# SITE PLAN REVIEW AND APPEARANCE BOARD CITY OF DELRAY BEACH ---STAFF REPORT---

MEETING DATE: April 12, 2017

ITEM: 912 Palm Trail (2017-001) - Approval of a Class V Site Plan Modification and associated

Landscape Plan, Architectural Elevations and Waiver request

**RECOMMENDATION:** Approval with conditions

**GENERAL DATA:** 

Applicant/Owner...... Shovel Ready

Projects, LLC

Agent...... Richard Jones

Architects Inc.

Location...... Westside of Palm Trail

north of George Bush Blvd.

Property Size...... 0.953 acres

Future Land Use Map...... MD (Medium Density)

Current Zoning...... RM (Multiple Family Residential)

Adjacent Zoning.....North: RM

East: R-1-A (Single Family

Residential)

South: RM West: RM

Development

Proposed Land Use..... Two townhome units

with 5 units each

Water Service..... Existing on site via

an 6" water line in the Palm Trail, McKee Lane and Witherspoon Lane

right of way.

Sewer Service..... Existing on site via an 8"

water line throughout the neighborhood.



### ITEM BEFORE THE BOARD

The item before the Board is the approval of a Class V Site Plan Modification and associated Landscape Plan, Architectural Elevations and Waiver request for **912 Palm Trail**, pursuant to Land Development Regulations (LDR) Section 2.4.5(F)(1)(a).

### **BACKGROUND**

This project is located on Palm Trail north of George Bush Blvd between McKee Lane and Witherspoon Lane on two separate parcels, and consists of Kenmont First addition lots 8 to 11 inclusive according to plat thereof as recorded in plat book 22, page 24 of the public records of Palm Beach. The property consists of 0.953 acres with 13 units and it is currently zoned (RM) Multiple Family. The existing structures were built in 1960.

### PROJECT DESCRIPTION

The development proposal consists of the following:

- Demolition of the two existing buildings
- Construct two fee simple townhome buildings with five units on each separately platted lot.
- Each individual unit is three bedroom town home (the under-air square footages for Unit "A" is 3,973 sq. ft., Unit "B" is 4,932 sq. ft. and Unit "C" is 4,052 sq. ft.). All units will accommodate a two-car garage. Each unit will be three stories.
- Installation of a 6 ft. aluminum fence with a 3' x 6' gate in a bronze finish.
- Installation of grade level pools.
- Installation of associated landscaping.
- Waiver request.

### SITE PLAN ANALYSIS

Items identified in the Land Development Regulations (LDR) shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.4.6 RM Zone District:

Pursuant to LDR Section 4.4.6; the Medium Density Residential (RM) District provides a residential zoning district with flexible densities having a base of six units per acre and a maximum of twelve units per acre for this property. The actual density of a particular RM development is based upon its ability to achieve certain performance standards which are intended to mitigate the impacts of the increased density and ensure that the project is compatible with surrounding land uses. Further, the Medium Density Residential District provides for implementation of those objectives and policies contained within the Housing Element of the Comprehensive Plan which call for accommodating a variety of housing types.

LDR Section 4.4.6(I) Performance Standards:

Pursuant to LDR Section 4.4.6(I), the following standards shall apply to all site plans approved subsequent to October 7, 1997, and for modifications to existing developments which involve the creation of additional residential units. In order to increase a project density beyond six units per acre, the approving body must make a finding that the development substantially

complies with the performance standards listed in this section. The intent of the standards is to mitigate the impacts of the additional density both internal and external to the site. The extent to which a project meets the standards will determine the number of units per acre that will be permitted. For example, if a project meets or exceeds all of the standards, and is otherwise consistent with applicable standards and policies of the City's Comprehensive Plan and Land Development Regulations, the maximum density is permitted. Projects which only partially achieve these standards will be permitted a correspondingly lower density. The performance standards are as follows:

The density of the overall development is 10.5 units per acre, which requires a finding of substantial compliance with all applicable Performance Standards since it exceeds six units per acre. The following are the specific Performance Standards with an analysis of each:

a) The traffic circulation system is designed to control speed and reduce volumes on the interior and exterior street network. This can be accomplished through the use of traffic calming devices; street networks consisting of loops and short segments; multiple entrances and exists into the development; and similar measures that are intended to minimize through traffic and keep speeds within the development at or below 20 m.p.h.

## <u>Analysis</u>

This performance standard applies to larger developments that include an interior road network. Thus, this performance standard is not applicable.

b) Buildings are placed throughout the development in a manner that reduces the overall massing, and provides a feeling of open space.

#### Analysis

The proposed three story residential development is designed with a 25' side setback on each side which reduces the overall massing and provides a feeling of open space between the subject development and the adjacent properties. There is an additional 5' front setback and interior side setback for the 3rd story which reduces overall massing and provides a level transition from second to third level. The middle unit is staggered 5' to 8' from the end unit to help reduce the building frontage size while providing an individual entrance for each residence. Each unit has a functional outdoor area which includes a ground swimming pool, open space and landscape area. Based on the above, a finding of compliance can be made.

c) Where immediately adjacent to residential zoning districts having a lower density, building setbacks and landscape materials along those adjacent property lines are increased beyond the required minimums in order to provide a meaningful buffer to those lower density areas. Building setbacks are increased by at least 25% of the required minimum; at least one tree per 30 linear feet (or fraction thereof) is provided; trees exceed the required height at time of planting by 25% or more; and a hedge, wall or fence is provided as a visual buffer between the properties.

#### Analysis

The proposed development is surrounded to the north and south by RM (Multiple Family Residential - Medium Density) zoning designated properties; to the west and north by RL (Multiple Family Low Density) and to the east by R-1-A, single family homes, the current land use for surrounding properties varies from 5 to 10 unit condominium developments; the performance standard does not apply to the R-1-A to the east nor the the RL to the north as it is separated by a street and alley. The setback must be increased only on the west side of the north parcel by 25% which would be 31.25' and the proposal is 25'1", thus not meeting this

standard. However, there is a 6' garden proposed along the west side with a lush underground landscaping, a 5' Podocarapus Hedge and twenty eight 16' Areca Palms. Therefore, the performance standard partially meets the required setback.

d) The development offers a varied streetscape and building design. For example, setbacks are staggered and offset, with varying roof heights (for multi-family buildings, the planes of the facades are offset to add interest and distinguish individual units). Building elevations incorporate diversity in window and door shapes and locations; features such as balconies, arches, porches, courtyards; and design elements such as shutters, window mullions, quoins, decorative tiles, etc.

# **Analys**is

There are 5' offsets found at ground level and each townhome has an open air terrace, ground level pool, courtyard, 2 story interior volumes at the front entry's and varied window shapes and designs. Based on the above, the development proposal complies with this requirement.

e) A number of different unit types, sizes and floor plans are available within the development in order to accommodate households of various ages and sizes. Multi-family housing will at a minimum have a mix of one, two and three bedroom units with varying floor plans.

# **Analysis**

Single family housing (attached and detached) will at a minimum offer a mix of three and four bedroom units with varying floor plans. This will provide opportunities that may be attractive to families. The project consists of five units per building. Yet of the 5 total there are three unique unit plans. Each unit plans unique configuration is based on its unique stair and elevator layout. There are three 2 bedroom floor plans and three upper levels with a bedroom, a club room and an open terrace. Due to square footage size of these units it is impractical to have one bedroom or two bedroom units. Therefore, this performance standard is not applicable.

f) The development is designed to preserve and enhance existing natural areas and/or water bodies. Where no such areas exist, new areas which provide open space and native habitat are created and incorporated into the project.

## **Analysis**

Each of the 5 units per building will have lush landscaped private backyards and private swimming pools. In addition, the middle unit will have a landscape private courtyard. Since this standard is for larger projects, it does not apply to smaller in-fill developments. Therefore, this performance standard is not applicable.

g) The project provides a convenient and extensive bicycle/pedestrian network, and access to available transit.

## <u>Analys</u>is

The project is proposing new concrete sidewalks on all three sides of each building; this adds to the bicycle/pedestrian network of the area and enhances the walkability of the neighborhood and the access to the very close A1A. However, this standard pertains to larger developments and not in-fill projects. Therefore, this performance standard is not applicable.

# **Summary**

In conclusion, a finding of compliance can be made to (b) and (d) and partially to (c). With respect to (a), (e), (f), and (g) each of the standards is not applicable to the project. Pursuant to section 4.4.6(I)(2), it is acknowledged that some of the above referenced standards may not be entirely, applicable to small infill type residential projects. For those types of projects, the ultimate density should be based on the attainment of those standards which are applicable, as well as the developments ability to meet or exceed other minimum code requirements.

# LDR Section 4.4.6 (H) (Special Regulations - RM zone district):

Pursuant to LDR Section 4.4.6(H)(3) recreational areas shall be required for all new rental apartment developments, and of owner occupied developments which have homeowner associations that must care for retention areas, private streets, or common areas. New developments must include recreational features that are designed to accommodate activities for children and youth of all age ranges. Tot lots are appropriate for toddlers; features such as a basketball court, volleyball court, and open playfields are appropriate for older children. A pool and clubhouse, unless specifically designed for children, is not considered to meet this requirement. Projects having fewer than twenty-five (25) units may be exempted from this standard where it is determined by the approving body that it is not practical or feasible to comply.

This development will consist of two buildings of five fee-simple townhouse owner-occupied units. The development will not have a homeowners association as there is no retention, private streets or common areas. As there are only five units per building it is not practical to require a common tot lot or recreation area/swimming pool. It is noted that the proposal includes the construction of individual swimming pools for each unit. There is a City owner pocket park located to the north in the La Hacienda neighborhood that could easily be accessible by bicycle and the beach and downtown is also in walking distance. Based upon the above, compliance with this code requirement has been achieved.

### LDR Section 4.3.3(O) (Townhouse Design Standards):

As described below, the development proposal complies with the design standards for townhouse developments outlined in LDR Sections 4.3.3(O)(4)(a) through (d):

a) No more than two townhouses may be constructed without providing a front setback of no less than 4' offset front to rear.

The purpose of this requirement is to prevent a long linear appearance. The front setback for the proposed development is along Palm Trail for both the South and North Parcel. A 10' off-set is provided for the units located along Palm Trail and additional 8' for the middle unit.

b) No townhouse row shall consist of more than 8 units or a length of 200'.

The townhouse row consists of 2 units with one in the middle and is 125' in length, thus meeting this code requirement.

c) Service features, garages, parking areas, and entrances to dwelling units shall, whenever possible, is located on a side of the individual lot having access to the interior street. Walkways should be designed to connect dwelling units with each other and connect each dwelling unit with common open space.

This standard applies to large townhouse developments, and does not apply in this in-fill situation.

d) Not less than 25% of the total area, less water bodies, shall be usable open space, either for recreational or some other suitable purpose, public or private.

The basis for this standard is to assure that larger residential developments provide adequate recreational amenities. With smaller developments, provision of these amenities is not considered financially feasible, and the required contribution of \$500.00 per unit (park impact fee) is considered adequate. It is noted, however, that the South parcel 30.75% of the site will be landscape/open space area and the North parcel 31.17% of the site will be landscape/open space area.

## Platting:

LDR Section 4.3.3(O)(2) and 5.1.3(A) (Plat required) states that each townhouse, or townhouse type development shall be platted. The plat must be recorded prior to issuance of any building permits, and this is attached as a technical item in Appendix "A."

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K), as it pertains to the RM (Multiple Family Residential – Medium Density) zoning district:

## **South Parcel**

			T
<b>Zoning</b>		<u>Required</u>	<u>Proposed</u>
RM (Medium Density – Multiple Family Resi	idential)	(1&2/3*)	(1&2/3*)
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Building Setbacks (min.): - Front (east)		25'/30'*	25'-5"/30'-51/2"
Interior Side		15'/30'*	N/A
Side Street (n	orth)	25'/30'*	25'3"/30'1"
Side Street (s	outh)	25'/30*	25'2"1/2/30-0"
Rear(west)	•	25-0"	25'-1"
Maximum Lot Coverage:		40%	34.11%
Open Space:		25%	30.75%
Building Height (max.):		35'	35'
Minimum Floor Area: 3BR	(Unit A)	1,250 sq. ft.	3,973 sq. ft.
3BR	R (Unit B)	1,250 sq. ft.	4,932 sq. ft.
3BR	R (Unit C)	1,250 sq. ft.	4,051 sq. ft.
Minimum/Maximum Density:**		6-12 units/acre	5 units
			(10.5 units/acre)
Min. Lot Size (sq.ft.)		8,000 sq. ft.	20,744 sq. ft.
Min. Lot Frontage (ft.)		60 ft.	128.55 ft.
Min. Lot Width (ft.)		60 ft.	128.55 ft.
Min. Lot Depth (ft.)		100 ft.	149.92/187.05 ft.

#### **North Parcel**

Zoning	<u>Required</u>	<u>Proposed</u>
RM (Medium Density – Multiple Family Residentia	al) (1&2/3*)	(1&2/3*)
Building Setbacks (min.): - Front (east)	25'/30'*	25'-5"/30'-51/2"
Interior Side	15'/30'*	N/A
Side Street (north)	25'/30'*	25'6"/30'4"
Side Street (south)	25'/30*	25'2"1/2/30-0"
Rear(west)	25-0"	25'-1"
Maximum Lot Coverage:	40%	34.03%
Open Space:	25%	31.17%
Building Height (max.):	35'	35'
Minimum Floor Area: 3BR (Unit.	A) 1,250 sq. ft.	3,973 sq. ft.
3BR (Unit		4,932 sq. ft.
3BR (Unit	C) 1,250 sq. ft.	4,051 sq. ft.
Minimum/Maximum Density:**	6-12 units/acre	5 units
,		(10.5 units/acre)
Min Lot Size (sq.ft.)	8 000 sq. ft	20 7786 sq. ft
, , ,		1
• , ,		
Minimum/Maximum Density:**  Min. Lot Size (sq.ft.)  Min. Lot Frontage (ft.)  Min. Lot Width (ft.)  Min. Lot Depth (ft.)	6-12 units/acre  8,000 sq. ft.  60 ft.  60 ft.  100 ft.	

<sup>\* 1&</sup>amp;2/3 = 1st and 2nd Story/ 3rd Story. There is an additional 5' front setback and 15' interior side setback for the 3rd story.

### **LDR Chapter 4.6 Supplementary District Regulations:**

### **Vehicle Parking:**

Pursuant to LDR Section 4.6.9(C)(2)(c), two or more bedroom dwelling units shall provide two spaces per unit and one-half a space of guest parking. There are a total of five residential units per buildings and fifteen parking spaces are provided. The parking requirement for the site is (10 units x 2 spaces = 20 spaces/guest space 10 units x .05 = 5 spaces. This is an overall requirement of 25 spaces.) The development proposes one standard guest space in front of the two-car garage for each unit. Thus, there is a parking surplus of five spaces for the overall site. Therefore, the parking requirement is met.

## **Pool Setbacks:**

LDR Sections 4.6.15(G)(1), a minimum ten foot (10') setback is required for swimming pools located in the rear, interior or side street setback areas. Swimming pools shall not extend into the front setback area noted in Section 4.3.4(K).

<sup>\*\*</sup>Performance standards are applied to density requests over the min. six (6) units per acre.

The swimming pools are all located in the rear (west side) and side interiors (north and south) the required setback of 10 feet is met.

# **Sight Visibility Triangles:**

Pursuant to LDR Section 4.6.14(B)(1), when an access way intersects a public right-of-way, triangular areas shall provide unobstructed cross-visibility. The area on both sides of a driveway formed by the intersection of a driveway and a street with a length of ten (10) feet along the driveway, a length of 10' along the street right-of-way and the third side being a line connecting the ends of the other two lines. Visibility triangles for the three access driveways along the street rights-of-way have been depicted and comply with this LDR requirement.

Pursuant to LDR Section 4.6.14(B)(2) is the area formed by the intersection of an alley and a street with a length of 10' along the alley right-of-way, a length of 20' along the street right of way, and the third side being a line connecting the ends of the other two lines.

The north parcel intersects an alley way in which only a 10' sight visibility is shown on Palm Trail. As a condition of approval, the plans must indicate a 20' sight visibility on Palm Trail prior to certification.

Pursuant to LDR Section 4.6.14(B)(6), in all other situations, the area of property located at a corner formed by the intersection of two or more public rights of way with two sides of the triangular area being 40' in length along the abutting public right of way lines, measured from their point of intersection, and the third side being a line connecting the ends of the other two lines.

The south parcel is showing the only required 40' x 40' required sight visibility triangle located on the corner of Palm Trail and Witherspoon Lane. The sight visibility triangle located on Palm Trail and McKee Lane and Palm Trail and the north Parcel of Palm Trail and Witherspoon Lane have only proposed 25' x 25' sight visibility triangles. Thus the applicant is seeking a waiver from this section of the code.

### **WAIVER ANALYSIS**

Pursuant to LDR Section 2.4.7(B)(5), prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

The elimination of the 40' x 40' sight visibility triangle located at the corner of the property on the south parcel of (McKee and Palm Trail) and the north parcel of (Witherspoon and Palm Trail) for 912 Palm Trail will not negatively affect traffic flow, nor present a danger to vehicular traffic or pedestrians. The property is zoned RM and is adjacent to R-1-A and is not highly traveled. Granting the requested waiver will not have an adverse effect on the neighboring area, diminish the provision of public facilities, or create and unsafe situation. This waiver would also be

supported under similar circumstances and therefore will not result in the granting of a special privilege. Subsequently, a positive finding with respect to LDR Section 2.4.7(B)(5) can be made.

## Right-of-Way:

Pursuant to LDR Section 5.3.1(D)(2), the required right-of-way width for a local street without curb and gutter is 60' and alleys are 20'. The right-of-way width for Palm Trail, McKee Lane and Witherspoon Lane is 50'. At its meeting of February 9, 2017, the Development Management Service Group (DSMG) approved a reduction of the required right-of-way from 60' to the existing 50'. In addition, August 11, 2016, DSMG granted a 2.5' reduction for the alley way on the northern portion of this project. Therefore no additional dedication of right-of-way is required.

### Sidewalk:

Pursuant to LDR Section 6.1.3(B)(1), a 5' to 8'-wide sidewalk is required along all sides of the street for medium and high density residential Areas. As depicted on the plans, the applicant has opted to build a 5' wide sidewalk.

# **Undergrounding of Utilities:**

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. All utilities lines that will serve the subject development shall be placed underground. A condition of approval is attached that a note be added to the plan prior to site plan certification that all service utilities be placed underground.

### LANDSCAPE ANALYSIS

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C). A landscape plan has been submitted, evaluated and recommended for approval by the City Senior Landscape Planner.

The proposed landscaping consists of a mixture of shrubs, trees, and groundcover. The landscaping being provided is more than adequate pursuant to LDR section 4.6.16. There will a minimal removal of trees and the relocation of some sabal and coconut palms. There are proposed trees outside of the property line which will require a landscape maintenance agreement prior to certification of the plans.

### **ARCHITECTURAL ELEVATIONS**

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1) The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

- 2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal consists of the construction of two three-story townhome buildings with two car garages. There are five units on two separate parcels. The building is a Modern Architectural style with cantilevered balconies, horizontal aluminum bronze finished railings, vertical windows with clear glass and bronze frames.

The (vertical accents) will be Resysta Veneer and the columns are a Purtain Gray. The walls are a smooth stucco in Extra White. The design incorporates parapet walls with flat roofs and upper terraces with the middle units containing a courtyard.

The two car garages are Resysta Veneer and face the right-of-way with a 20' x 8' pool in the required 10' setback enclosed with a 6' garden wall and 3' x 6' aluminum gate in bronze finish; each wall contains a decorative horizontal bronze finish railing.

The proposed architectural elevations present design elements that will contribute to the image of the residential area by introducing a development that will maintain the architectural harmony, compatibility and quality of the neighborhood. It will not cause the nature of the local environment or evolving environment to materially depreciate in appearance and value. Based on the above, positive findings with respect to LDR Section 4.6.18(E) can be made.

### REQUIRED FINDINGS

Pursuant to LDR Section 2.4.5(F)(1)(a), Class V Site Plan Modification, a new application for development of vacant land, or for modification of a developed property when no valid site plan of record exists and which requires full review of Performance Standards found in Section 3.1.1.

Pursuant to **LDR Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

**Section 3.1.1 (A), Future Land Use Map:** The subject property has a Future Land Use Map designation of MD (Medium Density Residential), and is zoned RM (Medium Density Residential). Pursuant to LDR Section 4.4.6(B)(3), within the RM zoning district, multiple family structures up to 12 units per acre are allowed as a permitted use, subject to compliance with the performance standards of LDR Section 4.4.6(I). Since compliance with the Performance Standards has been provided, the proposed density increase to 10.5 units per acre is permitted and appropriate.

