

**SITE PLAN REVIEW AND APPEARANCE BOARD
ADDENDUM**

MEETING OF: FEBRUARY 22, 2017

AGENDA ITEM: HESSLER PAINT – 4591 West Atlantic Avenue

Class IV Site Plan Modification Associated with a Two-Story Building Addition, Exterior Façade Renovations and Parking Lot and Landscaping Improvements

The Staff Report Addendum pertains to the addition of a condition of approval for the Hessler Paint, Class IV Site Plan Modification request as noted below:

1. That a Unity of Title is recorded combining the existing platted lots as one buildable site prior to the issuance of a building permit.

The subject property was platted as a part of the Highland Trailer Park Plat recorded in Plat Book 24, Page 213. The parcel is described as Lots 1-4 and the west 35 feet of Lot 5, Highland Trailer Park, according to the plat thereof recorded in Plat Book 24, Page 213 less the north 8 feet and the south 28.25 feet thereof. Currently the existing building crosses over existing platted lot lines. The proposed building addition will extend over Lots 2 and 3. As the development proposal does not require the dedication of easements or right-of-way, the site can be combined via a Unity of Title which is noted as condition of approval.

Thus conditions of the site plan modification are amended to add condition # 6 as noted below:

STAFF RECOMMENDATION

By separate actions:

Special Action Parking Reduction:

Approve the special action parking reduction request for **Hessler Paint** to provide 32 spaces whereas 44 spaces is required, in accordance with LDR Section 4.6.9(F)(1), which allows for reduced parking when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) reject the special documentation as to why the additional twelve parking spaces are not supportable evidence to reduce the required parking, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval. *See Site Plan condition #3 below.*

Site Plan*:

Approve with conditions the Class IV Site Plan Modification for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval

thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings) and Chapter 3 (Performance Standards) of the Land Development regulations as follows:

1. Submit an executed hold harmless agreement for the FDOT utility permit application where the City is the permittee prior to the issuance of the building permit.
2. A contribution for the full cost of the purchase and installation of a complete bus shelter is required prior to the issuance of the building permit.
3. If the parking reduction is not approved, the site design layout shall be revised to accommodate the required parking.
4. That fish eye lens" are installed at the rear exit doors.
5. That approval of the product data sheet information is obtained from the Fire Department to determine if any special requirements may be necessary for the storage and display of flammable or combustible liquids and/or other regulated hazardous materials prior to the submittal of a building permit application.
6. That a Unity of Title is recorded combining the existing platted lots as one buildable site prior to the issuance of a building permit.

***Note:** If the site plan is denied no further action shall be taken on the landscape plan and architectural elevation plan.

Landscape Plan:

Approve the Landscape Plan for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16.

Architectural Elevations:

Approve the Architectural Elevations for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development regulations.

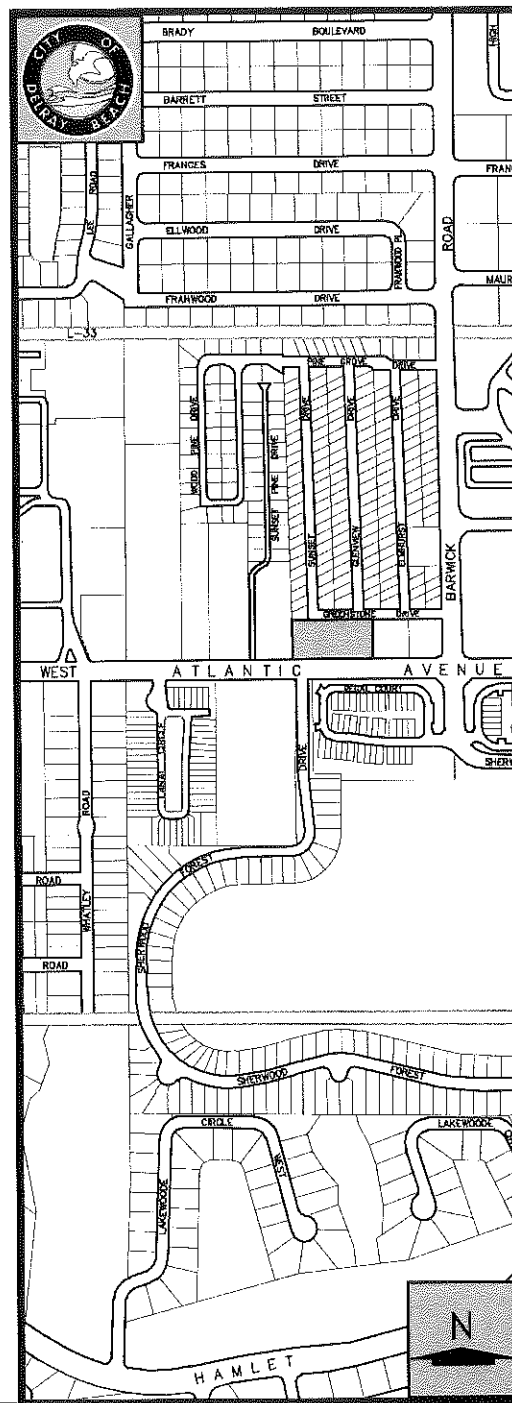
SITE PLAN REVIEW AND APPEARANCE BOARD
CITY OF DELRAY BEACH **---STAFF REPORT---**

MEETING DATE: February 22, 2017
ITEM: Hessler Paint (4591 West Atlantic Avenue) – Class IV Site Plan Modification
 Associated with a Two-Story Building Addition, Exterior Façade Renovations and
 Parking Lot and Landscaping Improvements

RECOMMENDATION: Approval of a Class IV Site Plan Modification, Landscape Plan and Architectural Elevations and Special Action for a Parking Reduction.

GENERAL DATA:

Owner/Applicant.....	Dan Hessler
Agent.....	Rick Brautigan Architecture
Location.....	North side of West Atlantic Avenue, west of Barwick Road
Property Size.....	1.105 Acres
Future Land Use Map.....	GC (General Commercial)
Current Zoning.....	GC (General Commercial)
Adjacent Zoning.....	North: MH (Mobile Home) East: GC (General Commercial) South: PRD (Planned Residential Development) West: POD (Professional Office District)
Existing Land Use.....	Retail Paint Store
Proposed Land Use.....	Retail Paint Store
Water Service.....	Existing on Atlantic Avenue
Sewer Service.....	Existing on Atlantic Avenue.



ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class IV site plan modification request for **Hessler Paint**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(d):

- ☐ Site Plan;
- ☐ Landscape Plan; and,
- ☐ Architectural Elevations

The subject property is located on the north side of West Atlantic Avenue, west of Barwick Road (4591 West Atlantic Avenue).

BACKGROUND

The subject property consists of Lots 1-4 and the west 35 feet of Lot 5, less the north 8 feet and the south 28.25 feet, Highland Trailer Park and is zoned General Commercial (GC). The property was annexed into the City in 1992, with the NC (neighborhood Commercial) zoning designation. The site contains a 5,902 sq. ft. one-story commercial building.

On June 26, 2002, the Site Plan Review and Appearance Board approved a Class I site plan modification associated with the addition of storefront awnings.

On January 24, 2014, the Site Plan Review and Appearance Board approved a Class III site plan modification associated with a 244 sq. ft. building addition, façade improvements, landscaping and parking upgrades.

On November 1, 2016, the City Commission via Ordinance 30-16 approved a Future Land Use Map amendment from Transitional (TRN) to GC (General Commercial) and Rezoning from NC (Neighborhood Commercial) to GC (General Commercial) for the subject property.

Now before the Board for consideration is a Class IV Site Plan modification associated with a building addition, exterior façade renovations, parking lot and landscaping improvements.

PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Construction of a 6,678 sq. ft. building addition that includes a 948 sq. ft. second story mezzanine for a total gross building floor area of 12, 580 sq. ft.
- ☐ Demolition of a 405 sq. ft. portion of the building (east side of the building).
- ☐ Removal of the storage containers located on the west side of the building.
- ☐ Elimination of the exiting 26-space parking tier on the south side of the building and construction of five angled parking spaces with a one-way drive aisle.
- ☐ Construction of a new 27-space parking lot on the west side of the building for a total of 32 new parking spaces.
- ☐ Relocation and redesign of the existing driveways onto West Atlantic Avenue.
- ☐ Construction of a one-way loading access drive to the rear of the building.
- ☐ Elimination of the cross-access drive aisle with the adjacent property to the east.
- ☐ Construction of a refuse and recycling enclosure.
- ☐ Associated landscaping and lighting upgrades.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix – Non-residential Zoning Districts:

The following table indicates that the development proposal complies with the applicable development standards of LDR Section 4.3.4(K) with respect to building height, building setbacks and open space requirement.

		Required	Existing	Proposed
Maximum Building Height		48'	15'	19' 10"
Minimum Setbacks	Front (south)	10'	58.9'	46' 1"
	Side Interior (east)	10'	19' 3"	19' 3"
	Side Interior (west)	10'	194.4'	134' 2"
	Rear (north)	10'	22.3	20'
Open Space		25%	59%	25%

Development Standards- Special Landscape Setbacks:

Pursuant to LDR Section 4.3.4(H)(6)(b)(3), along West Atlantic Avenue, from I-95 to the western City limits, a special landscape area of either 30 feet or 10% of the average depth of the property (but no less than 10 feet) shall be provided. The average depth of the property is 143.75 feet. A minimum landscape buffer of 14.37 feet is provided. Thus the requirement is met.

Special District Regulations:

Pursuant to LDR Section 4.4.9(H)(1), the first ten feet of the front yard setback which is adjacent to a right-of-way shall be landscaped. Within the required front landscaped area, no paving shall be allowed except for driveways and walkways which shall be generally perpendicular to the property line. The minimum landscape buffer provided along the frontage of the property is 14.37. Thus this requirement is met.

Supplemental District Regulations:

Pursuant to LDR Section 4.6.4(A)(2)(a), where the rear or side of commercially zoned property directly abuts residentially zoned property without any division or separation between them, such as a street, alley, railroad, waterway, park, or other public open space, the commercially zoned property shall provide a ten-foot building setback from the property line located adjacent to the residentially zoned property. In addition, either a solid finished masonry wall six feet in height, or a continuous hedge at least 4-1/2 feet in height at the time of installation, shall be located inside and adjacent to the portion of the boundary line of the commercially zoned property which directly abuts the residentially zoned property.

On the north property line, the subject parcel directly abuts the residentially zoned MH (Mobile Home) District. Four and one-half foot high Green Buttonwood and Small Leaf Clusia hedges will be planted along the north property line. Thus this requirement is met.

Parking:

As the site was constructed under Palm Beach County's regulations a clear record of the parking required for the original building cannot be ascertained.

Per LDR Section 4.6.9(C)(3), general commercial uses shall provide 4.5 spaces per 1,000 square feet of gross floor area. Under the current regulations if the entire 12,580 sq. ft. building was constructed a total of 57 parking spaces would be required ($12,580 \div 1,000 \times 4.5 = 56.61$, which is rounded up to 57)

At the time of annexation, only 13 parking spaces were provided for the existing 5,658 sq. ft. building. Therefore the site was nonconforming with respect to parking. The site plan modification approved in 2014 increased the building footprint by 244 sq. ft. and included the addition of two storage containers (which was considered floor area for parking calculations). Since the property was nonconforming with respect to parking, parking was only required for the creation of new floor, which required 4 additional parking spaces (one for the building area and 3 for the storage containers).

With the current proposal the storage containers are to be removed and thus the 3 spaces attributed to those containers will not be included in the future parking calculations. Based upon the above a total of 14 parking spaces are required for the existing 5,902 sq. ft. building.

For the proposed 6,678 sq. ft. building addition, a total of 30 parking spaces are required [$6,678 \div 1,000 \times 4.5 = 30.05$ (which is rounded down to 30)]. A total of 44 parking spaces are required for the entire site (14 for the existing building and 30 for the new addition).

The development proposal involves the elimination of all existing parking spaces. A total of 32 parking spaces are proposed with 5 new angled parking spaces fronting West Atlantic Avenue and 27 perpendicular spaces located on the west side of the building. Of the 32 parking spaces, 14 spaces are required for the existing building. The remaining 18 parking spaces are provided to meet the parking requirements for the new building addition. Therefore the site is deficient by 12 parking spaces.

The applicant has submitted a request for a parking reduction to provide 32 on-site parking spaces.

SPECIAL ACTION PARKING REDUCTION

LDR Section 4.6.9(F)(1) - Reduction Allowed:

Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant has provided a parking demand analysis prepared by MacKenzie Engineering and Planning, Inc., and is attached.

The parking study analyzed the parking generation rates based on studies from the Institute of Transportation Engineers (ITE) report, the American Planning Association "Parking Standards PAS Report and field observations and data collection. The report cites the ITE, Parking Generation (4th Edition) which categorizes the proposed development as Land Use 816 (hardware/paint store) which shows a peak weekday parking demand of 1.90 vehicles per 1,000 sq. ft. of gross floor area.

Also, included in the parking demand study is the parking demand rates published by The American Planning Association (APA) which recommends a parking rate of 1 space for every 400 square feet of gross floor area for a hardware/paint store.

Finally the report cites on-site parking observation that concluded that the highest observed parking count (the store busiest days were noted as Mondays and Tuesdays) at the existing facility between 10:45 am and 12:15 pm on Tuesday July 5, 2016 was 11 occupied parking spaces.

The report states "The existing store is 6,092 SF. The study used the highest observed count (11 occupied spaces) which occurred during off-peak season conditions. Therefore, a peak season adjustment factor of 1.11 was applied based on FDOT seasonal adjustment factors to adjust the July count to a peak season count. That result was further increased by 10 percent to account for orderly turnover at Hessler Paints for a recommended parking supply of 15 spaces. Based on the existing store size, that results in a parking ratio of 1 space per 406 square feet (2.46 spaces per 1,000 SF)."

The applicant has provided empirical data that indicates 32 spaces are necessary for the use as a hardware/paint store. Staff agrees that due to the specific use, a parking reduction is appropriate given the percentage of the floor area devoted to processing and storage. The parking reduction does not offer any detrimental impact to the community however, it is noted that if the parking reduction is approved, it will limit the adaptive re-use of the building.

Granting of the parking reduction would not be considered a special privilege, as it would be supported under similar circumstances with supporting data. It should be noted that if the Site Plan Review and Appearance Board (SPRAB) rejects the special documentation as to why the additional 12 parking spaces are not deemed necessary, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval.

Handicap Accessible Parking:

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction.

The Florida Accessibility Code for Building Construction and Federal ADA requires 1 ADA compliant space for every 25 spaces up to the first 100 spaces. As the project will provide more than 25 parking spaces, 2 ADA compliant spaces are required. The site plan shows 2 ADA parking spaces, thus meeting the code requirement.

Compact Parking:

Pursuant to LDR Section 4.6.9(C)(1)(g), up to 30% of the required parking for any use may be designated for compact cars. The development proposal includes 8 compact parking spaces which represent 25% of the total spaces provided.

Stacking Distance:

Pursuant to LDR Section 4.6.9(D)(3)(c)(1), provisions must be made for stacking and transitioning of incoming traffic from a public street, such that traffic may not backup into the public street system. The minimum distance between a right-of-way and the first parking space or aisle way in a parking lot that contains less than 50 spaces (for a non-local street) is 20'. A stacking distance of 20 feet is provided at the western driveway, thus this requirement is met.

Driveway Width:

The existing driveways to the property are relocated and redesigned. The eastern driveway has been redesigned as a 17 foot wide egress-only driveway. Pursuant to LDR Section 4.6.9(D)(3)(b), the minimum width for a one-way driveway or parking aisle is 12 feet. Thus this requirement is met.

