



Planning, Zoning & Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Downtown Delray Professional Center
Project Location: 530 SE 6th Avenue
Request: Class II Site Plan Modification, Landscape Plan and Architectural Elevations

Board: Site Plan Review and Appearance Board
Meeting Date: December 14, 2016

Board Action:

Approved the Class II Site Plan Modification (7-0); Approved the Landscape Plan (7-0); Approved the Architectural Elevations (7-0)

Project Description:

The property is located on the north side of NE 6th Street between SE 5th Avenue and SE 6th Avenue and measures 0.957 acre.

The most recent and relevant activities associated with this property include the following:

On December 11, 2013, SPRAB approved with conditions a Class V site plan, landscape plan and architectural elevation plan for Downtown Delray Medical Centre associated with the construction of two one-story 6,500 square foot buildings (totaling 13,000 sq. ft.).

On December 2, 2014, the City Commission approved a final boundary plat for the Downtown Delray Medical Center, being a replat of a portion of Lots 5, 6, 7 and 8, Block 1 of Osceola Park Subdivision as Recorded in Plat Book 3, Page 2, of the Public Records of Palm Beach County Florida.

At its meeting of December 9, 2015, SPRAB approved a 24 month extension (expiring December 11, 2017) of the Class V site plan, landscape plan and architectural elevation plan subject to conditions.

At its meeting of January 21, 2016, the City Commission appealed the SPRAB action. The appeal was considered on February 16, 2016, at which time the City Commission upheld the SPRAB decision and approved the extension request.

On March 9, 2016, the SPRAB approved a Class I Site Plan Modification for architectural elevation changes to the prior approved elevations.

On December 14, 2016, the SPRAB approved a Class II Site Plan, Landscape Plan and Architectural Elevations associated with a proposed generator and enclosure, aluminum canopy, equipment screening and roof on Building #2, modified sidewalk configuration between buildings and minor storefront changes.

Staff indicated that provision of the 10' x 10' and 20' x 20' triangles were not applicable and must be removed from the plans. Only the FDOT line of sight is applicable and is correctly depicted. The

Appealable Item Report

Staff had no other concerns and supported approval of the landscape plan and architectural elevations as presented.

Board comments:

Board concurred with staff's recommendation for the site plan and required removal of the 10' x 10' and 20' x 20' sight visibility triangles as a condition of approval. The Board also required that the Architectural Elevations include structural drawings for the proposed canopy. Additionally, a detail of the proposed design for the air conditioner unit enclosures and rooftop screening must be provided for the proposed generator. The landscape plan was approved as presented.

Public input – noting comments and concerns: None.

Associated Actions: None.

Next Action: None.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: December 14, 2016

ITEM: **Downtown Delray Professional Center** – Class II Site Plan, Landscape Plan and Architectural Elevations associated with a proposed generator and enclosure, aluminum canopy, equipment screening and roof on Building #2, modified sidewalk configuration between buildings and minor storefront changes.

RECOMMENDATION: Approve the Class II Site Plan Modification, Landscape Plan and Architectural Elevations.

GENERAL DATA:

Owner..... 555 SE 5th Avenue, LLC

Applicant Richard Caster

Agent..... Richard Jones Architecture

Location..... On the north side of SE 6th Street between the US1 pairs (SE 5th & SE 6th Avenues)

Property Size..... 0.952 acres (41,458 sq. ft.)

Future Land Use Map..... GC (General Commercial)

Current Zoning..... GC (General Commercial)

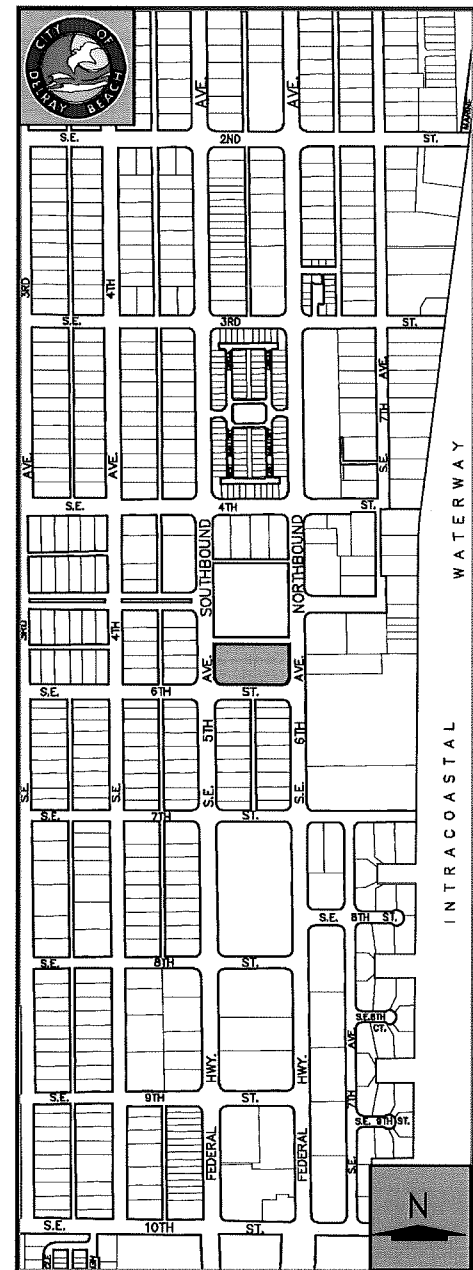
Adjacent Zoning..... North: GC
South: GC
East: POD (Professional Office District)
RM (Multiple Family Residential), &
NC (Neighborhood Commercial)
West: GC

Existing Land Use..... Vacant land

Proposed Land Use..... Professional Offices

Water Service..... Existing on-site

Sewer Service..... Existing on-site



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Agent: Richard Jones Architecture

Project Name: Downtown Delray Professional Center

Project Location: On the north side of SE 6th Street between the US1 pairs (SE 5th & SE 6th Avenues)

ITEM BEFORE THE BOARD

The item before the Board is approval of the following aspects of a Class II site plan modification for Downtown Delray Professional Center, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(b):

- ☐ Site Plan;
- ☐ Landscape Plan; and,
- ☐ Architectural Elevations

BACKGROUND

The property is located on the north side of NE 6th Street between SE 5th Avenue and SE 6th Avenue and measures 0.957 acre.

With the Citywide Rezoning in October 1990, the property was rezoned from SC (Specialized Commercial) to GC (General Commercial). The property was previously occupied by Chesterfield Restaurant an 8,156 square foot structure. At its meeting of December 12, 2001, the Site Plan Review and Appearance Board approved a Class I site plan modification to add a concrete balustrade railing, concrete columns, entrance awning, concrete window sills and frames to the existing structure. The restaurant was demolished in 2004 and the site has remained vacant.

A Class V site plan associated with the construction of a bank (Southtrust Bank) on the property was approved by the Site Plan Review and Appearance Board (SPRAB) on May 12, 2004, but the facility was never built. A Class V site plan also associated with the construction of another bank (Sun American Bank) was approved by the Site Plan Review Appearance Board (SPRAB) on September 13, 2006, but the facility also was never built.

On December 11, 2013, SPRAB approved with conditions a Class V site plan, landscape plan and architectural elevation plan for Downtown Delray Medical Centre associated with the construction of two one-story 6,500 square foot buildings (totaling 13,000 sq. ft.).

On December 2, 2014, the City Commission approved a final boundary plat for the Downtown Delray Medical Center, being a replat of a portion of Lots 5, 6, 7 and 8, Block 1 of Osceola Park Subdivision as Recorded in Plat Book 3, Page 2, of the Public Records of Palm Beach County Florida.

At its meeting of December 9, 2015, SPRAB approved a 24 month extension (expiring December 11, 2017) of the Class V site plan, landscape plan and architectural elevation plan subject to conditions.

At its meeting of January 21, 2016, the City Commission appealed the SPRAB action. The appeal was considered on February 16, 2016, at which time the City Commission upheld the SPRAB decision and approved the extension request.

On March 9, 2016, the SPRAB approved a Class I Site Plan Modification for architectural elevation changes to the prior approved elevations.