**Section 3.1.1 (B), Concurrency:** As described in Appendix A, a positive finding of concurrency can be made as it relates to water, streets and traffic, sewer, drainage, parks and recreation, open space, and solid waste.

**Section 3.1.1 (C), Consistency (Standards for Site Plan Actions):** As described in Appendix B, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

**Section 3.1.1 (D), Compliance with the Land Development Regulations:** As described under the Site Plan Analysis Section of this report, a positive finding of compliance with the Land Development Regulations can be made, subject to compliance.

**Section 2.4.5 (F)(5), Compatibility (Site Plan Findings):** The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Compatibility is not a concern, as similar uses exist on surrounding properties. This multiple family development will be compatible and harmonious with the adjacent and nearby properties and should enhance property values in the area.

**Comprehensive Plan Policies:** A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable policies and objectives are noted:

**Future Land Use Element Objective A-1:** Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed two three-story townhome building development is appropriate and consistent with the surrounding area. There are existing multi-family residential developments on the adjacent properties to the north, south and west. Thus, the proposed 912 – 914 Palm Trail development can be deemed a compatible and appropriate use for this site.

**Housing Element Policy A-12.3:** In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

There are existing multi-family residential developments on the adjacent properties to the north, south and west. Nuisances such as noise, odors, and dust will not be a factor to the adjacent residential uses. The traffic volumes will be minimal and can be accommodated by the surrounding road network. Thus, the proposal will not negatively impact the stability of the adjacent residential areas.

**Housing Element Objective B-2:** Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in this Element. Policies, which will implement this objective, include:

**Housing Element Policy B-2.2:** The development of new adult oriented communities within the City is discouraged. New housing developments shall be designed to accommodate households having a range of ages, especially families with children, and shall be required to provide 3 and

4 bedroom units and activity areas for children ranging from toddlers to teens. This requirement may be waived or modified for residential development located in the downtown area, and for infill projects having fewer than 25 units.

The project will contain ten 3-bedroom units. Thus, the proposed development complies with this policy.

# **NOTICES**

The development proposal is not located in an area which requires review by the Community Redevelopment Agency (CRA), the Downtown Development Authority (DDA), Pineapple Grove Main Street (PGMS) or West Atlantic Redevelopment Coalition (WARC).

Courtesy notices have been sent to the following homeowner's and/or civic associations:

- La Hacienda
- Palm Trail
- Seacrest Neighborhood
- Beach Property Owners, Association, Inc.
- Del Ida Park Association

Letters of objection or support, if any, will be presented at the SPRAB meeting.

### ASSESSMENT AND CONCLUSION

The property consists of 0.953 acres with 13 units and it is currently zoned (RM) Multiple Family. The existing structures were built in 1960. The development proposal consists of the demolition of the two existing buildings and the construction of two fee simple townhome units on separately platted lots. Each individual unit will be a three bedroom town home (the underair square footages for Unit "A" is 3,973 sq. ft., Unit "B" is 4,932 sq. ft. and Unit "C" is 4,052 sq. ft.). All units will accommodate a two-car garage and swimming pool with a garden wall. The Modern Architectural style of the multi-family building will be aesthetically pleasing, a visual asset and is compatible with existing multi-family developments on adjacent properties to the north, south, and west. The development substantially meets the performance standards in LDR Section 4.4.6. The applicant is seeking a waiver to LDR Section 4.6.14(B)(1); Sight Visibility. Based upon this report including all findings, the proposed development can be found in compliance with applicable requirements in the Land Development Regulations as analyzed in this report with the recommendation of the waiver request to the City Commission.

## **ALTERNATIVE ACTIONS**

- A. Continue with direction.
- B. Move approval of the Class V Site Plan Modification, Landscape Plan, and Architectural Elevations and waiver request for sight visibility for 912 914 Palm Trail, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.7(F)(5), LDR Section 2.4.7(B)(5), Chapter 3, Section 4.6.16, and 4.6.18(E).

C. Move denial of the Class V Site Plan Modification, Landscape Plan and Architectural Elevations and waiver request for sight visibility for **912 – 914 Palm Trail**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(F)(5), LDR Section 2.4.7(B)(5), Chapter 3, Section 4.6.16, and 4.6.18(E).

### STAFF RECOMMENDATION

By Separate Motions:

## **Waiver Request:**

Move to recommend approval to the City Commission of the waiver to LDR Section 4.6.14(B)(1) to allow the sight visibility triangles located on Palm Trail and McKee Lane and Palm Trail and the north Parcel of Palm Trail and Witherspoon Lane to exist at 25' x 25', by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.7(B)(5) of the Land Development Regulations.

#### Site Plan

Move approval of the Class V Site Plan Modification for **912 – 914 Palm Trail**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations, subject to the following conditions:

- 1. Pursuant to LDR Section 4.3.3(O)(2) and 5.1.3(A), a plat and/or replat is required. Provide the separate application(s) and processing fee(s) required per LDR Section 2.4.3(K)(1)(I).
- 2. That a park impact fee of \$500.00 per unit (\$5,000 total) be paid prior to the issuance of a building permit.
- 3. Sight Visibility Waiver is approved by the City Commission.
- 4. That a note be added to the plan prior to site plan certification that all service utilities be placed underground.

### Landscape Plan

Move approval of the Landscape Plan for **912 – 914 Palm Trail**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16 of the Land Development Regulations, subject to the condition that a landscape maintenance plan be executed.

## **Architectural Elevations**

Move approval of the Architectural Elevations for **912 – 914 Palm Trail**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.18(E).

Report Prepared by: Jennifer Buce, Assistant Planner

# APPENDIX A CONCURRENCY FINDINGS

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

<u>Water and Sewer</u>: Water service can be provided to the site through an existing 6" water main along Palm Trail, McKee lane and Witherspoon Lane. There are also several existing 8" sewer lines throughout the neighborhood which can service the new residential units. The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted level of service standard at the City's build-out population based on the current FLUM.

<u>Streets and Traffic</u>: A traffic statement through Palm Beach County Traffic Division was provided on November 29, 20-16 it has been determined the proposal development does not have significant peak hour traffic impact on the roadway network and therefore meets the Traffic Performance Standards of Palm Beach County.

<u>Parks and Recreation Facilities:</u> Pursuant to Land Development Regulations (LDR) Section 5.3.2, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit for each unit. Based upon the proposed units, a park impact fee of \$5,000 will be required.

<u>Solid Waste:</u> The subject property will consist of 10 new units. Based on a waste generation rate of 0.52 tons per year for apartment and townhome units, the new units will generate an additional 73.63 tons of solid waste per year will result in a property total of 5.2 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2048.

<u>Schools:</u> The Palm Beach County School District has approved the development proposal with respect to compliance with the adopted Level of Service for School Concurrency. Written verification was received on January 31, 2017.

#### Drainage:

Preliminary engineering and drainage plans have been submitted with the proposed development. Drainage will be accommodated via an exfiltration trench system. Therefore, there appears to be no problems anticipated in accommodating on-site drainage. Based upon the above, positive findings with respect to this level of service standard can be made.

# APPENDIX B STANDARDS FOR SITE PLAN ACTIONS

Α.	Building	design,	landscaping,	and	lighting	(glare)	shall	be	such	that	they	do	not	create
	unwarran	ted distra	actions or blo	ckag	e of visib	ility as i	it perta	ins	to tra	ffic ci	rculat	ion.		

ot applicable			
Meets intent of stand	standard	Х	X
Does not meet inten	ntent		

B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

Not applicable		
Meets intent of star	dard	Х
Does not meet inter	t	

C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

Not applicable	Х	
Meets intent of stand	dard	
Does not meet intent	t	

D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.

Not applicable	X		_
Meets intent of star	ndard		
Does not meet inte	nt		

E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

Not applicable	Χ	_
Meets intent of standard	ard	
Does not meet intent		

F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

Not applicable	<u>.                                    </u>
Meets intent of standard	Х
Does not meet intent	

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

Not applicable		
Meets intent of standard	Х	X
Does not meet intent	•	

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

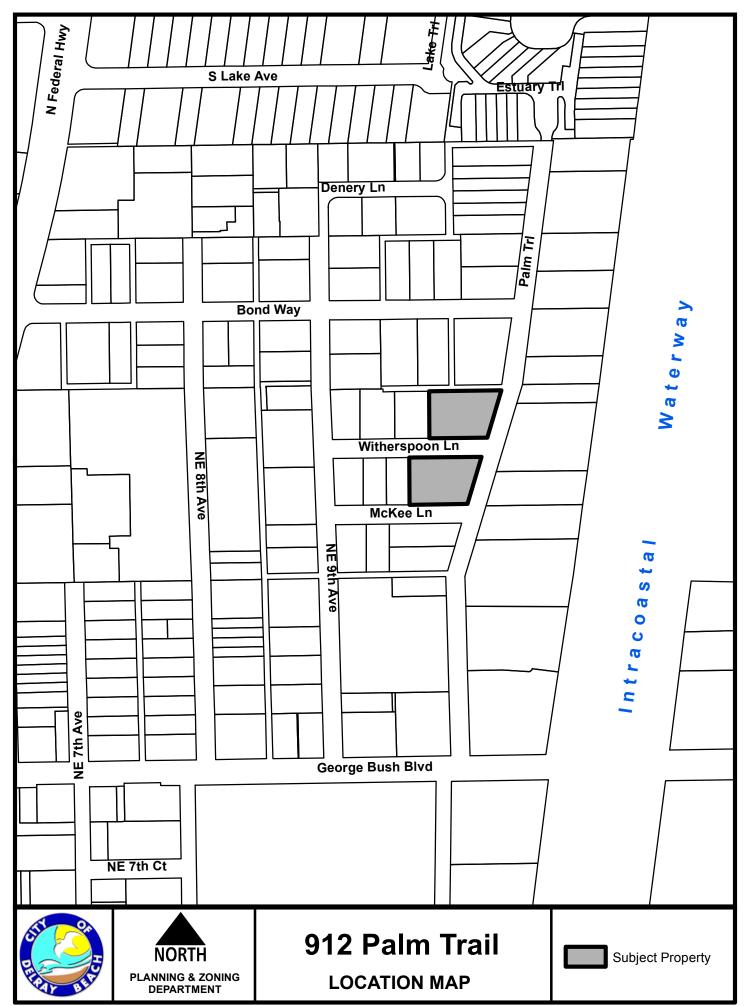
Not applicable	
Meets intent of standard	Х
Does not meet intent	

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

Not applicable	
Meets intent of standard	Х
Does not meet intent	

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable	X								
Meets intent of stand	dard								
Does not meet inten	ıt								



# Richard Jones ARCHITECTURE



10 SE 1st AVE DELRAY BEACH, FL 33444 | 5612749186 | www.rjarchitecture.com

December 21st, 2016

Planning and Zoning City of Delray Beach Attn: Jennifer Buce

Re:

Waiver from the 40' Sight Visibility Triangle Project: 912 Palm Trail Townhomes

Dear Jennifer:

This letter is a waiver request pursuant to Section 2.4.7(B)(5) of the Delray Beach Land Development Regulations ("LDRs") involving the granting of relief from LDR Section 4.6.14(B)(6) to allow for a reduction in the required 40' sight visibility triangle from 40'x40' to 25'x25'.

To support a waiver, LDR Section 2.4.7(B)(5) requires that the governing body make a finding that granting a waiver:

- (A) Shall not adversely affect the neighboring area;
- (B) Shall not significantly diminish the provision of public facilities;
- (C) Shall not create an unsafe situation; and,
- (D) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

This project meets or exceeds the requirements of LDR Section 2.4.7(B)(5) for this waiver request. By granting this waiver, a superior product will be achieved.

The waiver will not adversely affect the neighboring area, significantly diminish the provision of public facilities, create an unsafe situation and/or result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. Thus, this waiver request should be approved.

The location of this project is adjacent to a Single-Family Zone where sight triangle requirements are 25'-0". In fact, one of the corners we are requesting the reduction of the Sight Visibility Triangle is at the intersection of Palm Trail and Mc Keen Lane which has currently on corner with a 25' Sight Visibility Triangle.

The project contains only 5 (each property) fee simple townhouse units with garages equally dispersed on (3) ROW's so there will be very little impact with additional vehicular traffic. The structures being proposed within the requires 40' sight triangle are garden walls to enclose the pool area with the top portion being horizontal railing, which also makes them more transparent.

In addition, it is important to note that if the sight triangles were measured from this defined edge of road instead of the property line they would be  $\pm$ -58.

Consequently, a positive finding with respect to LDR Section 2.4.7(B)(5) Waiver Findings, can be made. Therefore, for the reasons enumerated above, we respectfully request that this waiver be approved.

If you should have any additional questions or comments, please contact me at (561) 274-9186.

Richard Jones Architecture Inc. Richard Brummer Project Manager



# PALM TRAIL TOWNHOMES

**LOCATION MAP** 

**■** ■ ■ SITE LOCATION

DELRAY BEACH, FLORIDA

RICHARD JONES

0 S.E. FIRST AVENUE | SUITE 10 7 561.274.9186 | F 561.274.91 AA26001617 | IB26001056

WWW.RJARCHITECTURE.CO

FLORIDA LICENSUR

DRAWN BY: PLAN REVIEW

**REVISIONS:** BLD. DEPT.  $\frac{1}{2}$  COMMENTS

# **DRAWING INDEX** CVR **COVER SHEET** S-1 SURVEY **ARCHITECTURAL COVER SHEET** CVR PROPOSED SITE PLAN SP-1 SP-2 SITE PLAN SOUTH PARCEL SITE PLAN NORTH PARCEL BUILDING GROUND & SECOND FLOOR PLAN A-1 A-2 **BUILDING THIRD AND ROOF PLAN** A-3 NORTH ELEVATION **WEST ELEVATION** A-4 **SOUTH ELEVATION** A-5 **EAST ELEVATION** A-6 **BUILDING SECTION** A-7 TH-A FLOOR PLANS **A-8** A-9 TH-B FLOOR PLANS TH-C FLOOR PLANS A-10 WINDOW & DOOR SCHEDULE CIVIL 1 OF 8 PAVING AND DRAINAGE PLAN PAVING AND DRAINAGE PLAN SOUTH PARCEL 2 OF 8 3 OF 8 PAVING AND DRAINAGE PLAN NORTH PARCEL PAVING AND DRAINAGE DETAILS 4 OF 8 5 OF 8 PAVING AND DRAINAGE DETAILS **PAVING AND DRAINAGE NOTES** 6 OF 8 WATER AND WASTEWATER DETAILS 7 OF 8 POLLUTION PREVENTION PLAN 8 OF 8 COMPOSITE UTILITY PLAN 1 OF 1 LANDSCAPE OVERALL PLANTING PLAN L-1 L-2 EXISTING TREE PLAN NORTH PARCEL EXISTING TREE PLAN SOUTH PARCEL L-3 PLANTING PLAN NORTH PARCEL L-4 L-5 PLANTING PLAN SOUTH PARCEL L-6 SPECIFICATIONS, DETAILS, NOTES

# **CODE RESEARCH**

PROPOSED PROJECT: 3 STORY TOWNHOME BUILDING WITH (2) CAR GARAGE

FBC 5th EDITION (2014), FFPC 5th EDITION (2014), NFPA 1 FC 2012 EDITION, GOVERNING CODE:

NFPA 101 LSC 2012 EDITION

**BUILDING HEIGHT:** 35'-0" FROM CROWN OF ROAD

TYPE OF TYPE VB SPRINKLERED FOR 3-STORY TOWNHOMES CONSTRUCTION:

BUILDING DESIGNED: ENCLOSED

170 MPH ULTIMATE WIND SPEED WIND SPEED:

**EXPOSURE:** 

**ZONING DISTRICT RM-MEDIUM HIGH DENSITY** 

**CLIENT** 

SHOVEL READY PROJECTS, LLC

630 NORTH 3rd STREET

PHILADELPHIA, PA 19123

CLASSIFICATION:

ORDINARY HAZARD

PROVIDED: REQUIRED SETBACKS: FRONT SETBACK = 25'-0"/30'-0" FRONT SETBACK = 25'-4"/30'-0"

REAR SETBACK REAR SETBACK = 25'- 1" SIDE INTERIOR SETBACK = 15'-0"/30'-0" SIDE INTERIOR = N/ASIDE STREET = 25'-0"/30'-0" SIDE STREET = 25'-2"/ 30'-1"

# **DESIGN PARAMETERS**

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) SINGLE FAMILY						
EXPOSURE CONDITION C X SEC. R301.2.1.4.3 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE						
MEAN ROOF HEIGHT 35'-0" (From Crown of Road) X ASCE 7-10 CHAPTER 26						
BUILDING HEIGHT						
BUILDING DESIGNED AS PARTIALLY ENCLOSED X ENCLOSED OPEN TESTED (WIND TUNNEL)						
IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0						
BASIC WIND VELOCITY PRESSURES : 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE:						
5th ADDITION (2014) FLORIDA RESIDENTIAL CODE- ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE 40 PSF						
ASCE 7-10 CH 26- WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF						
NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.						
ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF						
SOIL BEARING CAPACITY 2500 PSF						
REVIEWED FOR SHEAR WALL REQUIREMENTS X YES NO (IF NO, INDICATE REASON)						

# **ARCHITECT**

RICHARD JONES ARCHITECTURE 10 S.E. FIRST AVENUE, SUITE 102 DELRAY BEACH, FL. 33444 TELEPHONE: 561-274-9186

# STRUCTURAL

CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.