Pursuant to LDR Section 4.6.9(D)(3)(a), the point of access to a street shall be a maximum of 24 feet wide unless specifically approved as a part of the site and development plan. The existing western driveway width measures 38 feet. With the redesign of this site, the proposed two-way driveway width measures 28 feet. The property is located on West Atlantic Avenue (FDOT Road) and thus approval of the driveway modifications is required from FDOT. Permits have been obtained from FDOT for the driveway connections and drainage based on the proposed design. Thus staff supports the driveway width of 28 feet.

Drive Aisle Connection:

The development proposal includes the elimination of the connecting drive aisle with the property to the east. While good planning practice prefers interconnecting driveways so that vehicles are not forced to use the street system to access adjacent properties, the LDRs does not require interconnecting driveways between adjacent properties. Additionally, there are no recorded cross-access agreements between the subject property and the property to the east. Staff has provided a notice to the abutting property owner of the proposed closure of the driveway connection.

Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides and have vision obscuring gates on the fourth side, unless such areas are not visible from a public right-of-way. A dumpster with a separate recycling enclosure is proposed. The enclosure features opaque galvanized steel gates. Thus this requirement is met.

Loading Area:

Pursuant to LDR Section 4.6.10(A) and (B), space for accommodating the unloading of merchandise, inventory, materials, supplies, and products shall be provided on the site where a use which requires such items is located. For retail establishments having a gross floor area between 10,000 sq. ft. to 20,000 sq. ft., two loading berths are recommended. A 24' x 18' loading berth is provided on the west side of the building. Additionally loading can also be accommodated in the one-way drive aisle located on the north side of the building. Thus this requirement is met.

Bicycle Facility:

Pursuant to LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan, bicycle parking facilities shall be provided for all new developments and redevelopment of sites. Bicycle parking rack that accommodates 7 bikes have been provided. Thus, this LDR requirement is met.

Lighting:

Per LDR Section 4.6.8(A)(3), the lighting requirement for the parking area is a maximum of 12.0 foot candles and a minimum of 1.0 foot candles. Within landscapes areas there are no minimum illumination levels required however the maximum foot candle allowed is 5.0 foot candles. The photometric plan complies with these stated requirements.

Additionally building entrances are required to provide a maximum of 10.0 foot candles and a minimum of 1.0. The illumination levels at the new entrances meet the requirements with a 9.7max /5.2 min.

Crime Prevention Through Environmental Design (CPTED):

A CPTED review has been conducted by the City Police Department. The CPTED review is based upon the proposed plans for the site, CPTED standards for Lighting, Natural Surveillance, and Natural Access Control. The Police Department states "typical CPTED lighting standards are an average of 3 foot candles (FC) for retail areas, 5FC for residential and 10 FC for garages. The average of the FC's on the photometric study are below the 3 FC standard and should be raised up a little bit. This area is currently very dark and has become an overnight car lot for semi-truck drivers. Tree canopies should not interfere with or block the lighting along sidewalks or parking lots. This creates shadows and areas of concealment."

Due to overnight commercial building burglaries, there needs to be some type of video surveillance, CCTV, or alarm on the property. By using video surveillance, CCTV, or an alarm will help property the property and assist with law enforcement to either apprehend or identify potential suspects in these criminal acts."

Staff recommends that "fish eye lens" are installed at the rear exit doors. This is noted as a condition of approval.

Visibility at Intersections:

Pursuant to LDR Section 4.6.14(B)(1), when an access way intersects a street or alley, 10' sight visibility triangles areas shall be provided as measured from the area on both sides of a driveway formed by the intersection of a driveway and the parcel boundary with a length of ten feet along the driveway and a length of ten feet along the property line and the third side being a line connecting the ends of the other two lines. Twenty foot sight visibility triangles are provided. The site plan notes the required line of site for State Roads. Thus, this LDR requirement is met.

Sidewalks:

Pursuant to 6.1.3, sidewalks are to provide a safe place for pedestrian travel. Generally, sidewalks are required along both sides of all streets. A six foot wide sidewalk currently exists along West Atlantic Avenue. Thus, this standard is met.

Bus Shelters:

Pursuant to LDR Section 2.4.3(D), bus shelters are required to be shown on the engineering plans for non-residential project that are greater than 10,000 sq. ft. However, when the placement of a bus shelter for a qualifying project would be located less than the standard minimum distance from an existing shelter (applied and determined by Palm Tran), the project shall contribute the full cost of the purchase and installation of a complete bus shelter. An existing bus stop is less than 100 feet from the east property line in front of the Check Cashing store, thus the full cost of the purchase and installation of a complete bus shelter is noted as a condition of approval.

Undergrounding of Utilities:

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. All existing and proposed utilities associated with the development must be located underground and a note to this effect is included site plan. Thus, the intent to meet this standard is documented accordingly.

LANDSCAPE PLAN ANALYSIS

Pursuant to LDR Section 4.6.16 (C) (1) (a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C).

The development proposal involves a 6,678 sq. ft. building addition. Pursuant to LDR Section 4.4.16(D)(4), any modification to an existing development which results in an increase of 25% in gross floor area of the structure shall require the entire site to be upgraded to present landscape standards. The landscape plan has been reviewed by the Senior Landscape Planner and has been found to be in compliance with applicable requirements of LDR Section 4.6.16.

ARCHITECTURAL ELEVATIONS ANALYSIS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The expansion of the existing building continues the two distinctive styles of architectures: the Caribbean (Bahamas) style with its attractive pastel colors and its design elements such as the typical Bahamas shutters, combined with a renovated Old Florida Vernacular style of architecture which features coral stone veneer, with a molding cornice that gives character and volume to the building.

The existing one story office/commercial building incorporates three different heights distinguished by the coral stone as the highest portion of the building, with the wales green and pool blue color on lower heights).

The proposed two story addition will feature a combination of coral stone and smooth stucco to match the existing façade. Lemon drop and pool blue colors will be utilized. A tower feature with metal standing seam roof is proposed above the main entrance on the south elevation. The molding cornice feature will be continued. New impact fixed windows with white frames and grey tint glass and decorative gooseneck wall mounted light fixtures are proposed.

The pastel colors create a signature feature for the Hessler Building and adds architectural interest to the street façade elevation. The cantilevered overhang at the main entrance creates a focal point in the existing building and protects the front entry from the climate. The coral stone also helps to break down the mass of the building while integrating it with the surrounding neighborhood. Bahamas shutters have been incorporated into the design in keeping with the tropical eclectic Caribbean character being suggested for this renovation.

Six different colors are incorporated into the building including Benjamin Moore White Marble, Tangy Orange, Wales Green, Lemon Drops, Pool Blue and Pacific Seal Teal. The proposed colors combined with the attractive white cornice shaped at different heights and different roof lines will create a visually attractive streetscape along Atlantic Avenue. The proposed architectural renovation

and addition to the existing building will significantly improve the aesthetics of the GC (General Commercial) District and will be in harmony with existing and future developments in the area; thus, positive findings can be made with respect to LDR Section 4.6.18 (E).

REQUIRED FINDINGS

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1 (A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of GC (General Commercial) and is zoned General Commercial (GC). The GC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

Section 3.1.1 (B) - Concurrency:

As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, drainage, parks and recreation, solid waste, schools and traffic.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions and Specific Areas):

As described in Appendix B, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions, upon Board approval of the requested conditions of approval.

Section 3.1.1 (D) - Compliance With the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, when all outstanding items attached as conditions of approval are addressed.

Section 2.4.5(F)(5) - Required Findings:

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values: The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>
<i>North</i>	Mobile Home (MH)	Highland Mobile Home Park
<i>East</i>	General Commercial (GC)	Check Cashing Store
<i>South</i>	Planned Residential Development (PRD)	Legacy at Sherwood Golf Course (Multiple Family Residential)
<i>West</i>	Professional Office District (POD)	Medical/Professional office

Hessler Paints has operated at this site since 2001 and is consistent with the GC Zoning district uses which allows hardware and paints stores. Thus, there will not be any adverse effects on the surrounding properties. Based upon the above, a positive finding can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed improvements are to be developed consistent with the surrounding neighborhood. No incompatibility issues with respect to soil, topographic, intensity of use and other applicable physical consideration is anticipated.

REVIEW BY OTHERS

The development proposal is not located within a geographical area requiring review by the Community Redevelopment Agency (CRA), Downtown Development Agency (DDA) or the Parking Management Advisory Board (PMAB).

The development proposal was reviewed by the Green Implementation Advancement Board (GIAB) on December 15, 2016. The applicant indicated that the building will incorporate several sustainable design features such as water efficient plumbing, LED light fixtures, a lighting control system for efficiency, standard 14 SEER air conditioning equipment.

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations and/or civic groups.

- Highland Park Company
- Sherwood Forest Homeowners Association
- Sunset Park Homeowners Association
- Colony Palms

ASSESSMENT AND CONCLUSION

The proposed site changes will significantly improve the aesthetics of the building and site. The building addition will expand the storage capacity of the store and eliminate the unsightly appearance of outdoor storage containers. All proposed site improvements and architectural changes are compatible with the surrounding area. Once the conditions of approval are met, the site plan will be consistent with the policies of the Comprehensive Plan and the Land Development Regulations.

ALTERNATIVE ACTIONS

- A. Approve the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.
- B. Approve with conditions the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.
- C. Deny the Class IV Site Plan Modification for **Hessler Paints**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development Regulations.

STAFF RECOMMENDATION

By separate actions:

Special Action Parking Reduction:

Approve the special action parking reduction request for **Hessler Paint** to provide 32 spaces whereas 44 spaces is required, in accordance with LDR Section 4.6.9(F)(1), which allows for reduced parking when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) reject the special documentation as to why the additional twelve parking spaces are not supportable evidence to reduce the required parking, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval. *See Site Plan condition #3 below.*

Site Plan*:

Approve with conditions the Class IV Site Plan Modification for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(G)(5)(Required Findings) and Chapter 3 (Performance Standards) of the Land Development regulations as follows:

1. Submit an executed hold harmless agreement for the FDOT utility permit application where the City is the permittee prior to the issuance of the building permit.
2. A contribution for the full cost of the purchase and installation of a complete bus shelter is required prior to the issuance of the building permit.
3. If the parking reduction is not approved, the site design layout shall be revised to accommodate the required parking.

Site Plan Review and Appearance Board Staff Report: February 22, 2017
Hessler Paint - Class IV Site Plan Modification

4. That fish eye lens" are installed at the rear exit doors.
5. That approval of the product data sheet information is obtained from the Fire Department to determine if any special requirements may be necessary for the storage and display of flammable or combustible liquids and/or other regulated hazardous materials prior to the submittal of a building permit application.

***Note:** If the site plan is denied no further action shall be taken on the landscape plan and architectural elevation plan.

Landscape Plan:

Approve the Landscape Plan for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16.

Architectural Elevations:

Approve the Architectural Elevations for **Hessler Paint**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development regulations.

Attachments:

Appendices "A" & "B", Site Plan, Landscape Plan, Architectural Elevations, Engineering Plan, Photometric Plan, Survey

**APPENDIX A
CONCURRENCY FINDINGS**

Pursuant to Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- ☐ Water service is provided via connections to the existing 12" water main along West Atlantic Avenue.
- ☐ Sewer service is provided via connections to the existing 8" sewer main along West Atlantic Avenue.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic:

A traffic study has been submitted that indicates that proposed addition will result in an increase of 8 new net daily trips, 0 new net AM Peak Hour and 1 new net PM Peak Hour trips. A finding of concurrency has been issued from Palm Beach County.

Parks and Recreation Facilities:

Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste:

The proposed addition will generate 34.05 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

School Concurrency:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have any impacts with respect to this standard.

Drainage:

No additional paved areas are proposed. There are no problems identified with the existing on-site drainage.

APPENDIX B
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____
Meets intent X
Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____
Meets intent X
Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable _____
Meets intent X
Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable X
Meets intent _____
Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X
Meets intent _____
Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable ☒ X
Meets intent
Does not meet intent

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

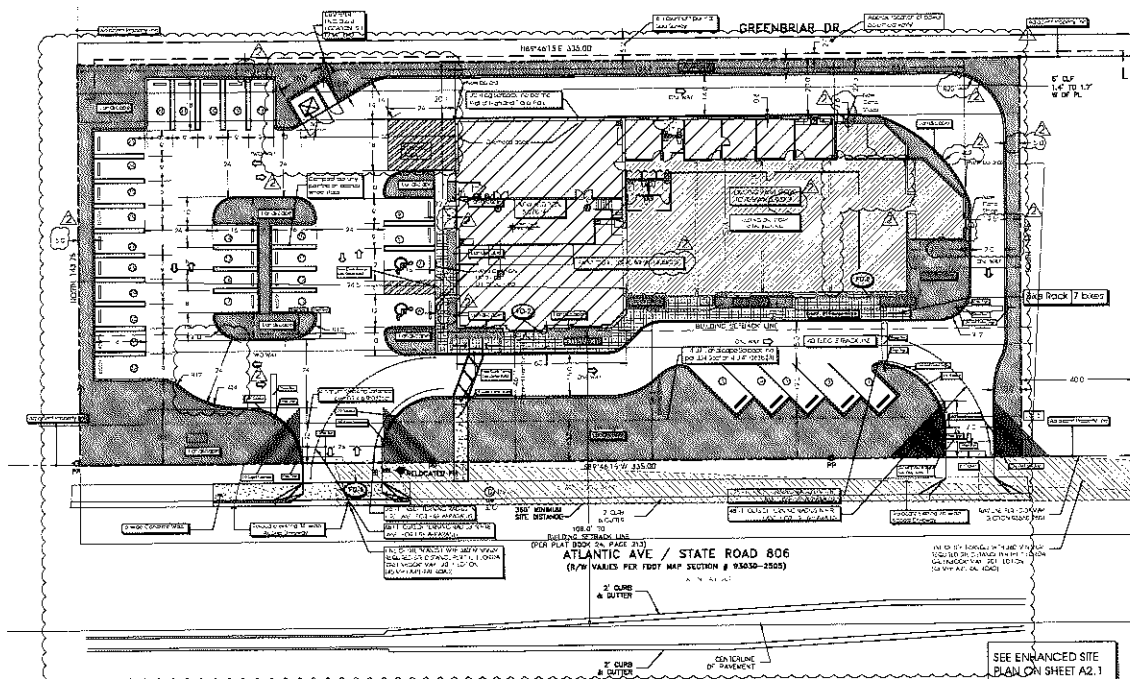
Not applicable
Meets intent ☒ X
Does not meet intent

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

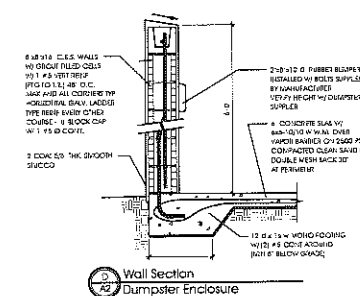
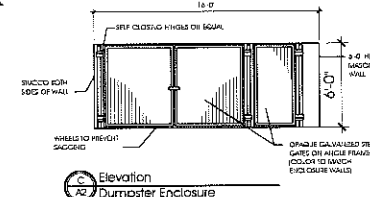
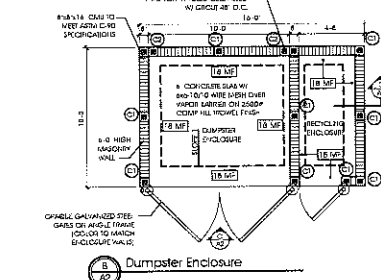
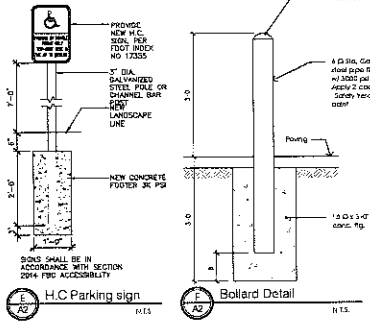
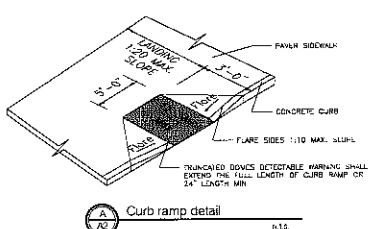
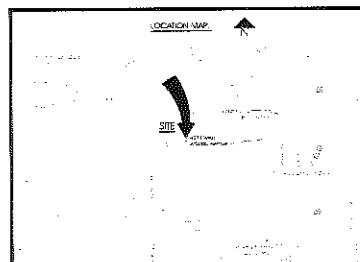
Not applicable
Meets intent ☒ X
Does not meet intent

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable ☒ X
Meets intent
Does not meet intent



Proposed Site Plan w/ Addition



APPLICABLE CODES

- Florida Building Code 2014 Edition including FBC Existing Building & FBC Accessibility
- Florida Fire Prevention Code 5th Edition 2012
- NFPA 1 & 101 (Life Safety Code Florida specific editions)

OCCUPANCY: Mercantile
TYPE OF CONSTRUCTION: V-B

STRUCTURAL DATA:

- Basic Wind Speed: 170
- Wind Importance Factor: 1.0
- Category: 2
- Wind Exposure: C
- Internal Pressure Coefficient: See Elevation Enclosure
- Building design: ~7.0/18
- Soil Bearing Cap. Min: 2,500 PSF

NO OUTSIDE STORAGE WILL BE PROVIDED

FACILITY WILL SERVICE 25 LONG BOX TRUCKS

Fire Department Notes:

- Will provide Life Safety plan @ Building Point
- Existing New Knox Box @ 48' Ap. Fin. Work
- Type of construction is type V-B. Proposed Building a FDOT sprinklered.
- Min. 2nd Bldg. Numbers (see elevation)
- Existing Fire Hydrants to be relocated appropriately along Atlantic Ave.