Now before the Board for consideration is a Class II Site Plan, Landscape Plan and Architectural Elevations associated with a proposed generator and enclosure, aluminum canopy, equipment screening and roof on Building #2, modified sidewalk configuration between buildings and minor storefront changes.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Generator With Enclosure
- Aluminum Canopy
- Equipment Screening And Roof On Building #2
- Modified Sidewalk Configuration Between Buildings
- Minor Storefront Changes
- Minor Landscaping Changes

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K) as it pertains to the GC zone district:

		Required	Provided
Maximum Building Height:		48'	21'-0"
Minimum Building Setbacks:	Front (East, SE 6 th Avenue)	10'	10'-0"
	Front (West, SE 5 th Avenue)	10'	10'-0"
	Side Street (South)	10'	10'-0"
	Side Interior (North)	10'	68'-2"
Open Space:		25%	25.1%

LDR Chapter 4.6 Supplementary District Regulations:

Parking:

Pursuant to LDR Section 4.6.9(C)(4)(a), business and professional offices shall provide 4 spaces per 1,000 sq. ft. of net floor area up to 3,000 sq. ft. and then 3.5 spaces per 1,000 sq. ft. of net floor area over the initial 3,000 sq. ft. For the proposed 13,000 sq. ft. of net floor area for the professional offices in both buildings, 12 parking spaces shall be provided for the first 3,000 sq. ft., then an additional 35 parking spaces for the remainder 10,000 sq. ft. Therefore, a total of 47 parking spaces are required based on the net floor area for the proposed business and professional offices.

The proposed Downtown Delray Professional Center will provide a 45-space parking lot, 10 on-street parking spaces along SE 6th Street r-o-w, and 10 parallel parking spaces within the subject property along the north alley r-o-w for a grand total of 65 parking spaces. Thus, this requirement has been met.

Site Plan Technical Items: While revised plans have accommodated most of staff's concerns, the following item remains outstanding and will need to be addressed prior to site plan certification:

1. Plans must remove the 10' x 10' and 20' x 20' triangles, because they are not applicable.

LANDSCAPE PLAN ANALYSIS

A landscape plan has been submitted and evaluated by the City Senior Landscape Planner. The landscape plan provides for perimeter and interior landscape areas in addition to building foundation landscape material. The landscape islands will feature Green Buttonwood and Satin Leaf trees under planted with Horizontal Cocoplum and Dwarf Yaupon. The East Property line will be planted with Alexander Palms and Timor Black Bamboo trees under planted with Zoe and Imperial Bromeliad, Asian Jasmin, Muhly Grass, and Tropical Wisteria. The landscape plan submitted has been evaluated by the City Senior Landscape Planner and complies with LDR Section 4.6.16.

ARCHITECTURAL ELEVATION ANALYSIS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*

- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The approved architectural style was defined as a contemporary architectural design with long horizontal clean lines and very simple geometry. The materials incorporated a blend of aluminum, glass, and stucco with simulated wood accents and featured the utilization of decorative stainless steel vertical cable rail to create green walls as well as cantilevered eye-brows over the windows. All roof top mechanical equipment will be screened with parapet walls.

The proposed elevation changes include replacing the small elevated window system on all four elevations with large storefront windows. The proposed green walls with decorative stainless steel vertical cable rails will be eliminated and replaced with four large storefront window panels that extend from the finished floor to the roof. Transom windows will be added above the entrance doors. The proposed buildings retain the impact resistant storefront system with clear anodized aluminum frames, cantilevered poured-in-place concrete eye-brows, and decorative exterior facade panels with a simulated wood veneer and decorative wall mounted light fixtures with an anodized aluminum finish design elements.

The walls of the building will have smooth stucco finish and will be painted white, with wood color veneer decorative panels, and concrete grey cantilevered eye-brows with aluminum framed windows and doors. The multi-story column entry feature elements will include alucobond panel on a concrete masonry wall.

Rooftop equipment will be screened on both buildings. The screening method includes a raised stucco parapet wall to entirely screen the equipment from view on the north, south, east and west sides.

The proposed buildings will maintain a unified architectural appearance featuring horizontal poured-in-place concrete cantilevered eye-brows that identify the main entrance for each building. The introduction of the new storefront windows provides for more attractive and inviting appeal from the streetscape. The rhythm and proportionality of the concrete cantilevered eye-brows and wood veneer color maintains the attractive architectural treatment will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based upon the above, positive finding can be made with respect to LDR Section 4.6.18(E).

ASSESSMENT AND CONCLUSION

The development proposal involves consideration is a Class II Site Plan, Landscape Plan and Architectural Elevations associated with a proposed generator with enclosure, aluminum canopy, equipment screening and roof on Building #2, modified sidewalk configuration between buildings and minor storefront changes. The proposed changes will increase the property value of the site and adjacent residences as well as make a positive contribution to the neighborhood. Proposed new landscaping will further enhance the overall image of the development. The project will be consistent with applicable policies of the Comprehensive Plan and Land Development Regulations upon addressing the conditions of approval.

ALTERNATIVE ACTIONS

- A. Move **postponement** of the Class II Site Plan Modification, Landscape Plan and Architectural Elevations for Downtown Delray Professional Center, by electing to continue with direction.
- B. Move **approval** of the Class II Site Plan Modification, Landscape Plan and Architectural Elevations for Downtown Delray Professional Center, by adopting the findings of fact and law contained in the staff report, and finding that the request is *consistent* with and meets criteria set forth in LDR Sections 2.4.5(G)(1)(b), 4.6.16 and 4.6.18(E), subject to conditions.
- C. Move **denial** of the Class II Site Plan Modification, Landscape Plan and Architectural Elevations for Downtown Delray Professional Center, by adopting the findings of fact and law contained in the staff report, and finding that the request is *inconsistent* with and does not meet criteria set forth in LDR Sections 2.4.5(G)(1)(b), 4.6.16 and 4.6.18(E).

STAFF RECOMMENDATION

Site Plan:

Move **approval** of the site plan for Downtown Delray Professional Center, by adopting the findings of fact and law contained in the staff report, and finding that the request is *consistent* with and meets criteria set forth in Section 2.4.5(G)(1)(b), subject to the following conditions:

1. Plans must remove the 10' x 10' and 20' x 20' triangles, because they are not applicable.

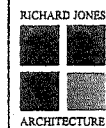
Landscape Plan:

Move **approval** of the landscape plan for Downtown Delray Professional Center, by adopting the findings of fact and law contained in the staff report, and finding that the request is *consistent* with and meets criteria set forth in Section 4.6.16.

Architectural Elevations:

Move **approval** of the architectural elevations for Downtown Delray Professional Center, by adopting the findings of fact and law contained in the staff report and finding that the request is *consistent* with the Comprehensive Plan and meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Attachments: Proposed Site Plan, Landscape Plan and Architectural Elevations
Staff Report Prepared by: Candi N. Jefferson, Senior Planner



RICHARD JONES
ARCHITECTURE

1515 S. PALM AVENUE SUITE 102
DELAIR BEACH, FLORIDA 33483
T 352.243.9151 | F 352.243.9151
AAS3001617 | DES001054

WWW.RJAARCHITECTURE.COM

DOWNTOWN DELRAY
PROFESSIONAL CENTRE
DELAIR BEACH, FLORIDA 33483
CASTER DEVELOPERS
290 SE 6th AVENUE, DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AAS3001617 | DES001054

COMMISSION # 13403
DESIGNER: RJ/J
DRAWN BY: TR/G
PLAN REVIEW: RJ

SUBMITTALS:
SPRAB 10.14.13
SUBMITTAL COND OF 01.24.14
APPROVAL ISSUED FOR 04.15.16
OWNER 08.26.16
REVISIONS:

REVISIONS:
OWNER 08.26.16
CORRECTIONS

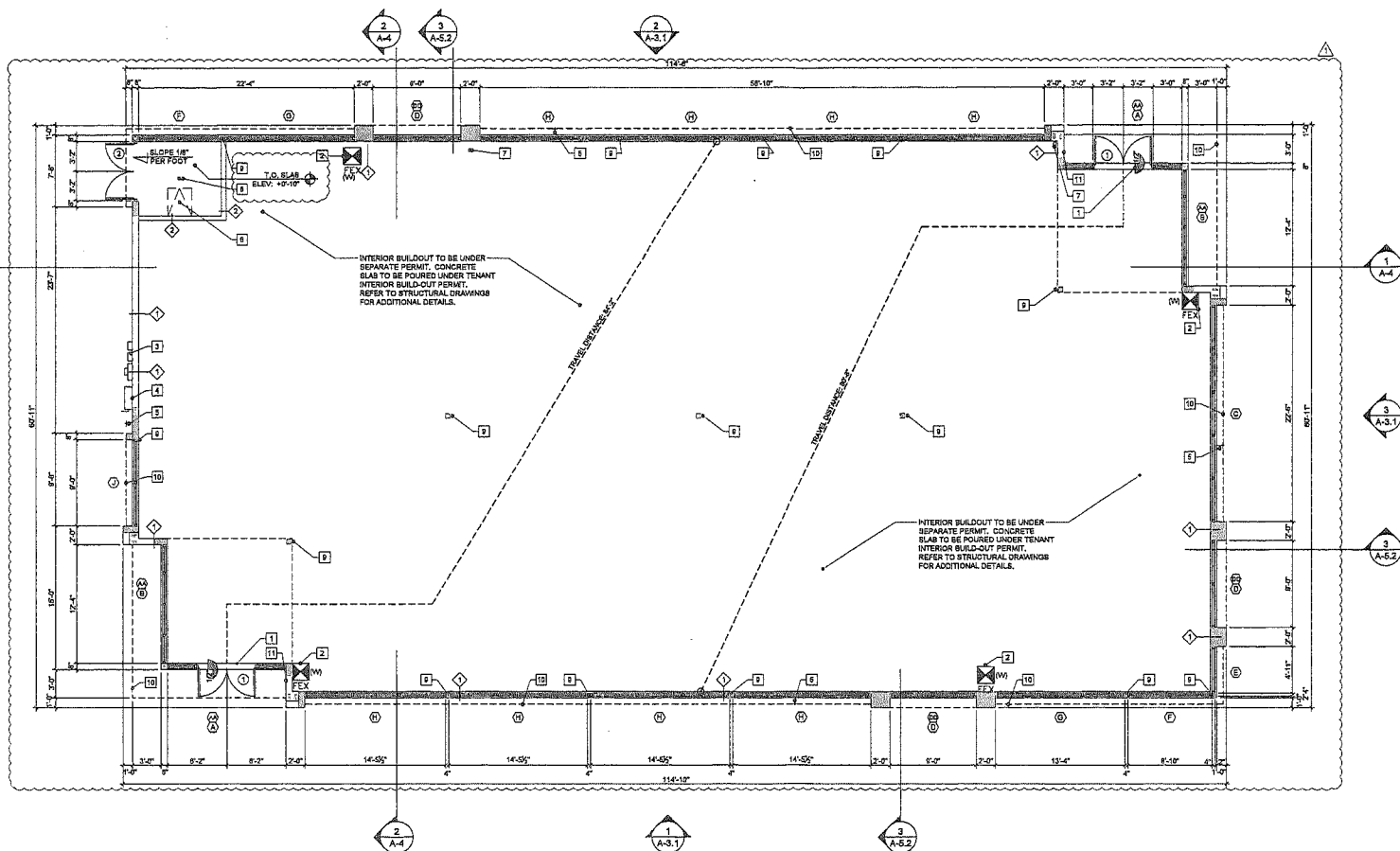
BUILDING
TYPE I

GROUND
FLOOR PLAN

A-1

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2015 BY RICHARD JONES ARCHITECTURE. INCORPORATED ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, SPECIFICATIONS, OR INFORMATION MAY BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



Ground Floor Plan: Building Type 1

Shell Permit

Scale: 3/16"=1'-0"



FLOOR PLAN KEYNOTES

- 1 HANDICAP ACCESSIBLE ALUMINUM THRESHOLD MAX 1/2" HIGH WITH BEVELED EDGE.
- 2 LOCATION OF FIRE EXTINGUISHER FLAG TYPE ABC OR EQUAL. COORDINATE WITH FIRE MARSHAL FOR EXACT LOCATION AND NUMBER OF UNITS REQUIRED.
- 3 ELECTRIC METERS AND EQUIPMENT, REFER TO MEP DRAWINGS FOR SPECIFICATIONS
- 4 ELECTRICAL PANEL, REFER TO MEP DRAWINGS
- 5 HOSE BIB, REFER TO MEP DRAWINGS FOR SPECIFICATIONS
- 6 22" x 34" ROOF ACCESS PANEL ABOVE BY BUILD OR EQUAL. REFER TO STRUCTURAL DRAWINGS FOR WIND LOAD REQUIREMENTS. ROOF ACCESS PANEL SHALL CONTAIN MIAMI-DADE COUNTY/FLORIDA PRODUCT APPROVAL.
- 7 ROOF DRAIN FROM ABOVE, REFER TO MEP DRAWINGS FOR INFORMATION AND SPECIFICATION. HORIZONTAL PIPING SHALL HOLD AS HIGH AS POSSIBLE (WITHIN TRUSS WEBS).
- 8 FLOOR DRAIN, REFER TO MEP DRAWINGS FOR INFORMATION AND SPECIFICATION

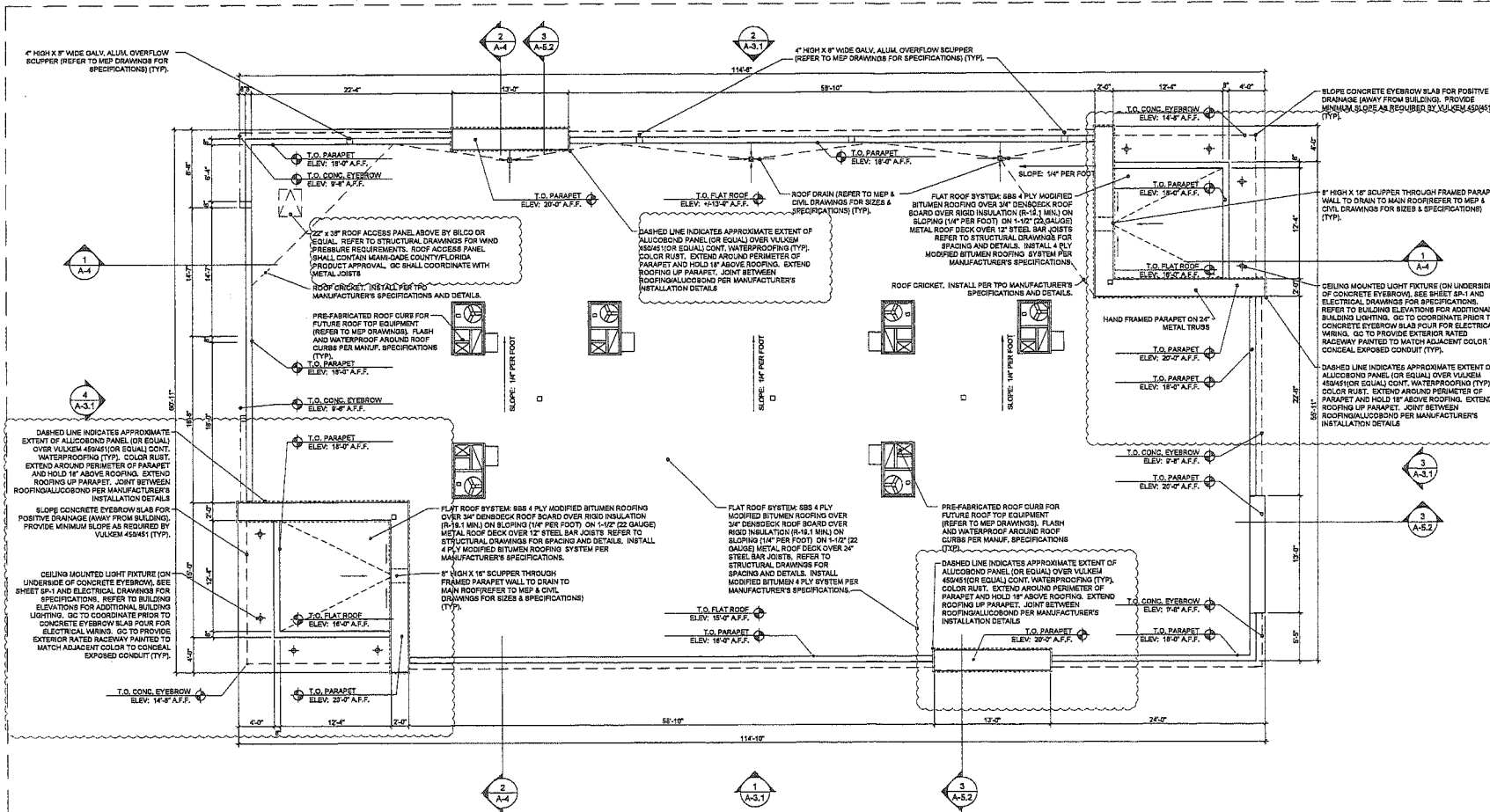
- 9 STEEL COLUMN WRAP COLUMNS AT STOREFRONT LOCATIONS W/ BREAK METAL (BRONZE FINISH), REFER TO STRUCTURAL DRAWINGS (TYP).
- 10 8" THICK PROJECTED CONCRETE EYEBROW W/ SMOOTH STUCCO FINISH OVER POLYMER CONCRETE (OR EQUIVALENT) CONTINUOUS WATERPROOFING (TYP). STRUCTURAL SLAB TO PROVIDE POSITIVE DRAINAGE.
- 11 POST SYMBOL ON BUILDING FOR LIGHT GAUGE METAL ROOF TRUSS PER FLORIDA STATUTE, SECTION 633.077
- 12
- 13
- 14
- 15
- 16
- 17

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FBC 6th EDITION (2014).
2. REFER TO STRUCTURAL DRAWINGS FOR WALL OPENINGS, COLUMN LOCATIONS, CONNECTIONS, AND SIZING OF STRUCTURAL MEMBERS.
3. REFER TO MEP DRAWING FOR LIGHTING AND CHASE LOCATIONS.
4. REFER TO CIVIL PLANS FOR SIDEWALK LOCATIONS, EXTERIOR SIDEWALKS ARE TO BE SLOPED AWAY FROM THE BUILDING ENTRANCES. THE SLOPE SHALL NOT EXCEED 1:100 TYP.
5. SOIL TO BE TREATED FOR TERMITES. REFER TO SECTION 1816.1 SPECIFICATION IN THE FLORIDA BUILDING CODE.
6. REFER TO SHEET A-4.1 FOR WALL TYPES.

FIRE EXTINGUISHERS

SYMBOL	DESCRIPTION
FE	CLASS A: PROVIDE ONE FIRE EXTINGUISHER PER NFPA 10 FOR EACH 3,000 SQ. FT. OF BUILDING WITH A 75'-0" MAX. TRAVEL DISTANCE.
(W)	DENOTES WALL HUNG CABINET
(RD)	DENOTES RECESSED CABINET

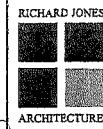


Roof Plan: Building Type 1

Shell Permit

Scale: 3/16"=1'-0"

ROOF NOTE:
STEEL JOIST MANUFACTURER TO PROVIDE COURTESY
OPENING IN TRUSS TO RUN HVAC



RICHARD JONES
ARCHITECTURE

1815 FRANK JONES BLVD. SUITE 100
DELAIR BEACH, FLORIDA 33448
TEL: 772.241.1111 | F: 772.241.1111
AIA 00016117 | 000001036

WWW.RICHARDJONESARCHITECTURE.COM

DOWNTOWN DELRAY
PROFESSIONAL CENTRE
DELAIR BEACH, FLORIDA 33483
CASTER DEVELOPERS
290 SE 6th AVENUE, DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AIA 00016117 | 000001036

COMMISSION # 13-011
DESIGNER: RJ/J
DRAWN BY: TR/ABJ
PLAN REVIEW: RJ

SUBMITTALS:
SPEARS
SUBMITTAL
COND. OF
APPROVAL
ISSUED FOR
PERMIT
OWNER
REVISIONS:
08.26.16

REVISIONS:
1. CHANGE
DATE: 08.26.16

BUILDING
TYPE 1

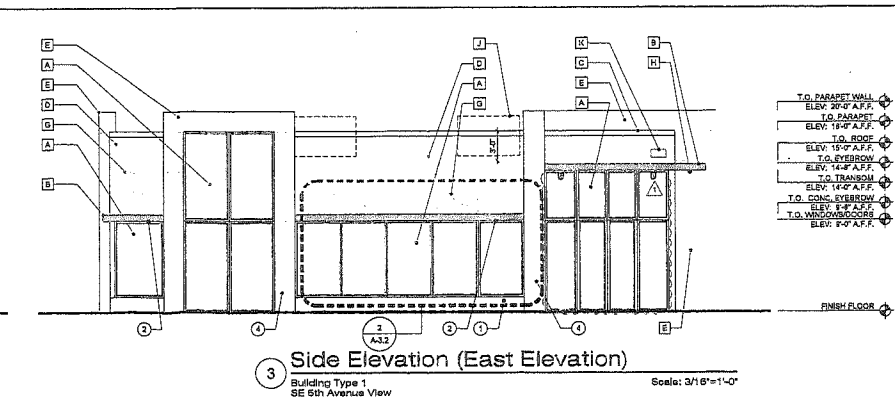
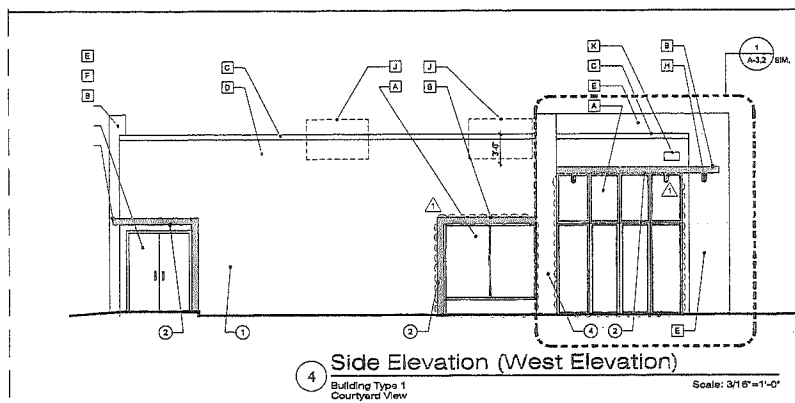
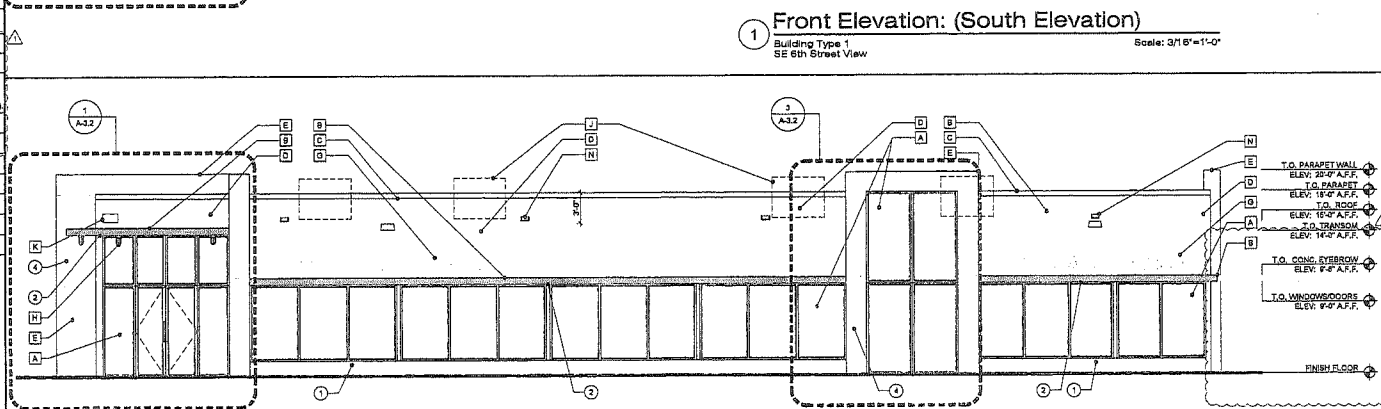
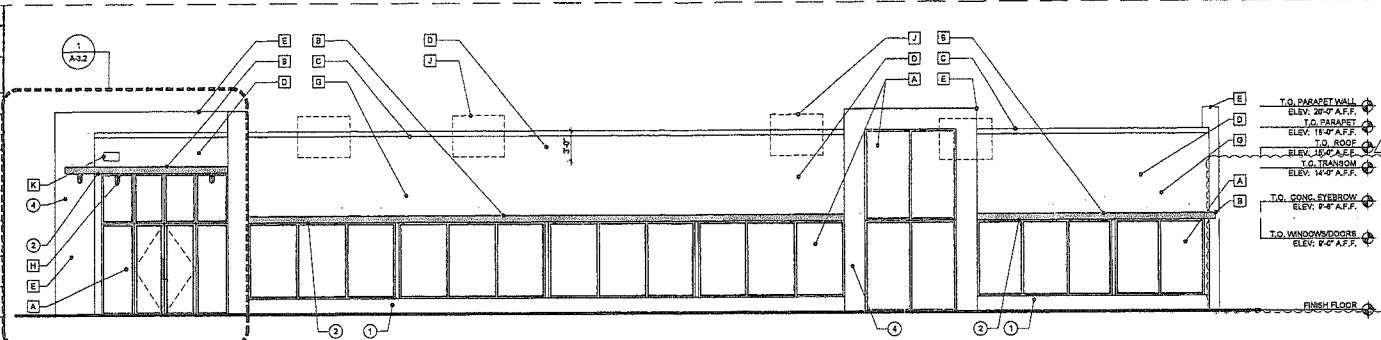
ROOF PLAN

A-2

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2016 BY RICHARD JONES ARCHITECTURE. ALL RIGHTS RESERVED. NO PART OF THESE PLANS, SPECIFICATIONS, OR INFORMATION MAY BE REPRODUCED, COPIED, OR UTILIZED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE. INDEMNIFICATION

- ELEVATION KEYNOTES**
- A IMPACT RESISTANT STOREFRONT SYSTEM WITH BRONZE ALUMINUM FRAME
 - B 1" THICK PROJECTED CONCRETE EYEBROW W/ SMOOTH STUCCO FINISH OVER #4x8x8x45 (OR EQUIV.) CONT. WATERPROOFING (TYPICAL) STRUCTURAL SLAB TO PROVIDE POSITIVE DRAINAGE
 - C PAINTED 2" SMOOTH STUCCO BAND
 - D 2 COAT STUCCO SYSTEM (MINIMUM 5/8" THICK WITH SMOOTH FINISH) INSTALLED IN COMPLIANCE WITH ASTM C926 AND ASTM C1063. REFER TO STUCCO NOTES ON SHEET A-3.1
 - E ALUCOROND PANEL (OR EQUIVALENT) OVER VULKEM 450K1 (OR EQUIVALENT) CONT. WATERPROOFING (TYPICAL) - COLOR RUST - ON CONCRETE MASONRY WALL
 - F IMPACT RESISTANT METAL DOORS WITH BRONZE ALUMINUM FRAME
 - G NEW SIGNAGE WITH ALUMINUM LETTERS (UNDER SEPARATE PERMIT) Q.C. TO COORDINATE ELECTRICAL REQUIREMENTS WITH SIGNAGE SUBCONTRACTOR
 - H MET LISTED EXTERIOR LIGHT FIXTURE W/ BRONZE ALUMINUM FINISH (REFER TO ELECTRICAL AND SHEET SP-1 FOR LIGHT SPECIFICATION)
 - J ROOFTOP EQUIPMENT (TOP OF PARAPET MUST NOT BE LESS THAN 12" MEASURED FROM TOP OF MECHANICAL ROOFTOP EQUIPMENT)
 - K PREMISES IDENTIFICATION ADDRESS NUMBERS AT LEAST 6" ON A CONTRASTING BACKGROUND UNDER SEPARATE PERMIT
 - L POST SYMBOL ON BUILDING FOR LIGHT GAUGE METAL ROOF TRUSS PER FLORIDA STATUTE, SECTION 443.027
 - M PREPARED ALUMINUM CANNOPY BY OTHERS. Q.C. TO SUBMIT SHOP DRAWINGS AND ENGINEERING BY OTHERS PRIOR TO INSTALLATION
 - N EMERGENCY OVERFLOW SCUPPER (GALVANIZED ALUMINUM) (4x4)
 - P PRE-FRAME, ELEV. ALUM. EQUIPMENT SCREEN W/ BRONZE FINISH TO MATCH BUILDING, BY OTHERS. Q.C. TO COORD. W/ TENANT'S INSTALLATION TO MAINTAIN ROOF MEMBRANE & WARRANTY. INSTALL & SEAL ALL ROOF PENETRATIONS PER MANUF. SPECIFICATIONS. (TYP.)
 - Q PRE-FRAME ALUM. CANNOPY (BRONZE FINISH) W/ EXTRUDED ALUM. DECK W/ INTEGRAL DRAIN ON ALUM. POSTS. INSTALL PER MANUF. SPEC.
- ELEVATION FINISHES**
- 1 WALLS: MAIN STUCCO WALLS: 5/8" WIDE EXTRA WHITE. Q.C. TO PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL
 - 2 PROJECTED EYEBROW: 5/8" WIDE ANVIL GREY. Q.C. TO PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL
 - 3 NOT USED
 - 4 WALLS: ALUCOROND PANEL OR EQUIVALENT - COLOR RUST - Q.C. TO PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL
- GENERAL NOTES**
1. MISCELLANEOUS METALS INCLUDING EXTERIOR EXPOSED METALS TO HAVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF COMMERCIAL QUALITY GRADE ENAMEL PAINT.
 2. CONTRACTOR TO PROVIDE SAMPLES OF COLORS ON ACTUAL BUILDING FOR OWNER AND ARCHITECT'S FINAL REVIEW.
 3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXT. SKIN SHALL BE SET IN BED OF SEALANT.
 4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXT. FINISH IS APPLIED AND PAINTED. IF RESEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR REVIEW.
 5. ALL FINISH GRADE SHALL BE MINIMUM OF 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
 6. PROVIDE SEALANT AT ALL INSIDE CORNERS.
 7. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES.
 8. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.



RICHARD JONES
ARCHITECTURE

101 E. FLAY AVENUE, SUITE 101
DELRAY BEACH, FLORIDA 33483
P. 561.244.9749
A-33001617 | 1230601554

WWW.RICHARDJONESARCHITECTURE.COM

DOWNTOWN DELRAY
PROFESSIONAL CENTRE
DELRAY BEACH, FLORIDA 33483
CASTER DEVELOPERS
290 SE 6th AVENUE, DELRAY BEACH, FL 33483

FLORIDA LICENSE
A-33001617 | 1230601554

COMMISSION # 13-452
DESIGNER: RJ/J
DRAWN BY: TRG/S
PLAN REVIEW: RJ

SUBMITTALS:
SPRINT: 10.14.13
FINAL: 01.24.14
APPROVAL: 04.15.16
FOR: 08.26.16

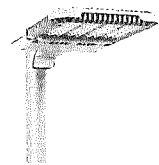
REVISIONS:
A: 01.24.14
B: 01.24.14

BUILDING TYPE 1

ELEVATIONS

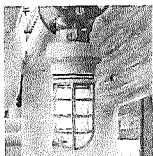
A-3.1

RICHARD JONES ARCHITECTURE



Gerd E F 00

SLICK LOW PROFILE DESIGN, COLOR-BRONZE HOUSING, MAXIMUM PROFILE OF JUST 3". FEATURES A STATE OF THE ART INTEGRAL THERMAL CONTROL SYSTEM, PROVIDES FULL CUTOFF PERFORMANCE.



L 00000

MODEL AURE33R1
DIE CAST ALUMINUM CONSTRUCTION W/STURDY WALL MOUNTING BRACKET
COLOR - BRONZE

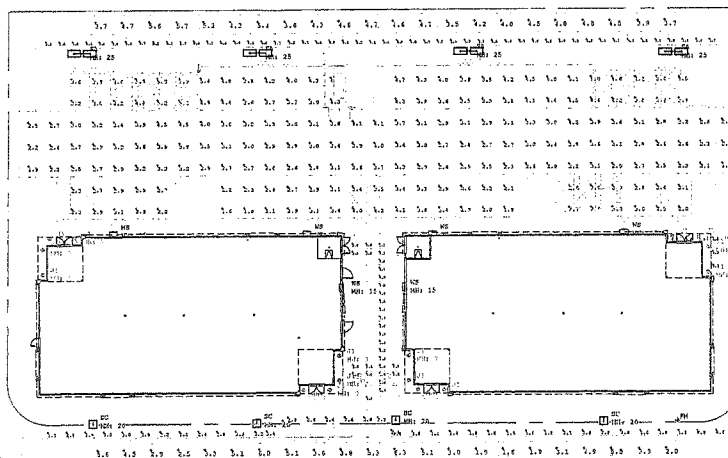
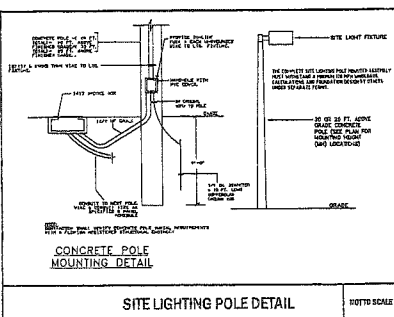


Gerd 102L

WEDGE LUMINAIRE
POWDERCOAT FINISH-COLOR BRONZE
HOUSING, COVER FRAME AND BACK PLATE ARE ALL PRECISION DIE CAST ALUMINUM. LENS IS OPTICALLY CLEAR TEMPERED SODA LIME GLASS. COMPLETELY SEALED AND GASKETED AT EVERY POINT OF ENTRY AND AT ALL POINTS OF MATERIAL.

SCALE: NTS

SCALE: NTS



Photometric Plan

SCALE: 1"=20'

LUMINAIRE SUMMARY				REQUIREMENTS				TOTAL LAMP LUMENS				LUX			
SYMBOL	QTY	WATT	FOOT	TYPE	WATT	FOOT	FOOT	WATT	FOOT	FOOT	FOOT	WATT	FOOT	FOOT	FOOT
102L	1	100	10	102L	100	10	10	10000	10000	10000	10000	100	10	10	10
102L	1	100	10	102L	100	10	10	10000	10000	10000	10000	100	10	10	10
102L	1	100	10	102L	100	10	10	10000	10000	10000	10000	100	10	10	10

SCHEMATIC SUMMARY											
LOCATION	TYPE	WATT	FOOT	FOOT	FOOT	FOOT	FOOT	FOOT	FOOT	FOOT	FOOT
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10
102L	102L	100	10	10	10	10	10	10	10	10	10

RICHARD JONES
ARCHITECTURE

1100 S. FIRST AVENUE, SUITE 100
DELAIR BEACH, FLORIDA 33444
P 904.274.9100 F 904.274.9100
AAS0001617 | 000000000

WWW.RJAARCHITECTURE.COM

DOWNTOWN DELRAY
PROFESSIONAL CENTRE
DELAIR BEACH, FLORIDA 33443
CASTER DEVELOPERS
290 SE 6th AVENUE, DELAIR BEACH, FL 33443

FLORIDA LICENSE

AAS0001617 | 000000000

COMMISSION # 13-002
DESIGNER: RJJ
DRAWN BY: TRJ
PLAN REVIEW: RJJ
SUBMITTALS: 10.14.13
SUBMITTAL: 01.24.14
COND. OF: 04.15.16
ISSUED FOR: 04.15.16
PERMIT: 04.15.16
OWNER: 04.15.16
REVISIONS:

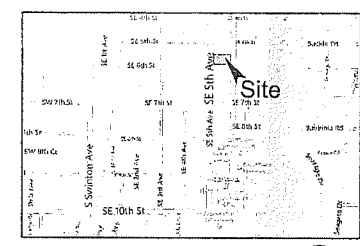
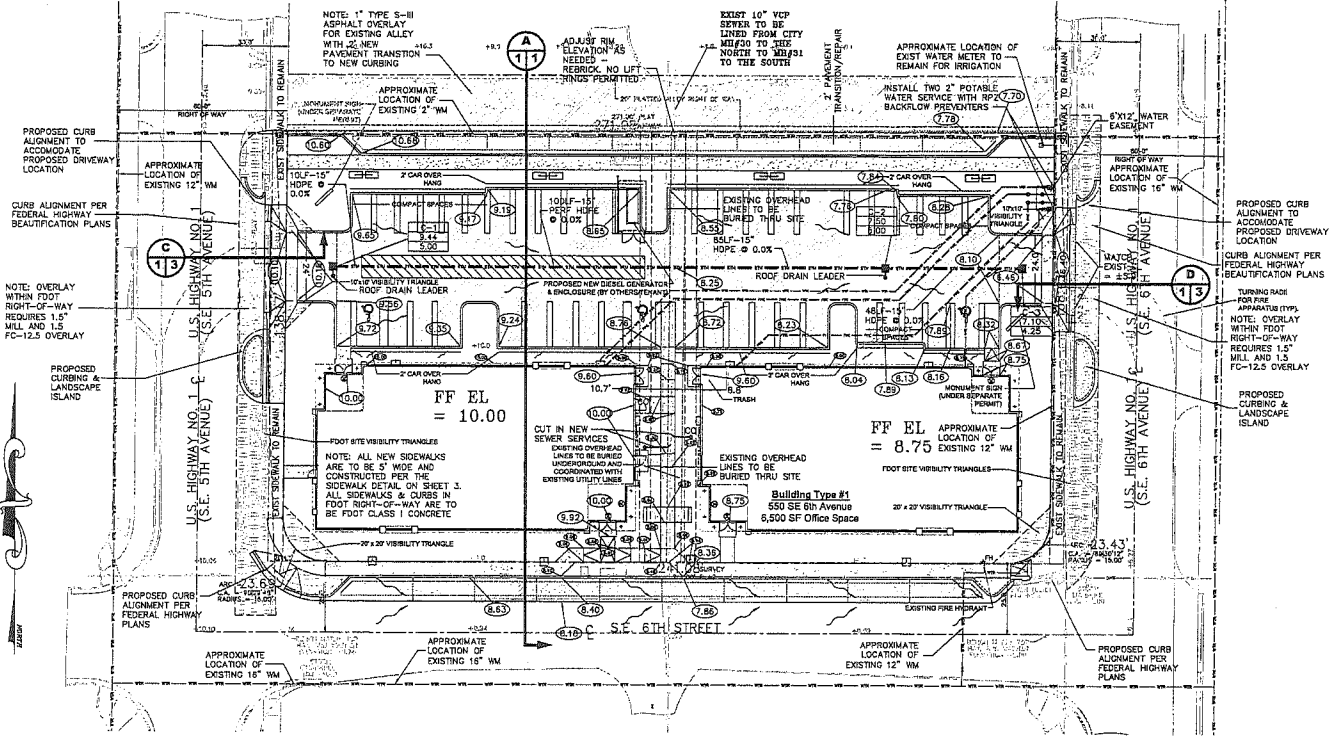
REVISIONS: 04.15.16
CHANGES

PHOTOMETRIC PLAN

PH-1

RICHARD JONES ARCHITECTURE

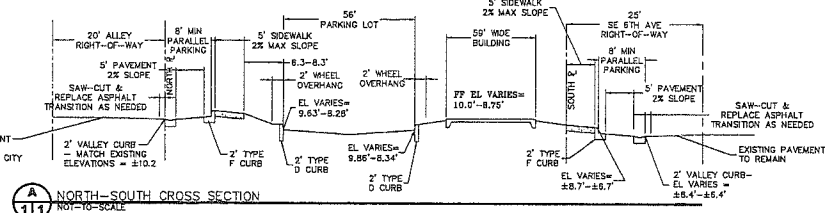
PARCEL LABELED AS BASEBALL FIELD



LOCATION MAP
N.T.S.

LEGEND:

- PROPERTY LINE
- ① SECTION IDENTIFIER
- PLAN PAGE DETAIL PAGE
- 16.3 PROPOSED ELEVATION
- ~ DIRECTION OF FLOW
- ±±± EXISTING ELEVATION
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA OF CONCRETE SIDEWALK
- DENOTES AREA OF EXISTING PAVEMENT OVERLAY
- PROPOSED CATCH BASIN
- HOPE HIGH-DENSITY POLYETHYLENE PIPE
- DENOTES 15\"/>



NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2

PARKING LAYOUT AND STRIPING NEEDS TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS

NOTE: ALL WATER METER SIZES TO BE DETERMINED BY CITY OF DELRAY BEACH UTILITY DEPARTMENT

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Know what's below.
Call before you dig.