298 NE 2ND AVENUE

DELRAY BEACH, FL 33444

TELEPHONE: 561-274-6500

FAX: 561-274-8558

**ENGINEERING PLUS** 19528 SEDGEFIELD TERRACE BOCA RATON, FL 33498 CELL: 561-756 4106 FAX: 561-479 3743

DAVE BODKER LANDSCAPE ARCHITECTURE 601 N. CONGRESS AVE SUITE 105-A DELRAY BEACH, FL 33445 CELL: 561-276-6311

LAND SURVEYOR

O'BRIEN, SUITER & O'BRIEN

955 N.W. 17TH AVE. SUITE K-1

DELRAY BEACH, FL 33445

TELEPHONE: 561-276-4501

FAX: 561-276-2390

# LANDSCAPE

FAX: 561-276-3869

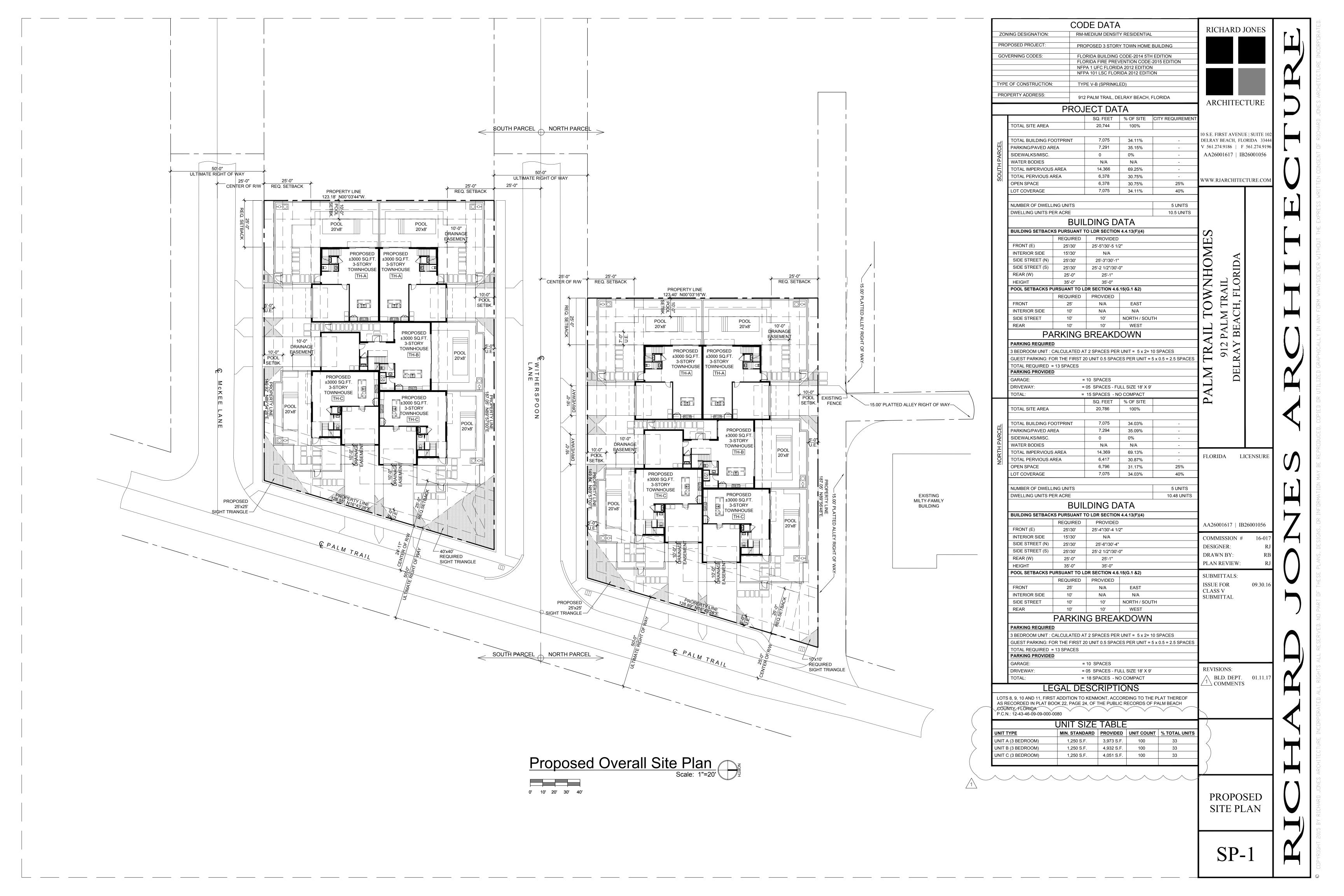
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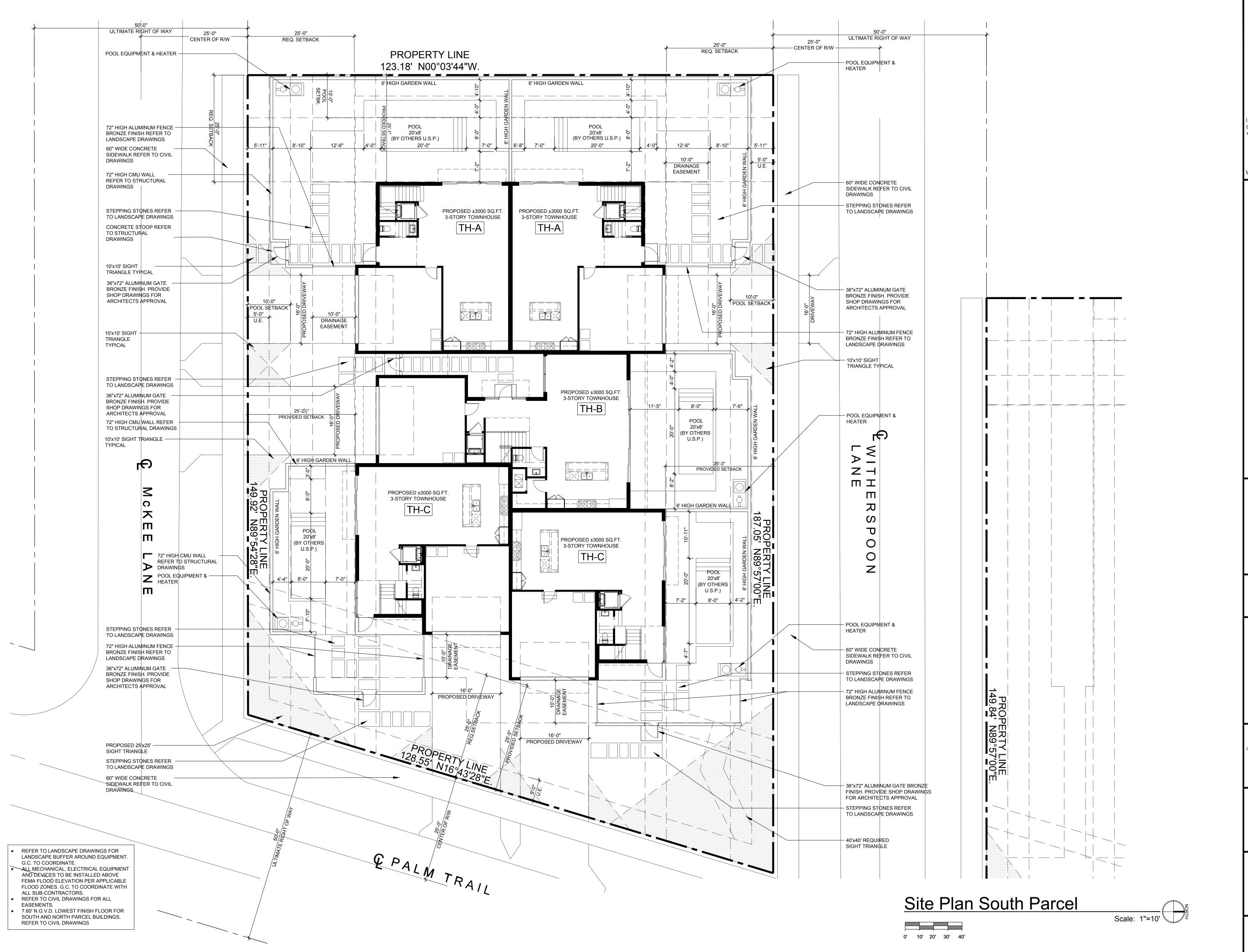
COMMISSION # DESIGNER:

SUBMITTALS: ISSUE FOR CLASS V SUBMITTAL

COVER SHEET

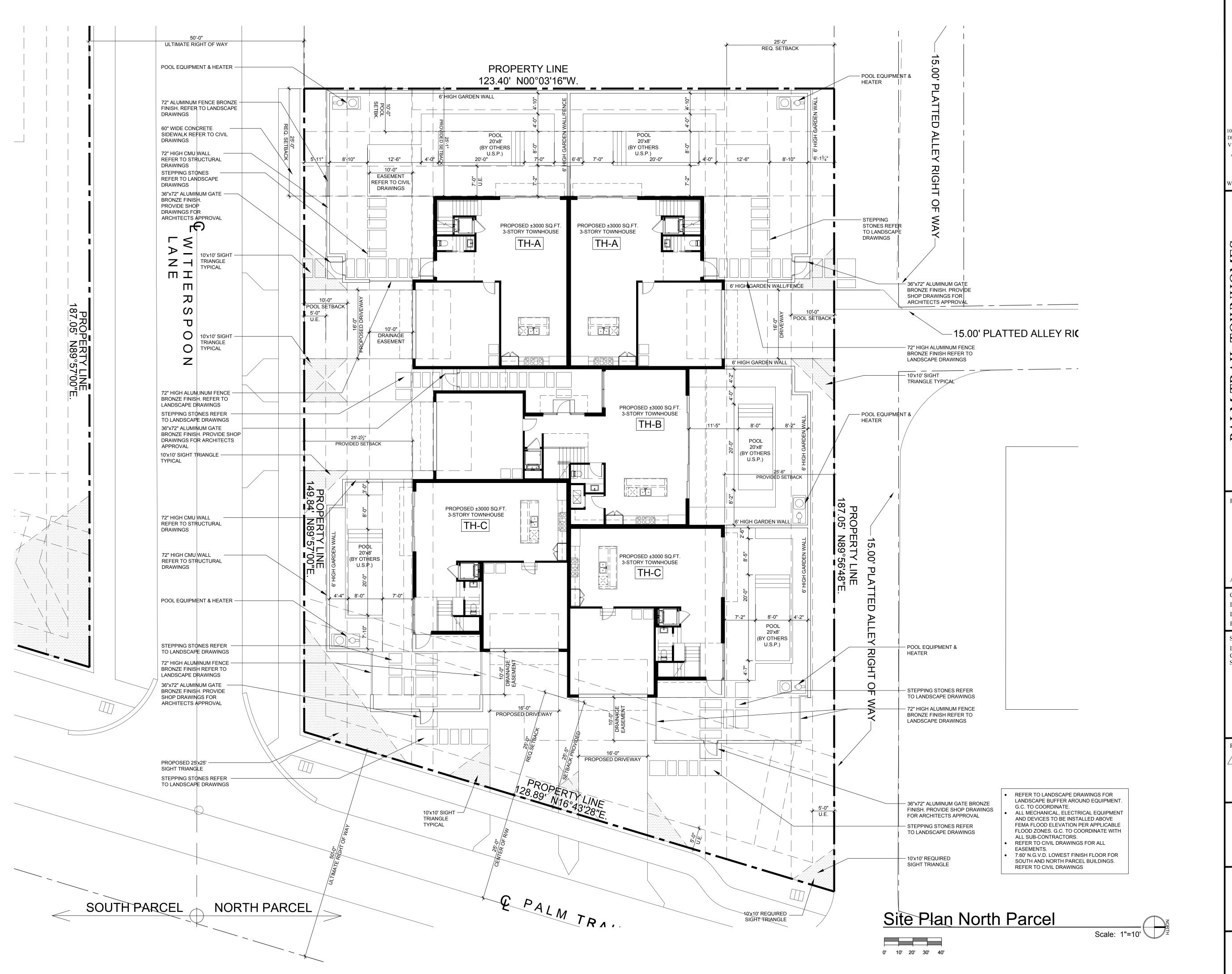
**CVR** 





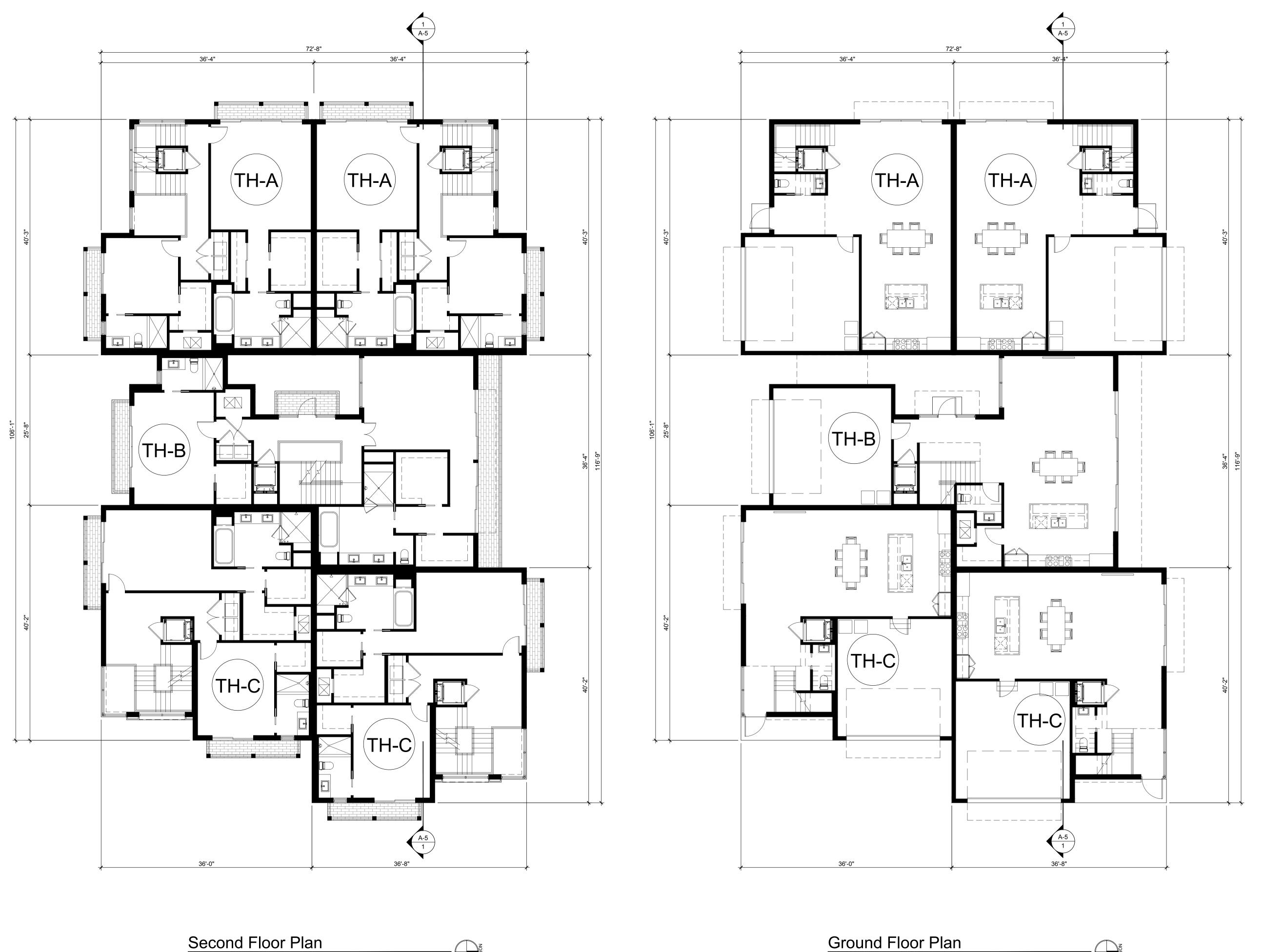
RICHARD JONES ARCHITECTURE 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.CO TOWNHOMES
IM TRAIL
ACH, FLORIDA TRAIL FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: 09.30.16 ISSUE FOR CLASS V SUBMITTAL **REVISIONS:**  $\frac{1}{2}$  COMMENTS SITE PLAN SOUTH **PARCEL** 

SP-2



RICHARD JONES **ARCHITECTURE** 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM TOWNHOMES IM TRAIL ACH, FLORIDA TRAIL FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: 09.30.16 ISSUE FOR CLASS V SUBMITTAL **REVISIONS:** COMMENTS SITE PLAN NORTH **PARCEL** 

SP-3

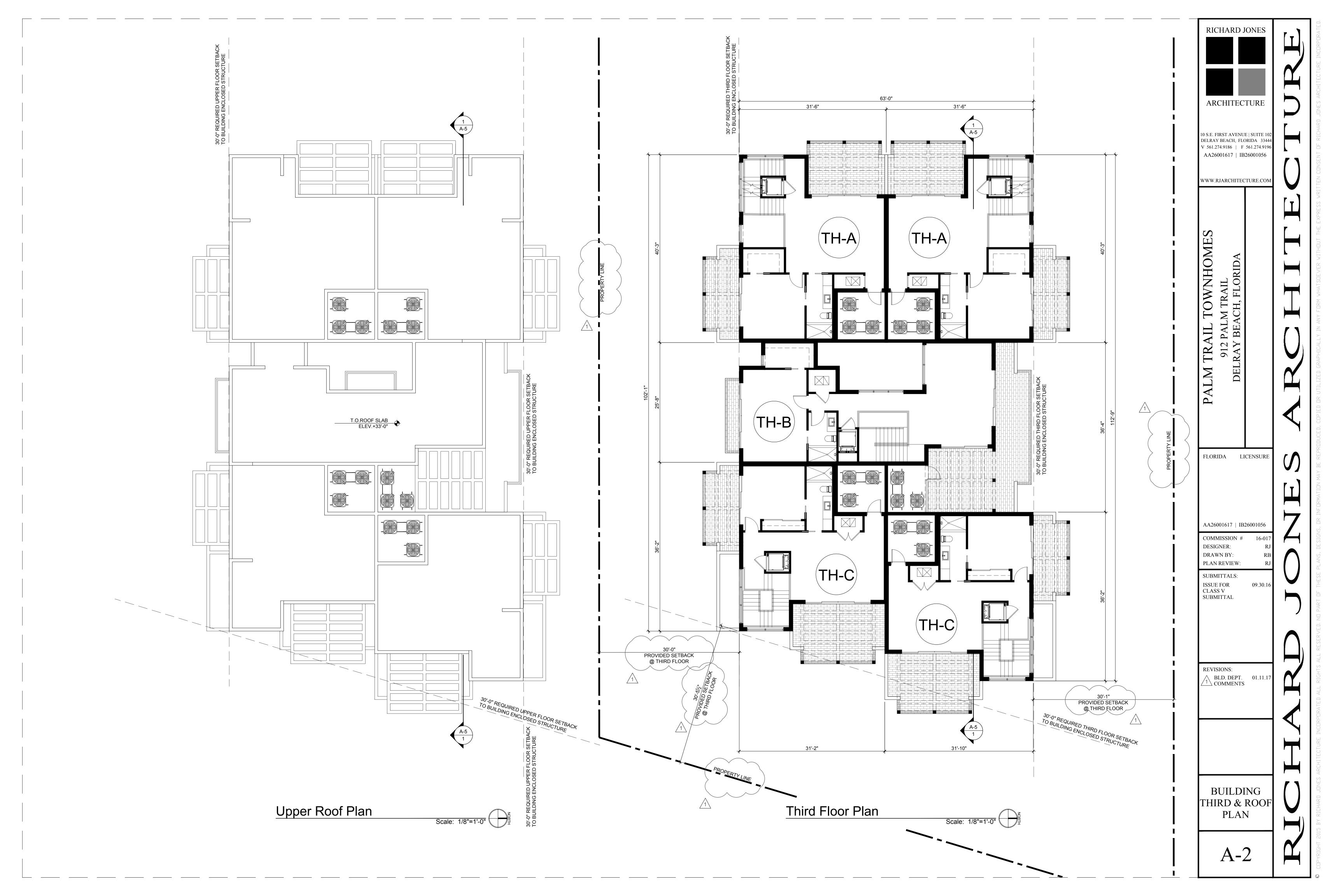


RICHARD JONES ARCHITECTURE 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: ISSUE FOR CLASS V SUBMITTAL REVISIONS: BLD. DEPT. 01.11.1 COMMENTS BUILDING GROUND &

A-1

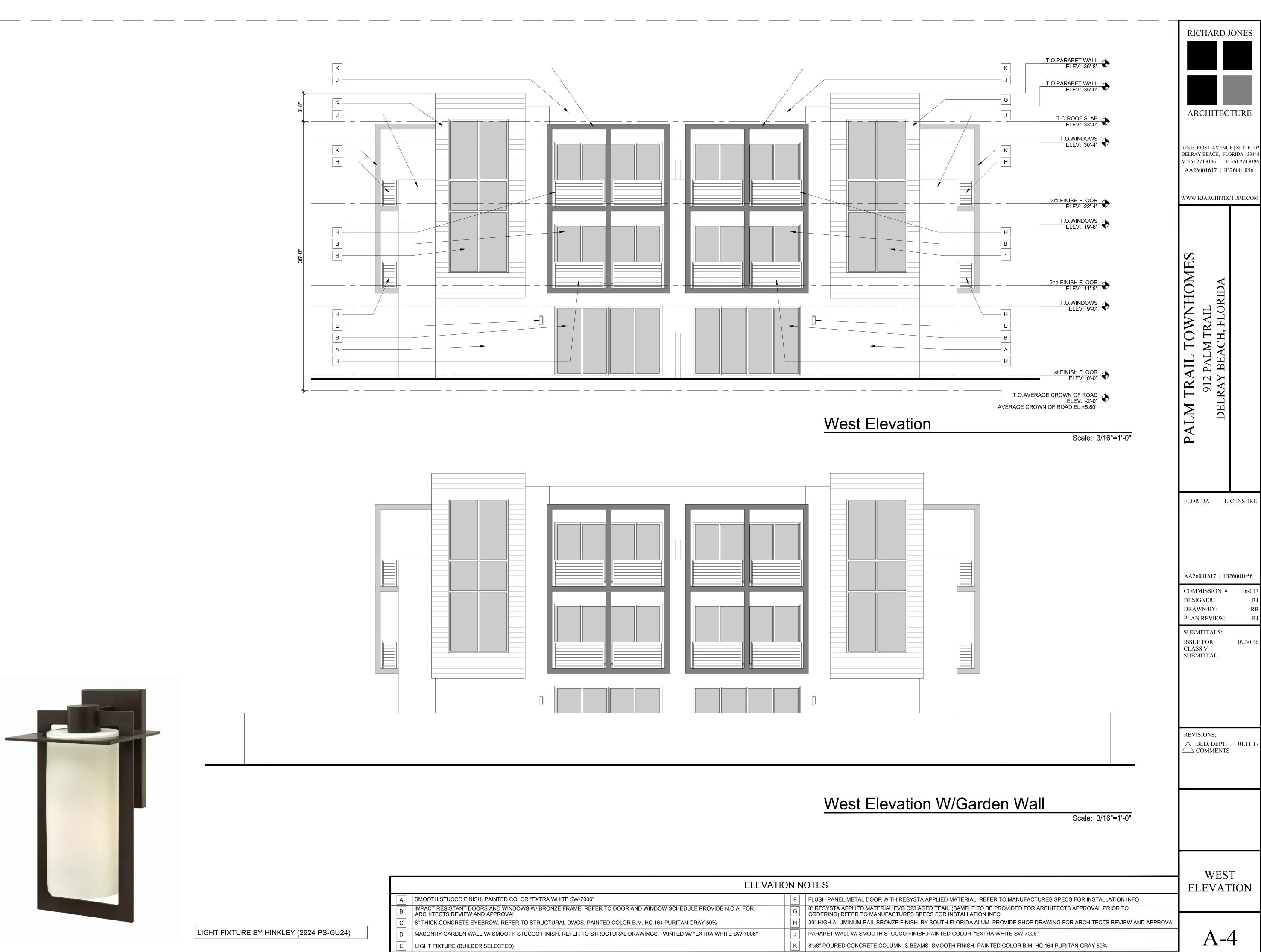
**SECOND** 

FLOOR PLAN





ARCHITECTURE 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM FLORIDA LICENSURE AA26001617 | IB26001056 





MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH. REFER TO STRUCTURAL DRAWINGS. PAINTED W/ "EXTRA WHITE SW-7006"

E | LIGHT FIXTURE (BUILDER SELECTED)

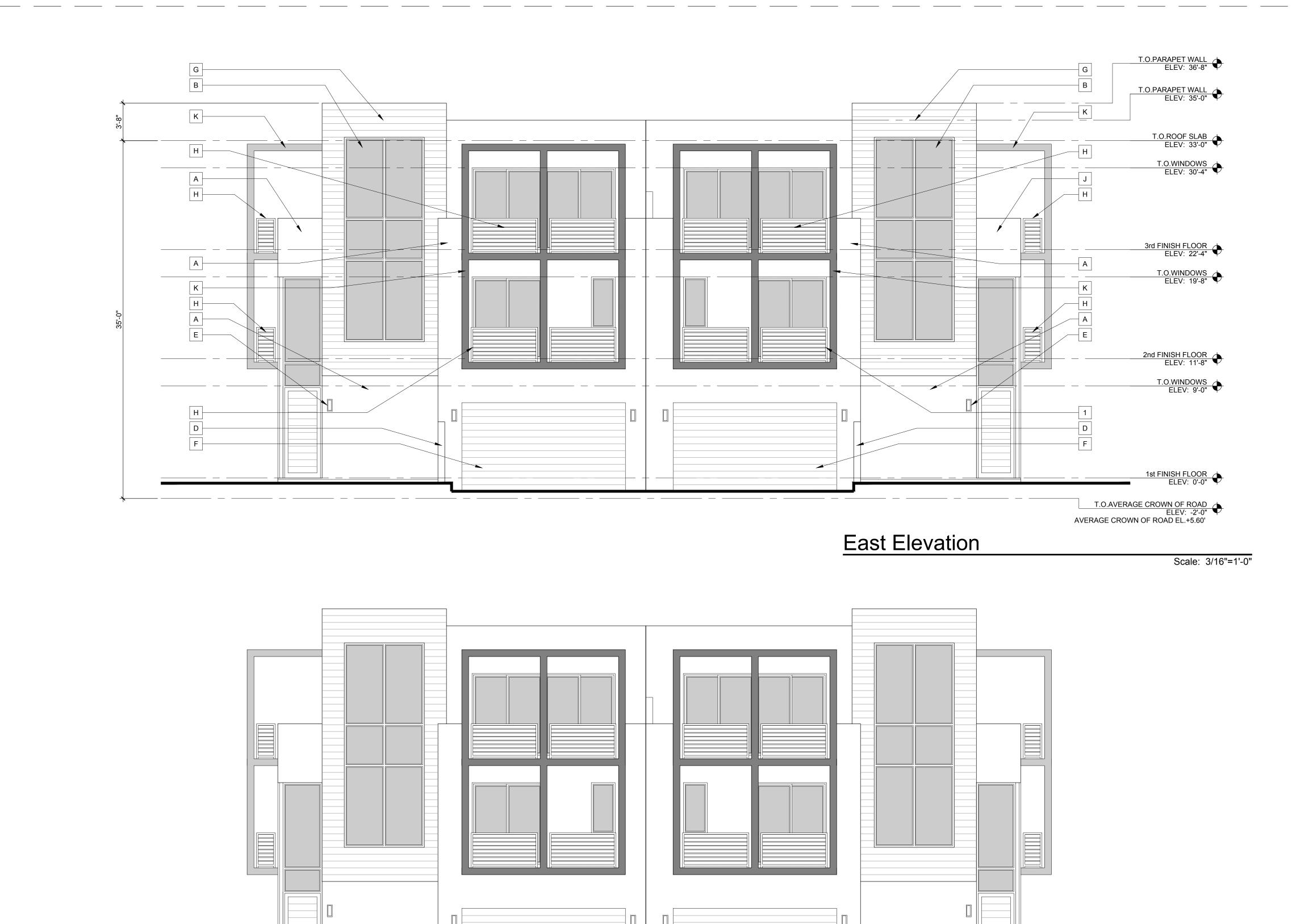
ARCHITECTURE 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM 1 TRAIL TOWNHOMES 912 PALM TRAIL 3LRAY BEACH, FLORIDA FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # 16-01 DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: **ISSUE FOR** CLASS V SUBMITTAL **REVISIONS:** COMMENTS

> SOUTH **ELEVATION**

> > A-5

PARAPET WALL W/ SMOOTH STUCCO FINISH.PAINTED COLOR "EXTRA WHITE SW-7006"

K 8"x8" POURED CONCRETE COLUMN & BEAMS SMOOTH FINISH. PAINTED COLOR B.M. HC 164 PURITAN GRAY 50%





East Elevation W/Garden Wall

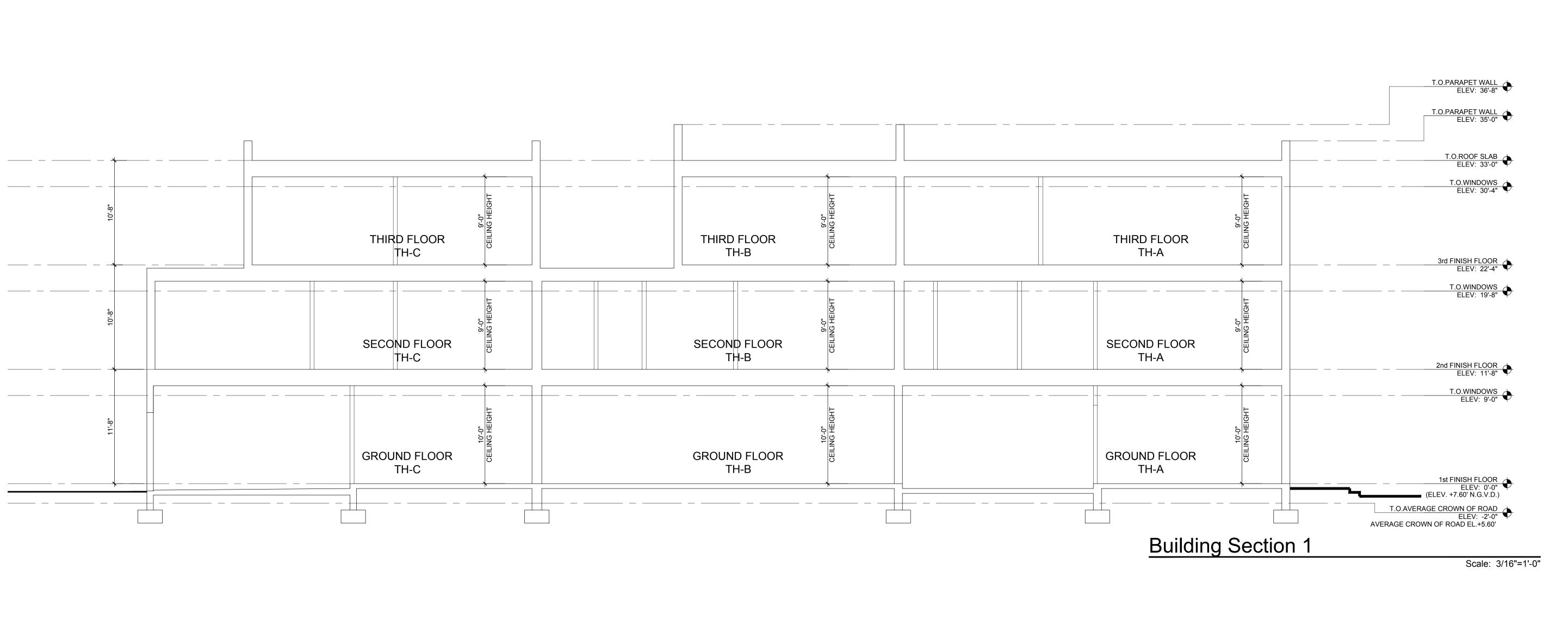
Scale: 3/16"=1'-0"

	ELEVATION NOTES						
Α	SMOOTH STUCCO FINISH. PAINTED COLOR "EXTRA WHITE SW-7006"	F	FLUSH PANEL METAL DOOR WITH RESYSTA APPLIED MATERIAL. REFER TO MANUFACTURES SPECS FOR INSTALLATION INFO				
В	IMPACT RESISTANT DOORS AND WINDOWS W/ BRONZE FRAME. REFER TO DOOR AND WINDOW SCHEDULE PROVIDE N.O.A. FOR ARCHITECTS REVIEW AND APPROVAL	G	8" RESYSTA APPLIED MATERIAL FVG C23 AGED TEAK. (SAMPLE TO BE PROVIDED FOR ARCHITECTS APPROVAL PRIOR TO ORDERING) REFER TO MANUFACTURES SPECS FOR INSTALLATION INFO	<u> </u>			
С	8" THICK CONCRETE EYEBROW. REFER TO STRUCTURAL DWGS. PAINTED COLOR B.M. HC 164 PURITAN GRAY 50%	Н	39" HIGH ALUMINUM RAIL BRONZE FINISH. BY SOUTH FLORIDA ALUM. PROVIDE SHOP DRAWING FOR ARCHITECTS REVIEW AND APPROVAL				
D	MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH. REFER TO STRUCTURAL DRAWINGS. PAINTED W/ "EXTRA WHITE SW-7006"	J	PARAPET WALL W/ SMOOTH STUCCO FINISH.PAINTED COLOR "EXTRA WHITE SW-7006"				
Е	LIGHT FIXTURE (BUILDER SELECTED)	K	8"x8" POURED CONCRETE COLUMN & BEAMS SMOOTH FINISH. PAINTED COLOR B.M. HC 164 PURITAN GRAY 50%				

RICHARD JONES ARCHITECTURE 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM 1 TRAIL TOWNHOMES
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**EAST ELEVATION** 

LIGHT FIXTURE BY HINKLEY (2924 PS-GU24)



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912 PALM TRAIL
3LRAY BEACH, FLORIDA FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: ISSUE FOR CLASS V SUBMITTAL **REVISIONS:** 1 COMMENTS

BUILDING

**SECTION** 

RICHARD JONES

ELEVATION NOTES

A SMOOTH STUCCO FINISH. PAINTED COLOR "EXTRA WHITE SW-7006"

B IMPACT RESISTANT DOORS AND WINDOWS W/ BRONZE FRAME. REFER TO DOOR AND WINDOW SCHEDULE PROVIDE N.O.A. FOR ARCHITECTS REVIEW AND APPROVAL

C 8" THICK CONCRETE EYEBROW. REFER TO STRUCTURAL DWGS. PAINTED COLOR B.M. HC 164 PURITAN GRAY 50%

D MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH. REFER TO STRUCTURAL DRAWINGS. PAINTED W/ "EXTRA WHITE SW-7006"

E LIGHT FIXTURE (BUILDER SELECTED)

E LIGHT FIXTURE (BUILDER SELECTED)

F FLUSH PANEL METAL DOOR WITH RESYSTA APPLIED MATERIAL. REFER TO MANUFACTURES SPECS FOR INSTALLATION INFO

G 8" RESYSTA APPLIED MATERIAL FVG C23 AGED TEAK. (SAMPLE TO BE PROVIDED FOR ARCHITECTS APPROVAL PRIOR TO ORDERING) REFER TO MANUFACTURES SPECS FOR INSTALLATION INFO

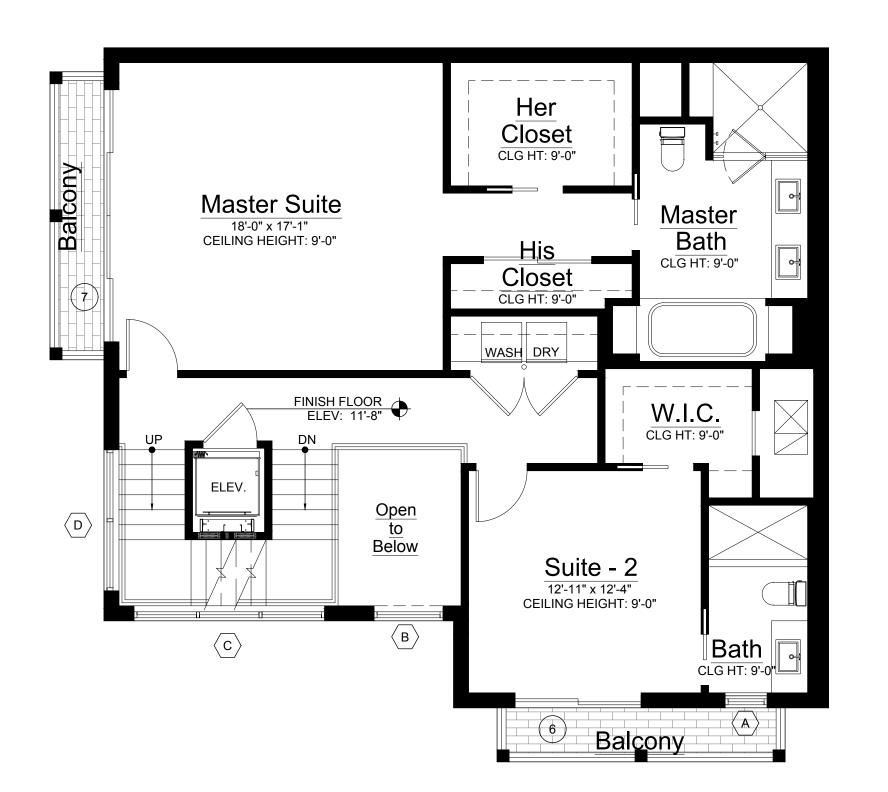
U 8" RESYSTA APPLIED MATERIAL FVG C23 AGED TEAK. (SAMPLE TO BE PROVIDED FOR ARCHITECTS APPROVAL PRIOR TO ORDERING) REFER TO MANUFACTURES SPECS FOR INSTALLATION INFO

U 9 PARAPET WALL W/ SMOOTH FLORIDA ALUM. PROVIDE SHOP DRAWING FOR ARCHITECTS REVIEW AND APPROVAL

D PARAPET WALL W/ SMOOTH STUCCO FINISH. PAINTED COLOR "EXTRA WHITE SW-7006"

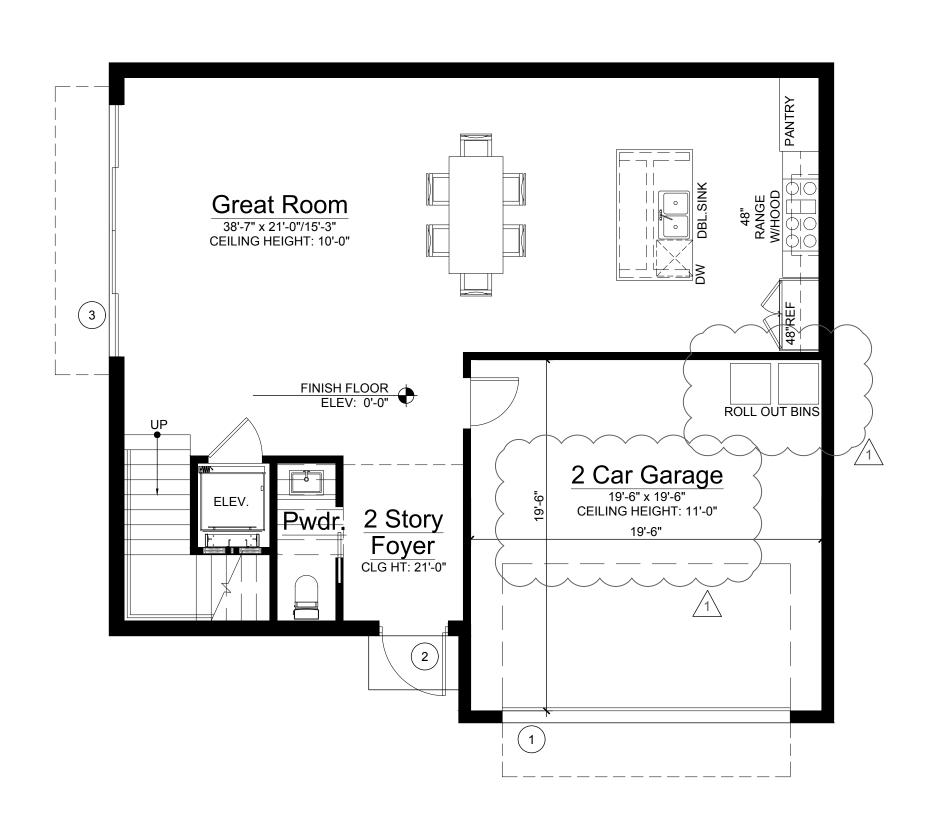
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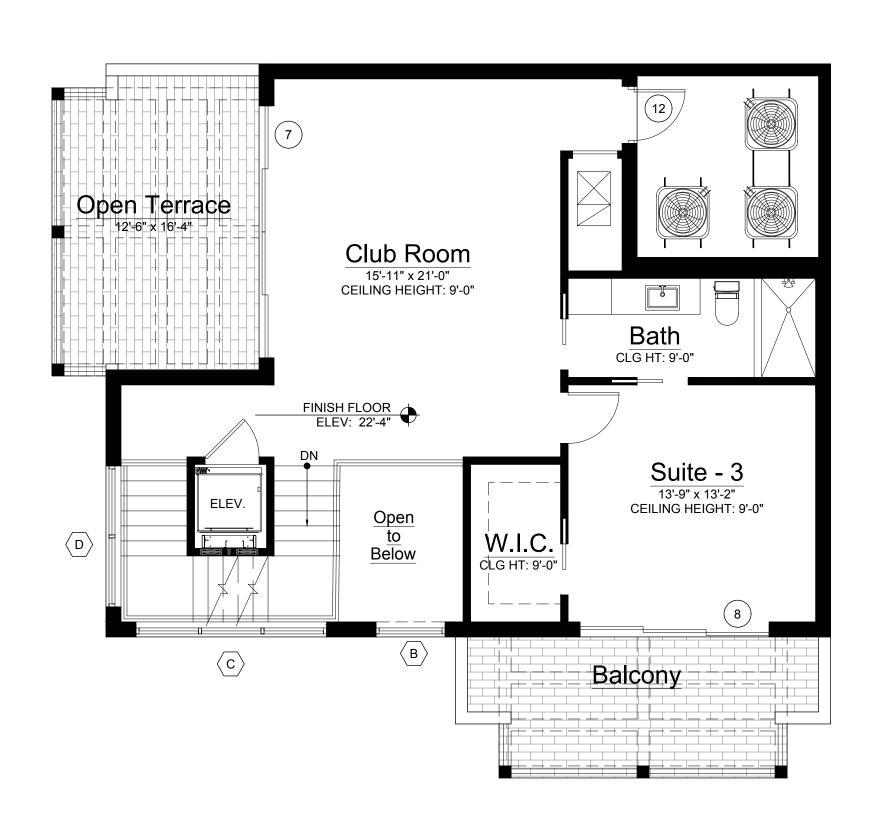
TH-A: Second Floor Plan

Scale: 3/16"=1'-0"



TH-A: Ground Floor Plan

Scale: 3/16"=1'-0"



TH-A: Third Floor Plan

Scale: 3/16"=1'-0"

TH-A FLOOR	ATIONS	AREA CALCU
	967 SQ.FT.	GROUND FLOOR A/C
PLANS	1,220 SQ.FT.	SECOND FLOOR A/C
	826 SQ.FT.	THIRD FLOOR A/C
	3,013 SQ.FT.	TOTAL A/C
	403 SQ.FT.	GARAGE
	235 SQ.FT.	BALCONIES
$I \qquad \Delta = Q$	210 SQ.FT.	OPEN TERRACE
	112 SQ.FT.	EQUIPMENT AREA
	3,973 SQ.FT.	TOTAL AREA

1 TRAIL TOWNHOMES
912 PALM TRAIL
ELRAY BEACH, FLORIDA FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: ISSUE FOR CLASS V SUBMITTAL

