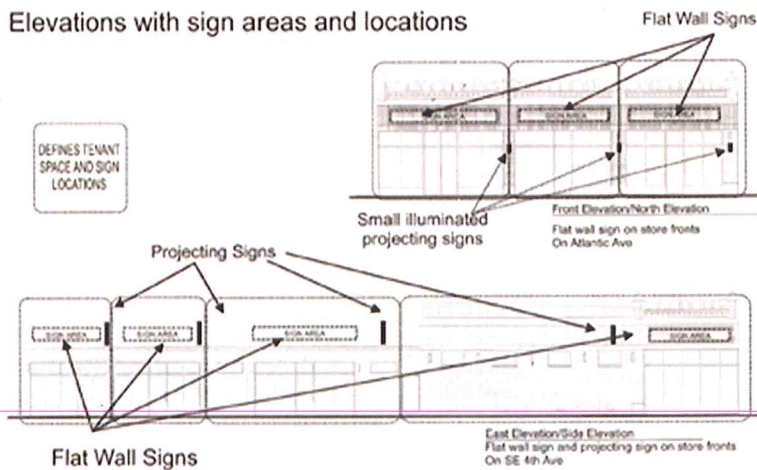


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REV 10/31/15

Elevations with sign areas and locations



Sign Area to be calculated per typical code guide lines
Width x 12 x .15 = Allowable Square foot for sign area

30 SF sign area for projecting signs with a 36" projection
Proposed sign area 30" x 30" = 960 SQ IN = 6.25SF

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REV 10/31/15

DOWNTOWN DELRAY MEDICAL CENTER

SITE DATA		
ZONING DESIGNATION:	GC	
PROPOSED PROJECT:	CLASS -A MEDICAL OFFICE	
GOVERNING CODES:	FBC 2010 EDITION FPFC 2010 EDITION NFPA 1 UFG FLORIDA 2009 EDITION NFPA 101 LSC FLORIDA 2009 EDITION	
TOTAL SITE AREA (POST DEDICATION):	41,458 SQ.FT.	.952 AC
TOTAL BLDG FOOTPRINT:	13,000 SQ.FT.	.298 AC
WALK/PARK/OTHER:	18,056 SQ.FT.	.414 AC
TOTAL IMPERVIOUS:	31,056 SQ.FT. (74.9%)	.713 AC
TOTAL PERVIOUS:	10,402 SQ.FT. (25.1%)	.239 AC
OPEN SPACE:	10,402 SQ.FT. (25.1%)	.239 AC
LOT COVERAGE:	13,000 SQ.FT. (31.3%)	.298 AC

PARKING REQUIREMENTS		
REQUIRED:		
MEDICAL OFFICES	13,000 SQ. FT. @ 5 PER 1000 =	65 REQUIRED
PROVIDED:		
46 PARKING LOT		
10 ALLEY		
10 R.O.W.		
TOTAL PROVIDED:		66 SPACES
INCLUDES (13) COMPACT AND 3 HANDICAPPED		

BUILDING DATA		
BUILDING SETBACK: PURSUANT TO LDR SECTION 4.4.13 F (3)	REQUIRED/ALLOWED	PROVIDED
EAST/WEST (SIDE STREET)	10'-0"	10'-0"
NORTH (REAR)	10'-0"	68'-2"
SOUTH (FRONT)	10'-0"	10'-0"
HEIGHT	48'-0"	21'-0"

