



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

---

**Project Name:** 701 SE 1<sup>st</sup> Street  
**Project Location:** 701 SE 1<sup>st</sup> Street  
**Request:** Certificate of Appropriateness  
**Board:** Historic Preservation Board  
**Meeting Date:** March 7, 2017

**Board Action:**

Approved Certificate of Appropriateness, on a 7 to 0 vote.

**Project Description:**

The subject property is located on the northeast corner of SE 1<sup>st</sup> Street and SE 7<sup>th</sup> Avenue. The structure is classified as contributing to the Marina Historic District, both on the Local and National Register of Historic Places. The 0.13 acre property is zoned Multiple Family Residential (RM) and contains a residential structure which the Delray Beach Building Card record notes as being constructed in 1925.

The subject request includes replacement of the existing roof which is a three dimensional, asphalt shingle and with a cedar wood shake roof in a “thatch” pattern.

Staff supported the Certificate of Appropriateness.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:** All required actions were taken.

**Next Action:** HPB action is final.

# HISTORIC PRESERVATION BOARD

## CITY OF DELRAY BEACH

### ---STAFF REPORT---

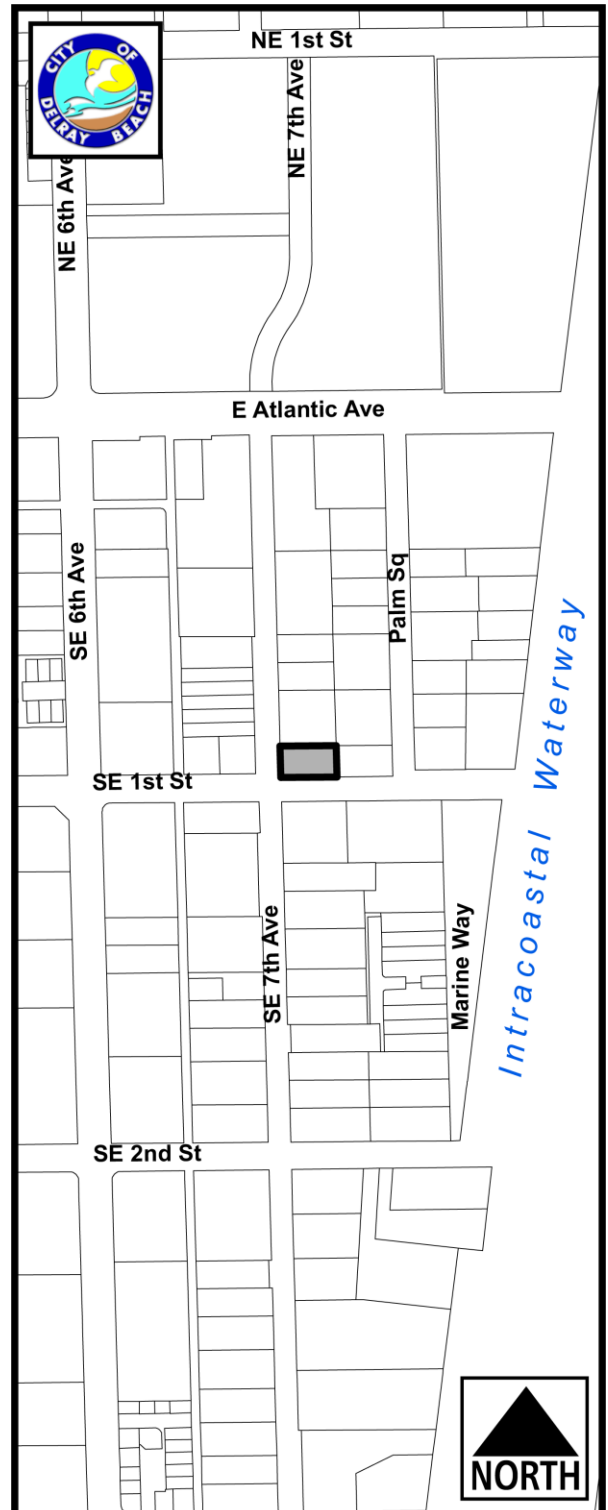
**MEETING DATE:** March 7, 2017

**ITEM:** 701 SE 1<sup>st</sup> Street, Marina Historic District (2017-102) – Certificate of Appropriateness for replacement of the roof for a contributing structure.