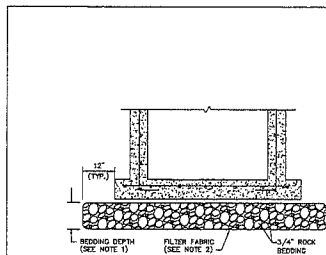
SCALE: 1" = 20'

© COPYRIGHT 2014 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS NOTED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

CIVIL SITE IMPROVEMENTS PLAN FOR:
DOWNTOWN DELRAY PROFESSIONAL CENTRE
550 SE 6TH AVE/555 SE 5TH AVE
DELRAY BEACH, FLORIDA

ENGINEERS & ENVIRONMENTAL CONSULTANTS
ENVIRODESIGN ASSOCIATES, INC.
288 Palmetto Grove Way Delray Beach, Florida 33444
Phone: (561) 271-1000 Fax: (561) 271-0388

DRAWN BY:
B.A.B.
CHECKED BY:
J.A.P.
DATE:
8/28/16
JOB NO.
19080-ENG
SHEET NO.
1 OF 8



NOTES:

1. BEDDING DEPTH SHALL BE 12" UNDER DRAINAGE STRUCTURES AND 12" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.O.D.T. SPECIFICATION SECTION 105.

STANDARD BEDDING D 3.1

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
1'	2'-0"	2'-1"	U.S. FOUNDRY No. 8212	18" R.C.P.	24" R.C.P.
1'	3'-0"	4'-0"	U.S. FOUNDRY No. 8220	24" R.C.P.	36" R.C.P.

U.S. FOUNDRY GRATE #8212 OR EQUAL



TYPE "C"

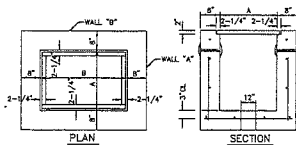


TYPE "E"

NOTES:

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (ORDINARY TRAFFIC LOADS).
2. WHEN INSTALLED IN PAVEMENT USE U.S.F. 4180-8210.

TYPE C & E INLET GRATE DETAIL D 6.1

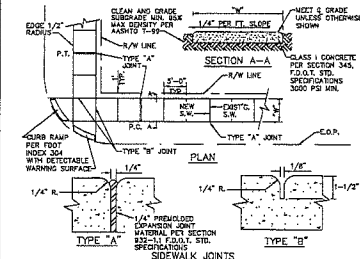


TYPE C & E INLET DETAIL D 7.1

NOTES:

1. INLET TO BE PRECAST WITH GLASS "A" 4000 P.S.I. CONCRETE.
2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
3. 12" DIA. WOOD POLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE DUCT.
4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
5. SEE BEDDING DETAIL D 3.1.
6. ALL STRUCTURES TO BE A SLOD ANGLE SHOULDERS.

TYPE C & E INLET DETAIL D 7.1



TYPE "A" JOINT

TYPE "B" JOINT

TYPE "C" JOINT

TYPE "D" JOINT

TYPE "E" JOINT

TYPE "F" JOINT

TYPE "G" JOINT

TYPE "H" JOINT

TYPE "I" JOINT

TYPE "J" JOINT

TYPE "K" JOINT

TYPE "L" JOINT

TYPE "M" JOINT

TYPE "N" JOINT

TYPE "O" JOINT

TYPE "P" JOINT

TYPE "Q" JOINT

TYPE "R" JOINT

TYPE "S" JOINT

TYPE "T" JOINT

TYPE "U" JOINT

TYPE "V" JOINT

TYPE "W" JOINT

TYPE "X" JOINT

TYPE "Y" JOINT

TYPE "Z" JOINT

TYPE "AA" JOINT

TYPE "AB" JOINT

TYPE "AC" JOINT

TYPE "AD" JOINT

TYPE "AE" JOINT

TYPE "AF" JOINT

TYPE "AG" JOINT

TYPE "AH" JOINT

TYPE "AI" JOINT

TYPE "AJ" JOINT

TYPE "AK" JOINT

TYPE "AL" JOINT

TYPE "AM" JOINT

TYPE "AN" JOINT

TYPE "AO" JOINT

TYPE "AP" JOINT

TYPE "AQ" JOINT

TYPE "AR" JOINT

TYPE "AS" JOINT

TYPE "AT" JOINT

TYPE "AU" JOINT

TYPE "AV" JOINT

TYPE "AW" JOINT

TYPE "AX" JOINT

TYPE "AY" JOINT

TYPE "AZ" JOINT

TYPE "BA" JOINT

TYPE "BB" JOINT

TYPE "BC" JOINT

TYPE "BD" JOINT

TYPE "BE" JOINT

TYPE "BF" JOINT

TYPE "BG" JOINT

TYPE "BH" JOINT

TYPE "BI" JOINT

TYPE "BJ" JOINT

TYPE "BK" JOINT

TYPE "BL" JOINT

TYPE "BM" JOINT

TYPE "BN" JOINT

TYPE "BO" JOINT

TYPE "BP" JOINT

TYPE "BQ" JOINT

TYPE "BR" JOINT

TYPE "BS" JOINT

TYPE "BT" JOINT

TYPE "BU" JOINT

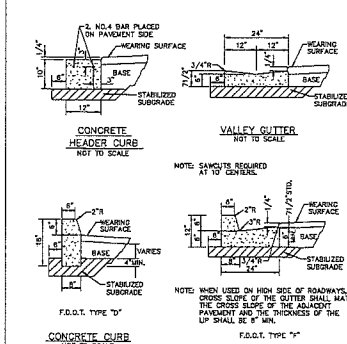
TYPE "BV" JOINT

TYPE "BW" JOINT

TYPE "BX" JOINT

TYPE "BY" JOINT

TYPE "BZ" JOINT



CONCRETE CURB

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

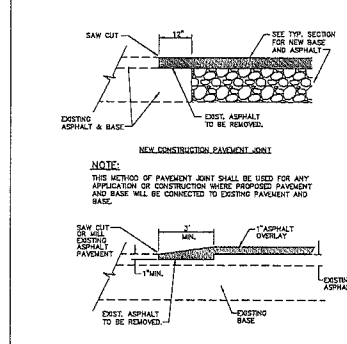
CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER

CONCRETE CURB AND GUTTER



PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

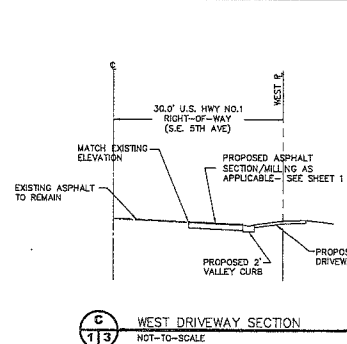
PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1

PAVEMENT JOINT DETAIL RT 7.1



WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

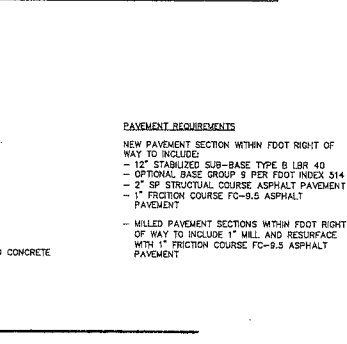
WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION

WEST DRIVEWAY SECTION



EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

EAST DRIVEWAY SECTION

</

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.
- COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY CUTTER, TYPE "T" CURB & GUTTER, OR TYPE "C" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STRIPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CORNER OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-99.
- SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.
- LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.
- WHERE SOO IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOO.
- CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
- GUMBO - WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.
- PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.
- TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT A RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS.
- ALL CONCRETE SHALL DEVELOP 2500 P.S.I. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 P.S.I. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-7-10-001, WHERE APPLICABLE.
- SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND CONNECTION OF THE SURGRADE.
- INLETS AND MANHOLES - ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
- GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
- GRADES SHOWN ARE FINISHED GRADES.
- MINIMUM ROAD CROWN ELEVATION SHALL BE EL. 7.50' N.G.V.D.
- REINFORCED CONCRETE PIPE - THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
- CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M186 AND SECTIONS 125, 430 AND 843 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
- PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF CHEMICAL AND SEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
- PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

CITY OF DELRAY BEACH GENERAL NOTES

- ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRONMENTAL ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.
- CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRONMENTAL ASSOCIATES, INC.
- NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-Feet FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
- NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS, 10.1.1 & 10.1.2.
- ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.
- CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312.
- THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.
- UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.
- ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
- ALL CITY OF DELRAY BEACH 2014 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DETERMINING OF PUBLIC LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC POLES IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY HABITABLE STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 6.75' NGVD (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL DEVELOP 2500 P.S.I. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 P.S.I. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- ENVIRONMENTAL ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
- ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.4.2.E.1.
- ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
- ALL LIMBROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
- THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST EDITION).
- LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 8AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST EDITION).