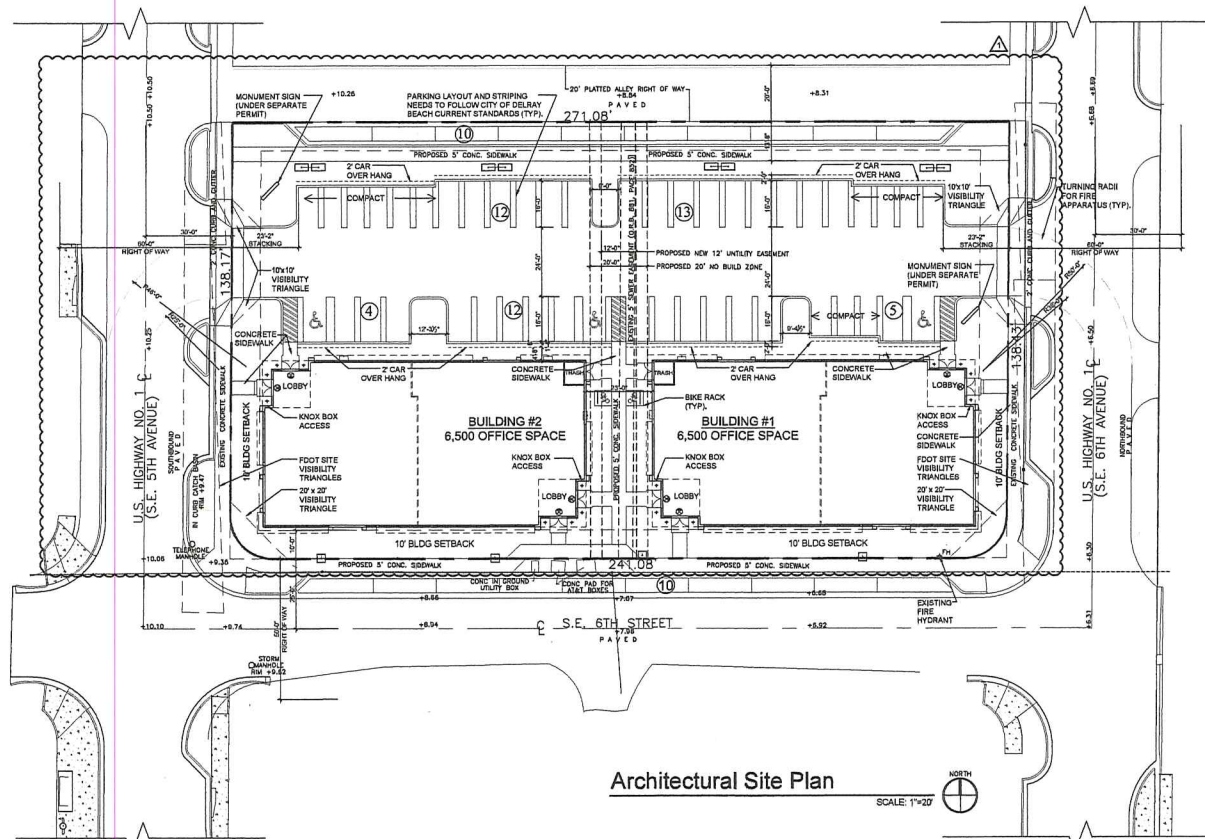
LEGAL DESCRIPTION

LOT 5, LESS THE RIGHT OF WAY OF STATE ROAD NO. 5 (U.S. HIGHWAY 1) AS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 514, PAGE 286 AND LOTS 6 AND 7 AND LOT 8, LESS THE RIGHT OF WAY OF STATE ROAD NO. 5 (U.S. HIGHWAY 1) AS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 403, PAGE 154, ALL IN BLOCK 1, OCEOLA PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 2, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



Bike Rack Detail

SCALE: NTS



Architectural Site Plan

SCALE: 1"=20'



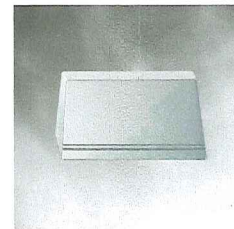
Gardco PureForm

P21 MODEL
SLEEK LOW PROFILE DESIGN. DIE CAST ALUMINUM HOUSING. MAXIMUM PROFILE OF JUST 3". FEATURES A STATE OF THE ART INTEGRAL THERMAL CONTROL SYSTEM. PROVIDES FULL CUTOFF PERFORMANCE.



