



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Hessler Paint
Project Location: 4591 West Atlantic Avenue
Request: Class IV Site Plan, Landscape Plan and Architectural Elevations and associated special action parking reduction for a 6,678 square foot building addition
Board: Site Plan Review and Appearance Board
Meeting Date: February 22, 2017

Board Action:

Class IV Site Plan Modification
Approved with conditions 5-0

Architectural Elevations
Approved 5-0

Landscape Plan
Approved 5-0

Special Action Parking Reduction Approved 5-0

Project Description:

The subject property is located on the north side of West Atlantic Avenue, west of Barwick Road. The property is zoned General Commercial (GC) and contains a 5,902 sq. ft. one-story commercial building.

The development proposal involves the construction of a 6,678 sq. ft. building addition that includes a 948 sq. ft. second story mezzanine for a total gross building floor area of 12, 580 sq. ft. With the proposal, a 405 sq. ft. portion of the building (east side of the building) will be demolished and the existing storage containers located on the west side of the building will be removed. Other site changes include the elimination of the exiting 26-space parking and the construction of 32 parking spaces, the construction of a one-way loading access drive to the rear of the building; the elimination of the cross-access drive aisle with the adjacent property to the east and associated landscaping and lighting upgrades.

The request also involves a special action for parking reduction. Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant provided a parking demand analysis prepared by MacKenzie Engineering and Planning, Inc., which included empirical data based on studies from the Institute of Transportation Engineers (ITE) report, the American Planning Association "Parking Standards PAS Report and field observations and data collection. The report cites the ITE, Parking Generation (4th Edition) which categorizes the proposed development as Land Use 816 (hardware/paint store) which shows a peak weekday parking demand of 1.90 vehicles per 1,000 sq. ft. of gross floor area.

The American Planning Association (APA) report recommends a parking rate of 1 space for every 400 square feet of gross floor area for a hardware/paint store. The parking demand analysis noted that on-site parking observation concluded that the highest observed parking count (the store busiest days were noted as Mondays and Tuesdays) at the existing facility between 10:45 am and 12:15 pm on Tuesday July 5, 2016 was 11 occupied parking spaces.

The parking demand analysis concluded that 32 spaces are necessary for the use as the hardware/paint store. Staff concurs that due to the specific use, a parking reduction is appropriate given the percentage of the floor area devoted to processing and storage. The parking reduction does not offer any detrimental impact to the community however it will limit the adaptive re-use of the building and granting the parking reduction would not be considered a special privilege, as it would be supported under similar circumstances with supporting data. The complete analysis is provided in the attached SPRAB staff report.

Board Comments:

The Board comments were supportive of the project.

Public Comments:

No public input

Associated Actions:

No actions

Next Action:

The SPRAB action is final unless appealed by the City Commission.

**SITE PLAN REVIEW AND APPEARANCE BOARD
ADDENDUM**

MEETING OF: FEBRUARY 22, 2017

AGENDA ITEM: HESSLER PAINT – 4591 West Atlantic Avenue

Class IV Site Plan Modification Associated with a Two-Story Building Addition, Exterior Façade Renovations and Parking Lot and Landscaping Improvements

The Staff Report Addendum pertains to the addition of a condition of approval for the Hessler Paint, Class IV Site Plan Modification request as noted below:

1. That a Unity of Title is recorded combining the existing platted lots as one buildable site prior to the issuance of a building permit.

The subject property was platted as a part of the Highland Trailer Park Plat recorded in Plat Book 24, Page 213. The parcel is described as Lots 1-4 and the west 35 feet of Lot 5, Highland Trailer Park, according to the plat thereof recorded in Plat Book 24, Page 213 less the north 8 feet and the south 28.25 feet thereof. Currently the existing building crosses over existing platted lot lines. The proposed building addition will extend over Lots 2 and 3. As the development proposal does not require the dedication of easements or right-of-way, the site can be combined via a Unity of Title which is noted as condition of approval.

Thus conditions of the site plan modification are amended to add condition # 6 as noted below:

STAFF RECOMMENDATION

By separate actions:

Special Action Parking Reduction:

Approve the special action parking reduction request for **Hessler Paint** to provide 32 spaces whereas 44 spaces is required, in accordance with LDR Section 4.6.9(F)(1), which allows for reduced parking when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) reject the special documentation as to why the additional twelve parking spaces are not supportable evidence to reduce the required parking, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval. *See Site Plan condition #3 below.*

Site Plan*:

Approve with conditions the Class IV Site Plan Modification for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval

thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings) and Chapter 3 (Performance Standards) of the Land Development regulations as follows:

1. Submit an executed hold harmless agreement for the FDOT utility permit application where the City is the permittee prior to the issuance of the building permit.
2. A contribution for the full cost of the purchase and installation of a complete bus shelter is required prior to the issuance of the building permit.
3. If the parking reduction is not approved, the site design layout shall be revised to accommodate the required parking.
4. That fish eye lens" are installed at the rear exit doors.
5. That approval of the product data sheet information is obtained from the Fire Department to determine if any special requirements may be necessary for the storage and display of flammable or combustible liquids and/or other regulated hazardous materials prior to the submittal of a building permit application.
6. That a Unity of Title is recorded combining the existing platted lots as one buildable site prior to the issuance of a building permit.

***Note:** If the site plan is denied no further action shall be taken on the landscape plan and architectural elevation plan.

Landscape Plan:

Approve the Landscape Plan for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16.

Architectural Elevations:

Approve the Architectural Elevations for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development regulations.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

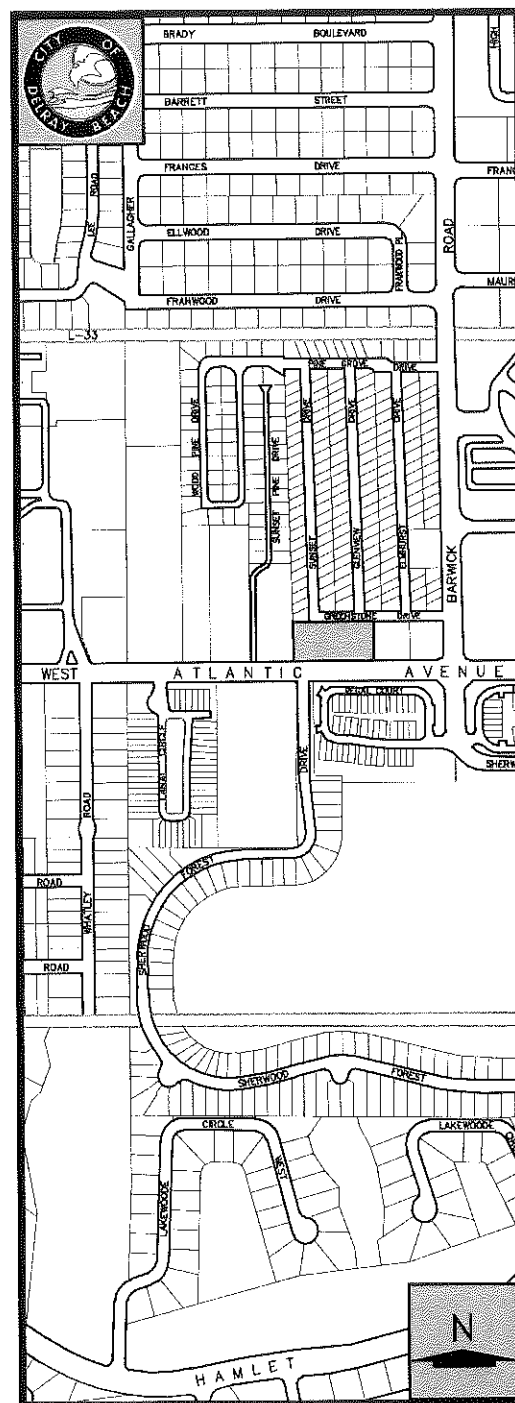
---STAFF REPORT---

MEETING DATE: February 22, 2017
ITEM: Hessler Paint (4591 West Atlantic Avenue) – Class IV Site Plan Modification Associated with a Two-Story Building Addition, Exterior Façade Renovations and Parking Lot and Landscaping Improvements

RECOMMENDATION: Approval of a Class IV Site Plan Modification, Landscape Plan and Architectural Elevations and Special Action for a Parking Reduction.

GENERAL DATA:

Owner/Applicant.....	Dan Hessler
Agent.....	Rick Brautigan Architecture
Location.....	North side of West Atlantic Avenue, west of Barwick Road
Property Size.....	1.105 Acres
Future Land Use Map.....	GC (General Commercial)
Current Zoning.....	GC (General Commercial)
Adjacent Zoning.....	North: MH (Mobile Home) East: GC (General Commercial) South: PRD (Planned Residential Development) West: POD (Professional Office District)
Existing Land Use.....	Retail Paint Store
Proposed Land Use.....	Retail Paint Store
Water Service.....	Existing on Atlantic Avenue
Sewer Service.....	Existing on Atlantic Avenue.



ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class IV site plan modification request for **Hessler Paint**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(d):

- ☐ Site Plan;
- ☐ Landscape Plan; and,
- ☐ Architectural Elevations

The subject property is located on the north side of West Atlantic Avenue, west of Barwick Road (4591 West Atlantic Avenue).

BACKGROUND

The subject property consists of Lots 1-4 and the west 35 feet of Lot 5, less the north 8 feet and the south 28.25 feet, Highland Trailer Park and is zoned General Commercial (GC). The property was annexed into the City in 1992, with the NC (neighborhood Commercial) zoning designation. The site contains a 5,902 sq. ft. one-story commercial building.

On June 26, 2002, the Site Plan Review and Appearance Board approved a Class I site plan modification associated with the addition of storefront awnings.

On January 24, 2014, the Site Plan Review and Appearance Board approved a Class III site plan modification associated with a 244 sq. ft. building addition, façade improvements, landscaping and parking upgrades.

On November 1, 2016, the City Commission via Ordinance 30-16 approved a Future Land Use Map amendment from Transitional (TRN) to GC (General Commercial) and Rezoning from NC (Neighborhood Commercial) to GC (General Commercial) for the subject property.

Now before the Board for consideration is a Class IV Site Plan modification associated with a building addition, exterior façade renovations, parking lot and landscaping improvements.

PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Construction of a 6,678 sq. ft. building addition that includes a 948 sq. ft. second story mezzanine for a total gross building floor area of 12, 580 sq. ft.
- ☐ Demolition of a 405 sq. ft. portion of the building (east side of the building).
- ☐ Removal of the storage containers located on the west side of the building.
- ☐ Elimination of the exiting 26-space parking tier on the south side of the building and construction of five angled parking spaces with a one-way drive aisle.
- ☐ Construction of a new 27-space parking lot on the west side of the building for a total of 32 new parking spaces.
- ☐ Relocation and redesign of the existing driveways onto West Atlantic Avenue.
- ☐ Construction of a one-way loading access drive to the rear of the building.
- ☐ Elimination of the cross-access drive aisle with the adjacent property to the east.
- ☐ Construction of a refuse and recycling enclosure.
- ☐ Associated landscaping and lighting upgrades.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix – Non-residential Zoning Districts:

The following table indicates that the development proposal complies with the applicable development standards of LDR Section 4.3.4(K) with respect to building height, building setbacks and open space requirement.

		Required	Existing	Proposed
Maximum Building Height		48'	15'	19' 10"
Minimum Setbacks	Front (south)	10'	58.9'	46' 1"
	Side Interior (east)	10'	19' 3"	19' 3"
	Side Interior (west)	10'	194.4'	134' 2"
	Rear (north)	10'	22.3	20'
Open Space		25%	59%	25%

Development Standards- Special Landscape Setbacks:

Pursuant to LDR Section 4.3.4(H)(6)(b)(3), along West Atlantic Avenue, from I-95 to the western City limits, a special landscape area of either 30 feet or 10% of the average depth of the property (but no less than 10 feet) shall be provided. The average depth of the property is 143.75 feet. A minimum landscape buffer of 14.37 feet is provided. Thus the requirement is met.

Special District Regulations:

Pursuant to LDR Section 4.4.9(H)(1), the first ten feet of the front yard setback which is adjacent to a right-of-way shall be landscaped. Within the required front landscaped area, no paving shall be allowed except for driveways and walkways which shall be generally perpendicular to the property line. The minimum landscape buffer provided along the frontage of the property is 14.37. Thus this requirement is met.

Supplemental District Regulations:

Pursuant to LDR Section 4.6.4(A)(2)(a), where the rear or side of commercially zoned property directly abuts residentially zoned property without any division or separation between them, such as a street, alley, railroad, waterway, park, or other public open space, the commercially zoned property shall provide a ten-foot building setback from the property line located adjacent to the residentially zoned property. In addition, either a solid finished masonry wall six feet in height, or a continuous hedge at least 4-1/2 feet in height at the time of installation, shall be located inside and adjacent to the portion of the boundary line of the commercially zoned property which directly abuts the residentially zoned property.

On the north property line, the subject parcel directly abuts the residentially zoned MH (Mobile Home) District. Four and one-half foot high Green Buttonwood and Small Leaf Clusia hedges will be planted along the north property line. Thus this requirement is met.

Parking:

As the site was constructed under Palm Beach County's regulations a clear record of the parking required for the original building cannot be ascertained.

Per LDR Section 4.6.9(C)(3), general commercial uses shall provide 4.5 spaces per 1,000 square feet of gross floor area. Under the current regulations if the entire 12,580 sq. ft. building was constructed a total of 57 parking spaces would be required ($12,580 \div 1,000 \times 4.5 = 56.61$, which is rounded up to 57)

At the time of annexation, only 13 parking spaces were provided for the existing 5,658 sq. ft. building. Therefore the site was nonconforming with respect to parking. The site plan modification approved in 2014 increased the building footprint by 244 sq. ft. and included the addition of two storage containers (which was considered floor area for parking calculations). Since the property was nonconforming with respect to parking, parking was only required for the creation of new floor, which required 4 additional parking spaces (one for the building area and 3 for the storage containers).

With the current proposal the storage containers are to be removed and thus the 3 spaces attributed to those containers will not be included in the future parking calculations. Based upon the above a total of 14 parking spaces are required for the existing 5,902 sq. ft. building.

For the proposed 6,678 sq. ft. building addition, a total of 30 parking spaces are required [$6,678 \div 1,000 \times 4.5 = 30.05$ (which is rounded down to 30)]. A total of 44 parking spaces are required for the entire site (14 for the existing building and 30 for the new addition).

The development proposal involves the elimination of all existing parking spaces. A total of 32 parking spaces are proposed with 5 new angled parking spaces fronting West Atlantic Avenue and 27 perpendicular spaces located on the west side of the building. Of the 32 parking spaces, 14 spaces are required for the existing building. The remaining 18 parking spaces are provided to meet the parking requirements for the new building addition. Therefore the site is deficient by 12 parking spaces.

The applicant has submitted a request for a parking reduction to provide 32 on-site parking spaces.

SPECIAL ACTION PARKING REDUCTION

LDR Section 4.6.9(F)(1) - Reduction Allowed:

Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant has provided a parking demand analysis prepared by MacKenzie Engineering and Planning, Inc., and is attached.

