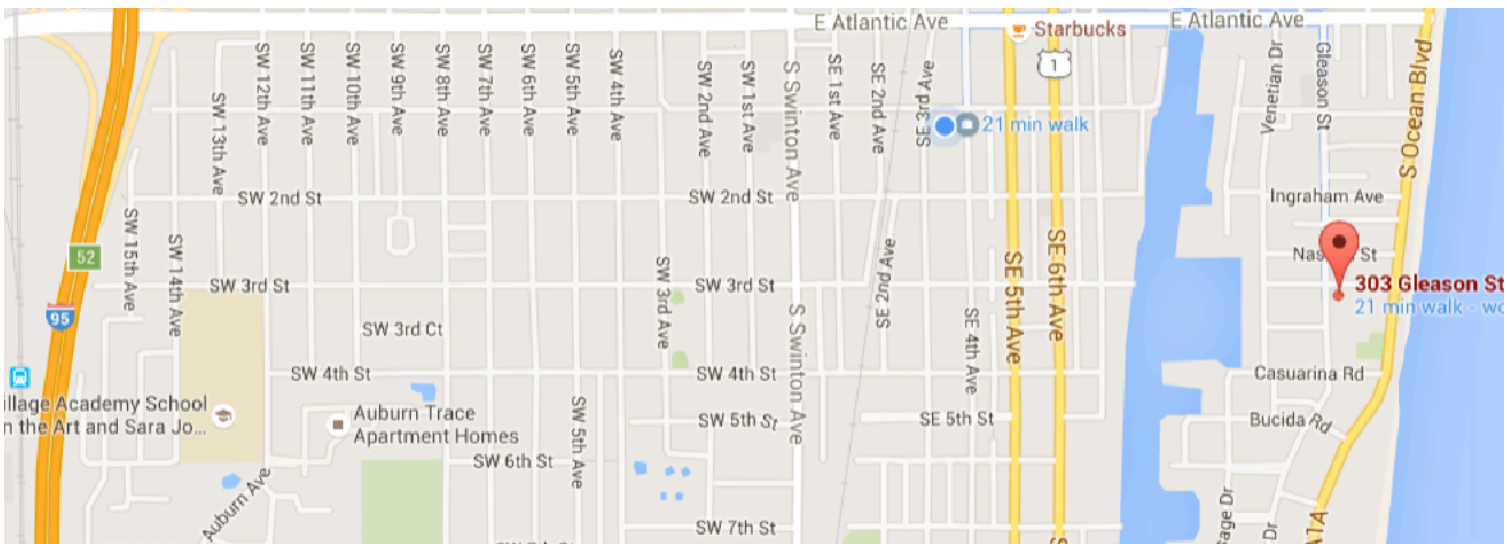


ARCHITECTURAL SITE PLAN
1"=20'-0" (TO MATCH ORIGINAL SURVEY)



LOCATION MAP



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

1. APPLICATION IS FOR SECOND FLOOR ADDITION TO UNIT #6. PREVIOUS APPLICATION (APPROVED) FOR UNITS 7,8,9,&10 (ONLY)
2. EXISTING DUMPSTER & DUMPSTER ENCLOSURE TO REMAIN (NO DETAIL PROVIDED)
3. PREVIOUS APPLICATION INCREASED PARKING ON GLEASON-STREET FROM 8 TO 10, THIS APPLICATION ADDS AN 11TH SPOT ON GLEASON.