RICHARD JONES

ARCHITECTURE

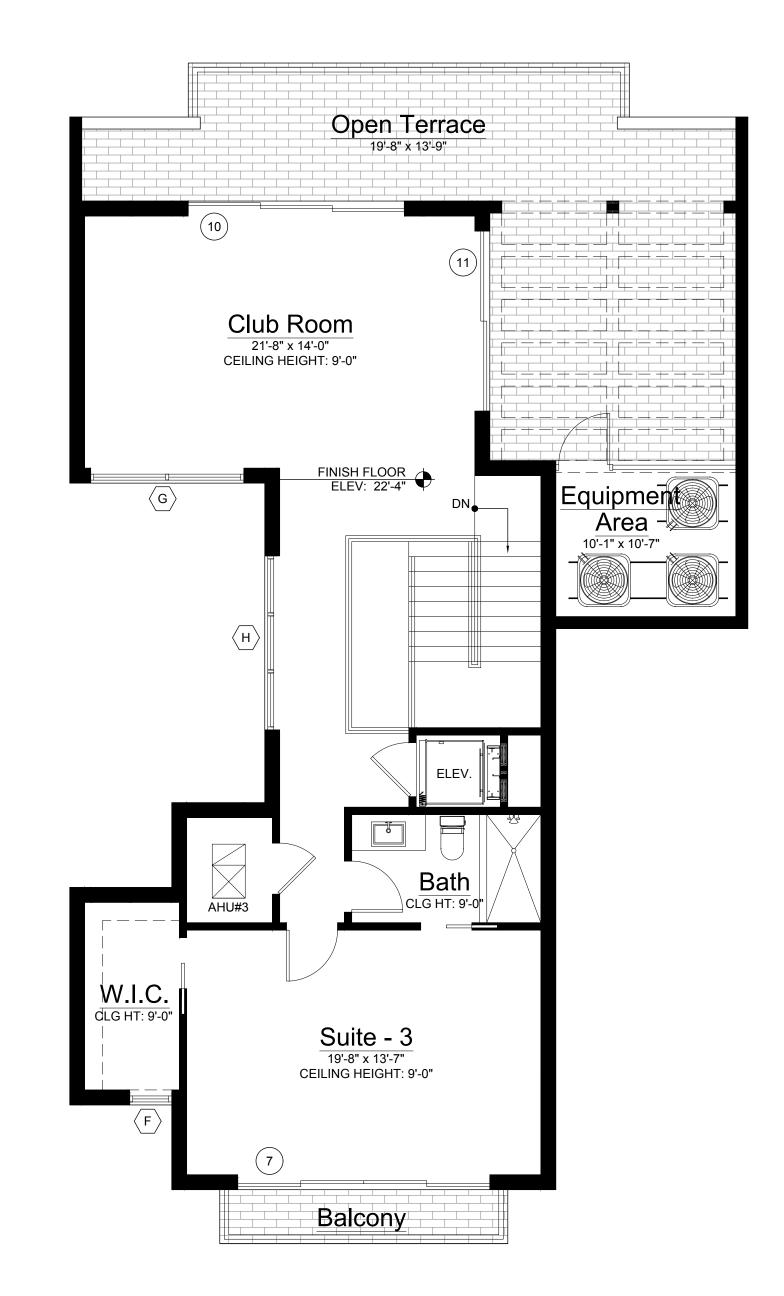
10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444

V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056

WWW.RJARCHITECTURE.CO

**REVISIONS:** 

BLD. DEPT. 01.11.1 COMMENTS



TH-B: Third Floor Plan

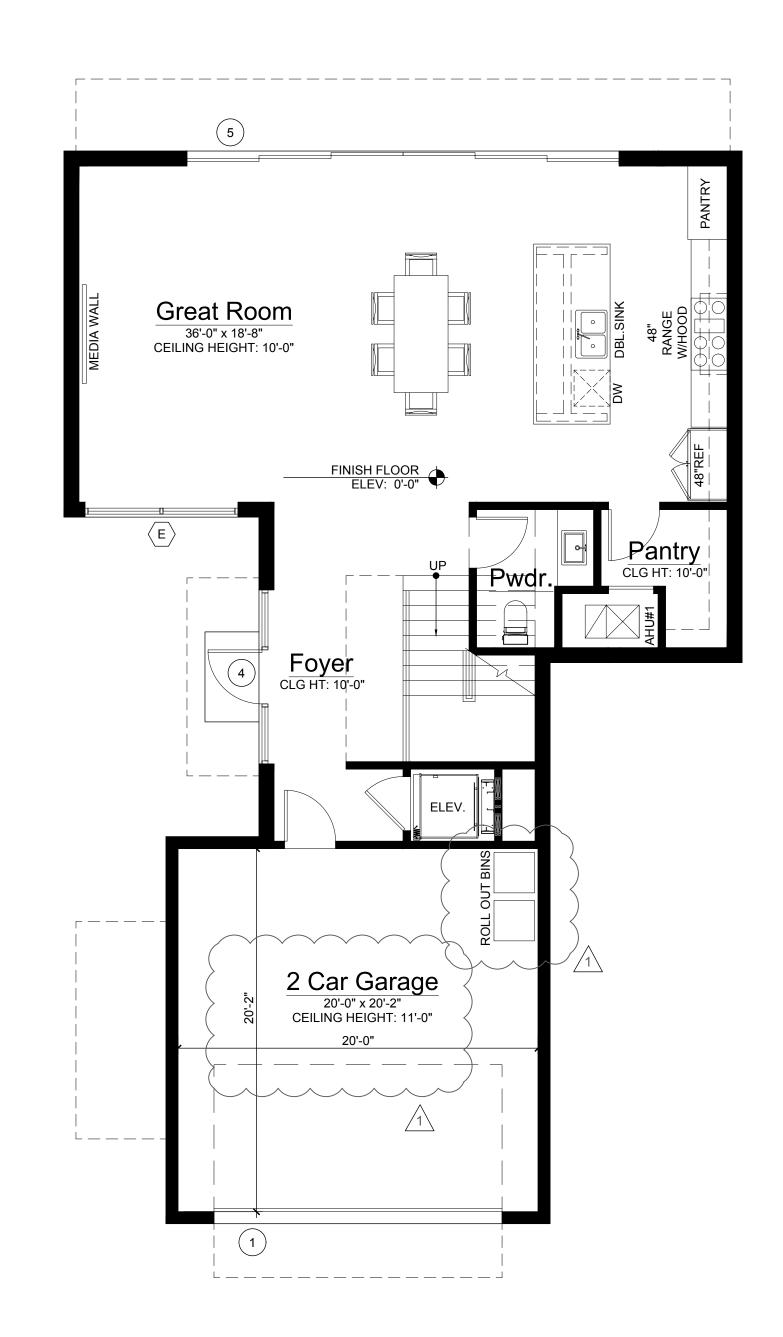
Closet CLG HT: 9'-0" Master Suite Closet 16'-0" x 18'-8" CEILING HEIGHT: 9'-0" CLG HT: 9'-0" Master Bath CLG HT: 9'-0" W.I.C. CLG HT: 9'-0" Suite - 2

19'-1" x 13'-7"

CEILING HEIGHT: 9'-0" Balcony

Balcony

TH-B: Second Floor Plan



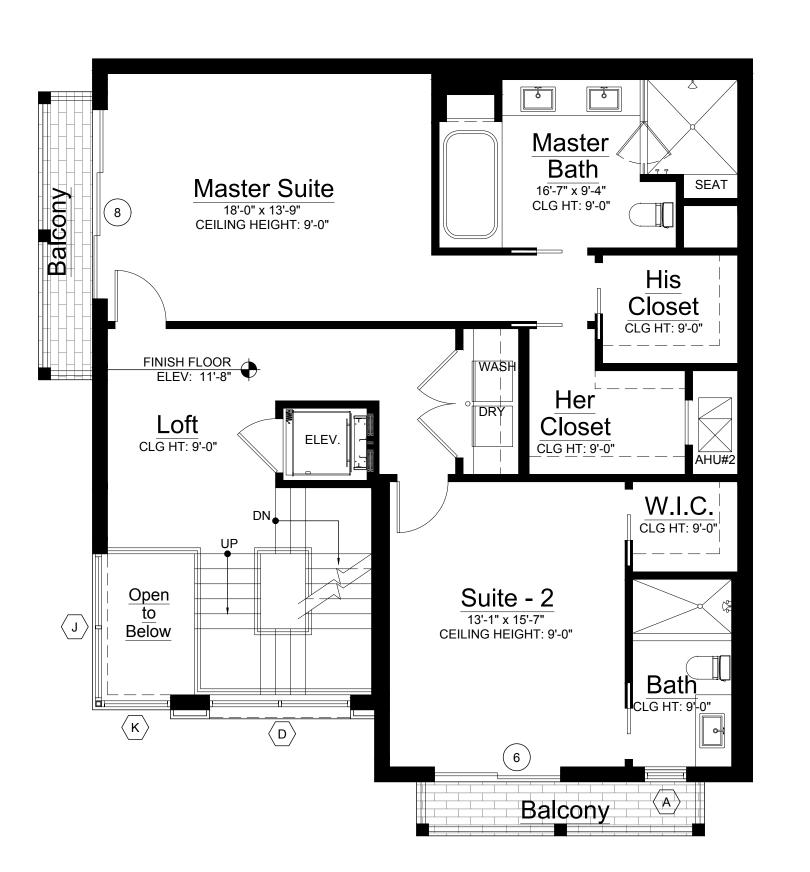
TH-B Ground Floor Plan

AREA CALCU	LATIONS	
GROUND FLOOR A/C	1,127 SQ.FT.	TH-
SECOND FLOOR A/C	1,541 SQ.FT.	
THIRD FLOOR A/C	1,017 SQ.FT.	
TOTAL A/C	3,685 SQ.FT.	
GARAGE	441 SQ.FT.	
BALCONIES	224 SQ.FT.	
OPEN TERRACE	471 SQ.FT.	
EQUIPMENT AREA	111 SQ.FT.	] .
TOTAL AREA	4 032 SO FT	

RICHARD JONES 10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056 WWW.RJARCHITECTURE.COM 1 TRAIL TOWNHOMES
912 PALM TRAIL
3LRAY BEACH, FLORIDA FLORIDA LICENSURE AA26001617 | IB26001056 COMMISSION # DESIGNER: DRAWN BY: PLAN REVIEW: SUBMITTALS: ISSUE FOR CLASS V SUBMITTAL

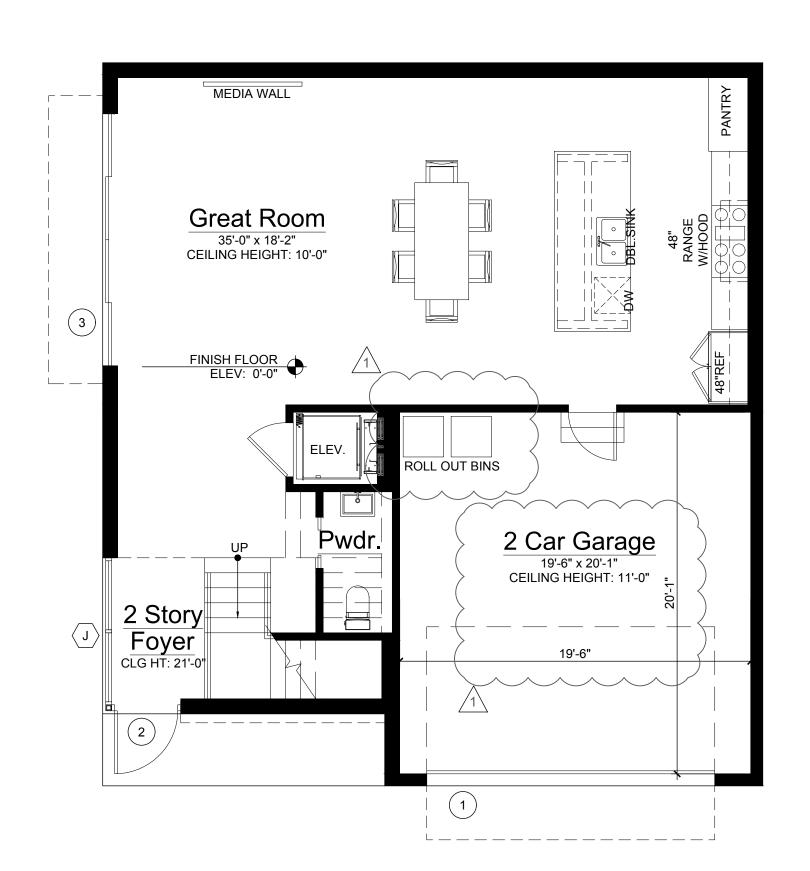
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H-B FLOOR PLANS



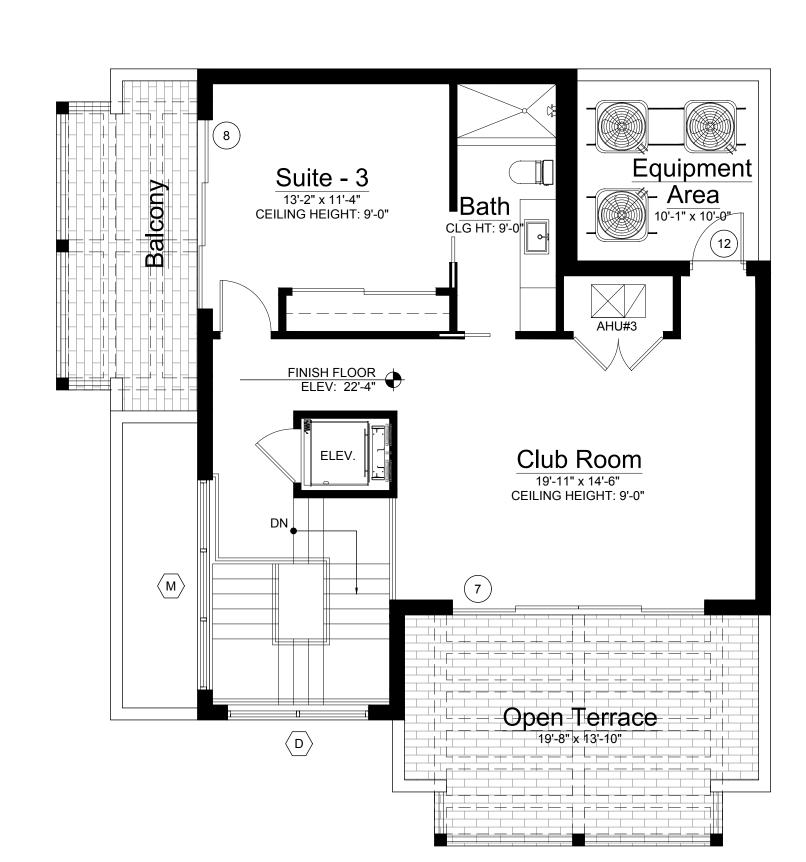
TH-C: Second Floor Plan

Scale: 3/16"=1'-0"



TH-C: Ground Floor Plan

Scale: 3/16"=1'-0"



TH-C: Third Floor Plan

Scale: 3/16"=1'-0"

AA26001617 | IB26001056

COMMISSION # 16-017
DESIGNER: RJ
DRAWN BY: RB
PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR 09.30.16
CLASS V
SUBMITTAL

REVISIONS:

BLD. DEPT. 01.11.17

COMMENTS

RICHARD JONES

ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102 DELRAY BEACH, FLORIDA 33444 V 561.274.9186 | F 561.274.9196 AA26001617 | IB26001056

WWW.RJARCHITECTURE.CO

1 TRAIL TOWNHOMES
912 PALM TRAIL
ELRAY BEACH, FLORIDA

FLORIDA LICENSURE

AREA CALCULATIONS GROUND FLOOR A/C 971 SQ.FT SECOND FLOOR A/C 1,265 SQ.FT. THIRD FLOOR A/C 788 SQ.FT. TOTAL A/C 3,024 SQ.FT. GARAGE 415 SQ.FT. BALCONIES 235 SQ.FT. 269 SQ.FT. OPEN TERRACE **EQUIPMENT AREA** 108 SQ.FT.

TOTAL AREA

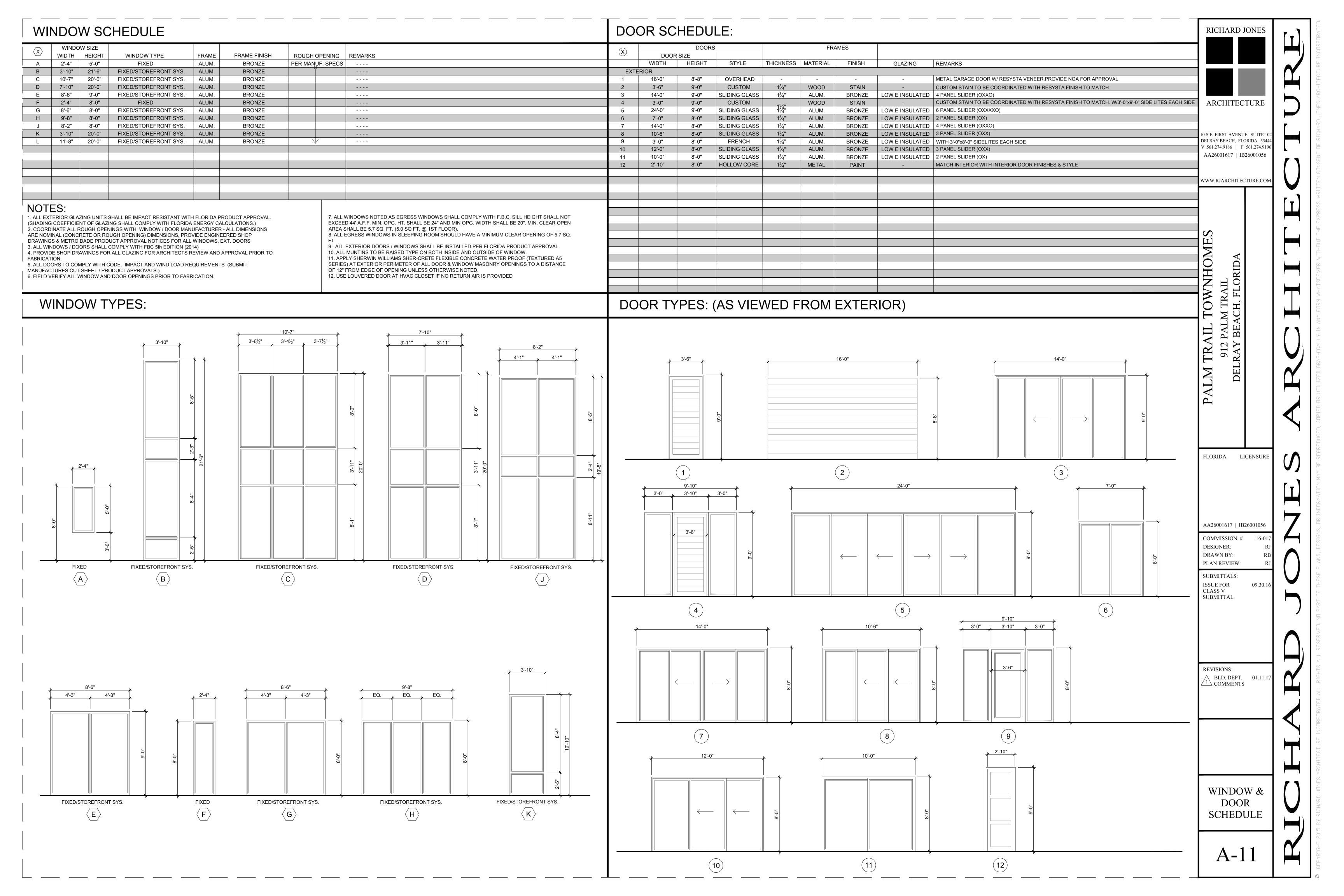
A-10

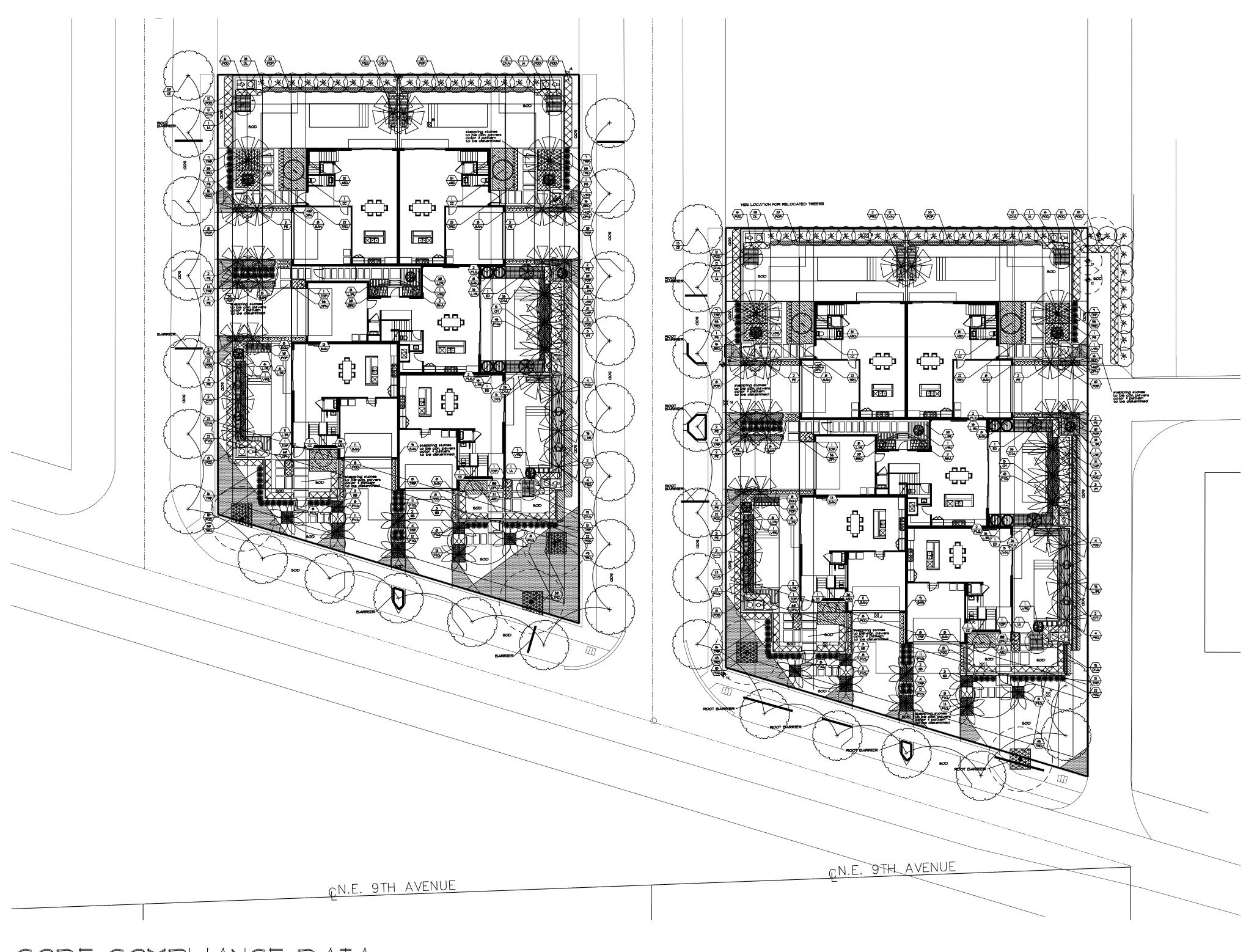
4,051 SQ.FT.

