



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Craft Chocolates  
**Project Location:** 1010 NE 5<sup>th</sup> Avenue  
**Request:** Class I Site Plan Modification for Architectural Elevations  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** January 25, 2017

**Board Action:**

Approved (6-1, dissenting Chard) for architectural elevation changes associated with a Class I site plan modification for Craft Chocolates, for reducing the building height by 10 feet, eliminating the mezzanine level and modifying the facade materials.

**Project Description:**

The subject property is located north of George Bush Boulevard between Old Dixie Highway and NE 5<sup>th</sup> Avenue, east of the FEC Railroad Tracks and consists of 0.8163 acres located within the General Commercial (GC) zoning district.

On October 14, 2015, the Site Plan Review and Appearance Board (SPRAB) approved a Class V Site Plan, Landscape Plan and Architectural Elevations associated with construction of a 5,654 sq. ft. two-story chocolate confectionary for Craft Chocolates with associated retail sales, loading, parking and landscaping. The current request seeks to reduce the building height by 10 feet, eliminate the mezzanine level and modify the façade materials.

**Board Comments:**

There were no Board comments.

**Public Comments:**

There were no public comments.

**Associated Actions:**

No actions.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.

# SITE PLAN REVIEW AND APPEARANCE BOARD

## CITY OF DELRAY BEACH

### ---STAFF REPORT---

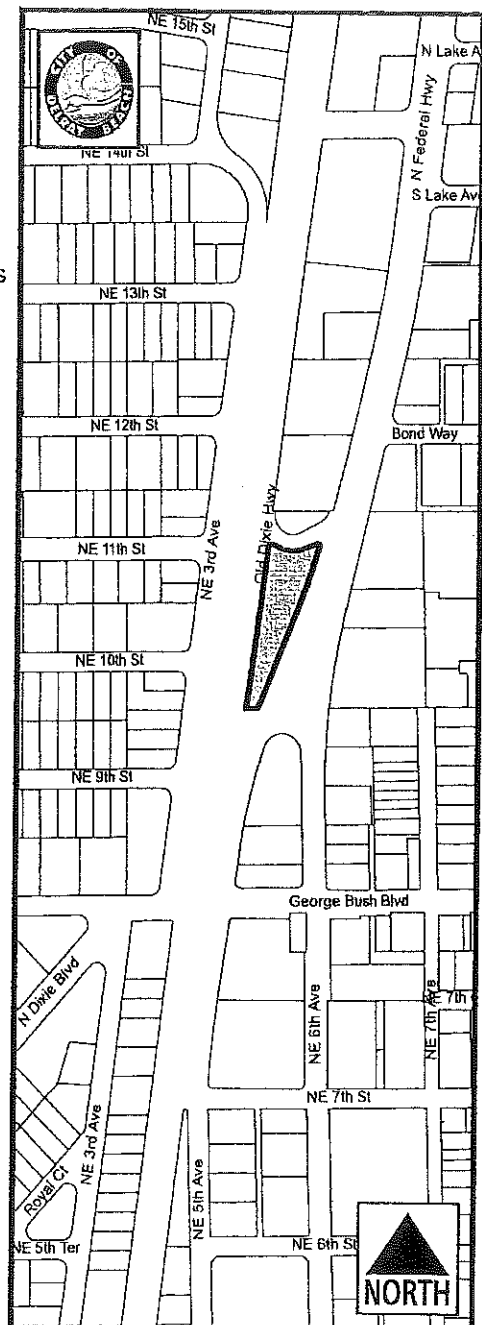
**MEETING DATE:** January 25, 2017

**ITEM:** Craft Chocolates – Class I Site Plan Modification associated with Architectural Elevation changes which include elimination of the upper level mezzanine for prior-approved two-story chocolate confectionary and retail establishment.

**RECOMMENDATION:** Approve the architectural elevation changes associated with the Class I Site Plan Modification for Craft Chocolates.

#### GENERAL DATA:

Applicant/Owner.....	BESF, LLC
Agent.....	Kravit Architectural Associates, Inc.
Address.....	1010 NE 5 <sup>th</sup> Avenue
Location.....	North of George Bush Blvd., between Old Dixie Hwy. and NE 5 <sup>th</sup> Ave., east of the FEC Railroad Tracks
Property Size.....	35,558 sq. ft. (0.8163 acres)
Current FLUM.....	GC (General Commercial)
Proposed FLUM.....	No Change
Current Zoning.....	GC (General Commercial)
Proposed Zoning.....	No Change
Adjacent Zoning.....North:	GC (General Commercial)
East:	GC (General Commercial)
South:	GC (General Commercial)
West:	R-1-A (Single Family Residential)
Existing Land Use.....	Vacant (Prior IHOP Restaurant)
Proposed Land Use.....	Retail (Craft Chocolates)
Water Service.....	Connection available via a 12" water main along Old Dixie Highway adjacent to the F.E.C. Railroad right-of-way
Sewer Service.....	Connection available via an 8" sewer main accessible off of the local access road to the north in the northwest corner of the site



#### ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class I Site Plan Modification request for Craft Chocolates, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a):

- ☐ Site Plan; and,
- ☐ Architectural Elevations

The site is located north of George Bush Boulevard, between Old Dixie Highway and NE 5<sup>th</sup> Avenue, east of the FEC Railroad Tracks.

