

BOUNDARY SURVEY

- LEGEND:

ALUM= ALUMINUM

A= ARC

ANCH= ANCHOR

ASPH= ASPHALT

B.M.= BENCH MARK

CL.F.= CENTERLINE FIELD EASEMENT

CL.F.B.= CALCULATED FIELD TRAVERSE

C.F.T.= CALCULATED FIELD TRAVERSE

C.B.= CATCH BASIN

CONC.= CONCRETE

F.H.= FIRE HYDRANT

F.W.= FLORIDA POWER & LIGHT

F.V.= GATE VALVE

H.C.= HANDICAP SRACE

I.P.C.= IRON PIPE WITH CAP

I.R.C.= IRON ROD WITH CAP

L.B.= LANDSCAPE BUFFER

L.P.= LIGHT POLE

L.A.E.= LIMITED ACCESS EASEMENT

MAIN.= MAINTENANCE

M.E.= MEASURED

M.A.E.= NON-ACCESS EASEMENT

O.A.B.= OFFICIAL RECORD BOOK

O.H.= OVERHEAD

O.H.W.= OVERHEAD WIRES

PG.= PAGE

PAV= PAVEMENT

P.C.P.= PERMANENT CONTROL POINT

P.= PLAT

P.U.E.= PROPOSED UTILITY EASEMENT

RAD.= RADIUS

R.W.= RIGHT-OF-WAY

S.A.M.= SURVEY MANHOLE

SEC.= SECTION

S.I.R.= SET IRON ROD WITH CAP

SL.= SLAB

S.B.B.= SOUTHERN BELL BOX

TYP.= TYPICAL

U.E.= UTILITY EASEMENT

UT.P.= UTILITY POLE

V.= VALVE

W.M.= WATER MAIN

W.P.P.= WOOD POWER POLE

O.S.= OFF-SET

B.M.= BENCH MARK

O.S.C.= OBRIEN SUITER OBRIEN

C/L= CENTERLINE

R/W= RIGHT OF WAY

D.B.= DEED BOOK

P.B.= PLAT BOOK

PG.= PAGE

U.E.= UTILITY EASEMENT

D.E.= DRAINAGE EASEMENT

P.O.C.= POINT OF COMMENCING

P.O.B.= POINT OF BEGINNING

P.O.T.= POINT OF TERMINUS

C.B.= CATCH BASIN

W.P.P.= WOOD POWER POLE

CONC.= CONCRETE

C & G= CURB AND GUTTER

C-1

R = 15'

DELTA = 89°33'00"

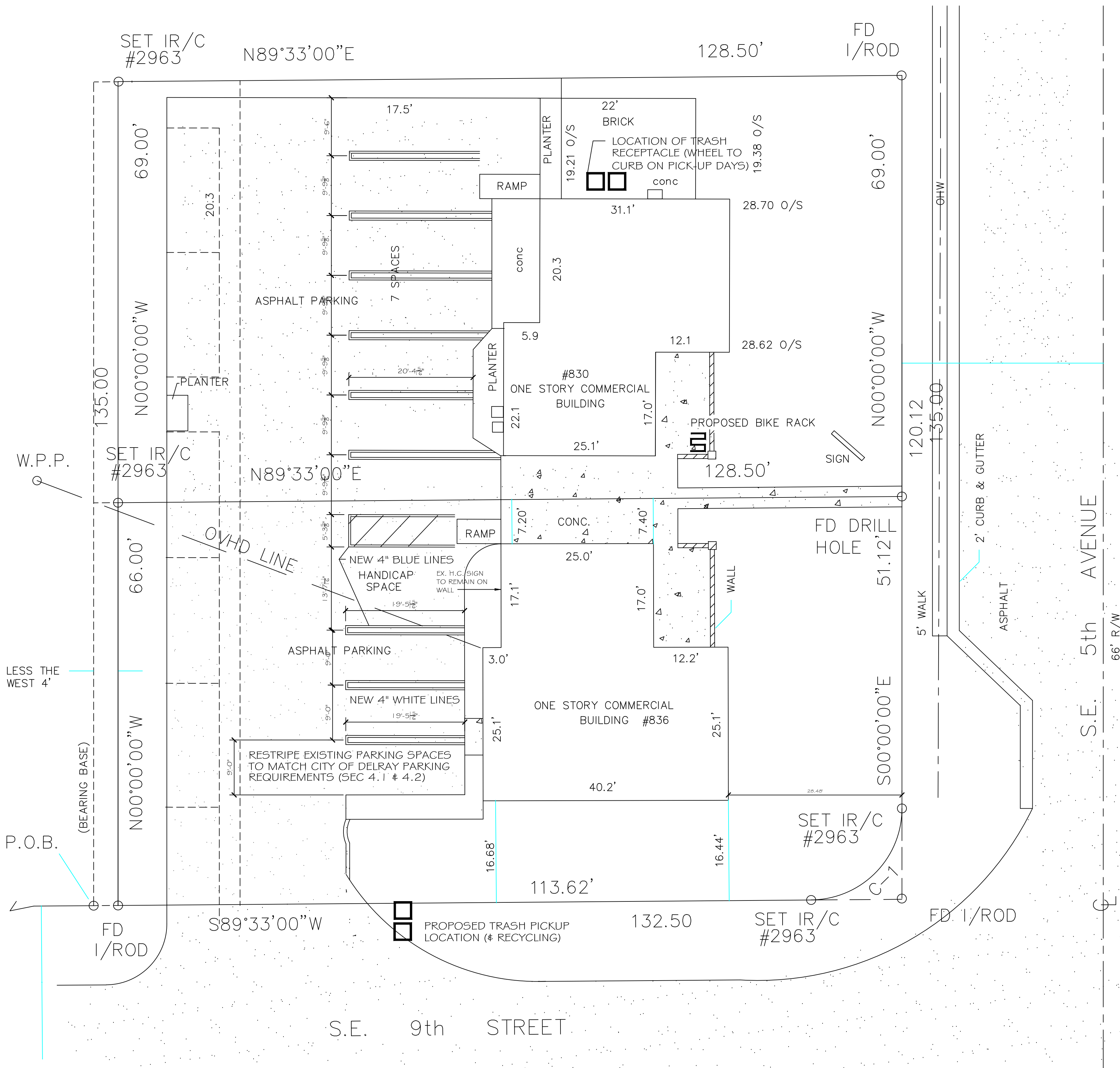
A = 23.44'

CB = S44°46'30"W

FOUND ALL CORNERS

10/31/11

6/29/15
-
- LEGAL DESCRIPTION:
LOT 10, BLOCK 1, "MODEL LAND COMPANY'S" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 128, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
FROM THE POINT OF INTERSECTION OF THE NORTH LINE OF SOUTHEAST 9th STREET (FORMERLY SOUTHEAST 7th STREET) WITH THE CENTERLINE OF SOUTHEAST 4th AVENUE (SAID CENTERLINE BEING ALSO THE WESTERLY LINE OF LOT 10 BLOCK 1, OF THE SUBDIVISION OF SECTION 21, TOWNSHIP 46 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 128, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA), RUN EASTERLY ALONG THE NORTHLINE OF SOUTHEAST 9th STREET WITH AN ANGLE OF 88 DEGREES 33 MINUTES 00 SECONDS, MEASURED FROM THE NORTH TO EAST FROM THE CENTERLINE OF SOUTHEAST 4th AVENUE, A DISTANCE OF 165.60 FEET TO THE POINT OF BEGINNING, THENCE RUN NORTHERLY PARALLEL TO THE CENTERLINE OF SOUTHEAST 4th AVENUE A DISTANCE OF 135.00 FEET, THENCE RUN EASTERLY PARALLEL TO THE NORTH LINE OF SOUTHEAST 9th STREET, A DISTANCE OF 132.50 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF SOUTHEAST 5th AVENUE (FORMERLY DIXIE HIGHWAY) THENCE RUN SOUTHERLY ALONG THE SAID WESTERLY RIGHT-OF-WAY LINE, BEING ALSO PARALLEL TO THE CENTERLINE OF SOUTHEAST 4th AVENUE, A DISTANCE OF 135.00 FEET TO THE POINT OF INTERSECTION WITH THE NORTH LINE OF SOUTHEAST 9th STREET, THENCE RUN WESTERLY ALONG SAID NORTH LINE A DISTANCE OF 132.50 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPTING THEREFROM THE WEST 4.00 FEET THEREOF AND THAT PART OF THE SOUTH HALF (S 1/2) OF THE EAST HALF (E 1/2) OF THE NORTH 135.00 FEET OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 21, TOWNSHIP 46 SOUTH, RANGE 43 EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC, TANGENT TO THE NORTH LINE OF SOUTHEAST 9th STREET AND TANGENT TO A LINE PARALLEL TO AND 33.00 FEET WEST OF THE CENTRELINE OF SOUTHEAST 5th AVENUE, SUBJECT TO AN EASEMENT OVER AND ACROSS THE WEST 20.00 FEET THEREOF.
- NOTES:
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- CERTIFICATION:
I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF SURVEY OF THE ABOVE DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION IN
MARCH 21, 2005
S E A L
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
BRUCE N. CARTER
REGISTERED LAND SURVEYOR # 2963
STATE OF FLORIDA LB #4683
- | | | | | | |
|--|---------------|----------|----|----|----|
| BRUCE CARTER and ASSOCIATES, INC.
LAND SURVEYORS - LAND PLANNERS
405 S.E. 6TH AVENUE (SOUTH FEDERAL HIGHWAY)
DELRAY BEACH, FLORIDA 33444
TEL. (561) 265-1910 , FAX (561) 265-1919
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| SCALE: 1"=10' | DATE | DATE | BY | OK | OF |
| BY: EOC | | | | | |
| CK'D. | 6/29/15 | 6/29/15 | BC | | |
| P.G. | 10/31/11 | 10/31/11 | BC | | |
| JOB NO. | ADD NORTH 69' | 5/12/06 | BC | | |



ARCHITECTURAL SITE PLAN
1"=10'-0" (TO MATCH ORIGINAL SURVEY)

GENERAL NOTES:

1. THERE IS NO-PROVISION FOR A DUMPSTER
MINIMUM AMOUNT OF TRASH SHALL BE KEPT (INTERIOR) AND BROUGHT OUT BY OWNER
2. ALL EXISTING SPACES ARE STRIPPED - NO NEW STRIPPING PLANNED. # ALL WHEEL STOPS ARE EXISTING (NO-WHEEL-STOP DETAIL PROVIDED)
3. ADD NEW (DELRAY APPROVED) BIKE-RACK WHERE INDICATED (MINIUM 3-BIKES)

PROJECT DATA

TOTAL SITE AREA: 17,299 SQFT (0.40AC) 100% OF SITE AREA

GROUND FLOOR AREA: 2,655 SF
TOTAL FLOOR AREA: 2,655 SF
PARKING/ PAVED AREA: 6,307 SF
SIDEWALK AREA: 1,988 SF
OPEN SPACE AREA: 6,349 SF
WATER BODIES AREA: 0 SF

RESIDENTIAL DWELLING UNITS: 0
DWELLING UNITES PER ACRE 0

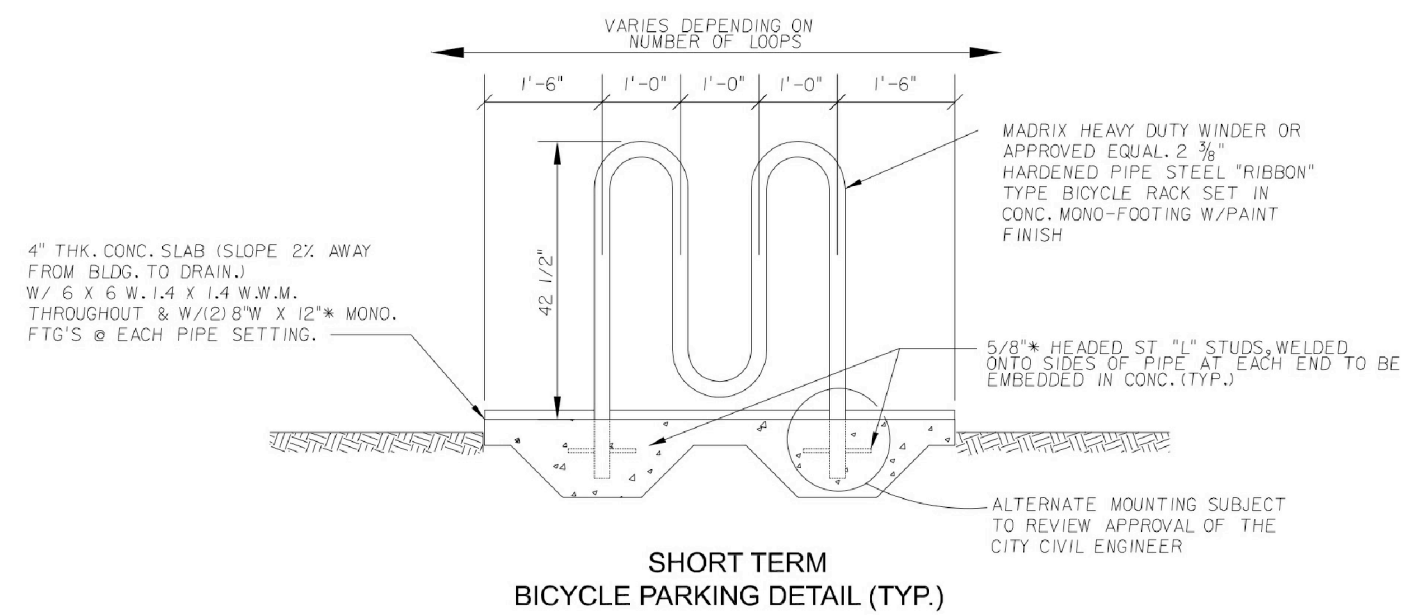
PARKING SPACES REQUIRED PER LDR SECTION 4.6.9 4(C)
MEDICAL OFFICE USE: GROSS 2,655-SF $5spc/1000SF = 13$ SPACES REQ'D

PARKING SPACES PROVIDED:
STANDARD (ALL 9'X17.5') 10
PARALLEL (ALL 9'X20.3') 5
HANDICAP (10'X20' W/ ACCESS) 1
TOTAL PROVIDED: 16 (COMPLIES)

DEVELOPMENT STANDARDS LDR SECTION 4.3.4

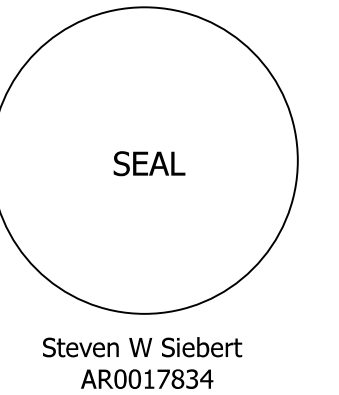
ZONE GC	MIN. LOT SIZE (SF)	MIN LOT WIDTH (FT)	MIN LOT DEPTH (FT)	MAX LOT COVER (%)	MIN PERIMETER BUFFER (FT)	MIN OPEN SPACE (%)	(EAST)	(SOUTH)	(NORTH)	(WEST)	MAX BUILDING HEIGHT (FT)
							MIN FRONT SETBACK (FT)	MIN SIDE STREET (FT)	MIN SIDE INTR. (FT)	MIN REAR SETBACK (FT)	
REQUIRED	NA	NA	NA	NA	0	25	15	15	10	10	48
PROVIDED	17,299	135.0	128.5	63.0%	0	37.0%	28.48'	16.44'	19.21'	64.18'	13.5

EXISTING BUILDING(S) (NO-CHANGE)
MEAN BLDG HEIGHT (BTW TIE-BM & RIDGE) 13.5'



NOTES:

- (A) ALL SHORT TERM BICYCLE PARKING SPACES SHALL INCLUDE A STATIONARY PARKING DEVICE ON A CONCRETE SURFACE WHICH ADEQUATELY SUPPORTS THE BICYCLE AND MUST HOLD AT LEAST 180 DEGREES OF THE WHEEL ARC.
- (B) ALL LONG TERM FACILITIES SHALL CONSIST OF A FULLY ENCLOSED LOCKABLE SPACE ACCESSIBLE ONLY TO OWNER/OPERATOR OF THE BICYCLE, OR ATTENDANT PARKING WITH A CHECK-IN SYSTEM ACCESSIBLE ONLY TO THE ATTENDANT(S), OR A LOCKED ROOM OR OFFICE INSIDE THE BUILDING.
- (C) WHERE NOT SPECIFIED EITHER SHORT TERM OR LONG TERM PARKING IS PERMISSIBLE.
- (D) EACH SHORT TERM BICYCLE PARKING SPACE SHALL BE A MINIMUM OF TWO FEET WIDE AND
- (E) ALL REQUIRED PARKING FACILITIES SHALL BE FROM SIX FEET LONG, AND SHALL HAVE A MINIMUM OF EIGHT FEET OF OVERHEAD CLEARANCE.
- AN APPROVED LIST OF BICYCLE PARKING DEVICES MAINTAINED BY THE MUNICIPAL SERVICES DEPARTMENT. ALTERNATIVE BICYCLE PARKING DEVICES MAY BE USED IF ESTABLISHED AS AN APPROVED EQUIVALENT IN FUNCTION, QUALITY AND CONSTRUCTION.
- (F) FIXED OBJECTS WHICH ARE INTENDED TO SERVE AS BICYCLE PARKING FACILITIES SHALL BE CLEARLY LABELED AS AVAILABLE BICYCLE PARKING.
- (G) BICYCLE PARKING SHALL BE CONSISTENT WITH SURROUNDINGS IN COLOR AND DESIGN AND BE INCORPORATED WHENEVER POSSIBLE INTO BUILDING OR STREET FURNITURE DESIGN.
- (H) BICYCLE PARKING SHALL BE LOCATED AS NEAR THE PRINCIPAL ENTRANCE OF THE BUILDING AS PRACTICABLE.
- (I) BICYCLE PARKING SHALL BE LOCATED IN A CONVENIENT, HIGHLY VISIBLE, ACTIVE, WELL LIGHTED AREA.
- (J) BICYCLE PARKING SHALL BE LOCATED SO AS NOT TO IMPEDE PEDESTRIAN MOVEMENT.



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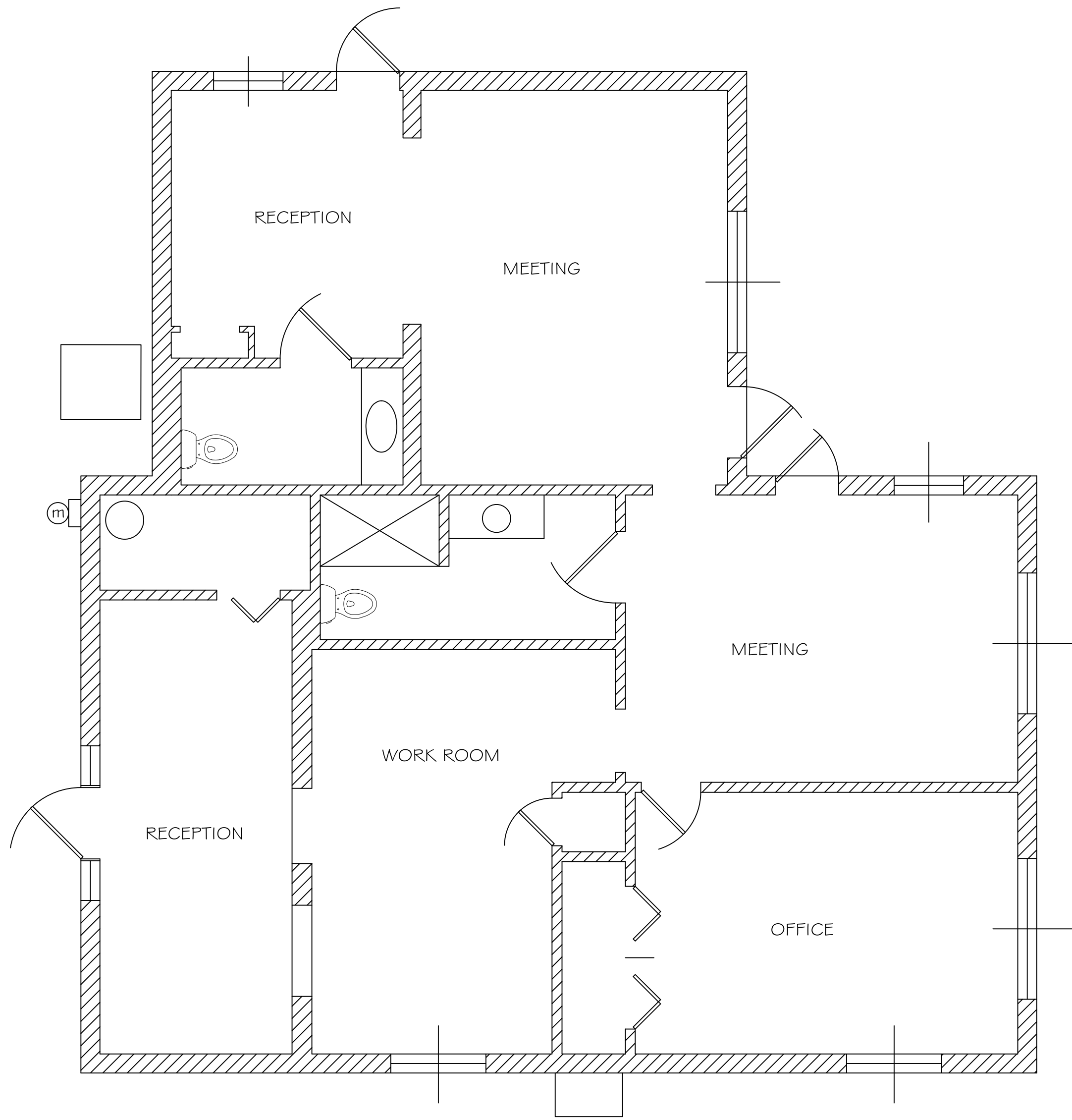
CLASS III SITE PLAN, Change of use to:
Sober Living Outpatient
830 & 836 SE 5th Avenue
Delray Beach Florida, 33483