ZONING: GC GENERAL COMMERCIAL

SITE DATA:

TOTAL SITE AREA: 48,150.25 S.F. (1.105 ACRES)

BUILDING DATA	EXISTING	PROPOSED	TOTAL	% SITE
PRINCIPAL USE: HARDWARE/PAINT STORE				
-GROUND FLOOR AREA:	5,922 S.F.	5,730 S.F.	11,652 S.F.	24%
-UPPER FLOOR AREA:	N/A	948 S.F.	948 S.F.	2%
TOTAL BUILDING AREA:			12,580 S.F.	26%
TOTAL LOT COVERAGE:			23,266 S.F.	22%
LANDSCAPE AREA:			11,800 S.F.	25%
IMPERVIOUS AREA:			25,670.26 S.F.	53%

PARKING:

EXISTING BLDG. PARKING TO REMAIN: 26 SPACES

REQUIRED PARKING PER STUDY BY MACKENZIE ENGINEERING & PLANNING:
-PARKING DEMAND FOR OCCUPIED PAINT STORE (6,092 S.F.): 15 SPACES
-PARKING DEMAND FOR PROPOSED PAINT STORE (12,580 S.F.): 32 SPACES

TOTAL ESTIMATED PARKING SUPPLY NEEDED AT THE SITE - 32 SPACES

	Required	Provided
TOTAL REQUIRED PARKING (PER STUDY):	32	39
STANDARD SPACES	22	22
COMPACT SPACES (32' x 9'-6")	9 ALLOWED	8
HC SPACES	2	2

SITE CONSTRAINTS:

BUILDING DATA CONSTRAINTS PURSUANT TO LDR 4.3.4 (K) DEVELOPMENT STANDARDS MATRIX

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT (SOUTH):	30'	68'-4"	46'-1"
SIDE INTERIOR (EAST):	10'	19'-3" (E) 194'-5" (W)	19'-3" (E) 134'-2" (W)
REAR (NORTH):	10'	22'-3"	23'-0"
HEIGHT:	48' ALLOW.	18'-0"	32'-4" (MAX.)

LOT DATA:

	REQUIRED	EXISTING TO REMAIN	PROPOSED
LOT SIZE:	0	1,105 ac.	1,105 ac.
LOT WIDTH:	0	235'	335'
LOT DEPTH:	0	1'-43'-0"	143'-9"
LOT FRONTAGE:	0'	335'	335'
LOT COVERAGE:	75% MAX.	11.93%	48.3%
MIN. FLOOR AREA:	N/A	5,922 S.F.	12,580 S.F.

EXISTING STORAGE UNITS SHALL BE SCREENED AND TEMPORARY SCREENING SHALL BE INSTALLED PENDING CONSTRUCTION AT THE SITE

OVERNIGHT PARKING/STORAGE OF TRACTOR TRAILERS ARE NOT ALLOWED IN THE GENERAL COMMERCIAL DISTRICT

ALL UTILITIES SHALL BE UNDERGROUND

Existing/Proposed Site Plan Data/Details

Level Alteration & Addition
Hessler Point
459 W. Atlantic Ave.
Delray Beach, FL
33483-1015
10/15/20

Issued:

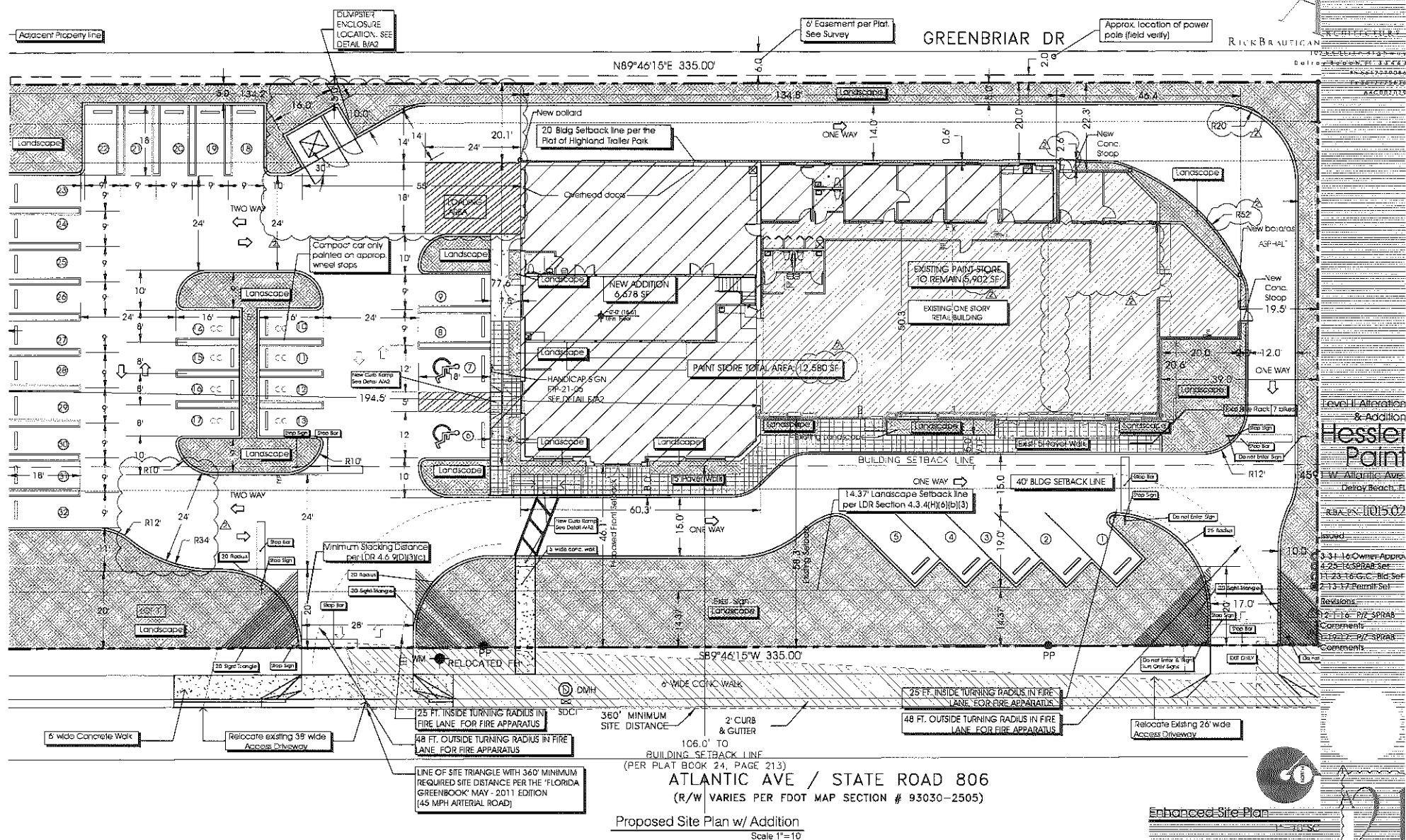
- 3-31-15 Owner Approval
- 4-29-16 SPRAS Set
- 11-23-16 GC Bid Set
- 2-13-17 Permit Set

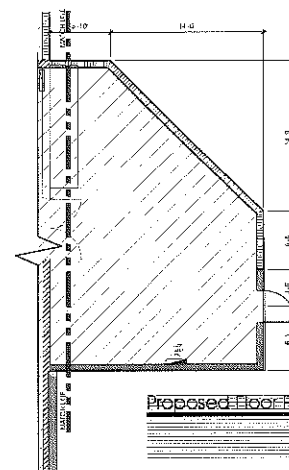
Revisions:

- 12-11-16 - R2 - SPRAS
- 1-19-17 - P2 - SPRAS

Comments:







Revisions:

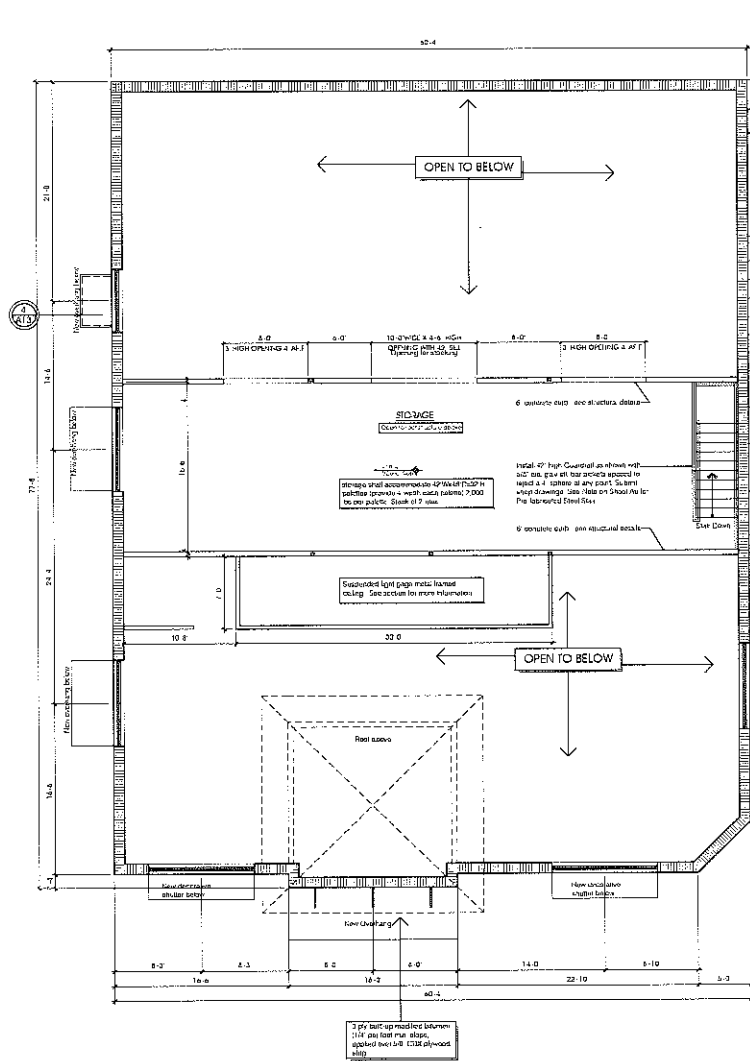
12-1-6: P/Z SPRAB

Comments:

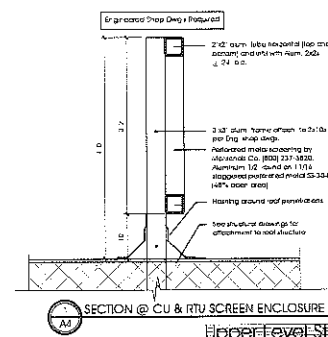
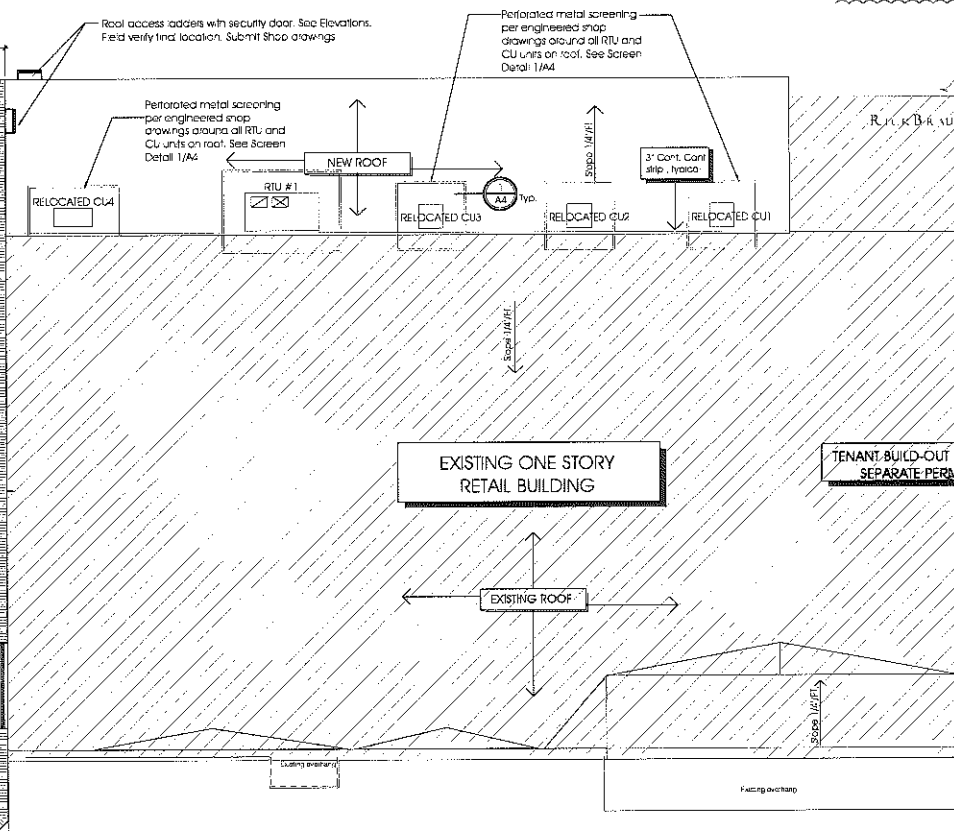
12-1-7: P/Z SPRAB

Comments:

New Signage shall be under Separate Permit



Proposed Upper Level Floor Storage/Lower Roof Plan
3/16/SC



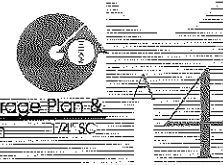
Upper Level Storage Plan &
Lower Roof Plan
1/4" SC

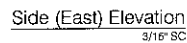
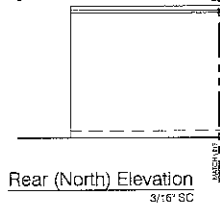
RELOCATED CU4
RTU #1
RELOCATED CU3
RELOCATED CU2
RELOCATED CU1

Level II Alteration
& Addition
Hessler Point
4591 W. Atlantic Ave.
Delray Beach, FL
33434-1015

Issued
3-11-16 Owner Approval
4-29-16 SP-008 Set
12-22-16 G-17 Bid Set

Revisions
12-1-16 SP-008
Comments





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| C-1 | Application: Queue
Sartorius vs. Veeva 2016-2: 2015-20 Food Inc. |
| C-2 | Application: Queue
Sartorius vs. Veeva 2016-2: 2015-20 Lerner Diner |
| C-3 | Application: Queue, via, via, via
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |
| C-4 | Application: Queue, via, via, via
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |
| C-5 | Application: Queue, via, via, via
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |
| C-6 | Application: Queue
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |
| C-7 | Application: Queue
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |
| C-8 | Application: Queue
Sartorius vs. Veeva 2016-2: 2015-20 Veeva Veeva |



Light Future
MBP: Benign Dots +
Style: Enigma Shade + Goatsnoot
Sign: Lighting
Mood: Hi + Goatsnoot
Size: 18

Elevations

371650

Level II Alteration

Hessler Paint

459 F.W. Atlantic Ave.
Delray Beach, FL

RBA FN-0015.02

Figure 1

3316-Online-Applo

4-25-10 SPRAB: Set

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Revisions: _____

12-16-47 RZ SPRAB

Comments

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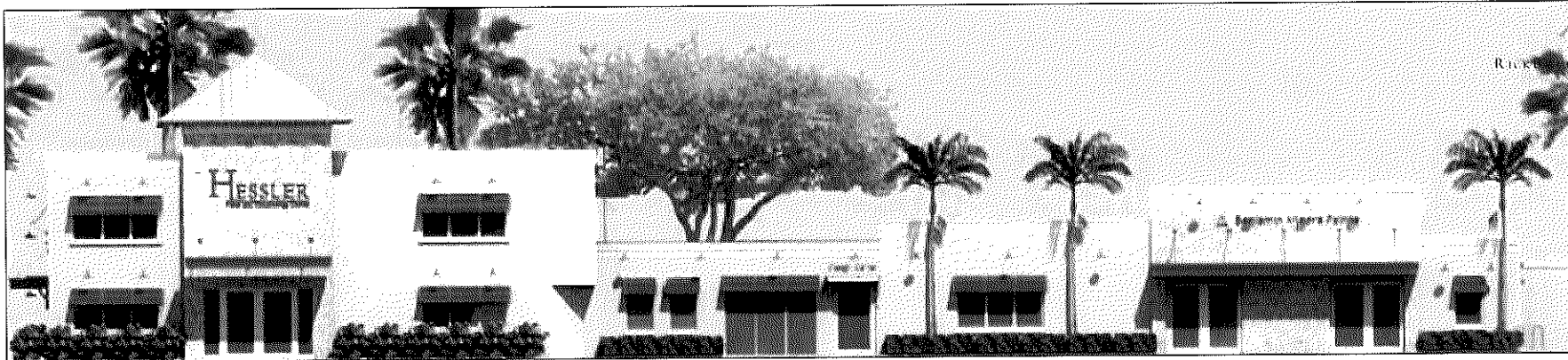
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THE UNIVERSITY OF CHICAGO

[illegible][illegible]

姓名: _____ 性别: _____ 年龄: _____
 身份证号: _____ 联系电话: _____
 电子邮箱: _____ 联系地址: _____
 邮政编码: _____ 职业: _____
 兴趣爱好: _____ 特长: _____
 自我评价: _____
 其他信息: _____

DOI: 10.1002/anie.200500000

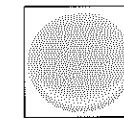


Front (South) Elevation
3/16" SC

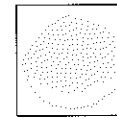


Side (West) Elevation
3/16" SC

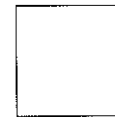
COLORS



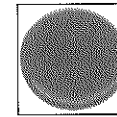
C-1 Application: Stucco
Benjamin Moore: OC-142 Pale Blue



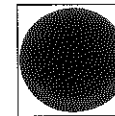
C-2 Application: Stucco
Benjamin Moore: 2014-65 Ivory Peak



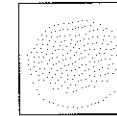
C-3 Application: Iron ore, crushed
Benjamin Moore: OC-144 Verde Verde



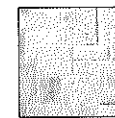
C-4 Application: Shutters, kitchen, laundry
Benjamin Moore: 2014-63 Long Change



C-5 Application: Door, lighting fixture
Benjamin Moore: 2014-63 Long Change



C-6 Application: Stucco
Benjamin Moore: 2014-63 Long Change



C-7 Application: Coat
Benjamin Moore: 2014-63 Long Change



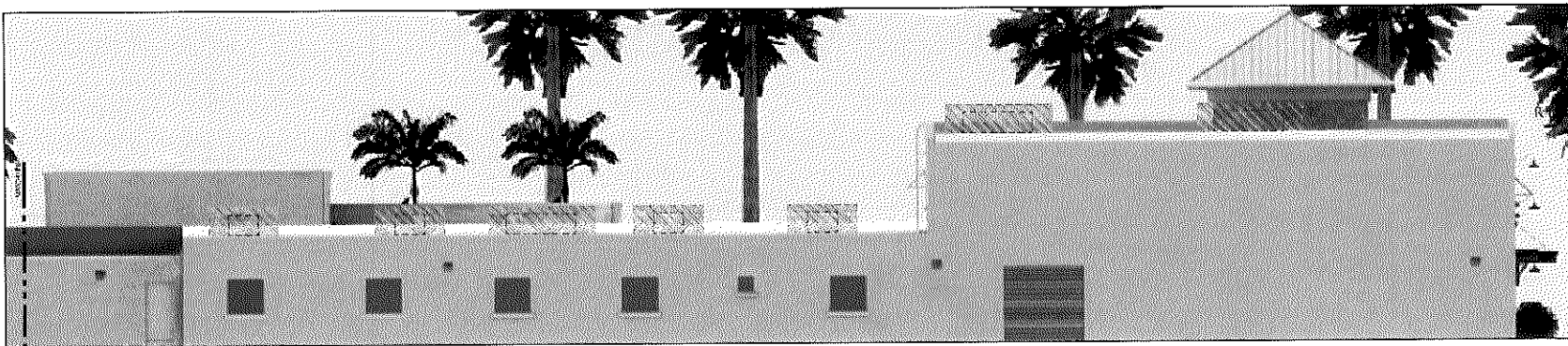
C-8 Application: Stucco window frame
Benjamin Moore: 2014-63 Long Change

Color Elevations

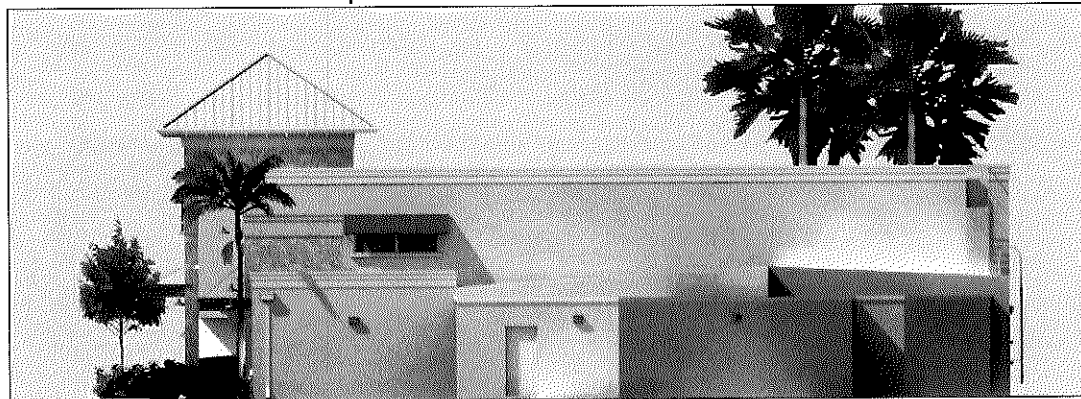
REVISIONS

NO.	DATE	DESCRIPTION
1	10/25/14	Initial Design
2	11/10/14	Revised Design
3	11/10/14	Revised Design
4	11/10/14	Revised Design
5	11/10/14	Revised Design
6	11/10/14	Revised Design
7	11/10/14	Revised Design
8	11/10/14	Revised Design
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15	11/10/14	Revised Design
16	11/10/14	Revised Design
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100	11/10/14	Revised Design

Level II Alteration & Addition
Hessler Point
459 L.W. Atlantic Ave.
Delray Beach, FL
33426-1015-02
ISSUED
© 3-31-16 Owner Approval
© 4-25-16 SPRAB Set
© 11-23-16 C.C. Set
Revisions:
12-3-16 PZ SPRAB
Comments:

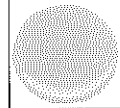
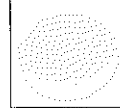

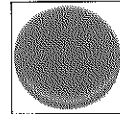
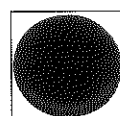
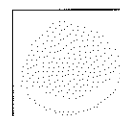

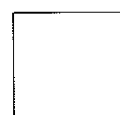


Rear (North) Elevation
3/16" SC



Side (East) Elevation
3/16" SC

COLORS

 C-1 Application: Suction Benjamin Moore: 723-AC Pale Blue	 C-2 Application: Suction Benjamin Moore: 7014-SB Ivory Gray
 C-3 Application: Trim, all outside Benjamin Moore: CC-34 Misty White	 C-4 Application: Trim, kitchen, canopy Benjamin Moore: 2011-CB Gray Canvas
 C-5 Application: Sign lighting tubes Benjamin Moore: 2020-03 Night Sky Blue	 C-6 Application: Suction Benjamin Moore: 2020-03 Water Green
 C-7 Application: Coat Benjamin Moore: color system to match color	 C-8 Application: Suction window frames Benjamin Moore: 2020-03 Ivory Gray

Color Elevations

RECEIVED

RABITGAN ARCHITECTURE

1045 E. 10th St., Suite 100
 Delray Beach, FL 33444-4443
 Tel: 561.272.7000
 Fax: 561.272.7000
 www.rabitgan.com

Level II Alteration & Addition

Hessler Paint

4591 W. Atlantic Ave.
 Delray Beach, FL 33444-4443
 Tel: 561.272.7000

Revisions

1. 3-31-16 Owner Approval

2. 4-25-16 SPRAB Set

3. 11-23-16 G-C-Bld Set

4. 12-16-16 PZ-SPAB

5. 12-16-16 Comments

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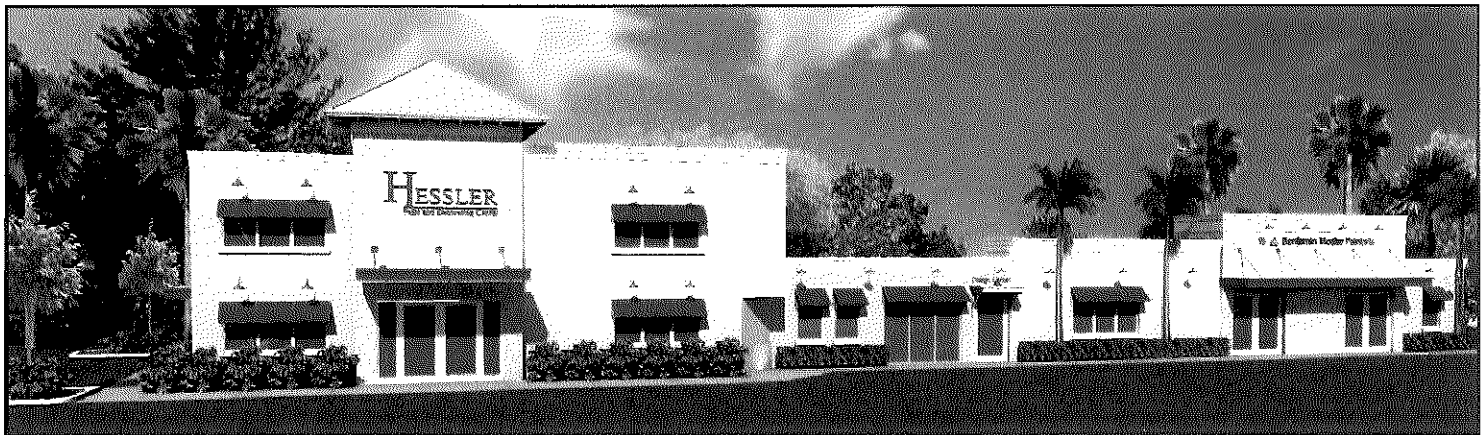
98. 12-16-16 Comments

99. 12-16-16 Comments

100. 12-16-16 Comments

Hessler Paint Store Addition

4591 West Atlantic Ave · Delray Beach · FL



PROPOSED BUILDING

INDEX OF DRAWINGS

BUILDING ARCHITECTURE

RICK BRAITHWAITE ARCHITECT, P.A.
1025 South Dixie Highway
Delray Beach, Florida 33433

No.	Title	Issued	Revisions
A1.	Cover Sheet	4-25-16	12-1-16
A2.	Architectural Site Plan (Detail)	4-25-16	12-1-16
A2.1	Enhanced Architectural Site Plan	12-1-16	
A2.2	Handcraft/Landscape artist Site Plan	12-1-16	
A3.	1st Floor Plan	4-25-16	12-1-16
A4.	Upper Level/Floor Plan/Lower Floor Plan	4-25-16	12-1-16
A5.	Elevations	4-25-16	12-1-16
A6.	Elevations	4-25-16	12-1-16
A7.	Color Elevations	4-25-16	12-1-16
A8.	Color Elevations	4-25-16	12-1-16
A9.	Building Section	4-25-16	12-1-16
A10.	Photometrics Plan	4-25-16	12-1-16
A11.	Photometrics Light Fixture Specifications	4-25-16	12-1-16
A12.	Composited Overlay	4-25-16	12-1-16

CIVIL ENGINEERING

JOHN F. GUNDEL, P.E.
3333 North Federal Highway
Delray Beach, FL 33431

No.	Title	Issued	Revisions
C1.	Cover Sheet	4-25-16	12-1-16
C2.	Stormwater Erosion Control & Details	4-25-16	12-1-16
C3.	General Notes & Drainage Details	4-25-16	12-1-16
C4.	Paving Details & Specs	4-25-16	12-1-16
C5.	Paving/Grading/Drainage Improvements	4-25-16	12-1-16
C6.	Proposed Civil Improvements within Atlantic Ave ROW	12-1-16	
C7.	Boundary & Topographic Survey	4-25-16	12-1-16

LANDSCAPE ARCHITECTURE

CARROLL & ASSOCIATES, LANDSCAPE ARCHITECTS, P.C.
74 NE 28th Avenue
Delray Beach, FL 33483

No.	Title	Issued	Revisions
L1.	Overall Landscape Plan	4-25-16	12-1-16
L2.	Landscape Notes & Details	4-25-16	12-1-16

RICK BRAITHWAITE ARCHITECT, P.A.
1025 SOUTH DIXIE HIGHWAY
DELRAY BEACH, FLORIDA 33433
TEL: 561.777.1747
FAX: 561.777.1748
WWW.RICKBRAITHWAITEARCHITECT.COM

Level II Alteration
& Addition
**Hessler
Paint**
4591 W. Atlantic Ave.
Delray Beach, FL

RUBA-PN-11015-02

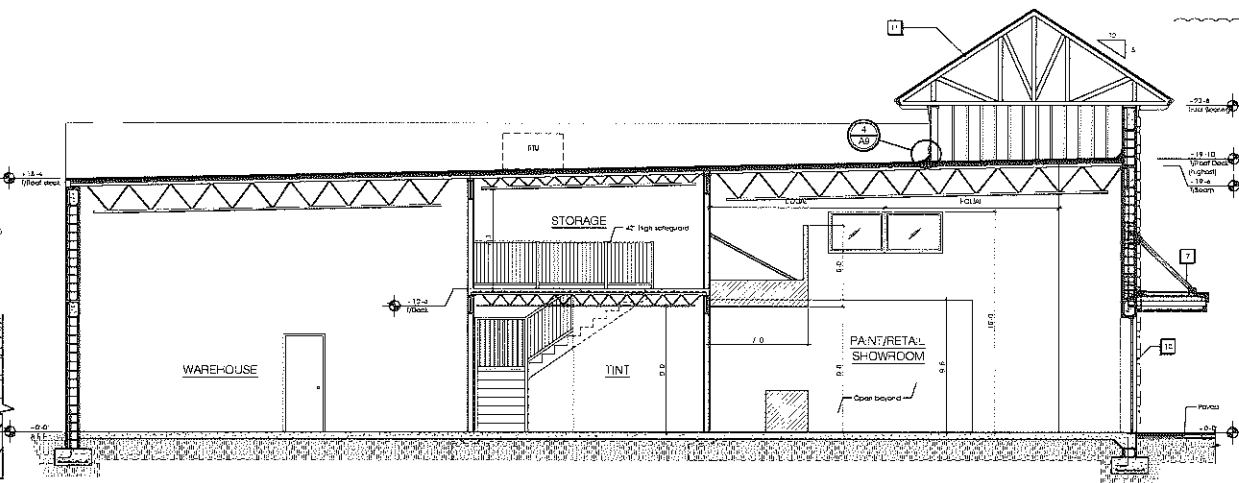
Issued

3-31-16 Owner Approval
4-25-16 SP/AB Set
11-23-16 C.C. Bid Set

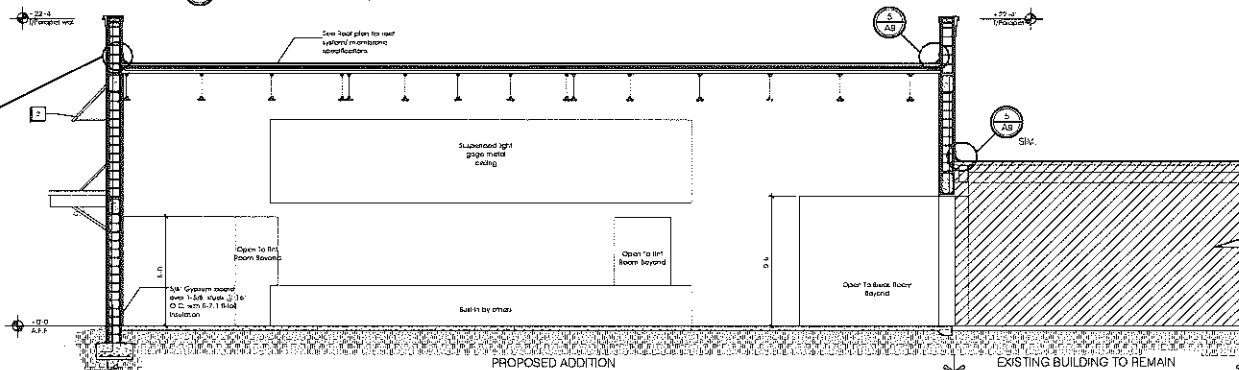
Revisions:

12-1-16 SP/AB
Comments:

Cover Sheet



 Building Section 1/4" SC



2 Building Section 1/4" 5C

[illegible][illegible]

© 3-34-16 Owner Approval
 © 4-29-16 SPBAS Set
 © 11-23-16 G.C. Bid Set

Revisions:

12-1-16: PZ SPRAB

Comments:

[illegible]

<p> QUESTION 1. The following table shows the number of people who attended the 2008 Summer Olympics in Beijing, China. The table is organized by country and by gender. The total number of people who attended the 2008 Summer Olympics is 11,231. The total number of people who attended the 2008 Summer Olympics by country is 1,123. The total number of people who attended the 2008 Summer Olympics by gender is 5,615. The total number of people who attended the 2008 Summer Olympics by country and gender is 1,123. The total number of people who attended the 2008 Summer Olympics by country and gender is 1,123. The total number of people who attended the 2008 Summer Olympics by country and gender is 1,123. </p>		
Country	Gender	Number of people
USA	Male	1,123
USA	Female	1,123
China	Male	1,123
China	Female	1,123
UK	Male	1,123
UK	Female	1,123
France	Male	1,123
France	Female	1,123
Germany	Male	1,123
Germany	Female	1,123
Italy	Male	1,123
Italy	Female	1,123
Spain	Male	1,123
Spain	Female	1,123
Russia	Male	1,123
Russia	Female	1,123
Japan	Male	1,123
Japan	Female	1,123
South Korea	Male	1,123
South Korea	Female	1,123
North Korea	Male	1,123
North Korea	Female	1,123
Iran	Male	1,123
Iran	Female	1,123
Belarus	Male	1,123
Belarus	Female	1,123
Ukraine	Male	1,123
Ukraine	Female	1,123
Belgium	Male	1,123
Belgium	Female	1,123
Netherlands	Male	1,123
Netherlands	Female	1,123
Australia	Male	1,123
Australia	Female	1,123
Canada	Male	1,123
Canada	Female	1,123
USA	Male	1,123
USA	Female	1,123
China	Male	1,123
China	Female	1,123
UK	Male	1,123
UK	Female	1,123
France	Male	1,123
France	Female	1,123
Germany	Male	1,123
Germany	Female	1,123
Italy	Male	1,123
Italy	Female	1,123
Spain	Male	1,123
Spain	Female	1,123
Russia	Male	1,123
Russia	Female	1,123
Japan	Male	1,123
Japan	Female	1,123
South Korea	Male	1,123
South Korea	Female	1,123
North Korea	Male	1,123
North Korea	Female	1,123
Iran	Male	1,123
Iran	Female	1,123
Belarus	Male	1,123
Belarus	Female	1,123
Ukraine	Male	1,123
Ukraine	Female	1,123
Belgium	Male	1,123
Belgium	Female	1,123
Netherlands	Male	1,123
Netherlands	Female	1,123
Australia	Male	1,123
Australia	Female	1,123
Canada	Male	1,123
Canada	Female	1,123
USA	Male	1,123
USA	Female	1,123
China	Male	1,123
China	Female	1,123
UK	Male	1,123
UK	Female	1,123
France	Male	1,123
France	Female	1,123
Germany	Male	1,123
Germany	Female	1,123
Italy	Male	1,123
Italy	Female	1,123
Spain	Male	1,123
Spain	Female	1,123
Russia	Male	1,123
Russia	Female	1,123
Japan	Male	1,123
Japan	Female	1,123
South Korea	Male	1,123
South Korea	Female	1,123
North Korea	Male	1,123
North Korea	Female	1,123
Iran	Male	1,123
Iran	Female	1,123
Belarus	Male	1,123
Belarus	Female	1,123
Ukraine	Male	1,123
Ukraine	Female	1,123
Belgium	Male	1,123
Belgium	Female	1,123
Netherlands	Male	1,123
Netherlands	Female	1,123
Australia	Male	1,123
Australia	Female	1,123
Canada	Male	1,123
Canada	Female	1,123
USA	Male	1,123
USA	Female	1,123
China	Male	1,123
China	Female	1,123
UK	Male	1,123
UK	Female	1,123
France	Male	1,123
France	Female	1,123
Germany	Male	1,123
Germany	Female	1,123
Italy	Male	

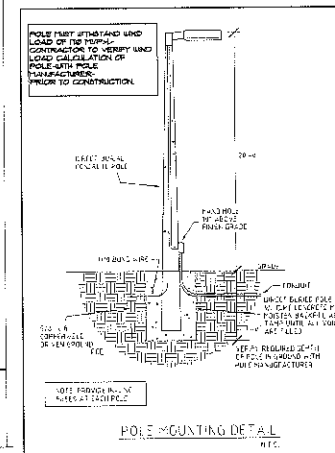
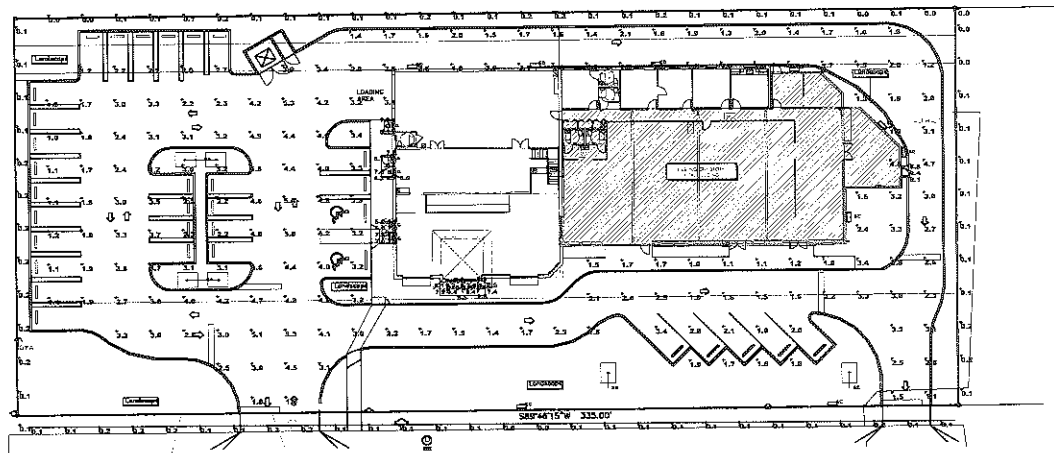
A close-up photograph of a document, likely a technical drawing or a form. The document features a large, stylized number '9' in the center. To the left of the '9', there is a temperature reading '1/4°C'. The document is filled with various lines of text, some of which are partially obscured by the '9' and the temperature reading. The text appears to be a mix of English and Chinese characters. The overall image is somewhat blurry, suggesting it might be a scan of a physical document.

Building Section

14:50

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF
	2	SA	BACK-BACK	N.A.	0.950
	4	SB	SINGLE	N.A.	0.950
	4	SD	SINGLE	N.A.	0.950
	2	SE	SINGLE	N.A.	0.950
	1	SF	SINGLE	N.A.	0.950
	6	SG	SINGLE	N.A.	0.950
				Description	
				BEACON VP-S-60NB-135-SK-T4-BLC POLE MTD. - 20' A.G.	
				BEACON VP-S-60NB-135-SK-T4-BLC POLE MTD. - 20' A.G.	
				HUBBELL LNC-9LU-SK-2 BLDG. MTD. - 12' A.G.	
				HUBBELL LNC-7LU-SK-3 BLDG. MTD. - 12' A.G.	
				DMF DRD2H4NC/DRD2M10930/DRD2T45WH IN CANOPY	
				Lum. Watts	
				137	
				137	
				22.1	
				26.6	
				16.4	
				14.2	

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
DRIVES & PARKING	Illuminance	Fc	2.63	5.8	1.0	2.63
LEFT ENTRY LOWER	Illuminance	Fc	6.65	7.6	5.2	1.28
LEFT ENTRY UPPER	Illuminance	Fc	6.51	7.7	5.1	1.13
LEFT SINGLE DOOR ENTRY	Illuminance	Fc	7.60	7.7	7.5	1.01
MAIN FRONT ENTRY	Illuminance	Fc	7.78	8.5	6.5	1.19
PROPERTY LINE - LEFT	Illuminance	Fc	0.15	0.2	0.1	1.50
PROPERTY LINE - LOWER	Illuminance	Fc	0.11	0.2	0.0	N.A.
PROPERTY LINE - RIGHT	Illuminance	Fc	0.10	0.2	0.0	N.A.
PROPERTY LINE - UPPER	Illuminance	Fc	0.10	0.2	0.0	N.A.
RIGHT SIDE ENTRY	Illuminance	Fc	6.15	8.4	7.9	1.06



RICK BRAUTIGAN

1001 E. 11th St.
 Detroit, MI 48207
 Tel: 313.963.1000
 Fax: 313.963.1001
 E-mail: rick@rickbrautigan.com

Level II Alteration
 & Addition
Hessler Point
 459 W Atlantic Ave.
 Detroit, MI 48207

PROJECT NO: 1015402

- 1-11-11: IACOMME APPROVAL
- 4-25-14: SPRAB SET
- 11-23-16: G.C. Bid Set
- 2-13-17: Permit Set

Revisions:
 1-21-18: PZ-SPRAB
 COMMENT:
 1-9-17: PZ-SPRAB
 COMMENT:

Photometrics Plan

1-20-18

10

SA SB

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SC	SD	SE	SF
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[illegible]

1. A question mark.

2. A person thinking.

3. A person observing a globe.

4. A person writing on a notepad.

5. A person using a microscope.

6. A person using a telescope.

7. A person using a scale.

8. A person using a test tube.

9. A person using a beaker.

10. A person using a pipette.

11. A person using a balance scale.

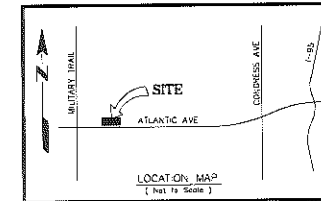
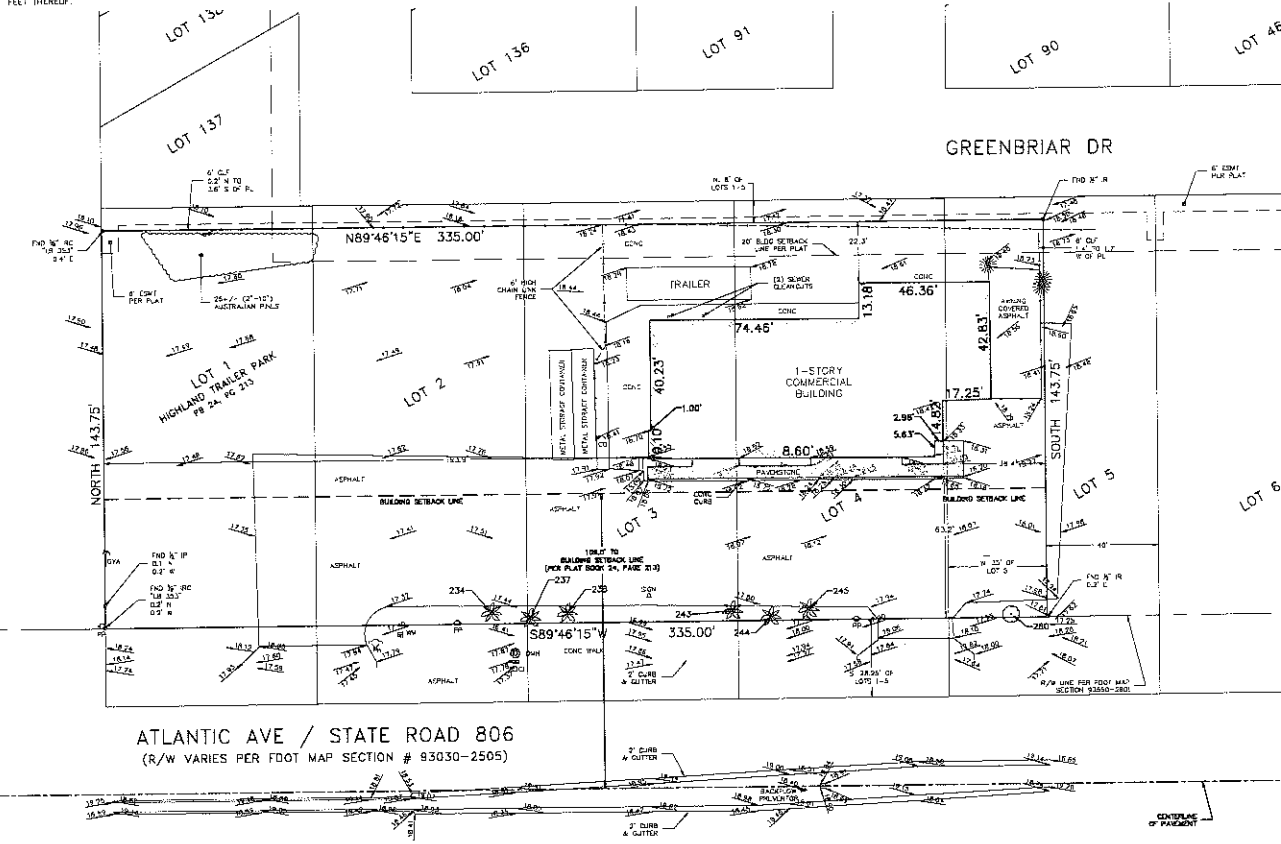
12. A person using a computer monitor.

[illegible]

PROPERTY DESCRIPTION

LOTS 1, 2, 3, 4 AND WEST 35 FEET OF LOT 5, HIGHLAND TRAILER PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 24, PAGE 213, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE SOUTH 28.25 FEET THEREOF AND LESS THE SOUTH 5.00 FEET THEREOF.

SKETCH OF SURVEY



GRAPHIC SCALE IN FEET
SCALE 1" = 20'

LEGEND

- A = Arc Length
- BM = Benchmark
- BUILD = Building
- C = Calculated
- CATV = Cable Television Riser
- CLF = Chain Link Fence
- CBS = Concrete Block Structure
- CM = Concrete Monument
- CONC = Concrete
- CP = Concrete Pole
- DA = Driveway
- DE = Driveway Easement
- DRNG = Drainage
- ESMT = Easement
- ELEV = Elevation
- F = Measured in field or calculated from field measurements
- FD = Fire Hydrant
- FOUN = Found
- FLPD = Florida Power & Light
- GV = Gate Valve
- HM = Handhole
- IP = Iron Pipe
- IR = Iron Rod
- IRAC = Iron Rod & Plastic Cap
- LAE = Limited Access Easement
- LP = Light Pole
- LME = Lake Maintenance Easement
- NAD = NAD 83
- QWB = Overhead Wire
- ORB = Official Record Book
- P = Plot
- PB = Plot Book
- PBCA = Palm Beach County Records
- PCP = Permanent Control Point
- PG = Page
- PL = Property Line
- SPR = Sprinkler
- PRM = Permanent Reference Monument
- R = Radius
- R/W = Right-of-Way
- SBR = Southern Bell Riser
- SIL = Set Iron Rod & Plastic Cap
- SWK = Sidewalk
- UE = Utility Easement
- WM = Water Meter
- WP = Wood Pole

Tree	Removal
234	3"-4" Queen Palm
237	4"-6" Repellin
238	3"-4" Queen Palm
243	3"-4" Queen Palm
244	4"-6" Repellin
245	3"-4" Queen Palm
265	5" Australian Pine
266	5" Australian Pine
280	10" Mahogany
282	5" Australian Pine

STREET ADDRESS:
4591 ATLANTIC AVE
DELRAY BEACH, FL

SURVEY NOTES

- THE BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH ALONG THE WEST BOUNDARY OF SAID LOT 1 OF SAID HIGHLAND TRAILER PARK PLAT.
- OWNERSHIP OF FENCES AND WALLS SHOWN ON THIS DRAWING WERE NOT DETERMINED.
- SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SIZE OR SHAPE OF THE FEATURE.
- NO TITLE OPINION OR ABSTRACT HAS BEEN PROVIDED. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR. THERE MAY BE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS EITHER RECORDED OR UNRECORDED, WHICH MAY AFFECT THE SUBJECT PROPERTY.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE-GROUND IMPROVEMENTS ONLY. UNDERGROUND FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED OR SHOWN HEREON. ANY UTILITY LINES SHOWN HEREON WERE LOCATED AS PLANT MARKS ON THE GROUND, AS MARKED BY OTHERS.
- THESE THINGS ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, DENDROLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.
- INSTRUMENTS OF RECORD SHOWN HEREON REFER TO THOSE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA UNLESS NOTED OTHERWISE.

BOUNDARY SURVEY:

I HEREBY CERTIFY: This sketch of survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction and conforms to the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 117, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

03/08/2016

THOMAS F. LUBANOVICH DATE OF LAST FIELD MEASUREMENT
Professional Surveyor & Mapper No. 8939
State of Florida

Not Valid Without The Signature And The Original Raised Seal Of A
Florida Licensed Surveyor And Mapper

4	UPDATE SURVEY TO INCLUDE BUILDING SETBACK LINE	IFL	07/01/16
3	UPDATE SURVEY - FB 2180-PC 18-18	IFL	03/16/16
2	UPDATE SURVEY	SAR	2/19/15
1	UPDATE SURVEY	SAR	11/22/13
NO	REVISION	BY	DATE

BOUNDARY & TOPOGRAPHIC SURVEY OF PROPERTY DESCRIBED HEREON

LOTS 1, 2, 3, 4 & WEST 35 FEET OF LOT 5,
HIGHLAND TRAILER PARK
PLAT, PALM BEACH COUNTY, FLORIDA

JOHN A. GRANT, JR., INC.

CONSULTING ENGINEERS

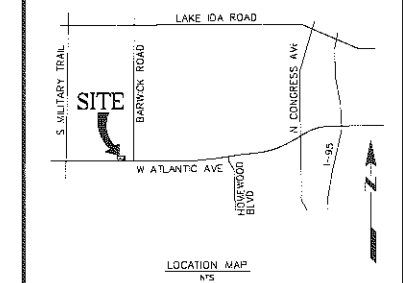
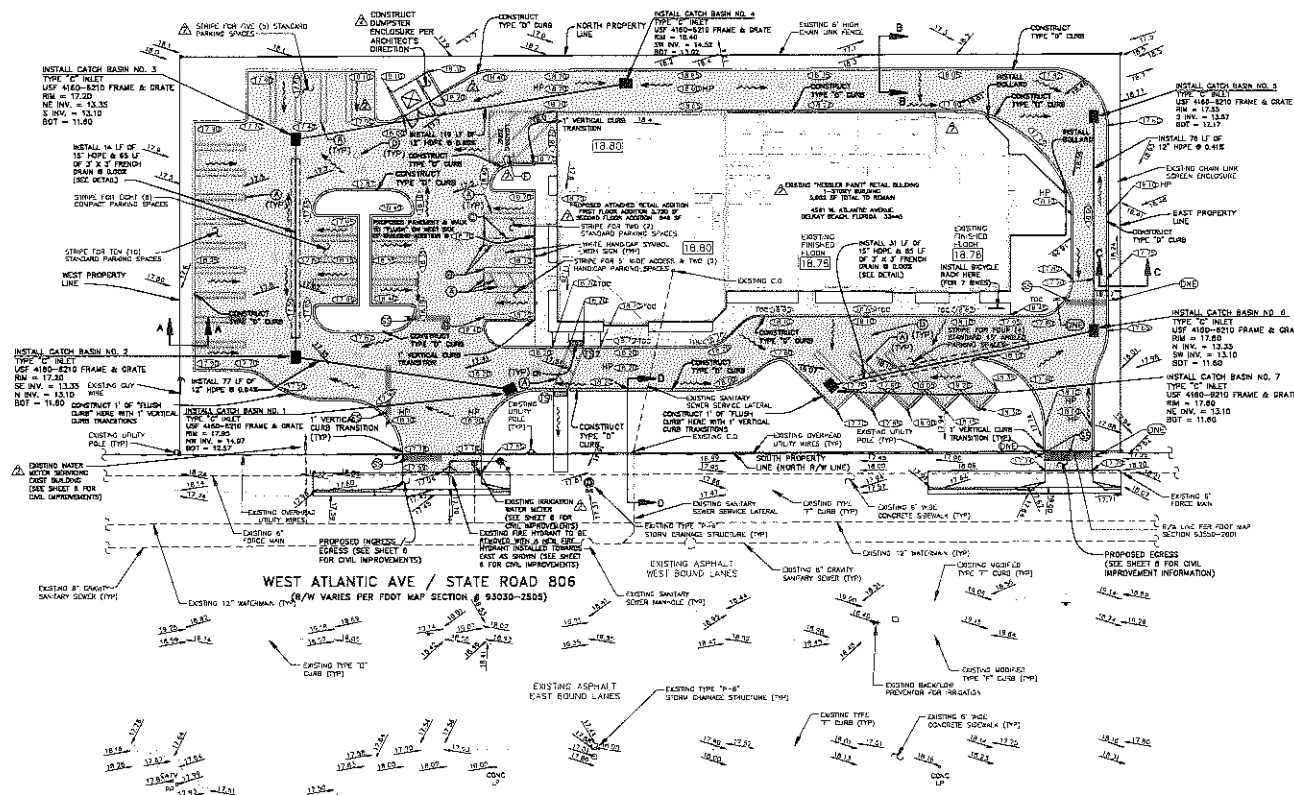
3323 NORTH FEDERAL HIGHWAY

BOCA RATON, FLORIDA 33431

PH. NO. 561-311-2333 FAX NO. 561-389-1315

LICENSED BUSINESS NO. 13 50

MADE	DATE 3/8/16	F.B. 2025	PG 02/02
CHECKED	DATE	SCALE 1" = 20'	
CB NO. 08-08-0022		SHEET 2 OF 2	



STRIPING & SIGNAGE LEGEND

- PROPOSED STOP SIGN (R-1-1) WITH 24" SOLID WHITE THERMALPLASTIC STOP BLANK
- PROPOSED 6" SOLID WHITE STRIPE
- PROPOSED 4" SOLID BLUE STRIPE
- PROPOSED 4" SOLID WHITE STRIPE
- PROPOSED WHITE STRAIGHT ARROW
- PROPOSED 18" X 24" STRIPED "LOADING ZONE" AREA: 4" SOLID YELLOW STRIPES WITH 18" TALL SOLID YELLOW LETTERING READING "LOADING ZONE" AS SHOWN
- PROPOSED TACTILE SURFACE LOCATION & NUMBER
- PROPOSED "DO NOT ENTER SIGN" (R-6-1A)

ESTIMATED DAILY POTABLE WATER DEMAND CALCULATIONS (GPD)	
(ASSUME 100% FLOWS INTO EXIST. SANITARY SEWER SYSTEM)	
CURRENT ESTIMATED DEMAND	307 GPD
PROPOSED ESTIMATED DEMAND	630 GPD
PROPOSED ESTIMATED DEMAND	630 GPD
NOTE: GPD = GALLONS PER DAY; SF = SQUARE FOOTAGE	

- LEGEND:**
- 17.70 PROPOSED GRADE
 - 17.70 EXISTING ELEVATION
 - DRAINAGE SHEET FLOW DIRECTION ARROW
 - SENOTES PROPOSED PAVEMENT
 - SENOTES PROPOSED CONCRETE SIDEWALK
 - SENOTES PROPOSED PAVED BRICK WALK
 - UP LINEAR FEE1
 - HP HIGH POINT
 - EXIST EXISTING
 - TOC TOP OF CURB

- 18.90 PROPOSED FINISHED FLOOR ELEVATION
- R RADIUS
- TYP TYPICAL
- CHC MATCH EXISTING GRADE
- C.O. SANITARY CLEAN OUT
- M.N. MINIMUM
- DIP DUCTILE IRON PIPE
- RPZ REDUCED PRESSURE ZONE
- TS# TACTILE SURFACE LOCATION & NUMBER
- CR CURB RAMP LOCATION

IT'S THE LAW!
CALL AN ATTORNEY TODAY!
1-800-432-4770
SUNSHINE STATE ONE-STOP LEGAL SERVICE
VICTORIA HARRISON GARDNER

- NOTES:**
- CONTRACTOR TO CONTACT SUNDOWN STAFF (S) FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCT CONCRETE SIDEWALK & CURB RAMP PER FOOT
 - CONTRACTOR TO MAINTAIN EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONSTRUCT PAVING MODIFICATIONS
 - ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNCHANGED EXCEPT AS NOTED
 - ALL TYPE "B" CURB TO BE CONSTRUCTED PER FOOT INDEX N.O.D.
 - REFER TO SHEET 2, SHEET 3 & 4 FOR INFORMATION ON CONSTRUCTION DETAILS, GENERAL NOTES, DRAINAGE DETAILS, PAVEMENT CROSS SECTIONS, PAVING DETAILS AND PAVING SHEET CLOSING
 - REFER TO DETAIL RT 4.1 AND DETAIL RT 4.2 ON SHEET 4 FOR DETAIL PARKING LOT STRIPING INFORMATION
 - CONTRACTOR TO DETERMINE LOCATION OF EXISTING EXISTING SANITARY AND WATER SERVICE LINES PRIOR TO STORM DRAINAGE INSTALLATION AND NOTIFY CIVIL ENGINEER OF RECORD IF OTHER CONFLICTS WITH PROPOSED STORM DRAINAGE SYSTEM SHOWN HEREON
 - ELEVATIONS SHOWN - EXCEPT WHERE NOTED - ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1989 (N.G.V.D.)
 - ANY TREES OF 4" DBH PLANTED WITHIN 10' OF EXISTING OR PROPOSED STORM DRAINAGE SHALL BE PLANTED WITHIN 10' OF EXISTING OR PROPOSED STORM DRAINAGE
 - ALL PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A MINIMUM DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER SERVICE OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH - CITY ENGINEER

- STRIPING NOTES:**
- PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH FDOT INDEX 17348 AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS
 - MAINTENANCE OF TRAFFIC FOR ALL PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL AND SPACE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND "STREETWAY AND TRAFFIC DESIGN STANDARDS"
 - REFER TO DETAIL RT 4.1 AND DETAIL RT 4.2 ON SHEET 4 FOR DETAIL PARKING LOT STRIPING INFORMATION

THOMAS F. LUGANOVIC
Professional Engineer No. 56659
John A. Grant, Jr., Inc.
3333 N. Federal Hwy., Ste. 3
Boca Raton, FL 33431
Certificate of Authorization No. LB 50

REVISIONS			
NO.	REVISION	BY	DATE
1	REVISION	CSK	JAN 2017
2	REVISION	CSK	NOV 2016

PAVING, GRADING & DRAINAGE IMPROVEMENTS	
HESSLER PAINT SITE IMPROVEMENTS	
4591 W. ATLANTIC AVENUE	
DELRAY BEACH, FLORIDA 33445	
JOHN A. GRANT, JR., INC.	
CONSULTING ENGINEERS	
3333 NORTH FEDERAL HIGHWAY	
BOCA RATON, FLORIDA 33431	
PH. NO. 561-395-2323 FAX NO. 561-395-3315	
LICENSED BUSINESS NO. LB 50	
MADE	DATE
CHECKED	DATE
DRAWN	DATE
SCALE	1" = 20'
SHEET	5 OF 7

FDOT GENERAL NOTES:

All materials and construction with the Florida Department of Transportation Design (F.D.O.T.) right-of-way shall conform to the latest edition F.D.O.T. Design Standards and (latest edition) Standard Specifications for Road and Bridge Construction.

Maintenance of Traffic M.O.T. for this project will comply with the F.D.O.T. Standard Index (800 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). Special attention will be given to FDOT Design Standards Index 611, 612, 613, and 880.

All thermoplastic traffic stripes, markings and signage will be installed per the FDOT Roadway and Traffic Design Standards.