#### BACKGROUND ANALYSIS

The subject site consists of 0.8163 (35,558 sq. ft.) acres and is currently vacant. It most recently contained a one-story, 2,452 sq. ft. IHOP (International House of Pancakes) restaurant with associated parking which was constructed in 1973 and has been demolished.

On October 14, 2015, the Site Plan Review and Appearance Board (SPRAB) approved a Class V Site Plan, Landscape Plan and Architectural Elevations associated with construction of a 5,654 sq. ft. two-story chocolate confectionary for Craft Chocolates with associated retail sales, loading, parking and landscaping.

Now before the Board for consideration is a Class I Site Plan Modification to reduce the building height by 10 feet, eliminate the mezzanine level and modify the façade materials.

#### PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Construction of a 4,904 sq. ft. retail building
- ☐ Elimination of a 750 sq. ft. mezzanine
- ☐ Construction of a 28 space parking lot
- ☐ Installation of sidewalks along the north access road and NE 5<sup>th</sup> Avenue
- ☐ Provision of 2 handicap parking spaces
- ☐ Provision of 3 pedestrian pathway connectors to NE 5<sup>th</sup> Avenue
- ☐ Provision of a bicycle rack accessible from NE 5<sup>th</sup> Avenue
- ☐ Provision of pedestrian crosswalks from parking lot to primary retail building
- ☐ Provision of a loading area accessible from Old Dixie Highway
- ☐ Provision of a dumpster enclosure accessible from Old Dixie Highway
- ☐ Provision of a bus shelter easement location for future construction

## **SITE PLAN ANALYSIS**

### **COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

#### **LDR Section 4.3.4(K) Development Standards Matrix – Nonresidential Zoning Districts:**

The following table indicates that the retail building complies with LDR Section 4.3.4(K) as it pertains to the General Commercial (GC) zoning district, with the exception of the rear building setback:

		<i>Standard:</i>	<i>Approved:</i>	<i>Proposed:</i>
<i>Building Height:</i>		48'	27'8"	17'8"
<i>Building Setbacks:</i>	<i>Front (NE 5<sup>th</sup> Ave.)</i>	5'/15' (Max/Min)	5'/10' (Max/Min)	5'/10' (Max/Min)
	<i>Rear (Old Dixie Hwy.)</i>	10'	51'8"	51'8"
	<i>Side Street (North)</i>	10'	10'2"	10'2"
	<i>Side Street (South)</i>	10'	30'3"	30'3"
	<i>Side Interior</i>	10'	N/A	N/A
<i>Open Space:</i>		25%	41%	41%

#### **LDR Section 4.4.9(F)(2) – North Federal Highway Area:**

Parcels which have frontage on North Federal Highway or the North Federal Highway one-way pairs (NE 5<sup>th</sup> Ave. and NE 6<sup>th</sup> Ave.) between NE 4<sup>th</sup> St. and the north City Limits require a minimum front setback of 5' and a maximum front setback of 15'. The site complies since a minimum 5' setback and a maximum 10' setback has been provided along NE 5<sup>th</sup> Avenue.

#### **LDR Section 4.3.4(H)(6)(b)(2) – Special Landscape Setbacks:**

##### **Federal Highway:**

Along US1, including the one-way pairs (5<sup>th</sup> and 6<sup>th</sup> Avenues), extending from SE 10<sup>th</sup> Street to the north City limits (with the exception of the blocks between SE 1<sup>st</sup> St. and NE 1<sup>st</sup> St.), a minimum 10' special landscape area shall be provided on both sides of the ultimate right-of-way. However, the special landscape area shall not be required between the front building edge and the ultimate right-of-way where storefronts face the roadway and no parking or vehicular circulation areas are between the building and the right-of-way. The site complies because no parking or vehicular circulation areas are provided between the building and the right-of-way. However, where applicable, the 10' landscape buffer has been provided.