Gardco PureForm

P32 MODEL
SLEEK LOW PROFILE DESIGN. DIE CAST ALUMINUM HOUSING. MAXIMUM PROFILE OF JUST 3". FEATURES A STATE OF THE ART INTEGRAL THERMAL CONTROL SYSTEM. PROVIDES FULL CUTOFF PERFORMANCE.



Gardco 101 Performance

WEDGIE LUMINAIRE
POWDERCOAT FINISH-WHITE. HOUSING, DOOR FRAME AND BACK PLATE ARE ALL PRECISION DIE CAST ALUMINUM. LENS IS OPTICALLY CLEAR TEMPERED SOCA LINE GLASS. COMPLETELY SEALED AND GASKETED AT EVERY POINT OF ENTRY AND AT ALL POINTS OF MATERIAL.



RAB Lighting

VBR2020QF22
DIE CAST ALUMINUM CONSTRUCTION WESTYRDY WALL MOUNTING BRACKET

RICHARD JONES
ARCHITECTURE

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DELRAY BEACH, FLORIDA 33444
V 561.274.0000 | F 561.274.0000
AA26001617 | IB26001056

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DOWNTOWN DELRAY MEDICAL CENTRE
DELRAY BEACH, FLORIDA 33483

CASTER DEVELOPERS
290 SE 6th AVENUE, DELRAY BEACH, FL 33483

FLORIDA LICENSE

AA26001617 | IB26001056

COMMISSION # 13-402
DESIGNER: RJ
DRAWN BY: TR
PLAN REVIEW: RJ

SUBMITTALS:
SFRAB SUBMITTAL
05.14.13

REVISIONS:
TAC COMMENTS
11.15.13

ARCHITECTURAL
SITE PLAN

SP-1

RICHARD JONES ARCHITECTURE

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DOWNTOWN DELRAY MEDICAL CENTRE
DELRAY BEACH, FLORIDA



DOWNTOWN DELRAY MEDICAL CENTRE
DELRAY BEACH, FLORIDA

UPTOWN ATLANTIC



- 49,490 SF Retail: 19,600 SF Grocery Store
29,890 SF Ground Floor Retail
- 17,300 SF (net) Office Space: Class A Office
- 112 Apartments and Townhouses: 20% workforce housing





BUILDING 600





BUILDING 600





BUILDING 700





BUILDING 700



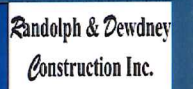


BUILDING 800





BUILDING 800





BUILDING 800





BUILDING 800



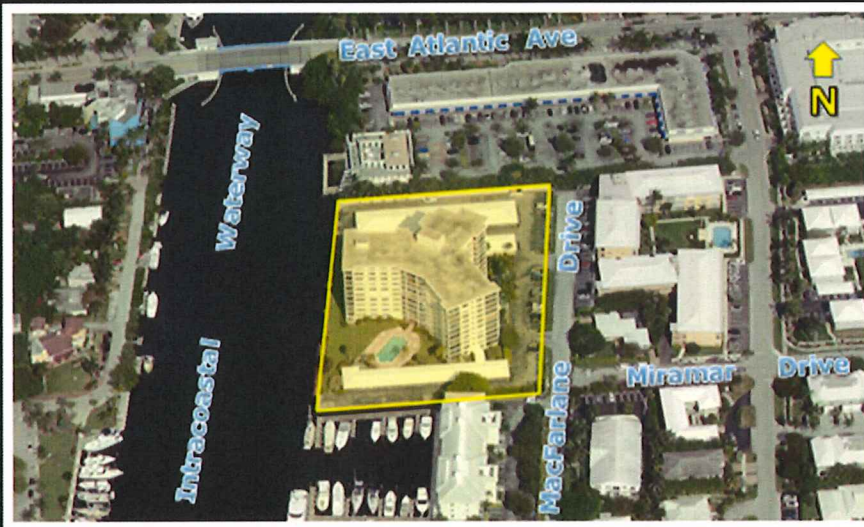


TOWNHOUSES



BAR HARBOUR

Bar Harbour



49 PALM SQUARE

JECT DATA:

TOTAL GROUND FLOOR AREA -	223,600 SQ. FT. ± 39.1% OF SITE
PAVED AREAS -	1216,000 SQ. FT. ± 216% OF SITE
SCAPED SPACE -	2,001,000 SQ. FT. ± 356% OF SITE
IES (POOL) -	178 SQ. FT. ± 3.1% OF SITE
S	10,001,600 SQ. FT. 100% OF SITE

NG DATA:

	REQUIRED	PROVIDED
E FAMILY RESIDENTIAL:		
	TWO (2) PER HOUSEHOLD	TWO (2)
	TWO (2)	TWO (2)

. DESCRIPTION:

ED BY THE OWNER)

DATA: (APPROX. 10,001,600 SQ. FT. OR ± 0.23 ACRES)

ZONED: RM (MULTY FAMILY RESIDENTIAL)
PROPOSED USE: SINGLE FAMILY RESIDENCE

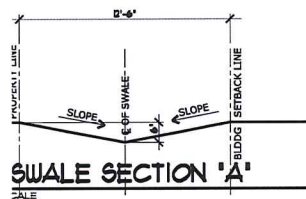
INAGE CULATIONS:

E AREA:	10,001,600 SQ. FT.
US AREA:	1,015,000 SQ. FT. OR 10.1%
A AREA:	2,355,100 SQ. FT. OR 23.5%

REQUIREMENT * 1ST INCH OF RUNOFF

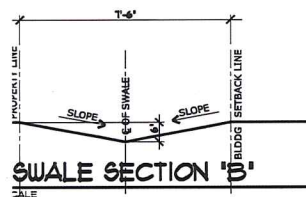
STORAGE REQUIRED * C X I X A
= (% IMPERVIOUS X 0.9) + (% PERVIOUS X 0.3)
0.101 X 0.9 + (0.235 X 0.3) = 0.1742
AINFALL INTENSITY * 1 INCH/2 * 0.0033
AREA = 10,001,600 SQ. FT.
SE, REQUIRED VOLUME * 0.1742 X 0.0033 X 10,001,600 = 6,009 CUBIC FEET
10,001,600 SQ. FT. X 12" X 12" X 12" L. SWALE 'A' ALONG THE NORTH PROPERTY LINE SHALL RETAIN
480 CUBIC FEET OF WATER *
10,001,600 SQ. FT. X 12" X 12" X 12" L. SWALE 'B' ALONG THE SOUTH PROPERTY LINE SHALL RETAIN
206 CUBIC FEET OF WATER *
10,001,600 SQ. FT. X 12" X 12" X 12" L. SWALE 'C' ALONG THE EAST PROPERTY LINE SHALL RETAIN
125 CUBIC FEET OF WATER *

SE, VOLUME PROVIDED * ± 119 CUBIC FEET



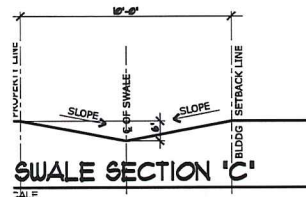
SWALE SECTION 'A'

SCALE



SWALE SECTION 'B'

SCALE



SWALE SECTION 'C'