TH-C FLOOR

**PLANS** 

RIC





# CODE COMPLIANCE DATA

A	TOTAL LOT AREA		2Ø744 S.F.
В	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		14366 S.F.
С	TOTAL PERVIOUS LOT AREA	C = (A - B)	6378 S.F.
Þ	AREA OF SHRUBS AND GROUND COVERS REQUIRED	D = (C × 30)	1913 S.F.
E	AREA OF SHRUBS AND GROUND COVERS PROVIDED		62 <i>0</i> 3 S.F.
F	NATIVE VEGETATION REQUIRED	F = (D × 25)	478 S.F.
G	NATIVE VEGETATION PROVIDED		8Ø9 S.F.
Н	TOTAL PAVED VEHICULAR USE AREA		7291 S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	l = (M x .lØ)	729 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		6378 S.F.
<	TOTAL INTERIOR SHADE TREES REQUIRED	K = (1/125 S.F.)	6 TREES
-	TOTAL INTERIOR SHADE TREES PROVIDED		69 TREES
1	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS!		N/A
7	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N = (M/30) N = (M/25) IF ADJACENT TO PROPERTY IN RESIDENTIAL USE	N/A
0	TOTAL NUMBER OF PERIMETER TREES PROVIDED		N/A
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE		6 TREES
a	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q = ((K + N) x 50)	3 TREES

R	TOTAL NUMBER OF NATIVE TREES PROVIDED		4Ø TREES
s	TOTAL NUMBER OF TREES ON PLAN	6 EXISTING 63 NEW	69 TREES

- ALL PLANT MATERIAL SHALL BE FLORIDA \* GRADE OR BETTER.

   MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.

   ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.

   ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.

   SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.

   THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.

   ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2.

# PLANT LIST

<u>SYM</u>	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
CC	Cyathea cooperi Australian Tree Fern	6' ht. x 6' spr.	8
CE	Conocarpus erectus Green Buttonwood Tree	16' ht. x 8' spr., 3" cal.	33
CM	Caryota mitis Fishtail Palm	18' ht. x 6' spr., full to base	10
DL	Dypsis lutescens Areca Palm	16' ht. x 6' spr., full to base	46
ED	Elaeocarpus decipiens Japanese Blueberry Tree	8' ht. x 4' spr., 2" cal.	4
IA	llex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal.	6
PE	Ptychosperma elegans Solitaire Palm	20' o.a. ht., matched	3Ø
PE2	Ptychosperma elegans Double Solitaire Palm	18' o.a. ht., double trunk	12
PS	Phoenix sylvestris Sylvester Date Palm	10' c.t., thin trunks specimen	4
VM	Veitchia montgomeryana Montgomery Palm	28' o.a. ht.	6
WB	Wodyetia bifurcata Foxtail Palm	18' o.a. ht., matched	16
ASD	Aspidistra elatior Cast Iron Palnt	10" ht. x 10" spr., 18" o.c.	338
BRO	Bromelias ' perfecta' Perfecta Bromeliad	10" ht. x 10" spr., 18" o.c.	4Ø
CAP	Capparis cynophallophora Jamaican Caper Hedge	42" ht. x 30" spr., 30" o.c.	62
CTI	Cordyline fruticosa Hawaiian Ti	4' ht., 3 p.p.p.	8
DIA	Dianella tasmanica Blueberry Flax Lily	10" ht. x 10" spr., 18" o.c.	236
EQU	Equisetum telmateia Giant Horsetail	36" ht., 6 p.p.p.	16
FIG	Ficus microcarpa Green Island	12" ht. x 12" spr., 18" o.c.	292
IXN	Ixora nora grant Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	34
LIR	Liriope 'evergreen giant' Giant Liriope	12" ht. x 12" spr., 18" o.c.	352
OPH	Ophiopogon japonicus Mondo Grass	4" ht. x 4" spr., 4/S.F.	<b>99</b> 2
PLE	Dracanea reflexa Pleomele	5' ht., 3ppp	8
POD	Podocarpus macrophyllus Podocarpus Hedge	4' ht. x 2' spr., 24" o.c.	267
POP	Podocarpus pringles Pringles	18" ht. x 18" spr., 18" o.c.	272
RHA	Rhapis excelsa Broadleaf Lady Palm	4' ht., 3 p.p.p.	4
SAN	Sansevieria trifasciata laurentii Variegated Sansevieria	18" ht. x 12" spr., 18" o.c.	146
SED	Sedum sarmentosum Star Sedum	10" ht. x 10" spr., 12" o.c.	64
TOP	Topiary Conical Topiary	5' ht.	6
TRD	Trachelospermum asiaticum Dwarf Asian Jasmine	10" ht. x 10" spr., 12" o.c.	555
TRF	Tripsacum floridana Dwarf Fakahatchee Grass	18" ht. x 18" spr., 18" o.c.	138
VRI	Vriesea bromeliad Imperial Bromeliad	3' ht. x 3' spr.	12
SOD	Zoysia empire japonica Empire Japonica Zoysia	full, fresh sod	as req'd

# 912 palm trail

<u>native</u>

delray beach florida

dave bodker

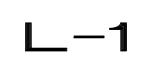
landscape architecture/planning inc. 601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

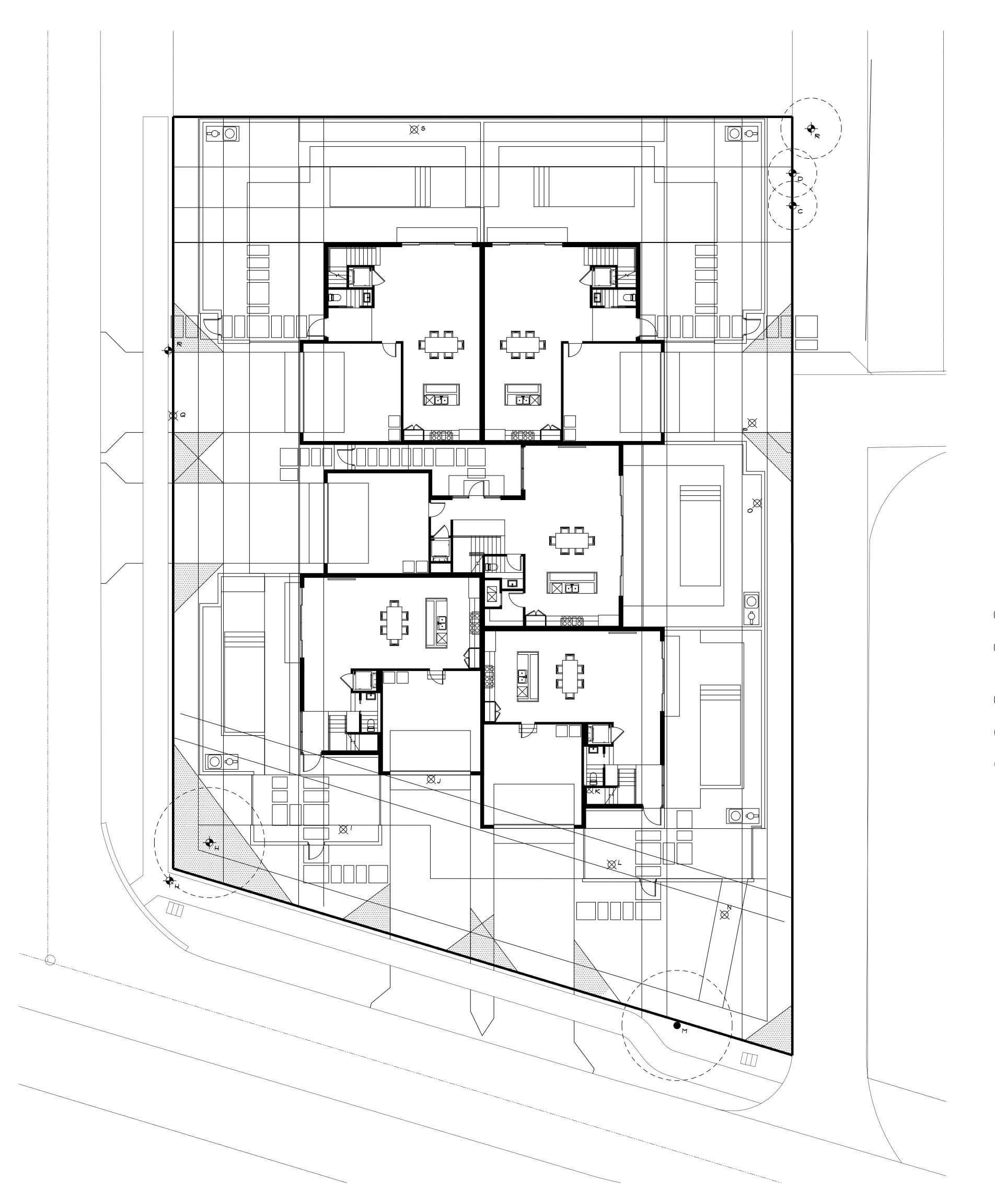
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# sheet title: overall planting plan

	project	number:
		6616
date:		9-29-16
scale:		1" = 20'
drawn	by:	ah

revisions: sheet:





# EXISTING TRE LIST

SYM	COMMON NAME	DESCRIPTION	DISPOSITION
$\triangle$	Gumbo Límbo Tree	28' ht. x 20' spr., 13" cal.	remove
В	Avocado Tree	25' ht. x 20' spr., 6" cal.	remove
C	Sabal Palm	16' ht. x 10' spr., 16" cal.	relocate
D	Sabal Palm	14' ht. x 10' spr., 16" cal.	relocate
E	Coconut Palm	50' ht. x 25' spr., 13" d.b.h.	relocate
F	Coconut Palm	45' ht. $\times$ 25' spr., 16" cal.	remain
G	Coconut Palm	40' ht. x 25' spr., 15" cal., good	remain
$\vdash$	Coconut Palm	45' ht. x 25' spr., 13" cal.	relocate
Ì	Queen Palm	20' ht., 12" cal.	remove
J	Queen Palm	20' ht., 12" cal.	remove
K	Queen Palm	20' ht., 12" cal.	remove
L	Queen Palm	20' ht., 12" cal.	remove
M	Coconut Palm	35' ht. $\times$ 25' spr., $7''$ cal.	remain
N	Queen Palm	14' ht., 8" cal., poor	remove
0	Tropical Almond Tree	28' ht. x 25' spr., 8" cal.	remove
P	Tropical Almond Tree	30' ht. x 30' spr., 9" cal.	remove
Q	Rubber Fig	35' ht. $\times$ 45' spr., 40" cal.	remove
R	Sabal Palm	25' ht. $\times$ 12' spr., 15" cal.	relocate
S	Weeping Fig	25' ht. x 15' spr., 6" cal.	remove

# \_EGEND

EXISTING TREES TO BE REMOVED

( + ) EXISTING TREES TO REMAIN

( • ) EXISTING PALMS TO REMAIN

EXISTING TREES TO BE RELOCATED

NEW LOCATION OF RELOCATED TREES

PROPOSED PALMS

PROPOSED TREES

# 912 palm trail north parcel

delray beach florida

dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

#LAOO00999

sheet title:

# exisiting tree plan

project number:

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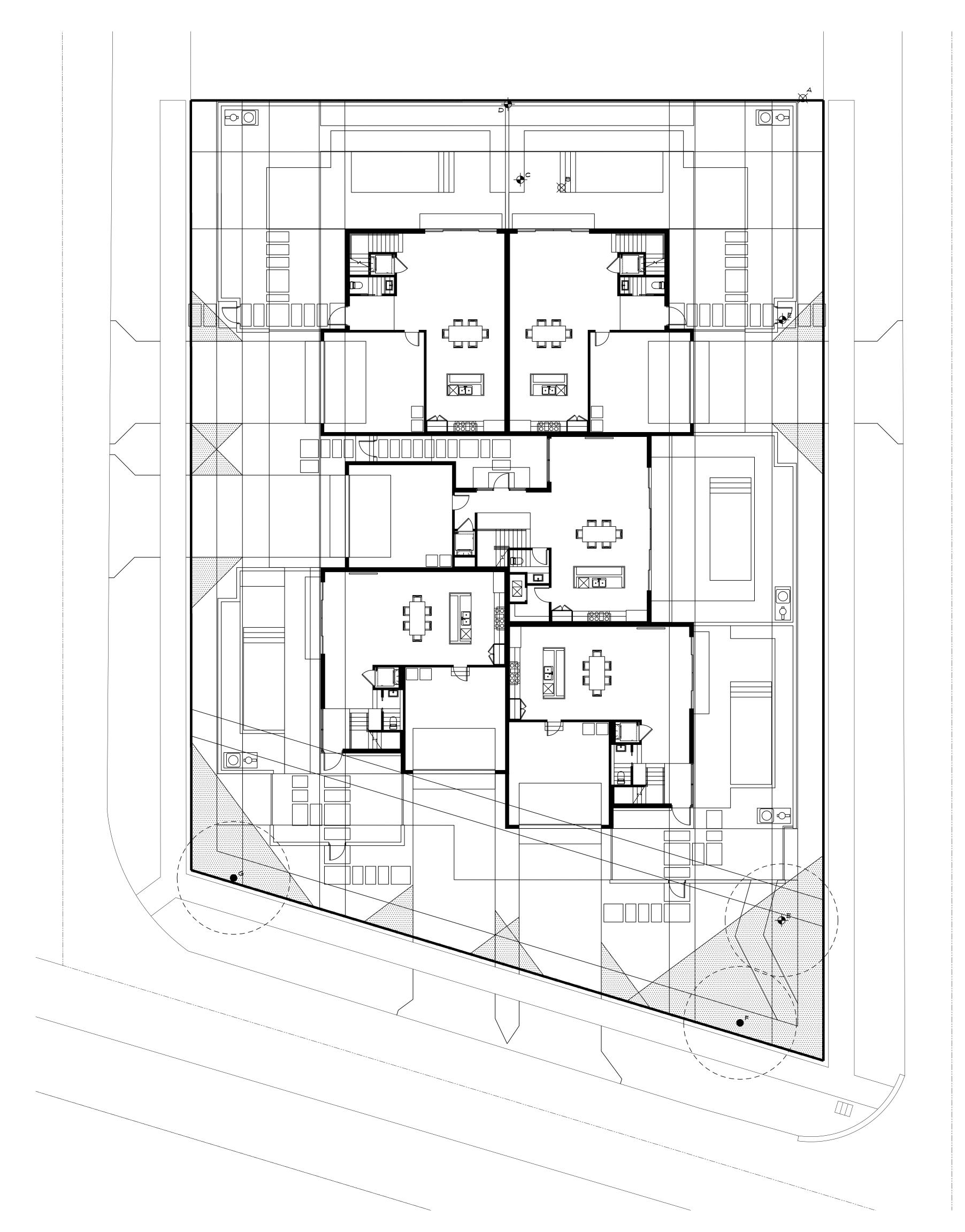
date: 8-29-16
scale: 1' = 10'
drawn by: ah

revisions: A A A A A

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sheet:

2 of 6 sheet



# EXISTING TRE LIST

SYM	COMMON NAME	DESCRIPTION	DISPOSITION
A	Gumbo Límbo Tree	28' ht. x 20' spr., 13" cal.	remove
B	Avocado Tree	25' ht. x 20' spr., 6" cal.	remove
C	Sabal Palm	16' ht. x 10' spr., 16" cal.	relocate
D	Sabal Palm	14' ht. x 10' spr., 16" cal.	relocate
E F	Coconut Palm Coconut Palm	50' ht. x 25' spr., 13" d.b.h. 45' ht. x 25' spr., 16" cal.	relocate relocate remain
G	Coconut Palm	40' ht. x 25' spr., 15" cal., good	remain
H	Coconut Palm	45' ht. x 25' spr., 13" cal.	relocate
J K	Queen Palm Queen Palm Queen Palm	20' ht., 12" cal. 20' ht., 12" cal. 20' ht., 12" cal.	remove remove remove
L	Queen Palm	20' ht., 12" cal.	remove
M	Coconut Palm	35' ht. x 25' spr., 7" cal.	remain
1 O Z	Queen Palm	14' ht., 8" cal., poor	remove
	Tropical Almond Tree	28' ht. x 25' spr., 8" cal.	remove
P Q R S	Tropical Almond Tree	30' ht. x 30' spr., 9" cal.	remove
	Rubber Fig	35' ht. x 45' spr., 40" cal.	remove
	Sabal Palm	25' ht. x 12' spr., 15" cal.	relocate
	Weeping Fig	25' ht. x 15' spr., 6" cal.	remove

# LEGEND

X EXISTING TREES TO BE REMOVED

( + ) EXISTING TREES TO REMAIN

( • ) EXISTING PALMS TO REMAIN

EXISTING TREES TO BE RELOCATED

NEW LOCATION OF RELOCATED TREES

PROPOSED PALMS

PROPOSED TREES

# 912 palm trail south parcel

delray beach florida

# dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

> #LAOOOO999 sheet title:

# exisiting tree plan

 project number:

 6616

 date:
 9-29-16

 scale:
 1' = 10'