#### **LDR Article 4.6 – Supplemental District Regulations:**

##### **Lighting:**

In general, the overall lighting for the site is too low and is inconsistent with the Illumination Levels and Uniformity criteria listed in LDR Section 4.6.8. These criteria require a maximum foot candle level of 12.0 and a minimum foot candle level of 1.0 for the parking lot area. The photometric plan submitted has a maximum foot candle level of 3.1 and a minimum foot candle

level of 1.0, which meets the standards. However, there are numerous areas where point calculations have been omitted. Specifically, there are no point calculations at the building entrances and the northern and southern accent pathway sidewalk connectors to North Federal Highway. While there are no point calculations for various other areas on the site (i.e. north façade, southern tip and parcel perimeter), these areas are not required to be lit. For accent pathways, there is a minimum foot candle requirement of 0.5 and a maximum of 5.0. For building entrances, there is a minimum foot candle requirement of 1.0 and a maximum of 10.0. Site lighting is also limited to a maximum height of 25'. Based upon the summary chart on the photometric plan included with the submittal, all of the proposed lighting fixtures will meet the 25' maximum height as they are proposed at 16'. However, a dimensioned cut sheet detail of the proposed free standing light fixture must be included on the photometric plan. Similarly, no cut sheet details have been provided for the proposed wall mounted light fixtures. All of these requirements must be demonstrated as met and are recommended conditions of site plan approval.

**On-site Parking:**

Pursuant to LDR Section 4.6.9(C)(3)(a), general commercial uses shall provide 4.5 parking spaces per 1,000 square feet of gross floor area which includes retail floor area. Thus, the proposed 4,904 square feet of gross floor area within the single-story retail building shall require 22 parking spaces and 28 parking spaces have been proposed on-site. Therefore, this standard is met with a surplus of 6 spaces.

**Bicycle Parking:**

LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan recommend that a bicycle parking facility be provided. Bicycle racks are accessible from the pedestrian pathway connector leading to the front entrance from US1. Thus, this LDR requirement has been met.

**Compact Parking:**

Pursuant to LDR Section 4.6.9(C)(1)(g), up to thirty percent (30%) of the required parking for any use may be designated for compact cars. The development proposal includes 25 required spaces. A maximum of 7 compact spaces are allowed and 6 compact spaces are proposed. This represents 21.4% of the required parking. Thus, this standard is met.

**Handicap Accessible Parking:**

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction. Pursuant to the Florida Accessibility Code for Building Construction (Table 208.2), when 26 to 50 parking spaces are provided (not required), then at least two parking spaces serving the development must be handicap accessible. The site proposes two ADA compliant handicap parking spaces in the parking row at the front entrance. Thus, accessibility requirements have been met.

**Refuse Disposal:**

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way. The proposed dumpster is

accessible from the rear loading area. A dumpster detail indicating that it is enclosed on three (3) sides has been provided. The fourth side is readily visible from the local access road, thus, vision obscuring gates have been provided. Therefore, this requirement is met.

#### **LDR Section 4.6.14 – Sight Visibility:**

##### **Driveway Intersecting a Street:**

Pursuant to LDR Section 4.6.14(B)(1), a 10' sight visibility triangle is required to be provided in the area on both sides of a driveway formed by the intersection of a driveway and a street with a length of ten feet along the driveway and ten feet along the street and the third side being a line connecting the ends of the other two lines. Where the driveway intersects Old Dixie Highway, the 10' sight visibility triangles are properly depicted and do not show visual obstruction between 3'-6'. Thus, this standard is met.

##### **Rights-of-Way in County, State or Federal Jurisdiction:**

Pursuant to LDR Section 4.6.14(B)(4), sight visibility measures at the intersection of a right-of-way under County, State or Federal jurisdiction are subject to sight visibility requirements from those authorities. Accordingly, along North Federal Highway, the line of sight is depicted to demonstrate compliance with FDOT visibility requirements. Thus, this standard is met.

##### **Intersection of two rights-of-way:**

Pursuant to LDR Section 4.6.14(B)(6), a 40' sight visibility triangle is required to be provided at the intersection of two or more public rights-of-way. Thus, three 40' sight visibility triangles are required to be met on-site. Specifically, at the intersection of NE 5<sup>th</sup> Avenue and the local access road (northeast corner), a 40' sight visibility triangle is provided. Also, at the intersection of NE 5<sup>th</sup> Avenue and Old Dixie Highway (southern tip), the 40' sight visibility is met. Finally, at the intersection of Old Dixie Highway and the local access road, the 40' sight visibility requirement is met. Thus, the overall site demonstrates compliance with this requirement.