**RECOMMENDATION:** Approve.

#### GENERAL DATA:

Owner/Applicant..... Roger Cope  
Agent..... Roger Cope  
Location..... 701 SE 1<sup>st</sup> Street  
Northeast corner of SE 1<sup>st</sup>  
Street and SE 7<sup>th</sup> Avenue  
Zoning District..... Multiple - Family Residential  
(RM)  
Adjacent Zoning:  
North: RM  
East: RM  
South: RM  
West: RM



## ITEM BEFORE THE BOARD

The item before the Board is the consideration of a Certificate of Appropriateness (COA) for a roof material change on the contributing structure, located at **701 SE 1<sup>st</sup> Street, Marina Historic District**, pursuant to LDR Section 2.4.6(H).

## BACKGROUND & PROJECT DESCRIPTION

The subject property is located on the northeast corner of SE 1<sup>st</sup> Street and SE 7<sup>th</sup> Avenue. The property is classified as contributing to the Marina Historic District, both on the Local and National Register of Historic Places. The Delray Beach Building Card record notes the home as being constructed in 1925.

The Florida Master Site File form explains that “this residence represents a style popular in the Florida Land Boom era of the 1920’s and illustrates the development history of the area” and the home is noted as Frame Vernacular in style. Staff notes that the structure possesses pointed arches and steep gables which are elements of a Carpenter Gothic architectural influence, an architectural style which adapted Gothic elements to American light-frame construction. A photograph provided by the owner indicates the original structure to have possessed an additional steeply pitched gable at the entrance to the home as well as what appears to be a pitched roof over the existing roof on the east side of the structure. This would be logical given the cross-gabled design of the existing roof.

The Florida Master Site File notes that the structure was original to its site; however, the applicant believes the structure was relocated from Boca Raton in 1935. Staff notes that the structure does not appear in its location on the 1926 Sanborn Map even though Delray Beach building permit records note its construction to have occurred in 1925, the structure then appears on the 1949 Sanborn Map in its current footprint. For recording purposes, it is recommended that further research be completed by the applicant to document the structure’s history and whether or not it was moved.

The existing roof material consists of a three dimensional, asphalt shingle and the subject request proposes a roof material change to cedar wood shake in a “thatch” pattern.

Roof replacement is typically approved administratively when the same material is proposed, and, when deemed appropriate by Staff, a new material is proposed. Due to the nature of the proposal, with the “thatch” pattern of the proposed cedar wood shake roof, Staff feels the request requires approval by the Historic Preservation Board.

## ANALYSIS

**Pursuant to LDR Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.**

The subject request has been reviewed accordingly.

**Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section. Relief from Subsections (1) through (9) below may be granted by seeking a waiver approvable by the Historic Preservation Board, unless otherwise stated.**

The applicable Development Standards are specified below and analyzed accordingly.

**Pursuant to LDR Section 4.5.1(E)(4), Alterations, in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.**

The design and details of the original structure have been considered for the roof material change, as indicated further in this report.

**Pursuant to LDR Section 4.5.1(E)(5), Standards and Guidelines, a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.**

The applicable Standards are noted below:

#### **Standard 2**

**The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

The original Building Cards for the subject structure indicate that a composition shingle roof was used as the original roofing material; however, pattern and material of the original composition shingle is not listed. There exists no further documentation as to the appearance of the roof material which would have been historic to the structure.

