

PLANNING AND ZONING BOARD (PZB)

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: February 27, 2017

ITEM: **Seaglass Cottages (2017-079)** – Preliminary plat and certification of a final plat for a new 5-unit townhome development located on the west side of Andrews Avenue between Lowry Street and Thomas Street.

RECOMMENDATION: Recommendation of approval to the City Commission of the Preliminary Plat and certification of the Final Plat.

GENERAL DATA:

Owner..... Gregorski 17 LLC

Agent/Applicant..... Seaside Builders

Location..... West side of Andrews
Avenue between Lowry
Street and Thomas Street

Property Size..... 19,440 sq. ft. (0.446 acre)

Current FLUM..... MD (Medium Density Residential
– 5 to 12 Dwelling Units Per
Acre)

Current Zoning..... RM (Multiple Family Residential -
Medium Density)

Adjacent Zoning....North: **RM**

East: **RM**

South: **RM**

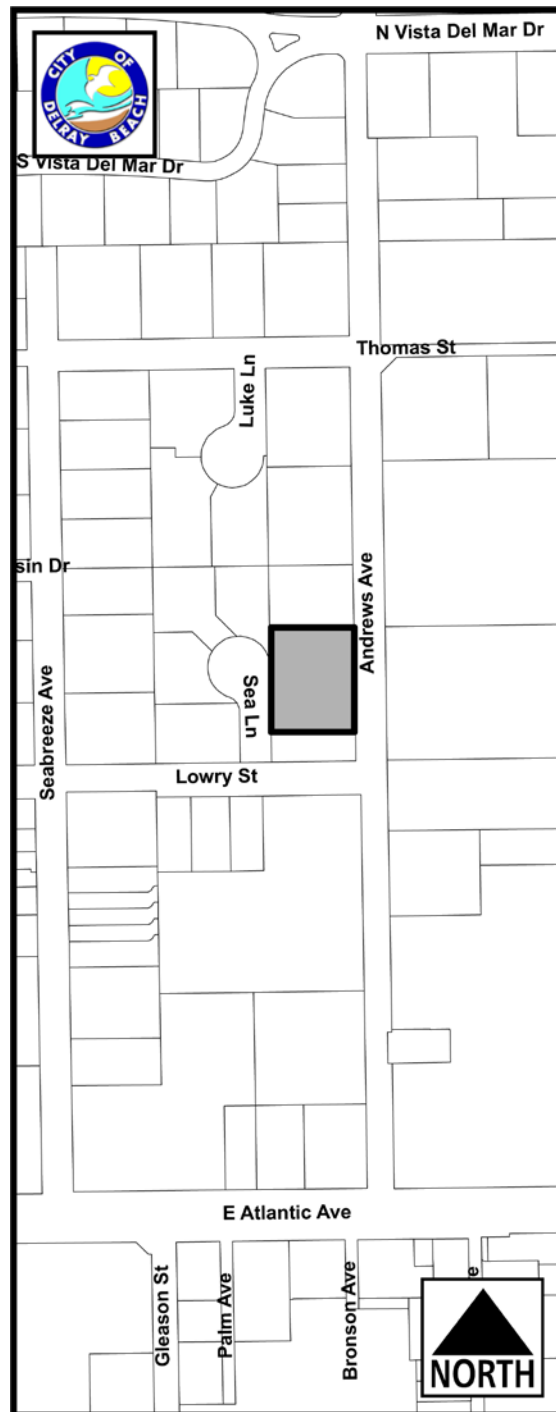
West: **R-1-AAA** (Single Family
Residential)

Existing Land Use..... Single Family Residence &
Parking Lot for Manor House

Proposed Land Use..... Multiple Family Residential

Water..... Public

Sewer..... Public



ITEM BEFORE THE BOARD

The item before the Board is that of approval of a preliminary plat and certification of a final plat for a new 5-unit townhome development to be platted as **SEAGLASS COTTAGES**. The subject property is located on the west side of Andrews Avenue between Lowry Street and Thomas Street.

This plat is being processed pursuant to LDR Section 2.4.5(J), Major Subdivisions.

BACKGROUND

The 0.44 acre subdivision is a replat of the north 19 feet of Lot 1, all of Lot 2 and the south 50 feet of Lot 3, Ocean Breeze Estates, according to the Plat thereof recorded in Plat Book 18, Page 36. A single family structure, first constructed in 1937 (according to property appraiser records) is situated on the north 50 feet of Lot 2 and the south 50 feet of lot 3 while a portion of a parking lot is situated on the south 50 feet of Lot 2 and the north 19 feet of Lot 1. The site is zoned RM (Multiple Family Residential – Medium Density) and has a Future Land Use Designation of MD (Medium Density Residential 5-12 DU/Acre).

At its meeting of November 30, 2016, the Site Plan Review and Appearance Board (SPRAB) approved the Class V Site Plan, Landscape Plan and Architectural Elevations for the project (2016-269), subject to the condition that the plat be recorded prior to the issuance of a building permit.

PLAT DESCRIPTION

The proposed development consists of the demolition of the single family residence and adjacent parking lot that lies within the boundary of the project and construction of a three-story, five townhouse development with two-car garages, a swimming pool serving each unit, and associated landscaping.

A new 10' general utility easement is provided along the front of Lots 1-5 along Andrews Avenue to accommodate the proposed utilities to service the development. In addition, a private 10' drainage easement will parallel Andrews Avenue approximately 6 feet behind the General Utility Easement. An existing 5' Public Utility Easement dedicated by Plat Book 18, Page 36 is retained along the west plat limits. A private 5' Access Easement will run from Andrews Avenue through Lot 1 and across the rear of Lots 1-3 to provide access to the rear yards of Lots 2-4. This easement in the rear of the lots will overlap slightly the aforementioned existing 5' public utility easement. A Limited Access Easement is provided along the west boundary of Lots 1-5 to ensure no vehicular access from Sea Lane which is a private lane.

PLAT ANALYSIS

Pursuant to **LDR Section 3.1.1**, prior to approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information in the application, the staff report, or minutes. Findings shall be made by the Board to approve or deny the development application. These findings relate to Future Land Use Map, Concurrency and Consistency with the Comprehensive Plan, and Compliance with the Land Development Regulations.

Section 3.1.1 (A) - Future Land Use Map: The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Future Land Use Map.

The subject property has a Future Land Use Map designation of MD (Medium Density 5 to 12 du/ac) and is zoned RM (Medium Density Residential 5-12 du/ac). The proposed townhouse development (Lots 1-5) is zoned RM with a Future Land Use Map designation of MD. Pursuant to LDR Section 4.4.6(B)(3), within the RM zoning district, multiple family structures up to 12 units per acre are allowed as a permitted use, subject to compliance with the performance standards of LDR Section 4.4.6(I), which were addressed with site plan approval. The RM zoning district is consistent with the MD Future Land Use Map designation.

Section 3.1.1 (B) – Concurrency: Pursuant to Section 3.1.1(B), Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

- **Water and Sewer:** Water and sewer services will be provided via service lateral connections to the existing 10" water and sanitary sewer lines along Andrews Avenue right-of-way. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.
- **Drainage:** Drainage will be accommodated on site via an exfiltration trench system. There should be no impact on drainage as it relates to this level of service standard. A drainage easement is being provided over the exfiltration system. This easement will be dedicated on this plat to the homeowner's association (initially 215 MAC, LLC; its successors or assigns) which will have maintenance obligations for the drainage system.
- **Streets and Traffic:** The applicant submitted a traffic statement indicating the trips generated for the proposed 5 unit townhouse development will be a net increase of four (4) AM peak hour trips and five (5) PM peak hour trips. A November 15, 2016 letter from the Palm Beach County Traffic Division has confirmed that the proposed residential project meets the Traffic Performance Standards of Palm Beach County.
- **Parks and Recreation Facilities:** The proposed units will not have a significant impact with respect to level of service standards for parks and recreation facilities. However, pursuant to LDR Section 5.3.2, whenever a development is proposed upon land which is not designated for park purposes in the Comprehensive Plan, an in-lieu fee of \$500.00 per dwelling unit will be collected prior to issuance of building permits for each unit. Since the existing single family residence was constructed prior to February 23, 1982, no credit shall be issued and a \$500 park impact fee will be required for each unit. Thus, an in-lieu fee of \$2,500 will be required of this development.
- **Solid Waste:** The proposed 5 residential units will generate 2.6 tons of solid waste per year (5 units x 0.52 tons = 2.6 tons). Since the property contains an existing single family residence, there will be a net increase in solid waste generated by the project of 2.08 tons per year (Site Plan report indicates the single family home generates 1.99 tons per year for an increase of 0.61 tons per year). The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046, thus a positive finding with respect to this level of service standard can be made.

- **School Concurrency:** The proposed development is subject to the Palm Beach County School Concurrency. Concurrency approval was granted by the School District on November 14, 2014 and will expire after November 13, 2017.

Section 3.1.1 (C) - Consistency: Pursuant to Section 3.2.1 (Basis for Determining Consistency), the performance standards set forth in Section 3.2.3 (Standards for Site Plan and/or Plat Actions) shall be the basis upon which a finding of overall consistency is to be made.

As described in Appendix "A", a positive finding for consistency can be made as it relates to Standards for Plat Actions.

Section 3.1.1 (D) - Compliance with the Land Development Regulations:

- **LDR Section 5.3.1(A) (Plat Required):** A plat is required for the project, and was included as a condition of site plan approval. The property will be divided into five townhouse lots.
- **LDR Section 4.3.4(K) (Development Standards Matrix):** The following table indicates that the proposal complies with LDR Section 4.3.4(K) as it pertains to the Medium Density Residential (RM) zone district for Lots 1-6:

Requirement	Standard	Provided
Minimum Lot Size (overall parcel)	8,000 sq. ft.	19,440 sq. ft.
Minimum Lot Width (overall parcel)	60'	144'
Minimum Lot Depth (overall parcel)	100'	135'
Minimum Lot Frontage (overall parcel)	60'	144'
Maximum Density	12 units/acre	11.2 units/acre

- **LDR Section 5.3.1(Right-of-Way Dedication):** Pursuant to LDR Section 5.3.1 and the Transportation Element of the City's Comprehensive Plan, the ultimate right-of-way width for a local street without curb and gutter is 60' and with curb and gutter is 50'. The existing right-of-way width for Andrews Avenue is 50'. For existing streets, the City Engineer, upon a favorable recommendation from the Development Management Services Group (DSMG), may grant reductions in right-of-way width. At its meeting of October 27, 2016, the City Engineer and DSMG reviewed the existing right-of-way width and determined that the current right-of-way width of 50' would be sufficient for this section of Andrews Avenue as well as the abutting Sea Lane (including cul de sac) to the west.
- **LDR Section 6.3.1(Sidewalks):** Pursuant to LDR Section 6.1.3(B)(1), a 5'-wide sidewalk is required. A five-foot sidewalk has been proposed along Andrews Avenue within the public right-of-way.

A complete review for compliance with the Land Development Regulations was included as part of the Site Plan Review process.

Comprehensive Plan Policies: A review of the objectives and policies of the Comprehensive Plan was conducted with Site Plan approval and all applicable objectives or policies along with a discussion on how they were addressed is attached as Appendix "B".

REVIEW BY OTHERS

The subject property is not located within a geographical area requiring review by a City Advisory Board.

A Courtesy Notice has been provided to the Beach Property Owners Association, Inc.

Letters of objection or support, if any, will be presented at the Planning and Zoning Board meeting.

ASSESSMENT AND CONCLUSION

The proposed plat is consistent with the Zoning and Future Land Use Map designation for the subject property. Positive findings can be made with respect to LDR Section 2.4.5(J) (Major Subdivisions), LDR Section 3.1.1 (Required Findings for Land Use and Land Development Applications), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and the Goals, Objectives and Policies of the Comprehensive Plan.

ALTERNATIVE ACTIONS

- A. Move a recommendation of approval to the City Commission of the Preliminary Plat and certification of the Final Plat for the **SEAGLASS COTTAGES**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(J) (Major Subdivisions), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and Section 3.1.1 (Required Findings for Land Use and Land Development Applications) of the Land Development Regulations, subject to conditions.
- B. Approve the preliminary plat, and require submittal of a final plat to be reviewed separately.
- C. Deny the preliminary plat and final plat with basis stated.

STAFF RECOMMENDATION

Move a recommendation of approval to the City Commission of the Preliminary Plat and certification of the Final Plat for the **SEAGLASS COTTAGES**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(J) (Major Subdivisions), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and Section 3.1.1 (Required Findings for Land Use and Land Development Applications) of the Land Development Regulations.

Report prepared by: Amy E. Alvarez, AICP, Senior Planner

Attachments:

- Appendix A
- Appendix B
- Survey
- Reduced Plat

<p style="text-align: center;">APPENDIX - A STANDARDS FOR PLAT ACTIONS</p>
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- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____

APPENDIX - B

COMPREHENSIVE PLAN POLICIES

Future Land Use Element Objective A-1: Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed multiple-family townhouse development. The Housing Element of the Comprehensive Plan calls for the provision of infill housing as well as the development of property to provide a variety of housing types. This development proposal fulfills these needs.

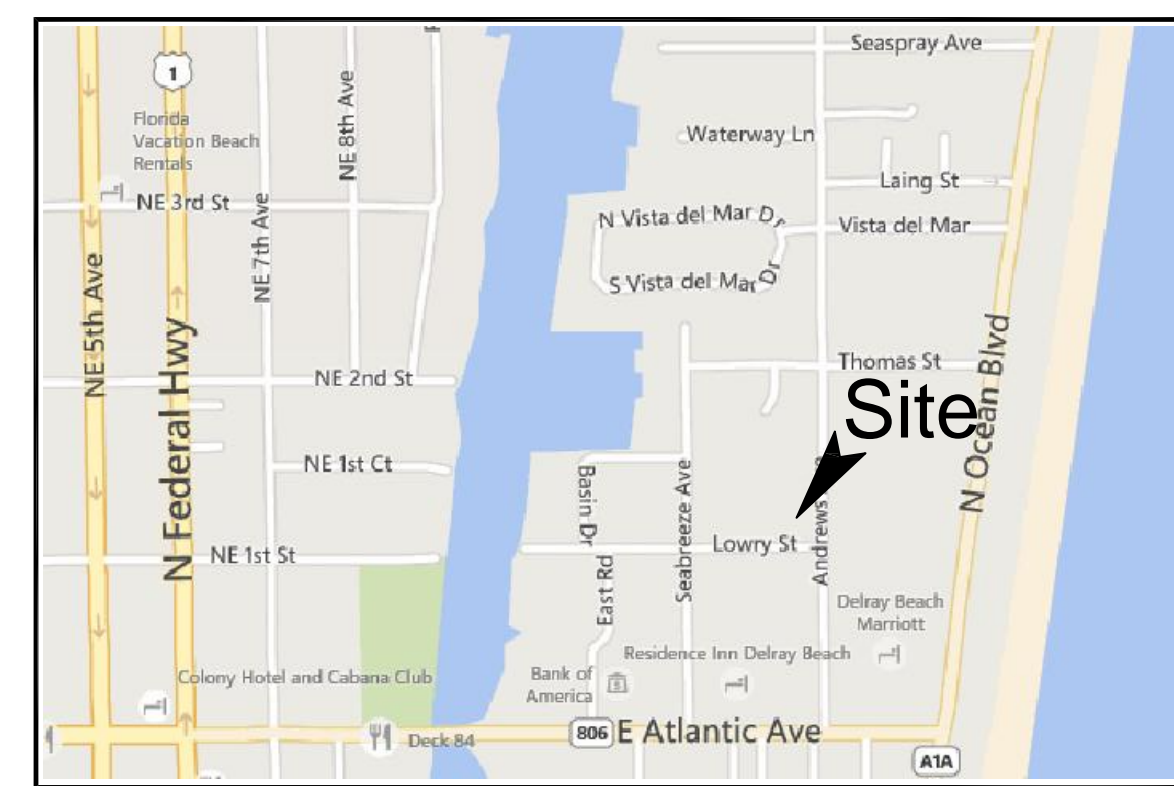
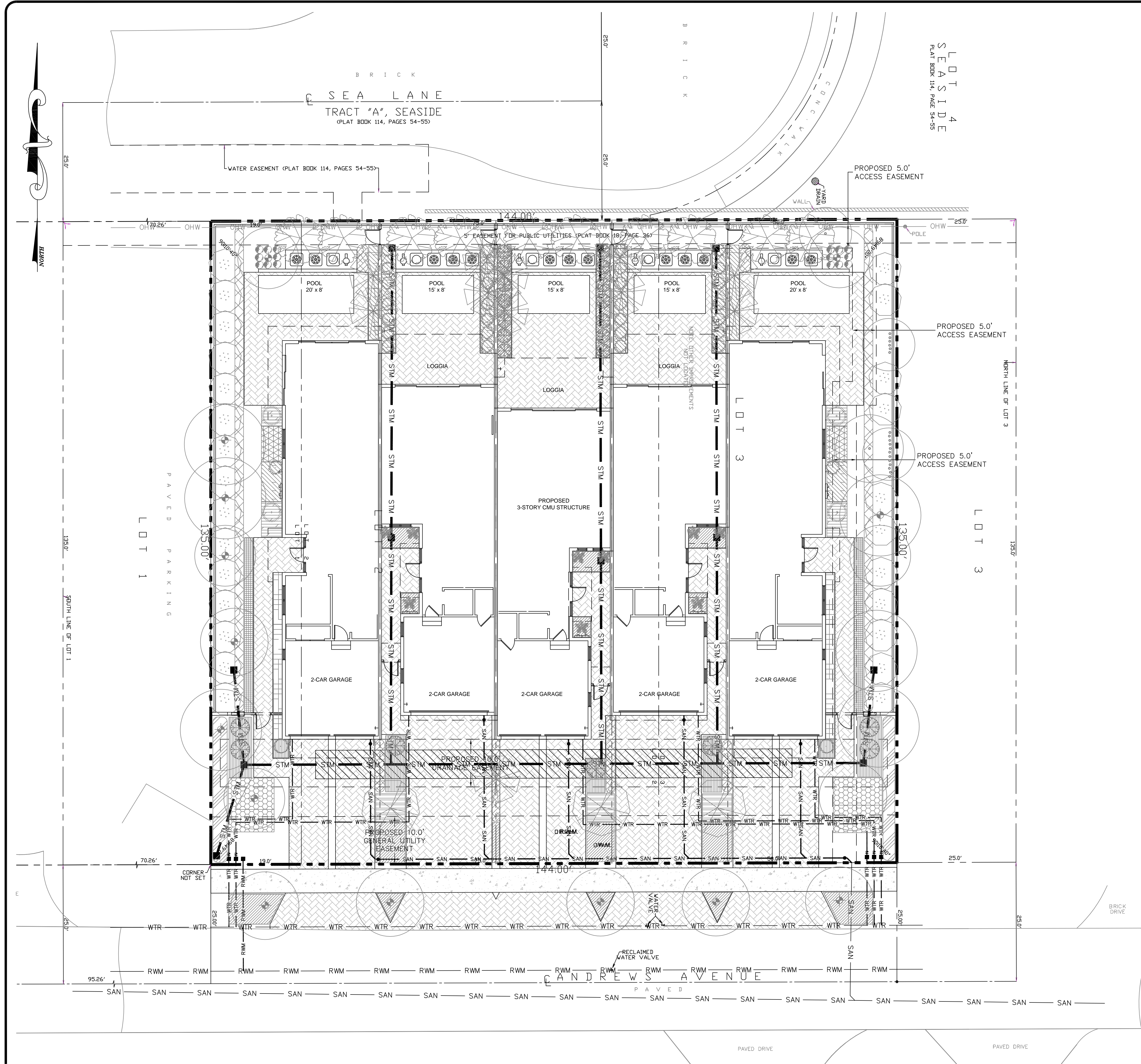
The subject property contains an existing single family residence and a portion of an adjacent parking lot (formerly provided extra guest parking for Manor House). The development proposal is to construct a multi-story, 5-unit townhouse development. The property is part of a residential zoning district with a similar density. All developments adjacent to the subject property to the north, south and east are zoned RM (Multiple Family Residential); development to the west is zoned R-1-AA. In terms of intensity, there will not be a significant impact on the neighborhood or municipal services considering the proposal is an increase of only 4 units. There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed multiple family development.

Housing Policy A-11.3: In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

As noted previously, the development proposal involves the demolition of a single-family structure and a portion of adjacent parking area (formerly used for Manor House guest parking) and construction of 5 townhouse units. The remainder of the guest parking lot should be sufficient to meet the needs of the Manor House complex. In terms of the compatibility, the proposed redevelopment will have little impact on the surrounding neighborhood.

The subject property is part of a residential zoning district with a similar density. All developments adjacent to the subject property, with the exception to the west, are zoned RM (Multiple Family Residential) and consist of parcels of land with multi-family units and single family units. West of the proposed development is Sea Lane, which separates single family units from the subject property. The east side of Sea Lane/west side of the subject property is heavily landscaped for buffering. Based upon the Palm Beach County Trip Generation Rates, the trips generated for the development will be a net increase of 4 AM peak hour and 5 PM peak hour trips. Therefore, there will minimal impact on the adjacent roadway system.

Based upon the above, the proposed development will not negatively impact the stability of the adjacent residential areas. A letter from Palm Beach County Traffic Division was received and has determined that the project meets the traffic performance standards of Palm Beach County.



LOCATION MAP
N.T.S.

- LEGEND:
- PROPERTY LINE
 - STM PROPOSED STORM LINE
 - SAN PROPOSED SANITARY SEWER LINE
 - WTR PROPOSED WATER LINE
 - EUG PROPOSED ELECTRIC UNDERGROUND LINE
 - GAS PROPOSED GAS LINE
 - STM EXISTING STORM LINE
 - SAN EXISTING SANITARY SEWER LINE
 - WTR EXISTING WATER LINE
 - OHW EXISTING OVERHEAD LINES
 - GAS EXISTING GAS LINES

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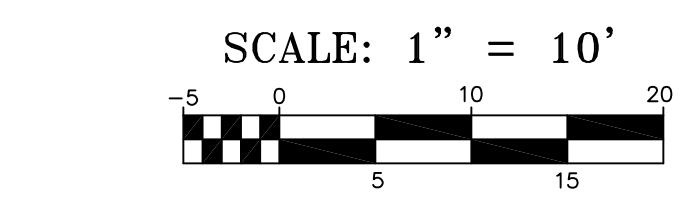
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



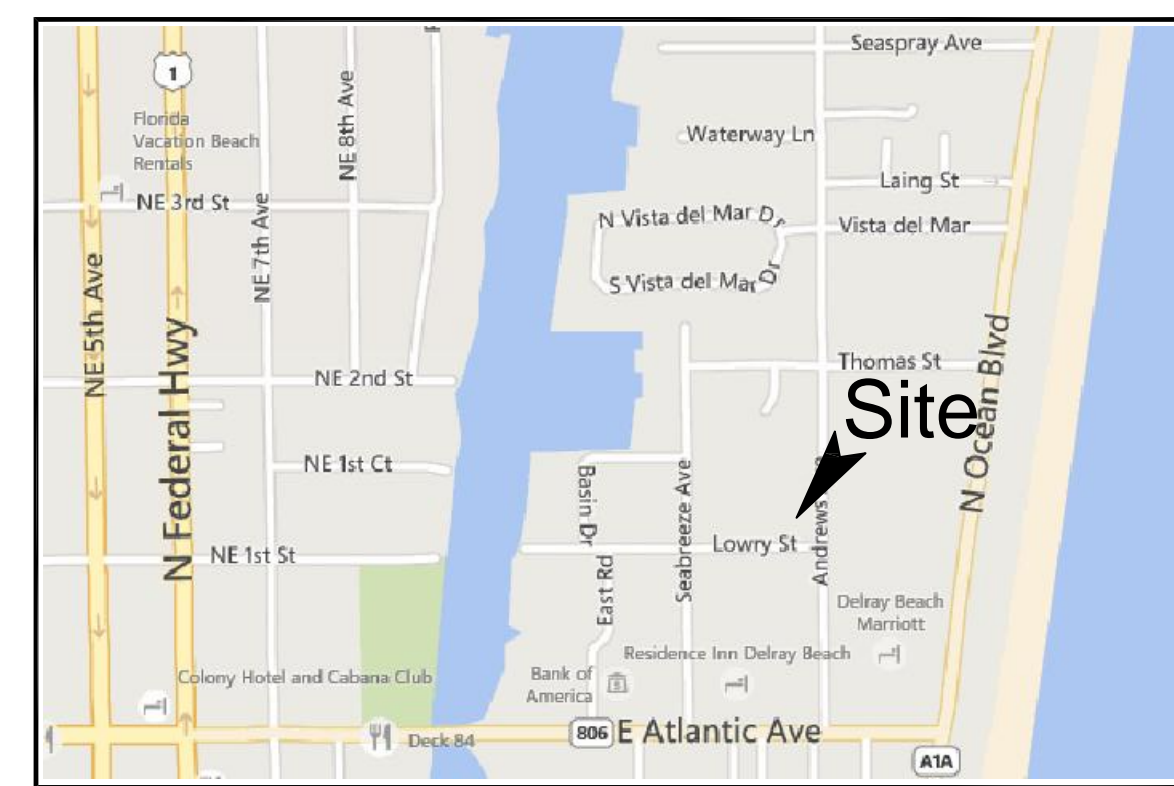
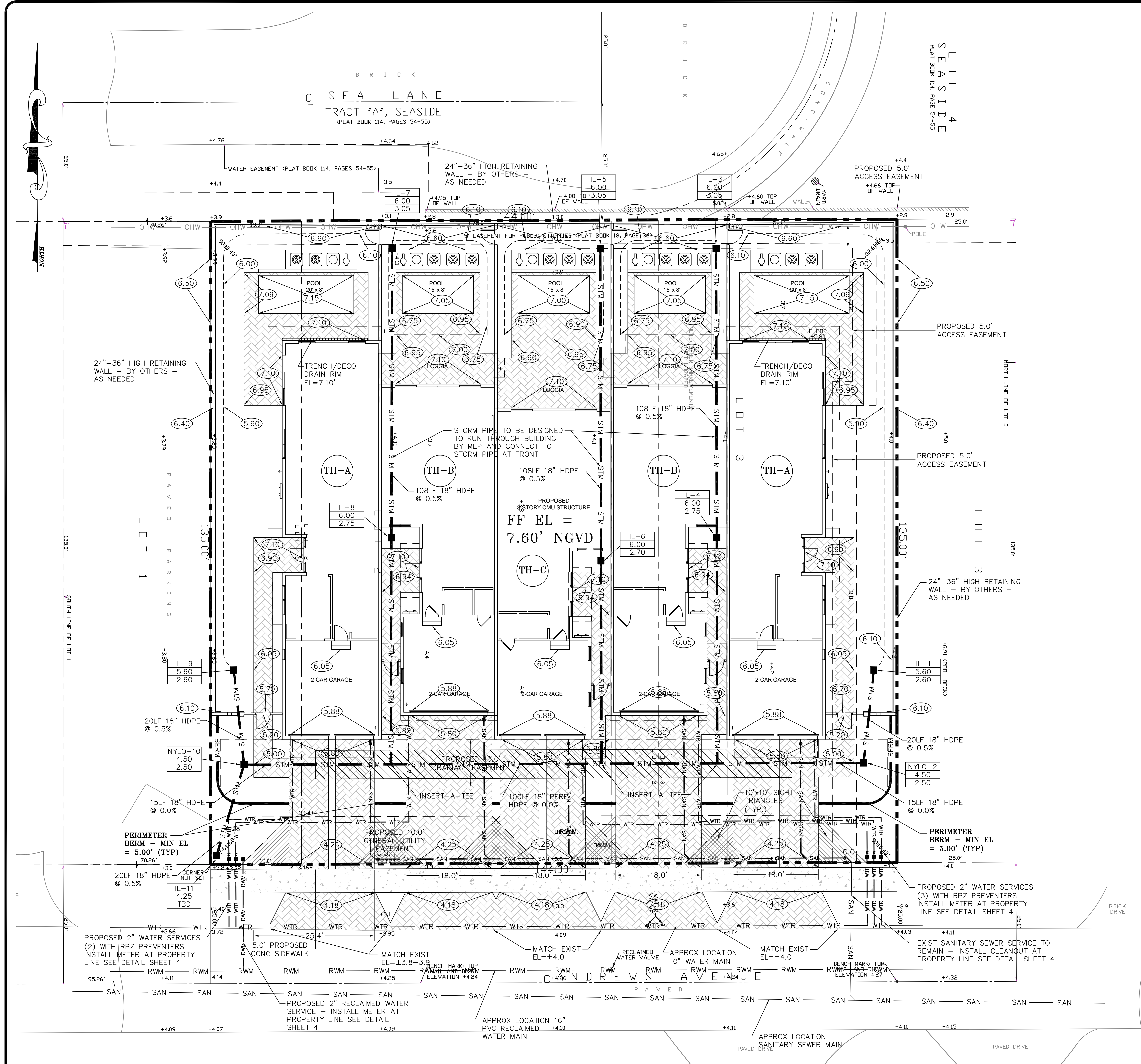
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COMPOSITE UTILITY PLAN FOR:
SEAGLASS COTTAGE
104 ANDREWS AVENUE
DELRAY BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS
EnviroDesign Associates Inc.
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
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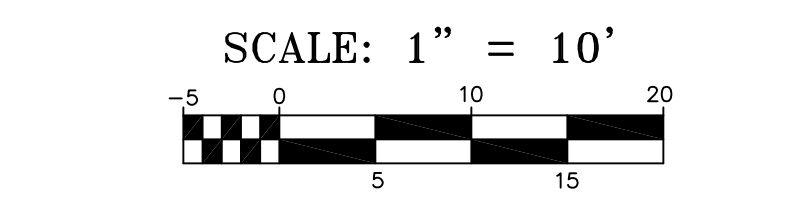


LOCATION MAP
N.T.S.

- LEGEND:
- PROPERTY LINE
 - SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
 - PROPOSED ELEVATION
 - DIRECTION OF FLOW
 - EXISTING ELEVATION
 - DENOTES AREA OF PROPOSED BRICK PAVING
 - PROPOSED CATCH BASIN
 - HDPE HIGH-DENSITY POLYETHYLENE PIPE
 - DENOTES 18" PERF HDPE PIPE IN 6' WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL = 1.50)
 - STRUCTURE NUMBER
RIM ELEVATION
INVERT ELEVATION
 - PROPOSED WATER METER
 - EXISTING MANHOLE
 - SANITARY SEWER CLEANOUT
 - SINGLE SANITARY SERVICE WITH CLEANOUT

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

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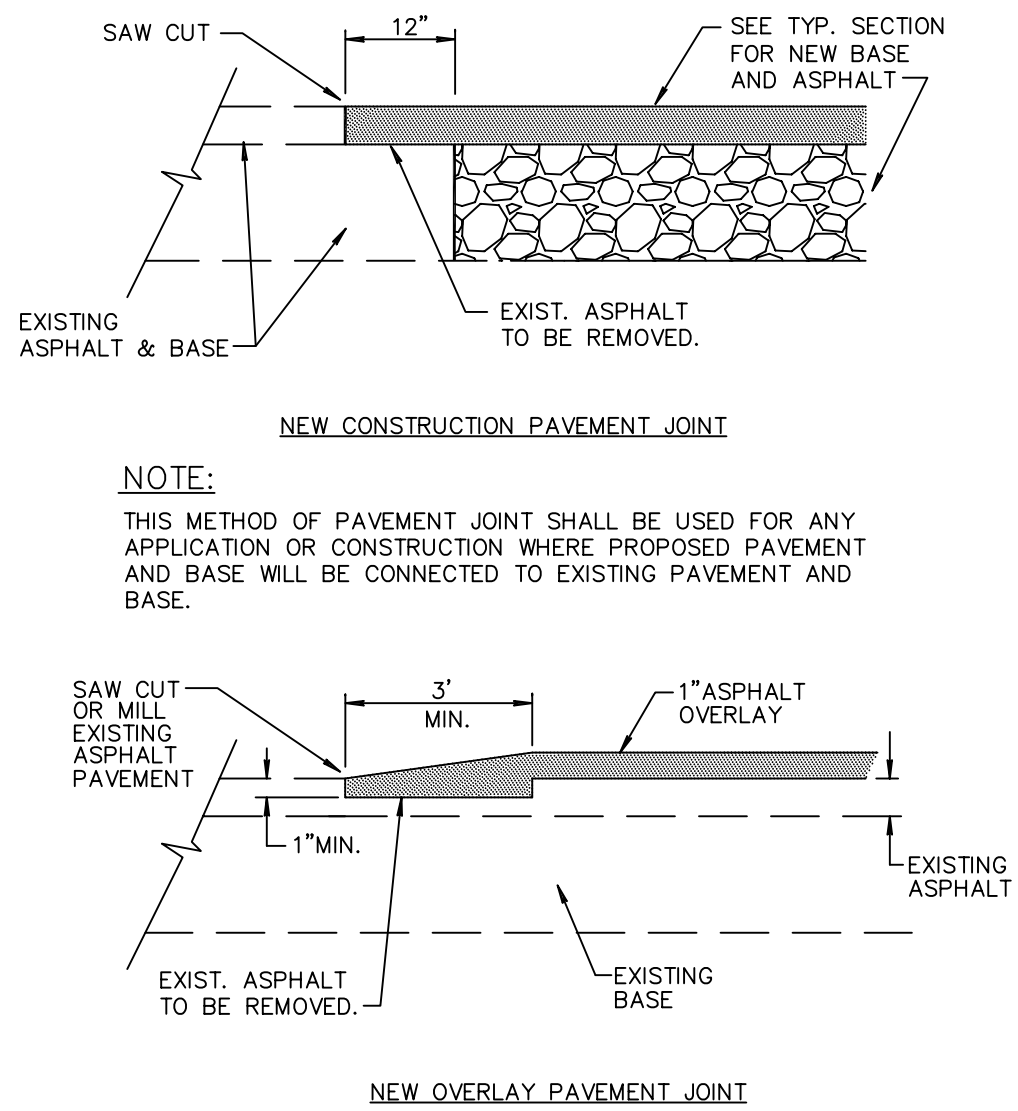
PAVING & DRAINAGE PLAN FOR:
SEAGLASS COTTAGE
104 ANDREWS AVENUE
DELRAY BEACH, FLORIDA

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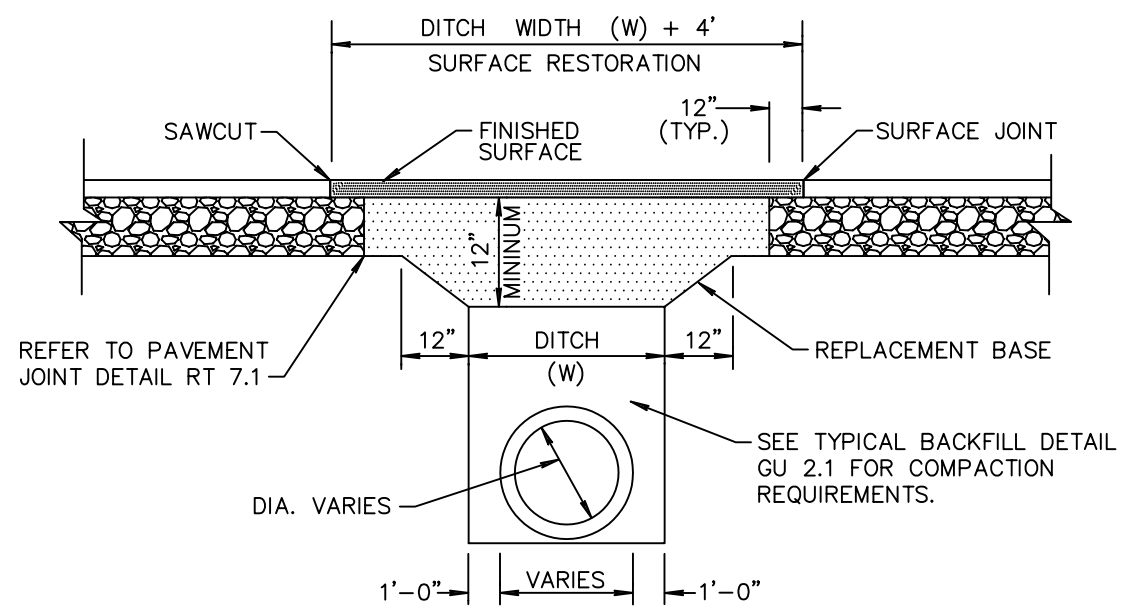
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NOT VALID WITHOUT ENGINEER'S SEAL
JOSEPH A. PIKE, P.E.
FL REG # 42696

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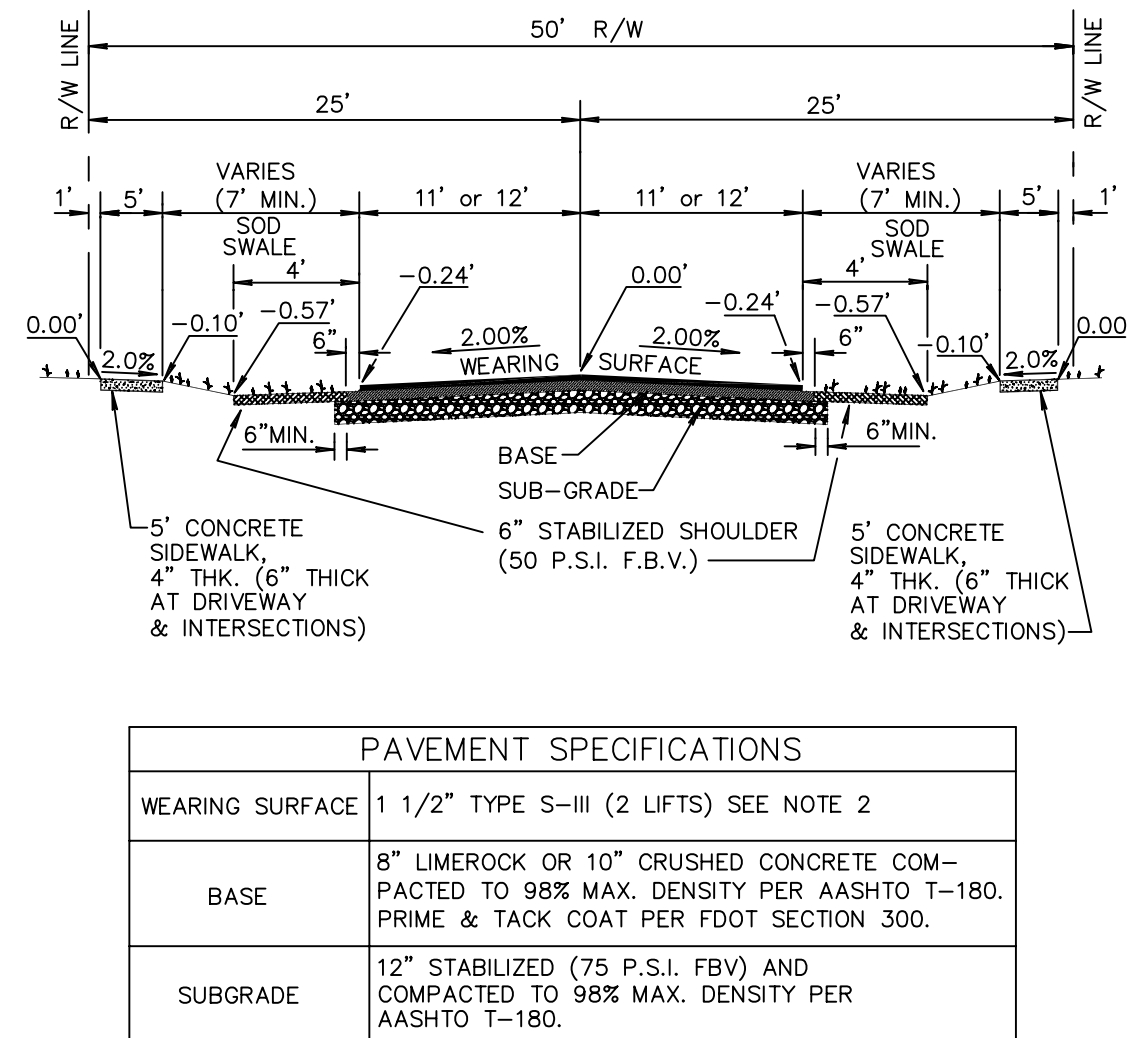


PAVEMENT JOINT DETAIL RT 7.1

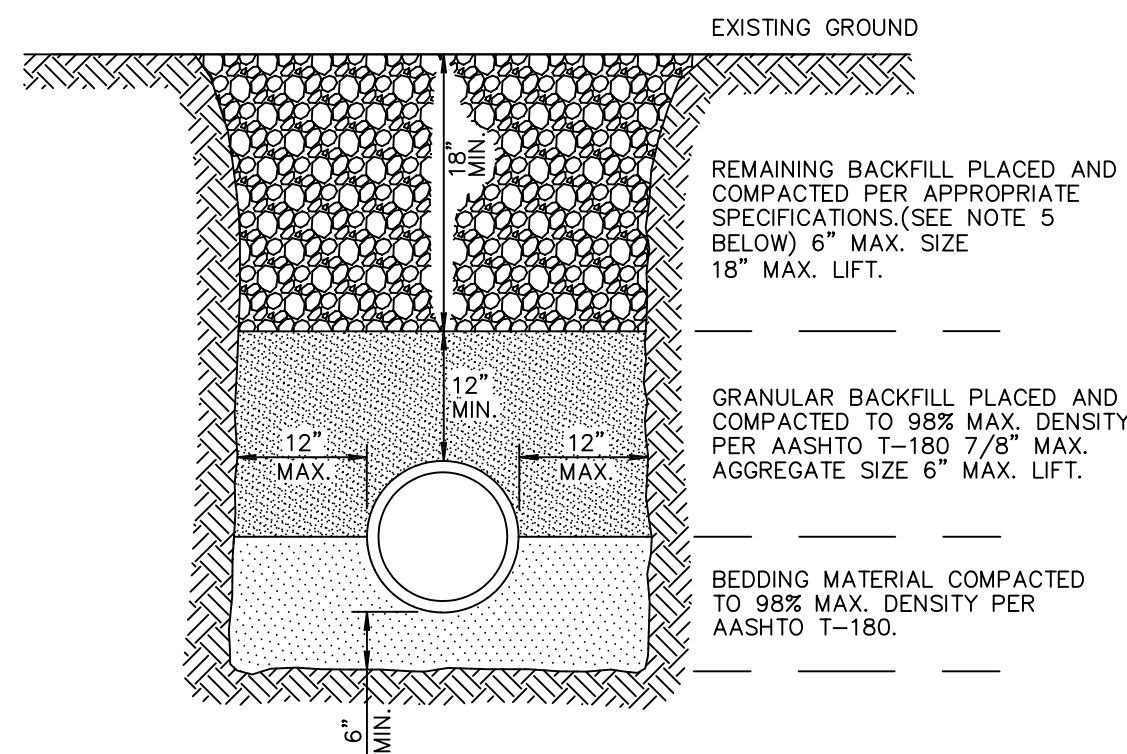


1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
- 2a. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
- 2b. 12" EXCAVATABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
5. SURFACE MATERIAL SHALL BE F.D.O.T. TYPE S-I OR S-III ASPHALTIC CONC. (MIN. THICKNESS 1 1/2").
6. ANY PAVT. CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL GU 1.1

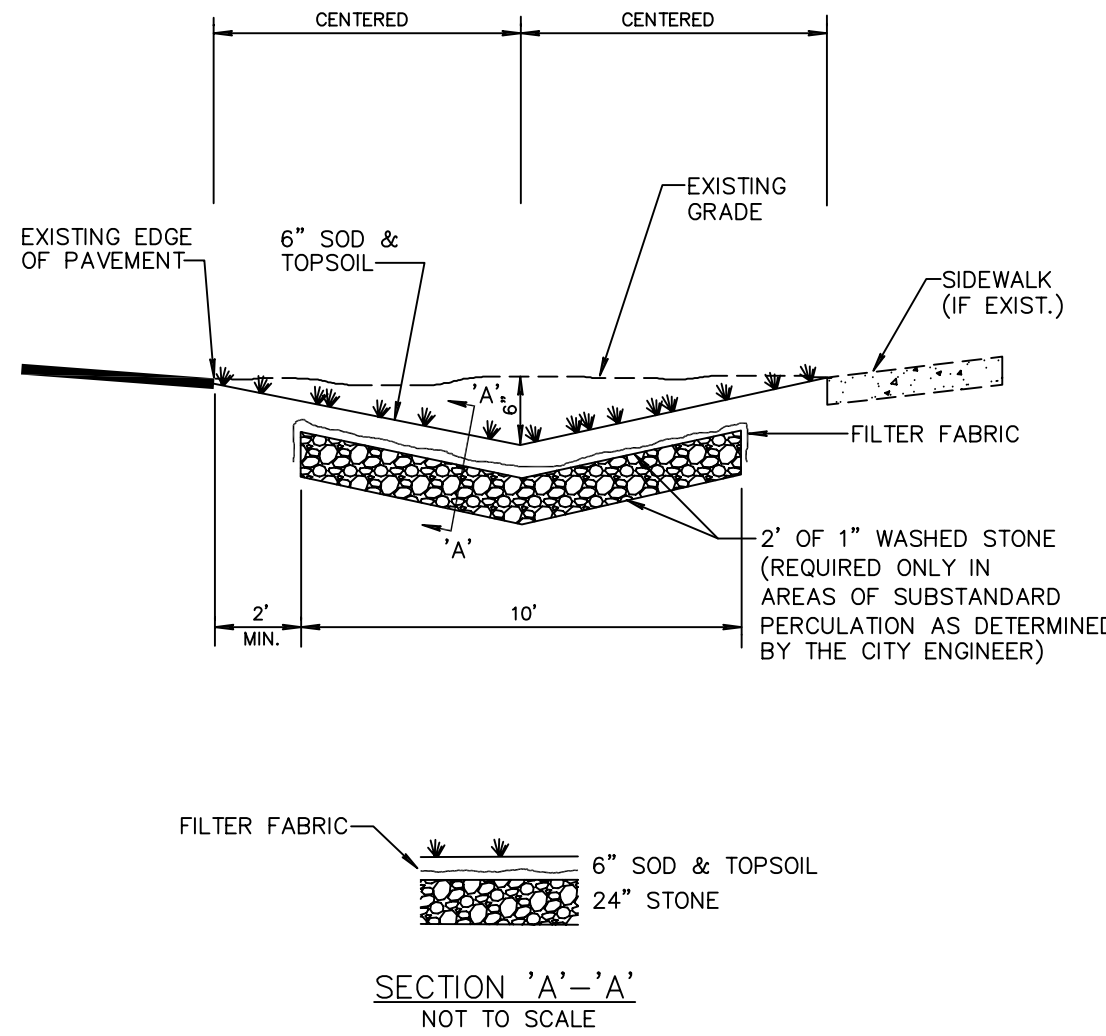


- NOTE:
1. VARIATION FROM MATERIAL SPECIFICATIONS WILL BE CONSIDERED ON A CASE BY CASE BASIS BY THE CITY ENGINEER.
 2. 2ND LIFT SHALL NOT BE PAVED UNTIL CONSTRUCTION VEHICLES AND EQUIPMENT HAVE COMPLETED WORK.
 3. STABILIZE SHOULDER TO 50 P.S.I. F.B.V.
- TYPICAL 50' R/W SECTION WITH SWALE DETAIL RT 1.1b

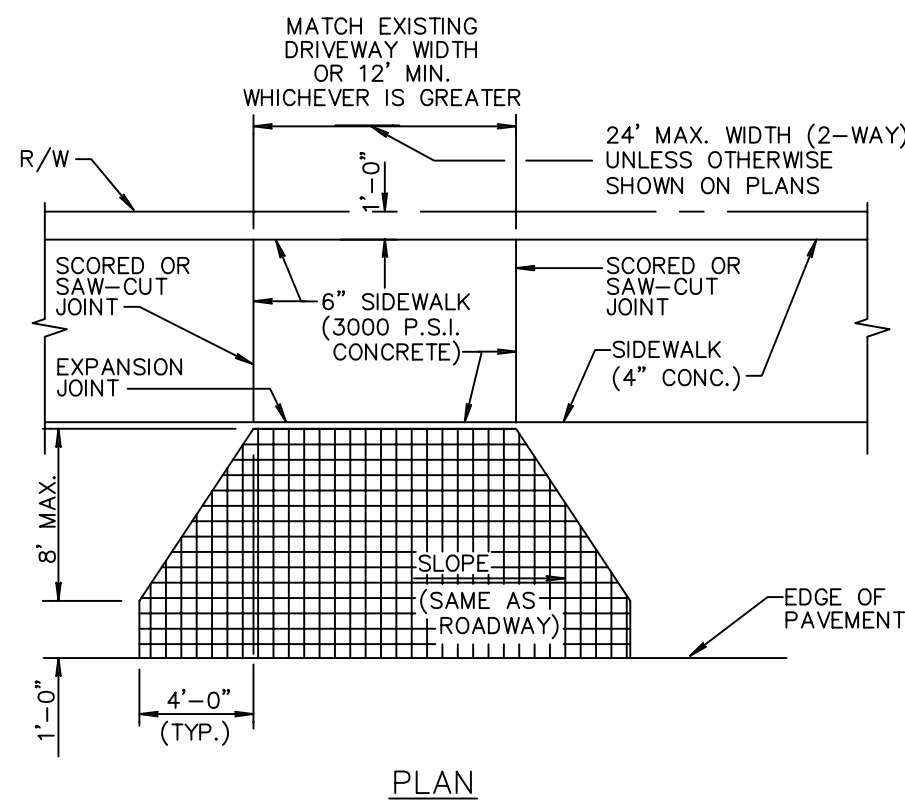


- NOTES:
1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
 2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
 4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
 5. COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180).
 6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

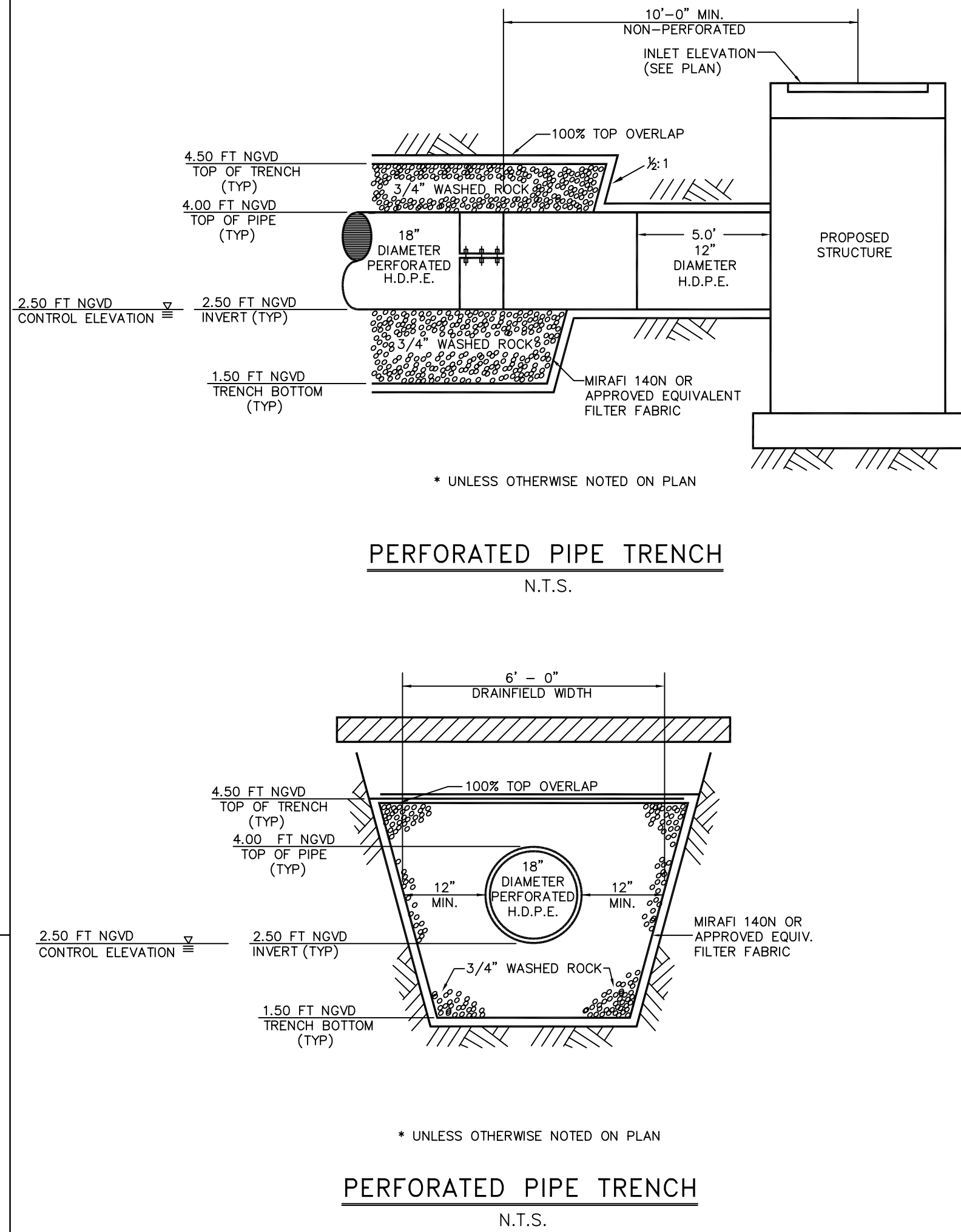
TYPICAL BACKFILL DETAIL GU 2.1



- NOTE:
1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.
- SWALE REPLACEMENT DETAIL D10.1



- NOTE: SIDEWALK SHALL BE CONSTRUCTED THROUGH DRIVEWAY.
- SECTION
- PAVER DRIVEWAY APRON TYPICAL DETAIL RT10.2



Know what's below.
Call before you dig.

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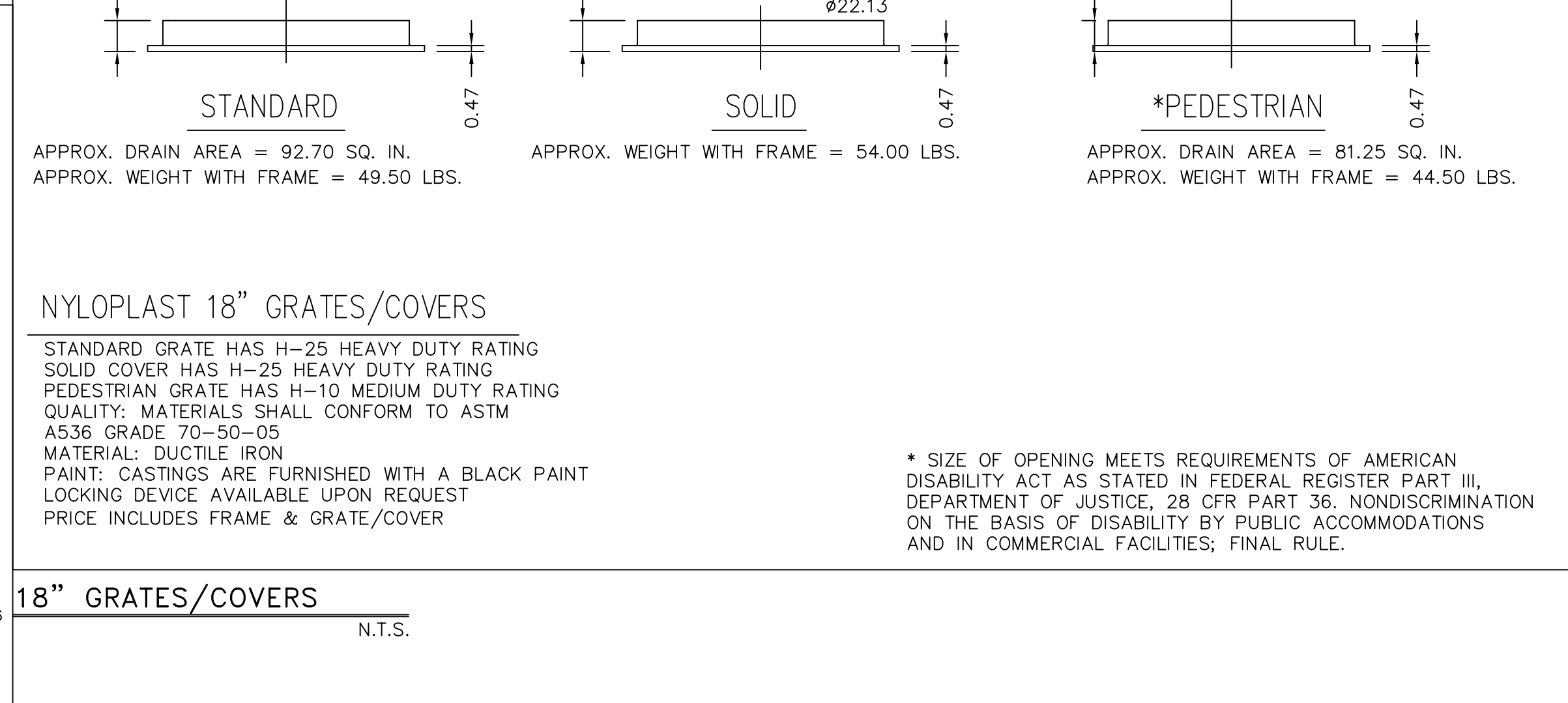
PAVING & DRAINAGE DETAILS FOR:
SEAGLASS COTTAGE
104 ANDREWS AVENUE
DELRAY BEACH, FLORIDA

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FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
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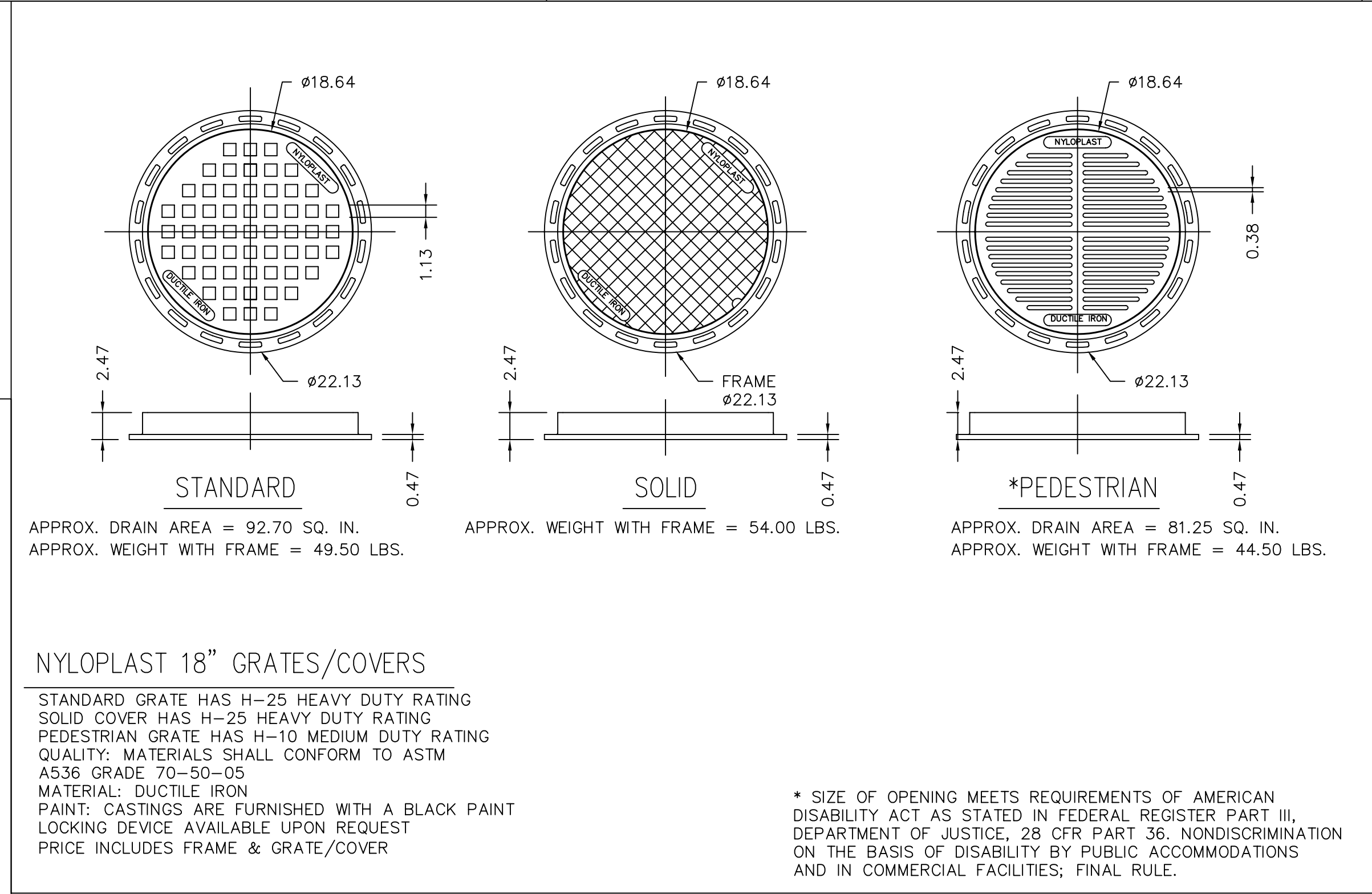
DRAWN:
M.T.J.
CHECKED:
J.A.P.
DATE:
9/01/16
JOB NO.
16083-DTL
SHEET NO.
2 OF 5

PAVING, GRADING AND DRAINAGE NOTES	
<p>1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.</p>	<p>11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.</p>
<p>2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.</p>	<p>12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS. COMPRESSIVE STRENGTH.</p>
<p>3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.</p>	<p>13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-10-001, WHERE APPLICABLE.</p>
<p>4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.</p>	<p>14. SEQUENCE OF CONSTRUCTION – THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY <u>PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.</u></p>
<p>5. MUCK AND PEAT – IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.</p>	<p>15. INLETS AND MANHOLES – ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.</p>
<p>6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.</p>	<p>16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.</p>
<p>7. CLEARING AND GRUBBING – WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.</p>	<p>17. GRADES SHOWN ARE FINISHED GRADES.</p>
<p>8. GUMBO – WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.</p>	<p>18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. TBD' N.G.V.D.</p>
<p>9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.</p>	<p>19. REINFORCED CONCRETE PIPE – THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.</p>
<p>10. TACK COAT – BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.</p>	<p>20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.</p>
	<p>21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.</p>
	<p>22. PIPE BACKFILL – REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.</p>
	<p>23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.</p>
	<p>24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.</p>

CITY OF DELRAY BEACH GENERAL NOTES	
1.	ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.
2.	CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC
3.	NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
4.	NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF TWO- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
5.	NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2
6.	ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.
7.	CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312.
8.	THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.
9.	UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.
10.	ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
11.	ALL CITY OF DELRAY BEACH 2014 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.



GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
5. ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBD (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.i
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)



18" GRATES/COVERS

N.T.S.

18" DRAIN BASIN

DUCTILE IRON FRAME AND GRATE

INLET AND OUTLET ADAPTERS AVAILABLE 4" THRU 18"

VARIOUS TYPES OF OUTLETS WITH WATERTIGHT ADAPTERS FOR:
 ADS N-12
 SDR-35 SEWER
 SCHEDULE 40 DWV
 CORRUGATED PVC
 RIBBED PVC

VARIABLE INVERT HEIGHT

18"

2.47"

VARIABLE OVERALL HEIGHT *(2)

6" MIN.

4" - 18"

*(1)

*(1)

*(1) ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 359°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-013.

*(2) MAXIMUM RECOMMENDED OVERALL HEIGHT 10'

CALL 48 HOURS BEFORE YOU DIG.

18" DRAIN BASIN
N.T.S.

811

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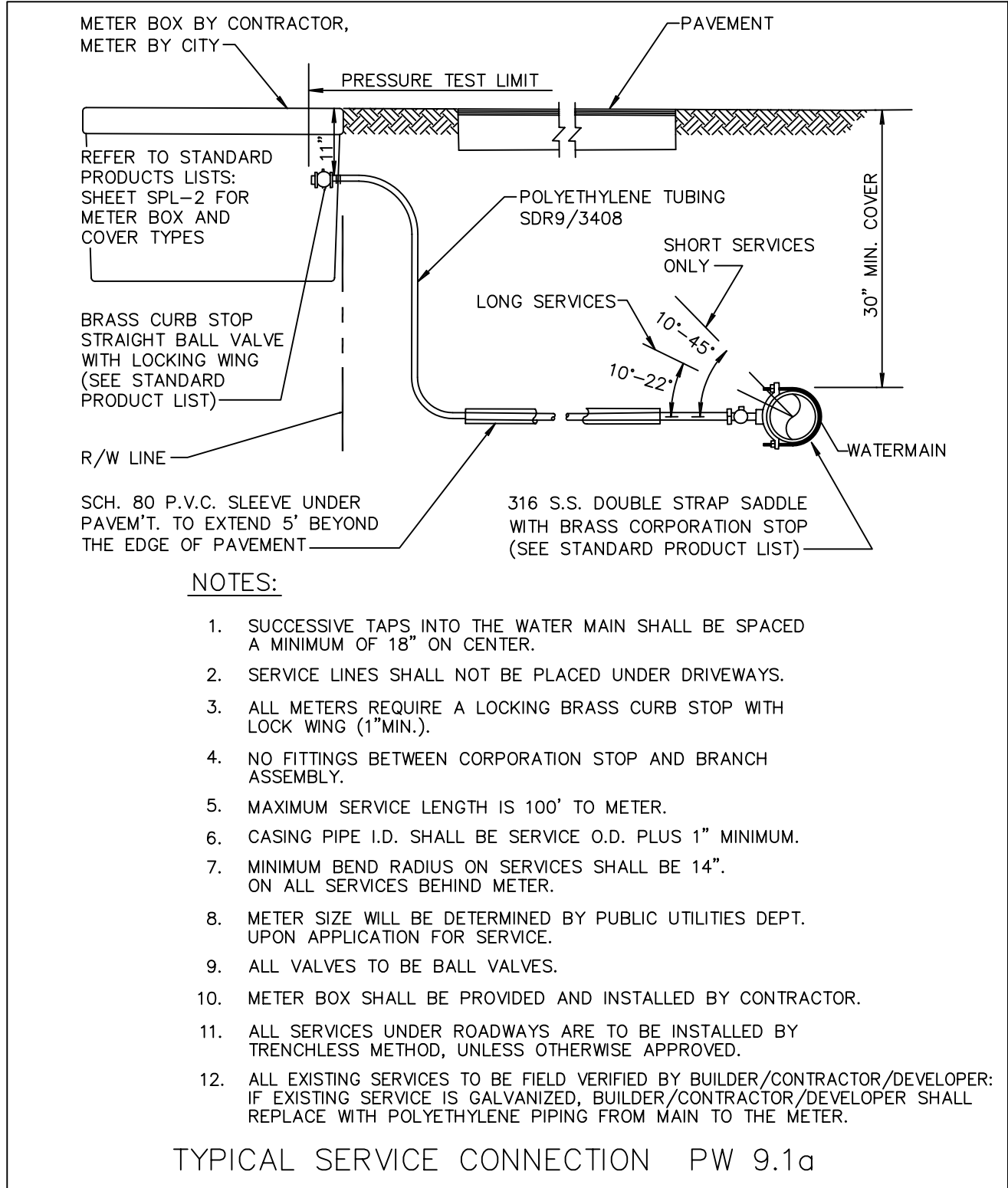
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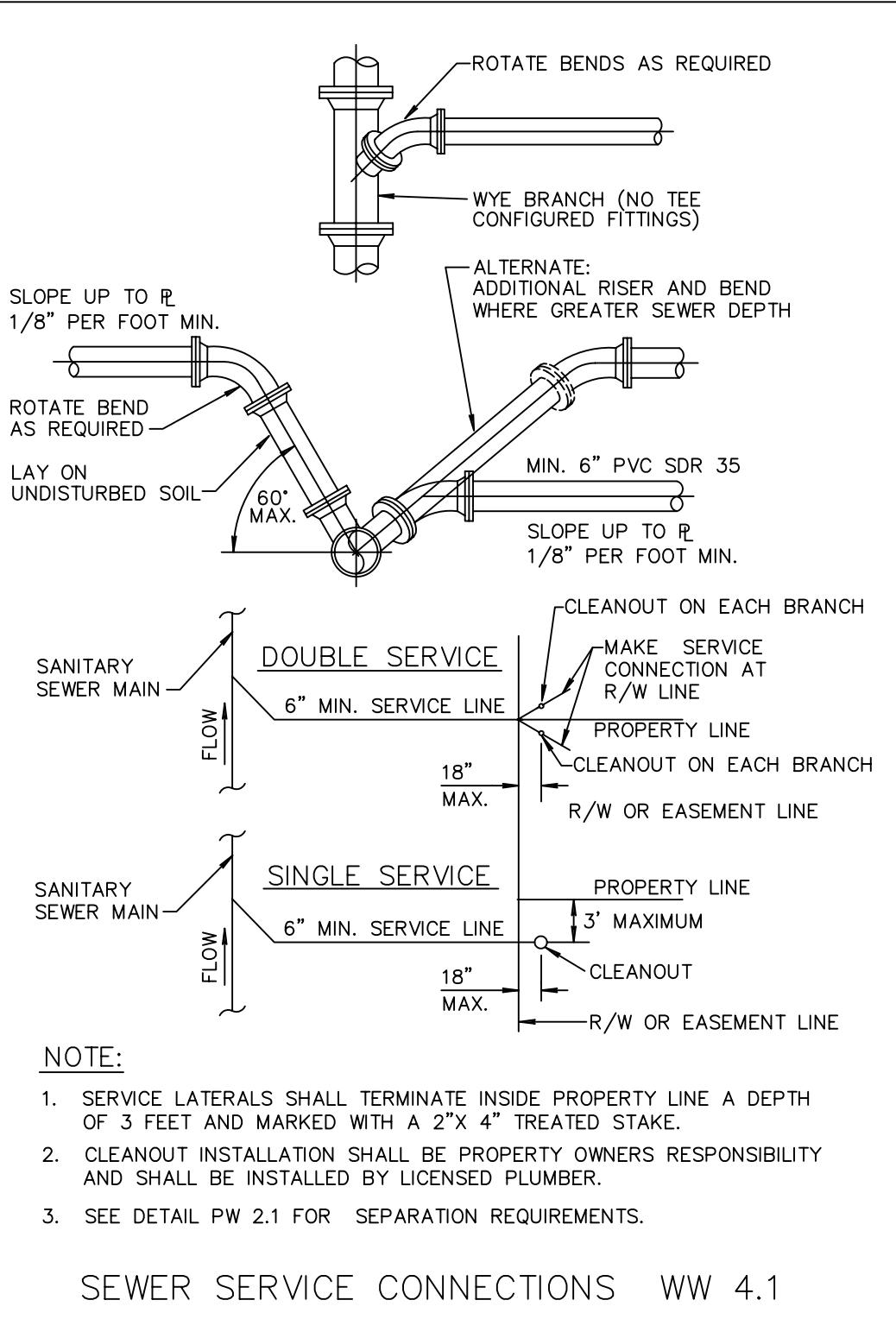
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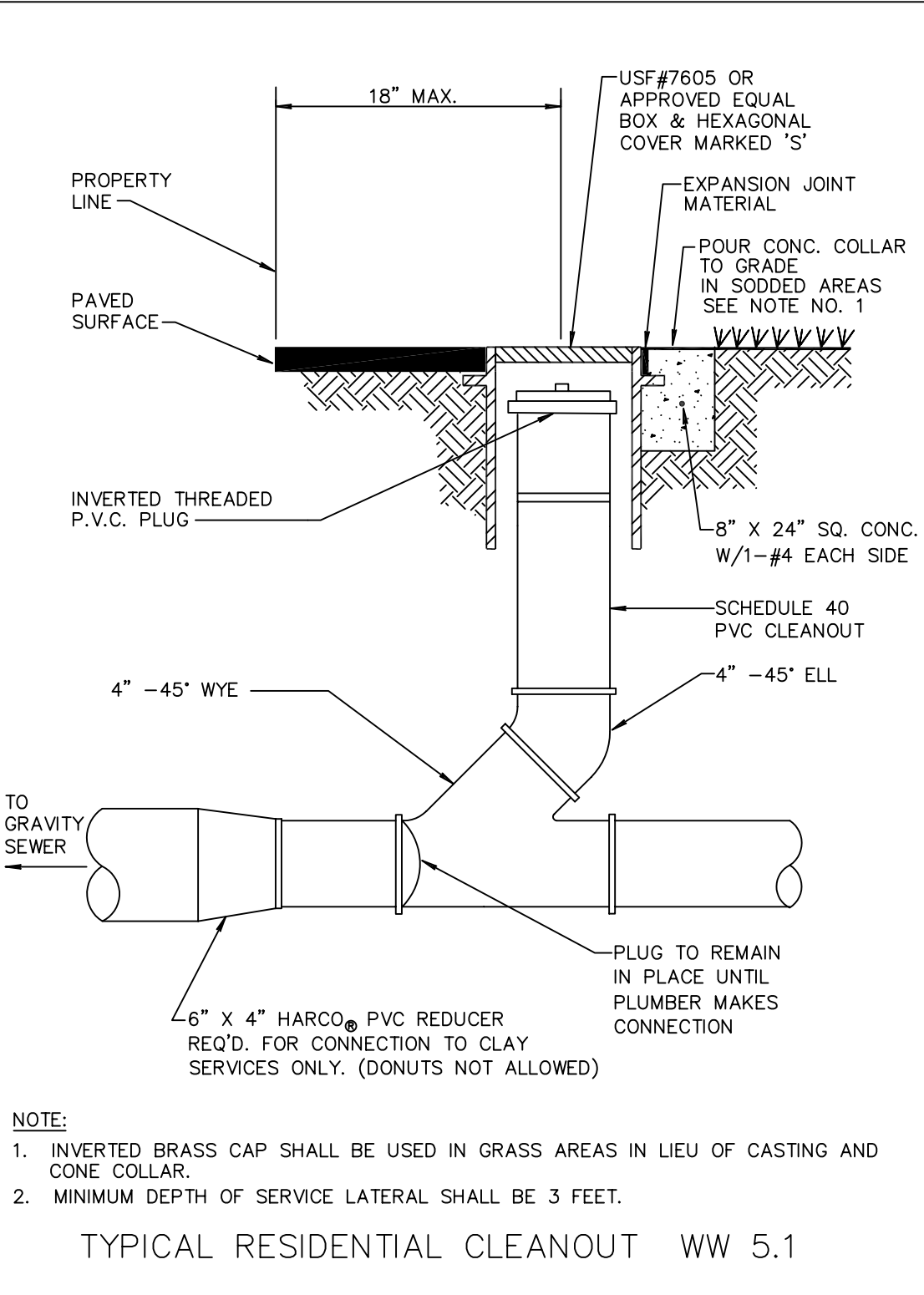
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	CHECKED: J.A.P.								
DATE: 9/01/16			104 ANDREWS AVENUE DELRAY BEACH, FLORIDA		JOSEPH A. PIKE, P.E. FL REG # 42896				
JOB NO. 16083-DTL									
SHEET NO. 3 OF 5									



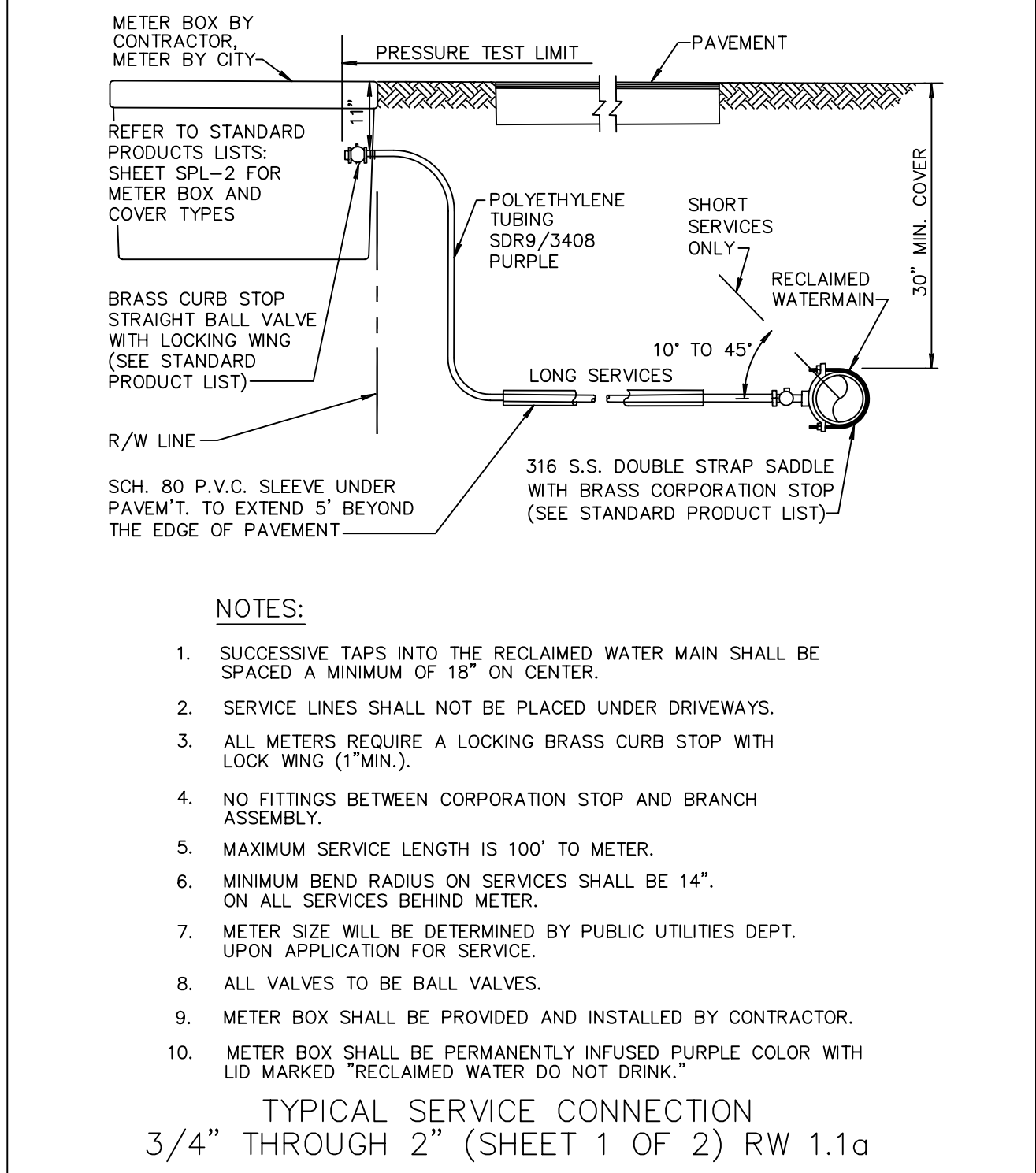
TYPICAL SERVICE CONNECTION PW 9.1a



SEWER SERVICE CONNECTIONS WW 4.1



TYPICAL RESIDENTIAL CLEANOUT WW 5.1

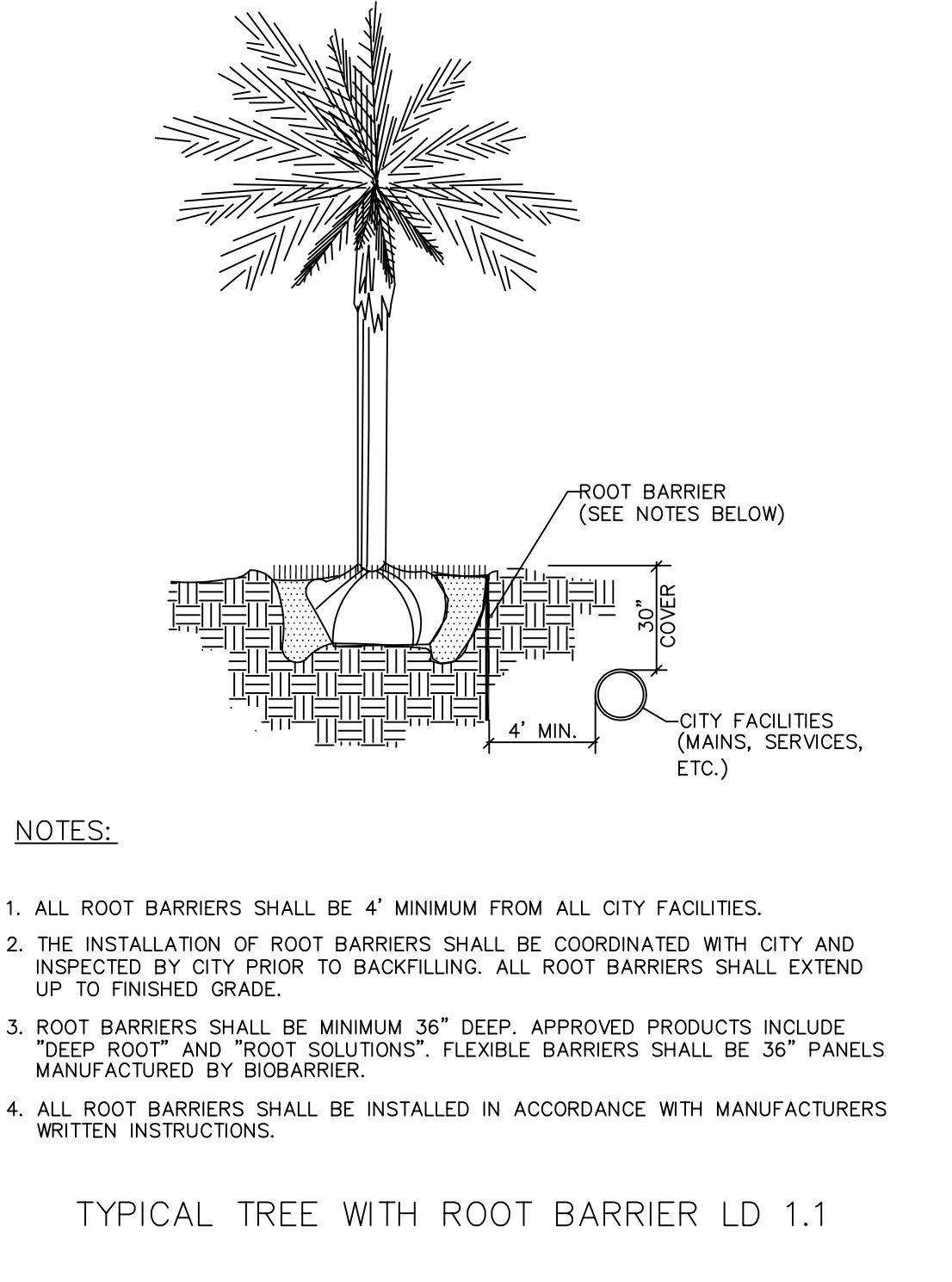


TYPICAL SERVICE CONNECTION
3/4" THROUGH 2" (SHEET 1 OF 2) RW 1.1a

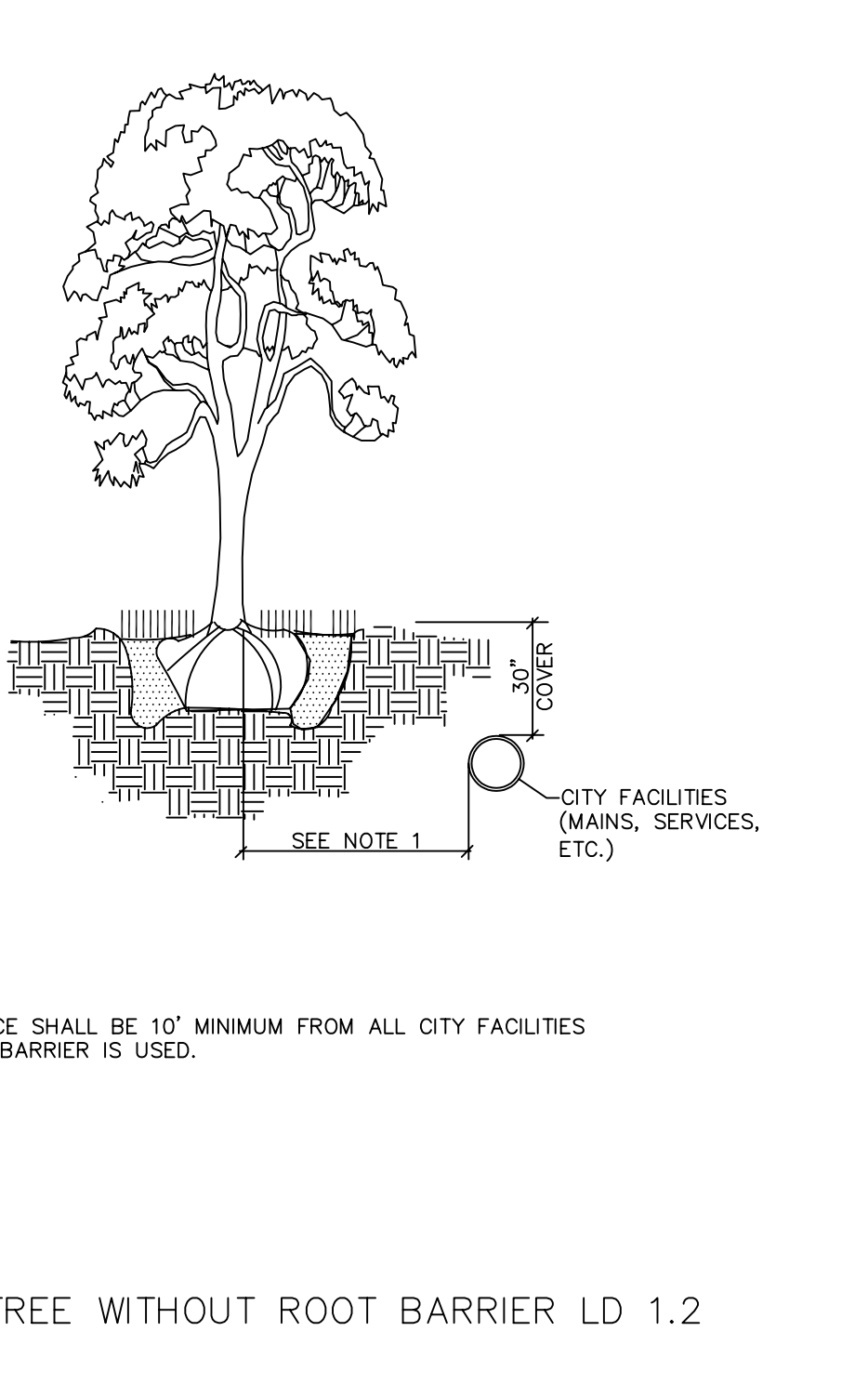
NOTES:

- 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN METER BOX AND ANY OBSTRUCTION.
- FOR INSTALLATION OF SERVICES UNDER DRIVEWAYS AND ROADWAYS A CASING WILL BE USED. PVC SCH 80 OR HDPE SDR 9 PURPLE CASING, CASING TO EXTEND MIN. 5' BEYOND EDGE OF PAVEMENT. END OF CASING TO BE SEALED WITH CEMENT. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- METER SHALL NOT BE PLACED IN SIDEWALK OR DRIVEWAY AREAS. SERVICE LINES AND TAPS SHALL NOT BE PLACED UNDER DRIVEWAYS WHENEVER POSSIBLE.
- CHECK VALVE IS REQUIRED FOR EVERY RECLAIMED WATER SERVICE. CHECK VALVE SHALL BE PLACED ON DEVELOPER SIDE OF METER.
- BEDDING (MIN. 4") AND COVER (MIN. 4") OVER SERVICE LINE OR CASING SHALL CONSIST OF FINE GRANULAR MATERIAL. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED WITH 2" MAXIMUM SIZE.
- METER SERVICE WILL NOT BE INSTALLED UNTIL:
 - FORM BOARDS FOR DRIVEWAY AND/OR SIDEWALK ARE IN PLACE OR DRIVEWAY OR SIDEWALK IS IN PLACE
 - "MINIMUM UNOBSTRUCTED SPACE" (AS SHOWN) IS PROVIDED. MINIMUM 12" VERT. SEPARATION IS REQUIRED TO OTHER UTILITIES
- METER TO BE SET BY CITY.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR INSTALLATION OF SERVICES BEYOND PRESSURE TEST LIMITS AS SPECIFIED BY THE CITY.
- PIPING VALVE & BOX TO BE PERMANENTLY IDENTIFIED AS "RECLAIMED WATER SYSTEM."

TYPICAL SERVICE CONNECTION
3/4" THROUGH 2" (SHEET 2 OF 2)
RW 1.1b



TYPICAL TREE WITH ROOT BARRIER LD 1.1



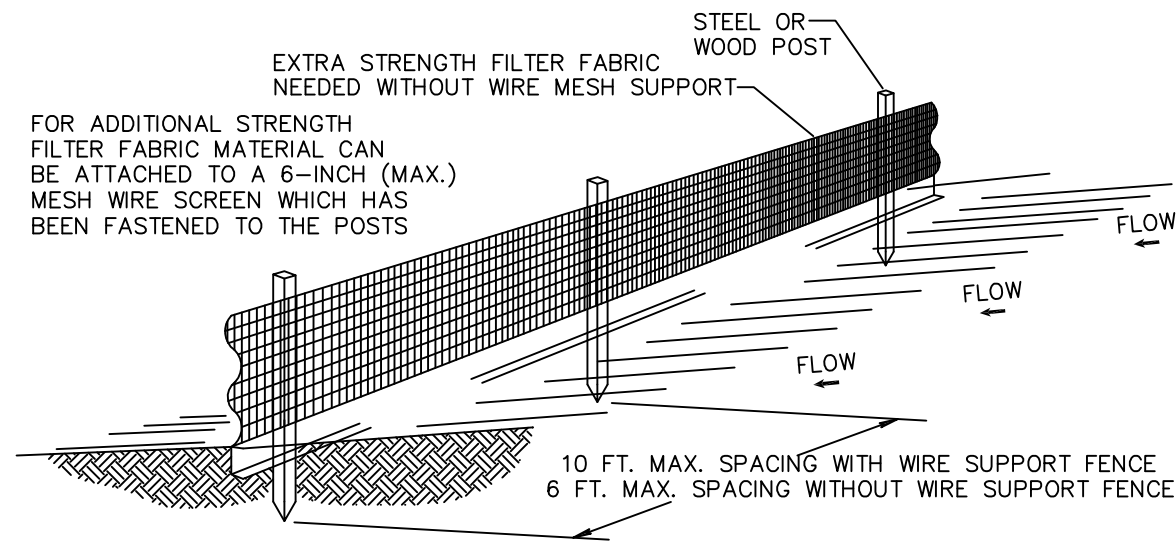
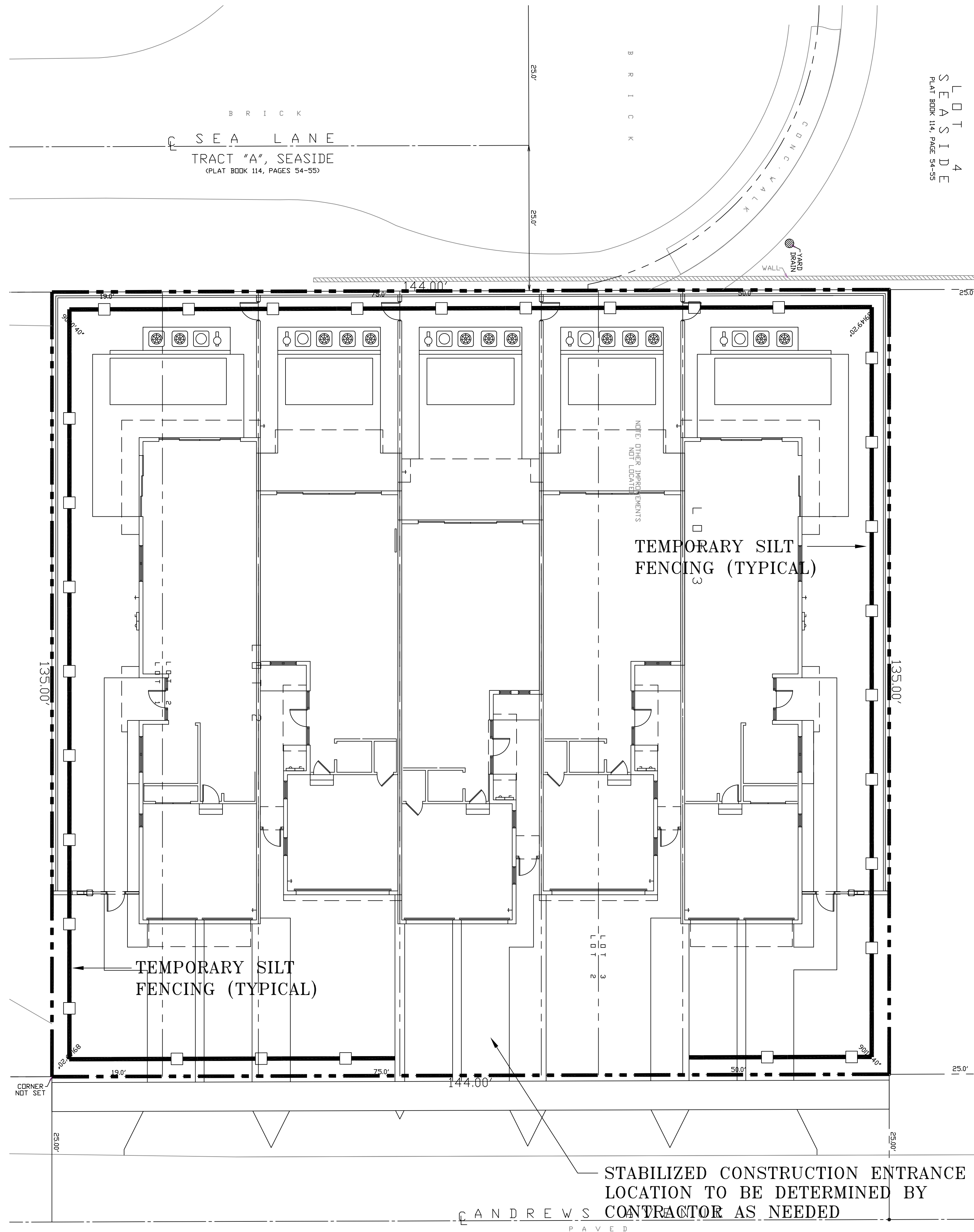
TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2



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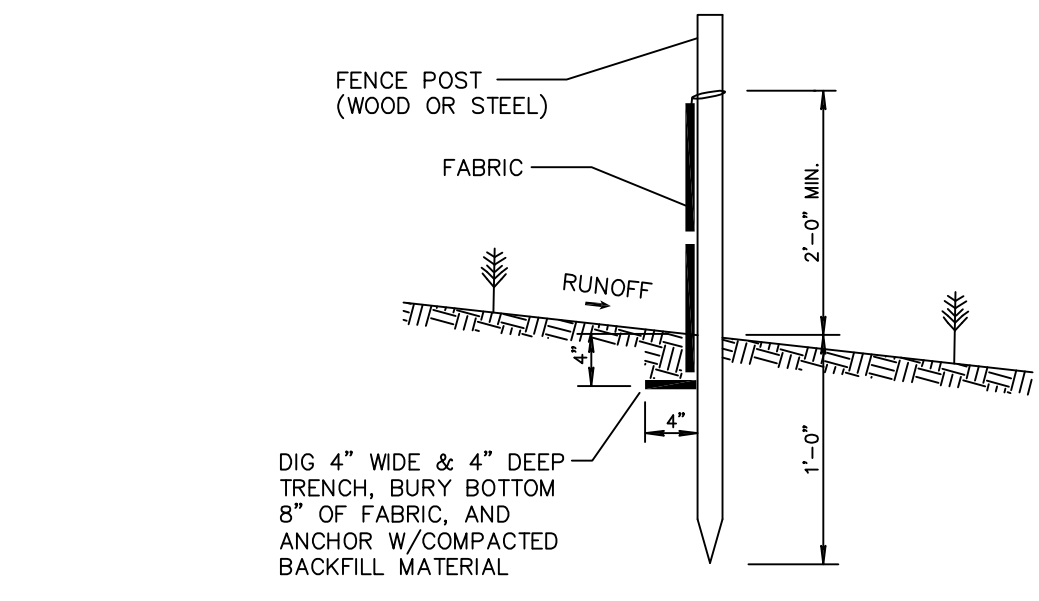
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WATER & WASTEWATER DETAILS FOR: SEAGLASS COTTAGE 104 ANDREWS AVENUE DELRAY BEACH, FLORIDA		NOT VALID WITHOUT ENGINEER'S SEAL JOSEPH A. PIKE, P.E. FL REG # 42696	
ENGINEERS • ENVIRONMENTAL CONSULTANTS EnviroDesign Associates Inc. www.envirodesign.com FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-6500 Fax: (561) 274-8558		DRAWN: M.T.J. CHECKED: J.A.P. DATE: 9/01/16 JOB NO. 16083-DTL SHEET NO. 4 OF 5	



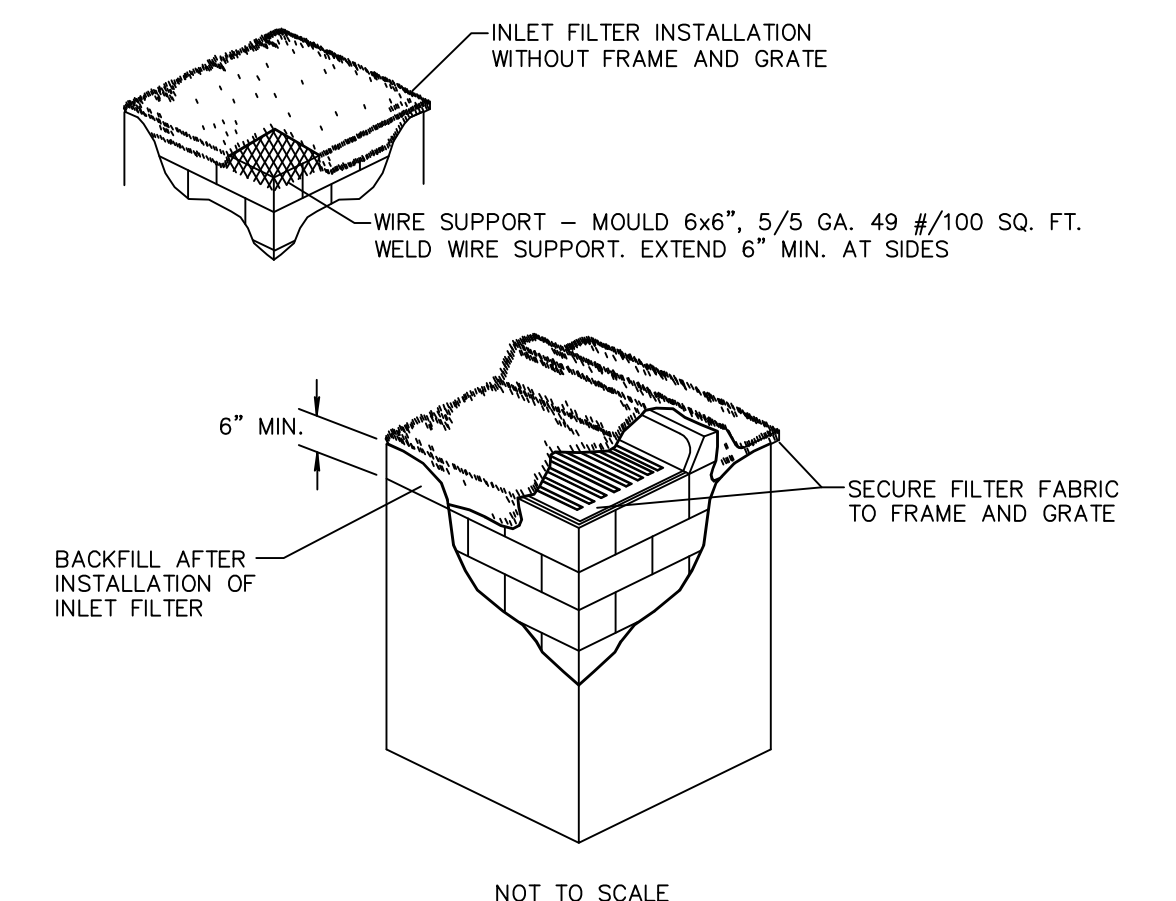
- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM), WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRE SHALL BE STAPLED TO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
 9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2



- NOT TO SCALE
- PLACEMENT OF THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE
- ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL
- DRIVE BOTH POSTS ABOUT 18 INCHES INTO THE GROUND AND BURY FLAP
- ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2

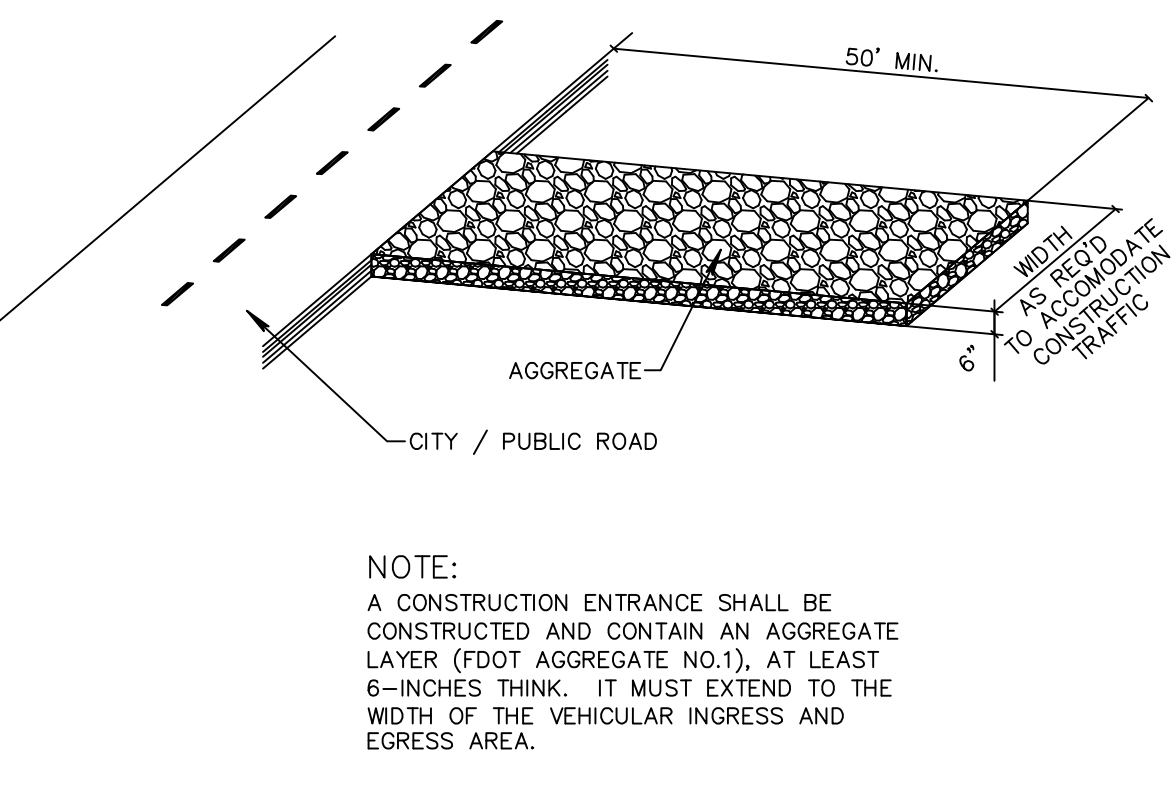


- NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D 8.1

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL D9.1



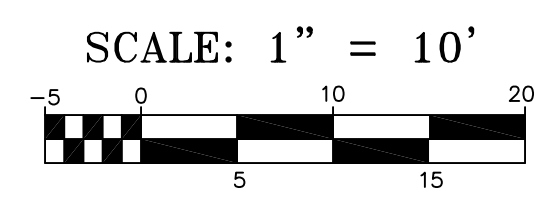
STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



POLLUTION PREVENTION PLAN FOR:
SEAGLASS COTTAGE
104 ANDREWS AVENUE
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
M.T.J.

CHECKED:
J.A.P.

DATE:
2/16/17

JOB NO.
16083-PPP

SHEET NO.
5 OF 5

BY:

REVISIONS:

DATE:

NO.

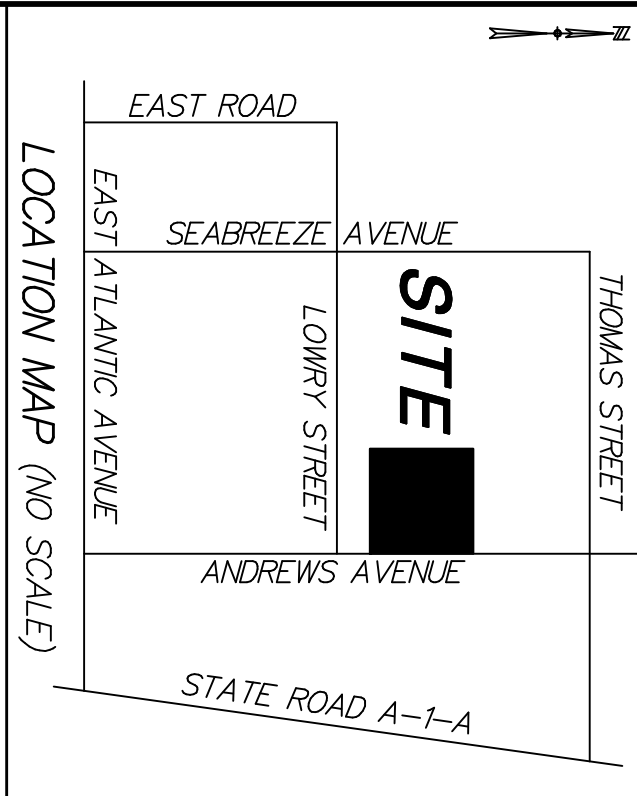
NOT VALID WITHOUT ENGINEER'S SEAL

JOSEPH A. PIKE, P.E.
FL REG # 42696

SEAGLASS COTTAGES

BEING A REPLAT OF THE NORTH 19.0 FEET OF LOT 1, ALL OF LOT 2 AND THE SOUTH 50.0 FEET OF LOT 3, OCEAN BREEZE ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 36 (P.R.P.B.CO.), BEING IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

JANUARY 2017
SHEET 1 OF 2



DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT SEAGLASS COTTAGES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE ABOVE SHOWN HEREON, BEING A REPLAT OF THE NORTH 19 FEET OF LOT 1, ALL OF LOT 2 AND THE SOUTH 50 FEET OF LOT 3, OCEAN BREEZE ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 36 (P.R.P.B.CO.), BEING IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA, SHOW HEREON AS "SEAGLASS COTTAGES", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 19 FEET OF LOT 1, ALL OF LOT 2, AND THE SOUTH 50 FEET OF LOT 3 OF OCEAN BREEZE ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 36, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

SAID PARCEL, CONTAINING 19,440 SQUARE FEET OR 0.446 ACRE MORE OR LESS.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

LOTS 1, 2, 3, 4, AND 5 ARE HEREBY PLATTED FOR PRIVATE PURPOSES AS ALLOWED PURSUANT TO THE PLANNING AND ZONING REGULATIONS OF THE CITY OF DELRAY BEACH.

ALL GENERAL UTILITY (GU) EASEMENTS ARE MADE TO ANY PUBLIC OR PRIVATE UTILITY SUCH AS BUT NOT LIMITED TO SANITARY SEWER SERVICE, WATER SERVICE, STORM SERVICE, ELECTRIC POWER GAS SERVICE, TELEPHONE LINES AND CABLE TELEVISION, PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITY AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL CONFORM WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

ALL DRAINAGE EASEMENTS SHOWN HEREON ARE DEDICATED TO SEAGLASS COTTAGES LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS, AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE SAID LIMITED LIABILITY COMPANY, WITHOUT RECOURSE TO THE CITY OF DELRAY BEACH.

THE ACCESS EASEMENT AS SHOWN HEREON IS FOR THE BENEFIT OF LOTS 2, 3 AND 4, THEIR SUCCESSORS AND ASSIGNS FOR THE PURPOSE OF EXTERIOR ACCESS TO THE REAR OF SAID LOTS 2, 3 AND 4, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF THE OWNER OF SAID LOTS 1, 2 AND 3, THEIR SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF DELRAY BEACH.

THE NON-VEHICULAR ACCESS LINE IS MADE TO THE CITY OF DELRAY BEACH FOR THE PURPOSE OF PROHIBITING ACCESS BETWEEN ADJUTING LOTS AND THE ADJACENT RIGHT OF WAY.

IN WITNESS WHEREOF, THE ABOVE NAMED LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGER AND ITS COMPANY SEAL TO BE AFFIXED HERE TO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS _____ DAY OF _____, 2017.

SEAGLASS COTTAGES, LLC,
A FLORIDA LIMITED LIABILITY COMPANY

WITNESS: _____ BY: THOMAS D. LAUDAN
PRINT NAME: _____ MANAGER

WITNESS: _____
PRINT NAME: _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, PERSONALLY APPEARED THOMAS D. LAUDAN WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED AS IDENTIFICATION AND WHO EXECUTED THE FOREGOING INSTRUMENT AS MANAGER OF SEAGLASS COTTAGES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AND SEVERALLY AS MANAGER OF SAID COMPANY, AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS MANAGER OF SAID COMPANY, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE COMPANY SEAL OF SAID COMPANY AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR COMPANY AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2017.

MY COMMISSION EXPIRES:

NOTARY PUBLIC
NAME: _____
COMMISSION NO.: _____

CITY APPROVAL:

THIS PLAT OF "SEAGLASS COTTAGES" AS APPROVED ON THE _____ DAY OF _____, A.D. 2017 BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH.

MAYOR: _____ ATTEST: _____
CITY CLERK: _____
AND REVIEWED, ACCEPTED, AND CERTIFIED BY:

DIRECTOR OF PLANNING ZONING, _____ DIRECTOR OF ENVIRONMENTAL SERVICES

CITY ENGINEER _____ FIRE MARSHAL _____

TITLE CERTIFICATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH
I, CROSTON A. BENWARD, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY, THAT I FIND THE TITLE TO THE PROPERTY IS RESTED TO SEAGLASS COTTAGES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATE: _____
CROSTON A. BENWARD
ATTORNEY STATE OF FLORIDA

REVIEWING SURVEYORS STATEMENT:

THIS IS TO CERTIFY THAT THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT WITH THE CITY OF DELRAY BEACH, FLORIDA, HAS REVIEWED THIS PLAT OF "SEAGLASS COTTAGES" AS REQUIRED BY CHAPTER 177.081 (1), FLORIDA STATUTES, AND FINDS THAT IT COMPLES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES.

DATE: _____
DAVID B. LINDEY, PLS.
FLORIDA REGISTRATION NO. 5005
GAILFELD WHEELER, INC.
LICENSE BUSINESS NO. LB. 3591

SURVEYORS CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.S) HAVE BEEN PLACED AS REQUIRED BY LAW, AND FURTHER, THAT THE SURVEY DATA COMPLES WITH ALL REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF DELRAY BEACH.

DATE: _____
PAUL D. ENGLE
SURVEYOR AND MAPPER NO. 5708
O'BRIEN, SUTER & O'BRIEN, INC.
955 NW 17TH AVENUE, SUITE K-1
DELRAY BEACH, FLORIDA 33445
CERTIFICATE OF AUTHORIZATION NO. 353

COUNTY OF PALM BEACH
STATE OF FLORIDA
THIS PLAT WAS FILED FOR RECORD AT _____
THIS _____ DAY OF _____
20____ AND DULY RECORDED IN PLAT BOOK NO. _____
ON PAGE _____
SHAWN R. BOCK, CLERK AND COMPTROLLER
BY _____, D.C.

NOTES:
ALL BEARINGS SHOWN HEREON ARE RELATIVE TO THE WEST LINE OF SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, HAVING AN ASSUMED BEARING OF S0°39'44"E.
NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DETECTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR NON-GRAPHIC RECORD. ANY OTHER RECORDS, INCLUDING ANY RECORDS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

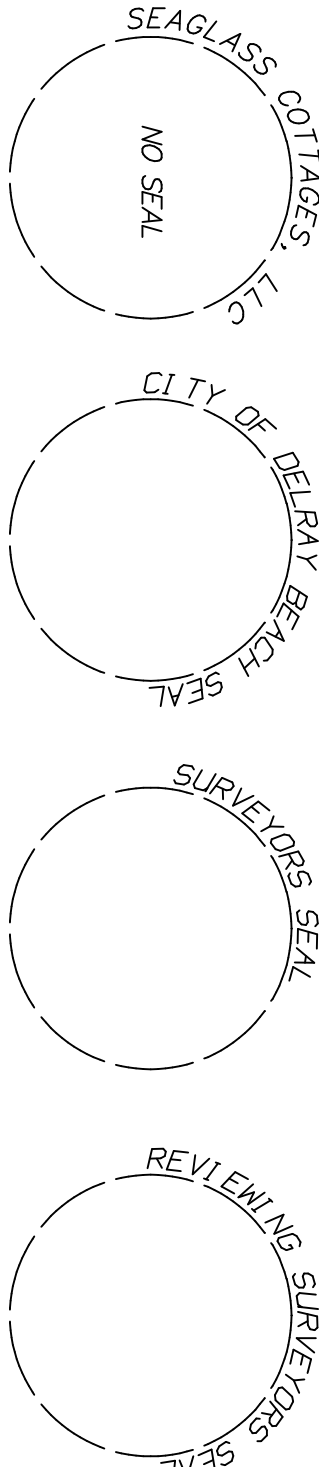
THE CITY OF DELRAY BEACH IS HEREBY GRANTED THE RIGHT OF ACCESS FOR EMERGENCY AND MAINTENANCE PURPOSES.

THIS INSTRUMENT WAS PREPARED BY PAUL D. ENGLE IN THE OFFICE OF O'BRIEN, SUTER & O'BRIEN, INC., 955 NW 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445 (360) 276-4501

PERMANENT REFERENCE MONUMENTS ARE SHOWN THIS: ☐

THERE SHALL BE NO BUILDINGS OR ANY KIND OF CONSTRUCTION PLACED ON WATER, SEWER OR DRAINAGE EASEMENTS. NO STRUCTURES SHALL BE PLACED WITHIN A HORIZONTAL DISTANCE OF 10 FEET FROM ANY EXISTING OR PROPOSED CITY OF DELRAY BEACH MAINTAINED WATER, SEWER OR DRAINAGE FACILITIES. CONSTRUCTION OR LANDSCAPING UPON MAINTENANCE OR MAINTENANCE ACCESS EASEMENTS MUST BE IN CONFORMANCE WITH ALL BUILDING AND ZONING CODES AND/OR ORDINANCES OF THE CITY OF DELRAY BEACH.

THERE SHALL BE NO TREES OR SHRUBS PLACED ON UTILITY EASEMENTS WHICH ARE PROVIDED FOR WATER AND SEWER USE OR UPON DRAINAGE EASEMENTS. LANDSCAPING ON ANY OTHER UTILITY EASEMENTS SHALL BE ALLOWED ONLY AFTER CONSENT OF ALL UTILITY COMPANIES OCCUPYING SAME.



THOMAS STREET

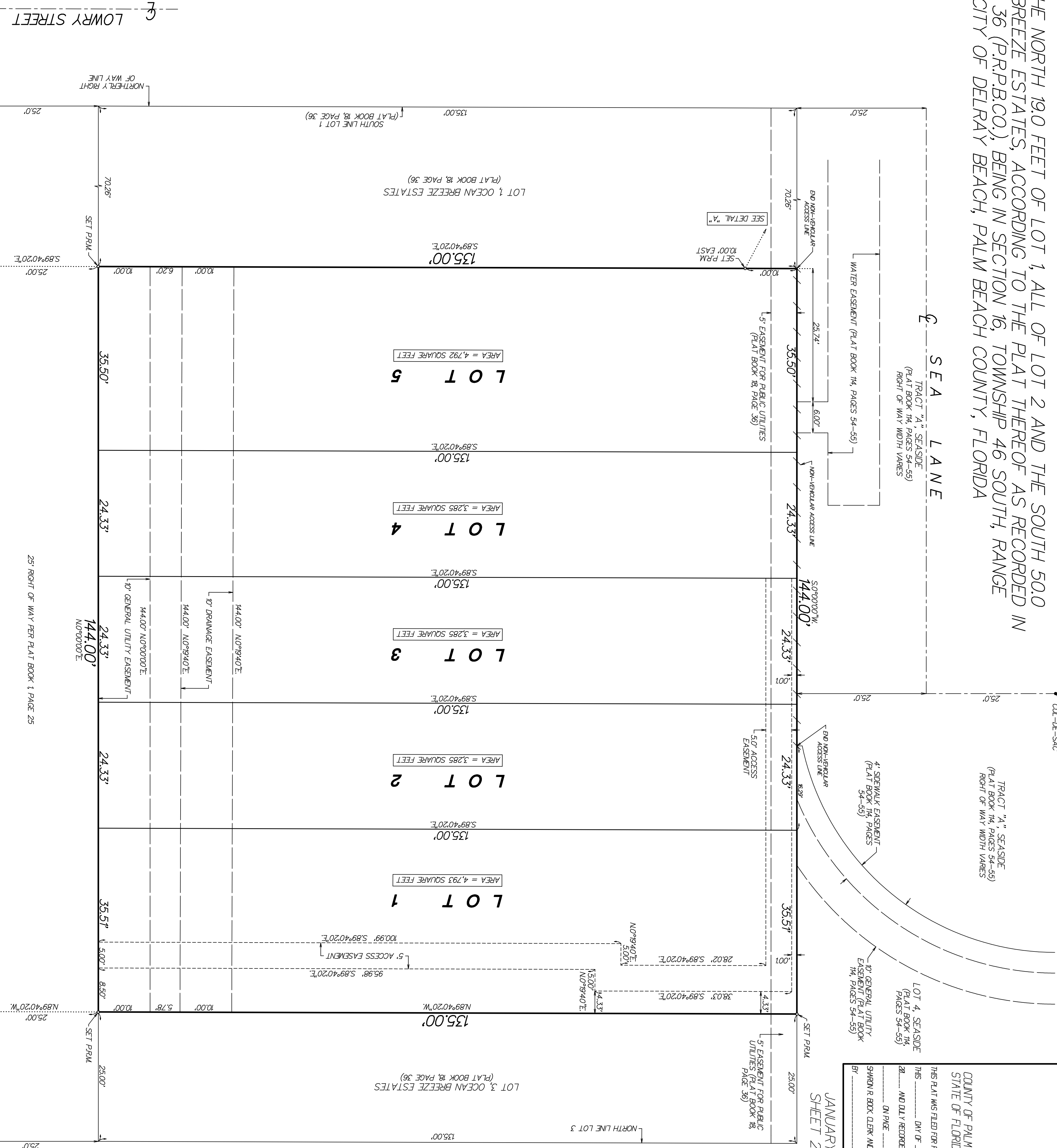
TRACT "A", SEASIDE
(PLAT BOOK 114, PAGES 54-55)
RIGHT OF WAY WIDTH VARIES

A schematic map of the study area. The map shows a grid of streets. At the top is East Road. Below it is Seabreeze Avenue. To the left of Seabreeze Avenue is East Atlantic Avenue. To the right of Seabreeze Avenue is Thomas Street. Below Seabreeze Avenue is Lowry Street. Below Lowry Street is Andrews Avenue. At the bottom is State Road A-1-A. A black rectangle labeled 'SITE' is located at the intersection of Seabreeze Avenue and Lowry Street. A north arrow is in the top right corner.

THIS PLAT WAS FILED FOR RECORD AT _____
 _____ DAY OF _____ THIS _____
 _____ AND DULY RECORDED IN PLAT BOOK NO. _____
 _____ ON PAGE _____
 SHARON R. BOCK, CLERK AND COMPTROLLER

Figure 1: A schematic diagram of a 1D lattice. The top part shows a single site with a double-headed arrow and a vertical bar. The bottom part shows a chain of sites labeled 0', 10', 20', and 30'. A scale bar indicates 1'' = 10'.

C = CENTERLINE
P.R.M. = PERMANENT REFERENCE
MONUMENT (4"x4" CONCRETE
MONUMENT STAMPED PALM LB353)
UNLESS STATED OTHERWISE
P.R.P.C.O. = PUBLIC RECORDS OF
PALM BEACH COUNTY
SECTION 16/46/43 = SECTION 16,
TOWNSHIP 46 SOUTH, RANGE 43 EAST





SURVEYOR'S REPORT/LEGEND:

- CONC. = CONCRETE
WM = WATER METER
RWM = RECLAIMED WATER METER
----- = OVERHEAD UTILITY LINES
ND. = NAIL AND DISK #1B 353
+4.27 = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929 SOURCE: PALM BEACH COUNTY BENCH MARK "N-316"
NOTE: ALL BOUNDARY AND ANGULAR DIMENSIONS SHOWN HEREON ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.
FLOOD ZONE: AE (EL. 7)
COMMUNITY PANEL NO. 120102 0004
SUFFIX D
MAP REVISED: JAN. 5, 1989
NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.
ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.
THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR CONVEYANCE OF HIGH SURVEY PROPERTY FOR CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.
NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

CERTIFICATION:

GREGORSKI 17, LLC
BANK FIRST NATIONAL
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, INC.
HINMAN, HOWARD & KATTELL

DESCRIPTION:

THE NORTH 19 FEET OF LOT 1, ALL OF LOT 2, AND THE SOUTH 50 FEET OF LOT 3 OF OCEAN BREEZE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 18, PAGE 36, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-1 OF THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, AGENTS' FILE REFERENCE "066156-1" DATED SEPTEMBER 7, 2014.

PARCELS SUBJECT TO BUILDING RESTRICTIONS AS CONTAINED IN DEED BOOK 607, PAGE 93.

REVISIONS
REVISED: 2/10/19 - GENERAL NOTES PER CITY OF DELRAY BEACH PLAT COMMENTS
REVISED: 2/10/19 - LOCATED ADJACENT DRIVES

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
SITE ADDRESS: 104 ANDREWS AVENUE, DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA, LICENSE NO. 12543, AND THAT I AM A MEMBER OF THE PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 172.027, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND LICENSE NO. OF THE SURVEYOR AND LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.

LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #16533
SURVEYOR AND MAPPER: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE 200, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 FAX 276-2390

DATE OF SURVEY NOVEMBER 2, 2016	SCALE: 1" = 10'
FIELD BOOK D-307	ORDER NO.: 14-520b