The parking study analyzed the parking generation rates based on studies from the Institute of Transportation Engineers (ITE) report, the American Planning Association "Parking Standards PAS Report and field observations and data collection. The report cites the ITE, Parking Generation (4th Edition) which categorizes the proposed development as Land Use 816 (hardware/paint store) which shows a peak weekday parking demand of 1.90 vehicles per 1,000 sq. ft. of gross floor area.

Also, included in the parking demand study is the parking demand rates published by The American Planning Association (APA) which recommends a parking rate of 1 space for every 400 square feet of gross floor area for a hardware/paint store.

Finally the report cites on-site parking observation that concluded that the highest observed parking count (the store busiest days were noted as Mondays and Tuesdays) at the existing facility between 10:45 am and 12:15 pm on Tuesday July 5, 2016 was 11 occupied parking spaces.

The report states "The existing store is 6,092 SF. The study used the highest observed count (11 occupied spaces) which occurred during off-peak season conditions. Therefore, a peak season adjustment factor of 1.11 was applied based on FDOT seasonal adjustment factors to adjust the July count to a peak season count. That result was further increased by 10 percent to account for orderly turnover at Hessler Paints for a recommended parking supply of 15 spaces. Based on the existing store size, that results in a parking ratio of 1 space per 406 square feet (2.46 spaces per 1,000 SF)."

The applicant has provided empirical data that indicates 32 spaces are necessary for the use as a hardware/paint store. Staff agrees that due to the specific use, a parking reduction is appropriate given the percentage of the floor area devoted to processing and storage. The parking reduction does not offer any detrimental impact to the community however, it is noted that if the parking reduction is approved, it will limit the adaptive re-use of the building.

Granting of the parking reduction would not be considered a special privilege, as it would be supported under similar circumstances with supporting data. It should be noted that if the Site Plan Review and Appearance Board (SPRAB) rejects the special documentation as to why the additional 12 parking spaces are not deemed necessary, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval.

Handicap Accessible Parking:

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction.

The Florida Accessibility Code for Building Construction and Federal ADA requires 1 ADA compliant space for every 25 spaces up to the first 100 spaces. As the project will provide more than 25 parking spaces, 2 ADA compliant spaces are required. The site plan shows 2 ADA parking spaces, thus meeting the code requirement.

Compact Parking:

Pursuant to LDR Section 4.6.9(C)(1)(g), up to 30% of the required parking for any use may be designated for compact cars. The development proposal includes 8 compact parking spaces which represent 25% of the total spaces provided.

Stacking Distance:

Pursuant to LDR Section 4.6.9(D)(3)(c)(1), provisions must be made for stacking and transitioning of incoming traffic from a public street, such that traffic may not backup into the public street system. The minimum distance between a right-of-way and the first parking space or aisle way in a parking lot that contains less than 50 spaces (for a non-local street) is 20'. A stacking distance of 20 feet is provided at the western driveway, thus this requirement is met.

Driveway Width:

The existing driveways to the property are relocated and redesigned. The eastern driveway has been redesigned as a 17 foot wide egress-only driveway. Pursuant to LDR Section 4.6.9(D)(3)(b), the minimum width for a one-way driveway or parking aisle is 12 feet. Thus this requirement is met.

Pursuant to LDR Section 4.6.9(D)(3)(a), the point of access to a street shall be a maximum of 24 feet wide unless specifically approved as a part of the site and development plan. The existing western driveway width measures 38 feet. With the redesign of this site, the proposed two-way driveway width measures 28 feet. The property is located on West Atlantic Avenue (FDOT Road) and thus approval of the driveway modifications is required from FDOT. Permits have been obtained from FDOT for the driveway connections and drainage based on the proposed design. Thus staff supports the driveway width of 28 feet.

Drive Aisle Connection:

The development proposal includes the elimination of the connecting drive aisle with the property to the east. While good planning practice prefers interconnecting driveways so that vehicles are not forced to use the street system to access adjacent properties, the LDRs does not require interconnecting driveways between adjacent properties. Additionally, there are no recorded cross-access agreements between the subject property and the property to the east. Staff has provided a notice to the abutting property owner of the proposed closure of the driveway connection.

Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides and have vision obscuring gates on the fourth side, unless such areas are not visible from a public right-of-way. A dumpster with a separate recycling enclosure is proposed. The enclosure features opaque galvanized steel gates. Thus this requirement is met.

Loading Area:

Pursuant to LDR Section 4.6.10(A) and (B), space for accommodating the unloading of merchandise, inventory, materials, supplies, and products shall be provided on the site where a use which requires such items is located. For retail establishments having a gross floor area between 10,000 sq. ft. to 20,000 sq. ft., two loading berths are recommended. A 24' x 18' loading berth is provided on the west side of the building. Additionally loading can also be accommodated in the one-way drive aisle located on the north side of the building. Thus this requirement is met.

Bicycle Facility:

Pursuant to LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan, bicycle parking facilities shall be provided for all new developments and redevelopment of sites. Bicycle parking rack that accommodates 7 bikes have been provided. Thus, this LDR requirement is met.

Lighting:

Per LDR Section 4.6.8(A)(3), the lighting requirement for the parking area is a maximum of 12.0 foot candles and a minimum of 1.0 foot candles. Within landscapes areas there are no minimum illumination levels required however the maximum foot candle allowed is 5.0 foot candles. The photometric plan complies with these stated requirements.

Additionally building entrances are required to provide a maximum of 10.0 foot candles and a minimum of 1.0. The illumination levels at the new entrances meet the requirements with a 9.7max /5.2 min.

Crime Prevention Through Environmental Design (CPTED):

A CPTED review has been conducted by the City Police Department. The CPTED review is based upon the proposed plans for the site, CPTED standards for Lighting, Natural Surveillance, and Natural Access Control. The Police Department states "typical CPTED lighting standards are an average of 3 foot candles (FC) for retail areas, 5FC for residential and 10 FC for garages. The average of the FC's on the photometric study are below the 3 FC standard and should be raised up a little bit. This area is currently very dark and has become an overnight car lot for semi-truck drivers. Tree canopies should not interfere with or block the lighting along sidewalks or parking lots. This creates shadows and areas of concealment."

Due to overnight commercial building burglaries, there needs to be some type of video surveillance, CCTV, or alarm on the property. By using video surveillance, CCTV, or an alarm will help property the property and assist with law enforcement to either apprehend or identify potential suspects in these criminal acts."

Staff recommends that "fish eye lens" are installed at the rear exit doors. This is noted as a condition of approval.

Visibility at Intersections:

Pursuant to LDR Section 4.6.14(B)(1), when an access way intersects a street or alley, 10' sight visibility triangles areas shall be provided as measured from the area on both sides of a driveway formed by the intersection of a driveway and the parcel boundary with a length of ten feet along the driveway and a length of ten feet along the property line and the third side being a line connecting the ends of the other two lines. Twenty foot sight visibility triangles are provided. The site plan notes the required line of site for State Roads. Thus, this LDR requirement is met.

Sidewalks:

Pursuant to 6.1.3, sidewalks are to provide a safe place for pedestrian travel. Generally, sidewalks are required along both sides of all streets. A six foot wide sidewalk currently exists along West Atlantic Avenue. Thus, this standard is met.

Bus Shelters:

Pursuant to LDR Section 2.4.3(D), bus shelters are required to be shown on the engineering plans for non-residential project that are greater than 10,000 sq. ft. However, when the placement of a bus shelter for a qualifying project would be located less than the standard minimum distance from an existing shelter (applied and determined by Palm Tran), the project shall contribute the full cost of the purchase and installation of a complete bus shelter. An existing bus stop is less than 100 feet from the east property line in front of the Check Cashing store, thus the full cost of the purchase and installation of a complete bus shelter is noted as a condition of approval.

Undergrounding of Utilities:

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. All existing and proposed utilities associated with the development must be located underground and a note to this effect is included site plan. Thus, the intent to meet this standard is documented accordingly.

LANDSCAPE PLAN ANALYSIS

Pursuant to LDR Section 4.6.16 (C) (1) (a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C).

The development proposal involves a 6,678 sq. ft. building addition. Pursuant to LDR Section 4.4.16(D)(4), any modification to an existing development which results in an increase of 25% in gross floor area of the structure shall require the entire site to be upgraded to present landscape standards. The landscape plan has been reviewed by the Senior Landscape Planner and has been found to be in compliance with applicable requirements of LDR Section 4.6.16.

ARCHITECTURAL ELEVATIONS ANALYSIS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The expansion of the existing building continues the two distinctive styles of architectures: the Caribbean (Bahamas) style with its attractive pastel colors and its design elements such as the typical Bahamas shutters, combined with a renovated Old Florida Vernacular style of architecture which features coral stone veneer, with a molding cornice that gives character and volume to the building.

The existing one story office/commercial building incorporates three different heights distinguished by the coral stone as the highest portion of the building, with the wales green and pool blue color on lower heights).

The proposed two story addition will feature a combination of coral stone and smooth stucco to match the existing façade. Lemon drop and pool blue colors will be utilized. A tower feature with metal standing seam roof is proposed above the main entrance on the south elevation. The molding cornice feature will be continued. New impact fixed windows with white frames and grey tint glass and decorative gooseneck wall mounted light fixtures are proposed.

The pastel colors create a signature feature for the Hessler Building and adds architectural interest to the street façade elevation. The cantilevered overhang at the main entrance creates a focal point in the existing building and protects the front entry from the climate. The coral stone also helps to break down the mass of the building while integrating it with the surrounding neighborhood. Bahamas shutters have been incorporated into the design in keeping with the tropical eclectic Caribbean character being suggested for this renovation.

Six different colors are incorporated into the building including Benjamin Moore White Marble, Tangy Orange, Wales Green, Lemon Drops, Pool Blue and Pacific Seal Teal. The proposed colors combined with the attractive white cornice shaped at different heights and different roof lines will create a visually attractive streetscape along Atlantic Avenue. The proposed architectural renovation

and addition to the existing building will significantly improve the aesthetics of the GC (General Commercial) District and will be in harmony with existing and future developments in the area; thus, positive findings can be made with respect to LDR Section 4.6.18 (E).

REQUIRED FINDINGS

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1 (A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of GC (General Commercial) and is zoned General Commercial (GC). The GC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

Section 3.1.1 (B) - Concurrency:

As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, drainage, parks and recreation, solid waste, schools and traffic.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions and Specific Areas):

As described in Appendix B, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions, upon Board approval of the requested conditions of approval.

Section 3.1.1 (D) - Compliance With the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, when all outstanding items attached as conditions of approval are addressed.

Section 2.4.5(F)(5) - Required Findings:

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values: The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>
<i>North</i>	Mobile Home (MH)	Highland Mobile Home Park
<i>East</i>	General Commercial (GC)	Check Cashing Store
<i>South</i>	Planned Residential Development (PRD)	Legacy at Sherwood Golf Course (Multiple Family Residential)
<i>West</i>	Professional Office District (POD)	Medical/Professional office

Hessler Paints has operated at this site since 2001 and is consistent with the GC Zoning district uses which allows hardware and paints stores. Thus, there will not be any adverse effects on the surrounding properties. Based upon the above, a positive finding can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed improvements are to be developed consistent with the surrounding neighborhood. No incompatibility issues with respect to soil, topographic, intensity of use and other applicable physical consideration is anticipated.

REVIEW BY OTHERS

The development proposal is not located within a geographical area requiring review by the Community Redevelopment Agency (CRA), Downtown Development Agency (DDA) or the Parking Management Advisory Board (PMAB).

The development proposal was reviewed by the Green Implementation Advancement Board (GIAB) on December 15, 2016. The applicant indicated that the building will incorporate several sustainable design features such as water efficient plumbing, LED light fixtures, a lighting control system for efficiency, standard 14 SEER air conditioning equipment.

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations and/or civic groups.

- Highland Park Company
- Sherwood Forest Homeowners Association
- Sunset Park Homeowners Association
- Colony Palms

ASSESSMENT AND CONCLUSION

The proposed site changes will significantly improve the aesthetics of the building and site. The building addition will expand the storage capacity of the store and eliminate the unsightly appearance of outdoor storage containers. All proposed site improvements and architectural changes are compatible with the surrounding area. Once the conditions of approval are met, the site plan will be consistent with the policies of the Comprehensive Plan and the Land Development Regulations.

ALTERNATIVE ACTIONS

- A. Approve the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.
- B. Approve with conditions the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.
- C. Deny the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.

STAFF RECOMMENDATION

By separate actions:

Special Action Parking Reduction:

Approve the special action parking reduction request for **Hessler Paint** to provide 32 spaces whereas 44 spaces is required, in accordance with LDR Section 4.6.9(F)(1), which allows for reduced parking when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) reject the special documentation as to why the additional twelve parking spaces are not supportable evidence to reduce the required parking, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval. *See Site Plan condition #3 below.*

Site Plan*:

Approve with conditions the Class IV Site Plan Modification for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings) and Chapter 3 (Performance Standards) of the Land Development regulations as follows:

1. Submit an executed hold harmless agreement for the FDOT utility permit application where the City is the permittee prior to the issuance of the building permit.
2. A contribution for the full cost of the purchase and installation of a complete bus shelter is required prior to the issuance of the building permit.
3. If the parking reduction is not approved, the site design layout shall be revised to accommodate the required parking.

Site Plan Review and Appearance Board Staff Report: February 22, 2017
Hessler Paint - Class IV Site Plan Modification

4. That fish eye lens" are installed at the rear exit doors.
5. That approval of the product data sheet information is obtained from the Fire Department to determine if any special requirements may be necessary for the storage and display of flammable or combustible liquids and/or other regulated hazardous materials prior to the submittal of a building permit application.

***Note:** If the site plan is denied no further action shall be taken on the landscape plan and architectural elevation plan.

Landscape Plan:

Approve the Landscape Plan for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16.

Architectural Elevations:

Approve the Architectural Elevations for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development regulations.

Attachments:

Appendices "A" & "B", Site Plan, Landscape Plan, Architectural Elevations, Engineering Plan, Photometric Plan, Survey

APPENDIX A
CONCURRENCY FINDINGS

Pursuant to Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- ☐ Water service is provided via connections to the existing 12" water main along West Atlantic Avenue.
- ☐ Sewer service is provided via connections to the existing 8" sewer main along West Atlantic Avenue.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic:

A traffic study has been submitted that indicates that proposed addition will result in an increase of 8 new net daily trips, 0 new net AM Peak Hour and 1 new net PM Peak Hour trips. A finding of concurrency has been issued from Palm Beach County.

Parks and Recreation Facilities:

Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste:

The proposed addition will generate 34.05 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

School Concurrency:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have any impacts with respect to this standard.

Drainage:

No additional paved areas are proposed. There are no problems identified with the existing on-site drainage.