The applicant proposes a new, western, red, cedar wood shake roof utilizing a "thatch" pattern. The applicant notes in his request that other cedar wood shake roofs (in a traditional pattern) have been approved by HPB for other properties within the Marina Historic District, including:

- 49 Palm Square
- 73 Palm Square
- 55 SE 7<sup>th</sup> Avenue (property immediately to the north)

Further, the applicant notes that his "Cottage has a very unusual roof in that it is at a slope of 12:12...very uncommon in South Florida." Because of this slope, he is seeking approval to install the new system in a pattern referred to as "thatch" noting that it is a more organic and artistic approach to the aesthetic than the standard system seen on the projects listed above.

Staff notes, that a variety of shingle patterns were utilized in the 1920's including the "thatch" pattern as well as a fish scale pattern and a diamond pattern. A diamond patterned shingle roof was utilized on the roof of the Cornell Museum building (formerly the Delray Elementary



School). While this example is not a composition roofing material, it does demonstrate the use of a variety of shingle textures and patterns used during the land boom of the 1920's.

Historically, the "thatch" roof style was adapted from English thatch roofs according to Preservation Brief 19 on the Secretary of the Interior's website. The Brief states the following regarding the thatch roof style: "with the popularity of the revival of historic styles in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries, a new technique was developed to imitate English thatch roofs."

The "thatch" patterned cedar wood shake roof is a style that would impart a special character to the dramatic roof pitch of the subject cottage. Also, this was a type of roof that would have been utilized for a similar architectural style built during the time period the subject structure was constructed, since the roof style was popularized during the turn of the century.

**Pursuant to LDR Section 4.5.1(E)(8), Visual Compatibility Standards, new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below. Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.**

**(g) Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.**

The proposal to install a thatch patterned cedar wood shake roof on the contributing structure can be considered appropriate with the subject structure, as the texture is similar to the structures original composition shingle roof. The proposed roof would be visually compatible with surrounding structures, specifically the structure to the north which has a new cedar wood shake roof in a traditional pattern. It is the "thatch" pattern that provides for variety in appearance.

The installation of this roof type, will not alter the historic character as this was a roofing material and pattern that was utilized in the time period for which the structure was built.

Based on the above, positive findings can be made for the proposed roof type with respect to the LDR Section 4.5.1(E)(8), Visual Compatibility Standards.

<b>ALTERNATIVE ACTIONS</b>
----------------------------

- A. Continue with direction.
- B. Approve the Certificate of Appropriateness (2017-102) for **701 SE 1<sup>st</sup> Street, Marina Historic District**, based on positive findings with respect to the Land Development Regulations, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation subject to conditions.

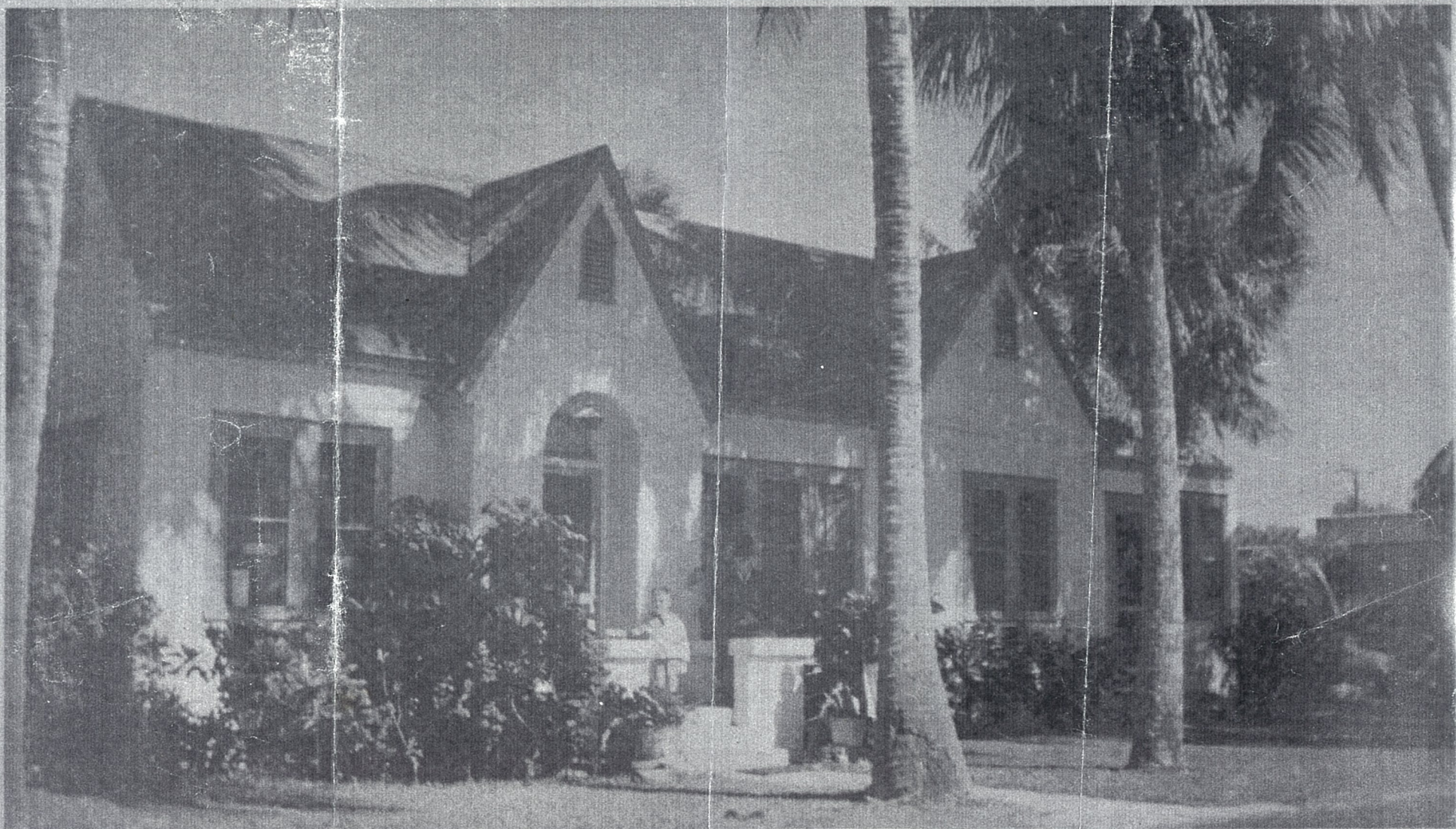
- C. Deny the Certificate of Appropriateness (2017-102) for **701 SE 1<sup>st</sup> Street, Marina Historic District**, based upon a failure to make positive findings with respect to the Land Development Regulations, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

<b>RECOMMENDATION</b>
-----------------------

Approve the Certificate of Appropriateness (2017-102) for a roof replacement on the structure located at **701 SE 1<sup>st</sup> Street, Marina Historic District**, based on positive findings with respect to the Land Development Regulations, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

**Report Prepared by:** Michelle Hoyland, Historic Preservation Planner







RE-ROOF EXISTING RESIDENCE W/ NEW, WESTERN RED CEDAR SHAKE ROOF SYSTEM; "THATCH" PATTERN, TYP.  
(REMOVE EXISTING BROWN, 3-TAB, ASPHALT SHINGLE SYSTEM IN ITS ENTIRETY)

ELEV.  $\pm 0'-0"$  ( $\pm 8.42'$  NGVD)  
TOP OF FINISH FLOOR @ RESIDENCE

$\pm 2.75'$  (field verify)

12

12 (field verify: match existing)