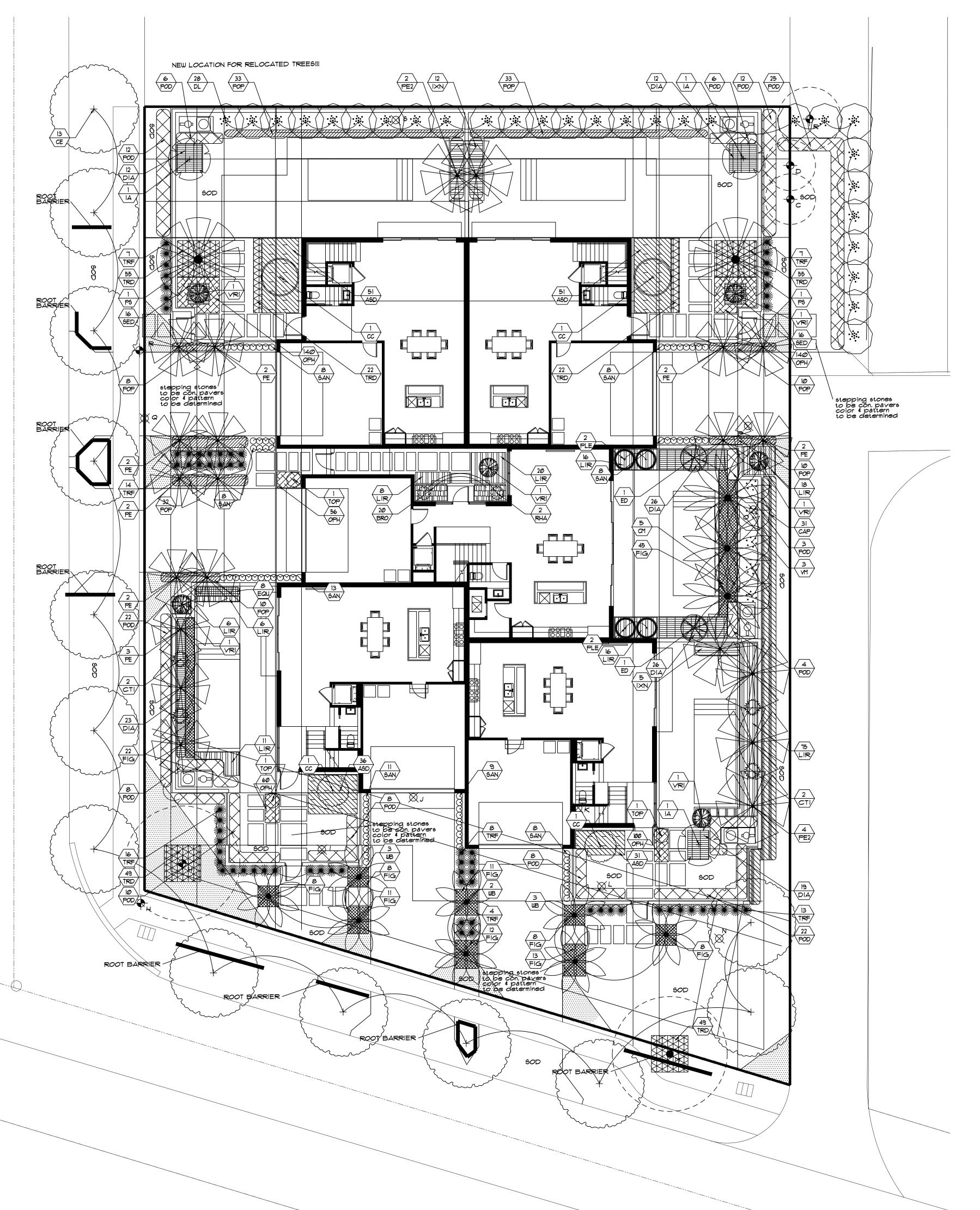
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 ah

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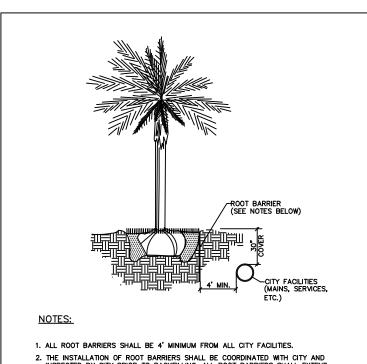
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3 of 6 shee



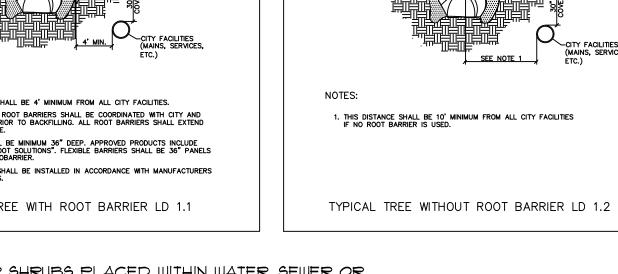
# PLANT LIST - NORTH PARCEL

<u>5YM</u>	BOTANICAL/COMMON NAME	SPECIFICATIONS	<u>QTY</u>	NATIVE
cc	Cyathea <i>coo</i> peri Australian Tree Fern	6' ht. x 6' spr.	4	
CE	Conocarpus erectus Green Buttonwood Tree	16' ht. x 8' apr., 3" cal.	13	*
CM	Caryota mitie Fiehtaii Palm	18' ht. x 6' spr., full to base	5	
DL	Dypeis lutescens Areca Palm	16' ht. x 6' spr., full to base	28	
ED	Elaeocarpus decipiens Japanese Blueberry Tree	8' ht. × 4' spr., 2" cal.	2	
IA	llex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal.	3	*
PE	Ptychosperma elegans Solitaire Palm	20' o.a. ht., matched	15	
PE2	Ptychosperma elegans Double Solitaire Palm	18' o.a. ht., double trunk	6	
P5	Phoenix sylvestris Sylvester Date Palm	10' c.t., thin trunks specimen	2	
VM	Veitchia montgomeryana Montgomery Palm	28' o.a. ht.	3	
WB	Wodyetia bifurcata Foxtail Palm	18' o.a. ht., matched	8	
ASD	Aspidistra elatior Cast Iron Paint	10" ht. x 10" spr., 18" o.c.	169	
BRO	Bromelias ' perfecta' Perfecta Bromeliad	10" ht. x 10" spr., 18" o.c.	2Ø	
CAP	Capparis cynophallophora Jamaican Caper Hedge	42" ht. x 30" spr., 30" o.c.	31	
CTI	Cordyline fruticosa Hawaiian Ti	4' ht., 3 ppp.	4	
DIA	Dianella tasmanica Blueberry Flax Lily	10" ht. x 10" spr., 18" o.c.	8	
EQU	Equisetum telmateia Giant Horsetail	36" ht., 6 p.p.p.	8	
FIG	Ficus microcarpa Green Island	12" ht. x 12" spr., 18" o.c.	146	
IXN	lxora nora grant Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	П	
LIR	Liriope 'evergreen giant' Giant Liriope	12" ht. x 12" spr., 18" o.c.	176	
OPH	Ophiopogon japonicus Mondo Grass	4" ht. x 4" apr., 4/6.F.	496	
PLE	Dracanea reflexa Pleomele	5' ht., 3ppp	4	
POD	Podocarpus macrophyllus Podocarpus Hedge	4' ht. x 2' spr., 24" o.c.	146	
POP	Podocarpus pringles Pringles	18" ht. x 18" spr., 18" o.c.	136	
RHA	Rhapis excelsa Broadleaf Lady Palm	4' ht., 3 ppp.	2	
SAN	Sansevieria trifasciata laurentii Variegated Sansevieria	18" ht. x 12" epr., 18" o.c.	73	
SED	Sedum sarmentosum Star Sedum	10" ht. x 10" spr., 12" o.c.	32	
TOP	Topiary Conical Topiary	5' ht.	3	
TRD	Trachelospermum asiaticum Dwarf Asian Jasmine	10" ht. x 10" spr., 12" o.c.	252	
TRF	Tripsacum floridana Dwarf Fakahatchee Grass	18" ht. x 18" spr., 18" o.c.	69	*
YRI	Vriesea bromeliad Imperial Bromeliad	3' ht. × 3' epr.	6	
<b>90</b> D	Zoysia empire japonica Empire Japonica Zoysia	full, fresh sod	as req'd	



- 2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1



NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 1.1 AND LD 1.2.

# 912 palm trail north parcel

delray beach florida

dave bodker landscape architecture/planning inc.

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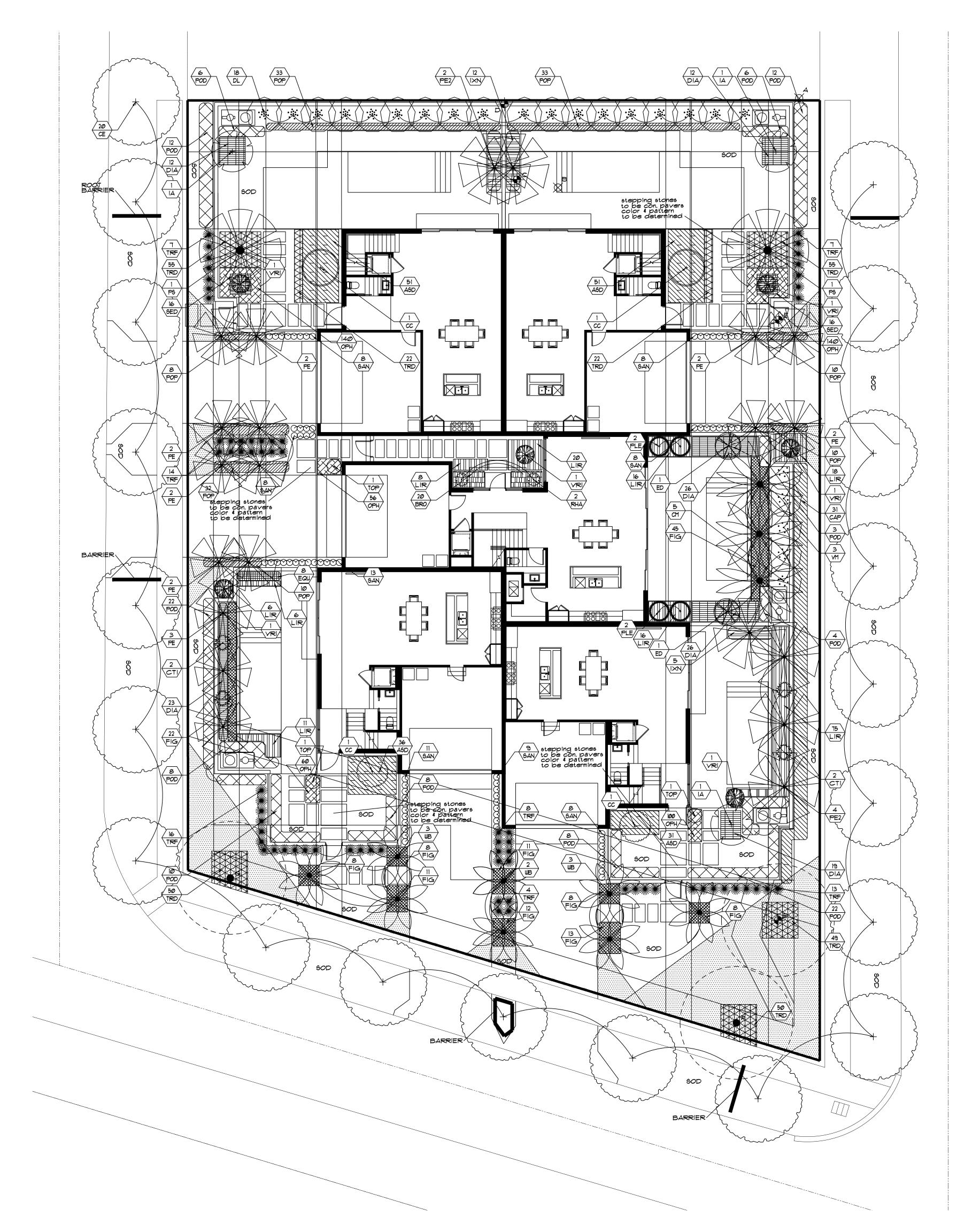
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# sheet title: planting plan

project number: 9-29-16 scale: 1" = 10'

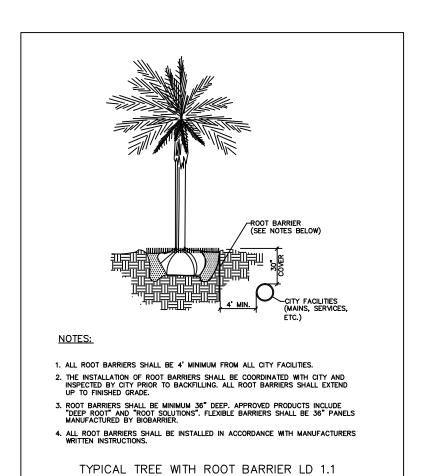
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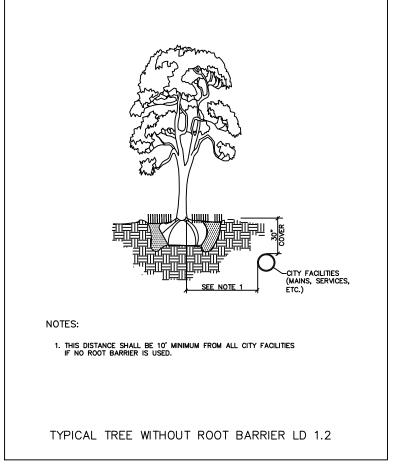
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# PLANT LIST - SOUTH PARCEL

<u>SYM</u>	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE
cc	Cyathea cooperi Australian Tree Fern	6' ht. × 6' spr.	4	
SE	Conocărpus erectus Green Buttonwood Tree	16' ht. x 8' spr., 3" cal.	2Ø	*
CM	Caryota mitis Fishtali Palm	18' ht. x 6' spr., full to base	5	
OL	Dypsis lutescens Areca Palm	16' ht. x 6' spr., full to base	18	
ED	Elaeocarpus decipiens Japanese Blueberry Tree	8' ht. x 4' spr., 2" cal.	2	
A	llex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal.	3	*
PE	Ptychosperma elegans Solitaire Palm	20' o.a. ht., matched	15	
PE2	Ptychosperma elegans Double Solitaire Palm	18' o.a. ht., double trunk	6	
P6	Phoenix sylvestris Sylvester Date Palm	10' c.t., thin trunks specimen	2	
νM	Veitchia montgomeryana Montgomery Palm	28' o.a. ht.	3	
WB	Wodyetia bifurcata Foxtail Palm	18' o.a. ht., matched	8	
4SD	Aspidistra elatior Cast Iron Palnt	10" ht. x 10" spr., 18" o.c.	169	
BRO	Bromelias ' perfecta' Perfecta Bromeliad	10" ht. x 10" spr., 18" o.c.	2Ø	
CAP	Capparis cynophallophora Jamaican Caper Hedge	42" ht. x 30" spr., 30" o.c.	31	
CTI	Cordyline fruticosa Hawaiian Ti	4' ht., 3 ppp.	4	
DIA	Dianella tasmanica Blueberry Flax Lily	10" ht. x 10" spr., 18" o.c.	811	
EQU	Equisetum telmateia Giant Horsetail	36" ht., 6 ppp.	8	
=IG	Ficus microcarpa Green Island	12" ht. x 12" spr., 18" o.c.	146	
ΙΧΝ	ixora nora grant Nora Grant ixora	24" ht. x 18" spr., 24" o.c.	17	
_IR	Liriope 'evergreen giant' Giant Liriope	12" ht. x 12" spr., 18" o.c.	176	
OPH	Ophiopogon japonicus Mondo Grass	4" ht. x 4" spr., 4/SF.	496	
PLE	Dracanea reflexa Pleomele	5' ht., 3ppp	4	
POD	Podocarpus macrophyllus Podocarpus Hedge	4' ht. × 2' spr., 24" o.c.	121	
POP	Podocarpus pringles Pringles	18" ht. x 18" spr., 18" o.c.	136	
RHA	Rhapis excelsa Broadleaf Lady Palm	4' ht., 3 ppp.	2	
SAN	Sansevieria trifasciata laurentii Variegated Sansevieria	18" ht. x 12" spr., 18" o.c.	73	
SED	Sedum sarmentosum Star Sedum	10" ht. x 10" spr., 12" o.c.	32	
TOP	Topiary Conical Topiary	5' ht.	3	
TRD	Trachelospermum asiaticum Dwarf Asian Jasmine	10" ht. x 10" spr., 12" o.c.	3Ø3	
TRF	Tripsacum floridana Dwarf Fakahatchee Grass	18" ht. x 18" spr., 18" o.c.	69	*
VRI	Vriesea bromeliad Imperial Bromeliad	3' ht. x 3' apr.	6	
SOD	Zoysia empire japonica Empire Japonica Zoysia	full, fresh sod	as req'd	





NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 1.1 AND LD 1.2.

# 912 palm trail south parcel

delray beach florida

# dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

#LAOO00999

# sheet title: planting

	plan	
	project	number:
		6616
date:		9-29-16

date: scale: drawn by: 9-29-16 1° = 10° ah revisions:

sheet:

# Applicable Documents:

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and

A. The work specified by hits Section of the Specifications and on the Plans consists of furnishing all labor, machinery, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs inciden

- B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public excavation, installation, backfilling, grading fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding,
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the number and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.
- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.
- E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.
- F. Ten percent (10%) of the total contract price will be held as retainer for 30 days after final written acceptance.
- G. The Landscape Contractor will coordinate his work with all other trades at the job site.

(2) Palm frond tying shall be as set forth in the latest

"Grades and Standards for Nursery Plants". tying palms

shall be at the option of the Contractor. The Landscape

Architect may direct the Landscape Contractor to untie

Palm fronds to accommodate an owners "grand opening

The Contractor may retie the palm after the event. This

(3) To reduce head volume, Palm fronds may be taper trimmed

untying will not affect the guarantee or represent an

(4) Palms with mechanical damage, such as from cables,

A. Sod shall be solid sod and shall be standard quality grade

Inc. The sod shall be well matted with roots and of firm

broad leaf weeds. Sod shall not accepted if it contains

Note: Quality grade shall be based on the standards of sod

established by the Turf grass Producers Association of Florida

development. Sod shall be free of objectionable grassy and

Bermuda Grass. Sod sections shall be strong enough to support

when suspended vertically from a firm grasp on the upper 10%

of the section. Sod shall not be harvested or transplanted

when moisture content (excessively dry or wet) may adversely

the soil embedded in the sod shall be a clean, earth, free of

stones and debris. The sod shall have been mowed at least

seven days prior to the sod being cut for placement. The soc

shall be provided in commercial pad sizes measuring not less

within 48 hours after being cut and shall be shaded and kept

three times with a lawn mower with final mowing not more than

than 12 inches by 24 inches and shall be live, fresh and

uninjured at the time of placement. It shall be planted

affect its survival. Sod shall be relatively free of thatch.

up to one half inch allowable (uncompressed

moist from the time it is cut until it is planted.

tough texture having a compact top growth and heavy root

chains, equipment and nails, shall be rejected.

additional cost to the owner

by not more than one-third.

Quality Assurance:

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architect size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory or defective material at any time during the progress of work The Landscape Contractor shall remove rejected trees o shrubs within I days from the project site.

B. Responsibility for Assuring Quality Work:

- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape

- (1) Plant material shall be Florida #1 or better as set forth in the tlatest edition of the Florida Department of Agriculture's grades and standards for nursery plants.
- (2) All plant material will be subject to at the approval of The Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions ± plants which are weak or thint and plants injured by close planting in nursery rows will not be accepted Plant materials which have been cut back from large grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free form defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or objectionable disfigurements.

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose

A. Potable, from municipal water supplies or other sources which

 Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants"

## J. Plant material shall not be accepted when the ball of eartl surrounding its roots has been cracked, broken or otherwise

K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project. in place (if applicable): Fertilize with as approved including, but not limited to, iron, zinc, magnesium and

B. Existing Palms which are to remain in place (if applicable):

. New Trees, Palms, Shrubs, and Groundcover (container) ball at the following rates:



5 tablets

friable condition.

are approved by a public health department.

(1) Cypress bark mulch, type B. It shall be uniformly shredded and free from foreign matter and large pieces

A. Existing Trees, Shrubs and Groundcover which are to remain

fertilize with Florida East Coast Palm Special 10-5-5



i tablet 2 tablets 3 tablets

of height. 3. Trees & Palm: 1 tablet for each 1/2 inch of trunk

blend 14-14-14 or approved equal

i. Container plants

D. Annuals & New Groundcover: Fertilize with Osmocote - Sierra

fertilizer of fifty percent organic 7-3-7 with inor elements

Fertilize with Agriform or equal planting tablets, 20-10-5 formula, 21 gram. The tablets shall be placed midway to the

2. Balled and Burlapped Shrubs: I tablet per each foot

# E. Sod: Fertilizer for sod shall be a fertilizer with a chemical least 50% of the nitrogen derived from natural organic sources and shall contain the minimum minor elements of at

least three units of magnesium, 1/2 to 1 unit of manganese, and I unit of iron. Potash shall be derived from sulfate of potash only. Liquid fertilizer shall not be permitted. F. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers

Delivery, Handling and Storage:

A. Trees, Shrubs and Groundcovers:

protect while stored at the site.