APPENDIX B
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____
Meets intent X
Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____
Meets intent X
Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable _____
Meets intent X
Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable X
Meets intent _____
Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X
Meets intent _____
Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable ☒ X
Meets intent
Does not meet intent

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable
Meets intent ☒ X
Does not meet intent

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable
Meets intent ☒ X
Does not meet intent

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable ☒ X
Meets intent
Does not meet intent

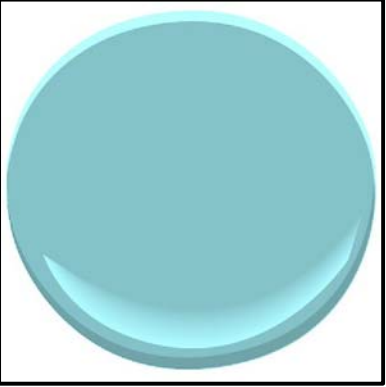
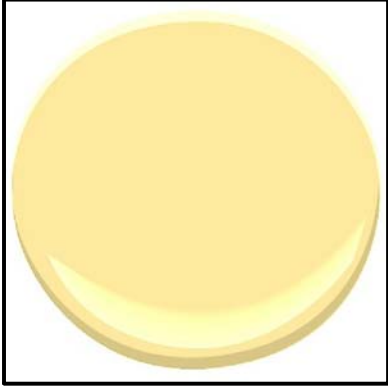
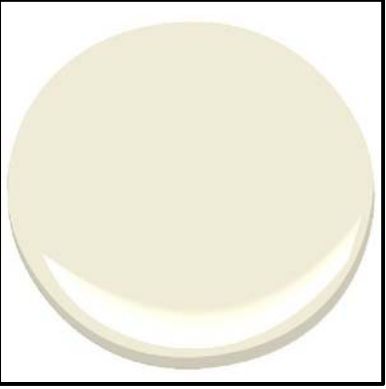


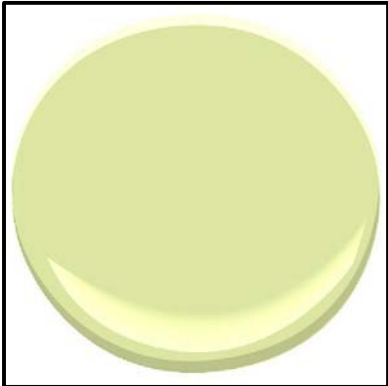
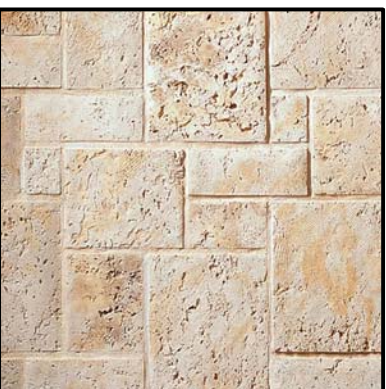
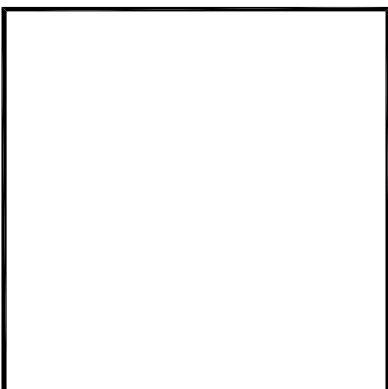


Front (South) Elevation
3/16" SC



Side (West) Elevation
3/16" SC

COLORS

 C-1 Application: Stucco Benjamin Moore 2052-50 Pool Blue	 C-2 Application: Stucco Benjamin Moore 2019-50 Lemon Drops
 C-3 Application: Trim, sill, brackets Benjamin Moore OC-34 Marble White	 C-4 Application: Shutters, letters, canopy Benjamin Moore 2014-30 Tangy Orange
 C-5 Application: Sign, lighting fixtures Benjamin Moore 2049-10 Pacific Sea Teal	 C-6 Application: Stucco Benjamin Moore 2028-50 Wales Green
 S-1 Application: Coral Random ashlar pattern to match exist.	 D-1 Application: Storefront, window frames White ESP finish with low E insulated glass to match exist.

Color Elevations
3/16"SC

ARCHITECTURE
RICK BRAUTIGAN
10255 Dixie Highway
Delray Beach, FL 33483
Ph: 561.272.9086
Fax: 561.272.5636
AAC002029

Level II Alteration
& Addition
Hessler Paint
4591 W. Atlantic Ave.
Delray Beach, FL

RBA: PN: 11015.02

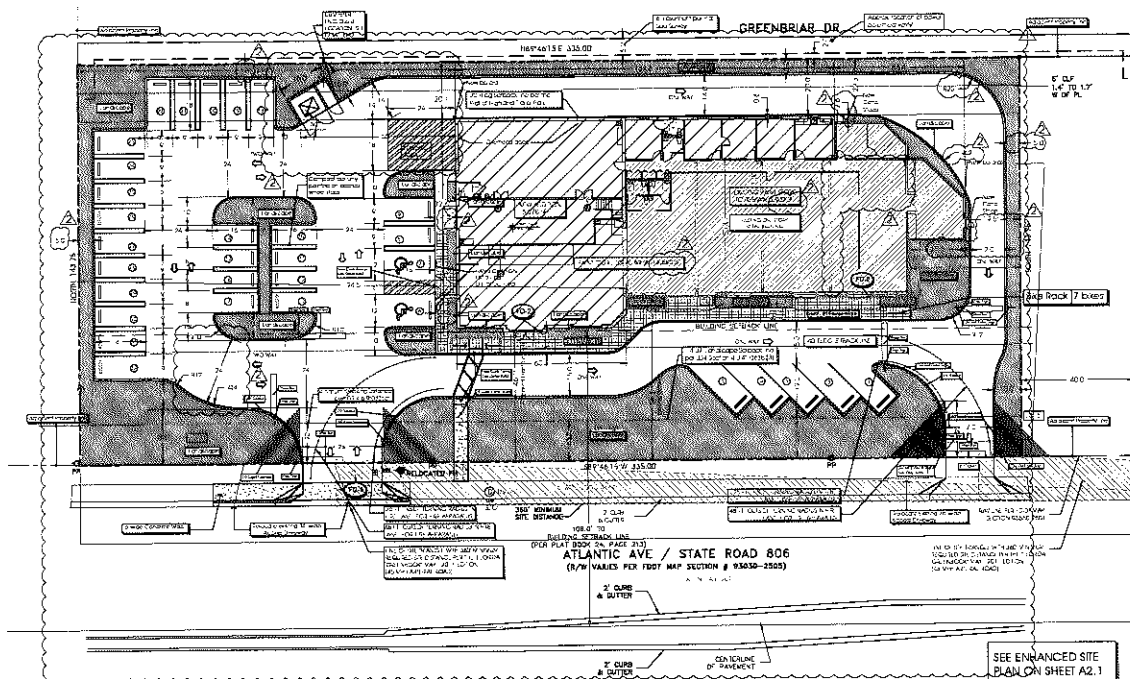
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- 4-25-16: SPRAB Set
- 11-23-16: G.C. Bid Set

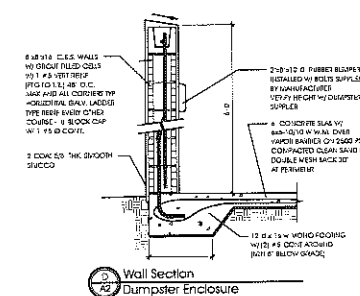
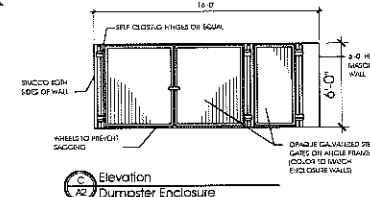
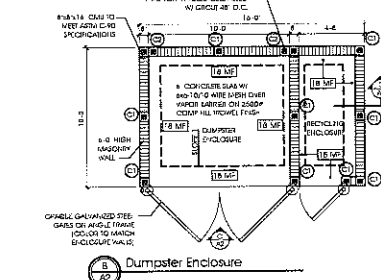
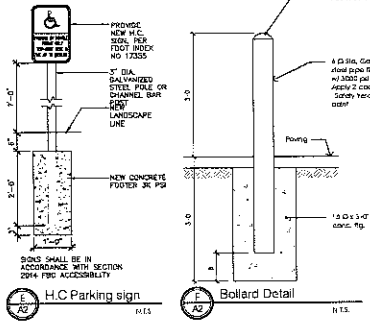
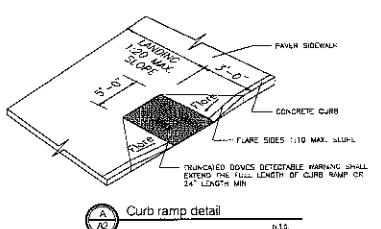
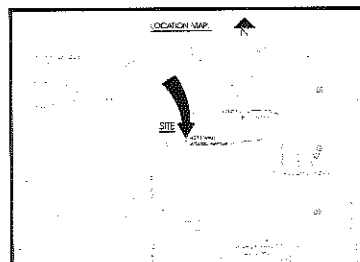
Revisions:

- 12-1-16: P/Z_SPRAB Comments

© PAUL RICHARD BRAUTIGAN, ARCHITECT ARO011073



Proposed Site Plan w/ Addition



APPLICABLE CODES

- Florida Building Code 2014 Edition including FBC Existing Building & FBC Accessibility
- Florida Fire Prevention Code 5th Edition 2012
- NFPA 1 & 101 (Life Safety Code Florida specific editions)

OCCUPANCY: Mercantile
TYPE OF CONSTRUCTION: V-B

STRUCTURAL DATA:

- Basic Wind Speed: 170
- Wind Importance Factor: 1.0
- Category: 2
- Wind Exposure: C
- Internal Pressure Coefficient: See Elevation Enclosure
- Building design: -7.0 to 18
- Soil Bearing Cap. Min: 2,500 PSF

NO OUTSIDE STORAGE WILL BE PROVIDED

FACILITY WILL SERVICE 25 LONG BOX TRUCKS

Fire Department Notes:

- Will provide Life Safety plan @ Building Point
- Existing New Knox Box @ 48' Ap. Fin. Work
- Type of construction is type V-B. Proposed Building a 100' sprinklered
- Min. 2nd Bldg. Numbers (see elevation)
- Existing Fire Hydrants to be relocated appropriately along Atlantic Ave.

ZONING: GC GENERAL COMMERCIAL

SITE DATA:

TOTAL SITE AREA: 48,150.25 S.F. (1.105 ACRES)

BUILDING DATA	EXISTING	PROPOSED	TOTAL	% SITE
PRINCIPAL USE: HARDWARE/PAINT STORE				
GROUND FLOOR AREA:	5,922 S.F.	5,730 S.F.	11,652 S.F.	24%
UPPER FLOOR AREA:	N/A	948 S.F.	948 S.F.	2%
TOTAL BUILDING AREA:			12,580 S.F.	26%
TOTAL LOT COVERAGE:			23,266 S.F.	22%
LANDSCAPE AREA:			11,800 S.F.	25%
IMPERVIOUS AREA:			25,670.26 S.F.	53%

PARKING:

EXISTING BLDG. PARKING TO REMAIN: 26 SPACES

REQUIRED PARKING PER STUDY BY MACKENZIE ENGINEERING & PLANNING:
- PARKING DEMAND FOR OCCUPIED PAINT STORE (6,092 S.F.): 15 SPACES
- PARKING DEMAND FOR PROPOSED PAINT STORE (12,580 S.F.): 32 SPACES

TOTAL ESTIMATED PARKING SUPPLY NEEDED AT THE SITE - 32 SPACES

	Required	Provided
TOTAL REQUIRED PARKING (PER STUDY):	32	39
STANDARD SPACES	22	22
COMPACT SPACES (32' x 9'-6")	9 ALLOWED	8
HC SPACES	2	2

SITE CONSTRAINTS:

BUILDING DATA CONSTRAINTS PURSUANT TO LDR 4.3.4 (3) DEVELOPMENT STANDARDS MATRIX

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT (SOUTH):	30'	68'-4"	46'-1"
SIDE INTERIOR (EAST):	10'	19'-3" (E) 194'-5" (W)	19'-3" (E) 134'-2" (W)
REAR (NORTH):	10'	22'-3"	23'-0"
HEIGHT:	48' ALLOW.	18'-0"	32'-4" (MAX.)

LOT DATA:

	REQUIRED	EXISTING TO REMAIN	PROPOSED
LOT SIZE:	0	1,105 ac.	1,105 ac.
LOT WIDTH:	0	235'	335'
LOT DEPTH:	0	143'-9"	143'-9"
LOT FRONTAGE:	0'	335'	335'
LOT COVERAGE:	75% MAX.	11.93%	48.3%
MIN. FLOOR AREA:	N/A	5,922 S.F.	12,580 S.F.

EXISTING STORAGE UNITS SHALL BE SCREENED AND TEMPORARY SCREENING SHALL BE INSTALLED PENDING CONSTRUCTION AT THE SITE

OVERNIGHT PARKING/STORAGE OF TRACTOR TRAILERS ARE NOT ALLOWED IN THE GENERAL COMMERCIAL DISTRICT

ALL UTILITIES SHALL BE UNDERGROUND

Existing/Proposed Site Plan Data/Details

Level Alteration & Addition
Hessler Point
459 W. Atlantic Ave.
Daytona Beach, FL
32118-1050