ELEV.  $\pm 9'-0"$   
TOP OF FINISH CEILING  
ELEV.  $\pm 7'-0"$   
TOP OF WINDOW HEAD

FINISH GRADE, TYPICAL  
ELEV.  $\pm 0'-0"$  ( $\pm 8.42'$  NGVD)  
TOP OF FINISH FLOOR @ RESIDENCE  
ELEV.  $\pm 1'-4"$  ( $\pm 7.10'$  NGVD)  
TOP OF FINISH GRADE THIS CORNER

WEST ELEVATION

# "THE MARINA RESIDENCE"

701 SE 1ST STREET  
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS

PHO 561 274-6706 FAX 561 274-6707

© COPE ARCHITECTS, INC., 2017  
THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF COPE ARCHITECTS, INC.  
AND SHALL NOT BE REPRODUCED WITHOUT THE AUTHORIZED WRITTEN  
CONSENT OF COPE ARCHITECTS, INC.

"THE MARINA RESIDENCE"  
701 SE 1ST STREET  
DELRAY BEACH, FLORIDA

EXTERIOR ELEVATIONS

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS

PHO 561 274-6706 FAX 561 274-6707

Seal

Drawn  
RW COPE

Project No.  
2016.02COPE

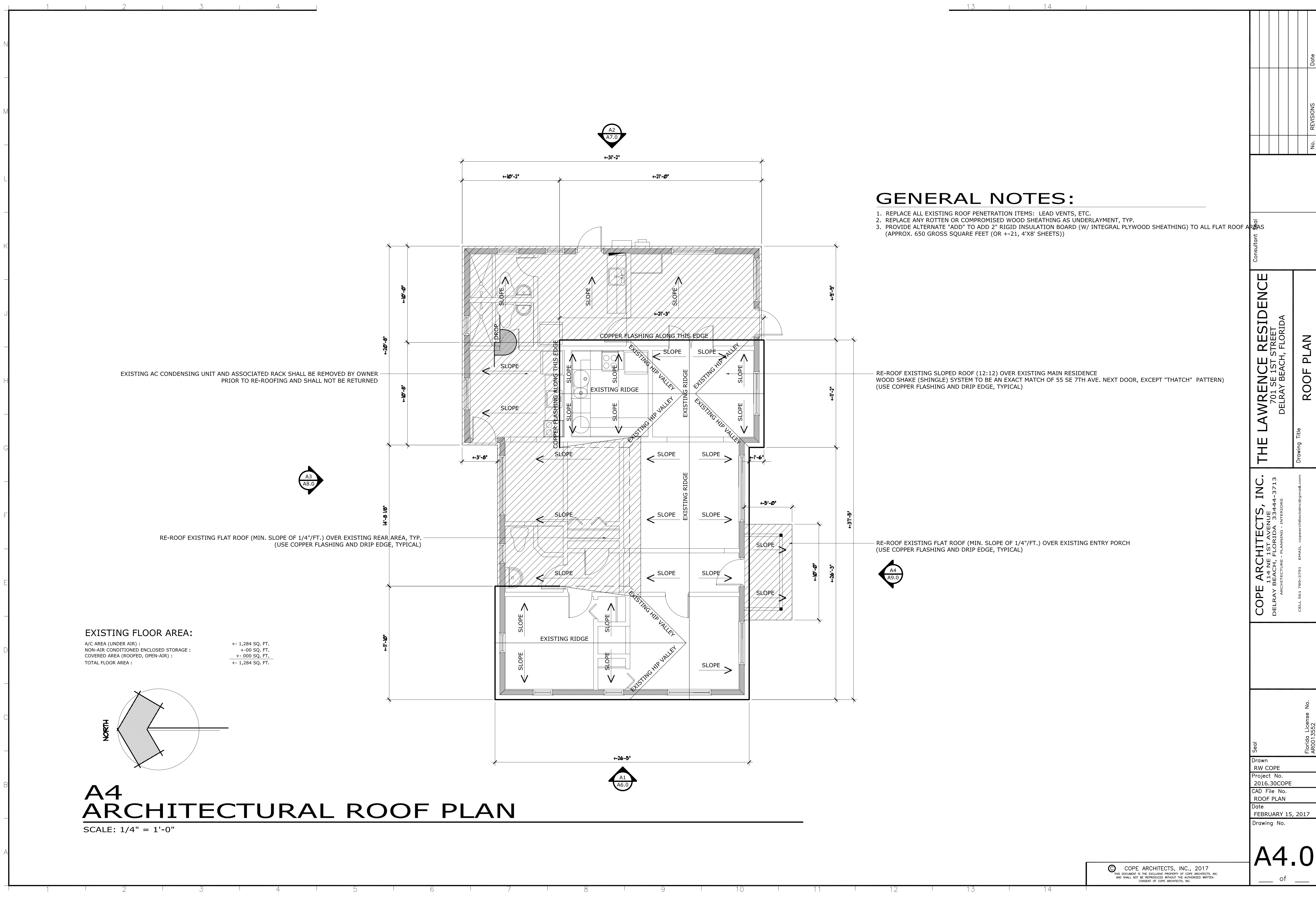
CAD File No.  
WEST ELEVATION

Date  
FEBRUARY 15, 2017

Drawing No.

A7.0

— of —



GENERAL NOTES:

- 1. REPLACE ALL EXISTING ROOF PENETRATION ITEMS: LEAD VENTS, ETC.