It is the Permittee's responsibility to obtain final acceptance of permit work (completed) and the restoration of the right-of-way from the F.D.O.T. prior to usage.

Permittee will provide the necessary details in accordance with Section 120-3 of the FDOT Standard Specifications for Road and Bridge Construction (latest edition) prior to final acceptance by the F.D.O.T.

Permittee will restore the Right of Way to its original condition or better in accordance with F.D.O.T.'s latest Standard Specifications for Road and Bridge Construction or as directed by the Resident Operations Engineer.

During the removal/installation of any curb and gutter section, the permittee will be responsible for any damage done to the existing asphalt. The damaged asphalt repair will be in accordance with the current specifications and/or as directed by the Resident Operations Engineer.

Permittee shall provide the Producer's Certification (Delivery Ticket) for the NS CONCRETE-2500 PSI (used for Streets, Curb & Gutter, Ditch Protection and Traffic Separator) prior to final acceptance by the Department. The delivery ticket shall certify the concrete was batched, delivered and placed in accordance with Section 407 of the F.D.O.T.'s Standard Specifications for Road and Bridge Construction (current edition).

Surface areas will be in accordance with Standard Index 100 and sections 152, 58, 152, 582, 587 of the F.D.O.T.'s Standard Specifications for Road and Bridge Construction (latest edition). All disturbed areas will be seeded within one (1) week of installation of soil permit work.

Detention of all suitable excavated materials within the FDOT R/W, as determined by the F.D.O.T., shall remain in the Department until a final acceptance of the permitted project is issued. Excavated materials must be stored by the contractor, at their cost and expense from the site to the Palm Beach Operations Center, 3900 W Forest Hill Blvd or stockpiled in those areas as directed by the DOT, including erosion mitigation.

Restricted hours of operation will be from 8:00am to 5:00pm (Monday-Friday), unless otherwise approved by the Operations Engineer, or designer.

Permittee will coordinate all work with the Palm Beach Operations Permit Department using fax # (561) 370-1236. Construction will include a Pre-Construction Meeting.

PERMITTEE - PLEASE NOTE

Permittee's contractors that are performing permitted work activities shall provide the F.D.O.T. (Permit Office) proof of a proper state contractor's license and certificate of liability insurance prior to any commencement of permitted work.

All public sidewalk curbs must meet the Roadway & Traffic Design Standards (current edition) Index Number Six Curb/Strip Inspection (a) required prior to installation of concrete.

PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE.

Permittee will provide the F.D.O.T. with certified "AS-BUILT" drawings prior to final acceptance of the permitted work.

REQUIRED PAVING & SIDEWALK SPECIFICATIONS WITHIN WEST ATLANTIC AVENUE RIGHT-OF-WAY			
TYPE	WEARING SURFACE	BASE	SUBGRADE
PROPOSED EASTERN SIDE ACCESS R/W WEST ATLANTIC AVENUE RIGHT-OF-WAY	6" THICK W/ 200 AS CONCRETE W/ MINIMUM 2800 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
PROPOSED SIDEWALK WITHIN WEST ATLANTIC AVENUE RIGHT-OF-WAY	4" THICK W/ 200 AS CONCRETE W/ MINIMUM 2800 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180

NOTES:

- CONTRACTOR TO SAWCUT EXISTING PAVEMENT AND STEP JOINT AS REQUIRED TO ENSURE QUALITY PAVING WORK.
- NO WIRE MESH OR REINFORCING STEEL REQUIRED FOR CONCRETE SIDEWALK CONSTRUCTION EXCEPT WHERE NOTED.
- ALL PROPOSED TRUNCATED DOWNS (DEPRESSIBLE MARKINGS) WITHIN TRAVEL ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED PER FDOT INDEX NO. 304.

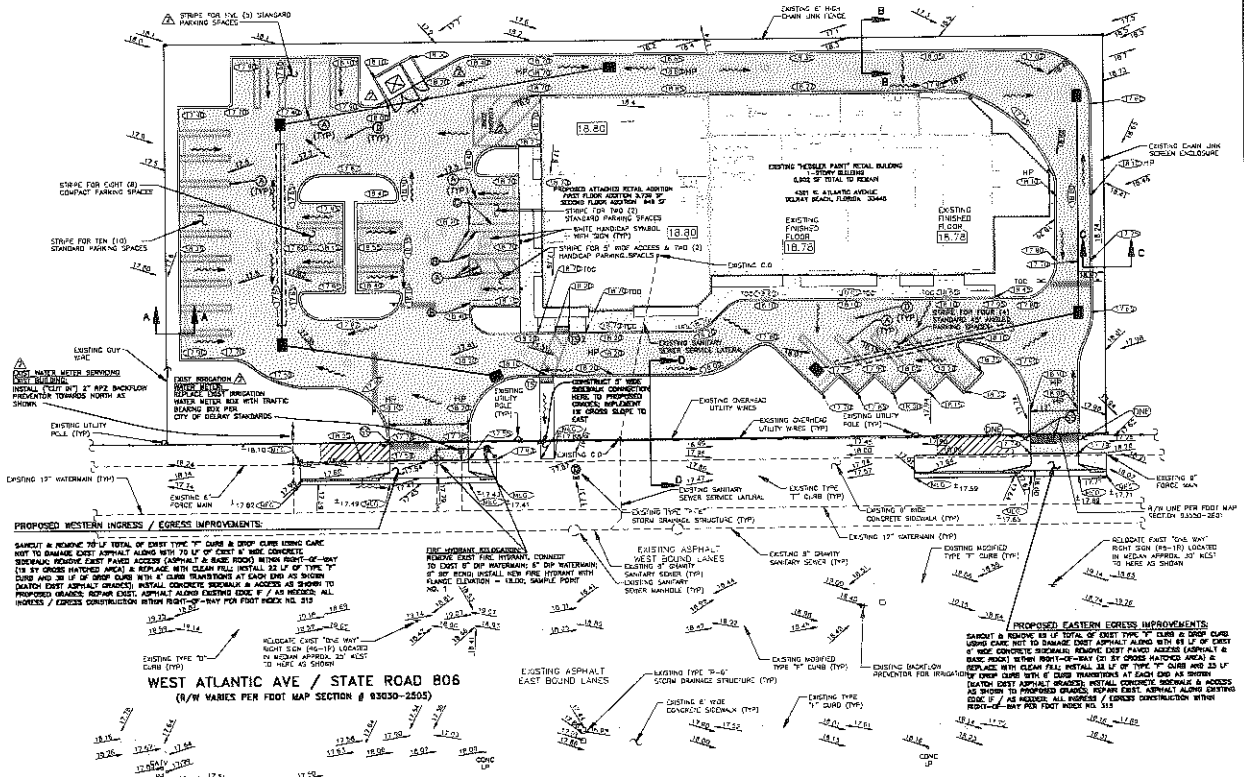
LEGEND:

	PROPOSED GRADE
	EXISTING ELEVATION
	DRAINAGE SHEET FLOW DIRECTION ARROW
	DENOTES PROPOSED PAVEMENT
	DENOTES PROPOSED CONCRETE SIDEWALK OR CONCRETE INGRESS / EGRESS AREA
	DENOTES PROPOSED PAVER BRICK WALK
	LINEAR FEET
	POINT
	EXIST EXISTING
	TOP OF CURB

STRIPING & SIGNAGE LEGEND

PROPOSED STOP SIGN (81-1) WITH 24" SOLID WHITE THERMOPLASTIC STOP BAR	
PROPOSED 6" SOLID WHITE STRIPE	
PROPOSED 4" SOLID BLUE STRIPE	
PROPOSED 4" SOLID WHITE STRIPE	
PROPOSED WHITE STRAIGHT ARROW	
PROPOSED TACTILE SURFACE LOCATION & NUMBER	
PROPOSED "DO NOT ENTER" SIGN (R6-2A)	

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CALL AN HOUR BEFORE YOU GO
1-800-432-4770
UNIVERSITY MICROFILMS

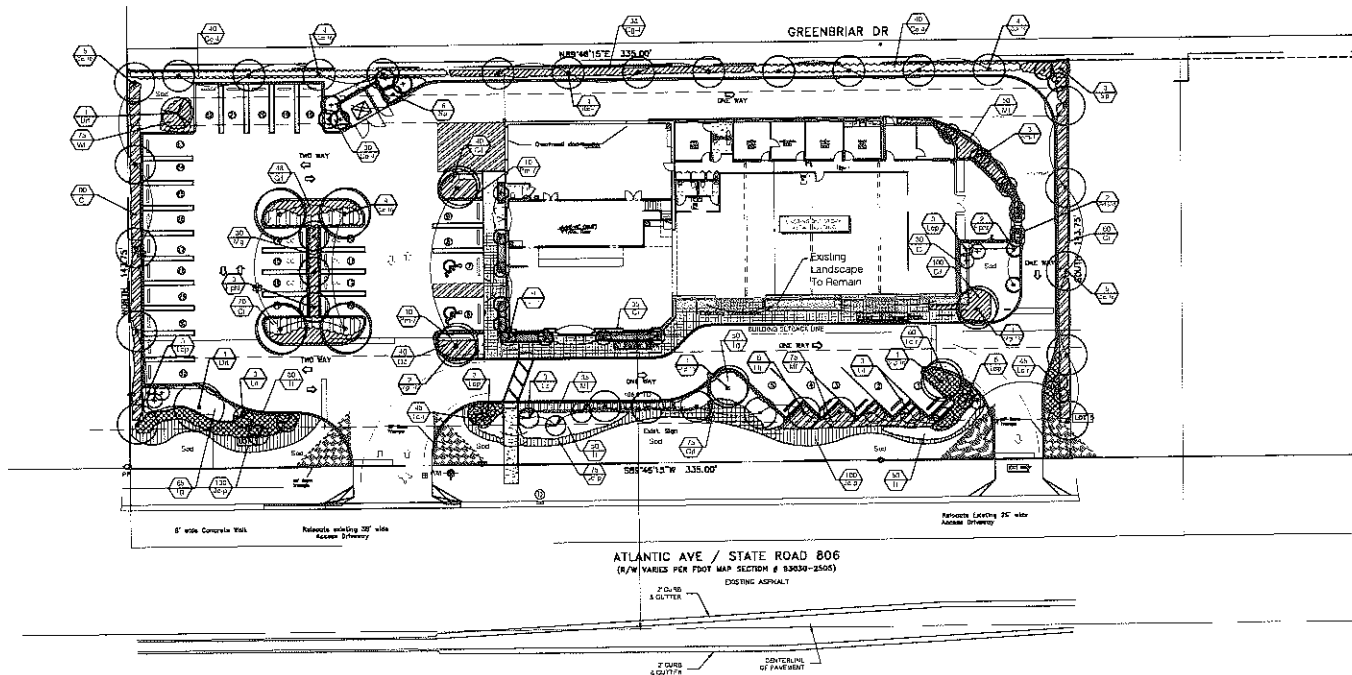


STRIPING NOTES:

- PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH FDOT INDEX 17346 AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS.
- MAINTENANCE OF TRAFFIC FOR ALL PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- REFER TO DETAIL "A" & DETAIL "B" & 26 ON SHEET 4 FOR DETAIL PARKING LOT STRIPING INFORMATION.

PROPOSED CIVIL IMPROVEMENTS WITHIN W ATLANTIC AVENUE RIGHT-OF-WAY HESSLER PAINT SITE IMPROVEMENTS 4591 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33445	
JOHN A. GRANT, JR., INC. CONSULTING ENGINEERS 3333 NORTH FEDERAL HIGHWAY BOCA RATON, FLORIDA 33431 PH. NO. 561-385-3333 FAX NO. 561-355-3319 LICENSED BUSINESS NO. 18-30	
MADE <input checked="" type="checkbox"/> DATE JAN 2018 CHECKED <input checked="" type="checkbox"/> DATE <input type="text"/> JOB NO. 18-108-0023	FEB 2018, 11:00 AM TO 12:00 PM SCALE 1" = 20' SHEET 1 OF 2

THOMAS F. USANOVIC
Professional Engineer No 56659
John A. Grant, Jr., Inc.
3333 N. Federal Hwy, Ste. 3
Boca Raton, FL 33431
Certificate of Authorization No. 19 50



NOTE:
ALL EXOTIC / PROHIBITED
SPECIES TO BE REMOVED FROM
THE SITE PER CODE



REVISIONS	BY
REVISED 1/18/17 PER REVISED SITE PLAN	

DESIGNED BY:
**CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.**
74 N.E. 5th Ave, Delray Beach, FL 33483
L.A. B31
561-272-9621

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach,
Florida

DATE	11.15.16
DRAWN	DHC
CHECKED	DHC
SCALE	1" = 20'
PROJECT	040616
SHEET	5
SHEETS	5

Qty	Key	Botanical Name / Common Name	Size
4	Cal-10*	Calophyllum brasiliense / Brazil Sea-suckle*	18x7 Tr
6	Mag-10*	Magnolia grandiflora / Southern Magnolia*	18x10 Flat mixing specimens
10	Co-10*	Ceanothus erectus / Green Seabloom tree	18x7 Tr
2	Dm*	Dalmanella repens / River Soursop tree	18x7 Tr
2	Lp	Leguminosae exsual / Small Purple watermelon tree	12-14x7 Tr
6	Co-10*	Coccoloba diversifolia / Pigeon Plum Tree	18x7 Tr
2	Sh-10*	Bursera debilis / Yellowwood tree	12-14x7 Tr
4	LP*	Lycium americanum / Sabal	12-14x7 Tr
3	Am-10*	Adonia meridionalis / Palm Sistrion	14-16x7 Tr
2	Am-10*	Adonia meridionalis / Chiricahua Palm Sistrion	18x6 double ending
2	Pap-10*	Psychoporus elegans / Alexander Palm Sistrion	18 x 6 Single ending
2	Sp*	Salvia palm / Palm Sistrion	18x6 Tr
3	Sp*	Salvia palm / Palm Sistrion	18x6 Tr
15	Lcp*	Lycium americanum / Chinese tree	12-14-16 x 6 hts. hvy. ends

378	Gr*	Ficus microcarpa / Green Island Tree	18" Sq @ 15' o.c
20	Mag*	Magnolia grandiflora / Southern Magnolia	15" Sq @ 12' o.c
178	T2	Taxodium distichum / Yellow Bayonet	18" Sq @ 2' o.c
285	Gr*	Grass / Yellow Bayonet	24" Sq @ 2' o.c
26	Co-4*	Coccoloba diversifolia / Small leaf cactus	4x2 @ 5' o.c
180	Gr*	Grass / Yellow Bayonet	24" Sq @ 2' o.c
2	Am-10*	Adonia meridionalis / Chiricahua Palm Sistrion	14-16x7 Tr
110	Co-4*	Coccoloba diversifolia / Small leaf cactus	4x2 @ 5' o.c
180	Gr*	Grass / Yellow Bayonet	24" Sq @ 2' o.c
205	Co-4*	Coccoloba diversifolia / Small leaf cactus	4x2 @ 5' o.c
20	Am-10*	Adonia meridionalis / Chiricahua Palm Sistrion	14-16x7 Tr
20	Am-10*	Adonia meridionalis / Chiricahua Palm Sistrion	14-16x7 Tr

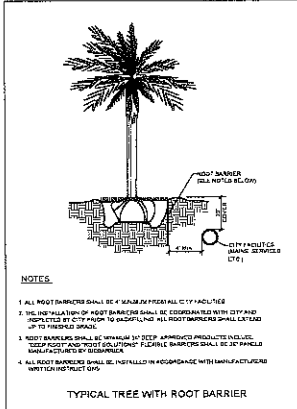
* Species native or highly drought to water plant materials, per NWMD "Waterwise Manual"