GENERAL NOTES

DEFINITIONS

- CITY - THE CITY OF DELRAY BEACH
- CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
- ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

PROCEDURE

- A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INVIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, OWNER AND OTHER INTERESTED PARTIES.
- ANY REQUESTS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
- A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COUPLERS WERE MANUFACTURED IN ACCORDANCE WITH APPRA. CSD/AS.1-91.
- ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS OR SET AT ALL TIMES.
- ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES NOT SHOWN ON THE PLANS EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
- THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
- CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
- FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTOR SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
- PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND BRIDGE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-3-10-001-001 (LATEST REVISION) UNLESS SHOWN OTHERWISE.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY.
- PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 323-323 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
- CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
- GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
- CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL NECESSARY LIGHTING, SIGNS AND FLAGMEN AS NECESSARY TO PROTECT THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
- EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMBROCK BASE.
- ALL VEGETATION, DESIRS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS DISPOSE.
- CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TUBS, SQUEEZERS, CURTAINS AND FLOATING BUILT BARRIERS MORE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
- ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS II, UNLESS OTHERWISE NOTED.
- ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING SHALL BE Laid OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF PAVEMENT.
- EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EMBANKMENT RECONSTRUCTION TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
- CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONSTRUCTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.
- SITE INFORMATION BASED ON A SURVEY PREPARED BY O'BRIEN, SUTER & O'BRIEN, INC.
- THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.
- RELOCATION OF UTILITY POLES AND GAS POLE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.

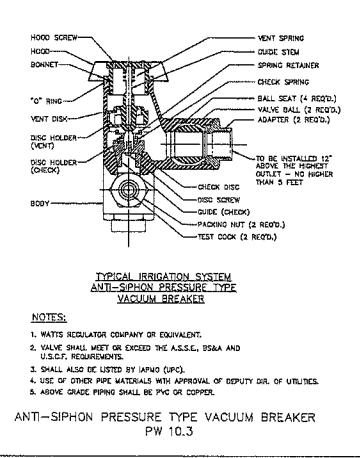
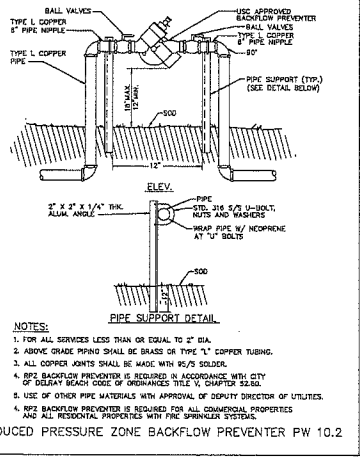
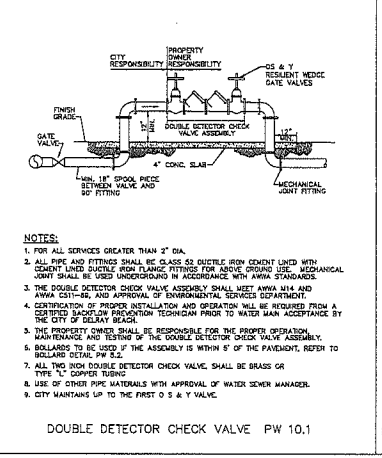
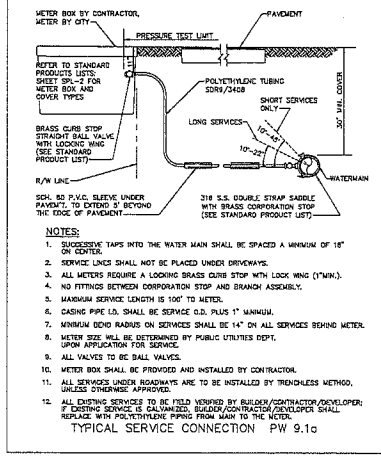
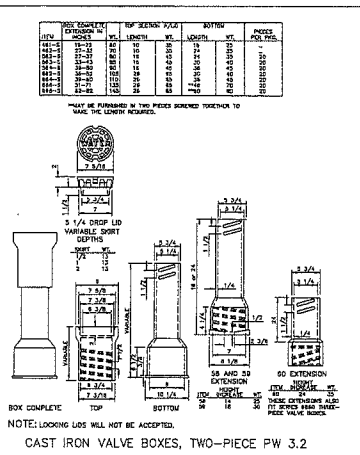
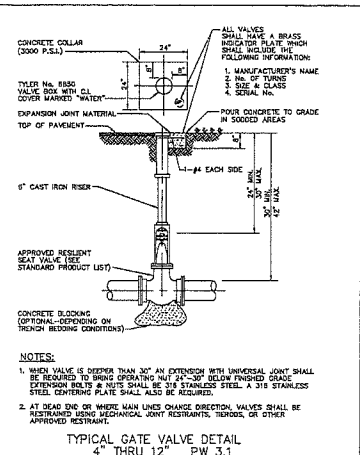
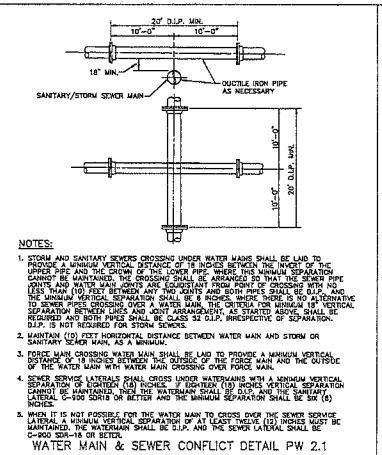
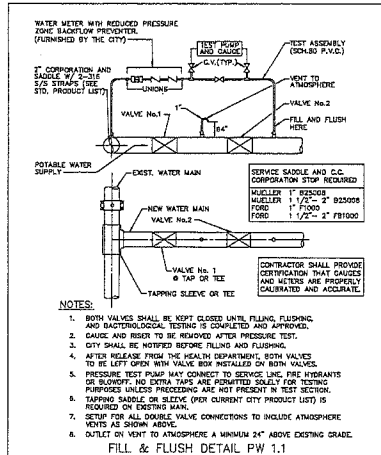
© COPYRIGHT 2014 BY ENVIRONMENTAL ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS OTHERWISE NOTED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRONMENTAL ASSOCIATES, INC.

WATER & WASTEWATER DETAILS FOR:
DOWNTOWN DELRAY PROFESSIONAL CENTRE

550 SE 6TH AVE/555 SE 6TH AVE
DELRAY BEACH, FLORIDA

ENGINEERS - ENVIRONMENTAL CONSULTANTS
Environmental Associates, Inc.
2000 Palm Beach Gardens Blvd., Suite 100
Palm Beach Gardens, FL 33414
Phone (561) 274-0500 Fax (561) 274-0508

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
8/26/16
JOB NO.
13080-DTL
SHEET NO.
4 OF 8



© COPYRIGHT 2016 BY CHANGES ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS NOTED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRONMENTAL ASSOCIATES, INC.

WATER & WASTEWATER DETAILS FOR:
DOWNTOWN DELRAY PROFESSIONAL CENTER
550 SE 6TH AVE/555 SE 5TH AVE
DELRAY BEACH, FLORIDA

ENGINEERS - ENVIRONMENTAL ASSOCIATES, INC.
288 Peninsula Court, Delray Beach, Florida 33444
Phone: (561) 274-1238

DRAWN:
R.A.B.

CHECKED:
J.A.P.

DATE:
8/28/16

JOB NO.
10080-DTL

SHEET NO.
5 OF 8