- 2. REPLACE ANY ROTTEN OR COMPROMISED WOOD SHEATHING AS UNDERLAYMENT, TYP.
- 3. PROVIDE ALTERNATE "ADD" TO ADD 2" RIGID INSULATION BOARD (W/ INTEGRAL PLYWOOD SHEATHING) TO ALL FLAT ROOF AREAS (APPROX. 650 GROSS SQUARE FEET (OR +-21, 4'X8' SHEETS))

EXISTING AC CONDENSING UNIT AND ASSOCIATED RACK SHALL BE REMOVED BY OWNER PRIOR TO RE-ROOFING AND SHALL NOT BE RETURNED

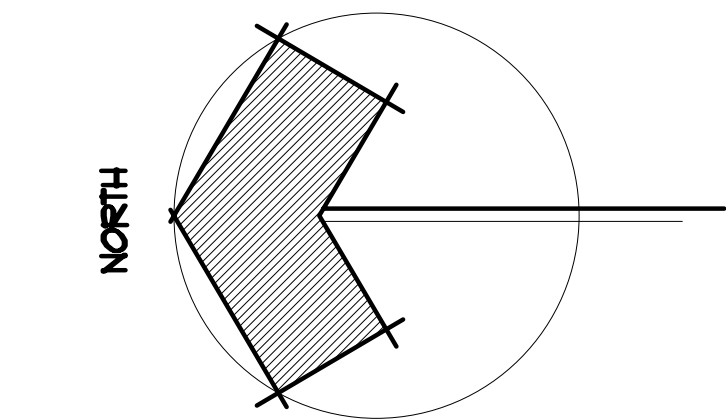
RE-ROOF EXISTING SLOPED ROOF (12:12) OVER EXISTING MAIN RESIDENCE WOOD SHAKE (SHINGLE) SYSTEM TO BE AN EXACT MATCH OF 55 SE 7TH AVE. NEXT DOOR, EXCEPT "THATCH" PATTERN) (USE COPPER FLASHING AND DRIP EDGE, TYPICAL)

RE-ROOF EXISTING FLAT ROOF (MIN. SLOPE OF 1/4"/FT.) OVER EXISTING REAR AREA, TYP. (USE COPPER FLASHING AND DRIP EDGE, TYPICAL)

RE-ROOF EXISTING FLAT ROOF (MIN. SLOPE OF 1/4"/FT.) OVER EXISTING ENTRY PORCH (USE COPPER FLASHING AND DRIP EDGE, TYPICAL)

EXISTING FLOOR AREA:

A/C AREA (UNDER AIR) : +- 1,284 SQ. FT.  
NON-AIR CONDITIONED ENCLOSED STORAGE : +-00 SQ. FT.  
COVERED AREA (ROOFED, OPEN-AIR) : +- 000 SQ. FT.  
TOTAL FLOOR AREA : +- 1,284 SQ. FT.