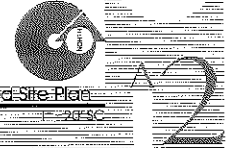
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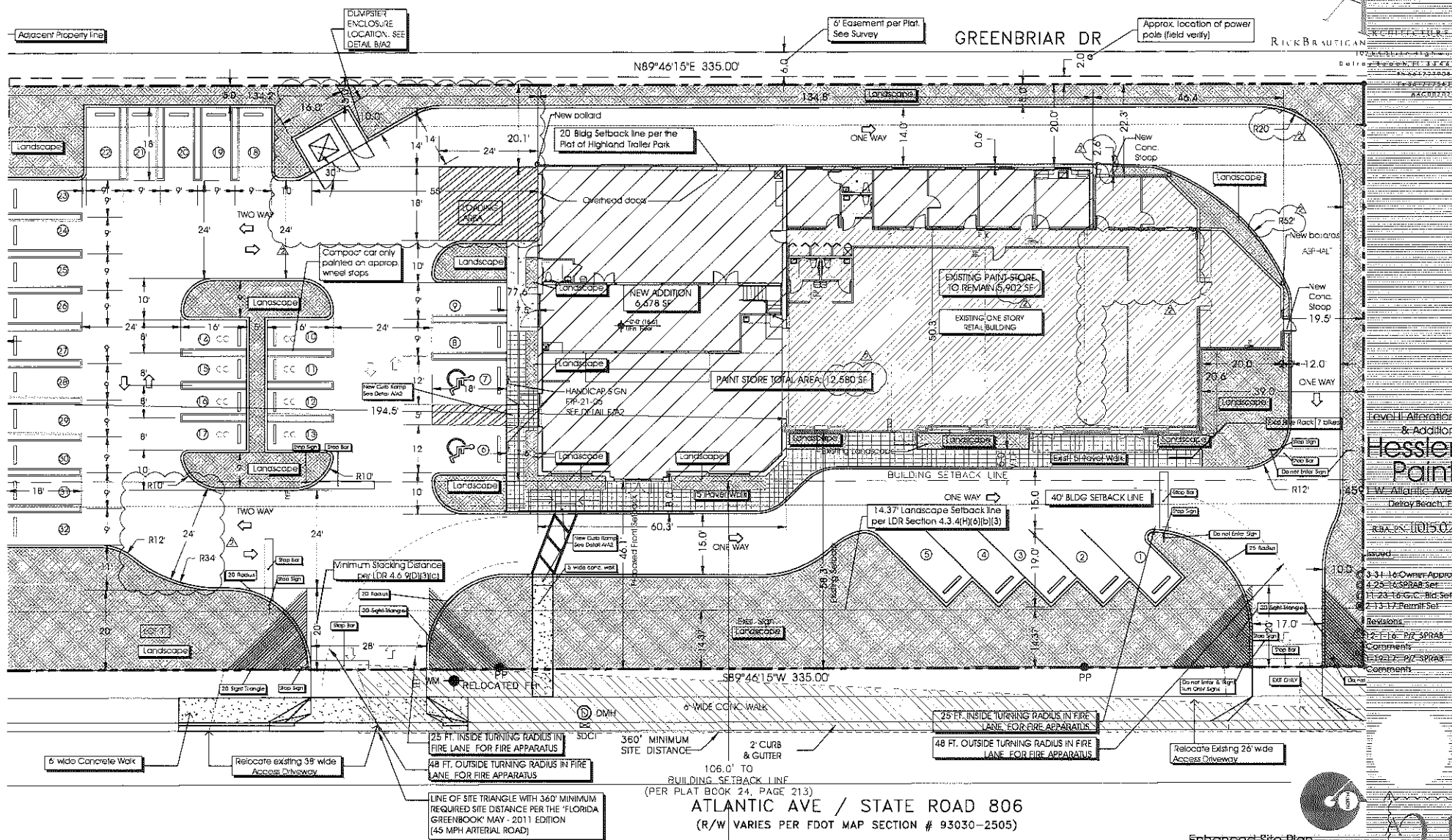
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- 4-29-15 SPRAS Set
- 11-23-15 GC Bid Set
- 2-13-17 Permit Set

Revisions:

- 12-11-16 - R2 - SPRAS
- 1-19-17 - P2 - SPRAS

Comments:





Proposed Site Plan w/ Addition

Scale 1"=10'

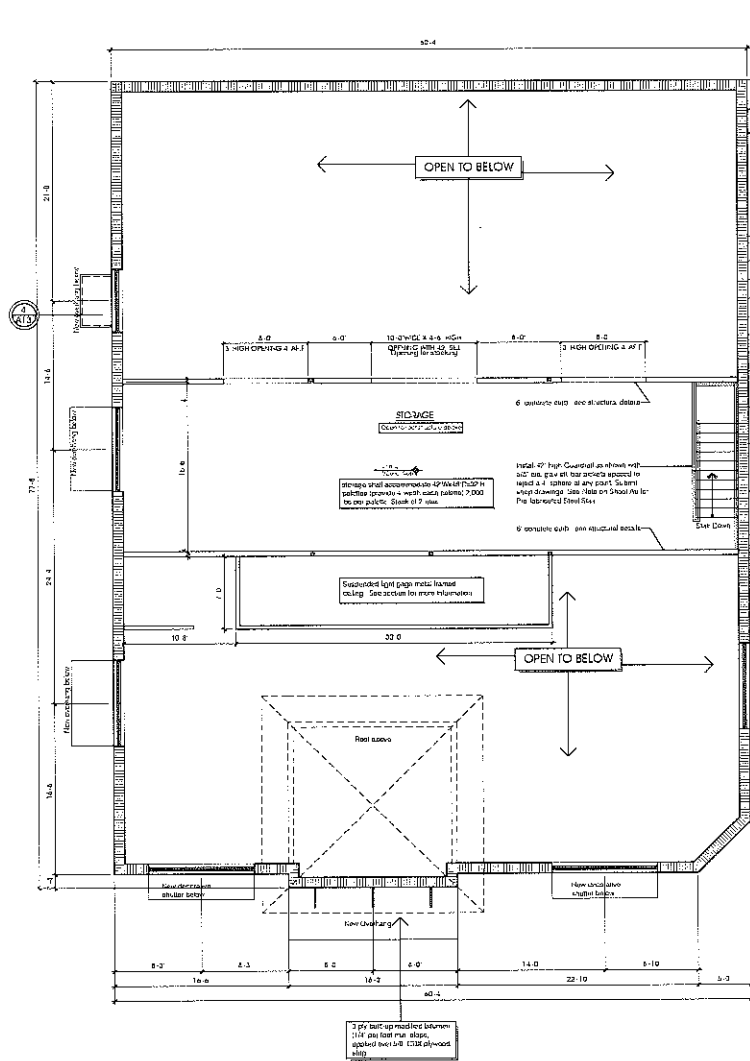
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(R/W VARIES PER FDOT MAP SECTION # 93030-2505)

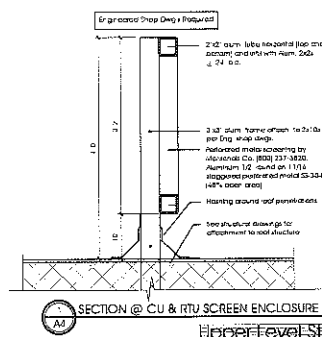
Enhanced Site Plan

1"=10'

2



Proposed Upper Level Floor Storage/Lower Roof Plan
3/16/SC



Upper Level Storage Plan &
Lower Roof Plan
1/4" SC

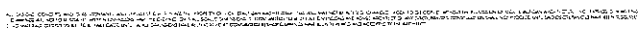
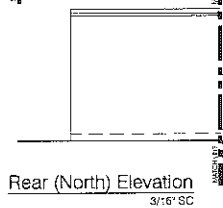
RELOCATED CU4
RTU #1
NEW ROOF
RELOCATED CU3
RELOCATED CU2
RELOCATED CU1
3' Cont. Cont. slip. system
Perforated metal screening per engineered shop drawings around all RTU and CU units on roof. See Screen Detail 1/A4.

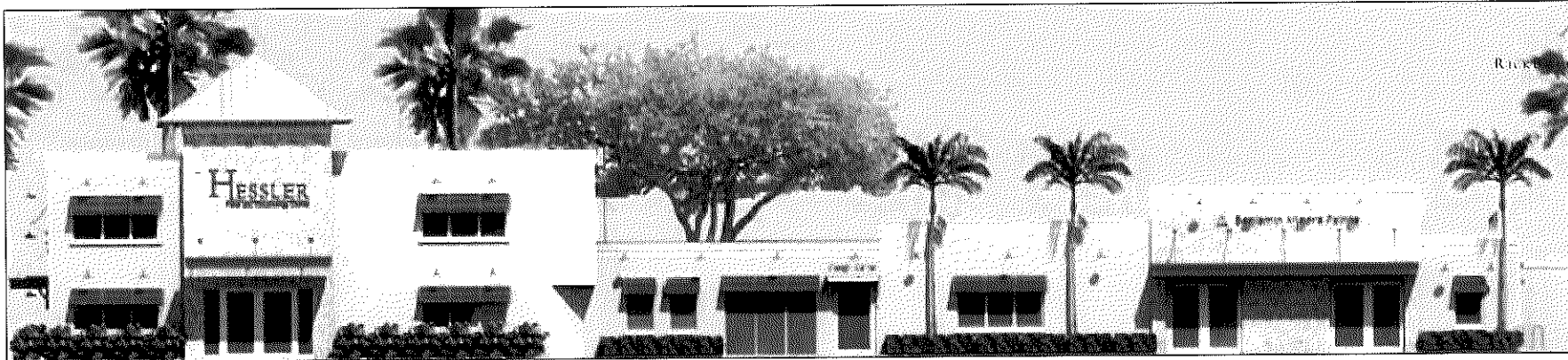
Level II Attention & Addition
Hessler Point
4591 W. Atlantic Ave.
Delray Beach, FL
33426-1015

Issued
3-31-16 Owner Approval
4-29-16 SP-008 Set
12-23-16 G-17 Bid Set

Revisions
12-1-16 SP-008
Comments

1/4" SC

[illegible]

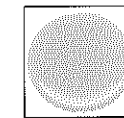


Front (South) Elevation
3/16" SC

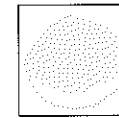


Side (West) Elevation
3/16" SC

COLORS



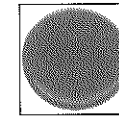
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Benjamin Moore: OC-142 Pale Blue



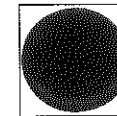
C-2 Application: Stucco
Benjamin Moore: OC-142 Pale Blue



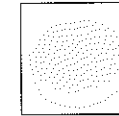
C-3 Application: Iron ore, enamel
Benjamin Moore: OC-142 Pale Blue



C-4 Application: Stucco, metal, canopy
Benjamin Moore: OC-142 Pale Blue



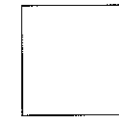
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Benjamin Moore: OC-142 Pale Blue



C-6 Application: Stucco
Benjamin Moore: OC-142 Pale Blue



C-7 Application: Cast
Benjamin Moore: OC-142 Pale Blue

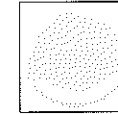
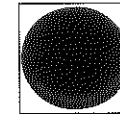
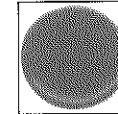
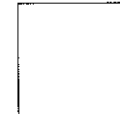
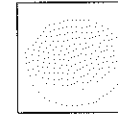
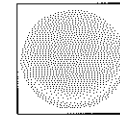
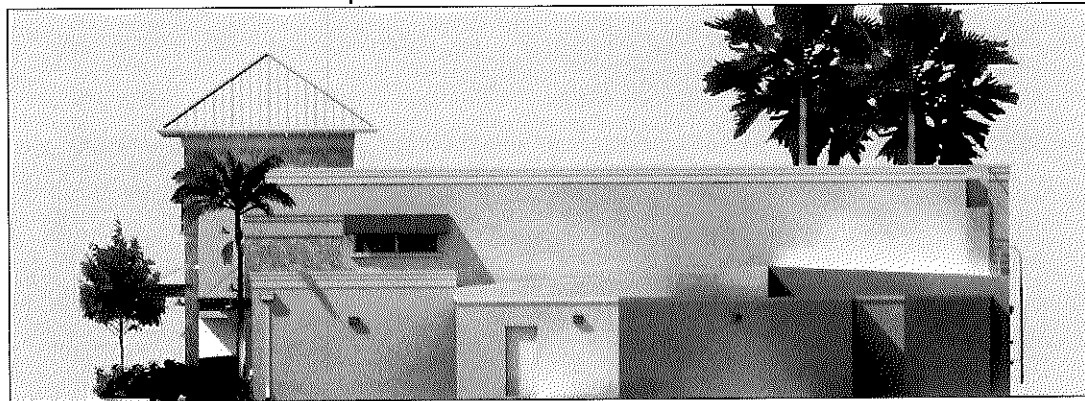
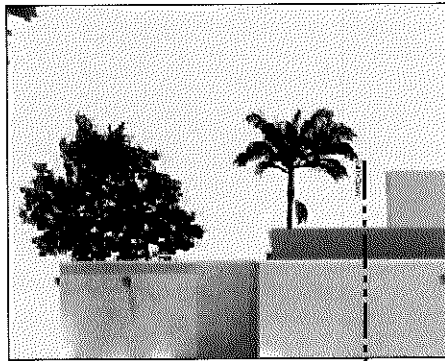



C-8 Application: Stucco window frame
Benjamin Moore: OC-142 Pale Blue

Color Elevations

REVISIONS

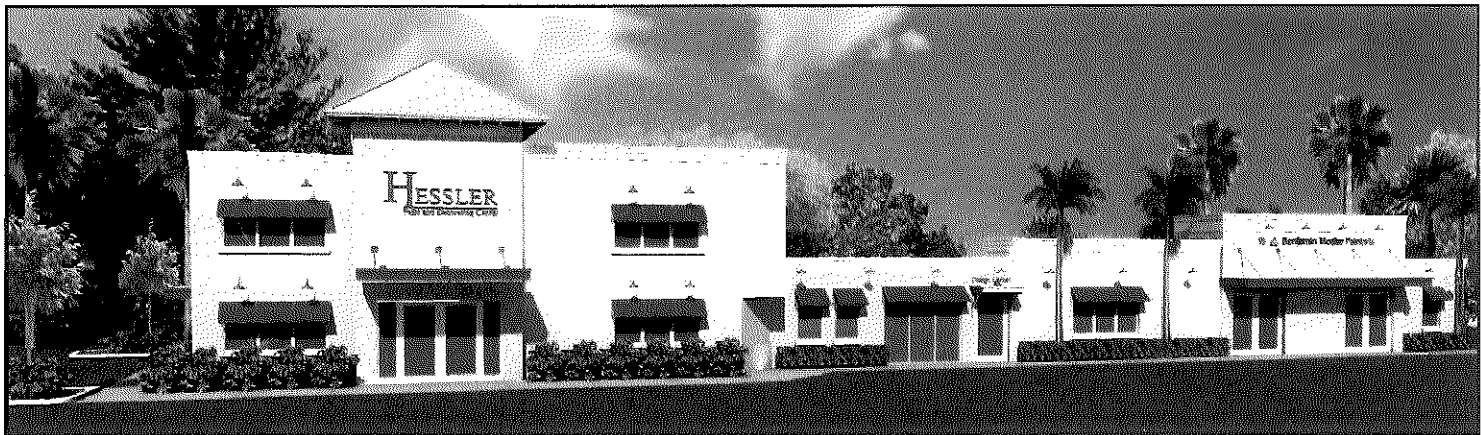
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2	11/15/16	Revisions to Design
3	12/15/16	Final Design
4	01/15/17	Revisions to Design
5	02/15/17	Final Design
6	03/15/17	Revisions to Design
7	04/15/17	Final Design
8	05/15/17	Revisions to Design
9	06/15/17	Final Design
10	07/15/17	Revisions to Design
11	08/15/17	Final Design
12	09/15/17	Revisions to Design
13	10/15/17	Final Design
14	11/15/17	Revisions to Design
15	12/15/17	Final Design
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69	06/15/22	Final Design
70	07/15/22	Revisions to Design
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172	01/15/31	Revisions to Design
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182	11/15/31	Revisions to Design
183	12/15/31	Final Design
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284	05/15/40	Revisions to Design
285	06/15/40	Final Design
286	07/15/40	Revisions to Design
287	08/15/40	Final Design



	
10245 VICTORIA DRIVE, Suite 1000 Detroit, MI 48202 Tel: 313.777.7777 Fax: 313.777.7777 E-Mail: info@hessler.com	
Project Name: Level II Alteration & Addition Project Address: 459 W. Atlantic Ave., Detroit, MI 48202 Project Number: 1001502 Project Date: 11/15/02 Project Status: Issued	
Project Description: 3-31-16 Owner Approval 4-25-16 SPRAB Set 11-23-16 G.C. Bid Set	
Revisions: 12-16-16 PZ SPRAB COMMENTS	
Project Notes: 3B-6SC	

Hessler Paint Store Addition

4591 West Atlantic Ave · Delray Beach · FL



PROPOSED BUILDING

INDEX OF DRAWINGS

BUILDING ARCHITECTURE

RICK BRAITHWAITE ARCHITECT, P.A.
1025 South Dixie Highway
Delray Beach, Florida 33433

No.	Title	Issued	Revisions
A1.	Cover Sheet	4-25-16	12-1-16
A2.	Architectural Site Plan (Detail)	4-25-16	12-1-16
A2.1	Enhanced Architectural Site Plan	12-1-16	
A2.2	Handcraft/Landscape artist Site Plan	12-1-16	
A3.	1st Floor Plan	4-25-16	12-1-16
A4.	Upper Level/Floor Plan/Lower Floor Plan	4-25-16	12-1-16
A5.	Elevations	4-25-16	12-1-16
A6.	Elevations	4-25-16	12-1-16
A7.	Color Elevations	4-25-16	12-1-16
A8.	Color Elevations	4-25-16	12-1-16
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A10.	Photometrics Plan	4-25-16	12-1-16
A11.	Photometrics Light Fixture Specifications	4-25-16	12-1-16
A12.	Composited Overlay	4-25-16	12-1-16

CIVIL ENGINEERING

JOHN F. GUNDEL, P.E.
3333 North Federal Highway
Delray Beach, FL 33431

No.	Title	Issued	Revisions
C1.	Cover Sheet	4-25-16	12-1-16
C2.	Stormwater Erosion Control & Details	4-25-16	12-1-16
C3.	General Notes & Drainage Details	4-25-16	12-1-16
C4.	Paving Details & Specs	4-25-16	12-1-16
C5.	Paving/Grading/Drainage Improvements	4-25-16	12-1-16
C6.	Proposed Civil Improvements within Atlantic Ave ROW	12-1-16	
C7.	Boundary & Topographic Survey	4-25-16	12-1-16

LANDSCAPE ARCHITECTURE

CARROLL & ASSOCIATES, LANDSCAPE ARCHITECTS, P.C.
74 NE 28th Avenue
Delray Beach, FL 33483

No.	Title	Issued	Revisions
L1.	Overall Landscape Plan	4-25-16	12-1-16
L2.	Landscape Notes & Details	4-25-16	12-1-16

RICK BRAITHWAITE ARCHITECT, P.A.
1025 SOUTH DIXIE HIGHWAY
DELRAY BEACH, FLORIDA 33433
TEL: 561.777.1747
FAX: 561.777.1748
WWW.RICKBRAITHWAITEARCHITECT.COM

Level II Alteration
& Addition
**Hessler
Paint**
4591 W. Atlantic Ave.
Delray Beach, FL

RUBA-PN-11015-02

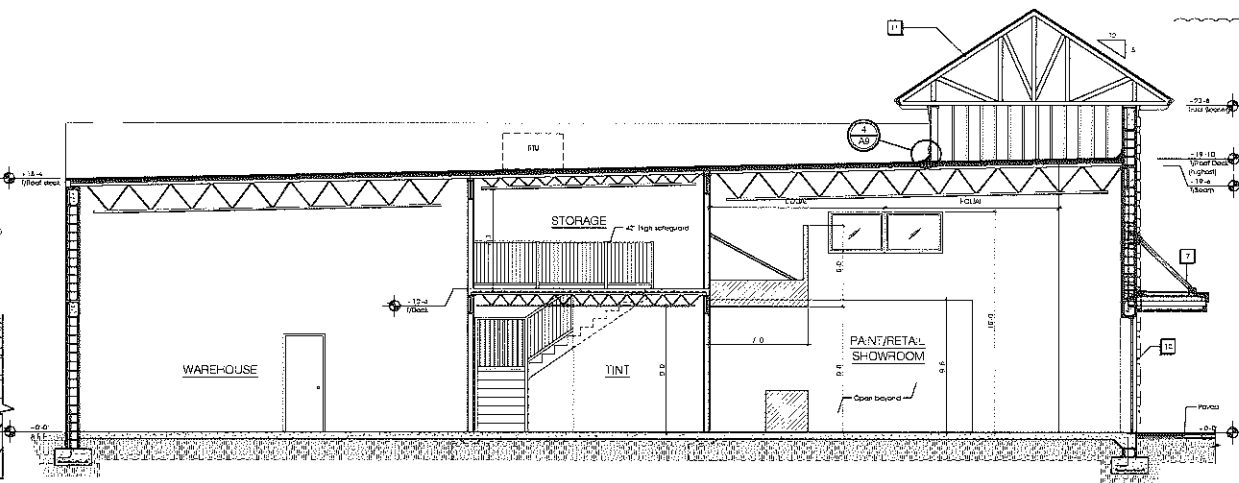
Issued


3-31-16 Owner Approval
4-25-16 SP/AB Set
11-23-16 C.C. Bid Set

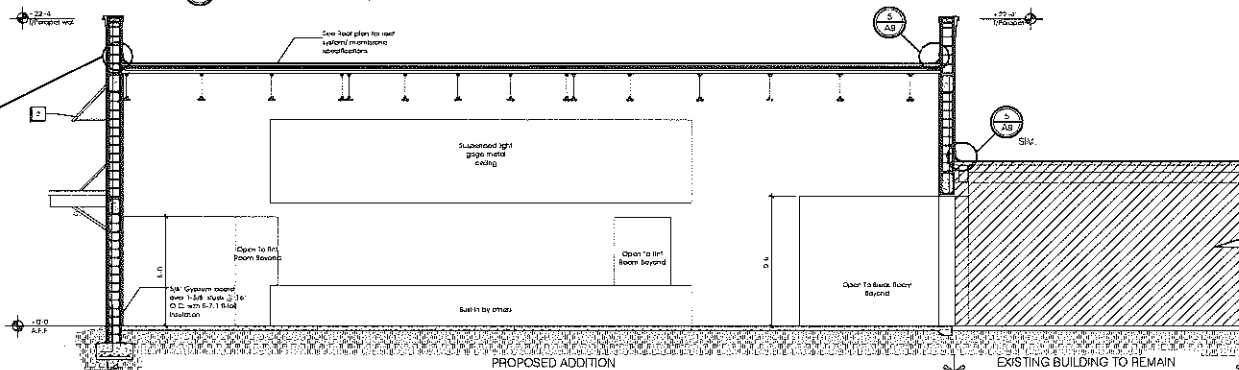
Revisions:


12-1-16 SP/AB
Comments:

Cover Sheet



 Building Section 1/4" SC



 Building Section 1/4" = 5'

[illegible][illegible]

© 3-34-16 Owner Approval
 © 4-29-16 SPBAS Set
 © 11-23-16 G.C. Bid Set

Revisions:

12-1-16: PZ SPRAB

Comments:







[illegible]

<p> QUESTION 1. The following table shows the number of people who attended the 2008 Summer Olympics in Beijing, China. The table is organized by country and by gender. The total number of people who attended the 2008 Summer Olympics is 11,238. The total number of people who attended the 2008 Summer Olympics by country is 1,123.8. The total number of people who attended the 2008 Summer Olympics by gender is 1,123.8. The total number of people who attended the 2008 Summer Olympics by country and gender is 1,123.8. </p>		
Country	Gender	Number of people
USA	Male	1,123.8
USA	Female	1,123.8
China	Male	1,123.8
China	Female	1,123.8
France	Male	1,123.8
France	Female	1,123.8
Germany	Male	1,123.8
Germany	Female	1,123.8
Italy	Male	1,123.8
Italy	Female	1,123.8
Japan	Male	1,123.8
Japan	Female	1,123.8
South Korea	Male	1,123.8
South Korea	Female	1,123.8
Spain	Male	1,123.8
Spain	Female	1,123.8
Great Britain	Male	1,123.8
Great Britain	Female	1,123.8
Australia	Male	1,123.8
Australia	Female	1,123.8
Canada	Male	1,123.8
Canada	Female	1,123.8
Italy	Male	1,123.8
Italy	Female	1,123.8
France	Male	1,123.8
France	Female	1,123.8
Germany	Male	1,123.8
Germany	Female	1,123.8
China	Male	1,123.8
China	Female	1,123.8
USA	Male	1,123.8
USA	Female	1,123.8
Japan	Male	1,123.8
Japan	Female	1,123.8
South Korea	Male	1,123.8
South Korea	Female	1,123.8
Spain	Male	1,123.8
Spain	Female	1,123.8
Great Britain	Male	1,123.8
Great Britain	Female	1,123.8
Australia	Male	1,123.8
Australia	Female	1,123.8
Canada	Male	1,123.8
Canada	Female	1,123.8
Italy	Male	1,123.8
Italy	Female	1,123.8
France	Male	1,123.8
France	Female	1,123.8
Germany	Male	1,123.8
Germany	Female	1,123.8
China	Male	1,123.8
China	Female	1,123.8
USA	Male	1,123.8
USA	Female	1,123.8
Japan	Male	1,123.8
Japan	Female	1,123.8
South Korea	Male	1,123.8
South Korea	Female	1,123.8
Spain	Male	1,123.8
Spain	Female	1,123.8
Great Britain	Male	1,123.8
Great Britain	Female	1,123.8
Australia	Male	1,123.8
Australia	Female	1,123.8
Canada	Male	1,123.8
Canada	Female	1,123.8
Italy	Male	1,123.8
Italy	Female	1,123.8
France	Male	1,123.8
France	Female	1,123.8
Germany	Male	1,123.8
Germany	Female	1,123.8
China	Male	1,123.8
China	Female	1,123.8
USA	Male	1,123.8
USA	Female	1,123.8
Japan	Male	1,123.8
Japan	Female	1,123.8
South Korea	Male	1,123.8
South Korea	Female	1,123.8
Spain	Male	1,123.8
Spain	Female	1,123.8
Great Britain	Male	1,123.8
Great Britain	Female	1,123.8
Australia	Male	1,123.8
Australia	Female	1,123.8
Canada	Male	1,123.8
Canada	Female	1,123.8
Italy	Male	1,123.8
Italy	Female	1,123.8
France	Male	1,123.8
France	Female	1,123.8
Germany	Male	1,123.8
Germany	Female	1,123.8
China	Male	1,123.8
China	Female	1,123.8
USA	Male	1,123.8
USA	Female	1,123.8
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South Korea	Male	1,123.8
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Spain	Male	1,123.8
Spain	Female	1,123.8
Great Britain	Male	1,123.8
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Australia	Female	1,123.8
Canada	Male	1,123.8
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Italy	Male	1,123.8
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France	Male	1,123.8
France		

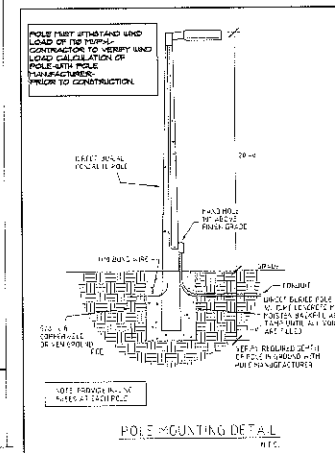
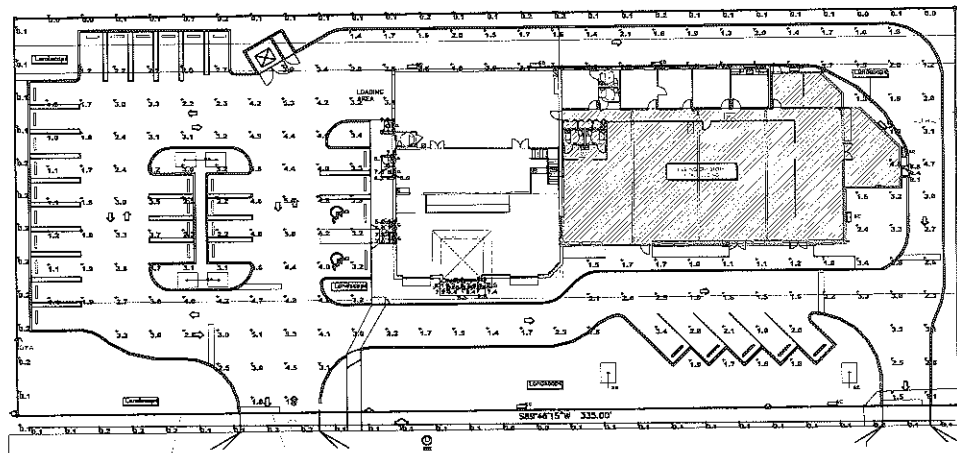
A close-up photograph of a document, likely a technical drawing or a form. The document features a large, stylized number '9' in the center. To the left of the '9', there is a temperature reading '1/4°C'. The document is filled with various lines of text, some of which are partially obscured by the '9' and the temperature reading. The text appears to be a mix of English and Chinese characters. The overall image is somewhat blurry, suggesting it might be a scan of a physical document.

Building Section

14:50

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
	2	5A	BACK-BACK	N.A.	0.950	BEACON VP-5-60NB-136-5K-T4-BLC POLE MTD. - 20' A.G.	137
	4	5B	SINGLE	N.A.	0.950	BEACON VP-5-60NB-136-5K-T4-BLC POLE MTD. - 20' A.G.	137
	4	5D	SINGLE	N.A.	0.950	HUBBELL LNC-9LU-5K-2 BLDG. MTD. - 12' A.G.	22.1
	2	5E	SINGLE	N.A.	0.950	HUBBELL LNC-2LU-5K-3 BLDG. MTD. - 12' A.G.	29.6
	1	5F	SINGLE	N.A.	0.950	HUBBELL LNC-7LU-5K-3 BLDG. MTD. - 12' A.G.	15.4
	6	5G	SINGLE	N.A.	0.950	DMF DRD24NC/DRD2N/10930/DRD2T4SWH IN CANOPY	14.2

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVES & PARKING	Illuminance	Fc	2.63	8.8	1.0	2.63	5.80
LEFT ENTRY LOWER	Illuminance	Fc	6.65	7.6	5.28	1.44	1.44
LEFT ENTRY UPPER	Illuminance	Fc	6.51	8.1	5.13	1.26	1.26
LEFT SINGLE DOOR ENTRY	Illuminance	Fc	7.60	7.7	5.81	1.03	1.03
MAIN FRONT ENTRY	Illuminance	Fc	7.76	8.5	6.5	1.19	1.31
PROPERTY LINE - LEFT	Illuminance	Fc	0.15	0.2	0.1	1.50	2.00
PROPERTY LINE - LOWER	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
PROPERTY LINE - RIGHT	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.
PROPERTY LINE - UPPER	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.
RIGHT SIDE ENTRY	Illuminance	Fc	8.13	8.4	7.3	1.03	1.06



RICK BRAUTIGAN

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Level II Alteration
& Addition
Hessler
Pain
459 W. Atlantic Ave.
Delray Beach, FL

3-31-16: Owning Appr
 4-25-16: SPRAB SET
 11-23-16: G.C. Bid Se
 2-14-17: Revamp Set

Revisions: _____

① P2-16: P2-SPRAB
Comments: _____

② P2-17: P2-SPRAB
Comments: _____

Photometrics Plan

VIPER S SERIES

REVISIONS

DESCRIPTION

DETAILS

NOTES

REVISIONS

DESCRIPTION

DETAILS

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Level II Alteration
& Addition
**Hessler
Paint**
459 W. Atlantic Ave.
Delray Beach, FL
RUBEN H015.02

Revisions:
12-1-16: PZ-SPR28
Comments:



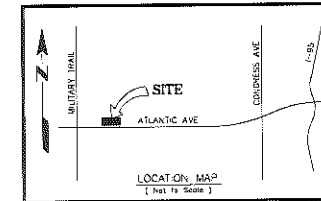
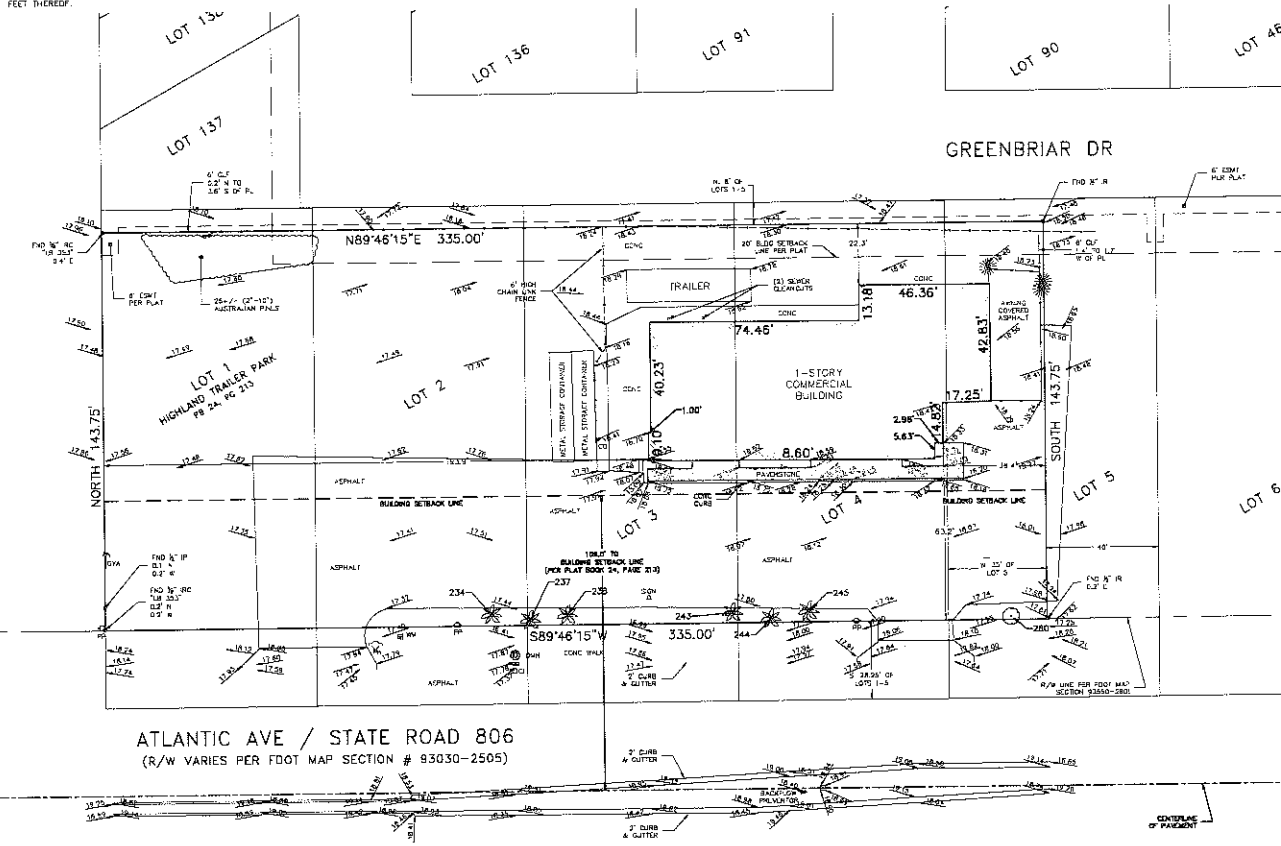
Light Fixture Curisheets



PROPERTY DESCRIPTION

LOTS 1, 2, 3, 4 AND WEST 35 FEET OF LOT 5, HIGHLAND TRAILER PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 24, PAGE 213, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE SOUTH 28.25 FEET THEREOF AND LESS THE SOUTH 5.00 FEET THEREOF.

SKETCH OF SURVEY



GRAPHIC SCALE IN FEET
SCALE 1" = 20'

LEGEND

A	= Arc Length
BM	= Benchmark
BUILD	= Building
C	= Calculated
CATV	= Cable Television Riser
CLF	= Chain Link Fence
CBS	= Concrete Block Structure
CM	= Concrete Monument
CONC	= Concrete
CP	= Concrete Pole
D	= Central Angle
DE	= Drainage Easement
DRNG	= Drainage
ESMT	= Easement
ELEV	= Elevation
F	= Measured in field or calculated from field measurements
FD	= Fire Hydrant
FND	= Found
FPL	= Florida Power & Light
GV	= Gate Valve
HM	= Handmade
IP	= Iron Pipe
IR	= Iron Rod
IRAC	= Iron Rod & Plastic Cap
LAE	= Limited Access Easement
LP	= Light Pole
LME	= Lake Maintenance Easement
NAD	= North and Dist
OWB	= Overlaid Wire
ORB	= Official Record Book
P	= Plot
PB	= Plot Book
PBCA	= Palm Beach County Records
PCP	= Permanent Control Point
PG	= Page
PL	= Property Line
PRM	= Permanent Reference Monument
R	= Radius
R/W	= Right-of-Way
SBT	= Southern Bell Riser
SIRC	= Set Iron Rod & Plastic Cap
SWK	= Sidewalk
UE	= Utility Easement
WM	= Water Meter
WP	= Wood Pole

STREET ADDRESS:
4591 ATLANTIC AVE
DELRAY BEACH, FL

SURVEY NOTES

- THE BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH ALONG THE WEST BOUNDARY OF SAID LOT 1 OF SAID HIGHLAND TRAILER PARK PLAT.
- OWNERSHIP OF FENCES AND WALLS SHOWN ON THIS DRAWING WERE NOT DETERMINED.
- SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SIZE OR SHAPE OF THE FEATURE.
- NO TITLE OPINION OR ABSTRACT HAS BEEN PROVIDED. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR. THERE MAY BE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS EITHER RECORDED OR UNRECORDED, WHICH MAY AFFECT THE SUBJECT PROPERTY.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE-GROUND IMPROVEMENTS ONLY. UNDERGROUND FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED OR SHOWN HEREON. ANY UTILITY LINES SHOWN HEREON WERE LOCATED AS PLANT MARKS ON THE GROUND, AS MARKED BY OTHERS.
- THESE THINGS ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, ZOOLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.
- INSTRUMENTS OF RECORD SHOWN HEREON REFER TO THOSE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA UNLESS NOTED OTHERWISE.

BOUNDARY SURVEY:

I HEREBY CERTIFY: This sketch of survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction and conforms to the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 117, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

THOMAS F. LUBANOVICH DATE OF LAST FIELD WORK
Professional Surveyor & Mapper No. 8935
State of Florida

Not Valid Without The Signature And The Original Raised Seal Of A
Florida Licensed Surveyor And Mapper

03/08/2016

4	UPDATE SURVEY TO INCLUDE BUILDING SETBACK LINE	IFL	07/01/16
3	UPDATE SURVEY - FB 2180-PC 18-18	IFL	03/16/16
2	UPDATE SURVEY	SAR	2/19/15
1	UPDATE SURVEY	SAR	11/22/13
NO	REVISION	BY	DATE

BOUNDARY & TOPOGRAPHIC SURVEY OF PROPERTY DESCRIBED HEREON

LOTS 1, 2, 3, 4 & WEST 35 FEET OF LOT 5,
HIGHLAND TRAILER PARK
PLAT, PALM BEACH COUNTY, FLORIDA

JOHN A. GRANT, JR., INC.

CONSULTING ENGINEERS

3323 NORTH FEDERAL HIGHWAY

BOCA RATON, FLORIDA 33431

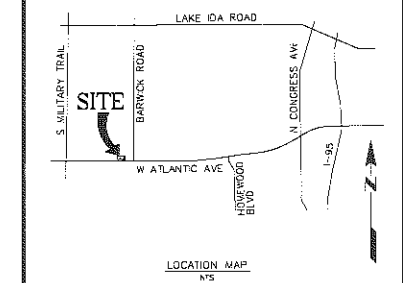
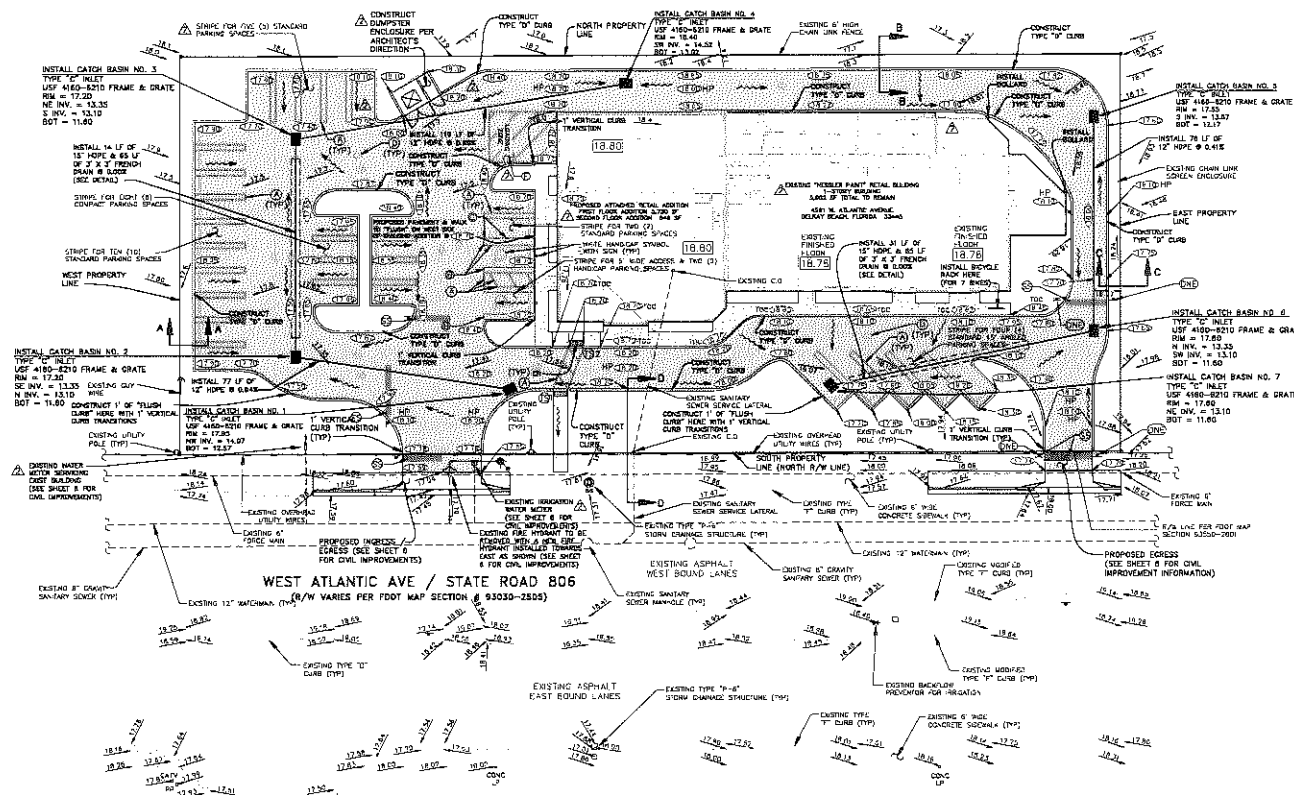
PH. NO. 561-311-2333 FAX NO. 561-389-1315

LICENSED BUSINESS NO. 13 50

MADE DATE 3/16/16 F.B. 2025 PG 02/02

CHECKED DATE 3/16/16 SCALE 1" = 20'

CB NO. 02-02-0022 SHEET 2 OF 2



STRIPING & SIGNAGE LEGEND

- PROPOSED STOP SIGN (R-1-1) WITH 24" SOLID WHITE THERMALPLASTIC STOP BLANK
- PROPOSED 6" SOLID WHITE STRIPE
- PROPOSED 4" SOLID BLUE STRIPE
- PROPOSED 4" SOLID WHITE STRIPE
- PROPOSED WHITE STRAIGHT ARROW
- PROPOSED 18" X 24" STRIPED "LOADING ZONE" AREA: 4" SOLID YELLOW STRIPES WITH 18" TALL SOLID YELLOW LETTERING READING "LOADING ZONE" AS SHOWN
- PROPOSED TACTILE SURFACE LOCATION & NUMBER
- PROPOSED "DO NOT ENTER SIGN" (R-6-1A)

ESTIMATED DAILY POTABLE WATER DEMAND CALCULATIONS (GPD)	
(ASSUME 100% FLOWS INTO EXIST. SANITARY SEWER SYSTEM)	
CURRENT ESTIMATED DEMAND	307 GPD
PROPOSED ESTIMATED DEMAND	630 GPD
PROPOSED ESTIMATED DEMAND	630 GPD
NOTE: GPD = GALLONS PER DAY; SF = SQUARE FOOTAGE	

- LEGEND:**
- PROPOSED GRADE
 - EXISTING ELEVATION
 - DRAINAGE SHEET FLOW DIRECTION ARROW
 - DENOTES PROPOSED PAVEMENT
 - DENOTES PROPOSED CONCRETE SIDEWALK
 - DENOTES PROPOSED PAVED BRICK WALK

- PROPOSED FINISHED FLOOR ELEVATION
- R RADIUS
- TYP TYPICAL
- MATCH EXISTING GRADE
- C.O. SANITARY CLEAN OUT
- M.N. MINIMUM
- DIP DUCTILE IRON PIPE
- RPZ REDUCED PRESSURE ZONE
- TS# TACTILE SURFACE LOCATION & NUMBER
- CR CURB RAMP LOCATION