PROJECT DATA

TOTAL SITE AREA: 23,152.72 SQFT (0.53AC) 100% OF SITE AREA

GROUND FLOOR AREA: 5,263.6 SF
SECOND FLOOR AREA: 1,685.3 SF
TOTAL FLOOR AREA: 6,948.9 SF
PARKING/ PAVED AREA: 2,149.5 SF
SIDEWALK PATIO AREA: 6,481.5 SF
POOL AREA (WATER): 675.0 SF
OPEN SPACE AREA: 8,383.1 SF

PREVIOUS
5,263.6 SF
1,685.3 SF
6,948.9 SF
2,149.5 SF
6,481.5 SF
675.0 SF
8,383.1 SF

DWELLING UNITES PER ACRE - LDR 4.4.6(H)(1) (MAX DENSITY, 12U/A x .53A = 6U)
ACTUAL # RESIDENTIAL DWELLING UNITS: 10 (NON-CONFORMING)
ACTUAL DWELLING UNITES PER ACRE 18 (NON-CONFORMING)

PARKING SPACES REQUIRED PER LDR SECTION 4.6.9 4(C)
EFFECIENCY-UNIT (4) X 1.0 SPC + 1 BR-UNIT (5) X 1.5 SPC + 2 BR-UNIT = 2 SPC + GUEST (10) X .5 : 4 + 7.5 + 2 + 5 = 18.5

PARKING SPACES PROVIDED:

STANDARD (10' X 16')	8
STANDARD (9' X 17')	11
HANDICAP	0
TOTAL PROVIDED:	19 (COMPLIES)

DEVELOPMENT STANDARDS LDR SECTION 4.3.4

ZONE RM	MIN. LOT SIZE (SF)	MIN LOT WIDTH (FT)	MIN LOT DEPTH (FT)	MAX LOT COVER (%)	MIN OPEN SPACE (%)	(NORTH) MIN FRONT SETBACK (FT)	(EAST) MIN SIDE STREET (FT)	(WEST) MIN SIDE INTR. (FT)	(SOUTH) MIN REAR SETBACK (FT)	MAX BUILDING HEIGHT (FT)
REQUIRED:	8,000	60	100	40	25	25/30	15/30	25/30	25	35
EXISTING:	23,152	150.0'	154.0'	22.7%	36.2%	23.61	9.89	24.85	9.85'	22.5' proposed (west bldg) 12.5' existing (north bldg)

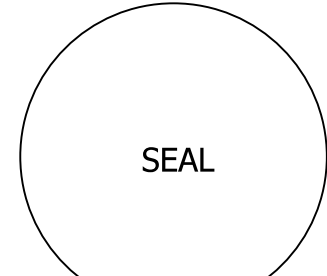
THE ABUTTING RIGHTS OF WAY (GLEASON & BAY STREETS) DO NOT MEET THE REQUIRED 60' FOR STREETS WITHOUT CURB & GUTTER. (LDR 5.3.1 D 2)

PER LDR 6.1.3 (B) THE 5' SIDEWALKS REQUIRED FOR GLEASON STREET HAVE BEEN WAIVED BY DEVELOPMENT SERVICES GROUP (DSMG) - ON 1/7/2016 A PAY IN-LIEU FEE WAS GRANTED.

THE 5' SIDEWALK ON BAY STREET IS NOT IMPACTED BY DEVELOPMENT AND/OR PARKING LOT EXPANSION - WE ARE HERE-BY REQUESTING THE IN-LIEU FEE FOR THIS SECTION TO BE WAIVED.

PROPOSED (POST DEVELOPMENT) UNIT MIX:

UNIT TYPE:	MIN. STANDARD	MIN. PROVIDED	UNIT COUNT	100% TOTAL
EFFICIENCY	400 SF	390 SF	4	40%
1 BEDROOM (EX)	600 SF	746 SF	1	10%
1 BEDROOM (NEW)	600 SF	780 SF	4	40%
2 BEDROOM	900 SF	900 SF	1	10 %
TOT, FOR ALL:	—	—	10	100% TOTAL



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UNIT #6 Second Floor Addition for:
PATIO BEACH DELRAY
303 GLEASON STREET
DELRAY BEACH, FLORIDA 33483

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE - UNAUTHORIZED REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO.: 16.125
DATE: 11.11.16
DRAWN BY: S.W.S.
CHECKED BY: brian
REVISIONS:
CLASS-III APPLICATION

ARCHITECTURAL SITE

SP.1

SHEET NO.