A4 ARCHITECTURAL ROOF PLAN

SCALE: 1/4" = 1'-0"

Seal	Drawn RW COPE Project No. 2016.30COPE CAD File No. ROOF PLAN Date FEBRUARY 15, 2017 Drawing No.	Florida License No. AR0013552	Consultant Seal	THE LAWRENCE RESIDENCE 701 SE 1ST STREET DELRAY BEACH, FLORIDA	No.	REVISIONS	Date
COPE ARCHITECTS, INC. 314 NE 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS CELL 561 799-3791 EMAIL copearchitectinc@gmail.com				Drawing Title			ROOF PLAN
A4.0				of			





**LEGEND:**

- C = CENTERLINE  
N.D. = NAIL & DISK #LB 353  
CONC. = CONCRETE  
W.M. = WATER METER  
S.S.M.H. = SANTARY SEWER MANHOLE  
P.O.B. = POINT OF BEGINNING  
— — — — — = OVERHEAD UTILITY LINES

LOT 26 = LOT AS SHOWN ON THE UNRECORDED PLAT OF PALM SQUARE

+6.36 = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929. SOURCE: STATE ROAD DEPARTMENT BENCH MARK IN ATLANTIC AVENUE BRIDGE OVER INTRACOASTAL WATERWAY

FLOOD ZONE: X

**TITLE NOTES:**

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-11 OF THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT AGENT'S FILE REFERENCE: B16-018, DATED JANUARY 6, 2016.

PARCEL SUBJECT TO CITY OF DELRAY BEACH ORDINANCE RECORDED IN OFFICIAL RECORDS BOOK 6620, PAGE 1713.

**DESCRIPTION:**

A PORTION OF BLOCK 125 OF THE TOWN OF LINTON (NOW DELRAY BEACH), FLORIDA, ACCORDING TO THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA IN PLAT BOOK 1, PAGE 3; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED BLOCK 125, RUN THENCE NORTHERLY ALONG THE EAST LINE OF S.E. SEVENTH AVENUE, A DISTANCE OF 55.6 FEET TO A POINT; THENCE RUN EASTERLY, ALONG A LINE PARALLEL TO THE NORTH LINE OF S.E. FIRST STREET, A DISTANCE OF 100 FEET TO A POINT; THENCE RUN SOUTHERLY ALONG A LINE PARALLEL TO THE EAST LINE OF S.E. SEVENTH AVENUE, A DISTANCE OF 55.6 FEET TO A POINT IN THE NORTH LINE OF S.E. FIRST STREET; THENCE RUN WESTERLY ALONG THE NORTH LINE OF S.E. FIRST STREET, A DISTANCE OF 100 FEET TO THE POINT OF BEGINNING. (SAID PARCEL BEING OTHERWISE KNOWN AS LOTS 26 AND 27 OF PALM SQUARE, AN UNRECORDED PLAT)

**CERTIFIED TO:**

ROGER COPE  
GUARANTEED RATE, INC.  
OLD REPUBLIC TITLE INSURANCE COMPANY  
INDEPENDENCE TITLE INSURANCE AGENCY, INC.

**MAP OF BOUNDARY SURVEY**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Paul D. Engle*

PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**O'BRIEN, SUITER & O'BRIEN, INC.**  
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY FEBRUARY 19, 2016	SCALE: 1" = 10'
FIELD BOOK D.314	PAGE NO. 4
ORDER NO.: 16-17db	