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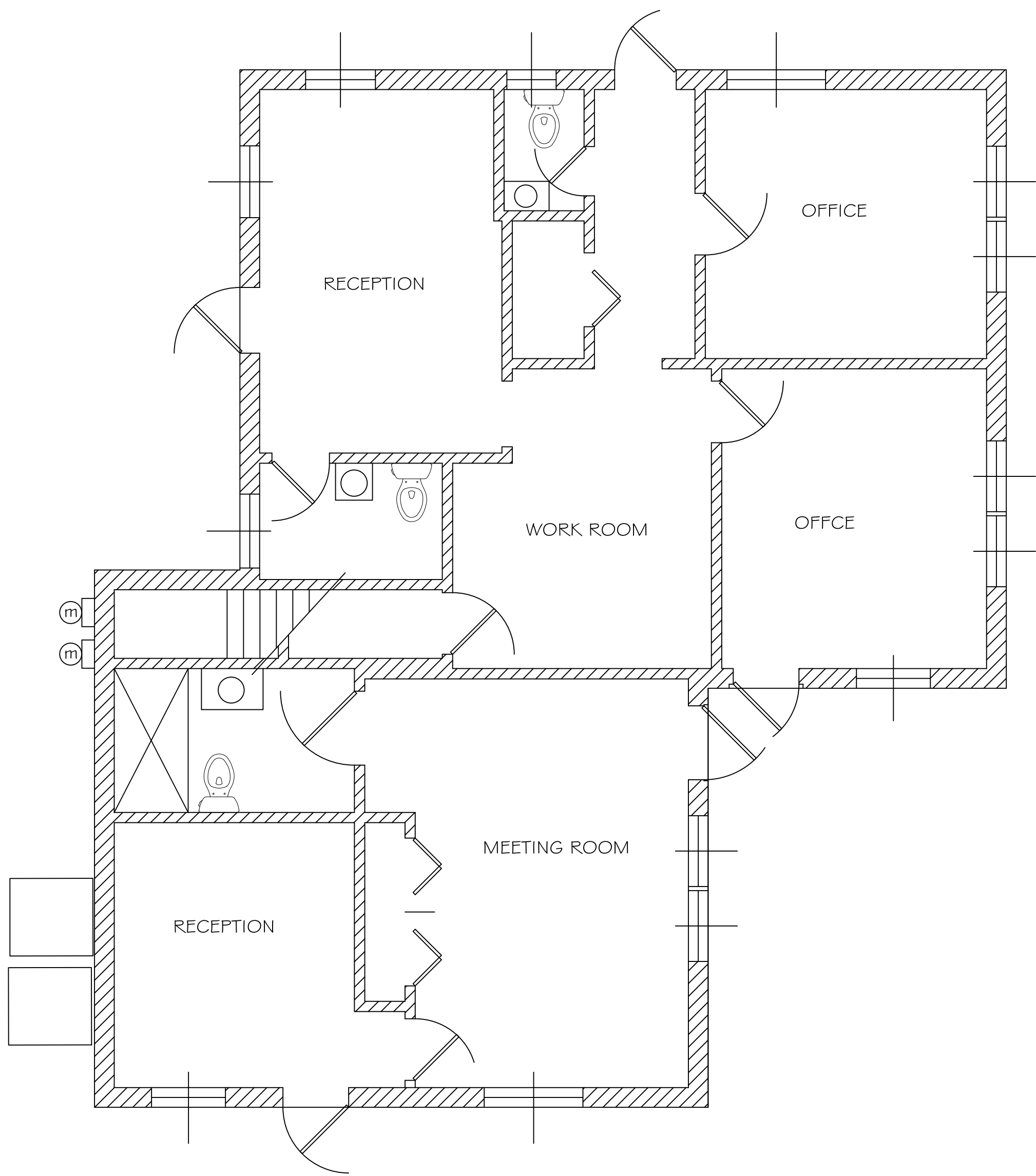
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DATE: 7.30.15
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CHECKED BY: B.K.
REVISIONS:
9.23.15 TAC COMMENTS

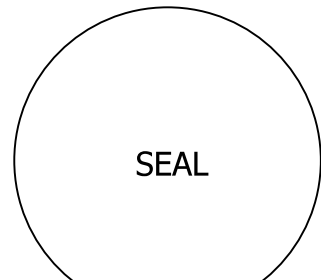
ARCHITECTURAL SITE
AS.1
SHEET NO.



FLOOR PLAN (836 SE 5th Ave)
1/4" = 1'-0"



FLOOR PLAN (830 SE 5th Ave)
1/4" = 1'-0"



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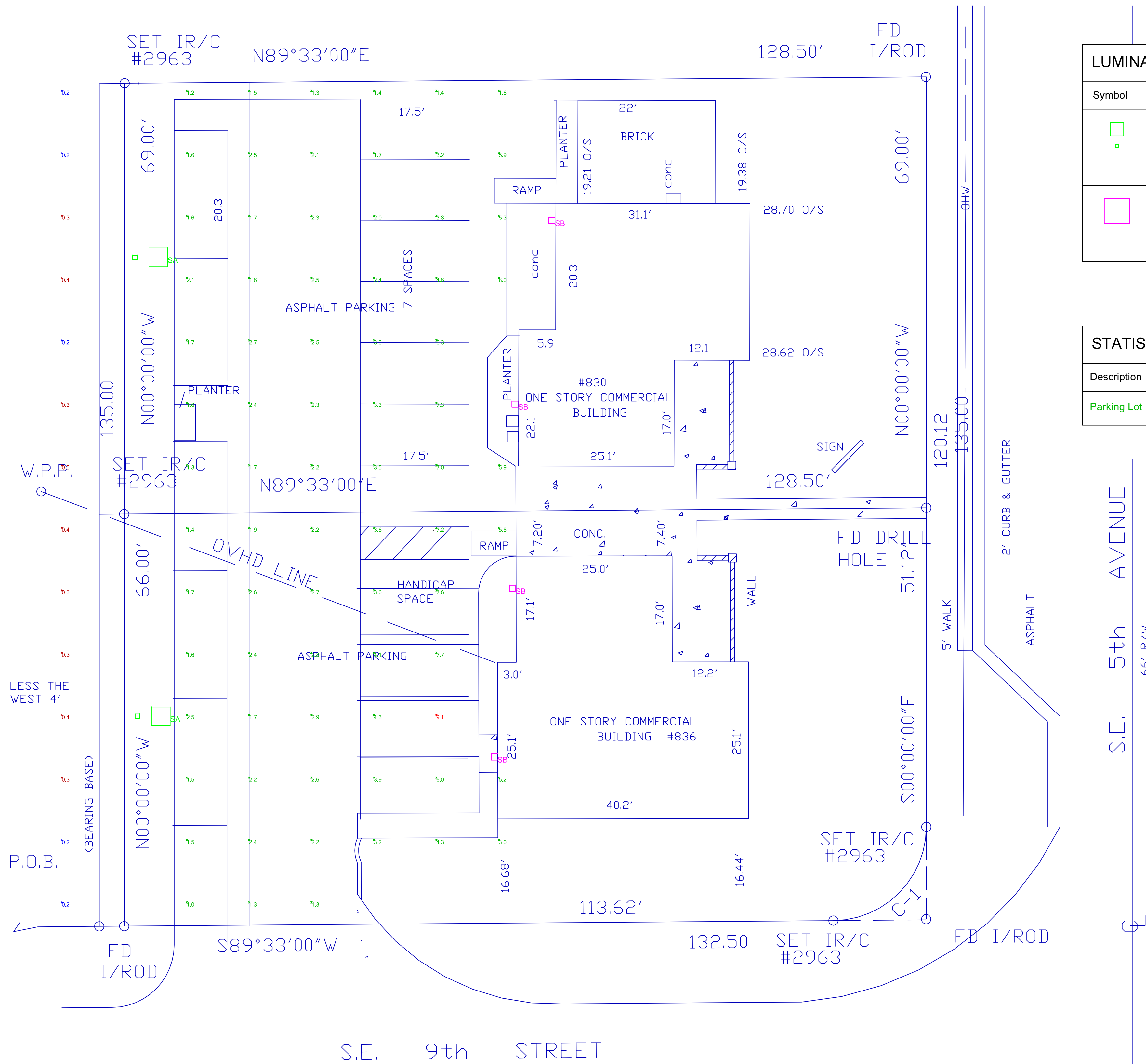
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FLOOR PLAN(S)

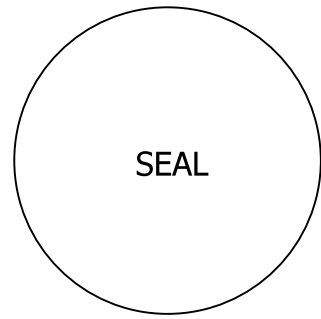
A.1

SHEET NO.



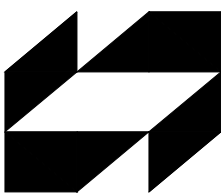
LUMINAIRE SCHEDULE					
Symbol	Label	Qty	Catalog Number	File	LLF
	SA	2	SPAULDING LIGHTING CL1S A 48LU 5K 4 COLOR (POLE MT @ 20 FT AFG)	cl1s_48l_5k_4.ies	0.75
	SB	4	SPAULDING LIGHTING CL1S A 32LU 5K 4 WB COLOR (WALL MT @ 9 FT AFG)	cl1s_32l_5k_4.ies	0.75

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	3.1 fc	9.1 fc	1.0 fc	9.1:1	3.1:1



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PHOTOMETRIC PLAN

A.2

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