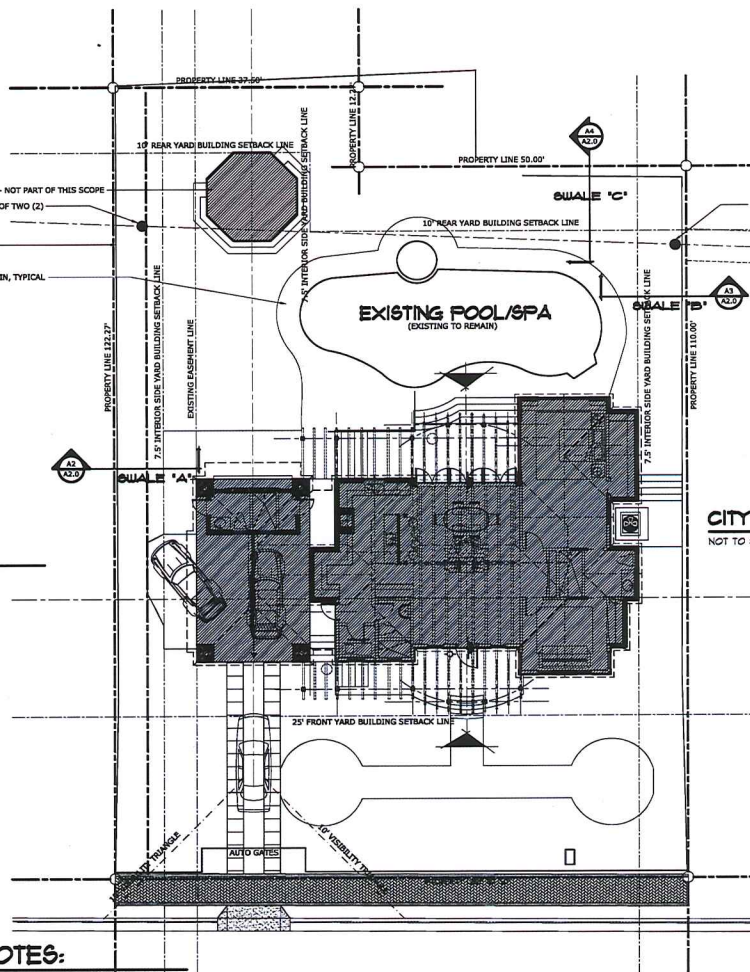
SCALE

SYMBOLS LEGEND:

EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
PROPOSED NEW TOPOGRAPHY (FINISH GRADE)

GENERAL GRADING NOTES:

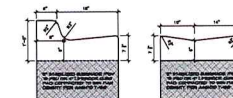
- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SLOTTED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.



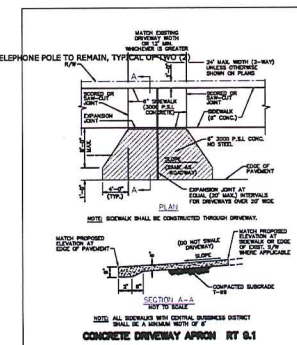
€ PALM SQUARE
(20' OF PAVING & 40' R.O.W.)

AI ARCHITECTURAL SITE PLAN

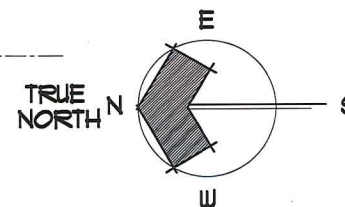
SCALE: 1" = 10'-0"



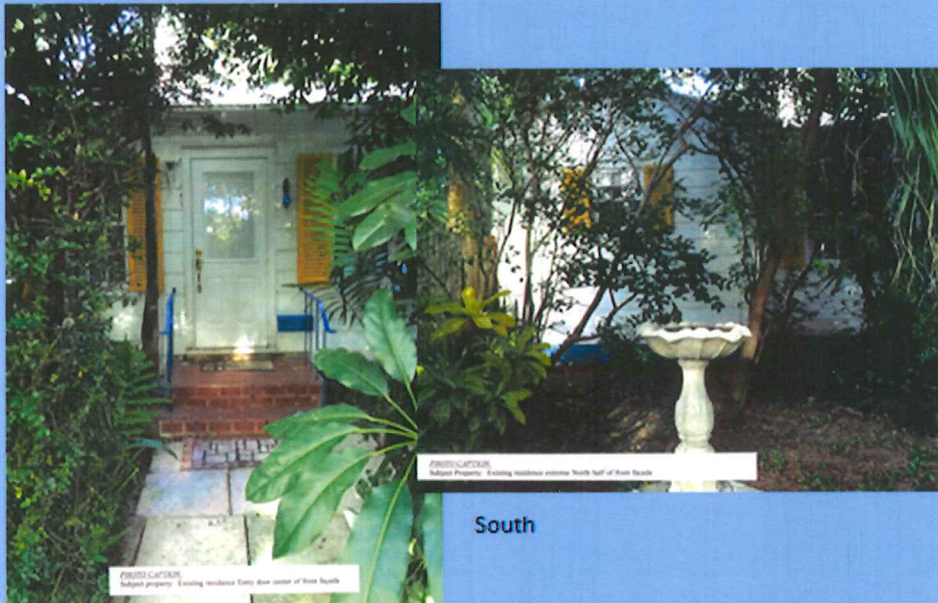
'A' TYPE E CURB
'B' DROP CURB
A2/ NEW CURB DETAILS
NOT TO SCALE