IT'S THE LAW!
CALL AN ATTORNEY TODAY!
1-800-432-4770
SUNSHINE STATE BAR ASSOCIATION
MEMBER

- NOTES:**
- CONTRACTOR TO CONTACT SURVEYING FIRM TO OBTAIN (B) FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCT CONCRETE SIDEWALK & CURB RAMP PER FOOT
 - CONTRACTOR TO MAINTAIN EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONSTRUCT PAVING MODIFICATIONS
 - ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNCHANGED EXCEPT AS NOTED
 - ALL TYPE "B" CURB TO BE CONSTRUCTED PER FOOT INDEX NO. 302
 - REFER TO SHEET 2 IN THIS SET FOR INFORMATION ON CONSTRUCTION DETAILS, GENERAL NOTES, DRAINAGE DETAILS, PAVEMENT CROSS SECTIONS, PAVING DETAILS AND PAVING SCHEDULE
 - REFER TO DETAIL RT 41 AND DETAIL RT 42 ON SHEET 4 FOR DETAIL PAVING LOT STRIPING INFORMATION
 - CONTRACTOR TO MAINTAIN LOCATION OF EXISTING EXISTING SANITARY AND WATER SERVICE LINES PRIOR TO STORM DRAINAGE INSTALLATION AND NOTIFY CIVIL ENGINEER OF RECORD IF OTHER CONFLICTS WITH PROPOSED STORM DRAINAGE SYSTEM SHOWN HEREON
 - ELEVATIONS SHOWN - EXCEPT WHERE NOTED - ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1989 (N.G.V.D.)
 - ANY TREES OF 4" DBH PLACED WITHIN 10' OF EXISTING OR PROPOSED SIDEWALKS SHALL BE MAINTAINED BY THE CITY OF DELRAY BEACH, FLORIDA
 - ALL PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A MINIMUM DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER SERVICE OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH, CITY ENGINEER

- STRIPING NOTES:**
- PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH FDOT INDEX 17348 AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS
 - MAINTENANCE OF TRAFFIC FOR ALL PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL AND SPACE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND "STREETWAY AND TRAFFIC DESIGN STANDARDS"
 - REFER TO DETAIL RT 41 AND DETAIL RT 42 ON SHEET 4 FOR DETAIL PAVING LOT STRIPING INFORMATION

THOMAS F. LUGANOVIC
Professional Engineer No. 56659
John A. Grant, Jr., Inc.
3333 N. Federal Hwy., Ste. 3
Boca Raton, FL 33431
Certificate of Authorization No. LB 50

A. REVISIONS 1. PLAN LAYOUT REVISED: 7/27/98 SPIDER CONSTRUCTION, E.T.P. 2. PLAN LAYOUT REVISED: WATER SERVICE REVISIONS 3. REVISION: 11/11/98 4. PLAN LAYOUT REVISED: 11/11/98 5. PLAN LAYOUT REVISED: 11/11/98		CISK JAN 2007 CISK NOV 2016
NO.	REVISION	BY DATE

<h2 style="text-align: center;">PAVING, GRADING & DRAINAGE IMPROVEMENTS</h2> <h3 style="text-align: center;">HESSLER PAINT SITE IMPROVEMENTS</h3> <p style="text-align: center;">4591 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33445</p> <p style="text-align: center;">JOHN A. GRANT, JR., INC. CONSULTING ENGINEERS</p> <p style="text-align: center;">3333 NORTH FEDERAL HIGHWAY BOCA RATON, FLORIDA 33431</p> <p style="text-align: center;">PH. NO. 561-395-2323 FAX NO. 561-395-3315 LICENSED BUSINESS NO. LB 50</p>					
MADE	DATE	BY	DATE	SCALE	1" = 20'
CHECKED	DATE			SHEET	5 OF 7
DRAWN	DATE				

FDOT GENERAL NOTES:

All materials and construction with the Florida Department of Transportation Design (F.D.O.T.) right-of-way shall conform to the latest edition F.D.O.T. Design Standards and (latest edition) Standard Specifications for Road and Bridge Construction.

Maintenance of Traffic M.O.T. for this project will comply with the F.D.O.T. Standard Index (800 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). Special attention will be given to FDOT Design Standards Index 611, 612, 613, and 880.

All thermoplastic traffic stripes, markings and signage will be installed per the FDOT Roadway and Traffic Design Standards.

It is the Permittee's responsibility to obtain final acceptance of permit work (completed) and the restoration of the right-of-way from the F.D.O.T. prior to usage.

Permittee will provide the necessary details in accordance with Section 120-3 of the FDOT Standard Specifications for Road and Bridge Construction (latest edition) prior to final acceptance by the F.D.O.T.

Permittee will restore the Right of Way to its original condition or better in accordance with F.D.O.T.'s latest Standard Specifications for Road and Bridge Construction or as directed by the Resident Operations Engineer.

During the removal/installation of any curb and gutter section, the permittee will be responsible for any damage done to the existing asphalt. The damaged asphalt repair will be in accordance with the current specifications and/or as directed by the Resident Operations Engineer.

Permittee shall provide the Producer's Certification (Delivery Ticket) for the NS CONCRETE-2500 PSI (used for Streets, Curb & Gutter, Ditch Protection and Traffic Separator) prior to final acceptance by the Department. The delivery ticket shall certify the concrete was batched, delivered and placed in accordance with Section 407 of the F.D.O.T.'s Standard Specifications for Road and Bridge Construction (current edition).

Surface areas will be in accordance with Standard Index 100 and sections 152, 58, 152, 582, 587 of the F.D.O.T.'s Standard Specifications for Road and Bridge Construction (latest edition). All disturbed areas will be seeded within one (1) week of installation of soil permit work.

Detention of all suitable excavated materials within the FDOT R/W, as determined by the F.D.O.T., shall remain in the Department until a final acceptance of the permitted project is issued. Excavated materials must be stored by the contractor, at their cost and expense from the site to the Palm Beach Operations Center, 3900 W Forest Hill Blvd or stockpiled in those areas as directed by the DOT, including erosion mitigation.

Restricted hours of operation will be from 8:00am to 5:00pm (Monday-Friday), unless otherwise approved by the Operations Engineer, or designer.

Permittee will coordinate all work with the Palm Beach Operations Permit Department using fax # (561) 370-1236. Construction will include a Pre-Construction Meeting.

PERMITTEE - PLEASE NOTE

Permittee's contractors that are performing permitted work activities shall provide the F.D.O.T. (Permit Office) proof of a proper state contractor's license and certificate of liability insurance prior to any commencement of permitted work.

All public sidewalk curbs must meet the Roadway & Traffic Design Standards (current edition) Index Number Six Curb/Strip Inspection (a) required prior to installation of concrete.

PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE.

Permittee will provide the F.D.O.T. with certified "AS-BUILT" drawings prior to final acceptance of the permitted work.

REQUIRED PAVING & SIDEWALK SPECIFICATIONS WITHIN WEST ATLANTIC AVENUE RIGHT-OF-WAY			
TYPE	WEARING SURFACE	BASE	SUBGRADE
PROPOSED EASTERN SIDE ACCESS R/W WEST ATLANTIC AVENUE RIGHT-OF-WAY	6" THICK W/ 200 AS CONCRETE W/ MINIMUM 2800 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
PROPOSED SIDEWALK WITHIN WEST ATLANTIC AVENUE RIGHT-OF-WAY	4" THICK W/ 200 AS CONCRETE W/ MINIMUM 2800 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180

NOTES:

- CONTRACTOR TO SAWCUT EXISTING PAVEMENT AND STEP JOINT AS REQUIRED TO ENSURE QUALITY PAVING WORK.
- NO WIRE MESH OR REINFORCING STEEL REQUIRED FOR CONCRETE SIDEWALK CONSTRUCTION EXCEPT WHERE NOTED.
- ALL PROPOSED TRUNCATED CONES (DETECTABLE WARNING) WITHIN TRAVEL ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED PER FDOT INDEX NO. 304.

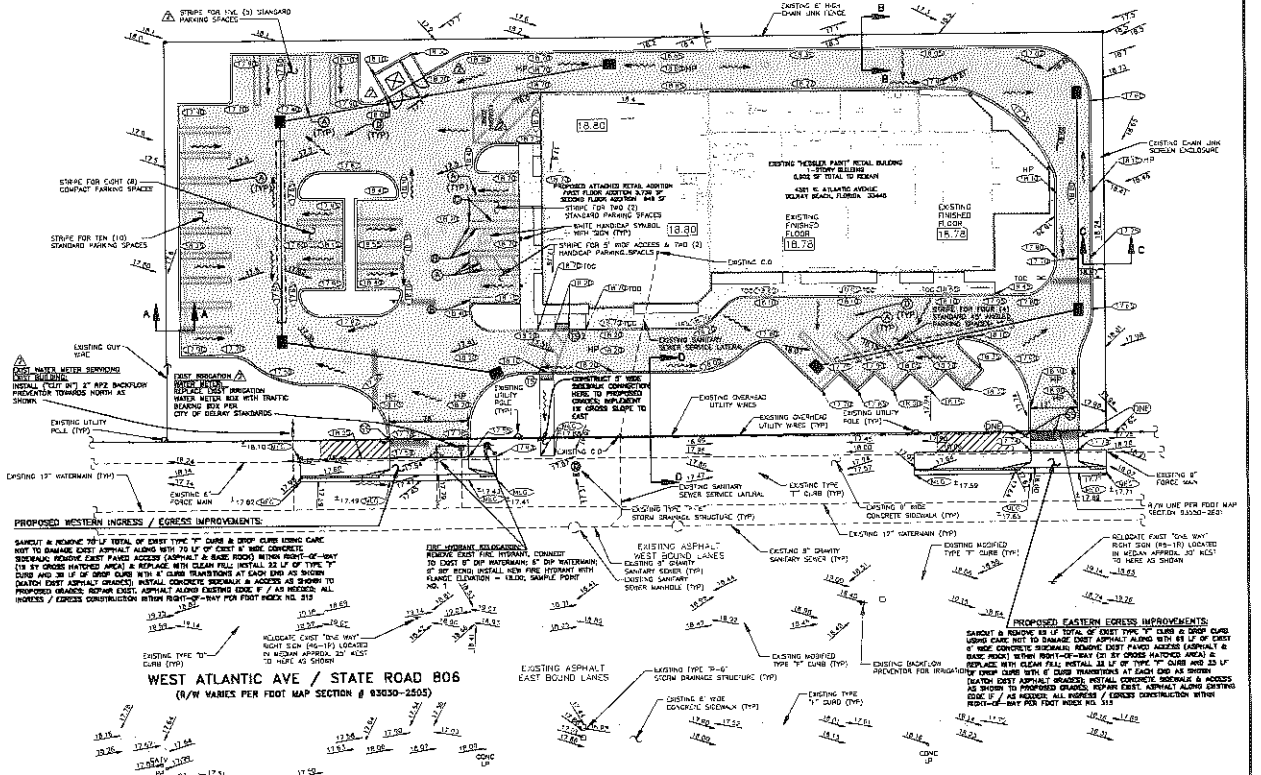
LEGEND:

	PROPOSED GRADE
	EXISTING ELEVATION
	DRAINAGE SHEET FLOW DIRECTION ARROW
	DENOTES PROPOSED PAVEMENT
	DENOTES PROPOSED CONCRETE SIDEWALK OR CONCRETE INGRESS / EGRESS AREA
	DENOTES PROPOSED PAVER BRICK WALK
	LINEAR FEET
	POINT
	EXIST EXISTING
	TOP OF CURB

STRIPING & SIGNAGE LEGEND

PROPOSED STOP SIGN (81-1) WITH 24" SOLID WHITE THERMOPLASTIC STOP BAR	
PROPOSED 6" SOLID WHITE STRIPE	
PROPOSED 4" SOLID BLUE STRIPE	
PROPOSED 4" SOLID WHITE STRIPE	
PROPOSED WHITE STRAIGHT ARROW	
PROPOSED TACTILE SURFACE LOCATION & NUMBER	
PROPOSED "DO NOT ENTER" SIGN (R6-2A)	

IT'S THE LAW!
CALL AN HOUR BEFORE YOU DO
1-800-432-4770
COURTESY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION



STRIPING NOTES:

- PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH FDOT INDEX 17346 AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS.
- MAINTENANCE OF TRAFFIC FOR ALL PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- REFER TO DETAIL "A" & DETAIL "B" & 26 ON SHEET 4 FOR DETAIL PARKING LOT STRIPING INFORMATION.

REVISIONS PER LATEST 7/2 SPREAD SHEET, SITE PLAN LAYOUT REVISIONS, WATER SERVICE REVISIONS	DATE	BY	DATE
REVISIONS PER 7/2 SPREAD SHEET, AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS	NOV 2016	CBK	NOV 2016

PROPOSED CIVIL IMPROVEMENTS WITHIN W ATLANTIC AVENUE RIGHT-OF-WAY

HESSLER PAINT SITE IMPROVEMENTS
4591 W. ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33445

JOHN A. GRANT, JR., INC.

CONSULTING ENGINEER
3333 NORTH FEDERAL HIGHWAY
BOCA RATON, FLORIDA 33431
PH. NO. 561-385-3333 FAX NO. 561-355-3319
LICENSED BUSINESS NO. 18-30

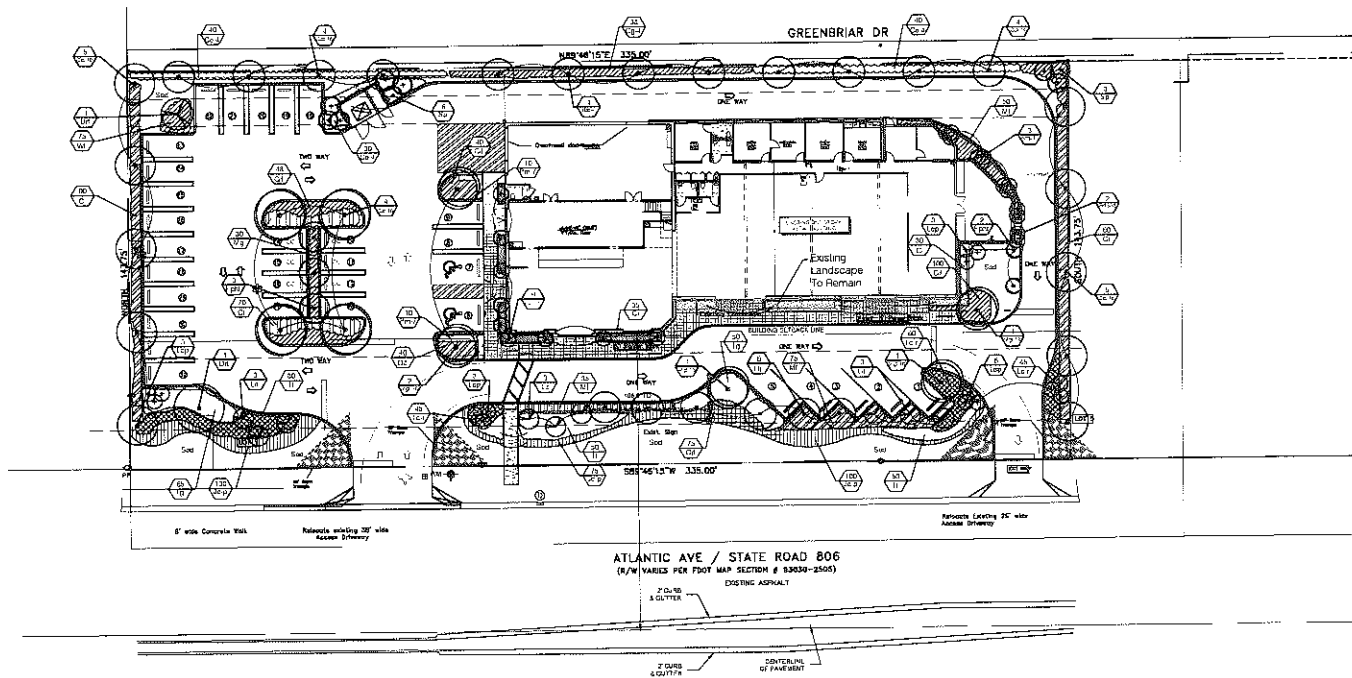
MADE	DATE	DATE	DATE	DATE	DATE
CHECKED	DATE	SCALE	1" = 20'		
JOB NO.	18-108-0023	SHEET	1	OF	2

THOMAS F. USANOVIC
Professional Engineer No 56659
John A. Grant, Jr., Inc.
3333 N. Federal Hwy, Ste. 3
Boca Raton, FL 33431
Certificate of Authorization No. 19-50

CRASH
SIP
D-25520
D.H.C
DATE
11.15.16
SCALE
1" = 20'
JOB NO.
040615
SHEET

L-2

OF 5 SHE



NOTE:
ALL EXOTIC / PROHIBITED
SPECIES TO BE REMOVED FROM
THE SITE PER CODE

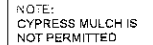
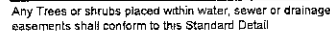


Overall Landscape Plan

378	38	♂	<i>Ficus montana</i> / <i>Croton blanda</i> / <i>Ficus</i>	18° 30' 00" 15° 00' 00"
382	59	♂	Munty Grass	15° 30' 00" 15° 00' 00"
383	74	♂	<i>Ternstroemia glauca</i> / Yellow bellflower	16° 30' 00" 17° 00' 00"
385	21	♂	<i>Chrysobalanus icaco</i> / Coccoloba	24° 30' 00" 27° 00' 00"
386	23	♂	<i>Datura guianensis</i> / Small leaf cactus	4° 00' 00" 3° 00' 00"
390	160	♂	<i>Miconia fragrans</i> / <i>Empress dropper</i>	24° 30' 00" 26° 00' 00"
391	169	♂	<i>Psychotrias nana</i> / Violet tree	17° 00' 00" 16° 00' 00"
392	110	♂	<i>Myrceneus neriifolius</i> / <i>Crim bloodwood</i>	4° 00' 00" 3° 00' 00"
395	70	♂	<i>Tournefortia litoralis</i> / <i>Doi. laetianthes</i> grass	14° 30' 00" 15° 00' 00"
398	100	♂	<i>Juniperus communis</i> / <i>Palmist. Fernist. Juniper</i>	14° 30' 00" 15° 00' 00"
399	7	♂	<i>Psychotrias</i> many / Tree	17° 00' 00" 16° 00' 00"
400	1	♂	<i>Leopoldium chilense</i> / <i>Dianthus wiestii</i> / <i>hol</i>	15° 30' 00" 15° 00' 00"

SITE DATA COMMERCIAL	
A. TOTAL LOT AREA	46,194.00 SQ FT
B. STRUCTURES, PARKING, WALKS, DRIVES, ETC	39,718.00 SQ FT
C. TOTAL IMPAVED AREA (C=A-B)	6,476.00 SQ FT
D. AREA OF SHRUBS & GRASS COVERED (REQ'D 1%)	2,550.00 SQ FT
E. AREA OF SHRUBS & GRASS COVERED PROVIDED	3,389.96 SQ FT
F. NATIVE VEGETATION REQUIRED (1 X 25)	830.00 SQ FT
G. NATIVE VEGETATION PROVIDED	1,544.96 SQ FT
H. TOTAL IMPAVED VEHICULAR USE AREA	26,210.00 SQ FT
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED (1% + 10)	2,687.50 SQ FT
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED	2,887.50 SQ FT
K. TOTAL INTERIOR SHADE TREES REQUIRED (1/25 X 5 F)	71 TREES
L. TOTAL INTERIOR SHADE TREES PROVIDED	33 TREES
M. TOTAL NUMBER OF SHED TREES REQUIRED (VEHICULAR USE AREAS)	1,050 TREES
N. TOTAL NUMBER OF PERIMETER TREES PROVIDED (W/GRASS)	37 TREES
O. TOTAL NUMBER OF PERIMETER TREES PROVIDED	37 TREES
P. TOTAL NUMBER OF EXT. TREES TO BE PRESERVED ON SITE	0 TREES
Q. TOTAL NUMBER OF NATIVE TREES REQUIRED (MIN 1% X 6)	29 TREES
R. TOTAL NUMBER OF NATIVE TREES PROVIDED	30 TREES
S. TOTAL NUMBER OF TREES ON PLAN PROVIDED	46 TREES

13. The landscape invoice will be deemed as rejection of the plant materials. The landscape contractor shall remove any, or all of the rejected materials from the site as their obligation.



NOTE: Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see detail). A suitable planting soil mixture of fifty (50) percent, seventy (70) percent (70/30) planting soil shall be backfilled in place of the excavated soil or coarsely mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to ensure the thirty (30) inch depth has been met.

NOTE:
ALL EXOTIC / PROHIBITED
SPECIES TO BE REMOVED FROM
THE SITE PER CODE

[illegible]

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th AVE. Delray Beach, FL 33483
561-272-9621 LA, 831

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach,
Florida

DRIVER	SNP
PRODUCED	D.H.C.
DATE	11.15.16
SCALE	1" = 20'
JOB NO.	040816
SHEET	
L-3	
OF	5 SHEETS

① ② ③ ④

Intro & Valves

Water: Source, shall be a well and pump system.

NOTE: Main line & valve locations are shown for graphic clarity only.
All main lines & valves are to be located within landscape area's on-site.
IRRIGATION NOTES

Automatic Irrigation System
Water demand/ zone
Pressure required (refer to plan)

System shall be installed in accordance with a Federal, State, and local codes, Contract drawings and Contract Specifications.
Irrigation design is based on "Planting Plan" dated 11/20/16.
Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant locations.
The water source (for this system shall be well & pump).
The master and all valves shall be activated via the automatic controller, and shall also be used to operate the control lines when the system is not operational.
Contractor shall join the irrigation, where noted on the plans for adequate field conditions, and shall install the system in accordance with South Florida Irrigation Society Standards and specifications.

To insure proper operation of this system, pump size, pressure required, pipe and wire sizes, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications.

Irrigation system shall provide 100% coverage, with a 50% overlap minimum, utilizing "rust-free" water source. If a well & pump system is to be utilized, the contractor shall provide a "chemical injection system" to inhibit rust. If water sample testing indicates that there will be "rust" staining from the well water.

Pipe routing is schematic only, and shall be field adjusted for on-site conditions. All pipe shall be installed in accordance with local codes, and per manufacturer recommendations.

Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Contractor shall verify the location, depth & size of all existing sleeves, as required.

Pipe installed above grade for the backflow preventer shall be SCH 40 Galvanized pipe. All other piping shall be PVC. The main line shall be SCH 40 PVC, lateral sizes from 1" to 2" shall be SDR 26, Class 160, and laterals sized from 1" to 3/4" shall be SDR 21 Class 200 PVC pipe.

Pipe shall be installed so the backfill depths are maintained at 18" for main lines and at 12" for all other lines. The depths from the top of the pipe to the bottom of the backfill shall be maintained at 18" for main lines and at 12" for all other lines. The depths from the top of the pipe to the bottom of the backfill shall be maintained at 18" for main lines and at 12" for all other lines.

Backfill material shall be suitable material free of rocks, stones, or other debris that could damage components of the irrigation system.

Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, hardscape elements, etc. to provide 100% coverage with a no overthrow onto paved surfaces, or building facades.

POP-UP HEADS SHALL BE 10" SERIES 8", AND 12" TYPE, WHICH ARE TO BE INSTALLED ON FLEXIBLE JOINTS OF 10" THICK-WALLED POLY PIPE WITH 10" INSET ELBOWS. THERE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THE PROJECT.

Shrub heads shall be installed at a uniform height of 6' above the plantings, and are to be located within planting masses so as to be concealed from view.

Bubb'ers are to be installed on a SCH 40 PVC risers at the base of the panel material, for low-level watering.

All SCH 40 PVC risers are to be painted "Forest green", or Bluen, to be less conspicuous. Two 12" pop-up sprinklers shall be installed in ground-cover areas at the parking-lot islands and at other critical locations, as determined in the field by the Landscape Architect.

Sprinklers located adjacent to pavement, sidewalks, decks, patios, stairs, etc. shall be installed 8" from the edge. Unless other-wise noted on the plans, pop-up sprinklers shall be installed 12" from the edge.

install 6" from the edge and three sprinklers shall be installed 18" from the edge. Sprinklers are not to be installed at walk-way intersections, or wherever a "trip & fall" hazard may occur.

Contractor shall use precaution in locating and setting sprinkler heads in planting areas.

adjacent to parking spaces to minimize the damage to sprinklers on overhanging car bumpers.

CONTROL SYSTEMS

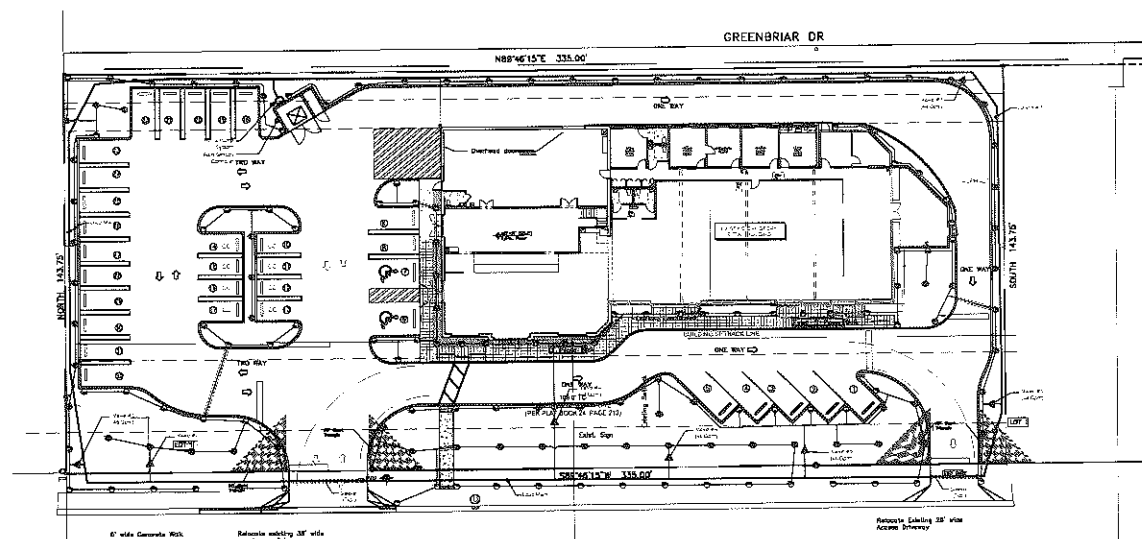
Rainbird control system shall be installed, per manufacturer recommendations, to activate in-line valves and the master shut-off valve.
Proper grounding equipment shall be installed for the controller.

The irrigation contractor shall supply the controller, however the physical installation thereof and the electrical hook-up shall be by others.

VALVES
 Replace, or approved equal, electric valves shall be installed per manufacturer

RAN SENSOR
 Air-clip® ran sensor shall be installed, per manufacturer recommendations. Ran sensor

Automatic Irrigation system to provide 100% irrigation coverage, with 100% overlap minimum with a programmable controller and rain sensor. Shrub & Tree zones are to be separated THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS



ATLANTIC AVE / STATE ROAD 808
(R/W VARIES PER FOOT MAP SECTION # 93030-2505)

IRRIGATION MAIN LINE NOTE
MAIN LINE & VALVE LOCATIONS ARE SHOWN FOR GRAPHIC
CLARITY ONLY. ALL MAIN LINES & VALVES ARE TO BE LOCATED
WITHIN LANDSCAPE AREAS ON-SITE.



Overall Irrigation Plan

[illegible]

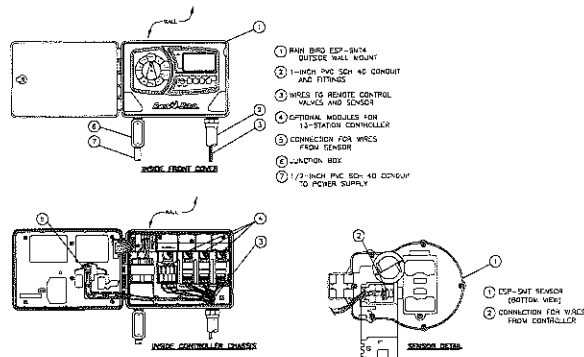
DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th AVE. Delray Beach, FL 33483
LA. B31
561-272-9521

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach,
Florida

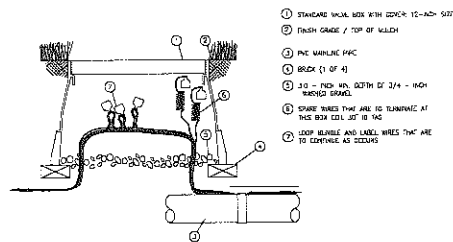
040816
JMW
040816
D H C
BANK
11.15.16
SCALE
1" = 20'
JMW
040816
JMW

L-4

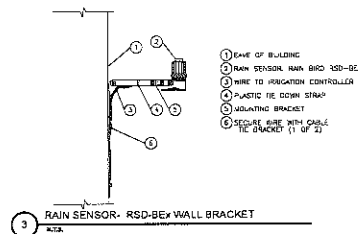
5



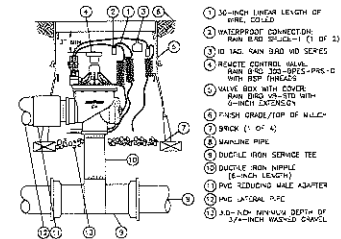
1 ESP-SMT SMART CONTROL SYSTEM
R.T.A.



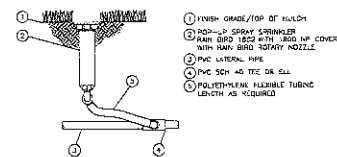
2 WIRE BUNDLE JUNCTION BOX
R.T.A.



3 RAIN SENSOR - RSD-BEX WALL BRACKET
R.T.A.



4 ELECTRIC REMOTE CONTROL VALVE
R.T.A.



5 ROTARY SPRAY ASSEMBLY
R.T.A.



Irrigation Details

REVISIONS	BY
REVISED 1/18/17 PER REVISED SITE PLAN	

DESIGNED BY:
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561-272-9621 LA 831

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach, Florida

DESIGN	DRP
CHECKED	D.H.C.
DATE	11.15.16
SCALE	1" = 20'
20' R.C.	040616
DRY	
L-5	
5	SHEETS