#### **LDR Section 6 – Infrastructure and Public Property:**

##### **Sidewalks:**

Pursuant to LDR Section 6.1.3(B), a five foot wide sidewalk is required to be constructed within the street right-of-way. The applicant is proposing to construct a new five foot sidewalk along the local access road and a new six foot sidewalk along US1, which satisfies this requirement. On July 9, 2015, the DSMG (Development Services Management Group) determined that a sidewalk along Old Dixie Highway is not required to be constructed concurrent with development of this site. Instead, in-lieu payment for future construction of a sidewalk along Old Dixie Highway was supported by DSMG and recommended by the City Engineer. Thus, with the proposed improvements, this requirement will be met subject to the condition that the Old Dixie Highway sidewalk be addressed prior to issuance of a building permit.

##### **Undergrounding of Utilities:**

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. A note to this effect must be placed on the plans. This is a condition of site plan approval.

### ARCHITECTURAL ELEVATIONS ANALYSIS

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The architectural elements for the single-story chocolate confectionary include a thin brick veneer in the central section on the east and west facades. The remainder of the building will be stucco walls colored "Medici Ivory". Stucco banding along the top of the building will be colored "Bronze" dark brown. The stucco base colored "Hammered Silver". The center section brick façade will have the primary brick color as "Olde Towne" and an accent brick band colored "Cinnebar Flash". The building will exhibit a flat roof made of baked enamel aluminum coping with "Bronze" color trim.

The proposed wall-mounted light fixtures are "Bronze". There is a single wall-mounted light fixture on the south elevation, and two wall-mounted fixtures on either side of the main entrance on the east and west elevations, and there are no wall-mounted light fixtures on the north elevation. The cut sheets for the proposed wall-mounted light fixtures have been previously provided.

The windows and doors are arched at the top. The glass windows and doors will be impact resistant glass with an anodized aluminum medium bronze finish. Rooftop HVAC units will be entirely concealed with the extended brick roof parapet.

Specifically, the building is designed to look like a 1920's industrial factory with brick exterior and large windows broken up into small panes of glass. Two tones of brick and stucco banding are used to break up the façade.

All proposed architectural elevations will be compatible and harmonious with the surrounding properties and an enhancement to the area. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E), subject to conditions.

### NORTH FEDERAL HIGHWAY REDEVELOPMENT AREA

The North Federal Highway Redevelopment Plan was adopted by the City Commission on March 16, 1999. The Plan identified the need for limited rezonings and LDR amendments, along with improvements necessary to accomplish certain redevelopment goals. Future development in the area must be in accordance with the provisions of the Redevelopment Plan.

**Future Land Use Element Policy C-1.4:** The following pertains to the North Federal Highway Corridor:

The North Federal Highway Corridor is defined as the area bounded by the FEC railroad right-of-way to the west, the easterly boundary of the CRA to the east, NE 4<sup>th</sup> Street to the south, and the north City limits to the north.

Properties in the corridor that front on Federal Highway primarily contain small-scale, strip commercial development. Many parcels in the area contain vacant or dilapidated structures, substandard parking, and substandard landscaping. The area also contains residential areas identified as “Stabilization” and “Revitalization” on the Residential Neighborhood Categorization Map contained in the Housing Element. Many of the remaining parcels in the area are currently vacant.

Due to those conditions, the North Federal Highway Corridor is hereby identified as a blighted area.

In areas zoned GC (General Commercial) with a FLUM designation of GC (General Commercial) the goal of the North Federal Highway Redevelopment Plan is to maintain existing commercial and retail uses and encourage future expansion of these uses, in addition to inclusion of some “office-industrial” uses in “Market Study Zone 3”, which includes the subject property identified as the “International House of Pancakes” building. Pursuant to LDR Section 4.4.9(B)(1)(a), general retail use and/or facilities including but not limited to confectionaries are permitted uses within the General Commercial (GC) zoning district. Thus, consistency with the plan for the North Federal Highway Corridor and North Federal Highway Redevelopment Plan is confirmed.

#### **ASSESSMENT AND CONCLUSION**

The original Craft Chocolates development proposal was to construct a 5,654 sq. ft. chocolate confectionary within one phase. The modification includes elimination of the prior-approved mezzanine. There are no visual incompatibility issues with the proposed use of the subject property, when compared to how the property relates to the surrounding land uses. The adjacent rights-of-way serve as physical buffers between all adjacent uses. Additional, along the west side, the FEC railroad separates the subject property from single family residences. The proposed development will be consistent with Sections 2.4.5(F)(5) and 4.6.18(E) of the Land Development Regulations.

#### **ALTERNATIVE ACTIONS**

- A. Move **postponement** of the Class I Site Plan Modification and Architectural Elevations for Craft Chocolates, by electing to continue with direction.
- B. Move **approval** of the Class I Site Plan Modification and Architectural Elevations for Craft Chocolates, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Sections 2.4.5(G)(1)(a) and 4.6.18(E) of the Land Development Regulations,
- C. Move **denial** of the Class I Site Plan Modification and Architectural Elevations for Craft Chocolates, by adopting the findings of fact and law contained in the staff report, and finding



SPRAB Staff Report: Meeting of 1/25/17

Craft Chocolates – Class I Site Plan Modification and Architectural Elevation Changes

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that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Sections 2.4.5(G)(1)(a) and 4.6.18(E) of the Land Development Regulations.

#### STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move approval of the Class I Site Plan Modification for **Craft Chocolates**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Section 2.4.5(G)(1)(a) of the Land Development Regulations.

Architectural Elevations:

Move approval of the architectural elevations for **Craft Chocolates**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

*Attachments: Architectural Elevations*

*Staff Report Prepared by: Candi N. Jefferson, Senior Planner*

[illegible][illegible]

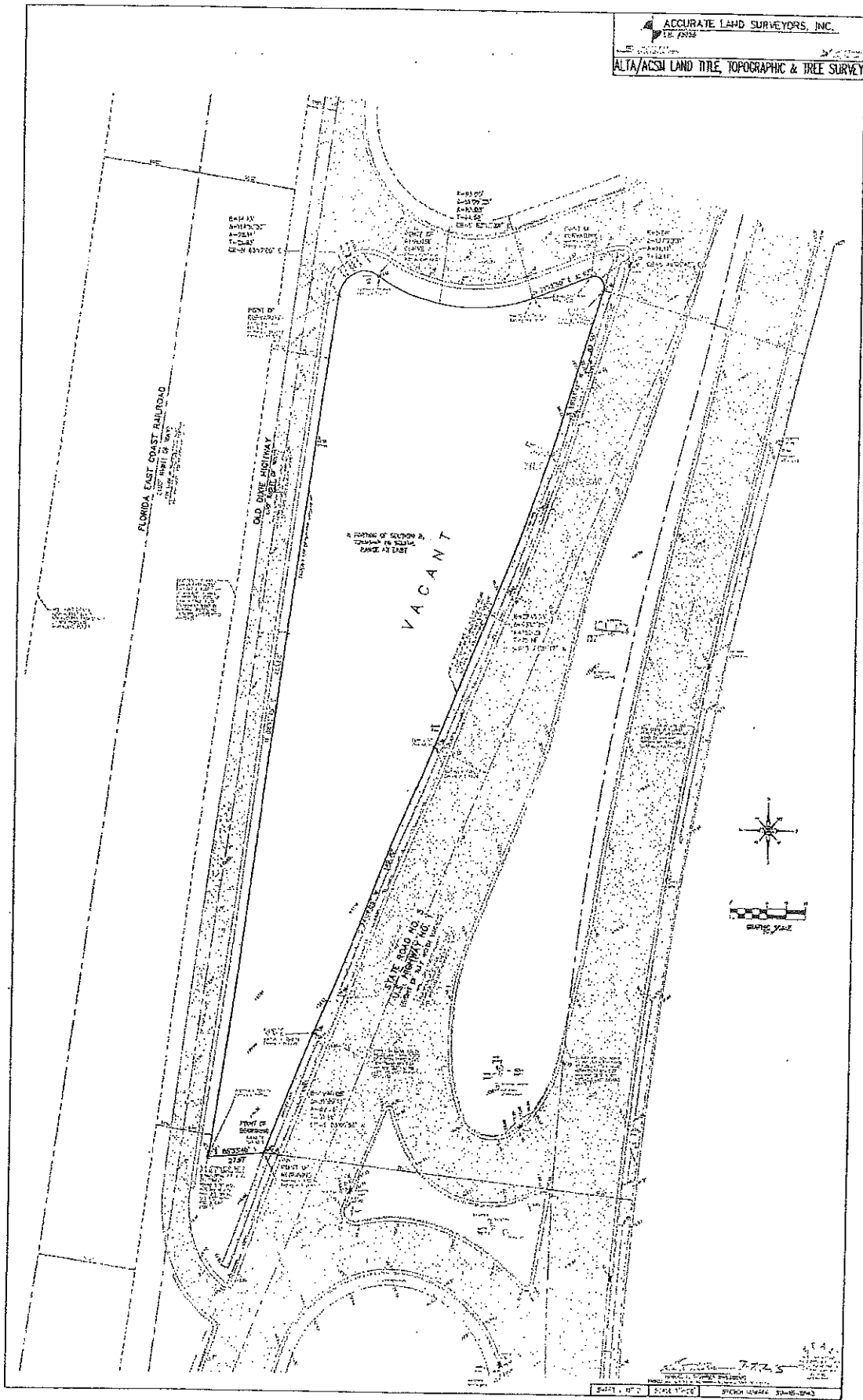
PROJECT	CONFECTIONARY BUILDING FOR: CRAFT CHOCOLATES PAAP / STIS, LLC 1010 N. FEDERAL HIGHWAY DELLAY BEACH FLORIDA. 33463	CONSULTANT
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REVISIONS	
DATE	DESCRIPTION
7/24/15	SPA REVIEW REV.
9/24/15	SPA REVIEW REV.
11/27/15	CLASS 1 MODIFICATION