Planting soils, use species & details
Mulch, use species & details
Soil Solid Formant
91.8% Native plant materials used

SITE DATA COMMERCIAL	48,156 SQ. FT.
A. TOTAL LOT AREA	38,719 SQ. FT.
B. STRUCTURES, PARKING, WALKS, DRIVEWAYS, ETC.	4,437 SQ. FT.
C. TOTAL PERIMETER / AREA (C+A+B)	3,532 SQ. FT.
D. AREA OF SHRUBS & GROUND COVERS REQUIRED (C+A+B)	3,538 SQ. FT.
E. AREA OF SHRUBS & GROUND COVERS PROVIDED	3,538 SQ. FT.
F. NATIVE VEGETATION REQUIRED (C+A+B)	3,538 SQ. FT.
G. NATIVE VEGETATION PROVIDED	3,538 SQ. FT.
H. TOTAL NATIVE VEGETATION AREA	25,283 SQ. FT.
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED (H x 10)	2,528 SQ. FT.
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED	2,528 SQ. FT.
K. TOTAL INTERIOR SHADE TREES REQUIRED (H x 5 F)	21 Trees
L. TOTAL INTERIOR SHADE TREES PROVIDED	33 Trees
M. TOTAL INTERIOR PERIMETER PARKING OR VEHICULAR USE AREA	1,102 LIN. FT.
N. TOTAL NUMBER OF PERIMETER TREES REQUIRED (M/30)	37 Trees
O. TOTAL NUMBER OF PERIMETER TREES PROVIDED	37 Trees
P. TOTAL NUMBER OF EXIST. TREES TO BE PRESERVED ON SITE	37 Trees
Q. TOTAL NUMBER OF EXIST. TREES REQUIRED (M/30 x 5)	20 Trees
R. TOTAL NUMBER OF NATIVE TREES PROVIDED	32 Trees
S. TOTAL NUMBER OF TREES ON PLAN PROVIDED	45 Trees

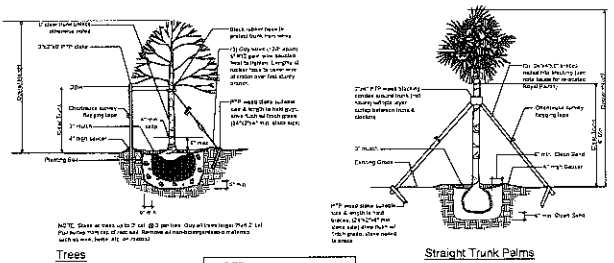
GENERAL LANDSCAPE NOTES:

- All plant materials shall be F1, B1, or better, as per the latest edition of F1, Grades & Standards. All "specimen" quality materials shall be F1, B1, or better, as per the latest edition of F1, Grades & Standards. Plant materials which do not meet, or exceed these standards will not be accepted.
- All plant materials shall be true to name & size, as per F1, Grades & Standards. Plant materials which do not meet, or exceed these standards will not be accepted.
- Quantities, sizes, and locations of plants will be determined by the plan and material schedule. Sizes of the specified plants shall be as indicated on the plan. The plan and material schedule shall be used as a guide. The landscape contractor shall be responsible for the actual quantities shown on the plan. The plan and material schedule shall be used as a guide. The landscape contractor shall be responsible for the actual quantities shown on the plan. The plan and material schedule shall be used as a guide. The landscape contractor shall be responsible for the actual quantities shown on the plan.
- All substitutions shall be acceptable without the Landscape Architect's written approval. All substitutions requests shall be made in writing.
- Planting soils shall be clean, sterile, and free of debris. Soil shall contain at least 10% "muck" or 60% existing native soil, mixed thoroughly together, clean sand. Trees shall be installed with a minimum of 6" on sides & bottom of "corbals". Shrubs, plants & ground covers shall be installed with a minimum of 6" on sides & bottom of "corbals". Planted outdoors shall be installed with a minimum of 4" of planting soil mixed with the top 6" of the existing soil. Soil planting and Phoenix species shall be installed with a clean wall of "muck" sand.
- Materials or equal, which shall be applied to all plantings, per manufacturers recommendations. In addition "Agrifilm" (20-10-5) shall also be applied to all plants 1 gal. and above, per manufacturers recommendations.
- All trees & palms shall be mulched with a 20" diameter circle 3" minimum depth. All planting beds shall receive 2" of "muck" sand, mixed with the top 6" of the existing soil. "Eco-Turf", or approved equal, NO CYPRUS SHALL BE UTILIZED ON THE PROJECT.
- All plants shall be planted at all levels which they were previously grown. Shrubs and palms are to be planted 20' away from any wall or structures. Materials with a size greater than overhangs shall be planted so as not to impede the natural growth habit of the plant.
- All materials are to be watered in immediately after planting, so as to remove all air pockets. BDB materials are to be hand-watered for a minimum of 7 weeks after installation, and thereafter as required. Contractor shall receive the owner of any additional watering requirements.
- All trees, shrubs, or palms, are to be staked, or guyed, to provide support such that the materials remain straight & true in an upright position through the guarantee period. Staking & guying shall be performed at the plan of the landscape contractor, except where required by code. However, the landscape contractor shall be responsible for all trees & palms remaining straight & true through the guarantee period. In the event that a material shifts after it has been properly staked, or guyed, the landscape contractor shall not be held responsible.
- All trees shall be "floridant", unless otherwise specified. Soil shall be dense, green, well-rotted, and free of debris, weeds, disease, or insects. A sample B-6 fertilizer shall be applied at a rate of 10 lbs. per 1,000 sq. ft. Soil shall be watered to a depth of 2" immediately after installation. Grasses are to be reseed promptly. All trees shall be removed, prior to installation.
- All trees, plants, & ground covers shall be guaranteed for a period of 120 days, & all palms are for a period of one year, after the date of substantial completion. Phoenix canariensis, & dactyloctenium are to be maintained, per grower/supplier's recommendations, by a qualified person, or firm. Same maintenance program shall be the responsibility of the owner.
- The landscape contractor will be deemed as rejection of the plant materials. The landscape contractor that remove any, or all of the specified materials from the site as they exist.
- The removal of "base rock" is not included in the landscape contract.
- All grasses are to be within 2" of finished grades, prior to the landscape contractor commencing work.



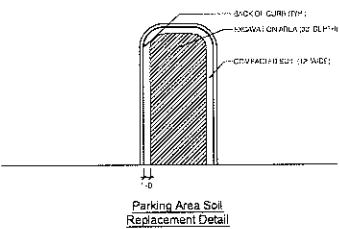
Any Trees or shrubs placed within water, sewer or drainage easements shall conform to this Standard Detail

NOTE: Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see detail). A suitable planting soil mixture of fifty (50) parts, sixty (60) parts (sand / planting soil) shall be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



NOTE: CYPRESS MULCH IS NOT PERMITTED

Note: All Above Ground Mechanical Equipment Such As, But Not Limited To, Exterior Utility Boxes, Meters, And Transformers Shall Be Depicted On All Plans And Shall Be Visually Screened. Backflow Preventers Shall Be Painted To Match Principle Structure.



NOTE: Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see detail). A suitable planting soil mixture of fifty (50) parts, sixty (60) parts (sand / planting soil) shall be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.

NOTE: ALL EXOTIC / PROHIBITED SPECIES TO BE REMOVED FROM THE SITE PER CODE

Notes & Materials

REVISIONS	BY
REVISED 1/18/17 PER	
REVISED SITE PLAN	

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th Ave. Delray Beach, FL 33483
561-272-9621

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach, Florida

DATE	09/04/16
DATE	11/15/16
SCALE	1" = 20'
DATE	04/08/16
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	

L-3

5 SHEETS

IRRIGATION LEGEND

- ① Rain and Pop-up 1800 Series w/PCP pattern as shown
- ▲ In-line Valves
- ⬇ Rain line Controller May Cuck Rain Sensor
- Water Source: shall be a well and pump system

Automatic Irrigation system to provide 100% irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & Tree zones are to be separated THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER SEWER OR DRAINAGE BASINMENTS

NOTE: Main line & valve locations are shown for graphic clarity only. All main lines & valves are to be located within landscape areas on-site.

IRRIGATION NOTES

Notes:
Automatic Irrigation System
Water demand zone
Pressure (as noted on plan)

GENERAL
System shall be installed in accordance with a Federal, State, and local codes. Contract drawings and Contract Specifications.
Irrigation design is based on "Planting Plan" dated 11/20/18.
Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant installations.
The water source for this system shall be well & pump.
The master shut-off valve shall be activated via the automatic controller, and shall be used to depressure the entire line when the system is not operational.
Contractor shall adjust the irrigation, where noted on the plan for actual field conditions, and shall install the system in accordance with South Florida Irrigation Society Standards and specifications.

To ensure proper operation of the system, pump size, pressure required, pipe and wire sizes, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications.

Irrigation system shall provide 100% coverage, with a 50% overlap minimum, using "cuck" type water source. If a well & pump system is to be utilized, the contractor shall provide a "chemical injection system" to inhibit rust. A water sample testing indicates that there will be "rust" staining from the well water.

PIPING
Pipes used in underground only, and shall be field adjusted for on-site conditions.
All pipe shall be installed in accordance with local codes, and per manufacturer's recommendations.
Pipes must be under power valves, and through planter walls shall be sleeved in SCH 40 PVC. Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Contractor shall verify the location, depth & size of all existing sleeves, as required.
Pipe installation above grade for the landscape area shall be SCH 40 1/2" diameter pipe. All other piping shall be PVC. The main line shall be SCH 40 PVC, lateral sizes from 1" to 2" shall be SCH 20, Class 160, and lateral sizes from 1" to 3/4" shall be SCH 21, Class 200 PVC pipe.

Pipe shall be installed so the backfill depths are maintained at 18" for main lines and all lateral lines located beneath pavement, and at 12" for all other areas. The depths from 1" to 2" shall be SCH 20, Class 160, and lateral sizes from 1" to 3/4" shall be SCH 21, Class 200 PVC pipe.
are to be taken from finished grades.
Backfill material shall be suitable material, free of rocks, stones, or other debris that could damage components of the irrigation system.

SPRINKLERS

Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, landscape elements, etc. to provide 100% coverage with a 50% overlap on paved surfaces, or building facades.
Pop-up spray heads shall be 1/2" or 3/4" type, which are to be installed on flexible bases in 1/2" to 1/4" inch-walled pipe with 1/2" riser above. THESE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THIS PROJECT.
Shrub heads shall be installed at a uniform height of 6" above the plantings, and are to be located within planting masses so as to be concealed from view.
Shrub type spray heads shall be 1/2" or 3/4" series, and are to be installed on a 1/2" SCH 40 PVC riser.
Risers are to be installed on a SCH 40 PVC riser at the base of the plant material, for low level watering.
All SCH 40 PVC risers are to be painted "Forest green", or Black, to be less conspicuous.
1/2" 1/2" pop-up sprinklers shall be installed in ground cover areas at the parking lot areas, and at other critical locations, as determined by the field or the Landscape Architect.

Sprinklers located adjacent to pavement, sidewalks, stairs, patios, walkways, etc. shall be installed 8" from the edge. Unless otherwise noted on the plans, pop-up sprinklers shall be installed 8" from the edge and shrub sprinklers shall be installed 18" from the edge. Shrub risers are not to be installed at walkway intersections, or where ever a "top & tail" head may occur.
Adjustment feature of sprinklers spaced shall be utilized to ensure proper coverage, when mowing or use/rate overhead.
Contractor shall use judgement in locating, and setting sprinkler heads in planting areas adjacent to parking spaces to minimize the damage to sprinklers or overhanging car bumpers.

Pop-up sprinklers with 90° angle nozzles shall be installed around masses of tall shrubs, for low level watering. Contractor shall install sprinklers at optimum locations for the most effective coverage.

CONTROL SYSTEM

Rain shut-off system shall be installed, per manufacturer's recommendations, to activate in-line valves, and the master shut-off valve.
Proper grounding equipment shall be installed for the controller.
Controller location shall be approved by the Landscape Architect, and proper supervision.
The irrigation contractor shall supply the controller, however the physical installation thereof, and the electrical hook-up shall be by others.

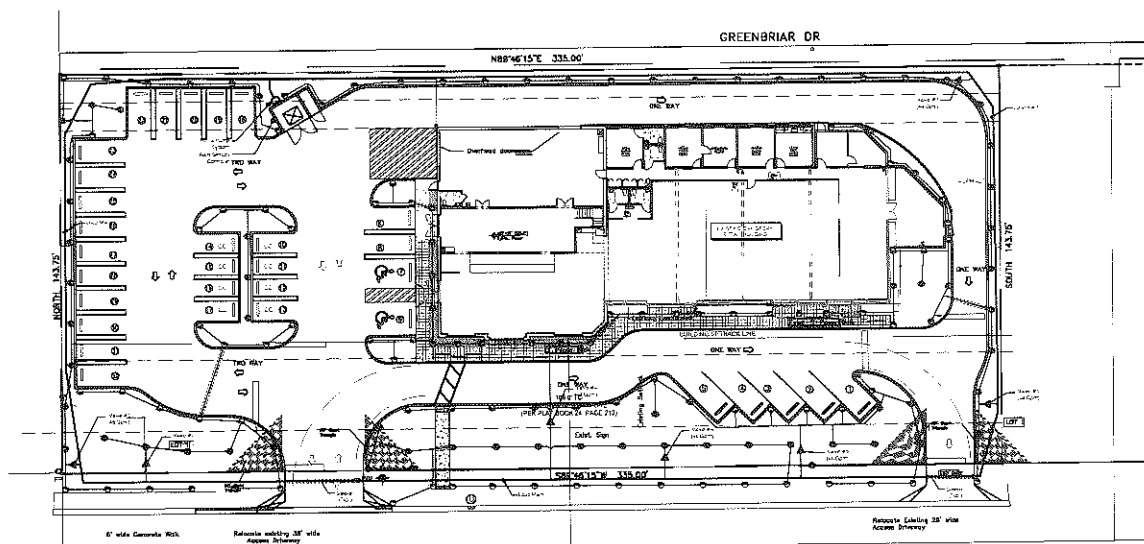
VALVES

Manual, or approved manual, electric valves shall be installed per manufacturer's recommendations, and as per details. All valves are to be installed in 1/2" diameter valve box see details.

RAIN SENSOR

1/4" x 1/4" rain sensor shall be installed, per manufacturer's recommendations. Rain sensor location shall be approved by the Landscape Architect.

IRRIGATION MAIN LINE NOTE
MAIN LINE & VALVE LOCATIONS ARE SHOWN FOR GRAPHIC CLARITY ONLY. ALL MAIN LINES & VALVES ARE TO BE LOCATED WITHIN LANDSCAPE AREAS ON-SITE.



ATLANTIC AVE / STATE ROAD 806
(N/V VARIES PER FDOT MAP SECTION # 33038-2505)



Overall Irrigation Plan

REVISIONS	BY
REVISED 1/18/19 PER REVISED SITE PLAN	

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th Ave. Delray Beach, FL 33483
561-272-9621
LA 531

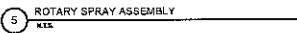
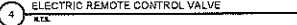
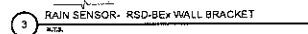
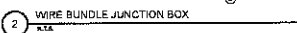
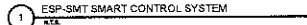
Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach, Florida

DATE	11/15/18
DRAWN BY	D.M.C.
CHECKED BY	D.M.C.
SCALE	1" = 20'
DATE	04/08/18
BY	5
PROJECT	L-4
5	564275

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th AVE. Delray Beach, FL 33483
LA. 831
561-272-9621

Landscape for:
HESSLER PAINT
4591 W. Atlantic Ave. Delray Beach,
Florida

of 5 SHEETS



Irrigation Details