CITY OF DELRAY BEACH: CONC. DRIVE 'APRON' DETAIL RT3J
NOT TO SCALE

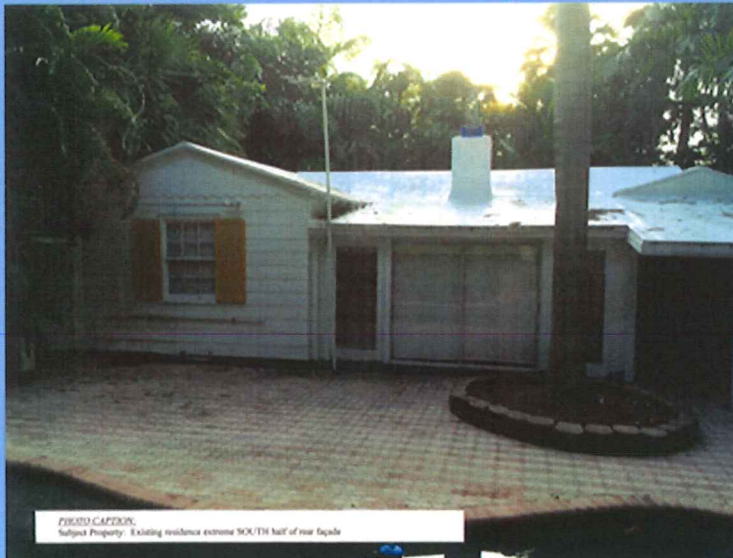


49 Palm Square



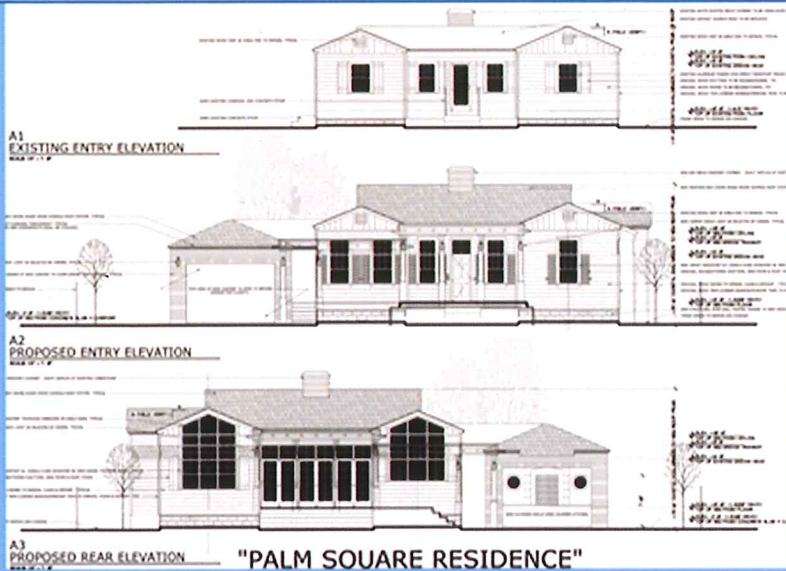
Front (west) Elevation

49 Palm Square



East (rear) Elevation

49 Palm Square



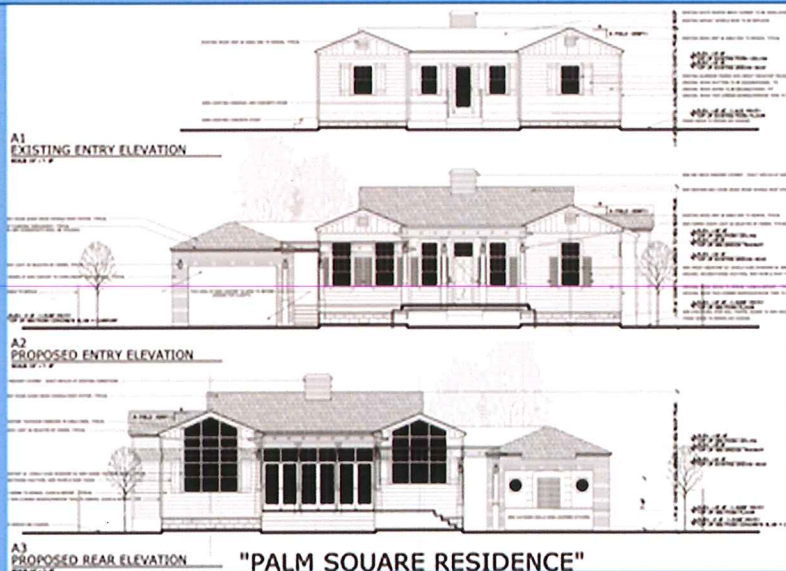
"PALM SQUARE RESIDENCE"

Existing front elevation

New front elevation

New rear elevation

49 Palm Square



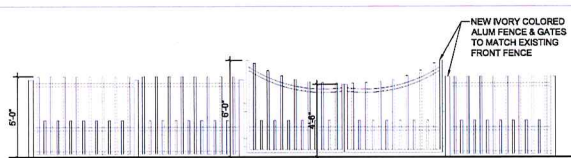
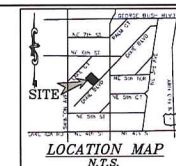
"PALM SQUARE RESIDENCE"

Existing front elevation

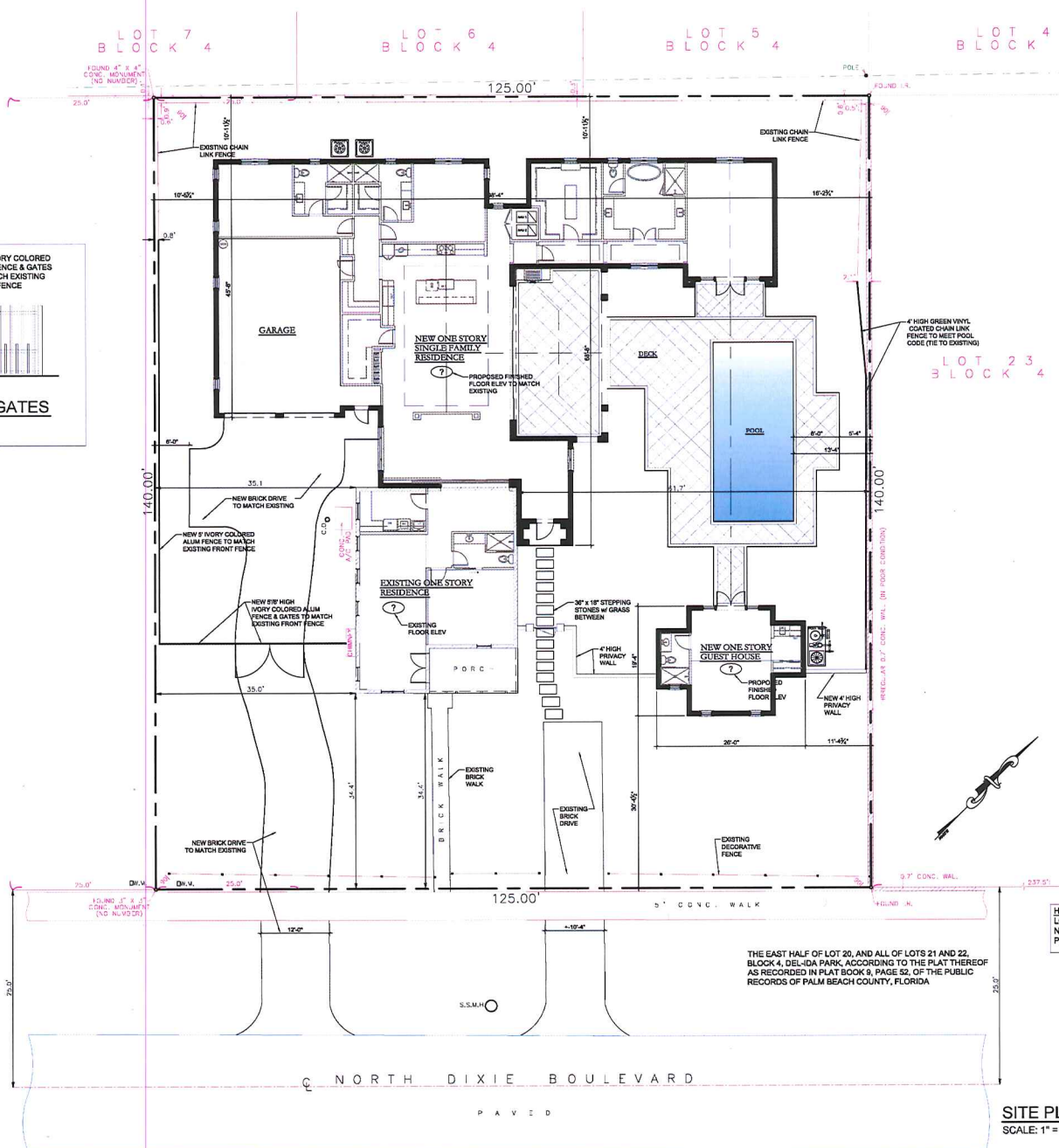
New front elevation

New rear elevation

109 DIXIE BOULEVARD



NEW DRIVE FENCE & GATES
SCALE: 1/4" = 1'-0"



HISTORIC DISTRICT SCALE OF BUILDING LDR 5.1 (E) (B) (C)
LOT WIDTH 125' x 0.40 = 50' - 20' (SIDE SETBACKS) = 30'
NEED AT LEAST 30' TO BE SETBACK A MIN OF 37'
PROVIDED 54'

LOT COVERAGE CALCULATION	
EXISTING	784
NEW MAIN HOUSE	4,243
NEW GUEST HOUSE	407
TOTAL	5,434

IMPERVIOUS CALCULATION	
LOT COVERAGE	5,434
NEW DRIVE	1,270
EXISTING BRICK WALK	103
EXISTING DRIVE	310
NEW POOL & DECK	1,453
TOTAL	8,570

OPEN SPACE = LOT SIZE - IMPERVIOUS
OPEN SPACE = 17,500 - 8,570 = 8,930

R-1-AA (DEL-IDA PARK)	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH (ft)	MIN. LOT DEPTH (ft)	MIN. LOT FRONTAGE (ft)	MAX LOT COVERAGE (%)	MIN. OPEN SPACE (%)	MIN. FRONT SETBACK (ft)	MIN SIDE SETBACKS (ft)	MIN. REAR SETBACK (ft)	MAX BLDG HEIGHT (ft)
REQUIRED	9,500	75	100	75	N/A	25.0	30	10 (SIDE INTERIOR)	10	35
PROVIDED	17,500	125	140	125		51.0 (8,930 / 17,500)	30'-4 1/2"	11'-4 1/2" (EAST SIDE) 10'-5 1/2" (WEST SIDE)	10'-11 1/2"	22'-5"

109 Dixie Boulevard



On October 7, 2015 the new owners of the subject property presented a concept plan review to the Historic Preservation Board (HPB). Three plan options were suggested and the comments offered were in favor of plan option #3, which will be discussed in more detail in this report.

109 Dixie Boulevard



Demolition of the 1960's carport at the rear of the historic house will allow for the construction of the proposed new addition behind the existing historic residence.