CONTRACTS OF ANNUAL ADDITIONS. ALTERNATELY, A SCHEDULE TO THESE DRAWINGS AFTER APPROVAL HAS BEEN GIVEN CONSTITUTE A CHANGE IN THE SCOPE OF WORK AS OUTLINED AND WILL BE ACCOMPLISHED AT THE CLIENT'S EXPENSE.

PROJECT PHASE	
<input type="checkbox"/>	SITE PLANNING
<input type="checkbox"/>	SCHEMATIC DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS

COVER	
PROJECT NUMBER	PAAP-101
DATE	1/11/11
BY	N/A
CLASS	N/A
CLASS	N/A
NAME	PAAP-101-101
SEA	1011





**KRAVITT**  
ARCHITECTURAL  
ASSOCIATES, INC.  
301  
Coral Gables  
Miami, FL 33134  
305/351-1111  
305/351-1112  
305/351-1113

**PROJECT**  
CONFECTIONARY BUILDING  
FOR:  
CRAFT CHOCOLATES  
PAAFF / SISO, LLC  
1010 N. FEDERAL HIGHWAY  
DELRAY BEACH  
FLORIDA 33483

**CONSULTANT**

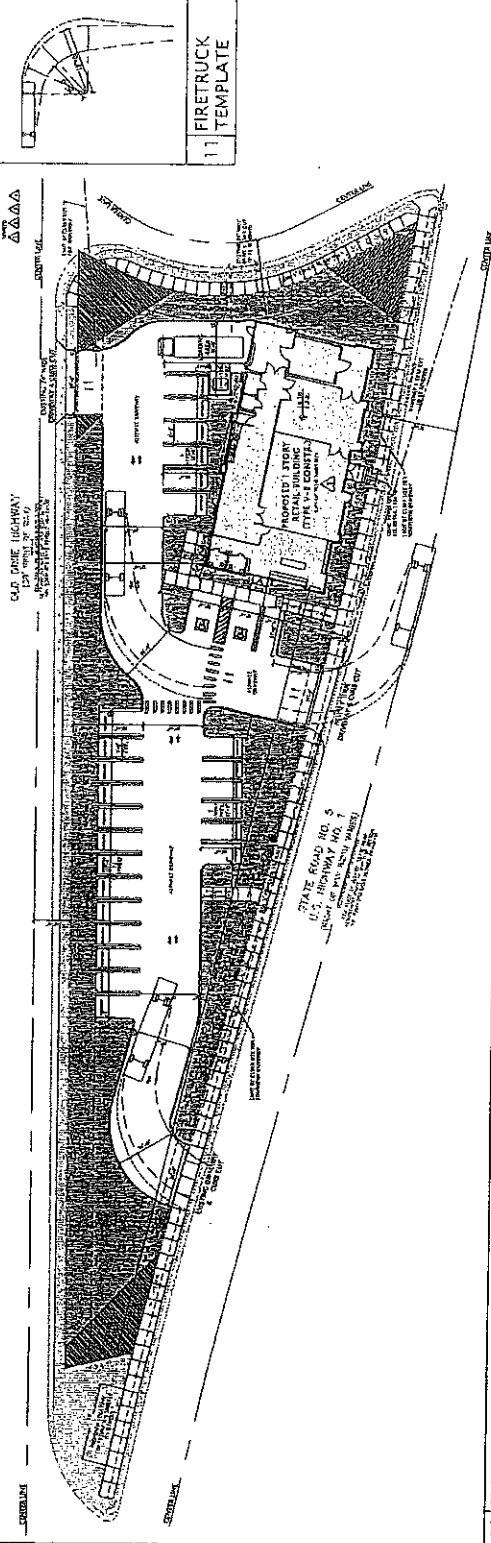
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NO.	DESCRIPTION
1	1/24/13 SPA REVIEW
2	2/14/13 SPA REVIEW
3	10/14/13 SPA REVIEW
4	11/10/13 SITE PLAN GERT. REV.
5	1/21/16 CLASS MODIFICATION

REVISIONS OF ARCHITECTURAL DOCUMENTS  
SHALL BE INDICATED BY A CIRCLED NUMBER  
AND A LETTER, AND SHALL BE ACCORDING  
TO THE FOLLOWING CONVENTIONS:  
1. CIRCLED NUMBER - REVISION  
2. CIRCLED LETTER - REVISION  
3. CIRCLED NUMBER AND LETTER - REVISION  
4. CIRCLED NUMBER AND LETTER - REVISION  
5. CIRCLED NUMBER AND LETTER - REVISION

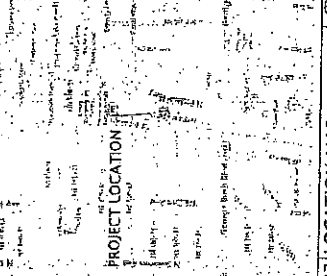
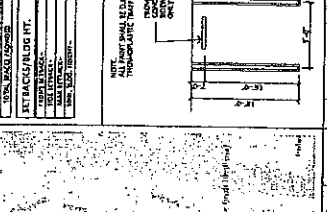
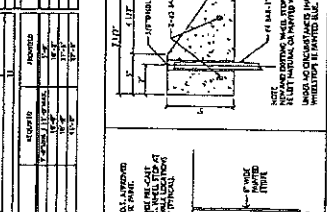
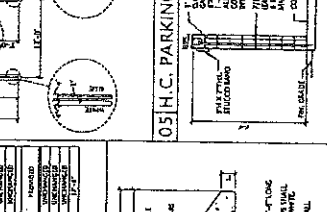
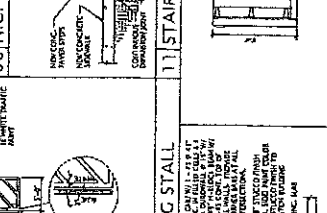
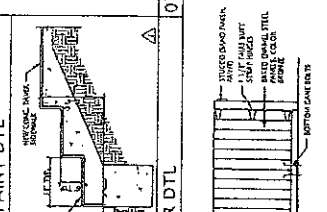
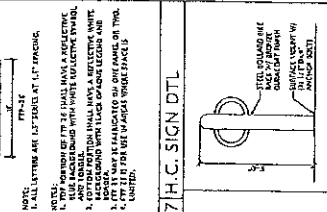
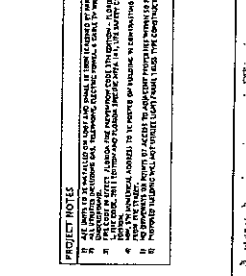
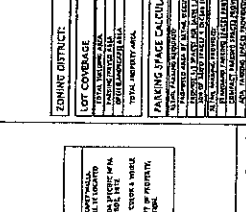
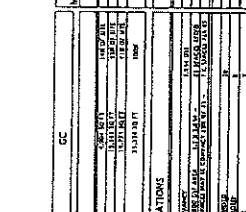
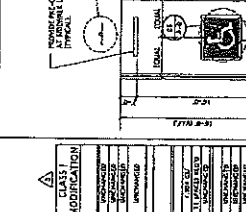
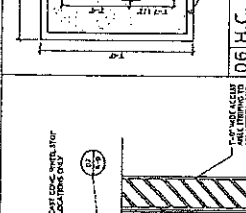
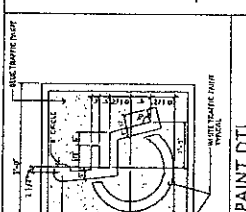
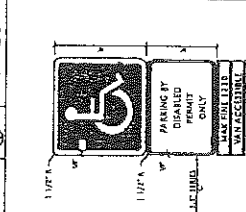
**PROJECT PHASE**  
☐ SITE PLANNING  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☐ CONSTRUCTION DOCUMENTS

**SITE PLAN & DETAILS**  
PROJECT NUMBER: 1010  
DATE: 1/21/16  
DRAWN BY: JPM  
CHECKED BY: JPM  
APPROVED BY: JPM

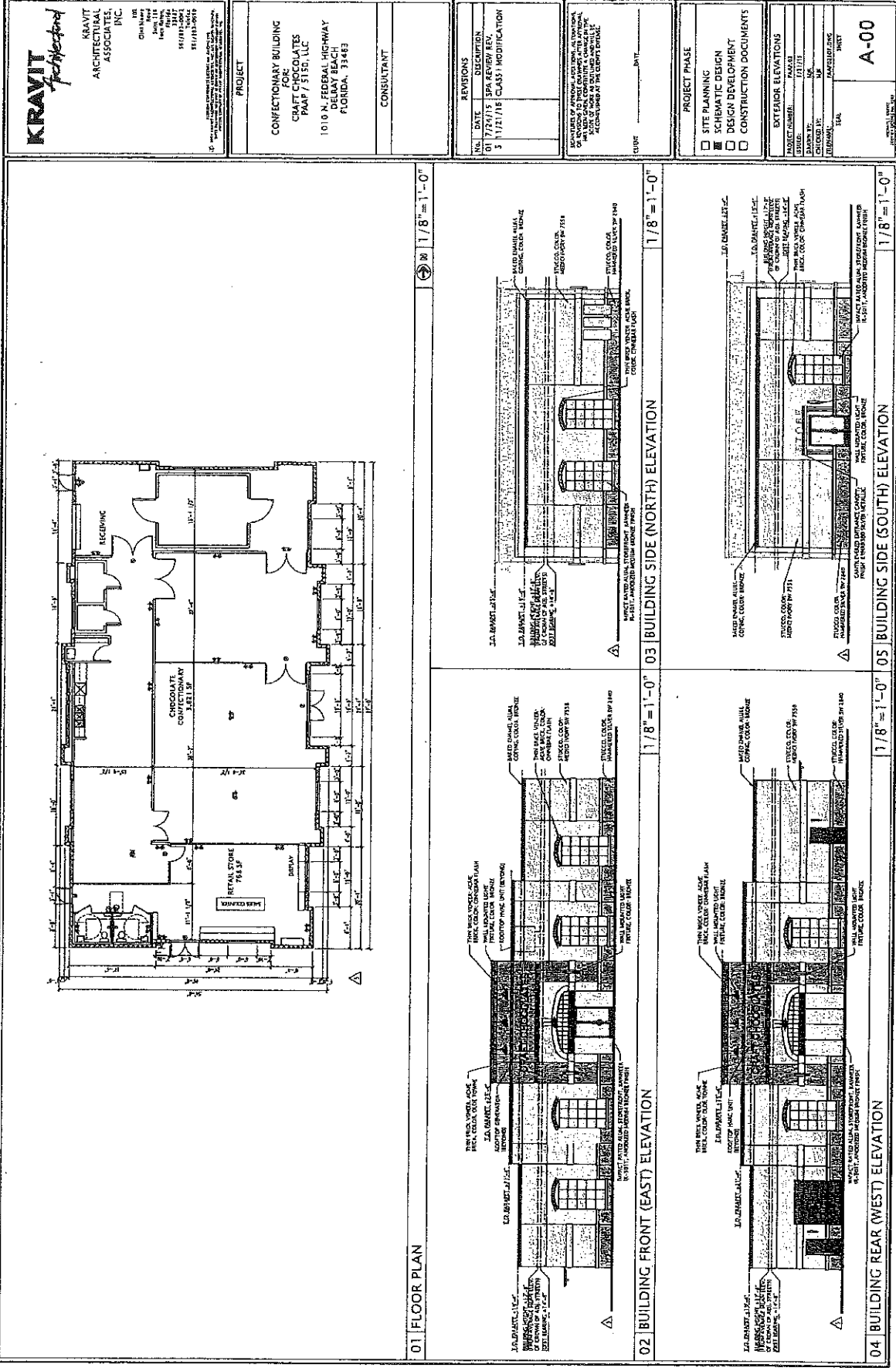
**A-0**



01 SITE PLAN



02 LOCATION MAP



<b>KRAVIT</b> Architectural Associates, Inc. 1010 N. FEDERAL HIGHWAY DELMAR BEACH FLORIDA 33483		
<b>PROJECT</b> CONFECTIONARY BUILDING FOR CRAFT CHOCOLATES PAAFP / 5150, LLC		
<b>CONSULTANT</b>		
<b>REVISIONS</b>		
NO.	DATE	DESCRIPTION
01	7/21/15	15% REVIEW REV.
02	7/21/15	CLASSIFICATION
REVISIONS OF DRAWINGS AND NOTATIONS ARE TO BE MADE BY THE ARCHITECT. NO REVISIONS TO BE MADE BY THE CLIENT. NO REVISIONS TO BE MADE BY THE ENGINEER.		
SUBJECT		
DATE		
<b>PROJECT PHASE</b>		
<input type="checkbox"/> SITE PLANNING		
<input checked="" type="checkbox"/> SCHEMATIC DESIGN		
<input type="checkbox"/> DESIGN DEVELOPMENT		
<input type="checkbox"/> CONSTRUCTION DOCUMENTS		
<b>EXTENDED ELEVATIONS</b>		
PROJECT NUMBER	5150-03	
DATE	7/21/15	
DESIGNED BY	MM	
DRAWN BY	MM	
CHECKED BY	MM	
APPROVED BY	MM	
A-00		