(1) Movement of nursery stock shall comply with all Federal,

(2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant

materials immediately from the job site. Maintain and

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be

(1) Deliver sod on pallets with root system protected from

exposure to wind and sun. Deliver sod in quantities

capable of being installed within 24 hours of cutting.

A. Written request for approval to substitute a plant species or

quality, size, quantity, etc. due to the non-availability of

Landscape Architect before the material is delivered and

a plants designation (B\$B, WB\$B, CG etc.), type, grade

the material specified. Approval must be given by the

installed on the project. The Contractor must provide

B. Any request for the approval of an equal shall be in writing.

conditions not covered in the details indicated. This shall

D. If requested by the Owner or Landscape Architect submit a

material indicating the sources or suppliers of these

schedule of all specimen plant material and collected plant

Architect before they are delivered and installed on the

showing different side views of the item shall be submitted

with the schedule. Additional color photographs shall be

E. if requested by the Owner or Landscape Architect, submit a

before it is delivered and installed on the project.

or boxes shall be fully labeled with the manufacturer's

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also,

guying other than those indicated in the details, shall

battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and

installation. Under no circumstances will approval be given

B. The Contractor is responsible for performing all staking and

C. The decision of whether to stake or guy shall be left to the

according to local regulations, ordinances and code

resetting plant material if it blows, falls or leans over

discretion of the Contractor, provided it is not required

or guy shall not relieve he or she of the responsibility of

material dies as a result of blowing, falling or leaning over

Also, it will not relieve he or she of the quarantee if the

requirements. However, a Contractors decision not to stake

guying in accordance with all applicable regulations, ordinances and code restrictions.

jurisdiction the project is located in.

receive approval from the Landscape Architect prior to their

to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or

inces and code requirements from the appropriate local

G. All fertilizer shall comply with the State of Florida

fertilizer laws.

letter indicating the sources or suppliers of all sod and the

grade to be supplied for approval by the Landscape Architect

materials and their locations for approval by the Landscape

project. Also, two color photographs of each different item

be for approval by the Landscape Architect before they are

Approval shall be given by the Landscape Architect before the

written proof that the specified plant material is

material is delivered and installed on the project.

C. Submit three prints of shop drawings for any special

implemented in the project

submitted, if requested,

covered to prevent wind damage during transit.

State, and local laws, regulations, ordinances, codes, etc.

EXECUTION

# A. Utilities (Above Ground and Underground): (1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm

sewer. The location of some of these existing utilities

corrective action. . Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans

writing by the Owner or their representative. The guarantee shall not begin until the day final acceptance

Certain responsibilities prior to Final Acceptance: The following

is a partial list of certain responsibilities. It is not a complete list, but only a summary of certain responsibilities. . The Contractor is responsible for the entire project prior

B. The Contractor is responsible for safety on and off the job

. Maintenance Prior to Final Acceptance: (1) Maintenance shall begin immediately after each plant is

(2) Plant maintenance shall include watering, mowing, edging, pruning, weeding, cultivating, repair o erosion, mulching, tightening and repairing of guys, stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer, litter removal, and all other care needed for prope growth of the plants.

(3) immediately after planting, each plant shall be watered and the watering period shall continue until final in Part 3 of these Specifications, for additional

(4) All plant material shall be weeded once a week in the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material the weeds shall be removed as directed by the Landscape Architect. If necessary, the plant material, nulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undesirable vegetation at the expense of the Contractor.

4. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans

B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, the TOP OF THE MULCH IS LINCH BELOW THE TOP OF THE PAYEMENT AREA or as indicated otherwise on the plans. Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on

(5) Edge and mow sod once a week for at least 30 days.

(6) Edge and weed all shrubs, groundcover and flower beds

accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular

However, no guarantee is implied that the Plans are

F. If requested by the Owner or Landscape Architect, submit a

sample and analysis of all planting soil types for approval

by the Landscape Architect before the material is delivered

. If requested by the Owner or Landscape Architect, submit a

Architect before the material is delivered and installed on

guying methods to be used if the ones indicated in these specifications and on the Plans are not to be implemented.

staking and guying methods before they are implemented in the

The Landscape Architect will approve all shop drawings of

. Submit three prints of shop drawing for all staking and

Submit in writing any hindrance to the owners routine

materials growth, or survival, that would affect the

quarantee of plant material.

the installation.

maintenance or lack of, that may affect installed plant

K. Submit in writing any hindrance to the timely completion of

be required by, State, local or Federal Authorities.

. Submit and Certificate of inspection of plant material as may

When the specifies plant designation (B\$B, WB\$B, CG etc.)

available, the Contractor shall submit a written request,

WB\$B. CG. etc.) tupe grade, quality, size, quantity, etc.

of material is not available. The Landscape Architect

to the Landscape Architect, for a substitution along w

type, grade, quality, size, quantity, etc. of a material is not

written, documented proof that the plant designation (B&B

shall approve all substitutions before they are delivered and

anticipated to be a substitute, before it has been submitted

installed. Do not deliver and install any material, which is

in writing and approved as a substitute by the Landscape

because of an approved substitute, shall be established in

Architect. Also, ant changes, if any, to the contract amour

writing between the Owner and the Contractor before the

material substitute is delivered and installed on the

sample and analysis of the mulch for approval by the Landscape

(2) The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities of other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous "around the clock basis until services are restored. He or she shall also provide and operate any supplemental temporary service to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be norne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.

(3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated

(4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

conforms to surrounding grades and is at the proper elevation

drives, walks, terraces, decks and slabs shall be set so that

which have been established are not altered.

F. Excavation of Plant Holes

a. Excavation of plant holes shall be roughly cylindrical in shape with the sides appro vertical. The Landscape Architect reserves the

unanticipated factors which are a conflict.

excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting

hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God". dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision D. At the option of the Owner, and inspections may be made at the plying conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The end of the guarantee period, but prior to the last day of the

smaller than the size originally specifies, the

she of the guarantee obligations.

Plan and Specification Interpretation:

Plans and Specifications.

accomplish all of the work

Changes and Additional Works

"Job Site, "Project Site Etc.":

Safety On and Off the Job Site:

off the job site.

B. Setting of Plants:

may or may not be compensated for.

the originally specifies guarantee. This guarantee

period shall begin at time of acceptable replacement.

(3) Final payment to the Contractor shall not relieve he or

A. On the Plans, figured dimensions shall govern over scaled

Landscape Architect shall have the right to correct

A. The Contractor shall procure all necessary permits to

B. The Contractor is responsible for performing all work in

and/or Federal jurisdiction the project is located in.

accordance with all applicable regulations, ordinances and

code requirements from the appropriate city, county, state

A. The Contractor shall not start on any changes or additional

work in the project until a written agreement setting forth

The words "job site", "project site", "job", "project" and

A. In performing the scope of work, all safety on of off the job

site shall be the sole responsibility of the Contractor. The

(1) All plants shall be set at the proper level so that

after settlement, a normal or natural relationship

ground surface exists. The plants shall be set

between the crown of the plant and the surrounding

to placement of the plant material, fill the planting

be filled with water and the soil allowed to settle

vertically. After excavation of planting pits and prior

pits with water. The plant hole shall be backfilled with

around the roots: the ball ties shall be cut and at the burlab beel down 1/3 from the top of the rootball and

cut or adjusted to prevent the formation of air pockets

tapped to grade. Subsoil removed from tree pit shall

before applying the water. After the water has been absorbed

topsoil mixture placed in layers around the roots or

ball. Each layer shall be carefully tapped in place.

When partially backfilled and compacted, the hole shall

Landscape Architect shall not be responsible for safety on or

"site" shall be synonymous with one another when used in

and the Contractor. Any work performed on any changes or

the adjusted contract amount has been executed by the Owner

additional work prior to the execution of a written agreement

and to make such interpretations as he or she may deem

necessary for the proper fulfillment of the intent of the

apparent errors or omissions in the Plans and Specifications

A. The quaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material

A. The guarantee shall not begin until the day final written

B. All plant material, except sod,, trees and palms, shall be

guaranteed for a for a period of I year from the time of final

days from the time of final acceptance. All trees and palms

are to be guaranteed for one year from the time of final

C. The quarantee shall be null and void for plant material which

is damaged or dies as a result of "Acts of God" limited to

acceptance. All sod shall be guaranteed for a minimum of 60

(1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the

(2) There is a question to its ability to survive after the

the minimum quality indicated in the Specifications.

end of the guarantee period that would render it below

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the

Landscape Architect.

quarantee period.

within 3 calendar days if it is:

(1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined

B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly

without growing into the other bed, walkway, structure, etc . The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall

D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerock which may interfere with adequate vertical drainage and/o proper plant survival and growth and therefore removal of this material is part of the scope of work for the project The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling o rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival

i. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any conditions. Care shall also be used so that any final grades

(1) General: right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or

b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the \_andscape Architect

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before

not be mixed or used in any way with the topsoil (2) All sabal and queen palms shall be backfilled with clear

thoroughly washed in during the planting operation. (3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place.

> (5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

(6) Container grown plant material shall be carefully root system.

(1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner a. Uniformly apply formula 8-8-8 fertilizer over the b. Remove stones and foreign matter over two inches in

c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

However, if for some reason, the plant to be replaced is The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and replacement shall be at least equal to the originally safety on or off the job site. (2) Replacements shall be guaranteed for a period equal to

On Site Observations and Inspections:

or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.

B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in

work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape

E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing

(1) Where specified as collected material

C. Habit of Growth: All plant material shall have a habit of

the time of installation and final acceptance. Existing

a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines o water flow in swales. Place sod in rows at right angles to slope.

b. Water sod every day for a period of three weeks. c. Fertilize sod three weeks after planting with 12 pounds

d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification or Federal Department of Agriculture.

(3) Maintenance of Sod:

b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as

(1) Spread six inches of topsoil mixture uniformly over the entire planting area. (2) Spread 50% organic fertilizer at a rate of 4 pounds per 1,000 square feet uniformly over the groundcover area.

(3) Rotor mix, or by other approved method, to a depth of

(6) Thoroughly water and firm the plants into the soil mixture.

vegetation removed, including root systems, before applying mulch.

(2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

I. ALL PLANTS TO BE FLORIDA NO. I OR BETTER 2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT IST IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND

9. ALL PLANTED AREAS ARE TO BE MULCHED WITH CYPRESS MULCH, GRADE B OR BETTER, TO A DEPTH OF 3" 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE. II. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN

8. ALL TREES AND PALMS TO BE STAKED AND GUYED.

Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for

A. The Contractor shall make requests for on site observations

C. An inspections at the growing site does not preclude the right of rejection at the project site.

D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or Architect from subsequently rejecting such work at a later

the scope of work indicated in these Specifications.

# A. Plant material shall be nursery grown except:

(2) Where approved by the Landscape Architect for such plant

material which is only available as a collected item B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida #1, or better, at

plant material to remain or to be relocated shall be excluded

growth that is normal for that species and shall be sound. healthy, vigorous and free from insects, plant diseases and

# (2) Placing Sod:

from this requirement.

of 8-8-8 formula fertilizer per 1,000 square feet of lawn.

of clearance from pest control officials of either State

a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.

(4) Fine grade to remove all trash, rocks, and debris to (5) Regrade to finish grade before adding two inches mulch.

(1) Areas to be mulched shall have existing weeds and

(1) in the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until final acceptance.

any pruning and thinning.

# 912 palm trail

delray beach florida

landscape architecture/planning inc.

601 n. congress ave., suite 105-a

delray beach, florida 33445 561-276-6311

# specifications details, notes

19. ALL PLANTING 15LANDS WITHIN THE PARKING LOT AREA MUST HAVE A MINIMUM 31 DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS. date: scale: drawn by:

I. Removal of Plant Material:

CALIPER

1.75 - 2"

4 - 45"

2.5 - 3.5"

J. Existing Plant Material to be Relocated:

(1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soi as directed by the Landscape Architect.

determined by the Landscape Architect prior to (2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with requirements as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part I and Part 2", as

MIN. BALL DIA.

root pruned a minimum of 4 weeks or for a period a

(1) All existing plant material to be relocated shall be

becomes damaged as a result of any negligence of the 4.5 - 5" 60% of dia. 5.5" or more Increase in 60% of dia. proportion up to 48".

MIN. BALL DEPTH

65% of dia.

65% of dia.

65% of dia.

65% of dia

60% of dia.

then decrease in

proportion for larger

65% of dia.

(3) Root pruning shall be accomplished by digging a trench completely around the plant about 18 inches deep. All exposed plants shall be cut off smoothly. (4) A mixture of good organic fertilizer and planting soil

shall be used to refill the trench.

(5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if directed by the Landscape Architect. For wire, hog wire shall be used and it shall be placed around the rootba before before the plant is removed from the hole for relocation. The wire shall be looped and tensioned until the burlapped ball is substantially packaged by the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the roots during handling.

Cleanub: A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis from the job or as directed by the Landscape Architect. Any paved areas including curbs and sidewalks which have been

strewn with soil, sod waste, fertilizer or other debris shall

installation of the project shall remain the property of the Owner and remain on the project at the option of the Owner. All excess fill which the Owner does not want shall be removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from the site until approved by the Owner or Landscape Architect. Excess fill shall be disposed of as directed.

B. Excess Fill: All excess fill which results from the

responsibility for protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which

be thoroughly swept.

Completion and Final Acceptance: Upon written notice from the Contractor of the presumptive completion as defined below, of the entire project, the Landscape Architect, along with other appropriate parties will make an inspection within 48 hours after the written contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be

B. If, however, the inspection mentioned in paragraph A, above

necessary instructions or "punch lists". Upon correction

of work, another inspection will be made which shall

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

satisfactorily completed. In such event, the Owner or their

Owner and/or Landscape Architect will give the Contractor the

discloses any work, in whole or in part, as being

Protection: A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury to person or property

B. Protection Against Mechanical Damage: The Contractor's

Contractor or his or her employees in complying with these

notice. If all construction provided for and compensated by the contract is found to be completed in accordance with the notified in writing of final acceptance as of the date of the

C. Completion of the work shall mean the full and exact

have been indicated on the Plans.

and Specifications. Final acceptance shall not be official until acknowledged in

satisfactory lawn. Damage resulting from erosion,

acceptance. Refer to the heading "Watering", which is

compliance and conformity with the provisions expressed of implied in the Plans and Specifications including any and all "punch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion or

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation. (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a

(7) Remove all litter once a week

safequards and protection

installed until final acceptance.

final acceptance.

quilies, washouts, or other causes shall be repaired by filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense (10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over

planting areas or adjacent to plants without proper

(11) Keep sidewalks, curbs and gutters, driveways, parking

all landscape items from the time a landscape item is

Replacement: Replacement of plant material shall be the

responsibility of the Contractor including the possible

replacement of plant material resulting from removal by theft

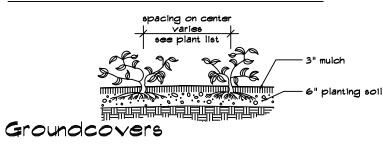
or vandalism or acts of negligence on the part of others.

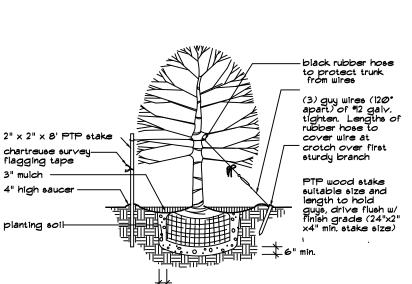
areas, streets, terraces, decks, and pavers free of

olant cuttings, debris and stains D. Material rejected during the course of construction shall be removed within 3 working days and replaced before ar inspection for completion will be scheduled. E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of

All plant material shall be alive and in good growing condition for each specific kind of plant at the time of final acceptance. G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of

# PLANTING DETAILS

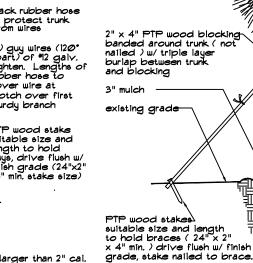




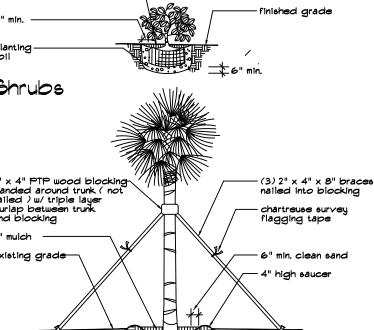
NOTE: Stake all trees up to 2" cal. # 2 per tree. Guy all trees larger than 2" cal.

Trees



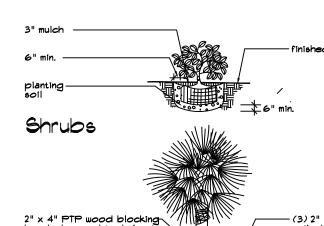






Shrubs

2" x 4" PTP wood blocking banded around trunk ( not nailed ) w/ triple layer burlap between trunk



Straight Trunk Palms

#### (4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks Girdling, bark slippage, limb breakage and any other damage that might occur by improper handling or

removed from the container so as not to disturb the

area at a rate of 25 pounds per 1,000 square feet.

# GENERAL NOTES

3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC SPRINKLER SYSTEM. 4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONL

6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL THATERIALS,
TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER
PLANTING OF ALL TREES, SHRUBS GROUNDCOYERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS. . ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS, THE LANDSCAPE ARCHITECT MAY ADJUST TH LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING. 13. TREES AND PALMS TO BE GUARANTEED FOR ONE (1) YEAR SHRUBS AND GROUND COYERS TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE

LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTANED TO

PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 6'
ABOVE FINISHED GRADE.

CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

MIN. BALL DIA.

Increase i

proportion

a. Rootball: Requirements for the measurement of

minimum rootball diameter and depth shall comply

and Standards for Nursery Plants, Part 1 and Part

b. Height: The height of plant material shall be measured from finish grade and continue up to where

branches, limbs or fronds, which extend out beyond

back of leaf-drop will not be accepted and must be removed

from the project immediately if so directed by the Landscape

toward leaf-drop or die-back must be root pruned early enough

E. Die-Back and Leaf Drop: plant material showing signs of die-

Architect. Therefore, any plant material with tendencies

to provide a sound network of hair roots prior to relocat

. Mechanical Destruction of Foliage: Mechanical destruction of

than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be

foliage resulting from root pruning shall not effect more

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists

on plant material, it shall be completely removed prior to

(1) Remove a minimum of fronds from the crown of the palms

to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth of

(1) initially, water the plant material to develop uniform

(2) Provide continuous watering of plant material after

necessary and the amount of water and frequency o

plant type, the time of year, amount of rainfall and

watering shall begin after the plant is planted and

continue until final acceptance. All trees and palme

this task. It cannot deliver the volume of water

rrigation system, if there is one hand water

(3) If there is no source for water available at the

means as a water truck or tank

to establish plants. Water shall be applied as

the root zone. Avoid erosion, puddling, and washing

planting in order to achieve optimum growth conditions

watering shall be based on the specific needs of each

other environmental conditions it is exposed to. This

shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve

required, without flooding areas beyond where water is

needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the

project, such as a hose bib (s) or fire hudrant (s) if

esponsible for supplying water for watering, by such

injured twigs and branches and to compensate for the

loss of roots as a result of transplanting operations.

Pruning and thinning shall be done in such a manner as

not to change the natural habit or shape of a plant

(2) The Landscape Architect shall be contacted prior to

performing any major pruning and thinning. The Landscape Architect may elect to be present during

approved for use, then the Contractor shall be

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or

approximately 3 inches, or other depth as indicated

otherwise, over all shrub and groundcover areas, around

coverage and deep water penetration to the full depth of

trees and palms in sod areas and any other areas as

the main mass of the plant uniformly ends. The

parts of the plant, such as leaves, shoots,

the main mass of the plant.

planting on the project

indicated on the plans.

soil away from the roots.

during this period.

G. Pruning and Thinning:

F. Waterina

height shall not include any singular or isolated

with the Florida Department of Agriculture's "Grades

MIN. BALL DEPTH

65% of dia

65% of dia

60% of dia

60% of dia

60% of dia

then decrease in

size diameter.

up to 48".

(1) Trees, Shrubs, and Groundcover

CALIPER

15 - 175"

4 - 45"

5.5" or more

COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER 7. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAYATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS. 18. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND

SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

20. AN AGREEMENT FOR COMPENSATION OF EXISTING TREES SHALL BE MADS PRIOR TO PLANNING AND ZONING SUBMITTAL.

15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY

UNTIL THE TIME OF WRITTEN ACCEPTANCE.

dave bodker

#LA0000999 sheet title:

project number 6616 9-29-16 n.t.s.

sheet:

revisions: